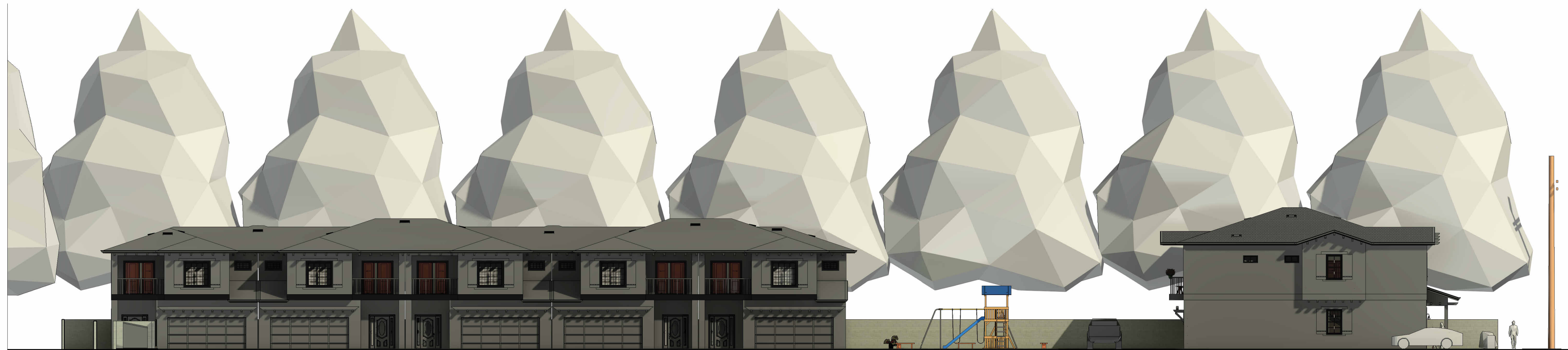
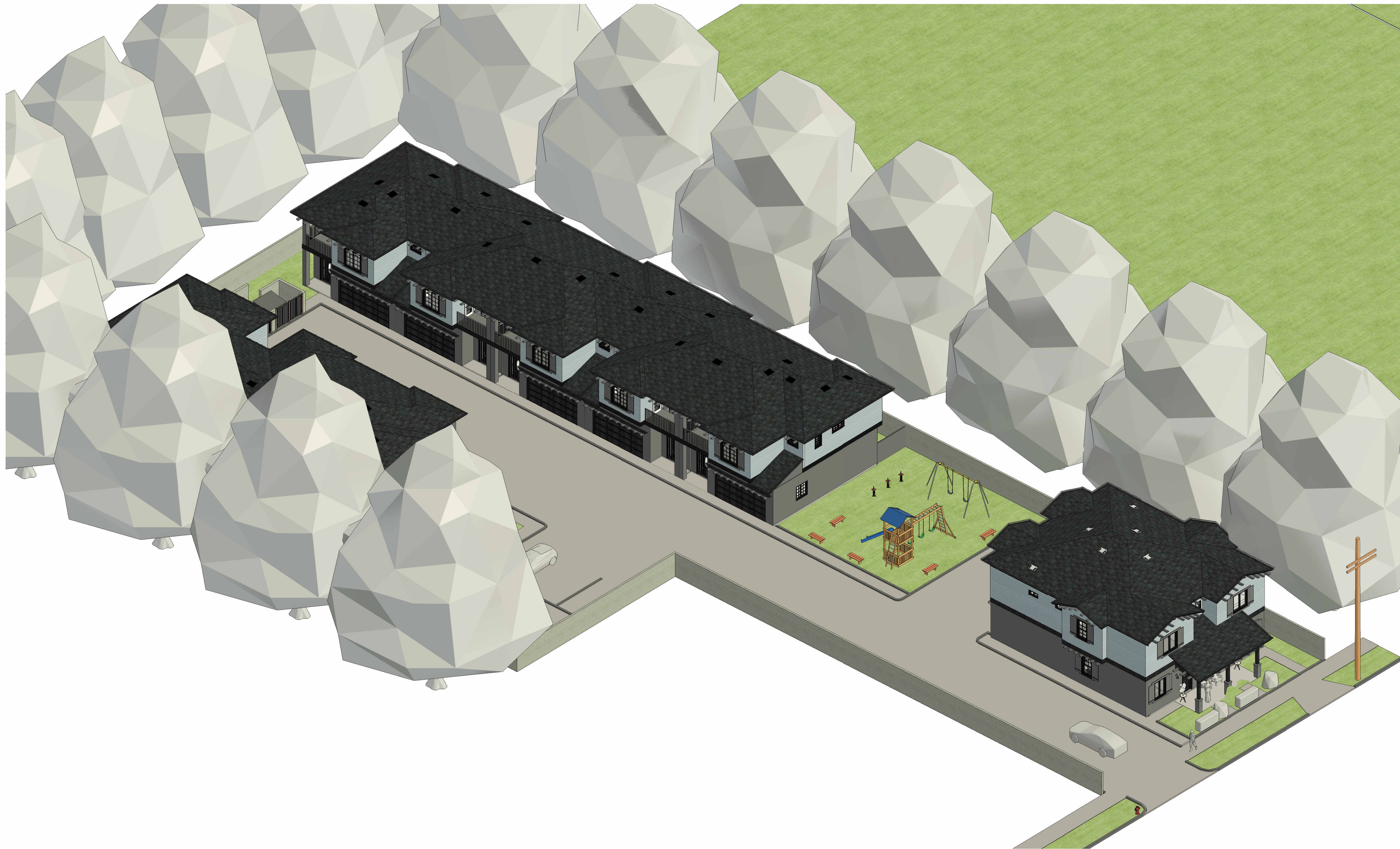
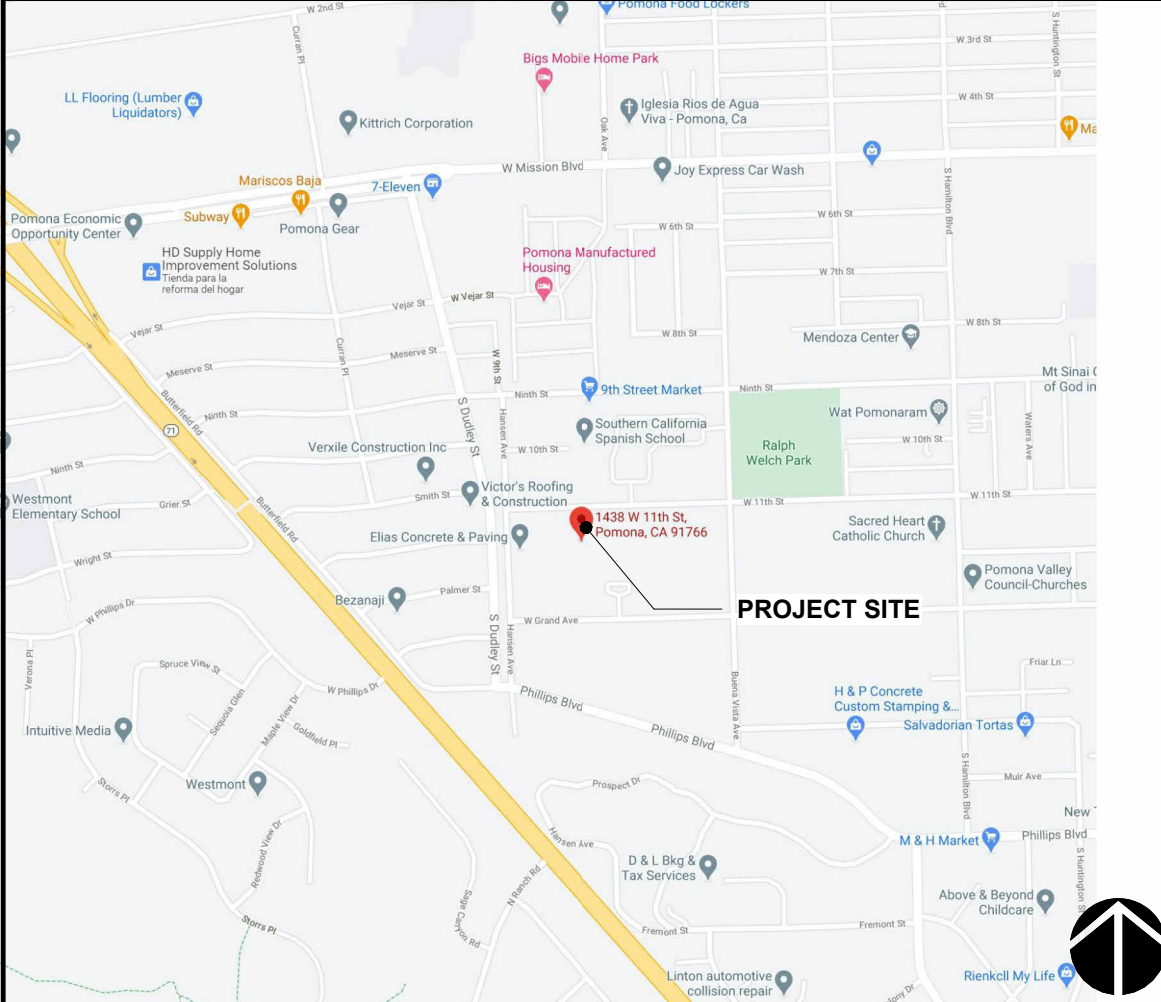


NEW APARTMENT COMPLEX (10 UNITS)



VICINITY MAP



PROJECT INFORMATION

PROJECT NAME: MULTI RESIDENCIAL
OWNER / APPLICANT: ELEVENTH & BUENA VISTA LLC
(323) 353-9335
485 E 18TH ST, UPLAND CA 91784
CONTACT: RICHARD ORTIZ
DESIGNER: STUDIO ROCA INC.
P.O. BOX 850
RANCHO CUCAMONGA
CA 91729
PH: (909) 239-0867
E: studio_roca@yahoo.com

SCOPE OF WORK

THE SCOPE OF WORK IS:
UNITS 1 - 2: NEW APARTMENTS OF 2,050 SF, 1 - CAR GARGE 403 SF, NEW BALCONY OF 57 SF
UNITS 3 - 10: NEW APARTMENTS OF 1543 SF, 2-CAR GARAGE OF 427 SF, NEW BALCONY OF 72 SF, NEW PRIVATE SPACE OF 300 SF AND NEW PORCH OF 38 SF.
• 2 TRASH ENCLOSURE WITH SCREENING
• LANDSCAPE AREA
• DRIVEWAY APPROACH AND DRIVEWAYS

SHEET INDEX

SHEET NUMBER	SHEET NAME
A0.1	TITLE SHEET / SITE PLAN/ GENERAL NOTES
A0.2	TITLE SHEET / SITE PLAN/ GENERAL NOTES - 02
A0.3	MATERIAL SAMPLE BOARD
A0.4	GENERAL SECTIONS
A0.5	FIRE ACCESS PLAN
A0.6	PRELIMINARY UTILITY PLAN
A0.7	CONCENPTUAL LANDSCAPE PLAN (FOR REFERENCE ONLY)
A1.1	PROPOSED FLOOR PLAN - DUPLEX 1ST FLOOR (UNITS 1 - 2)
A1.2	PROPOSED FLOOR PLAN - DUPLEX 2ND FLOOR (UNITS 1 - 2)
A2.1	EXTERIOR ELEVATIONS - DUPLEX NORTH & WEST (UNITS 1 - 2)
A2.2	EXTERIOR ELEVATIONS - DUPLEX SOUTH & EAST (UNITS 1 - 2)
A2.3	EXTERIOR COLOR ELEVATIONS - DUPLEX NORTH & WEST (UNITS 1 - 2)
A2.4	EXTERIOR COLOR ELEVATIONS - DUPLEX SOUTH AND EAST (UNITS 1 - 2)
A3.0	DOOR SCHEDULE - (UNITS 3 - 7) + 1 HR RATED DETAIL
A3.1	PROPOSED FLOOR PLAN - FIVEPLEX 1ST FLOOR (UNITS 3 - 7)
A3.2	PROPOSED FLOOR PLAN - FIVEPLEX 2ND FLOOR (UNITS 3 - 7)
A4.1	EXTERIOR ELEVATIONS - FIVEPLEX EAST ONLY (UNITS 3 - 7)
A4.2	EXTERIOR ELEVATIONS - FIVEPLEX WEST ONLY (UNITS 3 - 7)
A4.3	EXTERIOR ELEVATIONS - FIVEPLEX SOUTH & NORTH (UNITS 3 - 7)
A4.4	EXTERIOR COLOR ELEVATIONS - FIVEPLEX EAST ONLY (UNITS 3 - 7)
A4.5	EXTERIOR COLOR ELEVATIONS - FIVEPLEX WEST ONLY (UNITS 3 - 7)
A4.6	EXTERIOR COLOR ELEVATIONS - FIVEPLEX SOUTH & NORTH (UNITS 3 - 7)
A5.1	PROPOSED FLOOR PLAN - TRIPLEX 1ST FLOOR (UNITS 8 - 10)
A5.2	PROPOSED FLOOR PLAN - TRIPLEX 2ND FLOOR (UNITS 8 - 10)
A6.1	EXTERIOR ELEVATIONS - TRIPLEX EAST & WEST (UNITS 8 - 10)
A6.2	EXTERIOR ELEVATIONS - TRIPLEX SOUTH & NORTH (UNITS 8 - 10)
A6.3	EXTERIOR COLOR ELEVATIONS - TRIPLEX EAST & WEST (UNITS 8 - 10)
A6.4	EXTERIOR COLOR ELEVATIONS - TRIPLEX SOUTH & NORTH (UNITS 8 - 10)

PRINCIPAL DESIGNER:



STUDIO ROCA INC.
P.O. BOX 850
RANCHO CUCAMONGA,
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PH: (909) 239-0867
E: studio_roca@yahoo.com

NEW APARTMENT COMPLEX (10 UNITS)

1438 W 11TH ST & BUENA VISTA AVE, POMONA, CA 91766

CONTACT INFORMATION / OWNER
ELEVENTH & BUENA VISTA LLC (323) 353-9335
1438 W 11TH ST & BUENA VISTA AVE. POMONA, CA 91766

013SFD2023

PROJECT TITLE

SHEET TITLE

TITLE SHEET / SITE
PLAN/ GENERAL
NOTES

REVISIONS

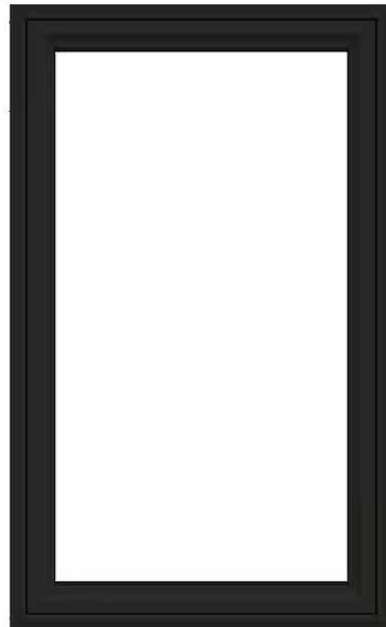
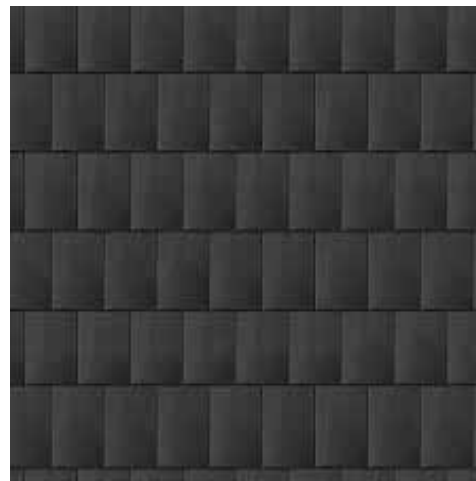
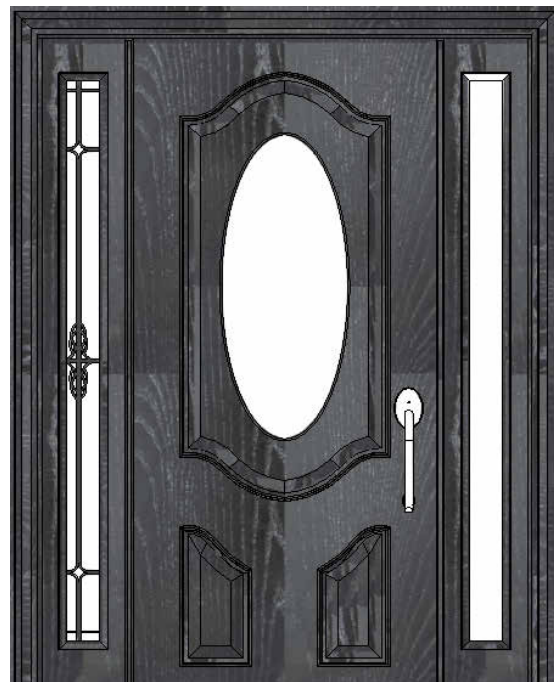



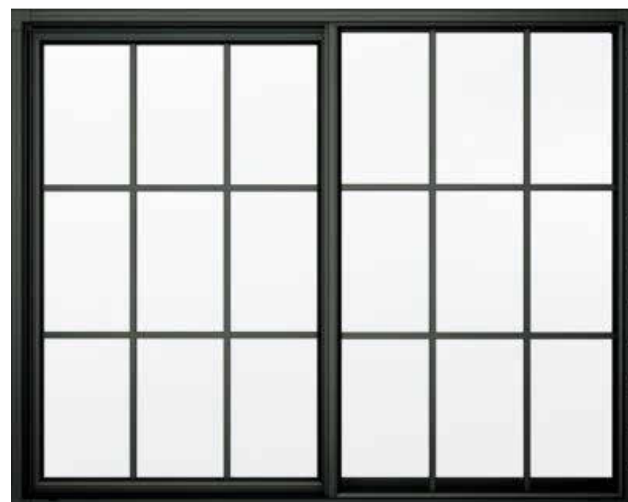
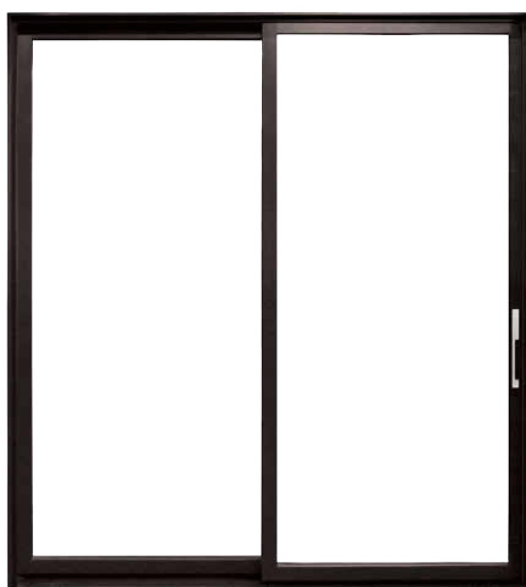
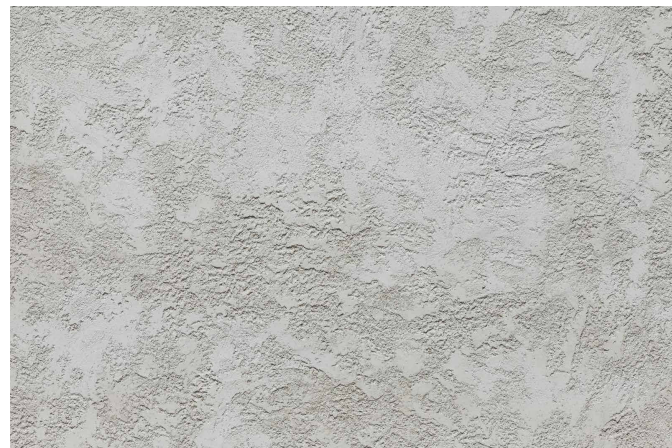
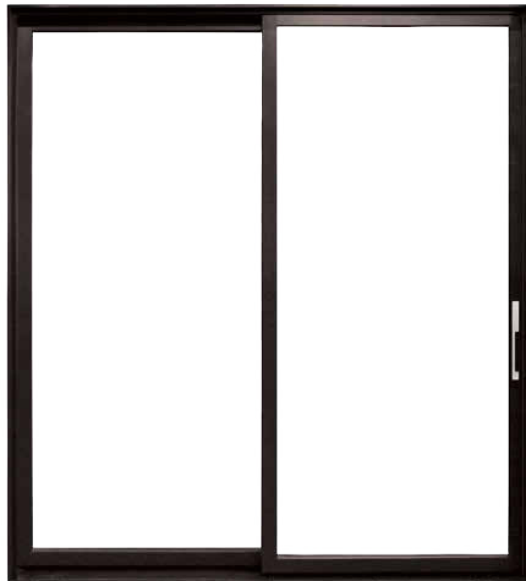


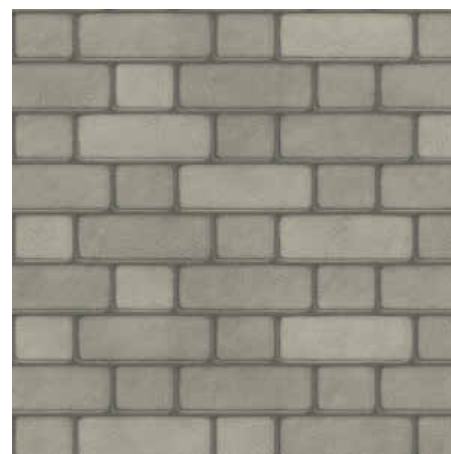
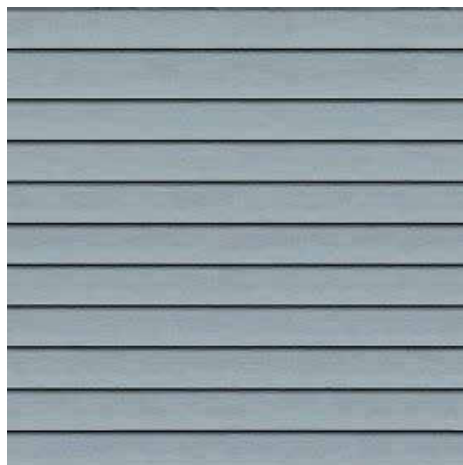

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JOB NO.: 013SFD2023

NOTICE: WRITTEN DIMENSIONS OF THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. THESE DRAWINGS AND LAYOUTS ARE NOT TO BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF STUDIO ROCA, INC.

WINDOWS		ROOF		DOORS - EXTERIOR	
EXTERIOR FIX WINDOW MATERIAL: VINYL COLOR: WHITE		FLAT CLAY ROOF MATERIAL: CLAY COLOR: BLACK		EXTERIOR DOOR SINGLE HALF FLAT GLASS WOOD MATERIAL: WOOD COLOR: BLACK	
CORBELS		FASCIA		EXTERIOR DOOR SINGLE FULL GLASS MATERIAL: WOOD COLOR: MAHOGANY	
EXTERIOR DECORATIVE CORBELS MATERIAL: WOOD COLOR: BLACK		EXTERIOR CROWN FASCIA MOULDING MATERIAL: WOOD COLOR: BLACK			
EXTERIOR SLIDING WINDOW WITH TRIM & COLONIAL GRID MATERIAL: VINYL COLOR: WHITE		WALL		INTERIOR SLIDING DOOR MATERIAL: VINYL COLOR: BLACK	
		STUCCO LA HABRA FAST WALL 100 & 300 MATERIAL: PLASTER COLOR: DOVE GRAY (66) BASE 200			
WOOD TRIM		RAILING		EXTERIOR BALCONY SLIDING DOOR MATERIAL: VINYL COLOR: BLACK	
EXTERIOR WOOD TRIM MATERIAL: WOOD COLOR: BLACK		WROUGHT IRON MATERIAL: IRON COLOR: BLACK			
STONE SIDING		WOOD SIDING		DOORS - INTERIOR	
EXTERIOR THIN BRICK SIDING MATERIAL: COBBLESTONE COLOR: LIGHT GREY		EXTERIOR WOOD SIDING MATERIAL: WOOD COLOR: SUMMIT BLUE		INTERIOR ENTRY DOOR MATERIAL: WOOD COLOR: BLACK	

PRINCIPAL DESIGNER:



STUDIO ROCA INC.
P.O. BOX 850
RANCHO CUCAMONGA,
CA 91729
PH: (909) 239-8067
E: studio_roca@yahoo.com

PROJECT TITLE

NEW APARTMENT COMPLEX (10 UNITS)

1438 W 11TH ST, POMONA , CA 91766

CONTACT INFORMATION / OWNER

ELEVENT & BUENA VISTA LLC (323) 353-9335

1438 W 11TH ST, POMONA , CA 91766

013SFD2023

SHEET TITLE

MATERIAL SAMPLE BOARD

REVISIONS	
REV. #	DATE
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JOB NO.: 013SFD2023

DATE: 1/11/2025 1:34:29 PM
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NOTICE: WRITTEN DIMENSIONS OF THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. THESE DRAWINGS AND LAYOUTS ARE NOT TO BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF STUDIO ROCA, INC.

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PROJECT TITLE
NEW APARTMENT COMPLEX (10 UNITS)

1438 W 11TH ST & BUENA VISTA AVE, POMONA, CA 91766

CONTACT INFORMATION / OWNER
ELEVENTH & BUENA VISTA LLC (323) 353-9335
1438 W 11TH ST & BUENA VISTA AVE. POMONA, CA 91766

SHEET TITLE

GENERAL
SECTIONS

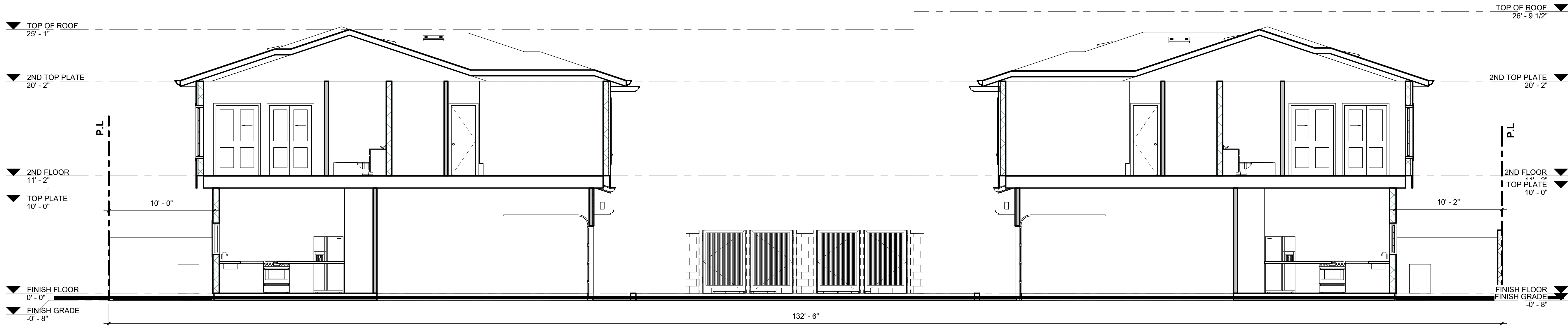
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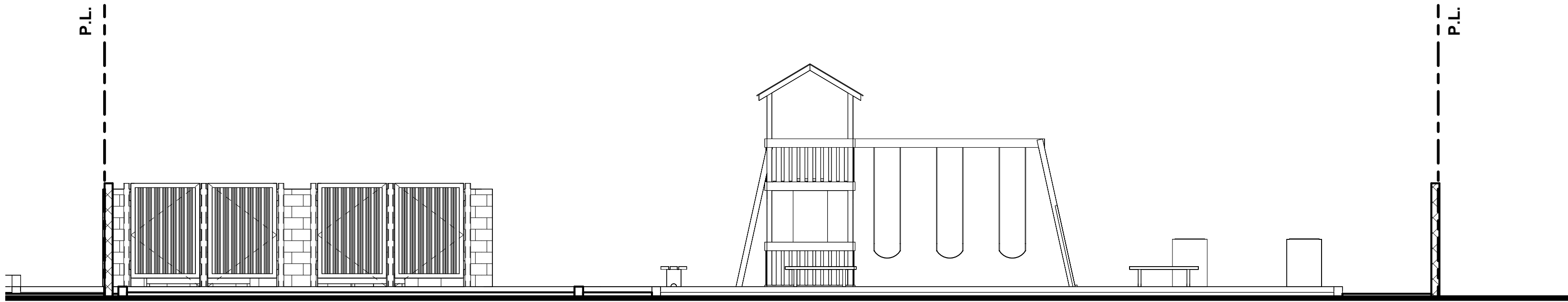
JOB NO.: 013SFD2023

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013SFD2023



SECTION 1
3/16" = 1'-0"



SECTION 2
3/16" = 1'-0"

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NOTES

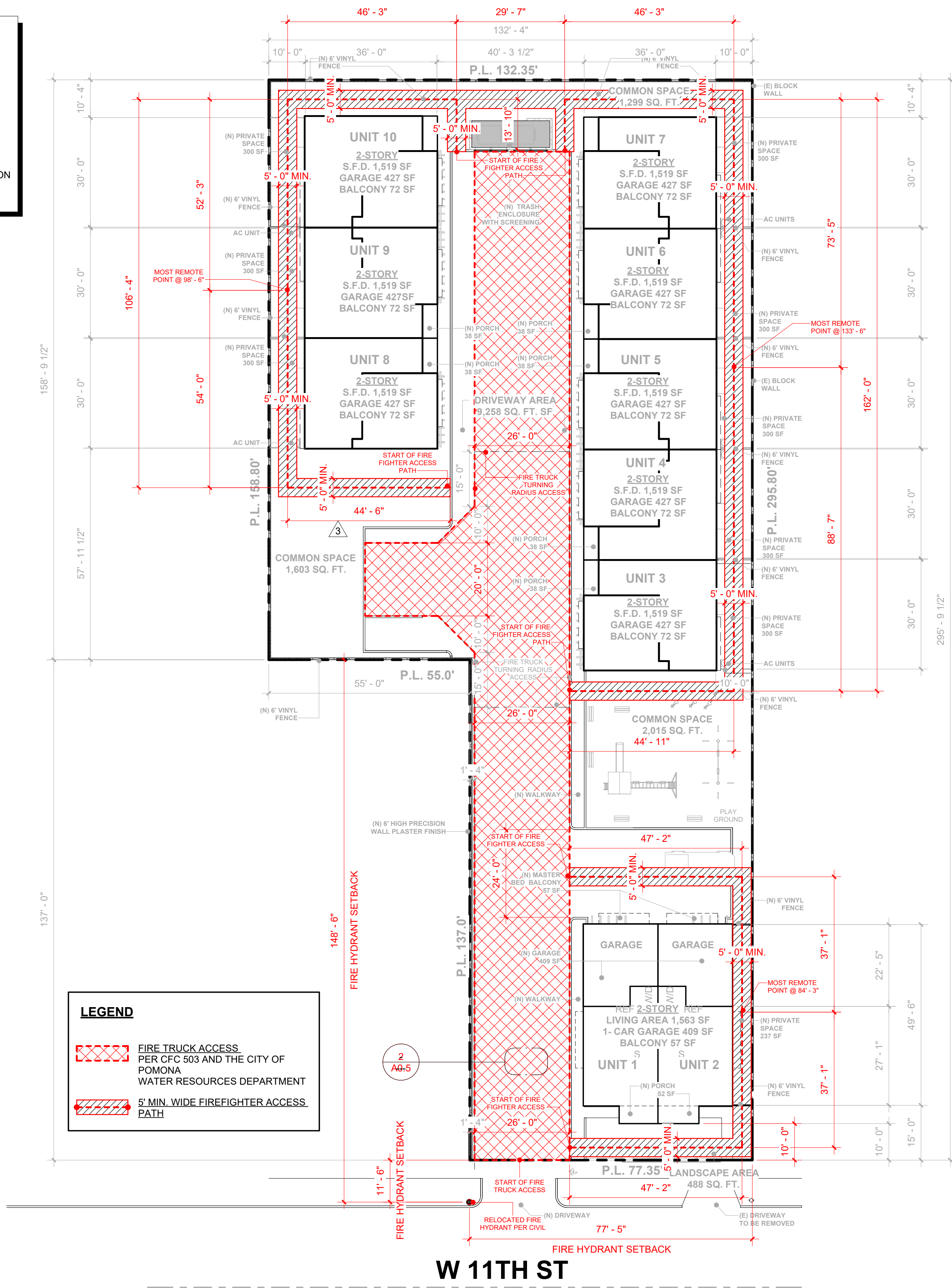
- FIRE DEPARTMENT VEHICULAR ACCESS ROADS MUST BE INSTALLED AND MAINTAINED IN A SERVICEABLE MANNER PRIOR TO AND DURING THE TIME OF CONSTRUCTION. FIRE CODE 501.4
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING 5000 POUNDS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. FIRE APPARATUS ACCESS ROADS HAVING A GRADE OF 10 PERCENT OR GREATER SHALL HAVE A PAVED OR CONCRETE SURFACE. PROVIDE APPROVED SIGNS OR OTHER APPROVED NOTICES OR MARKINGS THAT INCLUDE THE WORDS "NO PARKING - FIRE LANE". SIGNS SHALL HAVE A MINIMUM DIMENSION OF 12 INCHES WIDE BY 18 INCHES HIGH AND HAVE RED LETTERS ON A WHITE REFLECTIVE BACKGROUND. SIGNS SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS, TO CLEARLY INDICATE THE ENTRANCE TO SUCH ROAD, OR PROHIBIT THE OBSTRUCTION THEREOF AND AT INTERVALS, AS REQUIRED BY THE FIRE INSPECTOR. FIRE CODE 503.3
- APPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS OR ALPHABET LETTERS, AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH. FIRE CODE 505.1
- ALL FIRE HYDRANTS SHALL MEASURE 6" X 4" X 2 1/2". BRASS OR BRONZE, CONFORMING TO AMERICAN WATER WORKS ASSOCIATION STANDARD C503, OR APPROVED EQUAL
- ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED, TESTED AND ACCEPTED PRIOR TO BEGINNING CONSTRUCTION

7. REQUIRED FIRE FLOW IS BASED ON THE FOLLOWING CALCULATION:

TYPE OF CONSTRUCTION: VB
FIRE-FLOW CALCULATION AREA: AREA 8,216 SQ. FT.
FIRE-FLOW BASED ON FIRE-FLOW CALCULATION AREA: 2500 GPM
REDUCTION FOR FIRE SPRINKLERS (MAXIMUM 50%): 1000 GPM
TOTAL FIRE FLOW REQUIRED: 1500 GPM

ABBREVIATIONS:

P.L.	PROPERTY LINE
C.L.	CENTER LINE
FT	FEET
S.F.	SQUARE FEET
TYP.	TYPICAL
PROP.	PROPOSED
CONC.	CONCRETE
V.I.F.	VERIFY IN FIELD
ELEC.	ELECTRICAL
BLK	BLOCK
H	HIGH
P.O.C.	POINT OF CONNECTION
(E)	EXISTING
(N)	NEW



FIRE ACCESS PLAN

1" = 20'-0"



THE CITY OF POMONA WATER RESOURCES DEPARTMENT

FIRE HYDRANT/FLOW INFORMATION

All fire flows are conducted using a Pollard Water diffuser and flow rate chart for pitot measurements.

PROJECT SITE ADDRESS: 1438 W Eleventh St, Pomona, CA 91766		
Hydrant Number:	H15_140	Location: 1438 W Eleventh St
Static PSI:	70	Residual PSI: 66 Pilot PSI: 45
Hydrant Size/Type: Jones 6"		
Size of Water Main:	6" ACP	Duration: 5 Minutes
Flow Rate @ 20 PSI Residual Pressure (GPM):	4,420	
Pilot Flow Rate - From Pollard Water Chart (GPM):	1,130	
Date:	10/30/2024	
Time of Test:	8:30	AM: <input checked="" type="checkbox"/> PM: <input type="checkbox"/>
PROJECT SITE ADDRESS: 1438 W Eleventh St, Pomona, CA 91766		
Hydrant Number:	Location:	
Static PSI:	Residual PSI:	Pilot PSI:
Hydrant Size/Type:		
Size of Water Main:	Duration:	5 Minutes
Flow Rate @ 20 PSI Residual Pressure (GPM):	No Value	
Pilot Flow Rate - From Pollard Water Chart (GPM):		
Date:		
Time of Test:	AM: <input type="checkbox"/>	PM: <input type="checkbox"/>
Flows Performed Simultaneously?:	YES <input type="checkbox"/>	2 Hydrants <input type="checkbox"/>
	NO <input checked="" type="checkbox"/>	3 Hydrants <input type="checkbox"/>
Flow Tester:	Robert Nevarez	Signature:

FIRE FLOWS TAKEN FROM THE 2-1/2 INCH ORIFICE

Form Current as of January 2016

PRINCIPAL DESIGNER:



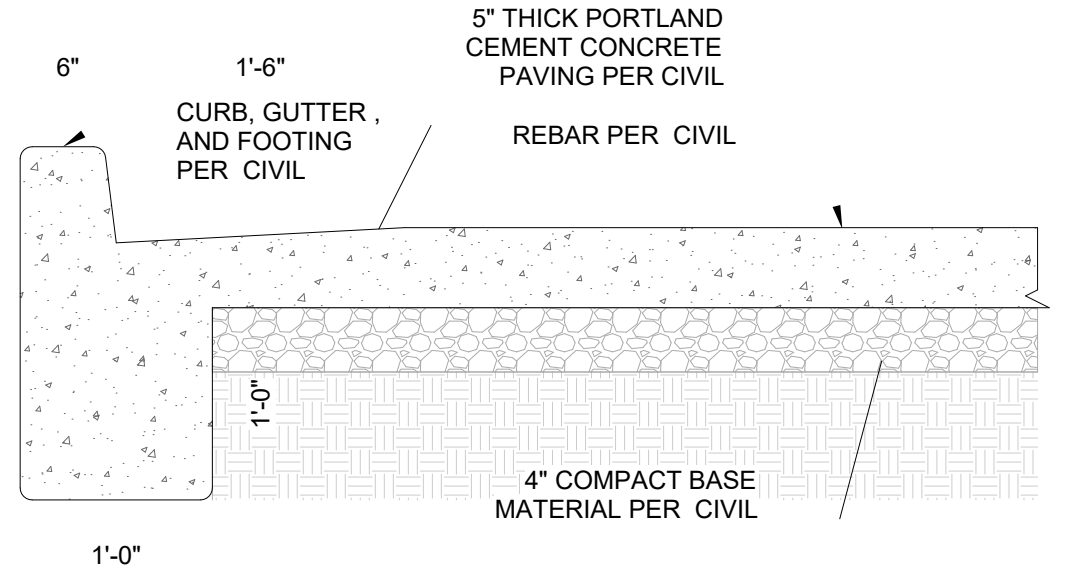
STUDIO ROCA INC.

P.O. BOX 850
RANCHO CUCAMONGA,
CA 91729
PH: (909) 239-8067
E: studio_roca@yahoo.com

DT DRIVEWAY PROFILE

SCALE: N.T.S

2



NEW APARTMENT COMPLEX (10 UNITS)

1438 W 11TH ST & BUENA VISTA AVE, POMONA, CA 91766

CONTACT INFORMATION / OWNER

ELEVENTH & BUENA VISTA LLC (323) 353-9335

1438 W 11TH ST & BUENA VISTA AVE, POMONA, CA 91766

PROJECT TITLE

SHEET TITLE

FIRE ACCESS PLAN

REVISIONS

REV. #	DATE
3	12/17/2024
4	
5	
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8	
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10	

JOB NO.: 013SFD2023

DATE: 4/25/2025 6:05:22 PM

DRAWN: RO

SCALE: As indicated

A0.5

NOTICE: WRITTEN DIMENSIONS OF THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. THESE DRAWINGS AND LAYOUTS ARE NOT TO BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF STUDIO ROCA, INC.

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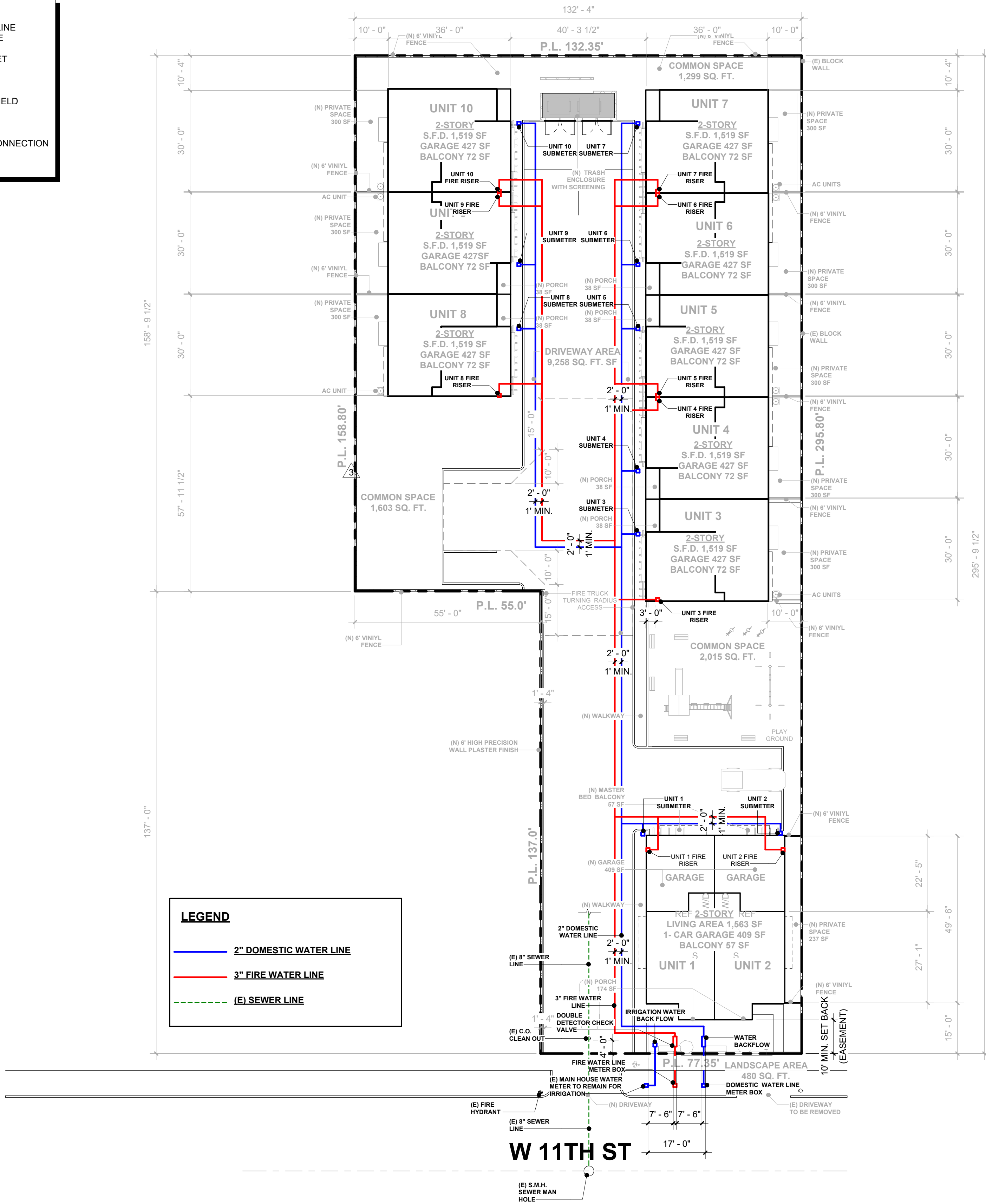
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TYPE OF CONSTRUCTION: VB
FIRE-FLOW CALCULATION AREA: AREA 8,216 SQ. FT.
FIRE-FLOW BASED ON FIRE-FLOW CALCULATION AREA: 2500 GPM
REDUCTION FOR FIRE SPRINKLERS (MAXIMUM 50%): 1000 GPM
TOTAL FIRE FLOW REQUIRED: 1500 GPM

ABBREVIATIONS:

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V.I.F.	VERIFY IN FIELD
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BLK	BLOCK
H	HIGH
P.O.C.	POINT OF CONNECTION
(E)	EXISTING
(N)	NEW



PRELIMINARY UTILITY PLAN

1" = 20'-0"



PRINCIPAL DESIGNER:



STUDIO ROCA INC.

P.O. BOX 850
RANCHO CUCAMONGA,
CA 91729
PH: (909) 239-8067
E: studio_roca@yahoo.com

PROJECT TITLE
NEW APARTMENT COMPLEX (10 UNITS)

1438 W 11TH ST & BUENA VISTA AVE, POMONA, CA 91766

CONTACT INFORMATION / OWNER

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1438 W 11TH ST & BUENA VISTA AVE, POMONA, CA 91766

SHEET TITLE

PRELIMINARY
UTILITY PLAN

REVISIONS

REV. #	DATE
3	12/17/2024
2	
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SCALE: 1" = 20'-0"

JOB NO.: 013SFD2023

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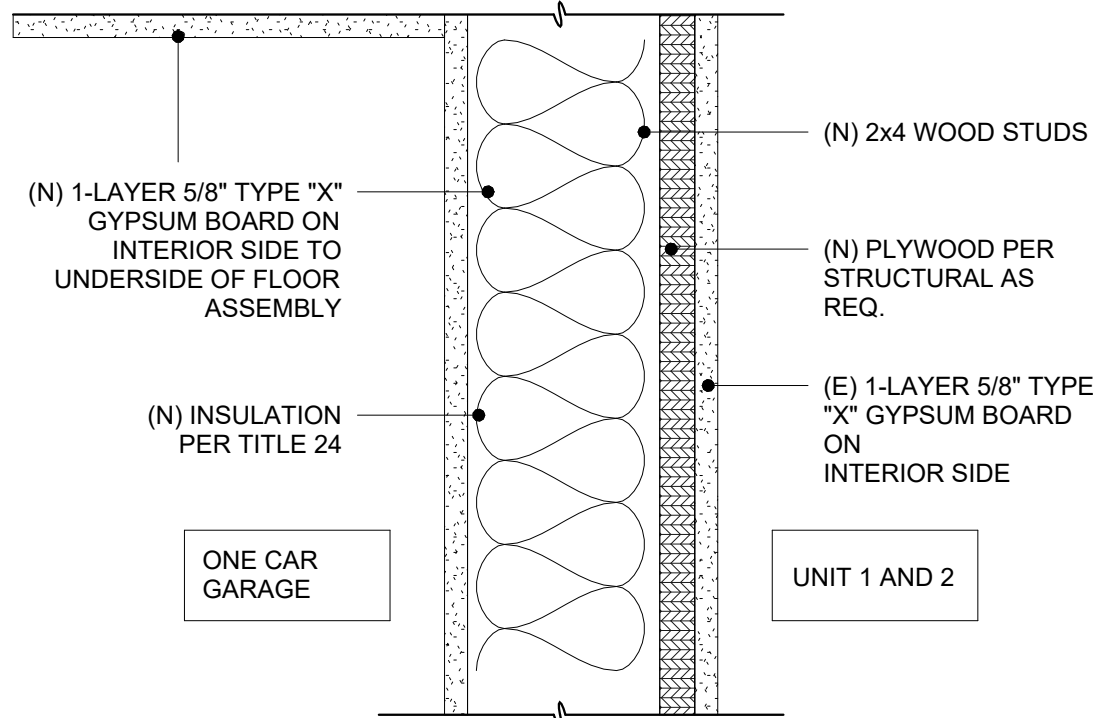
013SFD2023

PO Box 3656
San Bernardino, CA 92413
Office phone: (909) 888-5568
richardpopeassociates.la@gmail.com
www.richardpopeandassociates.com
Richard Pope, Landscape Architect CA# 2664

NOTICE: ANY DIMENSIONS OF THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SPOKEN DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. THESE DRAWINGS AND LAYOUTS ARE NOT TO BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF STUDIO ROCA, INC.

NOTES

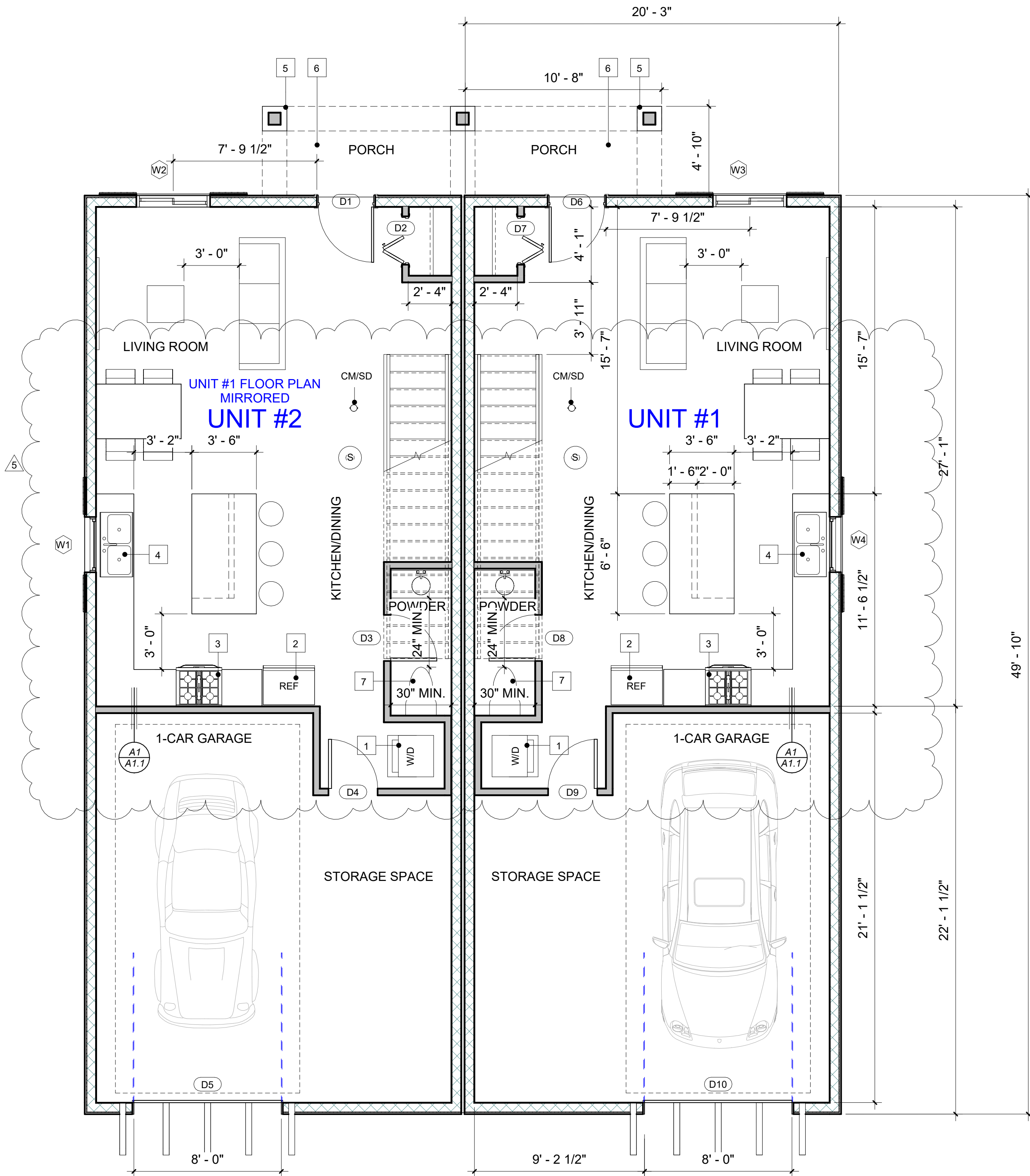
- OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOF USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS. DOORS SHALL BE SELF-LATCHING AND EQUIPPED WITH A SELF CLOSING OR AUTOMATIC CLOSING DEVICE. (R302.5)
- THE GARAGE AND/OR CARPORT SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION (R302.5). ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R702.3.5. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL. A SEPARATION IS NOT REQUIRED BETWEEN THE DWELLING UNIT AND A CARPORT PROVIDED THE CARPORT IS ENTIRELY OPEN ON TWO OR MORE SIDES AND THERE ARE NOT ENCLOSED AREAS ABOVE (R302.6).
- ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYPSUM BOARD (R302.7).
- BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY (R310.1). THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES (610 MM). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES (508 MM). THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING (R310.2.2). EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118 MM) MEASURED FROM THE FLOOR (R310.2.3).
- SINGLE- OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED IN GROUPS R-2, R-2.1, R-2.2, R-3, R-3.1 AND R-4 REGARDLESS OF OCCUPANT LOAD AT ALL OF THE FOLLOWING LOCATIONS:
 - ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.
 - IN EACH ROOM USED FOR SLEEPING PURPOSES.
 - IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL (907.2.11.2)



1-HOUR FIRE SEPARATION

SCALE
N.T.S.

A1



PROPOSED 1ST FLOOR PLAN

1/4" = 1'-0"



(N) WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	SILL HEIGHT	TYPE COMMENTS	COMMENTS
W1	3' - 0"	5' - 0"	3' - 0"	Vinyl Single Hung Window	Dual Glazed Glass
W2	4' - 0"	5' - 0"	3' - 0"	Vinyl Sliding Window	Dual Glazed Glass
W3	4' - 0"	5' - 0"	3' - 0"	Vinyl Sliding Window	Dual Glazed Glass
W4	3' - 0"	5' - 0"	3' - 0"	Vinyl Single Hung Window	Dual Glazed Glass
W5	3' - 0"	1' - 6"	6' - 5 1/2"	Vinyl Sliding Window	Dual Glazed Glass
W6	3' - 0"	1' - 6"	6' - 5 1/2"	Vinyl Sliding Window	Dual Glazed Glass
W7	3' - 0"	5' - 0"	3' - 0"	Vinyl Single Hung Window	Dual Glazed Glass
W8	5' - 0"	5' - 0"	3' - 0"	Vinyl Sliding Window	Dual Glazed Glass
W9	2' - 0"	2' - 6"	5' - 6"	Vinyl Fixed Window	Dual Glazed Glass
W10	2' - 0"	2' - 6"	5' - 6"	Vinyl Fixed Window	Dual Glazed Glass
W11	5' - 0"	5' - 0"	3' - 0"	Vinyl Sliding Window	Dual Glazed Glass
W12	3' - 0"	5' - 0"	3' - 0"	Vinyl Single Hung Window	Dual Glazed Glass
W13	3' - 0"	1' - 6"	6' - 5 1/2"	Vinyl Sliding Window	Dual Glazed Glass
W14	3' - 0"	1' - 6"	6' - 5 1/2"	Vinyl Sliding Window	Dual Glazed Glass

KEYNOTE

- STACKED WASHER / DRYER SPACE (PROVIDE RECESS NICHE IN WALL FOR PLUMBING AND PROVIDE WASTE LINE)
- 42" WIDE REFRIGERATOR SPACE (PROVIDE WATER-SUPPLY STUB-OUT AND SHUTOFF VALVE RECESSED IN WALL FOR ICE MAKER)
- SLIDE-IN RANGE WITH 100 CFM EXHAUST HOOD (HOOD MUST BE DUCTED TO OUTSIDE) SHALL HAVE A VERTICAL CLEARANCE OF 30" (CMC 921.3.2, 921.4)
- DOUBLE SINK WITH GARBAGE DISPOSAL
- BUILT-UP COLUMN
- 3'-0" DEEP MIN. x 3'-1/2" THICK CONCRETE LANDING (SLOPE SHALL NOT EXCEED 1/4 INCH PER FOOT)
- WATER CLOSET SHALL BE 1.28 GALLONS PER FLUSH MAXIMUM (24" MIN. CLEAR IN FRONT OF W.C. AND 30" CLEAR WIDTH SPACE, 15' MIN. CENTER LINE TO ANY WALL OR OBSTRUCTION ON EACH SIDE)

WALL LEGEND

EXTERIOR WALL
1 EXTERIOR 7/8" STUCCO PLASTER (3-COATS)
2 GRADE 'D' PAPER ICC-ER ESR-2375
3 WALL SHEATHING (WHERE OCCURS)
4 2X4" STUDS @ 16" O.C. EXTERIOR WALL
5 1/2" GYPSUM BOARD UP TO CEILING
INTERIOR WALL
1 1/2" GYPSUM BOARD EACH SIDE
2 2X4" STUDS @ 16" O.C. INTERIOR WALL
EXTERIOR WALL
1 EXTERIOR 7/8" STUCCO PLASTER (3-COATS)
2 GRADE 'D' PAPER ICC-ER ESR-2375
3 WALL SHEATHING (WHERE OCCURS)
4 2X6" STUDS @ 16" O.C. EXTERIOR WALL
5 1/2" GYPSUM BOARD UP TO CEILING
PLUMBING WALL
1 1/2" GYPSUM BOARD EACH SIDE
2 2X6" STUDS @ 16" O.C. INTERIOR WALL

(N) DOOR SCHEDULE

MARK	WIDTH	HEIGHT	FINISH	COMMENTS
D1	3' - 0"	8' - 0"	Solid Core 1 3/4" Thick	Swing - Self Latching
D2	2' - 6"	7' - 0"	Hollow Core	Bifold Door / Louvered
D3	2' - 6"	7' - 0"	Hollow Core	Swing
D4	2' - 8"	6' - 8"	Solid Core 1 3/8" Thick	Swing - Self Latching
D5	8' - 0"	7' - 0"	Pre - Fab Garage Metal Door	2-Car
D6	3' - 0"	8' - 0"	Solid Core 1 3/4" Thick	Swing - Self Latching
D7	2' - 6"	7' - 0"	Hollow Core	Bifold Door / Louvered
D8	2' - 6"	7' - 0"	Hollow Core	Swing
D9	2' - 8"	6' - 8"	Solid Core 1 3/8" Thick	Swing - Self Latching
D10	8' - 0"	7' - 0"	Pre - Fab Garage Metal Door	2-Car
D11	2' - 6"	6' - 8"	Hollow Core	Swing
D12	2' - 6"	6' - 8"	Hollow Core	Swing
D13	5' - 0"	6' - 8"	Double Sliding Closet Door	Swing
D14	2' - 6"	6' - 8"	Hollow Core	Swing
D15	2' - 6"	6' - 8"	Hollow Core	Swing
D16	2' - 6"	6' - 8"	Hollow Core	Swing
D17	2' - 6"	6' - 8"	Hollow Core	Swing
D18	2' - 6"	6' - 8"	Hollow Core	Swing
D19	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door
D20	2' - 6"	6' - 8"	Hollow Core	Swing
D21	2' - 6"	6' - 8"	Hollow Core	Swing
D22	5' - 0"	6' - 8"	Double Sliding Closet Door	Swing
D23	2' - 6"	6' - 8"	Hollow Core	Swing
D24	2' - 6"	6' - 8"	Hollow Core	Swing
D25	2' - 6"	6' - 8"	Hollow Core	Swing
D26	2' - 6"	6' - 8"	Hollow Core	Swing
D27	2' - 6"	6' - 8"	Hollow Core	Swing
D28	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door

PRINCIPAL DESIGNER:



STUDIO ROCA INC.

P.O. BOX 850
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PH: (909) 239-8067
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NEW APARTMENT COMPLEX (10 UNITS)

1438 W 11TH ST, POMONA , CA 91766

CONTACT INFORMATION / OWNER

ELEVENT & BUENA VISTA LLC (323) 353-9335

1438 W 11TH ST, POMONA , CA 91766

PROJECT TITLE

SHEET TITLE

PROPOSED FLOOR
PLAN - DUPLEX
1ST FLOOR (UNITS
1 - 2)

REVISIONS

REV. #	DATE
5	04/26/2025
6	
7	
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DATE: 4/26/2025 1:12:18 PM

DRAWN: RO

SCALE: As indicated

JOB NO.: 013SFD2023

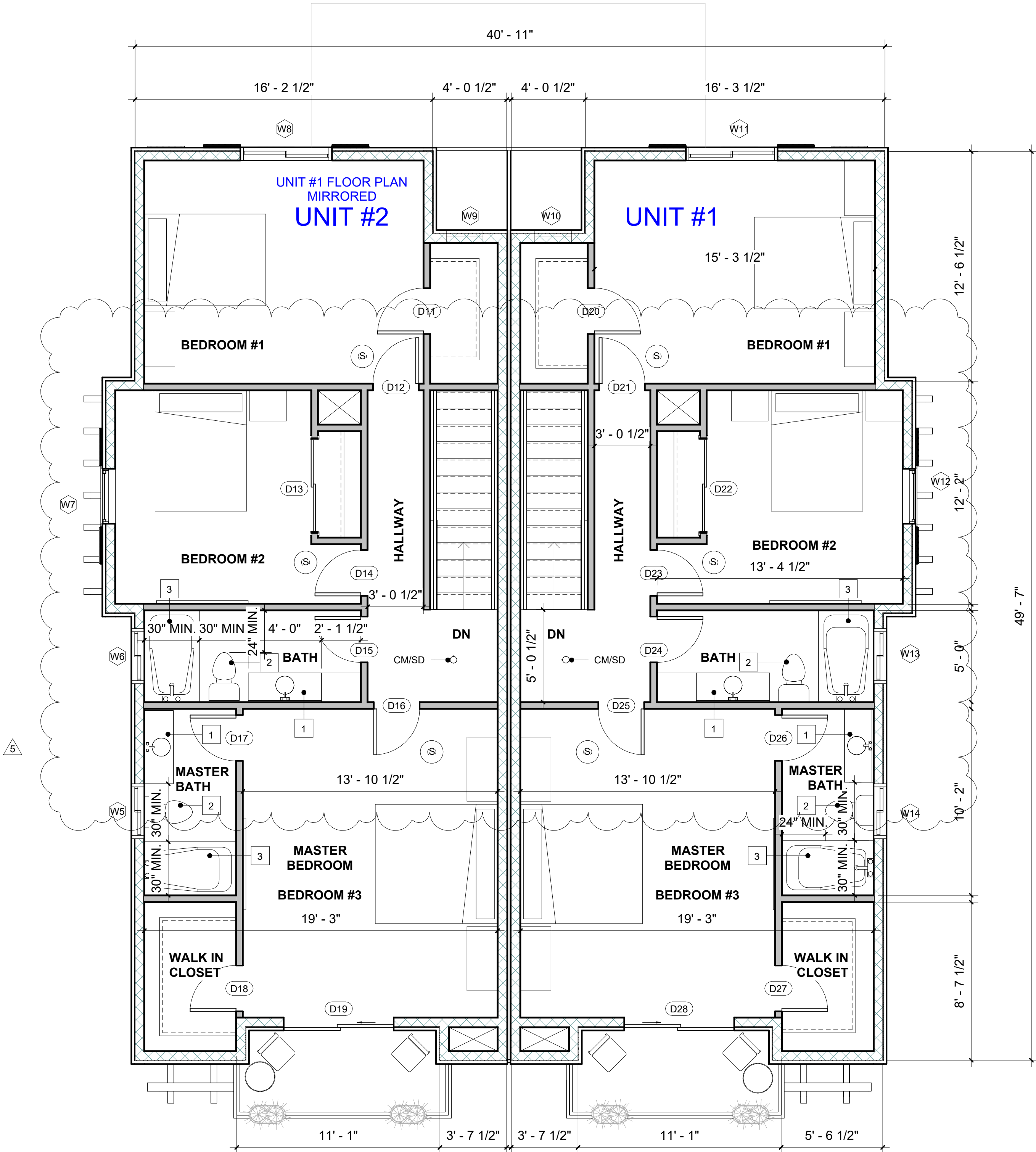
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NOTES

- OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOF USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS. DOORS SHALL BE SELF-LATCHING AND EQUIPPED WITH A SELF CLOSING OR AUTOMATIC CLOSING DEVICE. (R302.5)
- THE GARAGE AND/OR CARPORT SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION (R302.5). ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R702.3.5. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL. A SEPARATION IS NOT REQUIRED BETWEEN THE DWELLING UNIT AND A CARPORT, PROVIDED THE CARPORT IS ENTIRELY OPEN ON TWO OR MORE SIDES AND THERE ARE NOT ENCLOSED AREAS ABOVE (R302.6).
- ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYPSUM BOARD (R302.7).
- BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY (R310.1). THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES (610 MM). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES (508 MM). THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING (R310.2.2). EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118 MM) MEASURED FROM THE FLOOR (R310.2.3).
- SINGLE- OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED IN GROUPS R-2, R-2.1, R-2.2, R-3, R-3.1 AND R-4 REGARDLESS OF OCCUPANT LOAD AT ALL OF THE FOLLOWING LOCATIONS:
 - ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.
 - IN EACH ROOM USED FOR SLEEPING PURPOSES.
 - IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL (907.2.11.2)



PROPOSED 2ND FLOOR PLAN

1/4" = 1'-0"

(N) WINDOW SCHEDULE					
MARK	WIDTH	HEIGHT	SILL HEIGHT	TYPE COMMENTS	COMMENTS
W1	3'-0"	5'-0"	3'-0"	Vinyl Single Hung Window	Dual Glazed Glass
W2	4'-0"	5'-0"	3'-0"	Vinyl Sliding Window	Dual Glazed Glass
W3	4'-0"	5'-0"	3'-0"	Vinyl Sliding Window	Dual Glazed Glass
W4	3'-0"	5'-0"	3'-0"	Vinyl Single Hung Window	Dual Glazed Glass
W5	3'-0"	1'-6"	6'-5 1/2"	Vinyl Sliding Window	Dual Glazed Glass
W6	3'-0"	1'-6"	6'-5 1/2"	Vinyl Sliding Window	Dual Glazed Glass
W7	3'-0"	5'-0"	3'-0"	Vinyl Single Hung Window	Dual Glazed Glass
W8	5'-0"	5'-0"	3'-0"	Vinyl Sliding Window	Dual Glazed Glass
W9	2'-0"	2'-6"	5'-6"	Vinyl Fixed Window	Dual Glazed Glass
W10	2'-0"	2'-6"	5'-6"	Vinyl Fixed Window	Dual Glazed Glass
W11	5'-0"	5'-0"	3'-0"	Vinyl Sliding Window	Dual Glazed Glass
W12	3'-0"	5'-0"	3'-0"	Vinyl Single Hung Window	Dual Glazed Glass
W13	3'-0"	1'-6"	6'-5 1/2"	Vinyl Sliding Window	Dual Glazed Glass
W14	3'-0"	1'-6"	6'-5 1/2"	Vinyl Sliding Window	Dual Glazed Glass

KEYNOTE	
1	LAVATORY FAUCET TO HAVE A WATER EFFICIENCY OF 1.2 GPM @ 60 PSI
2	WATER CLOSET SHALL BE 1.28 GALLONS PER FLUSH MAXIMUM (24" MIN. CLEAR IN FRONT OF W.C. AND 30" CLEAR WIDTH SPACE, 15" MIN. CENTER LINE TO ANY WALL OR OBSTRUCTION ON EACH SIDE)
3	TUB, SHOWER OR TUB/SHOWER COMBINATION W/ 72" HIGH OF GREEN GYPSUM BOARD AT SURROUNDING WALLS. (FLOOR, WALLS AND COMPARTMENTS SHALL BE FINISHED WITH NON-ABSORBENT SURFACE TO A MIN. HEIGHT OF 72" ABOVE THE FLOOR.)

PRINCIPAL DESIGNER:



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P.O. BOX 850
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PH: (909) 239-8067
E: studio_roca@yahoo.com

NEW APARTMENT COMPLEX (10 UNITS)

1438 W 11TH ST, POMONA , CA 91766

CONTACT INFORMATION / OWNER
ELEVENT & BUENA VISTA LLC (323) 353-9335
1438 W 11TH ST, POMONA , CA 91766

PROJECT TITLE

SHEET TITLE

PROPOSED FLOOR
PLAN - DUPLEX
2ND FLOOR (UNITS
1 - 2)

REVISIONS

REV. #	DATE
5	04/26/2025
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JOB NO.:
013SFD2023

DATE: 4/26/2025 1:13:44 PM

DRAWN: RO

SCALE: As indicated

A1.2

013SFD2023

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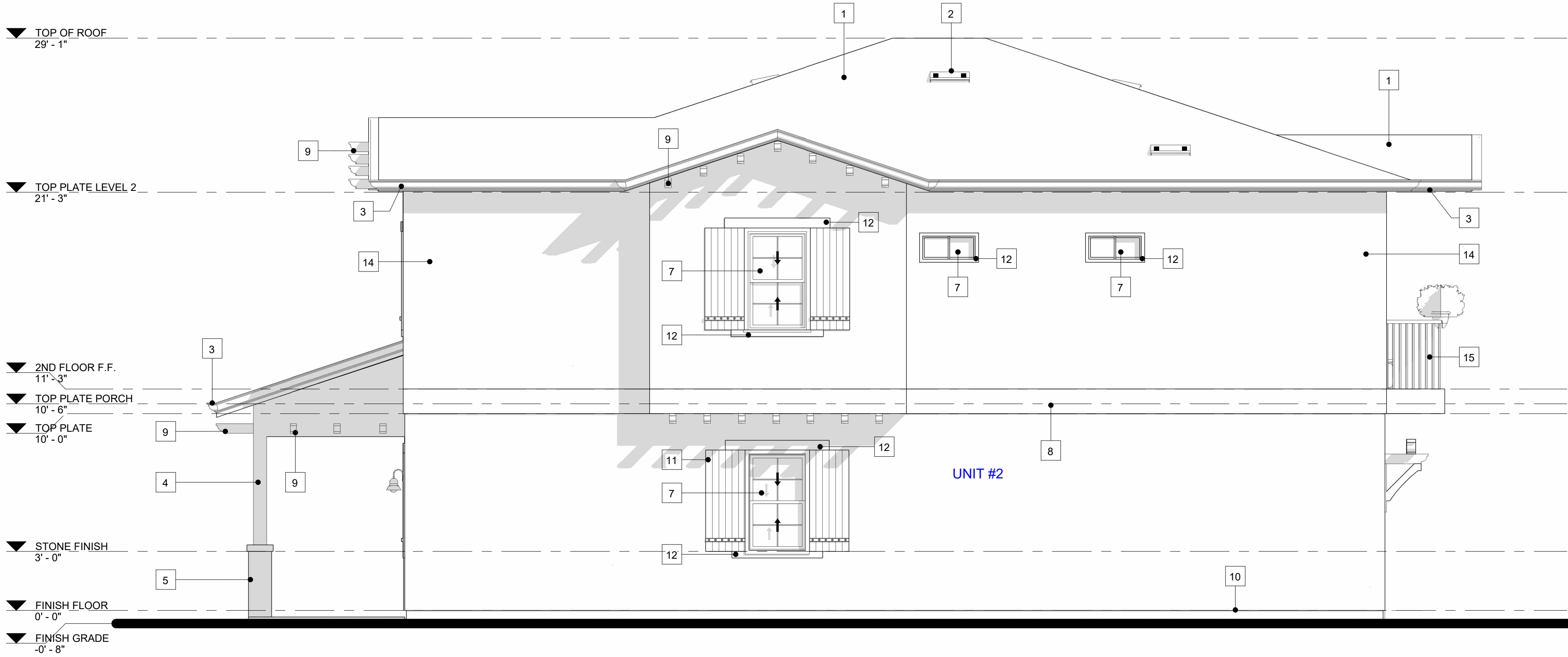
NOTES

- OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOF USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" IN THICKNESS. SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS. DOORS SHALL BE SELF-LATCHING AND EQUIPPED WITH A SELF CLOSING OR AUTOMATIC CLOSING DEVICE. (R302.5)
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1. ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.
2. IN EACH ROOM USED FOR SLEEPING PURPOSES.
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- TOP OF ROOF
29' - 1"
- TOP PLATE LEVEL 2
21' - 3"
- 2ND FLOOR F.F.
11' - 3"
- TOP PLATE PORCH
10' - 6"
- TOP PLATE
10' - 0"
- STONE FINISH
3' - 0"
- FINISH FLOOR
0' - 0"
- FINISH GRADE
-0' - 8"

NORTH ELEVATION (UNITS 1-2)

1/4" = 1'-0"

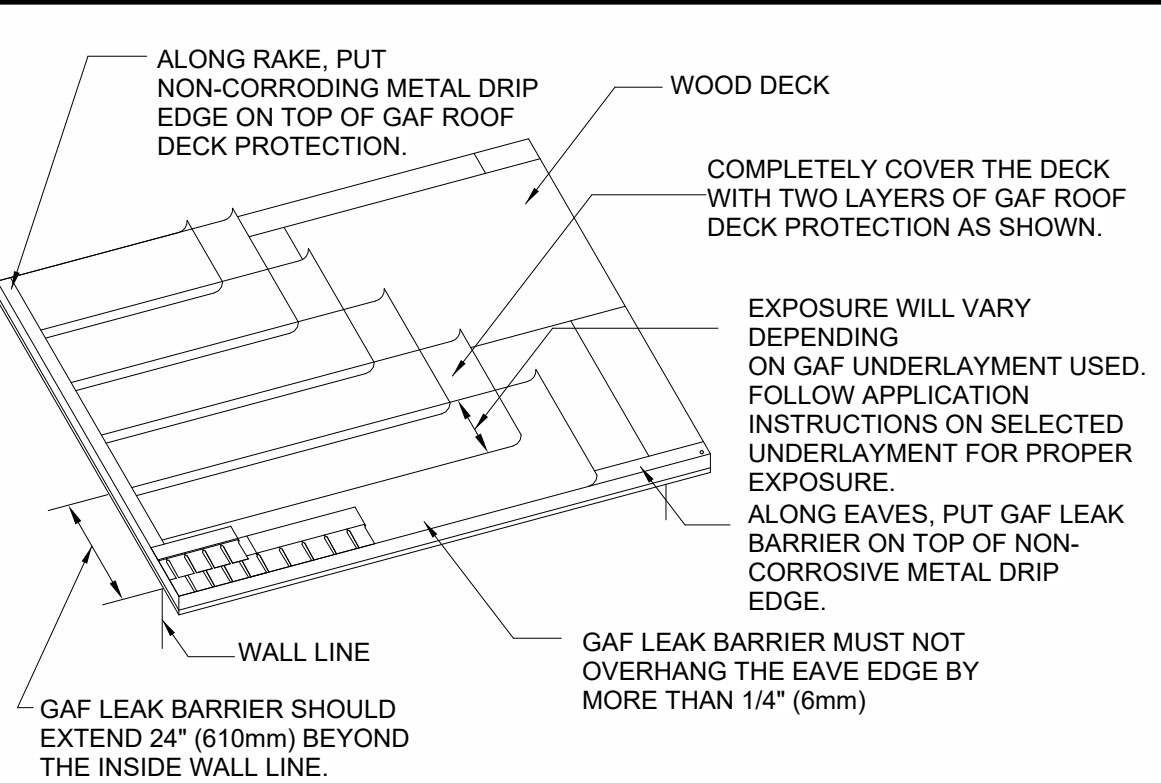


WEST ELEVATION (UNITS 1-2)

1/4" = 1'-0"

KEYNOTE

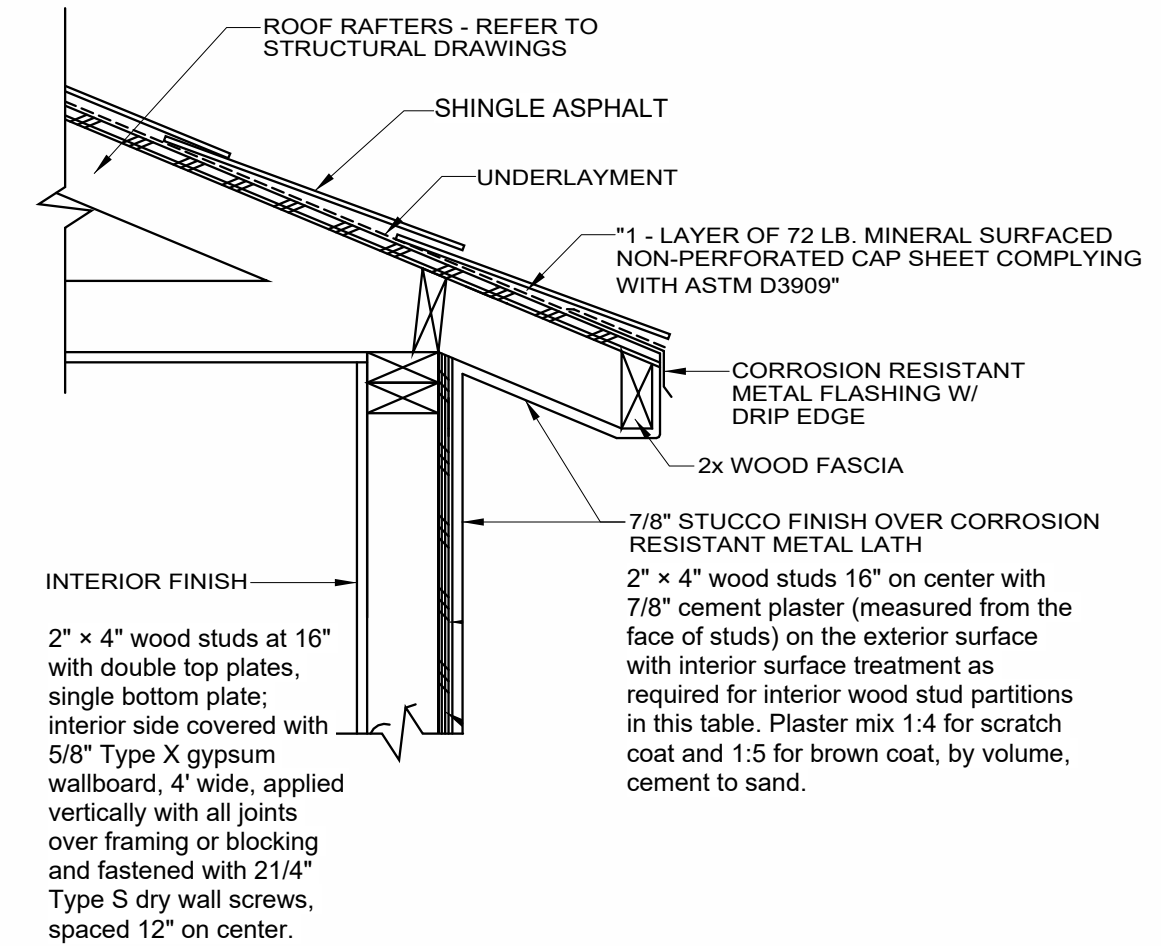
1	(N) EAGLE ROOF TILE CAPISTRANO S-PROFILES 900 LBS PER 100 SF CLASS 'A' UES ER-1900 UPDATED TO 2015 IRC/IBC OVER 2-LAYER OF 30 FELT UNDERLAYMENT.
2	(N) O'HAGIN ROOF FLAT VENTS
3	(N) FASCIA AROUND ROOF
4	(N) DECORATIVE WOOD COLUMN
5	(N) DECORATIVE STONE FINISH
6	(N) EXT. 7/8" STUCCO PLASTER (3-COATS) OVER GRADE 'D' PAPER ICC-ER ESR-2323 - COLOR AND MATERIAL TO MATCH PRIMARY UNIT
7	(N) WINDOW
8	(N) DECORATIVE WOOD TRIM INBETWEEN STUCCO AND SIDING FINISH
9	(N) DECORATIVE WOOD CORBELS
10	(N) CONTINUOUS GALVANIZED SHEET METAL WEEP SCREED
11	(N) DECORATIVE WOOD SHUTTERS
12	(N) DECORATIVE FOAM TRIM
13	(N) DOOR
14	(N) SIDING FINISH
15	(N) GUARDRAIL, 42" MIN. HT. W/ RAILS SPACED AT 4" O.C MAXIMUM.



A- UNDERLAYMENT LAYOUT

SCALE
N.T.S.

A3



ENCLOSE EAVE DETAIL1

SCALE
N.T.S.

A4

ELEVATION NOTES

- ALL DETAIL REFERENCES ARE TYPICAL AND APPLY TO ALL SIMILAR CONDITIONS WHETHER SPECIFICALLY REFERENCED OR NOT.
- ALL DIMENSIONS ARE TO FACE OF FRAMING U.N.O.
- ALL WINDOWS REQUIRED FOR EMERGENCY EXISTING FER C.R.C SHALL BE VERIFIED BY THE WINDOW SUBCONTRACTOR AND THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IF ANY REVISION TO WINDOW SIZES ARE REQUIRED PRIOR TO START OF CONSTRUCTION SAID WINDOW SHALL PROVIDE A CLEAR OPENING OF 5.7 SQ. FT. (MIN.), 20" CLEAR WIDTH (MIN.), AND 24" CLEAR HEIGHT (MIN.)
- EXTERIOR CEMENT PLASTER FINISH: LIGHT SAND WITH BULLNOSE CORNER BEAD AT ALL EXTERIOR - VERIFY WITH BUILDER.
- TWO LAYERS OF No 30 ASPHALT FELT, COMPLYING WITH ASTM D 226 FOR TYPE 1 FELT, OR OTHER APPROVED WATER-RESISTIVE BARRIER, IS REQUIRED FOR THE EXTERIOR. SUCH MATERIAL SHALL BE APPLIED HORIZONTALLY, WITH THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 2" AND WHERE JOIST OCCUR, THE MATERIAL SHALL BE LAPPED NO LESS THAN 6 INCHES. WHERE APPLIED OVER WOOD BASED SHEATING A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER IS REQUIRED. (R703.2, R703.7.3 CRC)
- THE GARAGE AND/OR CARPORT SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION R302.5. ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R702.3.5. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL. A SEPARATION IS NOT REQUIRED BETWEEN THE DWELLING UNIT AND A CARPORT, PROVIDED THE CARPORT IS ENTIRELY OPEN ON TWO OR MORE SIDES AND THERE ARE NOT ENCLOSED AREAS ABOVE.

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CONTACT INFORMATION / OWNER

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PROJECT TITLE

SHEET TITLE

EXTERIOR
ELEVATIONS -
DUPLEX NORTH &
WEST (UNITS 1 - 2)

REVISIONS

REV. #	DATE
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DATE: 1/11/2025 3:09:18 PM

DRAWN: RO

SCALE: As indicated

JOB NO.: 013SFD2023

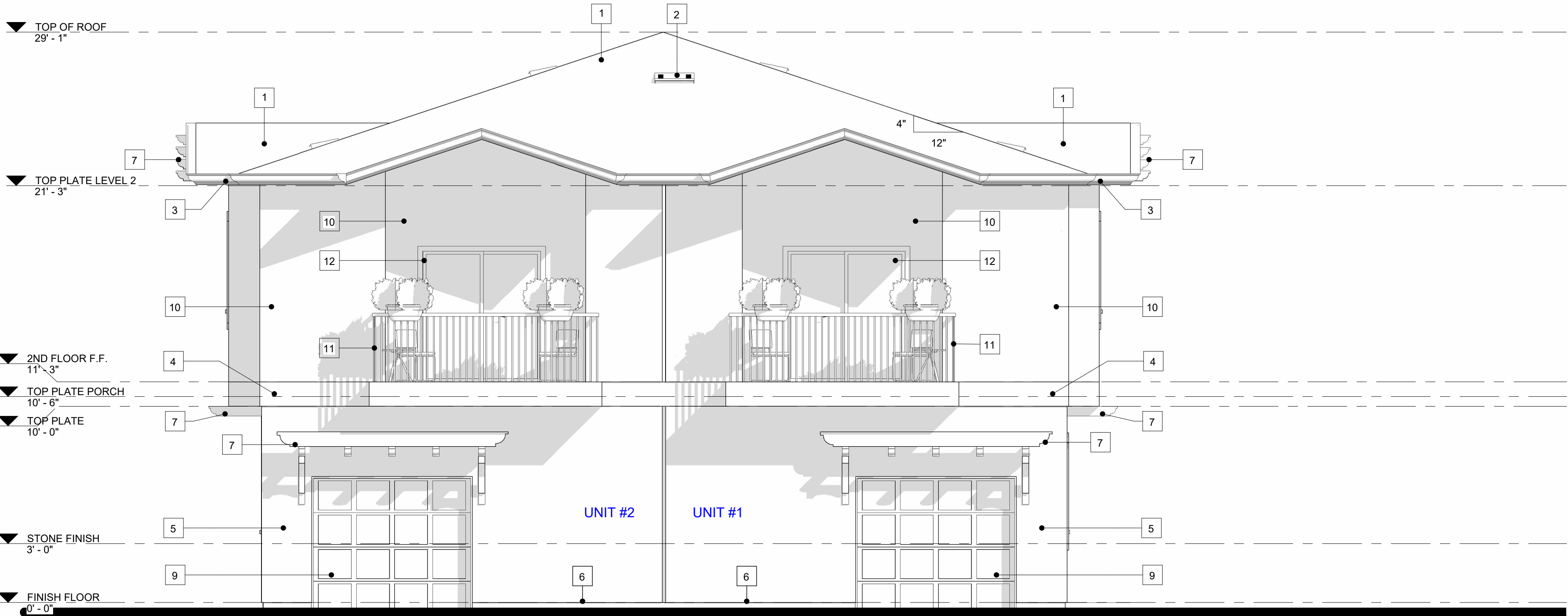
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013SFD2023

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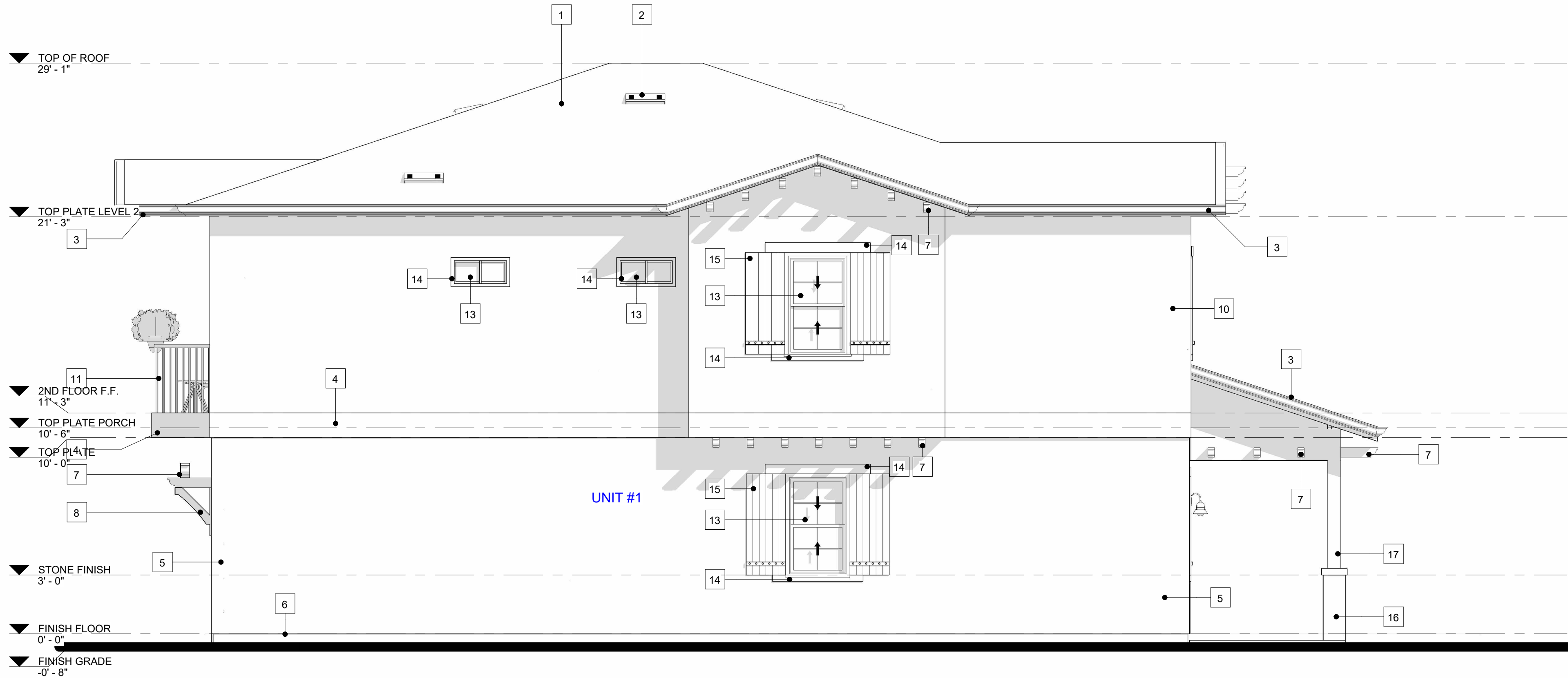
NOTES

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- BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY (R310.1). THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES (610 MM). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES (508 MM). THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING (R310.2.2). EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118 MM) MEASURED FROM THE FLOOR (R310.2.3).
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1. ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.
2. IN EACH ROOM USED FOR SLEEPING PURPOSES.
3. IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL (907.2.11.2)



SOUTH ELEVATION (UNITS 1-2)

1/4" = 1'-0"

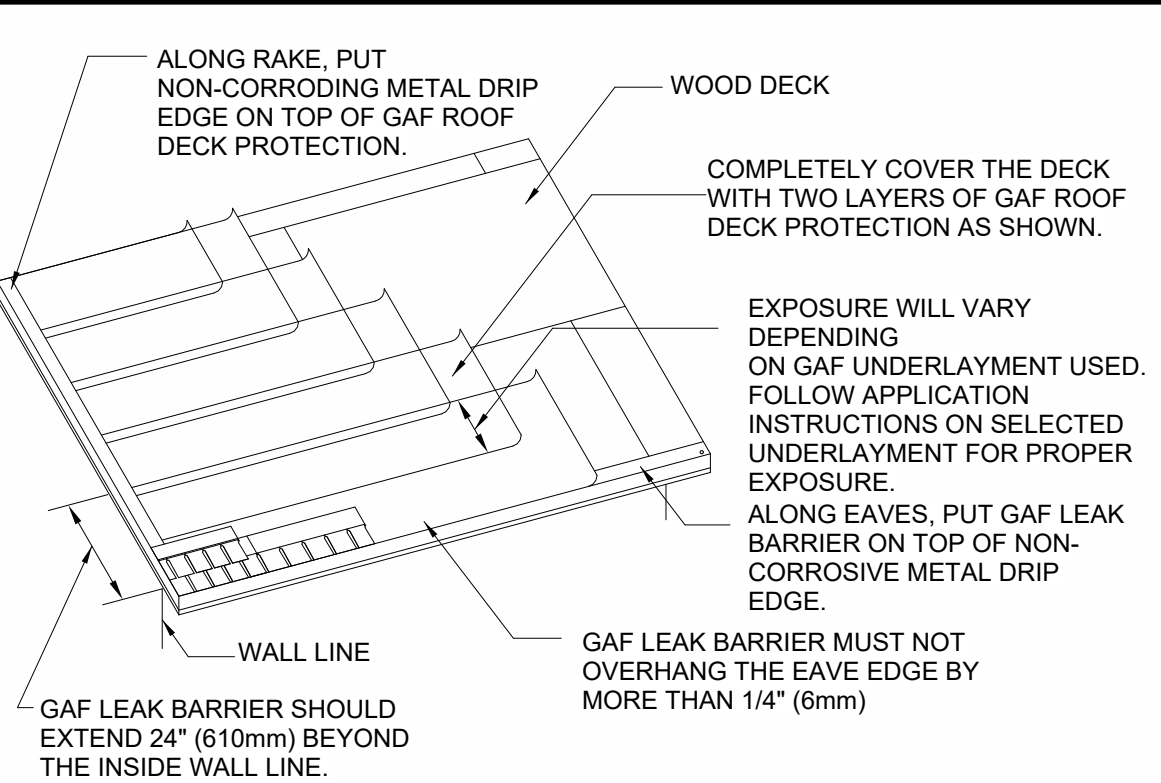


EAST ELEVATION (UNITS 1-2)

1/4" = 1'-0"

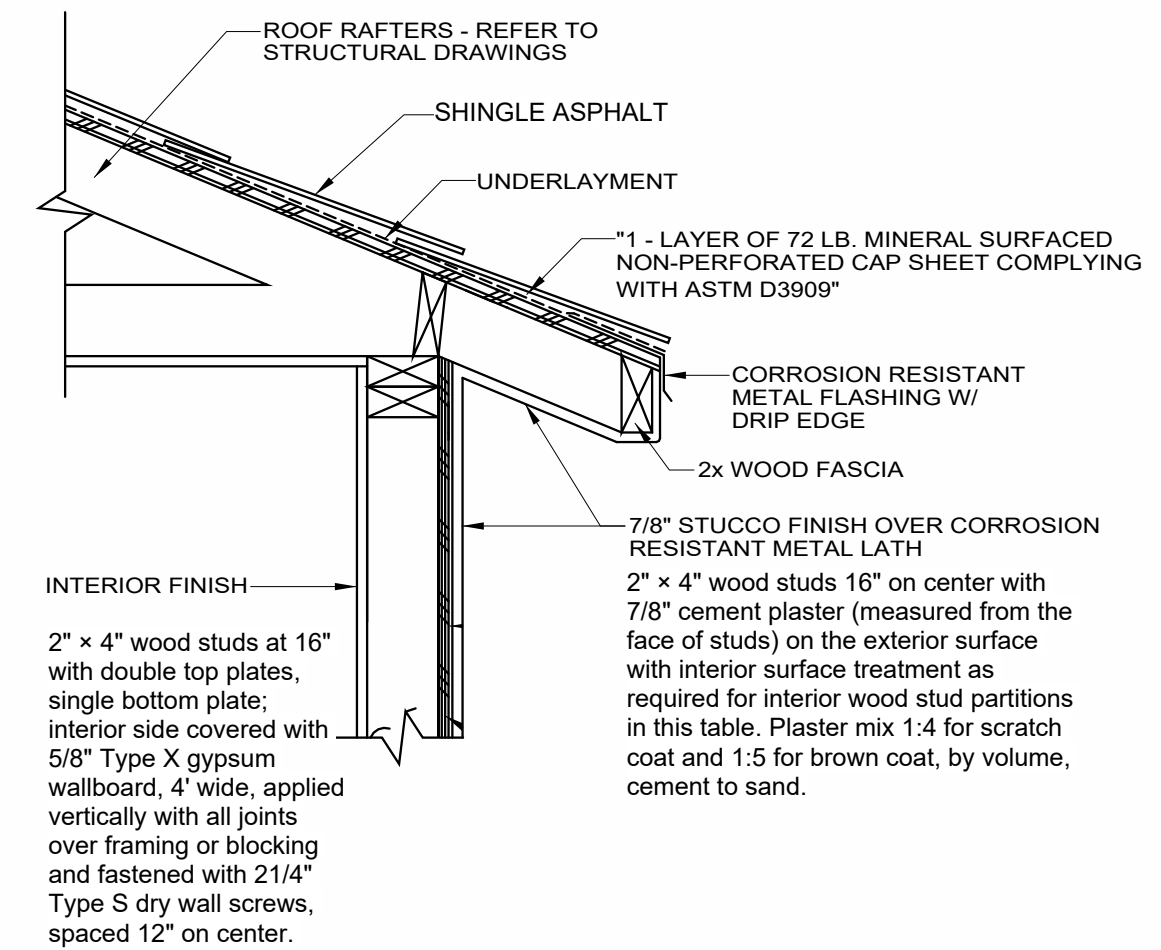
KEYNOTE

1	(N) EAGLE ROOF TILE CAPISTRANO S-PROFILES 900 LBS PER 100 SF CLASS 'A' UES ER-1900 UPDATED TO 2015 IRC/IBC OVER 2-LAYER OF 30 FELT UNDERLAYMENT.
2	(N) O'HAGIN VENTS
3	(N) FASCIA AROUND ROOF
4	(N) DECORATIVE WOOD TRIM INBETWEEN STUCCO AND SIDING FINISH
5	(N) EXT. 7/8" STUCCO PLASTER (3-COATS) OVER GRADE 'D' PAPER ICC-ER ESR-2323 - COLOR AND MATERIAL TO MATCH PRIMARY UNIT
6	(N) CONTINUOUS GALVANIZED SHEET METAL WEEP SCREED
7	(N) DECORATIVE WOOD CORBELS
8	(N) DECORATIVE WOOD BRACING
9	(N) GARAGE DOOR
10	(N) SIDING FINISH
11	(N) GUARDRAIL, 42" MIN. HT. W/ RAILS SPACED AT 4" O.C MAXIMUM.
12	(N) SLIDING DOOR
13	(N) WINDOW
14	(N) DECORATIVE FOAM TRIM
15	(N) DECORATIVE WOOD SHUTTERS
16	(N) DECORATIVE STONE FINISH
17	(N) DECORATIVE WOOD COLUMN



A- UNDERLAYMENT LAYOUT.

SCALE	A3
N.T.S.	



ENCLOSE EAVE DETAIL1.

SCALE	A4
N.T.S.	

ELEVATION NOTES.

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- ALL WINDOWS REQUIRED FOR EMERGENCY EXISTING FER C.R.C SHALL BE VERIFIED BY THE WINDOW SUBCONTRACTOR AND THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IF ANY REVISION TO WINDOW SIZES ARE REQUIRED PRIOR TO START OF CONSTRUCTION SAID WINDOW SHALL PROVIDE A CLEAR OPENING OF 5.7 SQ. FT. (MIN.), 20" CLEAR WIDTH (MIN.), AND 24" CLEAR HEIGHT (MIN.)
- EXTERIOR CEMENT PLASTER FINISH: LIGHT SAND WITH BULLNOSE CORNER BEAD AT ALL EXTERIOR - VERIFY WITH BUILDER.
- TWO LAYERS OF No 30 ASPHALT FELT, COMPLYING WITH ASTM D 226 FOR TYPE 1 FELT, OR OTHER APPROVED WATER-RESISTIVE BARRIER, IS REQUIRED FOR THE EXTERIOR. SUCH MATERIAL SHALL BE APPLIED HORIZONTALLY, WITH THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 2" AND WHERE JOIST OCCUR, THE MATERIAL SHALL BE LAPPED NO LESS THAN 6 INCHES. WHERE APPLIED OVER WOOD BASED SHEATING A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER IS REQUIRED. (R703.2, R703.7.3 CRC)
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CONTACT INFORMATION / OWNER

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1438 W 11TH ST, POMONA, CA 91766

PROJECT TITLE

SHEET TITLE

EXTERIOR
ELEVATIONS -
DUPELX SOUTH &
EAST (UNITS 1 - 2)

REVISIONS

REV. #	DATE
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DATE: 1/11/2025 3:09:29 PM

DRAWN: RO

SCALE: As indicated

JOB NO.: 013SFD2023

A2.2

013SFD2023

NOTICE: WRITTEN DIMENSIONS OF THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. THESE DRAWINGS AND LAYOUTS ARE NOT TO BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF STUDIO ROCA, INC.

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- TOP OF ROOF
29' - 1"
- TOP PLATE LEVEL 2
21' - 3"
- 2ND FLOOR F.F.
11' - 3"
- TOP PLATE PORCH
10' - 6"
- TOP PLATE
10' - 0"
- STONE FINISH
3' - 0"
- FINISH FLOOR
0' - 0"
- FINISH GRADE
-0' - 8"

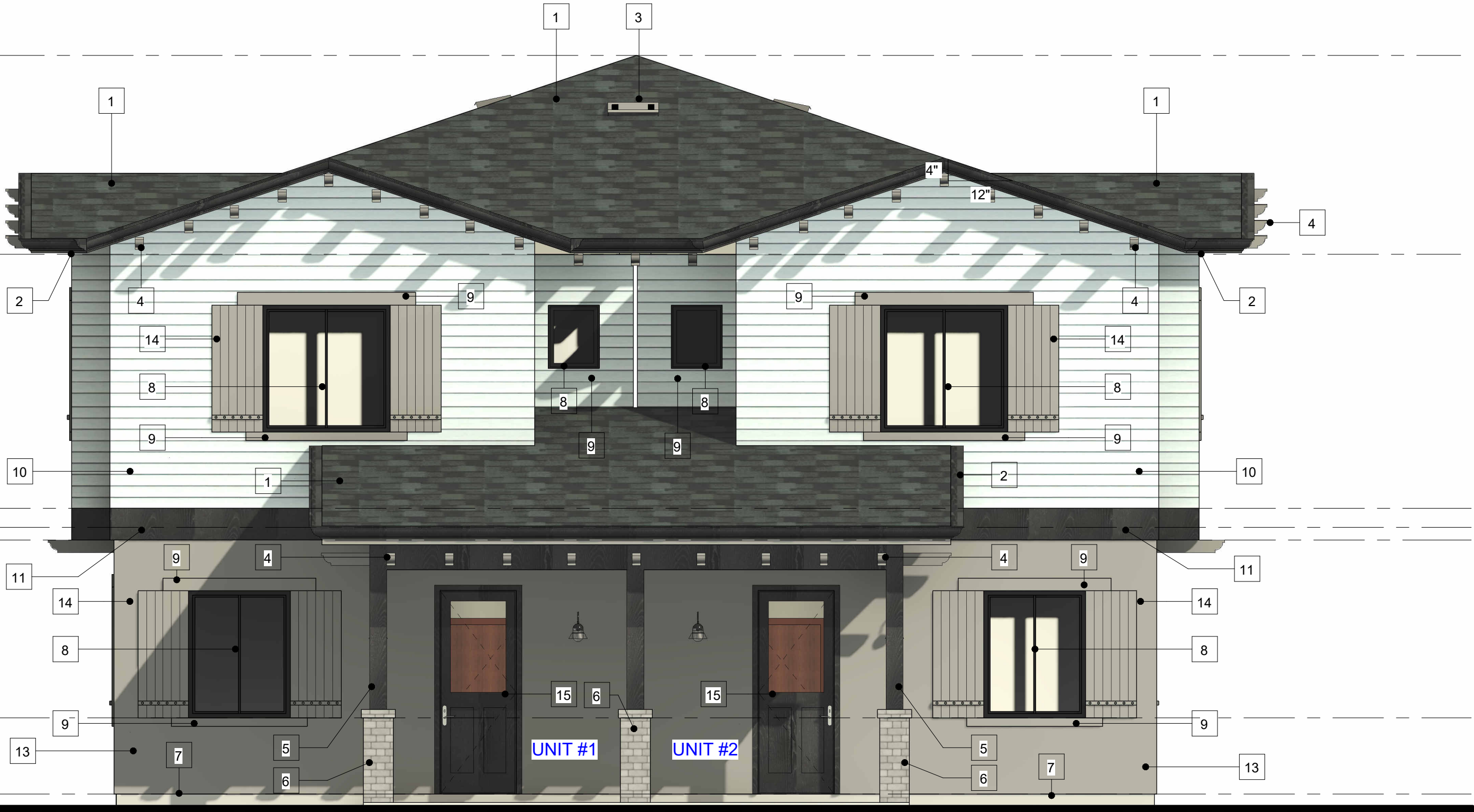
NORTH COLOR ELEVATION
(UNITS 1-2)

1/4" = 1'-0"

- TOP OF ROOF
29' - 1"
- TOP PLATE LEVEL 2
21' - 3"
- 2ND FLOOR F.F.
11' - 3"
- TOP PLATE PORCH
10' - 6"
- TOP PLATE
10' - 0"
- STONE FINISH
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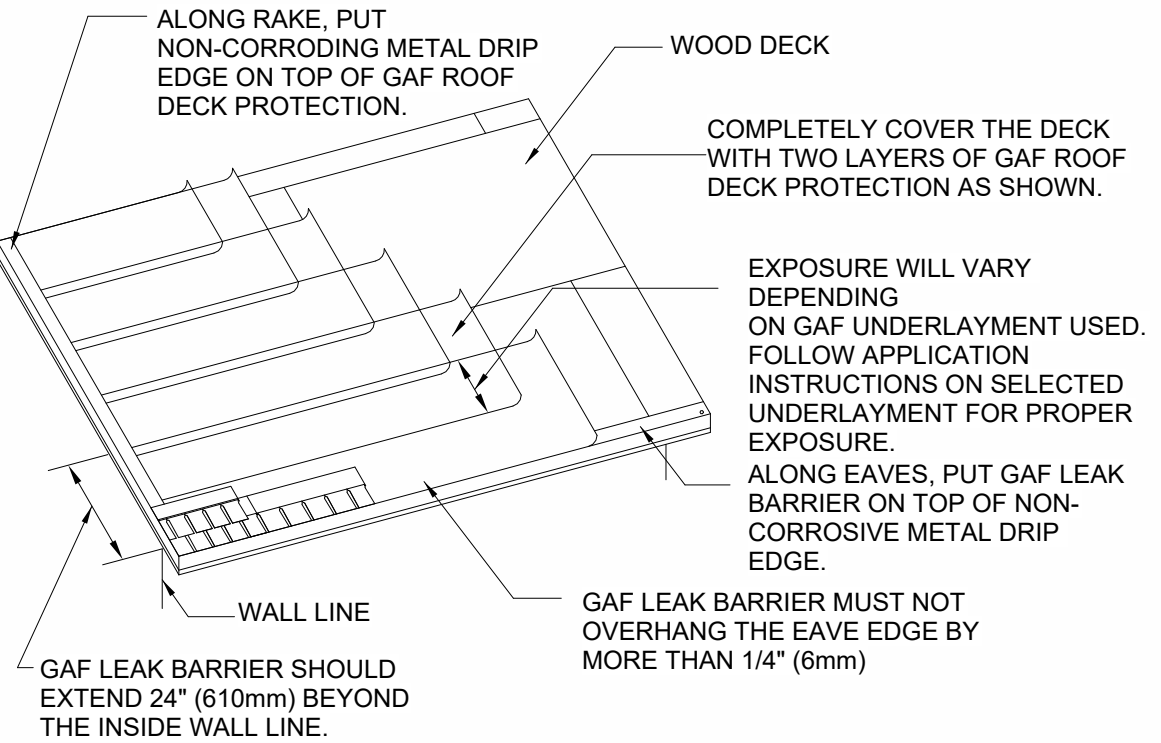
WEST COLOR ELEVATION
(UNITS 1-2)

1/4" = 1'-0"



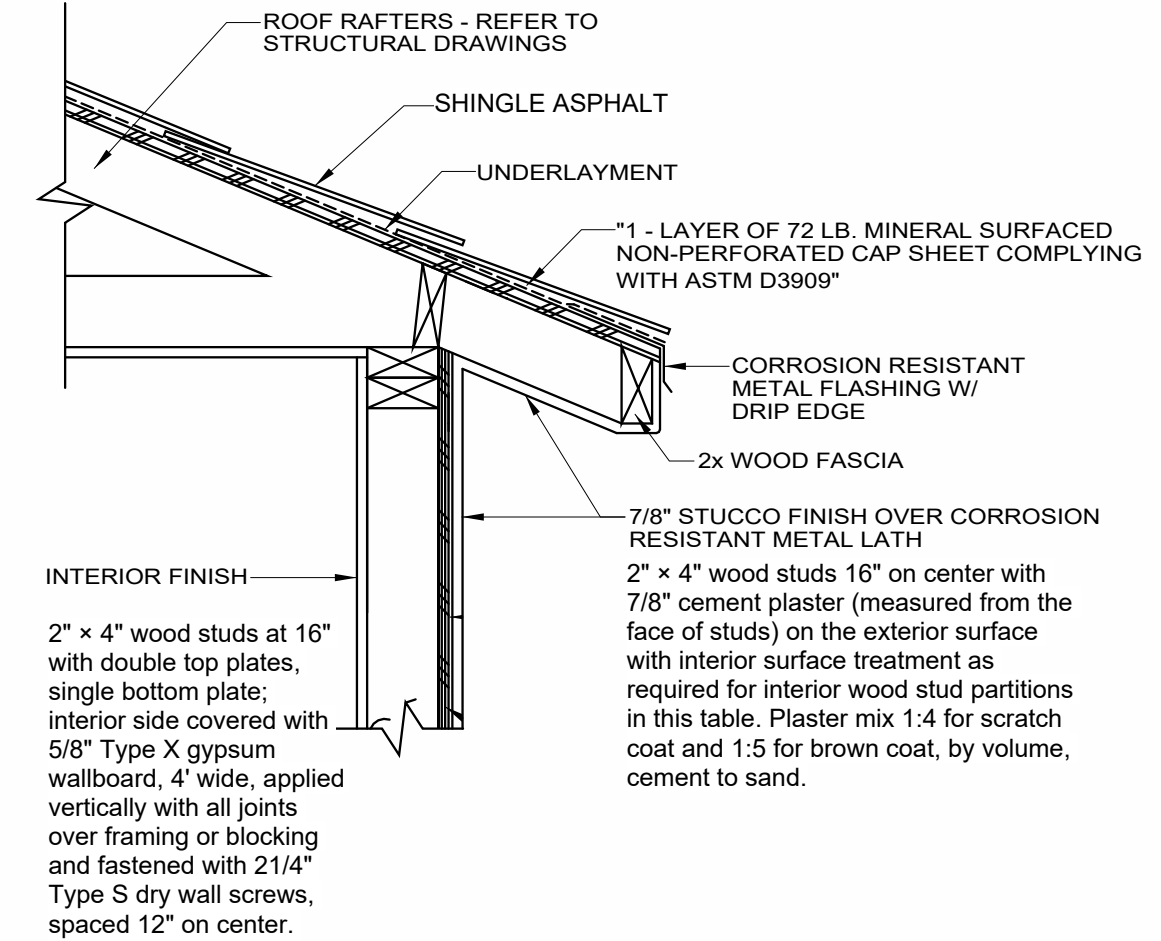
KEYNOTE

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4	(N) DECORATIVE WOOD CORBELS
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6	(N) DECORATIVE STONE FINISH
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9	(N) DECORATIVE FOAM TRIM
10	(N) SIDING FINISH
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12	(N) GUARDRAIL, 42" MIN. HT. W/ RAILS SPACED AT 4" O.C MAXIMUM.
13	(N) EXT. 7/8" STUCCO PLASTER (3-COATS) OVER GRADE 'D' PAPER ICC-ER ESR-2323 - COLOR AND MATERIAL TO MATCH PRIMARY UNIT
14	(N) DECORATIVE WOOD SHUTTERS
15	(N) DOOR



A- UNDERLAYMENT LAYOUT..

SCALE	A3
N.T.S.	



ENCLOSE EAVE DETAIL1..

SCALE	A4
N.T.S.	

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PH: (909) 239-8067
E: studio_roca@yahoo.com

NEW APARTMENT COMPLEX (10 UNITS)

1438 W 11TH ST, POMONA , CA 91766

CONTACT INFORMATION / OWNER

ELEVENT & BUENA VISTA LLC (323) 353-9335

1438 W 11TH ST, POMONA , CA 91766

PROJECT TITLE

SHEET TITLE

EXTERIOR COLOR
ELEVATIONS -
DUPEX NORTH &
WEST (UNITS 1 - 2)

REVISIONS

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DATE: 1/11/2025 3:09:42 PM

DRAWN: RO

SCALE: As indicated

JOB NO.: 013SFD2023

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NOTES

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**SOUTH COLOR ELEVATION
(UNITS 1-2)**

1/4" = 1'-0"

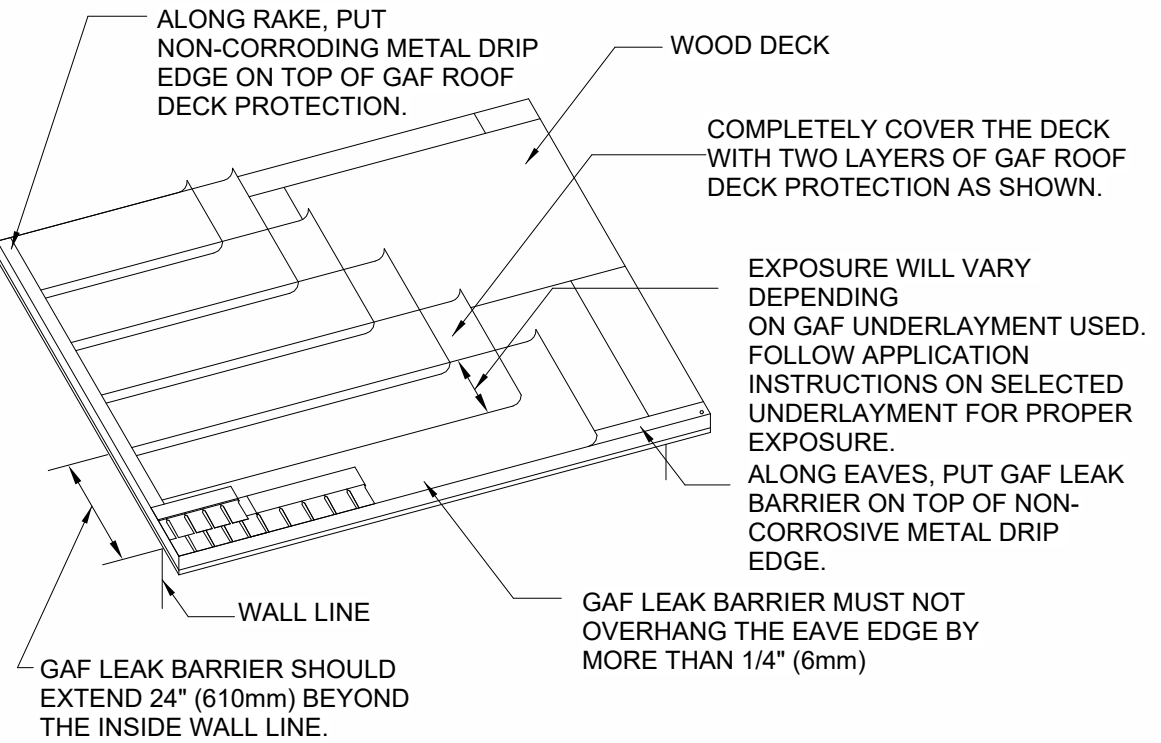


**EAST COLOR ELEVATION
(UNITS 1-2)**

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KEYNOTE

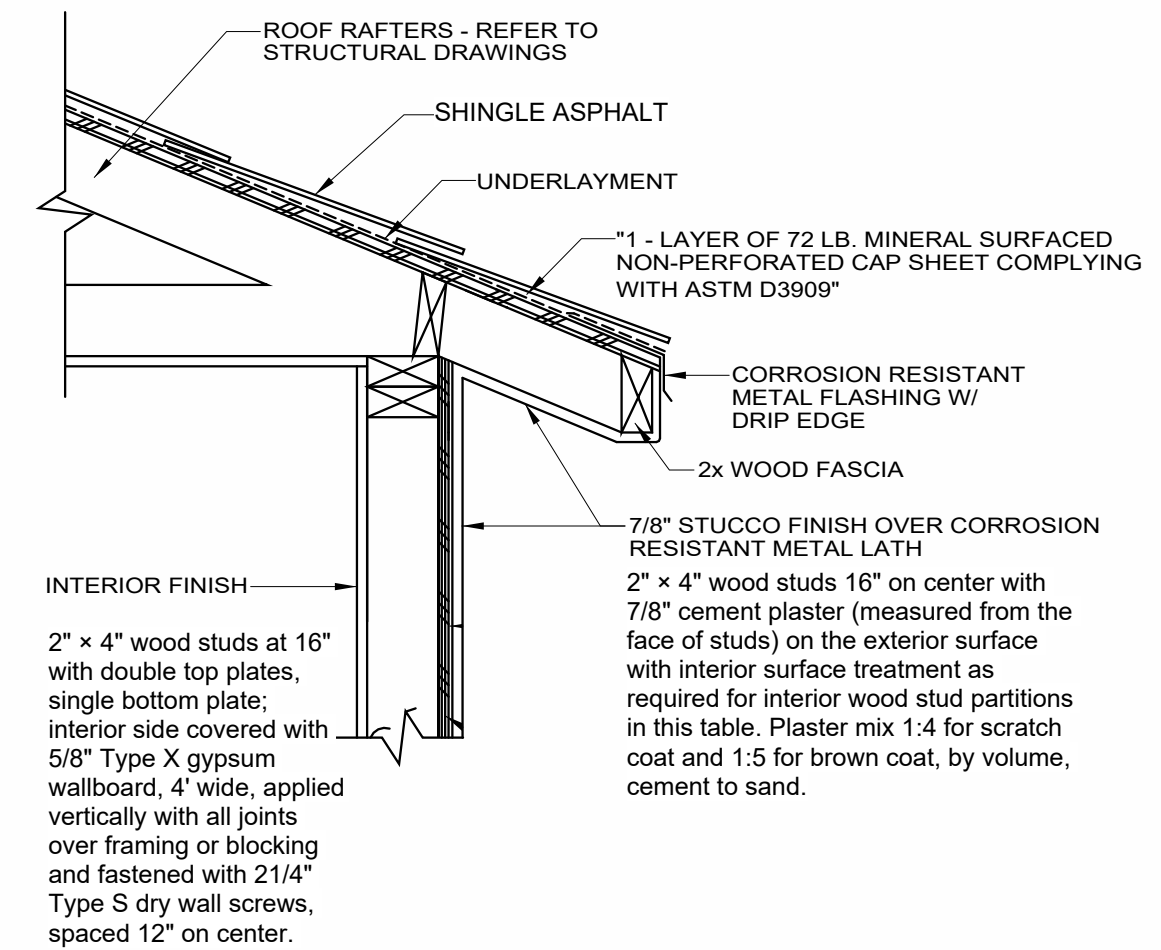
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3	(N) FASCIA AROUND ROOF
4	(N) DECORATIVE WOOD TRIM INBETWEEN STUCCO AND SIDING FINISH
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10	(N) WINDOW
11	(N) DECORATIVE FOAM TRIM
12	(N) DECORATIVE WOOD SHUTTERS
13	(N) DECORATIVE STONE FINISH
14	(N) DECORATIVE WOOD COLUMN
15	(N) SIDING FINISH
16	(N) GARAGE DOOR
17	(N) SLIDING DOOR



A- UNDERLAYMENT LAYOUT...

SCALE
N.T.S.

A3



ENCLOSE EAVE DETAIL1...

SCALE
N.T.S.

A4

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ELEVATIONS -
DUPLEX SOUTH &
EAST (UNITS 1 - 2)**

REVISIONS

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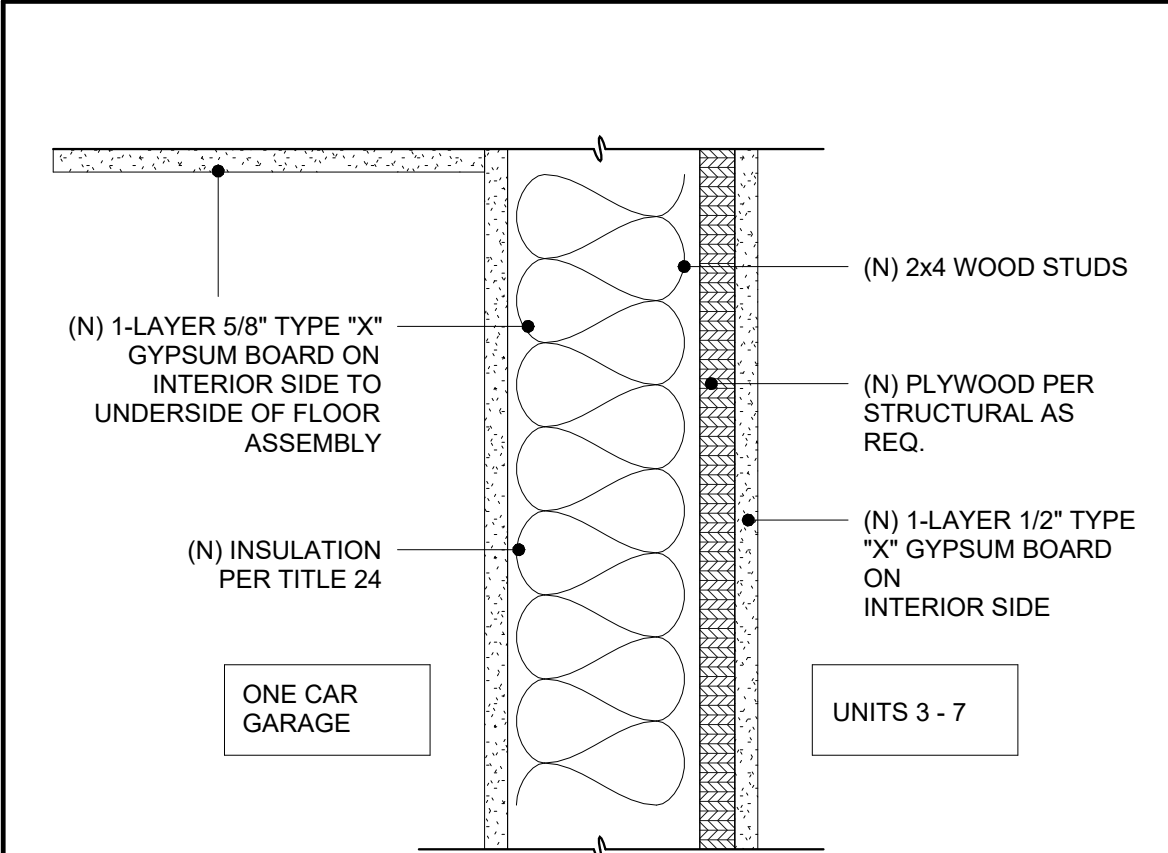
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(N) WINDOW SCHEDULE					
MARK	WIDTH	HEIGHT	SILL HEIGHT	TYPE COMMENTS	COMMENTS
W1	4' - 0"	4' - 0"	4' - 0"	Vinyl Sliding Window	Dual Glazed Glass
W2	2' - 0"	3' - 0"	5' - 0"	Vinyl Single Hung	Dual Glazed Glass
W3	4' - 0"	3' - 0"	3' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W4	4' - 0"	3' - 0"	3' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W5	4' - 0"	3' - 0"	3' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W6	4' - 0"	3' - 0"	3' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W7	4' - 0"	3' - 0"	3' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W8	4' - 0"	4' - 0"	3' - 0"	Vinyl Sliding Window	Dual Glazed Glass
W9	2' - 0"	4' - 0"	3' - 0"	Vinyl Single Hung	Dual Glazed Glass
W10	2' - 0"	3' - 0"	4' - 0"	Vinyl Single Hung	Dual Glazed Glass
W11	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W12	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W13	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W14	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W15	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W16	3' - 0"	1' - 6"	5' - 2"	Vinyl Sliding Window	Dual Glazed Glass
W17	3' - 0"	1' - 6"	5' - 2"	Vinyl Sliding Window	Dual Glazed Glass
W18	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W19	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W20	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W21	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W22	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W23	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W24	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W25	3' - 0"	1' - 6"	5' - 2"	Vinyl Sliding Window	Dual Glazed Glass
W26	2' - 0"	3' - 0"	3' - 8"	Vinyl Single Hung	Dual Glazed Glass
W27	3' - 0"	1' - 6"	5' - 2"	Vinyl Sliding Window	Dual Glazed Glass
W28	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W29	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W30	3' - 0"	1' - 6"	5' - 2"	Vinyl Sliding Window	Dual Glazed Glass
W31	3' - 0"	1' - 6"	5' - 2"	Vinyl Sliding Window	Dual Glazed Glass
W32	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass

(N) DOOR SCHEDULE					
MARK	WIDTH	HEIGHT	FINISH	COMMENTS	
D1	16' - 0"	7' - 0"	Pre - Fab Garage Metal Door	2-Car	
D2	5' - 0"	6' - 8"	Solid Core 1 3/8" Thick	Swing W/ Sidehlights - Self Latching	
D3	2' - 8"	6' - 8"	Solid Core 1 3/4" Thick	Swing - Self Latching	
D4	2' - 4"	6' - 8"	Hollow Core	Swing	
D5	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door	
D6	2' - 8"	6' - 8"	Hollow Core	Swing	
D7	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door	
D8	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door	
D9	2' - 4"	6' - 8"	Hollow Core	Pocket Door	
D10	2' - 4"	6' - 8"	Hollow Core	Swing - Self Latching	
D11	2' - 6"	6' - 8"	Hollow Core	Swing	
D12	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door	
D13	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door	
D14	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door	
D15	2' - 6"	6' - 8"	Hollow Core	Swing	
D16	2' - 4"	6' - 8"	Hollow Core	Swing	
D17	2' - 4"	6' - 8"	Hollow Core	Swing	
D18	2' - 8"	6' - 8"	Hollow Core	Swing	
D19	16' - 0"	7' - 0"	Pre - Fab Garage Metal Door	2-Car	
D20	2' - 8"	6' - 8"	Solid Core 1 3/4" Thick	Swing - Self Latching	
D21	2' - 4"	6' - 8"	Hollow Core	Swing	
D22	2' - 6"	6' - 8"	Tempered Glass	Vinyl Sliding Door	
D23	4' - 0"	6' - 8"	Hollow Core	Swing	
D24	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door	
D25	2' - 6"	6' - 8"	Hollow Core	Sliding Closet Door	
D26	2' - 4"	6' - 8"	Hollow Core	Swing	
D27	2' - 4"	6' - 8"	Hollow Core	Swing	
D28	2' - 4"	6' - 8"	Hollow Core	Swing	
D29	2' - 8"	6' - 8"	Hollow Core	Swing	
D30	2' - 8"	6' - 8"	Hollow Core	Swing	
D31	2' - 4"	6' - 8"	Hollow Core	Pocket Door	
D32	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door	
D33	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door	
D34	5' - 0"	6' - 8"	Solid Core 1 3/8" Thick	Swing W/ Sidehlights - Self Latching	
D35	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door	
D36	16' - 0"	7' - 0"	Pre - Fab Garage Metal Door	2-Car	
D37	2' - 8"	6' - 8"	Solid Core 1 3/4" Thick	Swing - Self Latching	
D38	2' - 4"	6' - 8"	Hollow Core	Swing	
D39	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door	
D40	2' - 6"	6' - 8"	Hollow Core	Swing	
D41	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door	
D42	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door	
D43	2' - 6"	6' - 8"	Hollow Core	Swing	
D44	2' - 4"	6' - 8"	Hollow Core	Swing	
D45	2' - 4"	6' - 8"	Hollow Core	Swing	
D46	2' - 4"	6' - 8"	Hollow Core	Swing	
D47	2' - 8"	6' - 8"	Hollow Core	Swing	
D48	2' - 8"	6' - 8"	Hollow Core	Swing	
D49	2' - 4"	6' - 8"	Hollow Core	Pocket Door	
D50	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door	
D51	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door	
D52	5' - 0"	6' - 8"	Solid Core 1 3/8" Thick	Swing W/ Sidehlights - Self Latching	
D53	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door	
D54	16' - 0"	7' - 0"	Pre - Fab Garage Metal Door	2-Car	
D55	2' - 8"	6' - 8"	Solid Core 1 3/4" Thick	Swing - Self Latching	
D56	2' - 8"	6' - 8"	Hollow Core	Swing	
D57	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door	
D58	2' - 6"	6' - 8"	Hollow Core	Swing	
D59	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door	
D60	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door	
D61	2' - 6"	6' - 8"	Hollow Core	Swing	
D62	2' - 4"	6' - 8"	Hollow Core	Swing	
D63	2' - 4"	6' - 8"	Hollow Core	Swing	
D64	2' - 4"	6' - 8"	Hollow Core	Swing	
D65	2' - 8"	6' - 8"	Hollow Core	Swing	
D66	2' - 8"	6' - 8"	Hollow Core	Swing	
D67	2' - 4"	6' - 8"	Hollow Core	Pocket Door	
D68	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door	
D69	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door	
D70	5' - 0"	6' - 8"	Solid Core 1 3/8" Thick	Swing W/ Sidehlights - Self Latching	
D71	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door	
D72	16' - 0"	7' - 0"	Pre - Fab Garage Metal Door	2-Car	
D73	2' - 8"	6' - 8"	Solid Core 1 3/4" Thick	Swing - Self Latching	
D74	2' - 4"	6' - 8"	Hollow Core	Swing	
D75	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door	
D76	2' - 6"	6' - 8"	Hollow Core	Swing	
D77	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door	
D78	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door	
D79	2' - 6"	6' - 8"	Hollow Core	Swing	
D80	2' - 4"	6' - 8"	Hollow Core	Swing	
D81	2' - 4"	6' - 8"	Hollow Core	Swing	
D82	2' - 4"	6' - 8"	Hollow Core	Swing	
D83	2' - 8"	6' - 8"	Hollow Core	Swing	
D84	2' - 8"	6' - 8"	Hollow Core	Swing	
D85	2' - 4"	6' - 8"	Hollow Core	Pocket Door	
D86	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door	
D87	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door	
D88	5' - 0"	6' - 8"	Solid Core 1 3/8" Thick	Swing W/ Sidehlights - Self Latching	
D89	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door	



PRINCIPAL DESIGNER:



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PROJECT TITLE

FIVEPLEX (UNITS 3-7)

1438 W 11TH ST & BUENA VISTA AVE, POMONA, CA 91766

CONTACT INFORMATION / OWNER

ELEVENTH & BUENA VISTA LLC (323) 353-9335

1438 W 11TH ST & BUENA VISTA AVE, POMONA, CA 91766

009ADU2022

SHEET TITLE

DOOR SCHEDULE -
(UNITS 3 - 7) + 1 HR
RATED DETAIL

REVISIONS

REV. #	DATE
5	04/26/2025

DATE: 4/26/2025 1:29:38 PM
DRAWN: RO
SCALE: 3" = 1'-0"

1 - HR FIRE SEPARATION

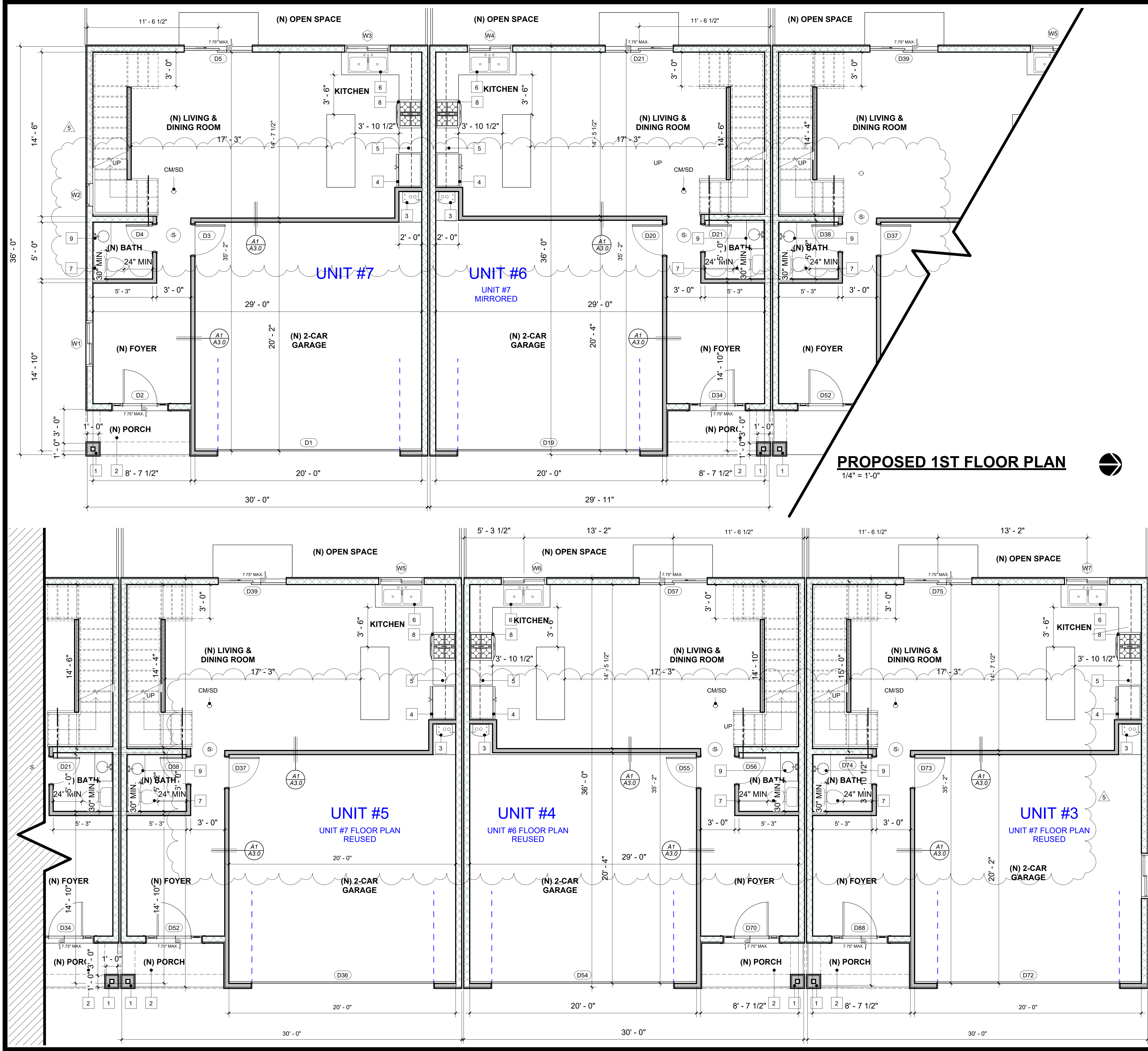
SCALE
N.T.S.

A1

JOB NO.:
009ADU2022

A3.0

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PROPOSED 1ST FLOOR PLAN
1/4" = 1'-0"

KEYNOTE

1	BUILT-UP COLUMN
2	3'-0" DEEP MIN. x 3-1/2" THICK CONCRETE LANDING (SLOPE SHALL NOT EXCEED 1/4 INCH PER FOOT)
3	WATER HEATER RINNAL TANK-LESS 199,000 BTU/HR 0.93 UNIFORM ENERGY FACTOR, NATURAL GAS NON-CONDENSING
4	42" WIDE REFRIGERATOR SPACE (PROVIDE WATER-SUPPLY STUB-OUT AND SHUTOFF VALVE RECESSED IN WALL FOR ICE MAKER)
5	KITCHEN CABINETS
6	DOUBLE SINK WITH GARBAGE DISPOSAL
7	WATER CLOSET SHALL BE 1.28 GALLONS PER FLUSH MAXIMUM (24" MIN. CLEAR IN FRONT OF W.C. AND 30" CLEAR WIDTH SPACE, 15" MIN. CENTER LINE TO ANY WALL OR OBSTRUCTION ON EACH SIDE)
8	SLIDE-IN RANGE WITH 100 CFM EXHAUST HOOD (HOOD MUST BE DUCTED TO OUTSIDE) SHALL HAVE A VERTICAL CLEARANCE OF 30" (CMC 921.3.2, 921.4)
9	LAVATORY FAUCET TO HAVE A WATER EFFICIENCY OF 1.2 GPM @ 60 PSI

WALL LEGEND

	EXTERIOR WALL <ol style="list-style-type: none">EXTERIOR 7/8" STUCCO PLASTER (3-COATS)GRADE 'D' PAPER ICC-ER ESR-2375WALL SHEATHING (WHERE OCCURS)2X4" STUDS @ 16" O.C. EXTERIOR WALL1/2" GYPSUM BOARD UP TO CEILING
	INTERIOR WALL <ol style="list-style-type: none">1/2" GYPSUM BOARD EACH SIDE2X4" STUDS @ 16" O.C. INTERIOR WALL
	EXTERIOR WALL <ol style="list-style-type: none">EXTERIOR 7/8" STUCCO PLASTER (3-COATS)GRADE 'D' PAPER ICC-ER ESR-2375WALL SHEATHING (WHERE OCCURS)2X6" STUDS @ 16" O.C. EXTERIOR WALL1/2" GYPSUM BOARD UP TO CEILING
	PLUMBING WALL <ol style="list-style-type: none">1/2" GYPSUM BOARD EACH SIDE2X6" STUDS @ 16" O.C. INTERIOR WALL

NOTES

- OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOF USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS. DOORS SHALL BE SELF-LATCHING AND EQUIPPED WITH A SELF CLOSING OR AUTOMATIC CLOSING DEVICE. (R302.5)
- THE GARAGE AND/OR CARPORT SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION (R302.5). ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R702.3.5. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL. A SEPARATION IS NOT REQUIRED BETWEEN THE DWELLING UNIT AND A CARPORT, PROVIDED THE CARPORT IS ENTIRELY OPEN ON TWO OR MORE SIDES AND THERE ARE NOT ENCLOSED AREAS ABOVE (R302.6).
- ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYPSUM BOARD (R302.7).
- BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY (R310.1). THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES (610 MM). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES (508 MM). THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING (R310.2.2). EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118 MM) MEASURED FROM THE FLOOR (R310.2.3).
- SINGLE- OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED IN GROUPS R-2, R-2.1, R-2.2, R-3, R-3.1 AND R-4 REGARDLESS OF OCCUPANT LOAD AT ALL OF THE FOLLOWING LOCATIONS:
 - ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.
 - IN EACH ROOM USED FOR SLEEPING PURPOSES.
 - IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL (907.2.11.2).

PRINCIPAL DESIGNER:



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FIVEPLEX (UNITS 3-7)

1438 W 11TH ST & BUENA VISTA AVE, POMONA, CA 91766

CONTACT INFORMATION / OWNER

ELEVENTH & BUENA VISTA LLC (323) 353-9335

1438 W 11TH ST & BUENA VISTA AVE, POMONA, CA 91766

PROJECT TITLE

SHEET TITLE

PROPOSED FLOOR PLAN - FIVEPLEX 1ST FLOOR (UNITS 3 - 7)

REVISIONS

REV. #	DATE
5	04/26/2025

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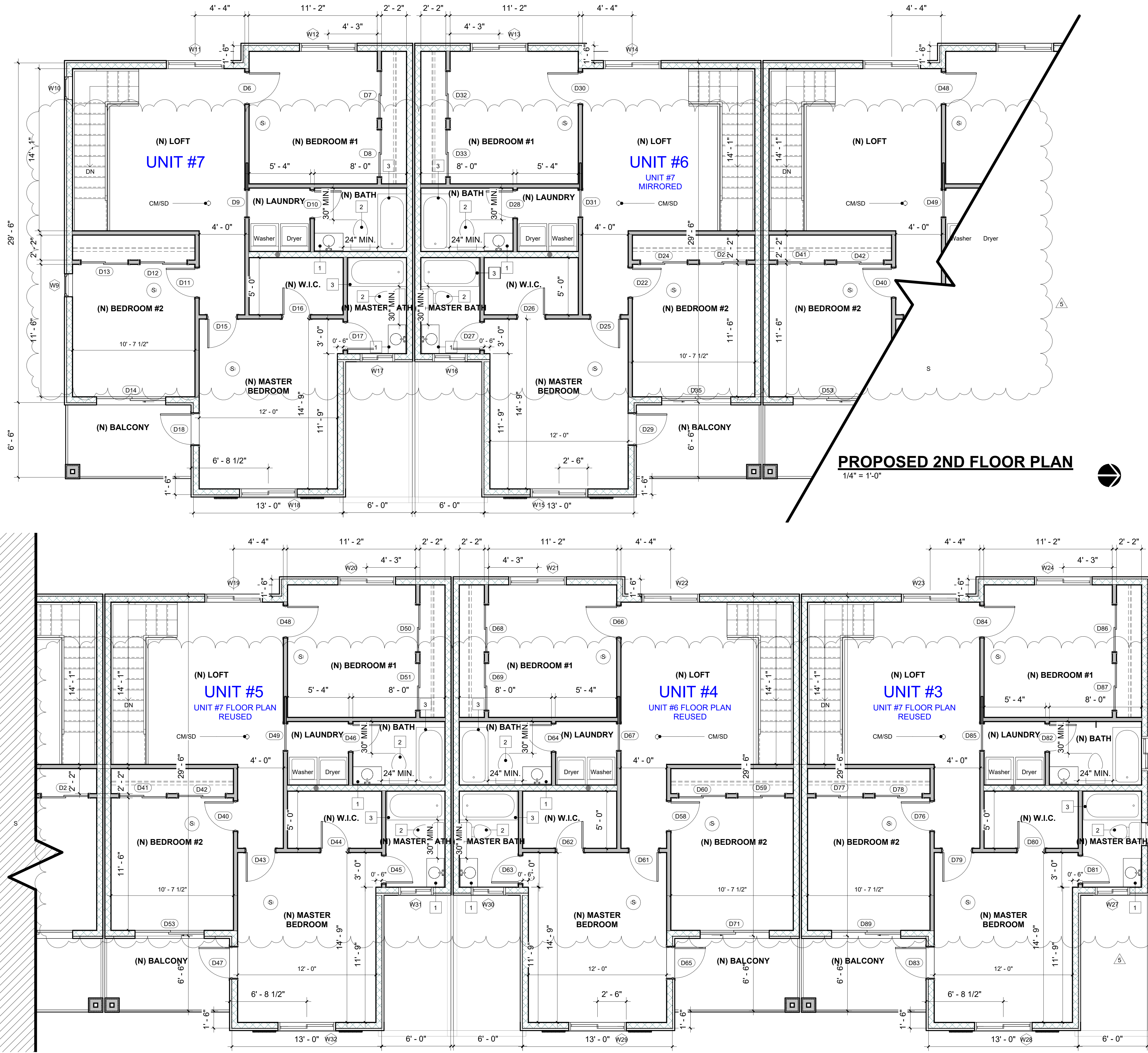
SCALE: As indicated

JOB NO.: 009ADU2022

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009ADU2022

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KEYNOTE

- 1 LAVATORY FAUCET TO HAVE A WATER EFFICIENCY OF 1.2 GPM @ 60 PSI
- 2 WATER CLOSET SHALL BE 1.28 GALLONS PER FLUSH MAXIMUM (24" MIN. CLEAR IN FRONT OF W.C. AND 30" CLEAR WIDTH SPACE, 15" MIN. CENTER LINE TO ANY WALL OR OBSTRUCTION ON EACH SIDE)
- 3 TUB, SHOWER OR TUB/SHOWER COMBINATION W/ 72" HIGH OF GREEN GYPSUM BOARD AT SURROUNDING WALLS. (FLOOR, WALLS AND COMPARTMENTS SHALL BE FINISHED WITH NON-ABSORBENT SURFACE TO A MIN. HEIGHT OF 72" ABOVE THE FLOOR.)

WALL LEGEND

EXTERIOR WALL	
1	EXTERIOR 7/8" STUCCO PLASTER (3-COATS)
2	GRADE 'D' PAPER ICC-ER ESR-2375
3	WALL SHEATHING (WHERE OCCURS)
4	2X4" STUDS @ 16" O.C. EXTERIOR WALL
5	1/2" GYPSUM BOARD UP TO CEILING
INTERIOR WALL	
1	1/2" GYPSUM BOARD EACH SIDE
2	2X4" STUDS @ 16" O.C. INTERIOR WALL
EXTERIOR WALL	
1	EXTERIOR 7/8" STUCCO PLASTER (3-COATS)
2	GRADE 'D' PAPER ICC-ER ESR-2375
3	WALL SHEATHING (WHERE OCCURS)
4	2X6" STUDS @ 16" O.C. EXTERIOR WALL
5	1/2" GYPSUM BOARD UP TO CEILING
PLUMBING WALL	
1	1/2" GYPSUM BOARD EACH SIDE
2	2X6" STUDS @ 16" O.C. INTERIOR WALL

NOTES

1. OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOF USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS. DOORS SHALL BE SELF-LATCHING AND EQUIPPED WITH A SELF CLOSING OR AUTOMATIC CLOSING DEVICE. (R302.5)
2. THE GARAGE AND/OR CARPORT SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION (R302.5). ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R702.3.5. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL. A SEPARATION IS NOT REQUIRED BETWEEN THE DWELLING UNIT AND A CARPORT, PROVIDED THE CARPORT IS ENTIRELY OPEN ON TWO OR MORE SIDES AND THERE ARE NOT ENCLOSED AREAS ABOVE (R302.6). ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYPSUM BOARD (R302.7).
3. BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY (R310.1). THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES (610 MM). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES (508 MM). THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING (R310.2.2). EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118 MM) MEASURED FROM THE FLOOR (R310.2.3).
4. SINGLE- OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED IN GROUPS R-2, R-2.1, R-2.2, R-3, R-3.1 AND R-4 REGARDLESS OF OCCUPANT LOAD AT ALL OF THE FOLLOWING LOCATIONS:
1. ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.
2. IN EACH ROOM USED FOR SLEEPING PURPOSES.
5. 3. IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL (907.2.11.2)

PRINCIPAL DESIGNER:



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FIVEPLEX (UNITS 3-7)

1438 W 11TH ST & BUENA VISTA AVE, POMONA, CA 91766

CONTACT INFORMATION / OWNER
ELEVENTH & BUENA VISTA LLC (323) 353-9335
1438 W 11TH ST & BUENA VISTA AVE, POMONA, CA 91766

PROJECT TITLE

SHEET TITLE

**PROPOSED FLOOR
PLAN - FIVEPLEX
2ND FLOOR (UNITS
3 - 7)**

REVISIONS

REV. #	DATE
5	04/26/2025
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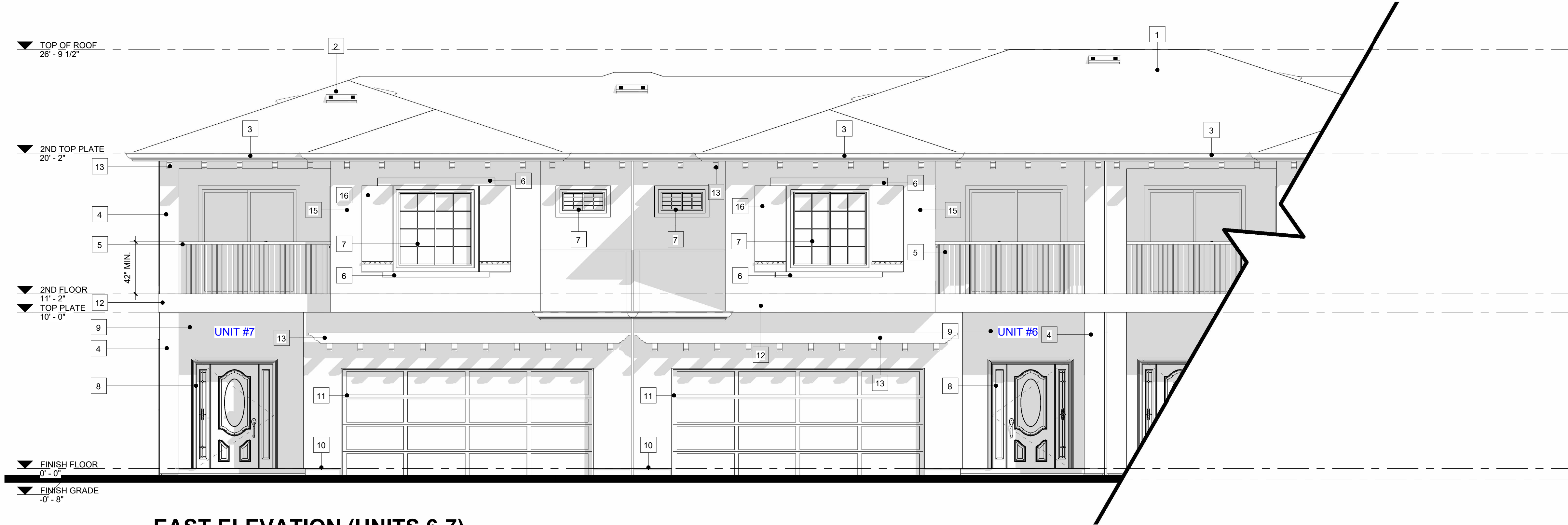
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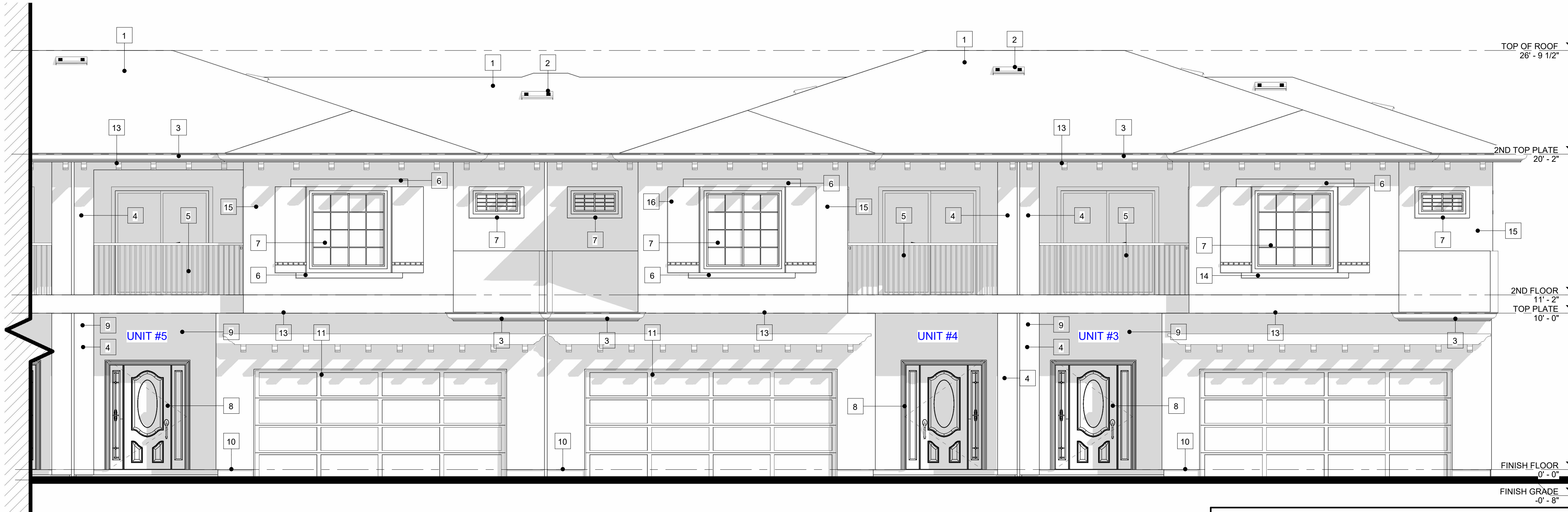
JOB NO: 009ADU2022

009ADU2022

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EAST ELEVATION (UNITS 6-7)
1/4" = 1'-0"



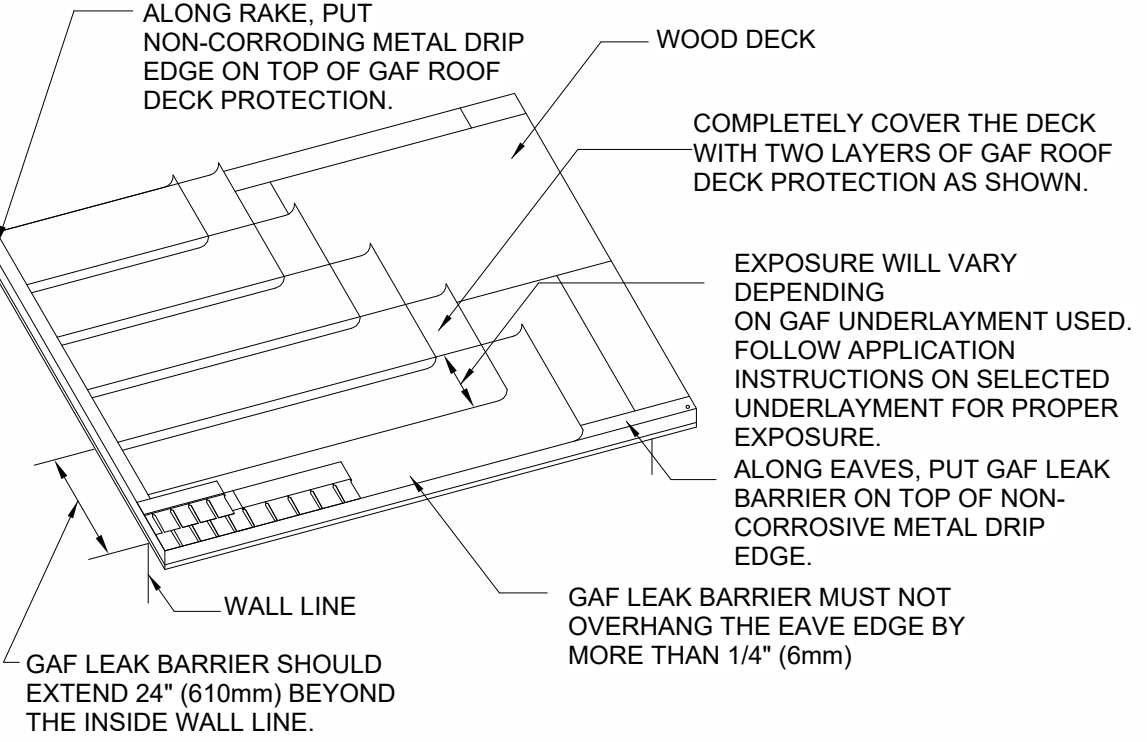
EAST ELEVATION (UNITS 3-5)
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ELEVATION NOTES

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KEYNOTE

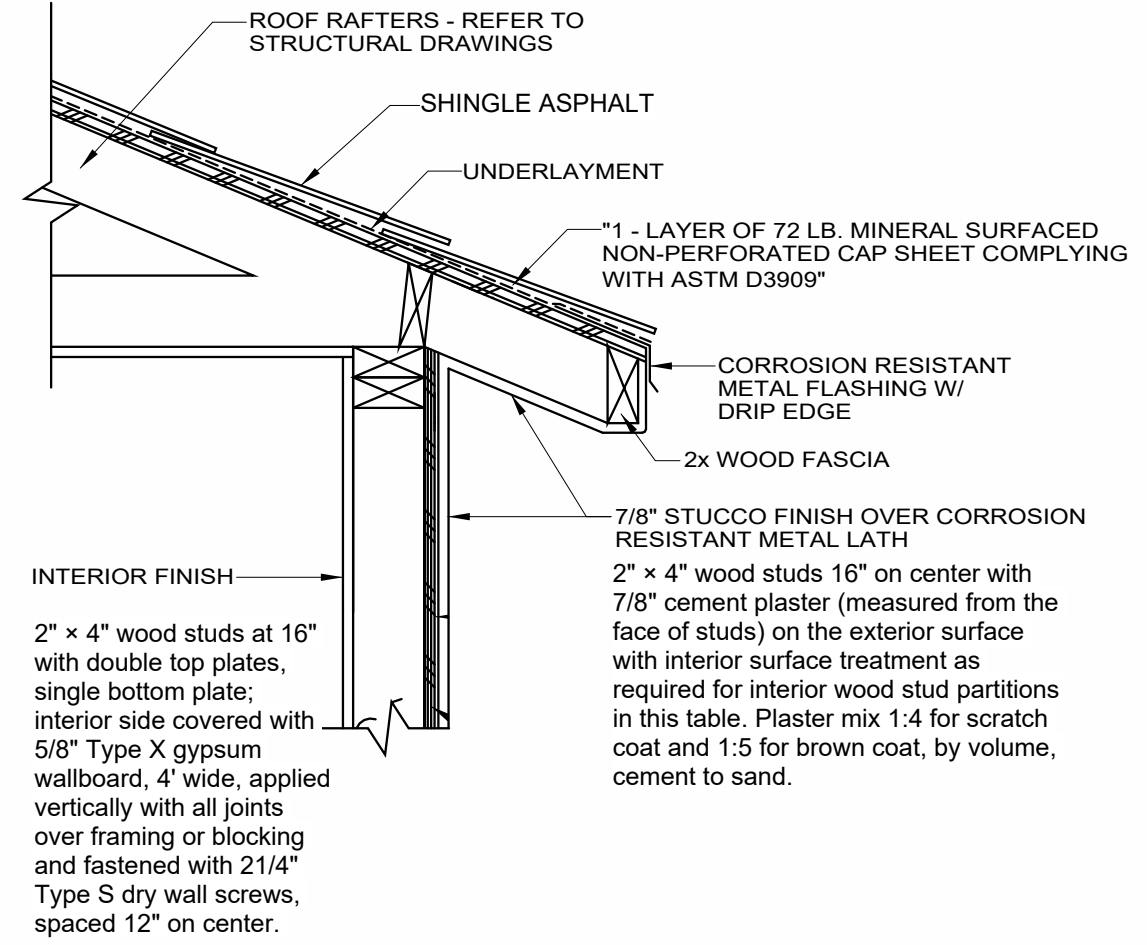
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- (N) EXT. 7/8" STUCCO PLASTER (3-COATS) OVER GRADE 'D' PAPER ICC-ER ESR-2323 - COLOR AND MATERIAL TO MATCH PRIMARY UNIT
- (N) CONTINUOUS GALVANIZED SHEET METAL WEEP SCREED
- (N) GARAGE DOOR
- (N) DECORATIVE WOOD TRIM INBETWEEN STUCCO AND SIDING FINISH
- (N) DECORATIVE WOOD CORBELS
- (N) SIDING FINISH
- (N) DECORATIVE WOOD SHUTTERS



A- UNDERLAYMENT LAYOUT

SCALE
N.T.S.

A3



ENCLOSE EAVE DETAIL 1

SCALE
N.T.S.

A4

NOTES

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PRINCIPAL DESIGNER:



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E: studio_roca@yahoo.com

FIVEPLEX (UNITS 3-7)

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CONTACT INFORMATION / OWNER

ELEVANTH & BUENA VISTA LLC (323) 353-9335

1438 W 11TH ST & BUENA VISTA AVE, POMONA, CA 91766

PROJECT TITLE

SHEET TITLE

**EXTERIOR
ELEVATIONS -
FIVEPLEX EAST
ONLY (UNITS 3 - 7)**

REVISIONS

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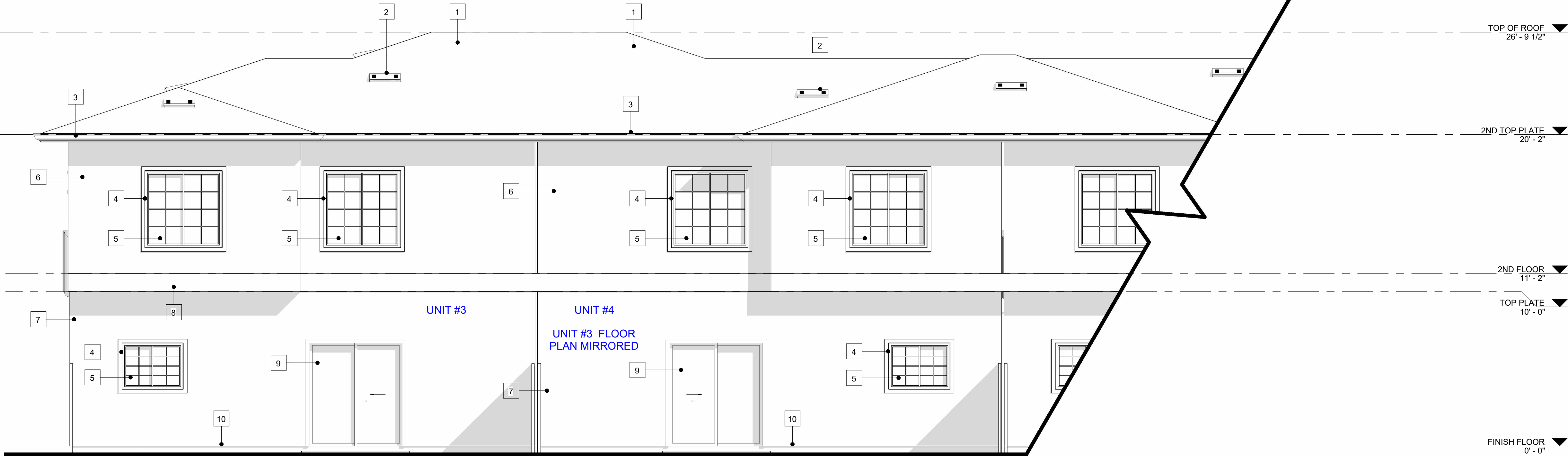
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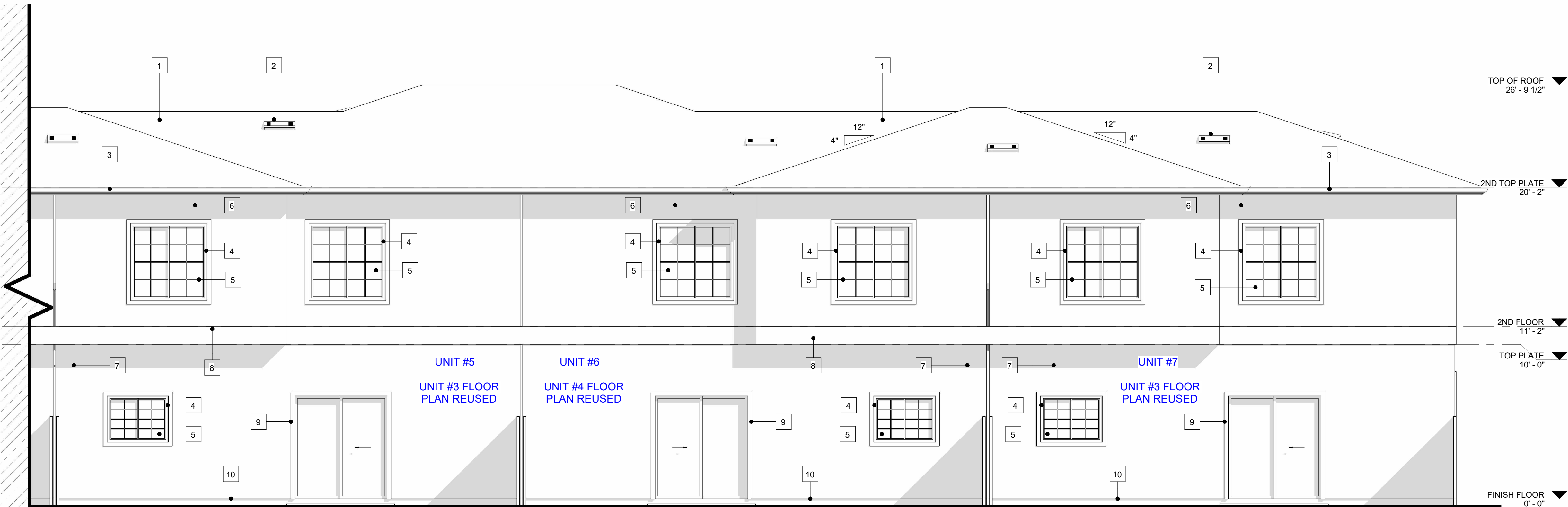
A4.1

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WEST ELEVATION (UNITS 3-4)

1/4" = 1'-0"



WEST ELEVATION (UNITS 5-7)

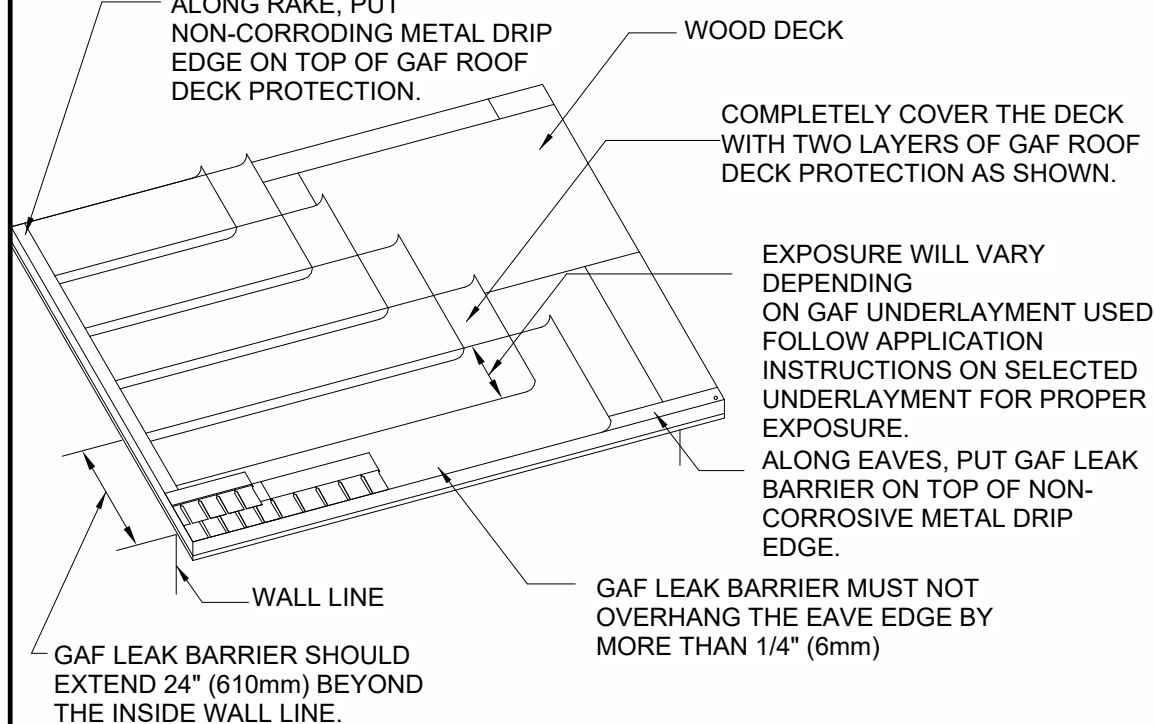
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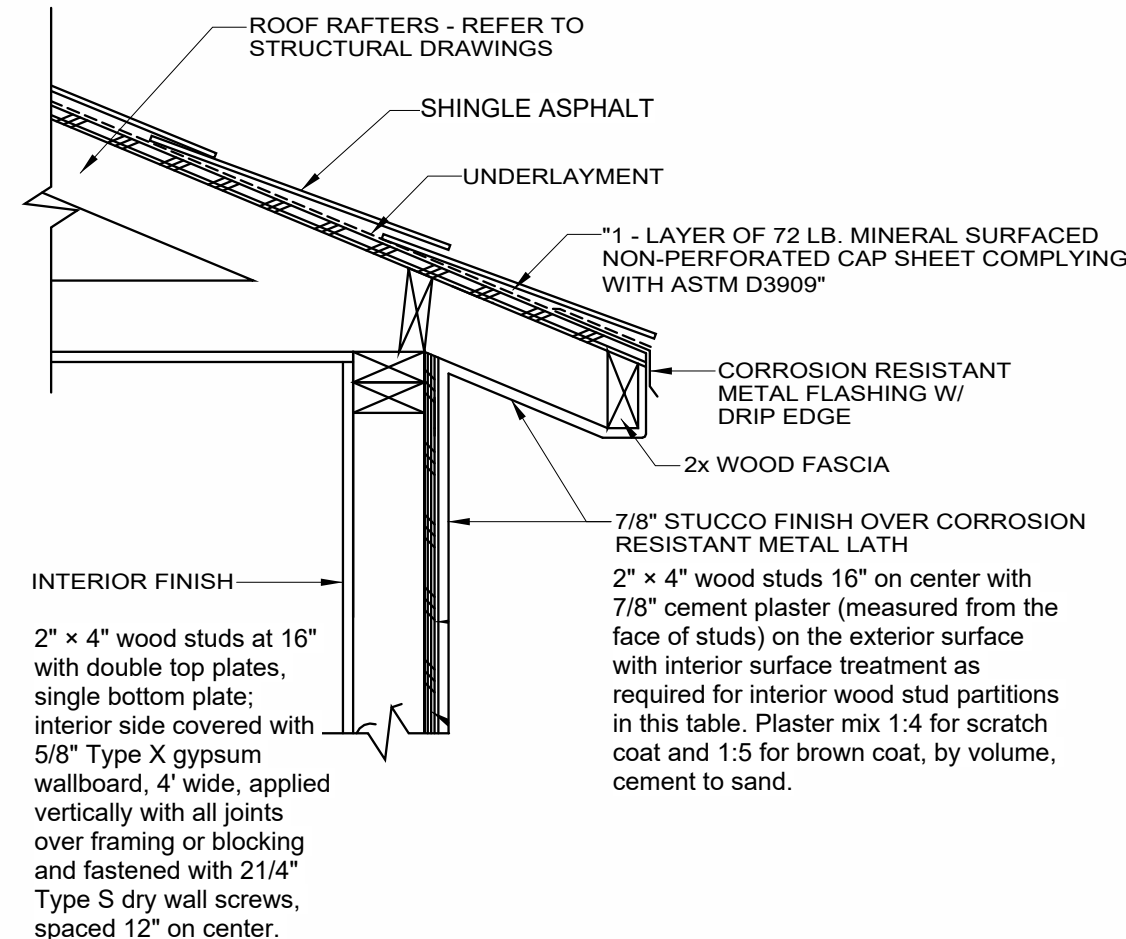
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| 9 | (N) SLIDING DOOR |
| 10 | (N) CONTINUOUS GALVANIZED SHEET METAL WEEP SCREED |



A- UNDERLAYMENT LAYOUT..

SCALE
N.T.S.

A3



ENCLOSE EAVE DETAIL1..

SCALE
N.T.S.

A4

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PRINCIPAL DESIGNER:



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P.O. BOX 850
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PH: (909) 239-8067
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FIVEPLEX (UNITS 3-7)

1438 W 11TH ST & BUENA VISTA AVE, POMONA, CA 91766

CONTACT INFORMATION / OWNER

ELEVANTH & BUENA VISTA LLC (323) 353-9335

1438 W 11TH ST & BUENA VISTA AVE, POMONA, CA 91766

PROJECT TITLE

SHEET TITLE

EXTERIOR ELEVATIONS - FIVEPLEX WEST ONLY (UNITS 3 - 7)

REVISIONS

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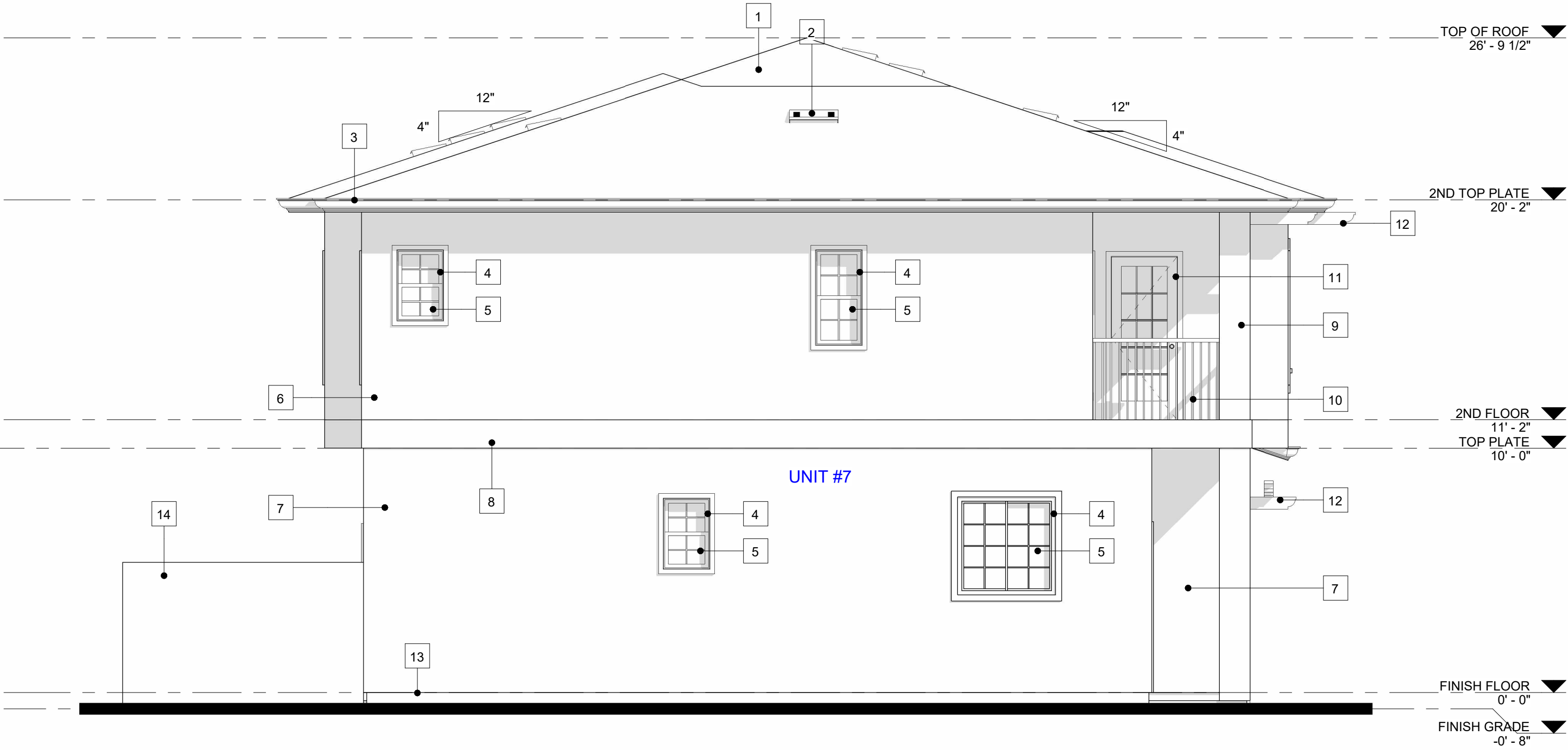
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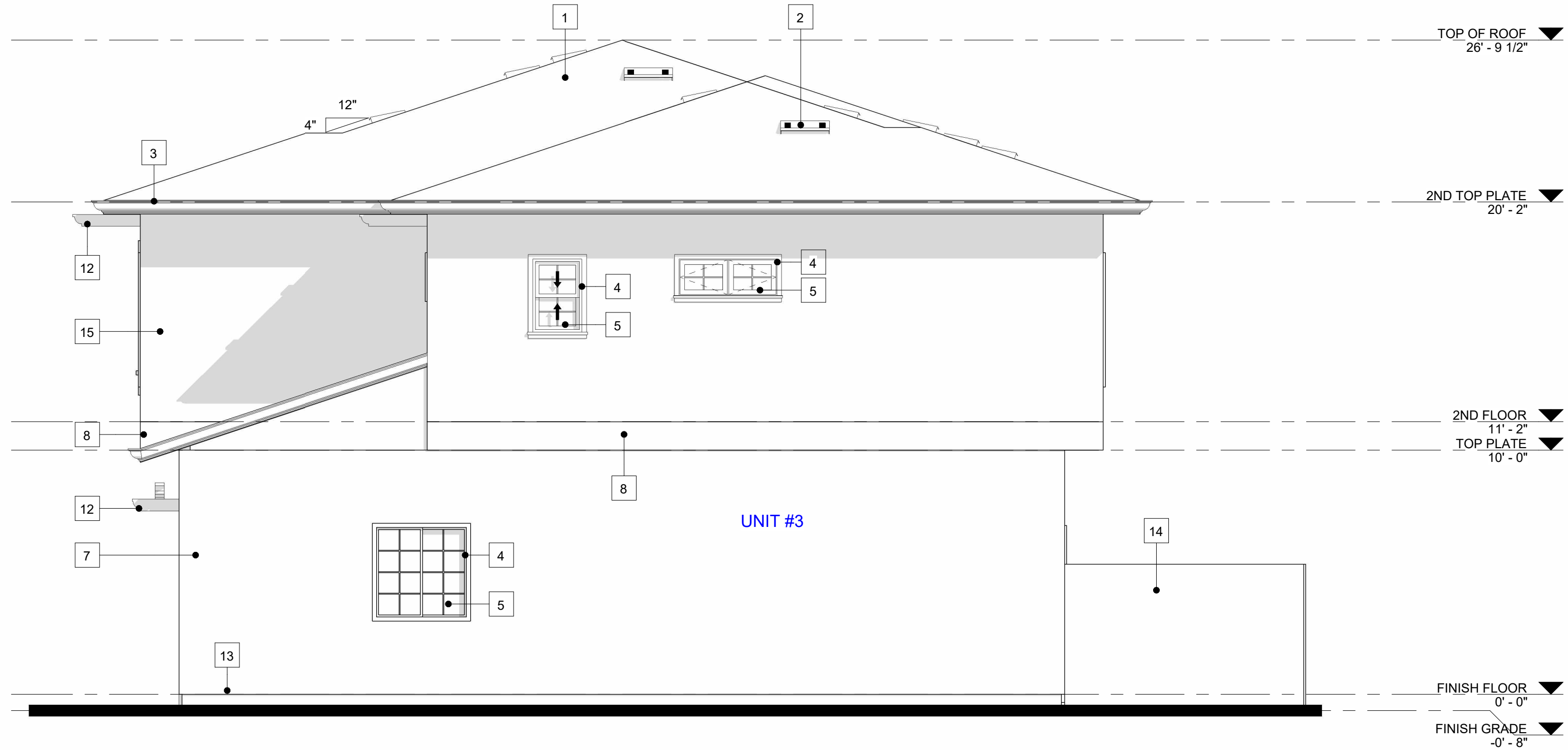
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SOUTH ELEVATION

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NORTH ELEVATION

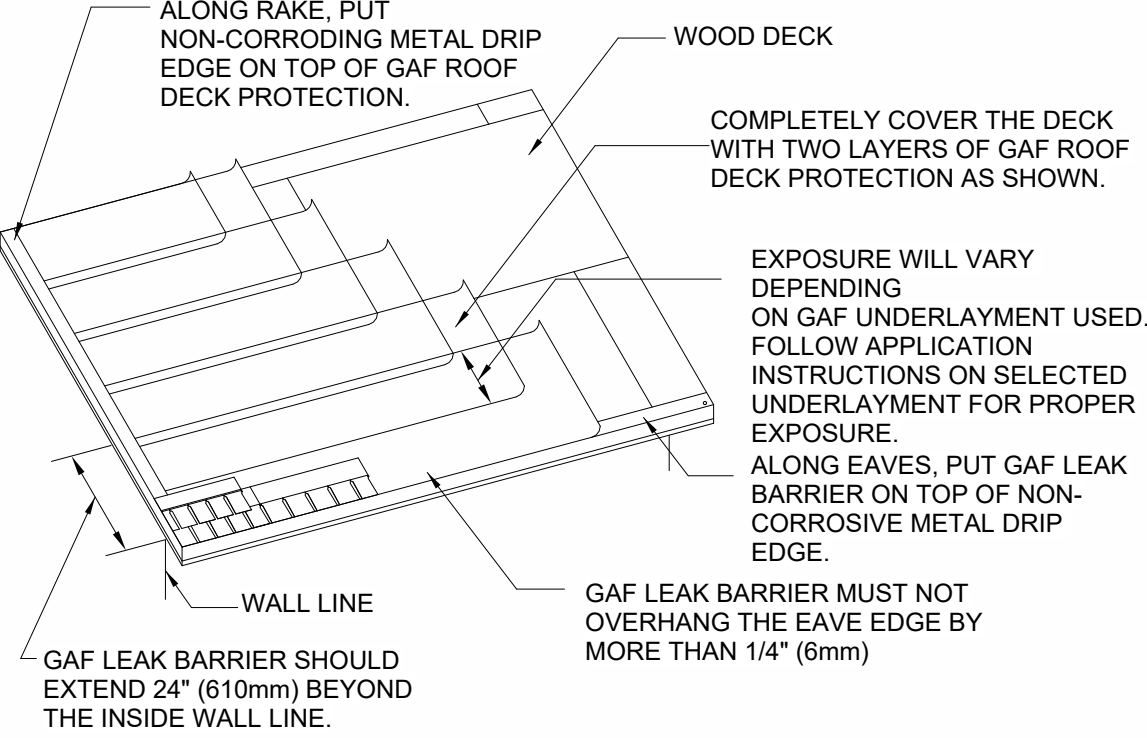
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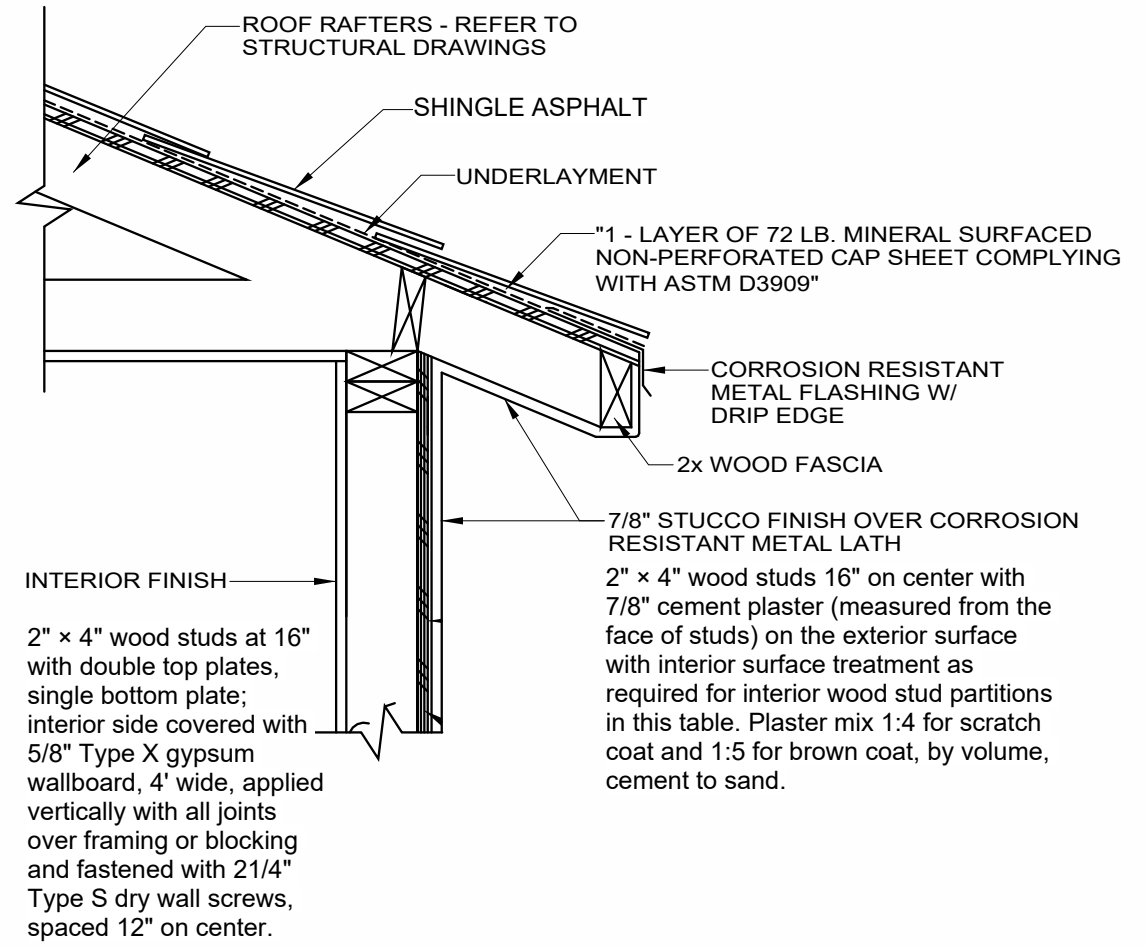
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| 9 | (N) DECORATIVE STUCCO COLUMNS |
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| 11 | (N) DOOR |
| 12 | (N) DECORATIVE WOOD CORBELS |
| 13 | (N) CONTINUOUS GALVANIZED SHEET METAL WEEP SCREED |
| 14 | (N) 6' HIGH VINYL FENCE |
| 15 | |



A- UNDERLAYMENT LAYOUT....

SCALE
N.T.S.

3



ENCLOSE EAVE DETAIL1....

SCALE
N.T.S.

4

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PRINCIPAL DESIGNER:



STUDIO ROCA INC.

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FIVEPLEX (UNITS 3-7)

1438 W 11TH ST & BUENA VISTA AVE, POMONA, CA 91766

CONTACT INFORMATION / OWNER

ELEVENTH & BUENA VISTA LLC (323) 353-9335

1438 W 11TH ST & BUENA VISTA AVE, POMONA, CA 91766

009ADU2022

PROJECT TITLE

SHEET TITLE

**EXTERIOR
ELEVATIONS -
FIVEPLEX SOUTH &
NORTH (UNITS 3 -
7)**

REVISIONS

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DRAWN: RO

SCALE: As indicated

JOB NO.: **009ADU2022**

A4.3

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EAST COLOR ELEVATION
(UNITS 6-7)
1/4" = 1'-0"



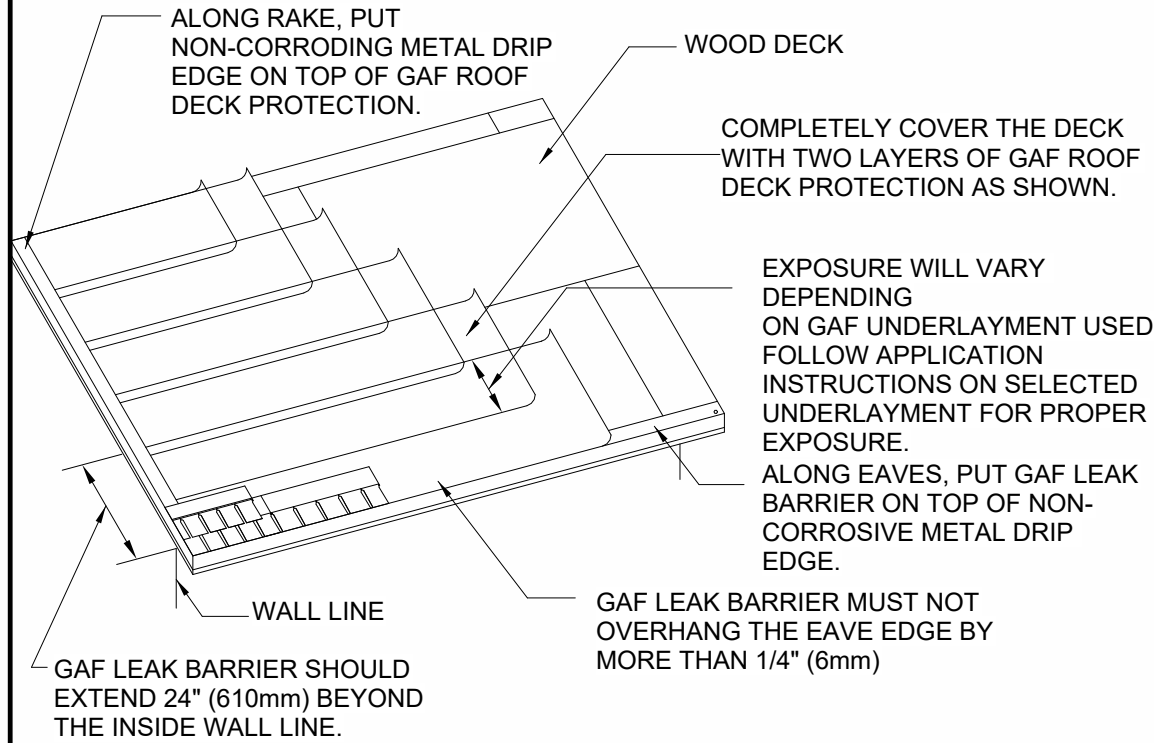
EAST COLOR ELEVATION
(UNITS 3-5)
1/4" = 1'-0"

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KEYNOTE

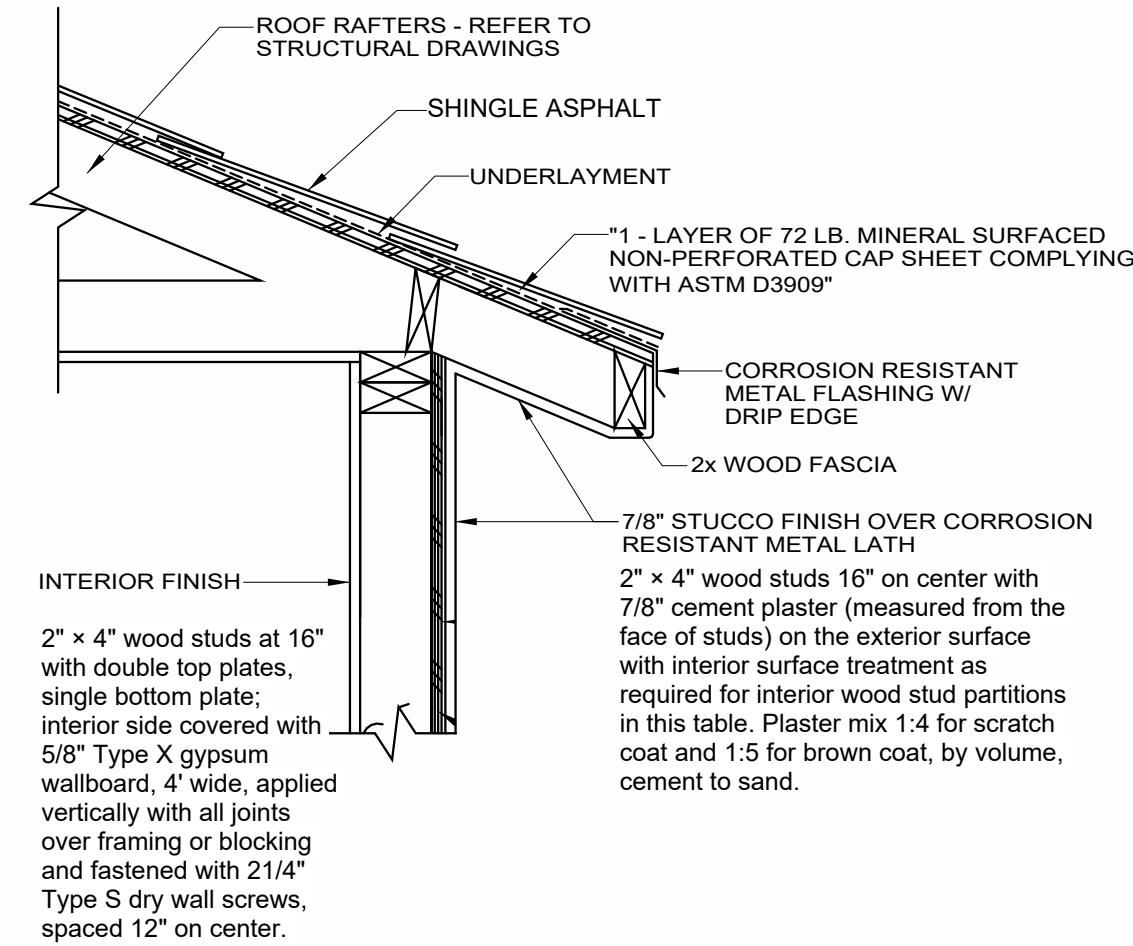
- | | |
|----|--|
| 1 | (N) EAGLE ROOF TILE CAPISTRANO S-PROFILES 900 LBS PER 100 SF CLASS 'A' UES ER-1900 UPDATED TO 2015 IRC/IBC OVER 2-LAYER OF 30 FELT UNDERLAYMENT. |
| 2 | (N) OHAGIN ROOF FLAT VENTS |
| 3 | (N) FASCIA AROUND ROOF |
| 4 | (N) DECORATIVE STUCCO COLUMNS |
| 5 | (N) GUARDRAIL, 42" MIN. HT. W/ RAILS SPACED AT 4" O.C MAXIMUM. |
| 6 | (N) DECORATIVE FOAM TRIM |
| 7 | (N) WINDOW |
| 8 | (N) DOOR |
| 9 | (N) EXT. 7/8" STUCCO PLASTER (3-COATS) OVER GRADE 'D' PAPER ICC-ER ESR-2323 - COLOR AND MATERIAL TO MATCH PRIMARY UNIT |
| 10 | (N) CONTINUOUS GALVANIZED SHEET METAL WEEP SCREED |
| 11 | (N) GARAGE DOOR |
| 12 | (N) DECORATIVE WOOD TRIM INBETWEEN STUCCO AND SIDING FINISH |
| 13 | (N) DECORATIVE WOOD CORBELS |
| 14 | (N) SIDING FINISH |
| 15 | (N) DECORATIVE WOOD SHUTTERS |
| 16 | |



A- UNDERLAYMENT LAYOUT Copy 1

SCALE
N.T.S.

A3



ENCLOSE EAVE DETAIL1 Copy 1

SCALE
N.T.S.

A4

NOTES

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FIVEPLEX (UNITS 3-7)

1438 W 11TH ST & BUENA VISTA AVE, POMONA, CA 91766

CONTACT INFORMATION / OWNER

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1438 W 11TH ST & BUENA VISTA AVE, POMONA, CA 91766

PROJECT TITLE

SHEET TITLE

EXTERIOR COLOR ELEVATIONS - FIVEPLEX EAST ONLY (UNITS 3 - 7)

REVISIONS

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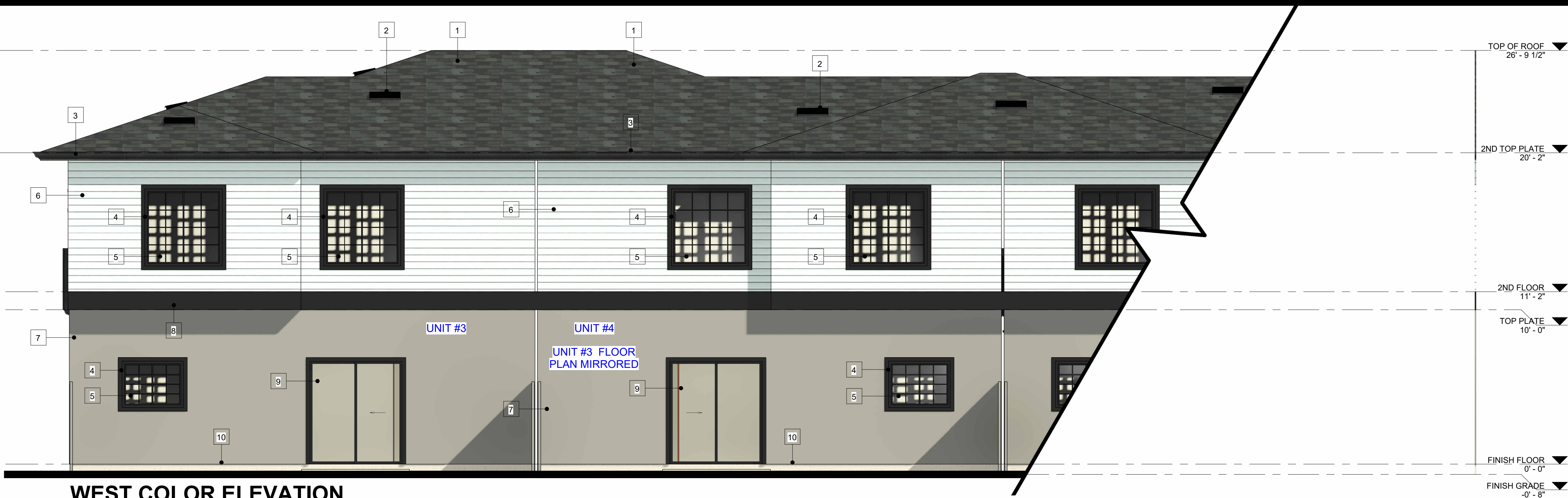
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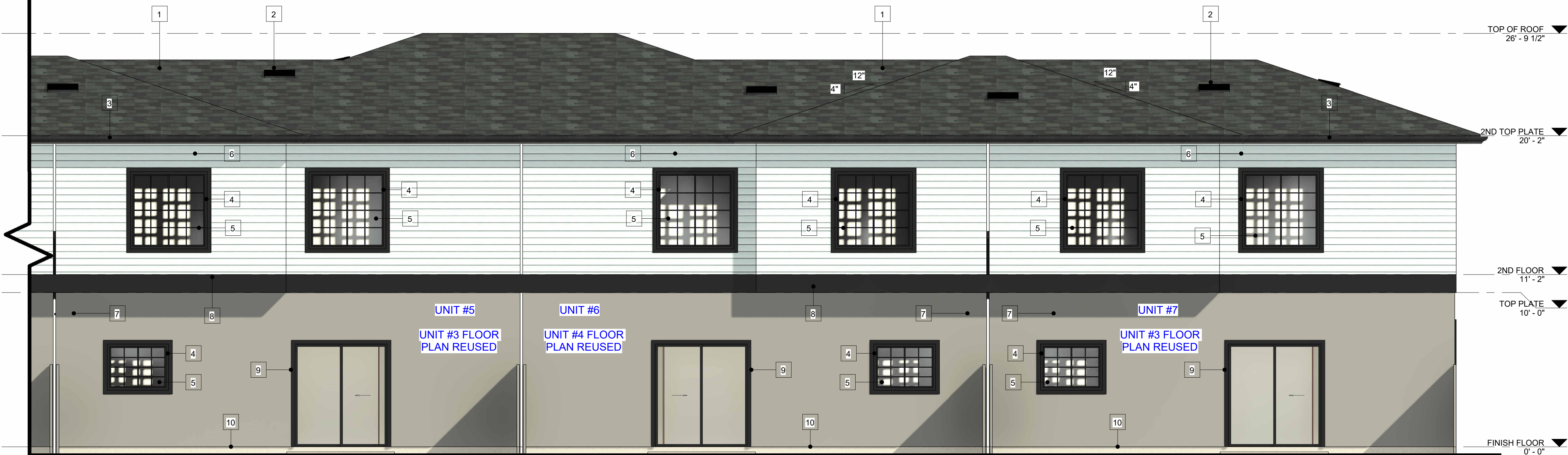
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**WEST COLOR ELEVATION
(UNITS 3-4)**

1/4" = 1'-0"



**WEST COLOR ELEVATION
(UNITS 5-7)**

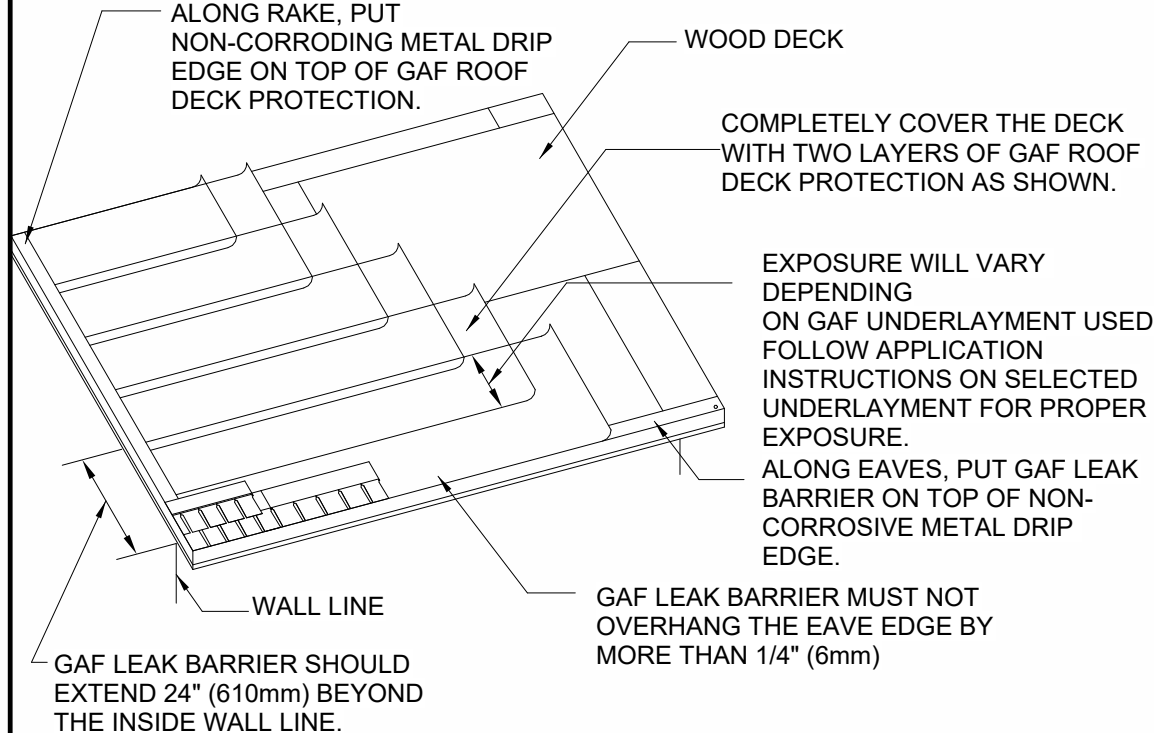
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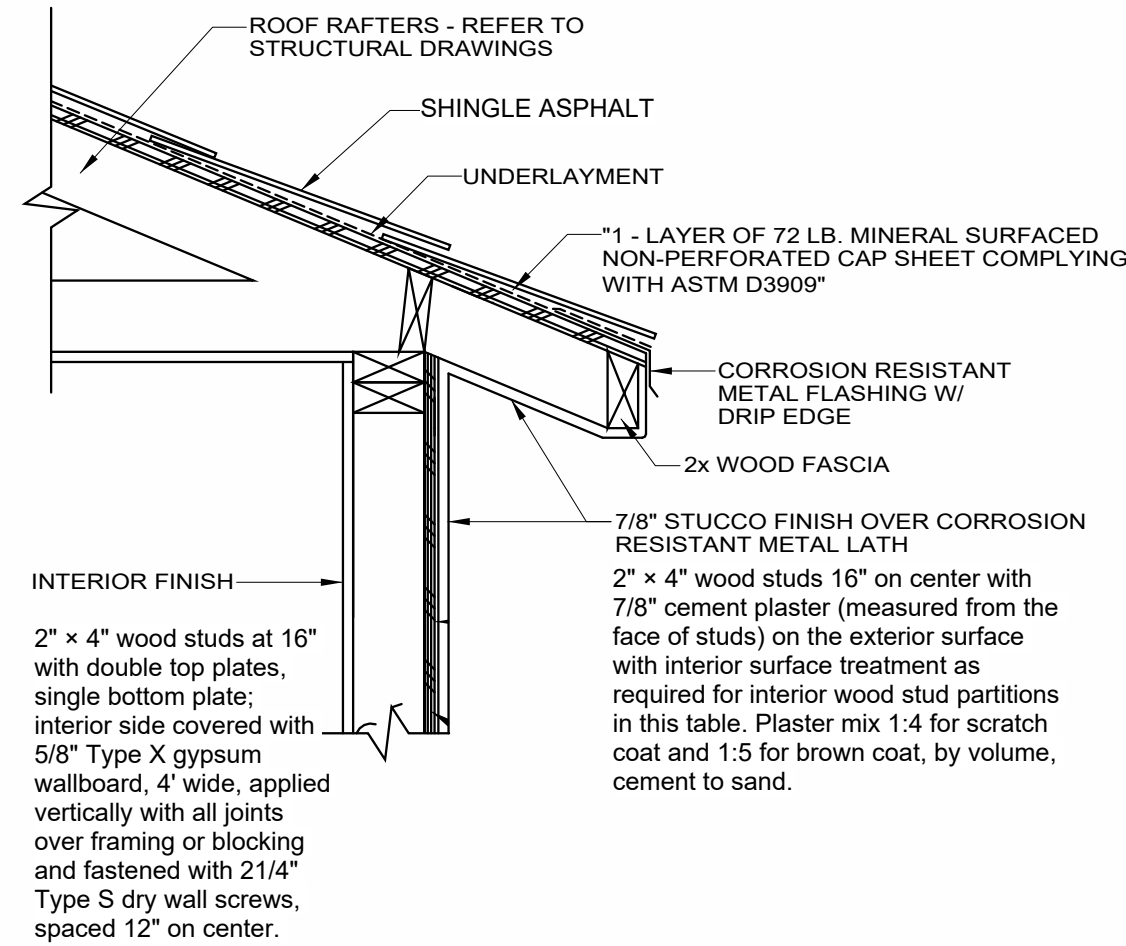
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| 4 | (N) DECORATIVE FOAM TRIM |
| 5 | (N) WINDOW |
| 6 | (N) SIDING FINISH |
| 7 | (N) EXT. 7/8" STUCCO PLASTER (3-COATS) OVER GRADE 'D' PAPER ICC-ER ESR-2323 - COLOR AND MATERIAL TO MATCH PRIMARY UNIT |
| 8 | (N) DECORATIVE WOOD TRIM INBETWEEN STUCCO AND SIDING FINISH |
| 9 | (N) SLIDING DOOR |
| 10 | (N) CONTINUOUS GALVANIZED SHEET METAL WEEP SCREED |



A- UNDERLAYMENT LAYOUT.. Copy 1

SCALE
N.T.S.

A3



ENCLOSE EAVE DETAIL1.. Copy 1

SCALE
N.T.S.

A4

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CONTACT INFORMATION / OWNER

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PROJECT TITLE

SHEET TITLE

**EXTERIOR COLOR
ELEVATIONS -
FIVEPLEX WEST
ONLY (UNITS 3 - 7)**

REVISIONS

REV. #	DATE
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SCALE: As indicated

JOB NO.:
009ADU2022

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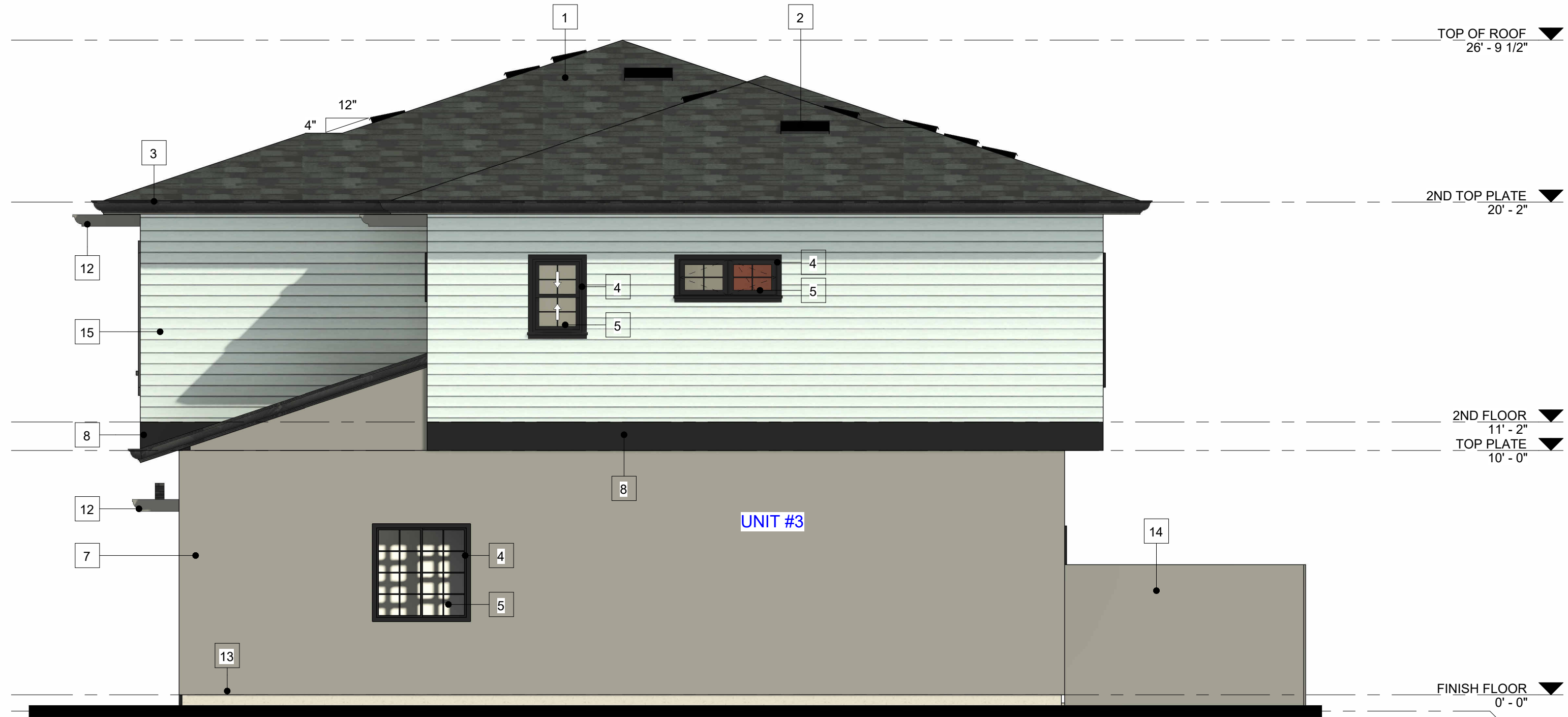
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SOUTH COLOR ELEVATION

1/4" = 1'-0"



NORTH COLOR ELEVATION

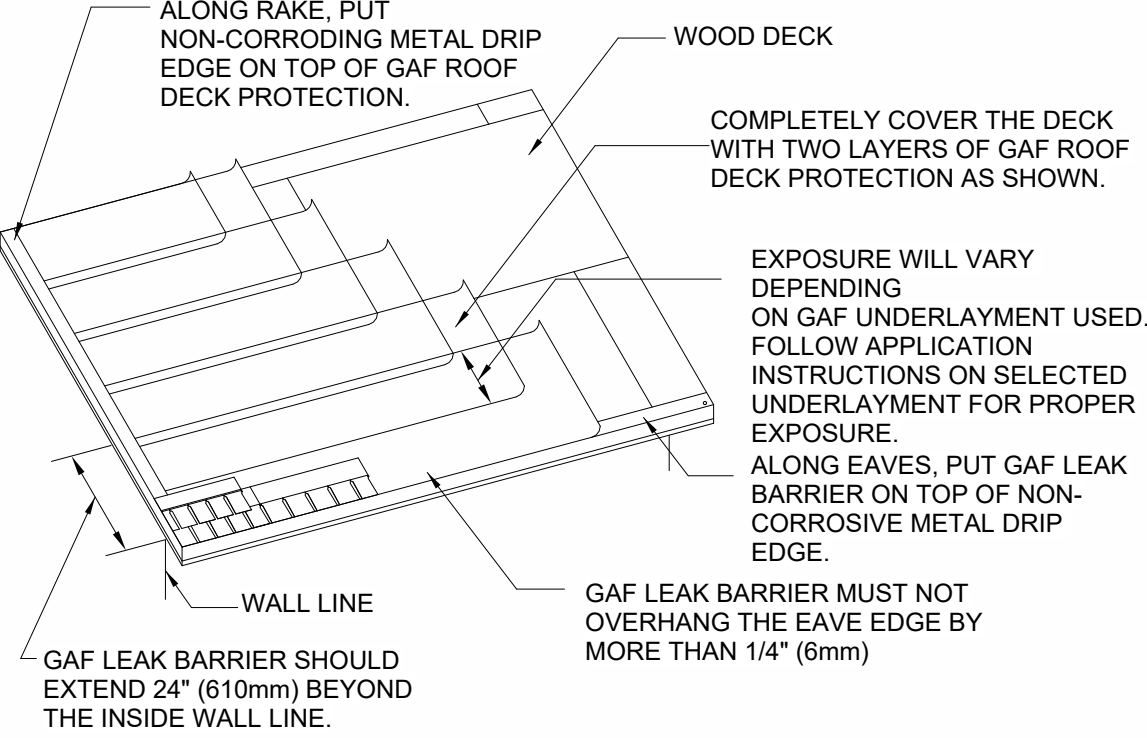
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KEYNOTE

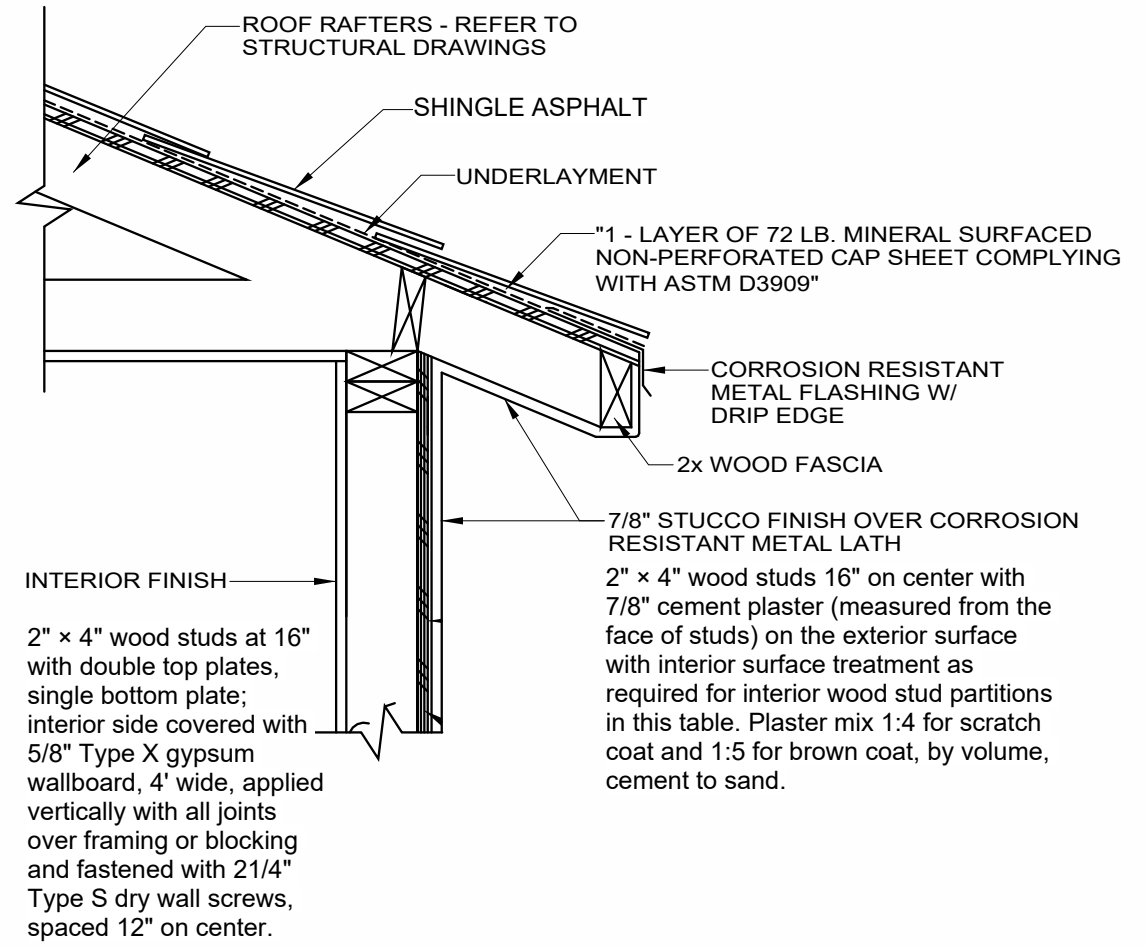
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| 11 | (N) DOOR |
| 12 | (N) DECORATIVE WOOD CORBELS |
| 13 | (N) CONTINUOUS GALVANIZED SHEET METAL WEEP SCREED |
| 14 | (N) 6' HIGH VINYL FENCE |
| 15 | |



A- UNDERLAYMENT LAYOUT.... Copy 1

SCALE
N.T.S.

3



ENCLOSE EAVE DETAIL1.... Copy 1

SCALE
N.T.S.

4

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- BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY (R310.1). THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES (610 MM). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES (508 MM). THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING (R310.2.2). EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118 MM) MEASURED FROM THE FLOOR (R310.2.3).
- SINGLE- OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED IN GROUPS R-2, R-2.1, R-2.2, R-3, R-3.1 AND R-4 REGARDLESS OF OCCUPANT LOAD AT ALL OF THE FOLLOWING LOCATIONS:
1. ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.
2. IN EACH ROOM USED FOR SLEEPING PURPOSES.
3. IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS. A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL (907.2.11.2)

PRINCIPAL DESIGNER:



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FIVEPLEX (UNITS 3-7)

1438 W 11TH ST & BUENA VISTA AVE, POMONA, CA 91766

CONTACT INFORMATION / OWNER

ELEVANTH & BUENA VISTA LLC (323) 353-9335

1438 W 11TH ST & BUENA VISTA AVE, POMONA, CA 91766

009ADU2022

PROJECT TITLE

SHEET TITLE

EXTERIOR COLOR ELEVATIONS - FIVEPLEX SOUTH & NORTH (UNITS 3 - 7)

REVISIONS

REV. #	DATE
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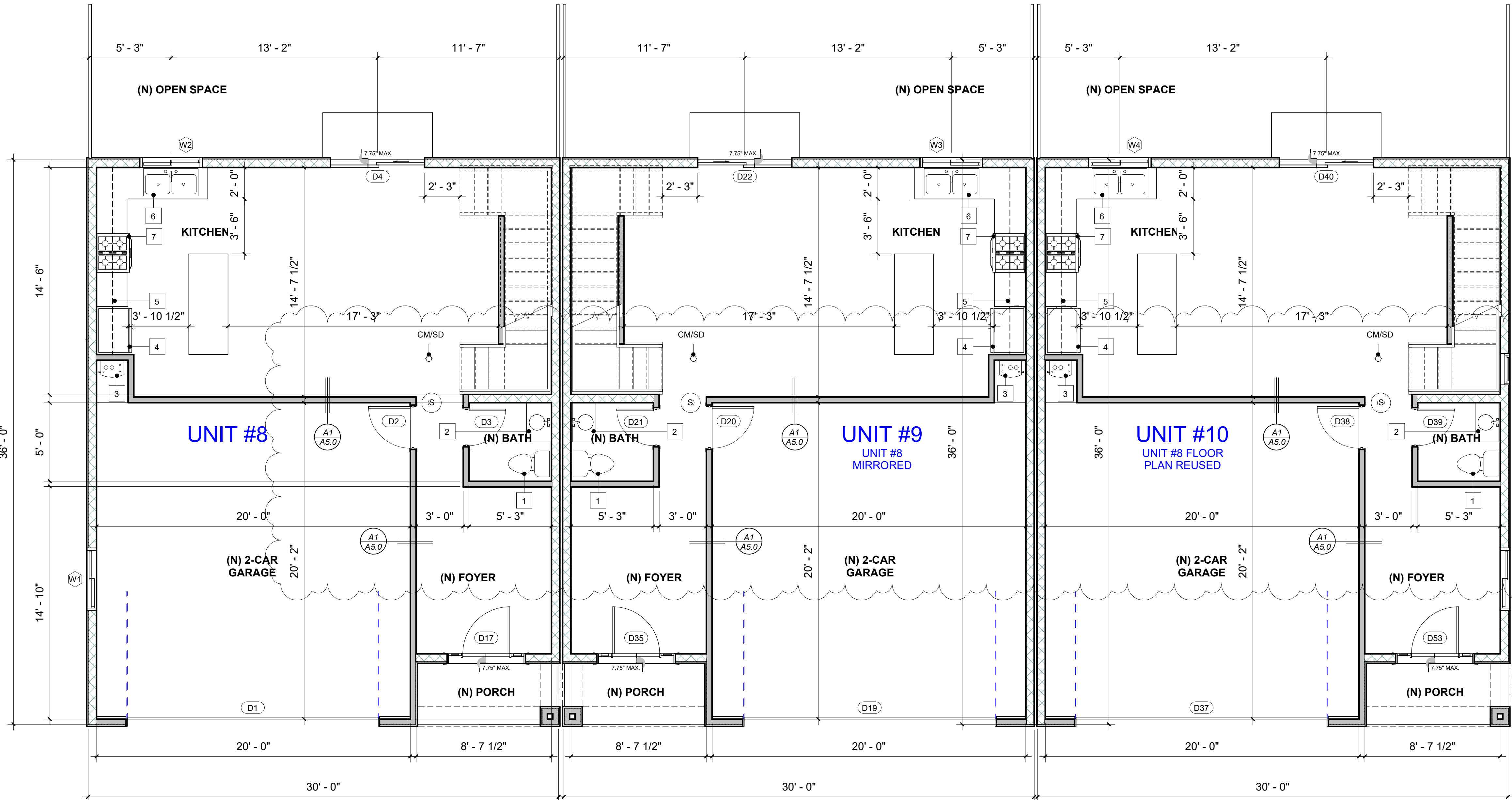
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SCALE: As indicated

JOB NO.: **009ADU2022**

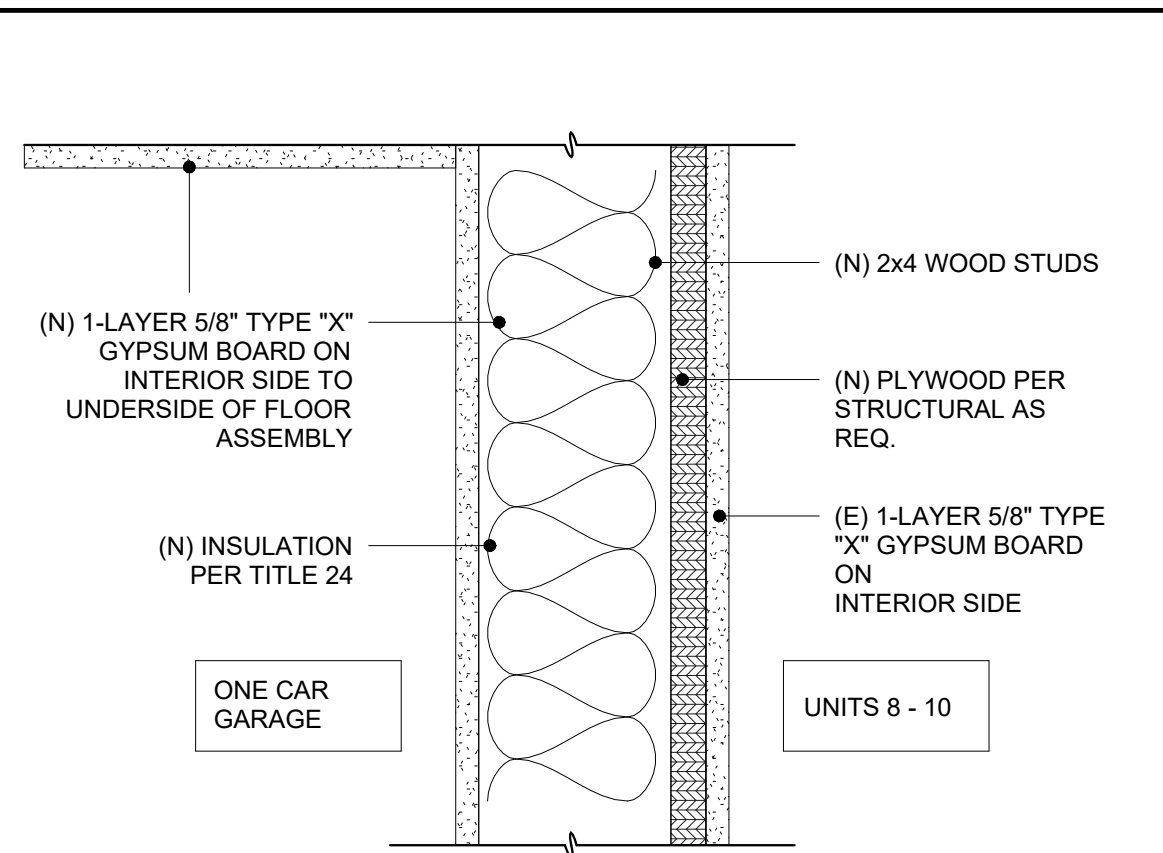
A4.6

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PROPOSED 1ST FLOOR PLAN

1/4" = 1'-0"



1 - HR RATED SEPARATION

SCALE
N.T.S. A1

(N) WINDOW SCHEDULE					
MARK	WIDTH	HEIGHT	SILL HEIGHT	TYPE COMMENTS	COMMENTS
W1	4' - 0"	4' - 0"	4' - 0"	Vinyl Sliding Window	Dual Glazed Glass
W2	4' - 0"	3' - 0"	3' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W3	4' - 0"	3' - 0"	3' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W4	4' - 0"	3' - 0"	3' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W5	2' - 0"	3' - 0"	5' - 0"	Vinyl Single Hung	Dual Glazed Glass
W6	4' - 0"	4' - 0"	4' - 0"	Vinyl Sliding Window	Dual Glazed Glass
W7	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W8	3' - 0"	1' - 6"	5' - 2"	Vinyl Sliding Window	Dual Glazed Glass
W9	2' - 0"	3' - 0"	3' - 8"	Vinyl Single Hung	Dual Glazed Glass
W10	3' - 0"	1' - 6"	5' - 2"	Vinyl Sliding Window	Dual Glazed Glass
W11	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass

(N) DOOR SCHEDULE				
MARK	WIDTH	HEIGHT	FINISH	COMMENTS
D1	16' - 0"	7' - 0"	Pre - Fab Garage Metal Door	2-Car
D2	2' - 8"	6' - 8"	Solid Core 1 3/4" Thick	Swing - Self latching
D3	2' - 4"	6' - 8"	Hollow Core	Swing
D4	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door
D5	2' - 6"	6' - 8"	Hollow Core	Swing
D6	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D7	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D8	2' - 6"	6' - 8"	Hollow Core	Swing
D9	2' - 4"	6' - 8"	Hollow Core	Swing
D10	2' - 4"	6' - 8"	Hollow Core	Swing
D11	2' - 4"	6' - 8"	Hollow Core	Swing
D12	2' - 8"	6' - 8"	Hollow Core	Swing
D13	2' - 4"	6' - 8"	Hollow Core	Pocket Door
D14	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D15	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D16	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door
D17	5' - 0"	6' - 8"	Solid Core 1 3/8" Thick	Swing W/ Sidehighlights - Self Latching
D18	2' - 8"	6' - 8"	Hollow Core	Swing
D19	16' - 0"	7' - 0"	Pre - Fab Garage Metal Door	2-Car
D20	2' - 8"	6' - 8"	Solid Core 1 3/4" Thick	Swing - Self latching
D21	2' - 4"	6' - 8"	Hollow Core	Swing
D22	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door
D23	2' - 6"	6' - 8"	Hollow Core	Swing
D24	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D25	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D26	2' - 6"	6' - 8"	Hollow Core	Swing
D27	2' - 4"	6' - 8"	Hollow Core	Swing

(N) WINDOW SCHEDULE					
MARK	WIDTH	HEIGHT	SILL HEIGHT	TYPE COMMENTS	COMMENTS
W12	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W13	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W14	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W15	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W16	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W17	4' - 0"	4' - 0"	3' - 0"	Vinyl Sliding Window	Dual Glazed Glass
W18	3' - 0"	1' - 6"	5' - 2"	Vinyl Sliding Window	Dual Glazed Glass
W18	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W19	3' - 0"	1' - 6"	5' - 2"	Vinyl Sliding Window	Dual Glazed Glass
W20	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass

(N) DOOR SCHEDULE				
MARK	WIDTH	HEIGHT	FINISH	COMMENTS
D28	2' - 4"	6' - 8"	Hollow Core	Swing
D29	2' - 4"	6' - 8"	Hollow Core	Swing
D30	2' - 8"	6' - 8"	Hollow Core	Swing
D31	2' - 4"	6' - 8"	Hollow Core	Pocket Door
D32	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D33	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D34	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door
D35	5' - 0"	6' - 8"	Solid Core 1 3/8" Thick	Swing W/ Sidehighlights - Self Latching
D36	2' - 8"	6' - 8"	Hollow Core	Swing
D37	16' - 0"	7' - 0"	Pre - Fab Garage Metal Door	2-Car
D38	2' - 8"	6' - 8"	Solid Core 1 3/4" Thick	Swing - Self latching
D39	2' - 4"	6' - 8"	Hollow Core	Swing
D40	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door
D41	2' - 6"	6' - 8"	Hollow Core	Swing
D42	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D43	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D44	2' - 6"	6' - 8"	Hollow Core	Swing
D45	2' - 4"	6' - 8"	Hollow Core	Swing
D46	2' - 4"	6' - 8"	Hollow Core	Swing
D47	2' - 4"	6' - 8"	Hollow Core	Swing
D48	2' - 8"	6' - 8"	Hollow Core	Swing
D49	2' - 4"	6' - 8"	Hollow Core	Pocket Door
D50	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D51	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D52	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door
D53	5' - 0"	6' - 8"	Solid Core 1 3/8" Thick	Swing W/ Sidehighlights - Self Latching
D54	2' - 8"	6' - 8"	Hollow Core	Swing

KEYNOTE

1	WATER CLOSET SHALL BE 1.28 GALLONS PER FLUSH MAXIMUM (24" MIN. CLEAR IN FRONT OF W.C. AND 30" CLEAR WIDTH SPACE, 15" MIN. CENTER LINE TO ANY WALL OR OBSTRUCTION ON EACH SIDE)
2	LAVATORY FAUCET TO HAVE A WATER EFFICIENCY OF 1.2 GPM @ 60 PSI
3	WATER HEATER RINNAI TANK-LESS 199,000 BTU/HR 0.93 UNIFORM ENERGY FACTOR, NATURAL GAS NON-CONDENSING
4	42" WIDE REFRIGERATOR SPACE (PROVIDE WATER-SUPPLY STUB-OUT AND SHUTOFF VALVE RECESSED IN WALL FOR ICE MAKER)
5	KITCHEN CABINETS
6	DOUBLE SINK WITH GARBAGE DISPOSAL
7	SLIDE-IN RANGE WITH 100 CFM EXHAUST HOOD (HOOD MUST BE DUCTED TO OUTSIDE) SHALL HAVE A VERTICAL CLEARANCE OF 30" (CMC 921.3.2, 921.4)

WALL LEGEND

EXTERIOR WALL	
1	EXTERIOR 7/8" STUCCO PLASTER (3-COATS)
2	GRADE 'D' PAPER ICC-ER ESR-2375
3	WALL SHEATHING (WHERE OCCURS)
4	2X4" STUDS @ 16" O.C. EXTERIOR WALL
5	1/2" GYPSUM BOARD UP TO CEILING
INTERIOR WALL	
1	1/2" GYPSUM BOARD EACH SIDE
2	2X4" STUDS @ 16" O.C. INTERIOR WALL
EXTERIOR WALL	
1	EXTERIOR 7/8" STUCCO PLASTER (3-COATS)
2	GRADE 'D' PAPER ICC-ER ESR-2375
3	WALL SHEATHING (WHERE OCCURS)
4	2X6" STUDS @ 16" O.C. EXTERIOR WALL
5	1/2" GYPSUM BOARD UP TO CEILING
PLUMBING WALL	
1	1/2" GYPSUM BOARD EACH SIDE
2	2X6" STUDS @ 16" O.C. INTERIOR WALL

NOTES

- OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOF USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS. DOORS SHALL BE SELF-LATCHING AND EQUIPPED WITH A SELF CLOSING OR AUTOMATIC CLOSING DEVICE. (R302.5)
- THE GARAGE AND/OR CARPORT SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION (R302.5). ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R702.3.5. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL. A SEPARATION IS NOT REQUIRED BETWEEN THE DWELLING UNIT AND A CARPORT, PROVIDED THE CARPORT IS ENTIRELY OPEN ON TWO OR MORE SIDES AND THERE ARE NOT ENCLOSED AREAS ABOVE (R302.6).
- ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYPSUM BOARD (R302.7).
- BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY (R310.1). THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES (610 MM), THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES (508 MM). THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING (R310.2.2). EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENINGS NOT GREATER THAN 44 INCHES (1118 MM) MEASURED FROM THE FLOOR (R310.2.3).
- SINGLE- OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED IN GROUPS R-2, R-2.1, R-2.2, R-3, R-3.1 AND R-4 REGARDLESS OF OCCUPANT LOAD AT ALL OF THE FOLLOWING LOCATIONS:
 - ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.
 - IN EACH ROOM USED FOR SLEEPING PURPOSES.
 - IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL (907.2.11.2)

PRINCIPAL DESIGNER:



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TRIPLEX (UNITS 8-10)

1438 W 11TH ST & BUENA VISTA AVE, POMONA, CA 91766

CONTACT INFORMATION / OWNER

ELEVENTH & BUENA VISTA LLC (323) 353-9335

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PROJECT TITLE

SHEET TITLE

PROPOSED FLOOR
PLAN - TRIPLEX
1ST FLOOR (UNITS
8 - 10)

REVISIONS

REV. #	DATE
1	04/25/2025

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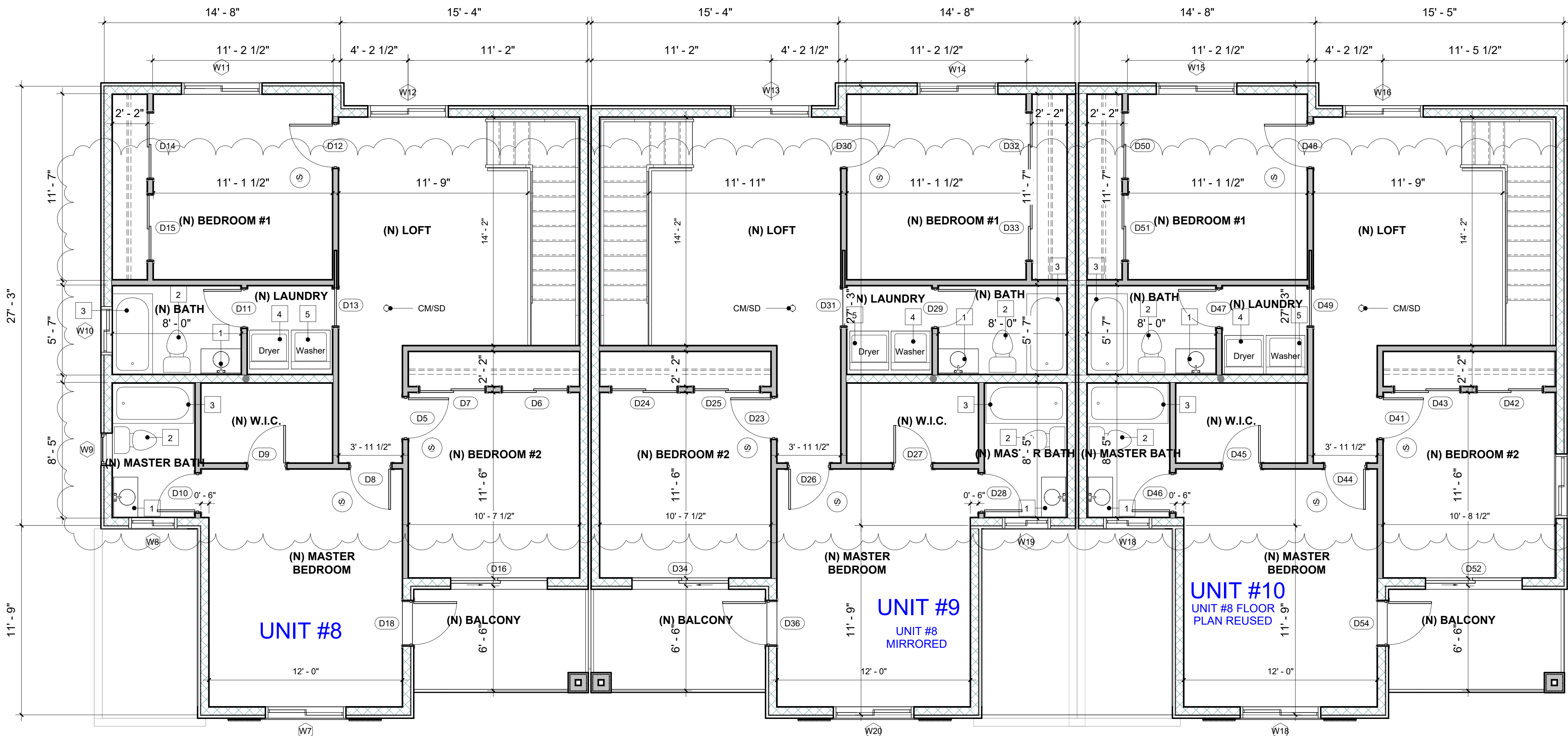
DRAWN: RO

SCALE: As indicated

JOB NO.: 009ADU2022

A5.1

NOTICE: WRITTEN DIMENSIONS OF THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. THESE DRAWINGS AND LAYOUTS ARE NOT TO BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF STUDIO ROCA, INC.



PROPOSED 2ND FLOOR PLAN

1/4" = 1'-0"



(N) WINDOW SCHEDULE					
MARK	WIDTH	HEIGHT	SILL HEIGHT	TYPE COMMENTS	COMMENTS
W1	4'-0"	4'-0"	4'-0"	Vinyl Sliding Window	Dual Glazed Glass
W2	4'-0"	3'-0"	3'-8"	Vinyl Sliding Window	Dual Glazed Glass
W3	4'-0"	3'-0"	3'-8"	Vinyl Sliding Window	Dual Glazed Glass
W4	4'-0"	3'-0"	3'-8"	Vinyl Sliding Window	Dual Glazed Glass
W5	2'-0"	3'-0"	5'-0"	Vinyl Single Hung	Dual Glazed Glass
W6	4'-0"	4'-0"	4'-0"	Vinyl Sliding Window	Dual Glazed Glass
W7	5'-0"	5'-0"	1'-8"	Vinyl Sliding Window	Dual Glazed Glass
W8	3'-0"	1'-6"	5'-2"	Vinyl Sliding Window	Dual Glazed Glass
W9	2'-0"	3'-0"	3'-8"	Vinyl Single Hung	Dual Glazed Glass
W10	3'-0"	1'-6"	5'-2"	Vinyl Sliding Window	Dual Glazed Glass
W11	5'-0"	5'-0"	1'-8"	Vinyl Sliding Window	Dual Glazed Glass
W12	5'-0"	5'-0"	1'-8"	Vinyl Sliding Window	Dual Glazed Glass
W13	5'-0"	5'-0"	1'-8"	Vinyl Sliding Window	Dual Glazed Glass
W14	5'-0"	5'-0"	1'-8"	Vinyl Sliding Window	Dual Glazed Glass
W15	5'-0"	5'-0"	1'-8"	Vinyl Sliding Window	Dual Glazed Glass
W16	5'-0"	3'-0"	1'-8"	Vinyl Sliding Window	Dual Glazed Glass
W17	4'-0"	4'-0"	3'-0"	Vinyl Sliding Window	Dual Glazed Glass
W18	3'-0"	1'-6"	5'-2"	Vinyl Sliding Window	Dual Glazed Glass
W18	5'-0"	5'-0"	1'-8"	Vinyl Sliding Window	Dual Glazed Glass
W19	3'-0"	1'-6"	5'-2"	Vinyl Sliding Window	Dual Glazed Glass
W20	5'-0"	5'-0"	1'-8"	Vinyl Sliding Window	Dual Glazed Glass

(N) DOOR SCHEDULE					
MARK	WIDTH	HEIGHT	FINISH	COMMENTS	
D1	16'-0"	7'-0"	Pre - Fab Garage Metal Door	2-Car	
D2	2'-8"	6'-8"	Solid Core 1 3/4" Thick	Swing - Self latching	
D3	2'-4"	6'-8"	Hollow Core	Swing	
D4	6'-0"	6'-8"	Tempered Glass	Vinyl Sliding Door	
D5	2'-6"	6'-8"	Hollow Core	Swing	
D6	4'-0"	6'-8"	Hollow Core	Sliding Closet Door	
D7	4'-0"	6'-8"	Hollow Core	Sliding Closet Door	
D8	2'-6"	6'-8"	Hollow Core	Swing	
D9	2'-4"	6'-8"	Hollow Core	Swing	
D10	2'-4"	6'-8"	Hollow Core	Swing	
D11	2'-4"	6'-8"	Hollow Core	Swing	
D12	2'-8"	6'-8"	Hollow Core	Swing	
D13	2'-4"	6'-8"	Hollow Core	Pocket Door	
D14	4'-0"	6'-8"	Hollow Core	Sliding Closet Door	
D15	4'-0"	6'-8"	Hollow Core	Sliding Closet Door	
D16	6'-0"	6'-8"	Tempered Glass	Vinyl Sliding Door	
D17	5'-0"	6'-8"	Solid Core 1 3/8" Thick	Swing W/ Sideights - Self Latching	
D18	2'-8"	6'-8"	Hollow Core	Swing	
D19	16'-0"	7'-0"	Pre - Fab Garage Metal Door	2-Car	
D20	2'-8"	6'-8"	Solid Core 1 3/4" Thick	Swing - Self latching	
D21	2'-4"	6'-8"	Hollow Core	Swing	
D22	6'-0"	6'-8"	Tempered Glass	Vinyl Sliding Door	
D23	2'-6"	6'-8"	Hollow Core	Swing	
D24	4'-0"	6'-8"	Hollow Core	Sliding Closet Door	
D25	4'-0"	6'-8"	Hollow Core	Sliding Closet Door	
D26	2'-6"	6'-8"	Hollow Core	Swing	
D27	2'-4"	6'-8"	Hollow Core	Swing	

(N) DOOR SCHEDULE					
MARK	WIDTH	HEIGHT	FINISH	COMMENTS	
D28	2'-4"	6'-8"	Hollow Core	Swing	
D29	2'-4"	6'-8"	Hollow Core	Swing	
D30	2'-8"	6'-8"	Hollow Core	Swing	
D31	2'-4"	6'-8"	Hollow Core	Pocket Door	
D32	4'-0"	6'-8"	Hollow Core	Sliding Closet Door	
D33	4'-0"	6'-8"	Hollow Core	Sliding Closet Door	
D34	6'-0"	6'-8"	Tempered Glass	Vinyl Sliding Door	
D35	5'-0"	6'-8"	Solid Core 1 3/8" Thick	Swing W/ Sideights - Self Latching	
D36	2'-8"	6'-8"	Hollow Core	Swing	
D37	16'-0"	7'-0"	Pre - Fab Garage Metal Door	2-Car	
D38	2'-8"	6'-8"	Solid Core 1 3/4" Thick	Swing - Self latching	
D39	2'-4"	6'-8"	Hollow Core	Swing	
D40	6'-0"	6'-8"	Tempered Glass	Vinyl Sliding Door	
D41	2'-6"	6'-8"	Hollow Core	Swing	
D42	4'-0"	6'-8"	Hollow Core	Sliding Closet Door	
D43	4'-0"	6'-8"	Hollow Core	Sliding Closet Door	
D44	2'-6"	6'-8"	Hollow Core	Swing	
D45	2'-4"	6'-8"	Hollow Core	Swing	
D46	2'-4"	6'-8"	Hollow Core	Swing	
D47	2'-4"	6'-8"	Hollow Core	Swing	
D48	2'-8"	6'-8"	Hollow Core	Swing	
D49	2'-4"	6'-8"	Hollow Core	Pocket Door	
D50	4'-0"	6'-8"	Hollow Core	Sliding Closet Door	
D51	4'-0"	6'-8"	Hollow Core	Sliding Closet Door	
D52	6'-0"	6'-8"	Tempered Glass	Vinyl Sliding Door	
D53	5'-0"	6'-8"	Solid Core 1 3/8" Thick	Swing W/ Sideights - Self Latching	
D54	2'-8"	6'-8"	Hollow Core	Swing	

KEYNOTE

1	LAVATORY FAUCET TO HAVE A WATER EFFICIENCY OF 1.2 GPM @ 60 PSI
2	WATER CLOSET SHALL BE 1.28 GALLONS PER FLUSH MAXIMUM (24" MIN. CLEAR IN FRONT OF W.C. AND 30" CLEAR WIDTH SPACE, 15" MIN. CENTER LINE TO ANY WALL OR OBSTRUCTION ON EACH SIDE)
3	TUB, SHOWER OR TUB/SHOWER COMBINATION W/ 72" HIGH OF GREEN GYPSUM BOARD AT SURROUNDING WALLS. (FLOOR, WALLS AND COMPARTMENTS SHALL BE FINISHED WITH NON-ABSORBENT SURFACE TO A MIN. HEIGHT OF 72" ABOVE THE FLOOR.)
4	(N) DRYER MACHINE W/ 4" DIA. DRYER VENT THRU ROOF. MAXIMUM LENGTH SHALL BE 14' INCLUDING TWO 90° ELBOWS. TERMINATE NOT LESS THAN 3FT FROM BUILDING OPENINGS.
5	WASHER MACHINE. PROVIDE HOT AND COLD WATER AND WASTE IN RECESSED WALL BOX.

WALL LEGEND

EXTERIOR WALL	
1	EXTERIOR 7/8" STUCCO PLASTER (3-COATS)
2	GRADE 'D' PAPER ICC-ER ESR-2375
3	WALL SHEATHING (WHERE OCCURS)
4	2X4" STUDS @ 16" O.C. EXTERIOR WALL
5	1/2" GYPSUM BOARD UP TO CEILING
INTERIOR WALL	
1	1/2" GYPSUM BOARD EACH SIDE
2	2X4" STUDS @ 16" O.C. INTERIOR WALL
EXTERIOR WALL	
1	EXTERIOR 7/8" STUCCO PLASTER (3-COATS)
2	GRADE 'D' PAPER ICC-ER ESR-2375
3	WALL SHEATHING (WHERE OCCURS)
4	2X6" STUDS @ 16" O.C. EXTERIOR WALL
5	1/2" GYPSUM BOARD UP TO CEILING
PLUMBING WALL	
1	1/2" GYPSUM BOARD EACH SIDE
2	2X6" STUDS @ 16" O.C. INTERIOR WALL

NOTES

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PRINCIPAL DESIGNER:



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TRIPLEX (UNITS 8-10)

1438 W 11TH ST & BUENA VISTA AVE, POMONA, CA 91766

CONTACT INFORMATION / OWNER

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009ADU2022

PROJECT TITLE

SHEET TITLE

**PROPOSED FLOOR
PLAN - TRIPLEX
2ND FLOOR (UNITS
8 - 10)**

REVISIONS

REV. #	DATE
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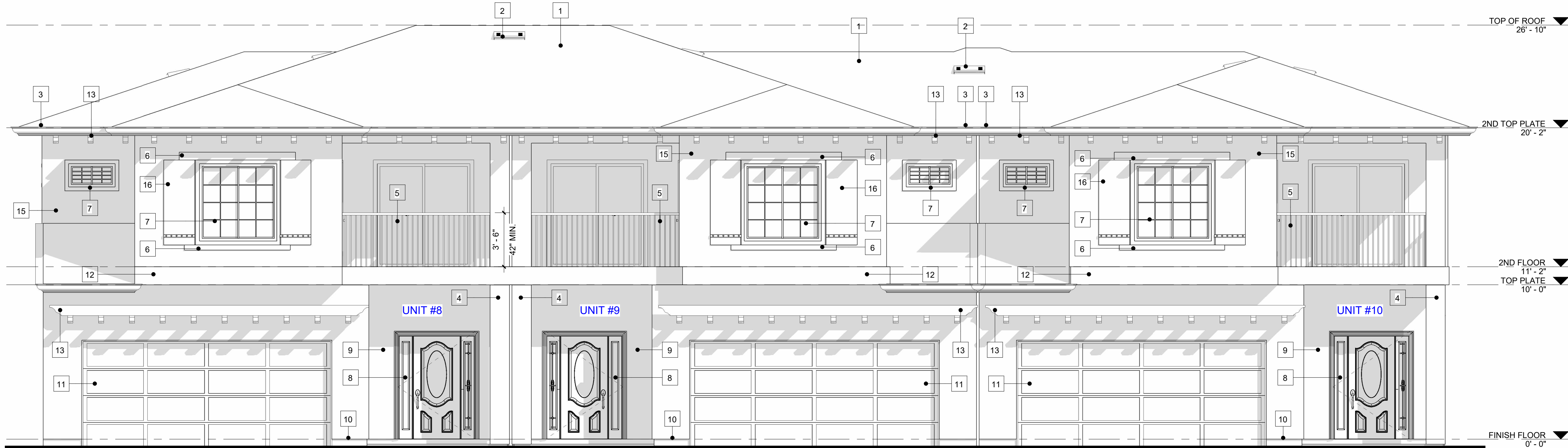
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SCALE: As indicated

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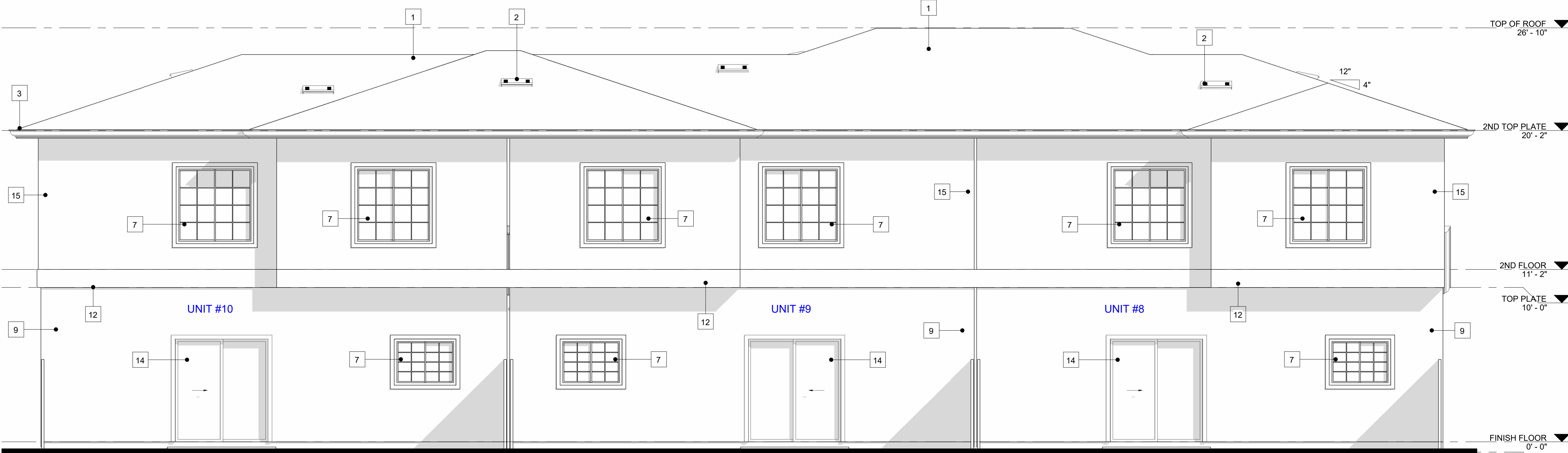
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EAST ELEVATION

1/4" = 1'-0"



WEST ELEVATION

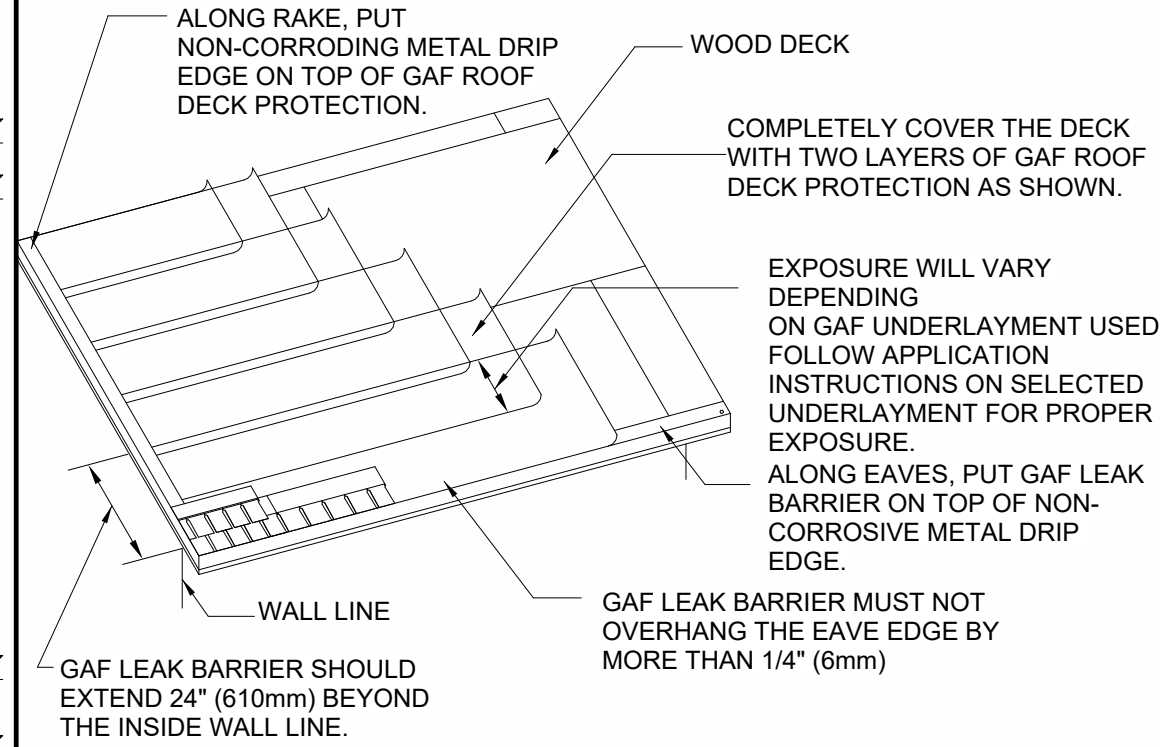
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KEYNOTE

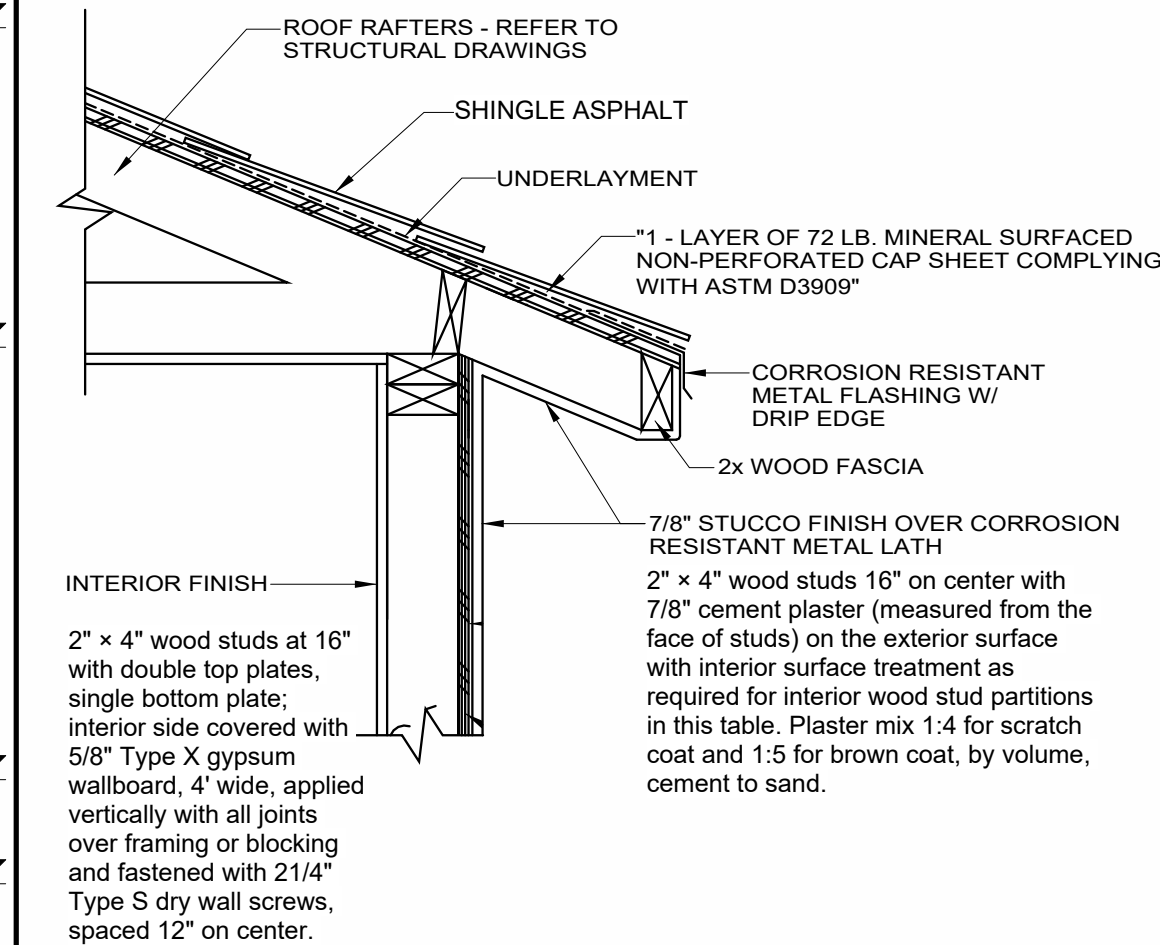
- | | |
|----|---|
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| 7 | (N) WINDOW |
| 8 | (N) DOOR |
| 9 | (N) EXT. 7/8" STUCCO PLASTER (3-COATS) OVER GRADE 'D' PAPER ICC-ER ESR-2323 - COLOR AND MATERIAL TO MATCH PRIMARY UNIT |
| 10 | (N) CONTINUOUS GALVANIZED SHEET METAL WEEP SCREED |
| 11 | (N) GARAGE DOOR |
| 12 | (N) DECORATIVE WOOD TRIM INBETWEEN STUCCO AND SIDING FINISH |
| 13 | (N) DECORATIVE WOOD CORBELS |
| 14 | (N) SLIDING DOOR |
| 15 | (N) SIDING FINISH |
| 16 | (N) DECORATIVE WOOD SHUTTERS |



A- UNDERLAYMENT LAYOUT

SCALE
N.T.S.

A3



ENCLOSE EAVE DETAIL 1

SCALE
N.T.S.

A4

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TRIPLEX (UNITS 8-10)

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CONTACT INFORMATION / OWNER

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PROJECT TITLE

SHEET TITLE

EXTERIOR
ELEVATIONS -
TRIPLEX EAST &
WEST (UNITS 8 -10)

REVISIONS

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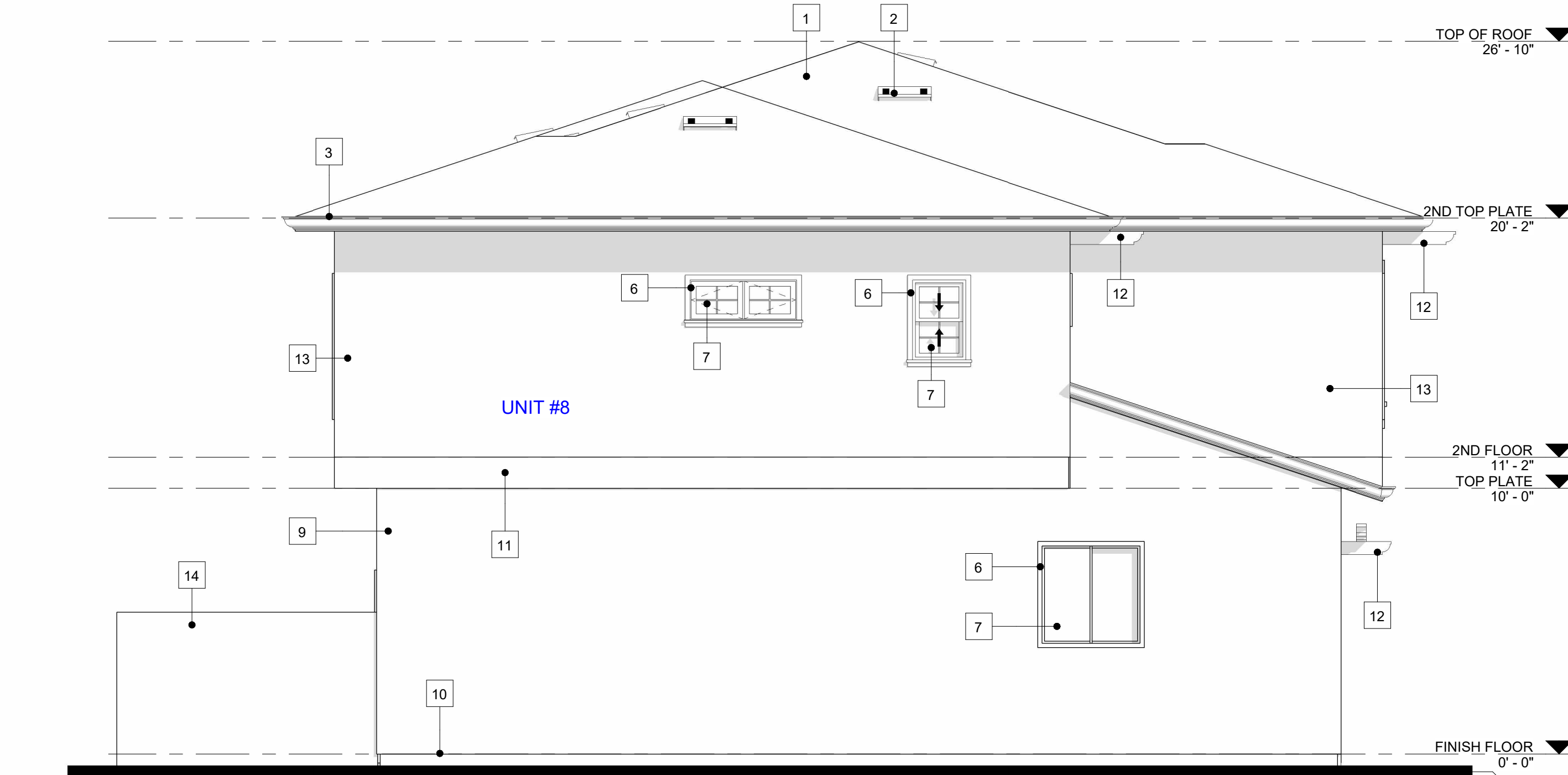
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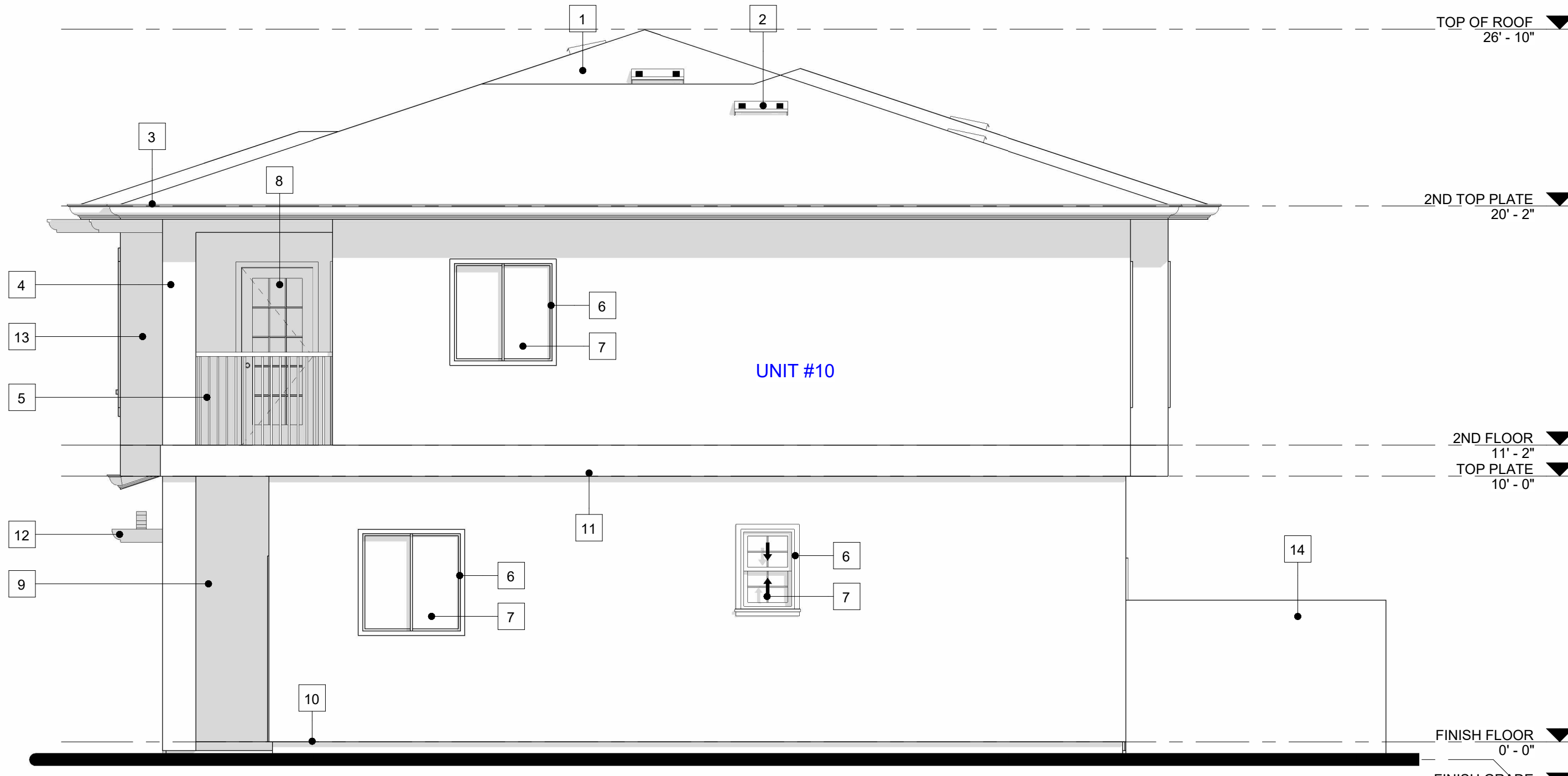
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SOUTH ELEVATION

1/4" = 1'-0"



NORTH ELEVATION

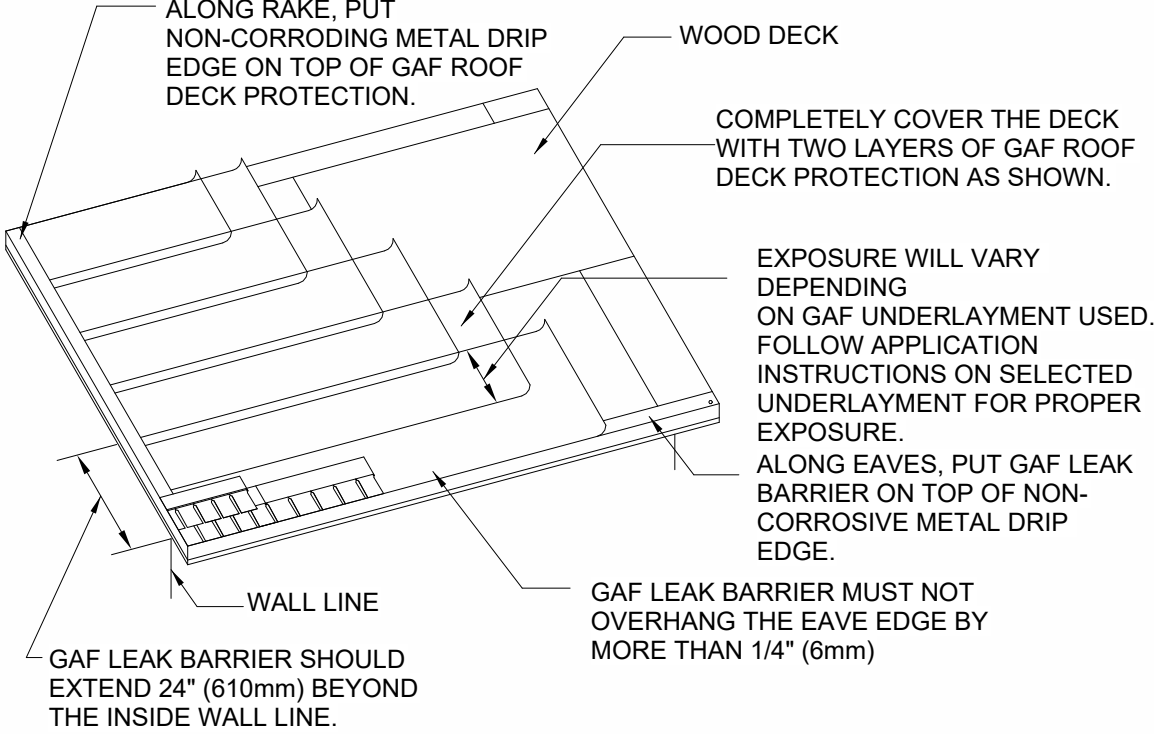
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- (N) SIDING FINISH
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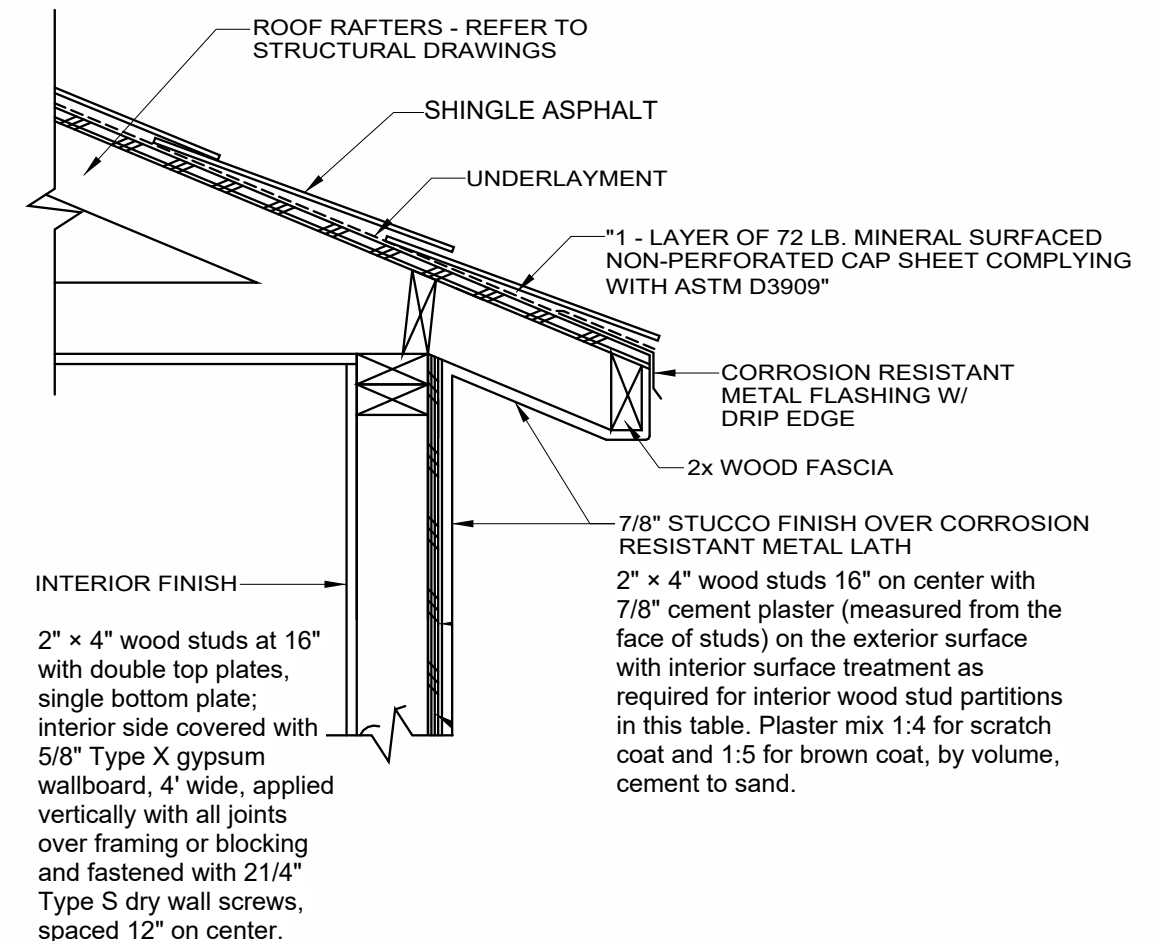


A- UNDERLAYMENT LAYOUT.

SCALE

N.T.S.

4



ENCLOSE EAVE DETAIL1.

SCALE

N.T.S.

3

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009ADU2022

PROJECT TITLE

SHEET TITLE

EXTERIOR ELEVATIONS - TRIPLEX SOUTH & NORTH (UNITS 8 - 10)

REVISIONS

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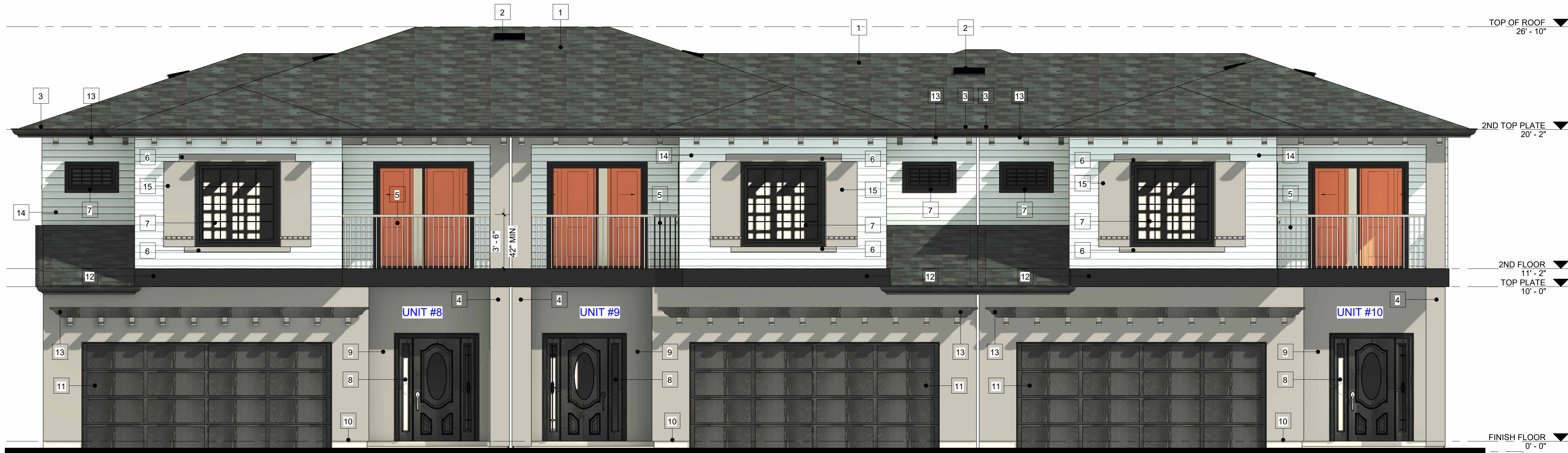
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SCALE: As indicated

JOB NO: 009ADU2022

A6.2

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EAST COLOR ELEVATION

1/4" = 1'-0"



WEST COLOR ELEVATION

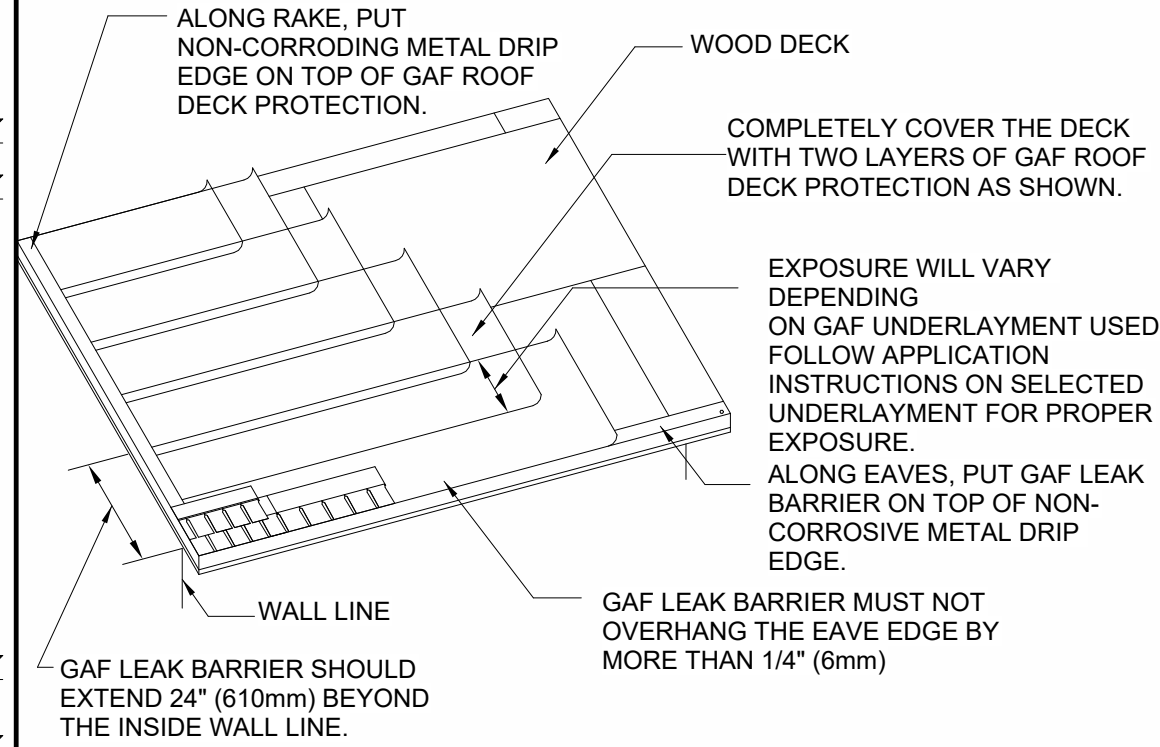
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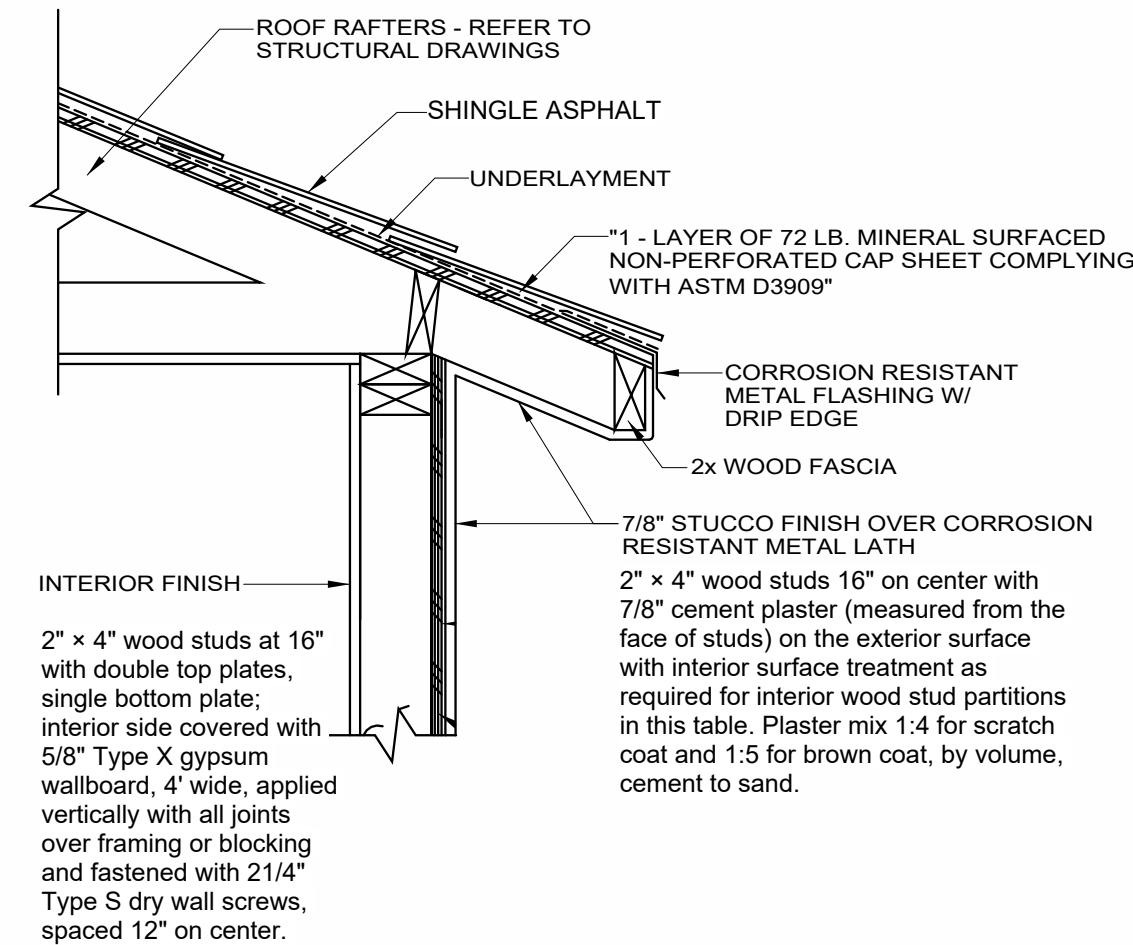
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- (N) GUARDRAIL, 42" MIN. HT. W/ RAILS SPACED AT 4" O.C MAXIMUM.
- (N) DECORATIVE FOAM TRIM
- (N) WINDOW
- (N) DOOR
- (N) EXT. 7/8" STUCCO PLASTER (3-COATS) OVER GRADE 'D' PAPER ICC-ER ESR-2323 - COLOR AND MATERIAL TO MATCH PRIMARY UNIT
- (N) CONTINUOUS GALVANIZED SHEET METAL WEEP SCREED
- (N) GARAGE DOOR
- (N) DECORATIVE WOOD TRIM INBETWEEN STUCCO AND SIDING FINISH
- (N) DECORATIVE WOOD CORBELS
- (N) SIDING FINISH
- (N) DECORATIVE WOOD SHUTTERS
- (N) SLIDING DOOR



A- UNDERLAYMENT LAYOUT....

SCALE
N.T.S.

A3



ENCLOSE EAVE DETAIL1....

SCALE
N.T.S.

A4

NOTES

- OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOF USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS. DOORS SHALL BE SELF-LATCHING AND EQUIPPED WITH A SELF CLOSING OR AUTOMATIC CLOSING DEVICE. (R302.5)
- THE GARAGE AND/OR CARPORT SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION (R302.5). ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R702.3.5. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL. A SEPARATION IS NOT REQUIRED BETWEEN THE DWELLING UNIT AND A CARPORT, PROVIDED THE CARPORT IS ENTIRELY OPEN ON TWO OR MORE SIDES AND THERE ARE NOT ENCLOSED AREAS ABOVE (R302.5).
- ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYPSUM BOARD (R302.7).
- BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY (R310.1). THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES (610 MM), THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES (508 MM). THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING (R310.2.2). EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENINGS NOT GREATER THAN 44 INCHES (1118 MM) MEASURED FROM THE FLOOR (R310.2.3).
- SINGLE- OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED IN GROUPS R-2, R-2.1, R-2.2, R-3, R-3.1 AND R-4 REGARDLESS OF OCCUPANT LOAD AT ALL OF THE FOLLOWING LOCATIONS:
1. ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.
2. IN EACH ROOM USED FOR SLEEPING PURPOSES.
3. IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL (907.2.11.2)

PRINCIPAL DESIGNER:



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TRIPLEX (UNITS 8-10)

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PROJECT TITLE

SHEET TITLE

EXTERIOR COLOR
ELEVATIONS -
TRIPLEX EAST &
WEST (UNITS 8 -10)

REVISIONS

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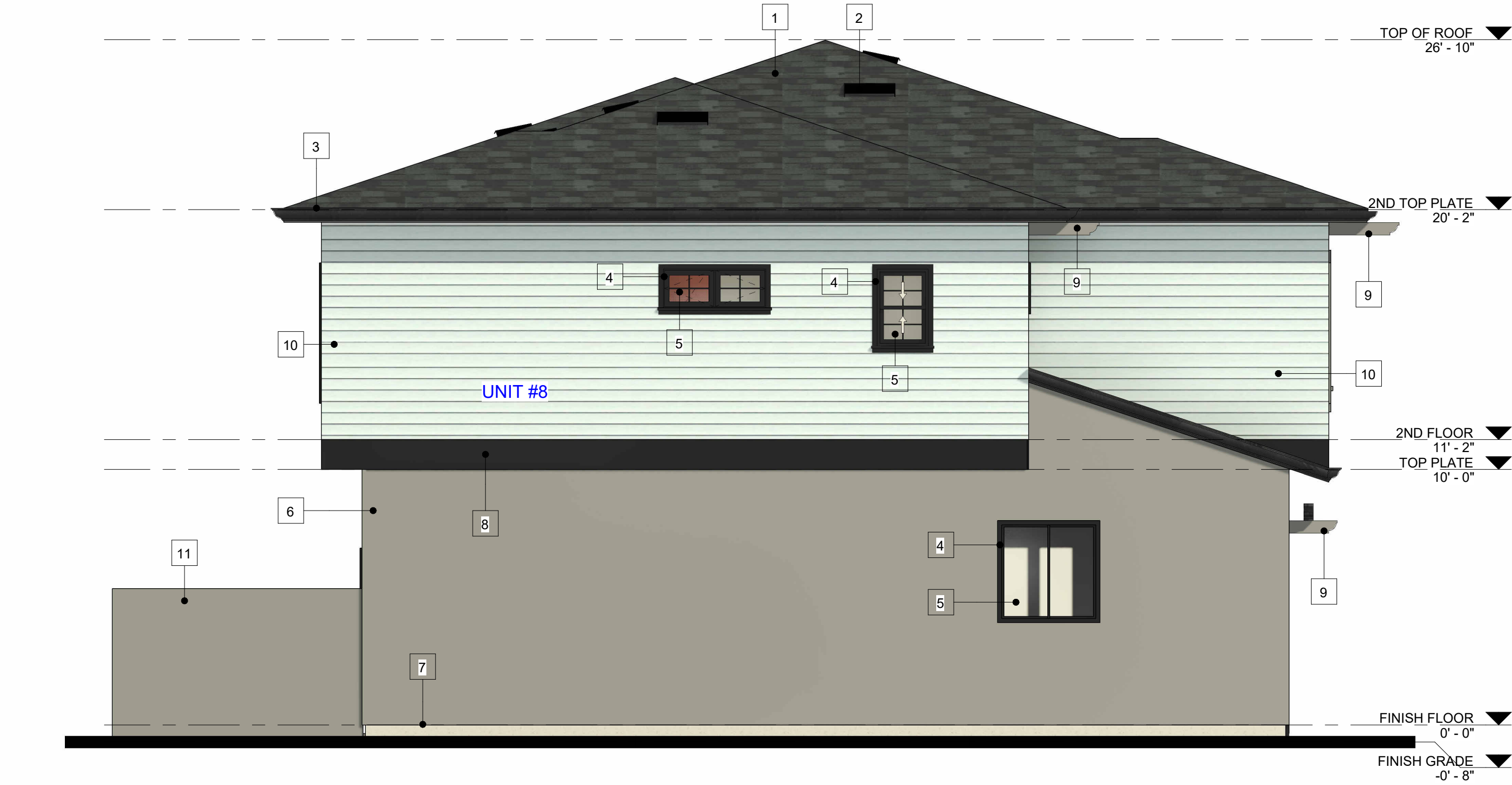
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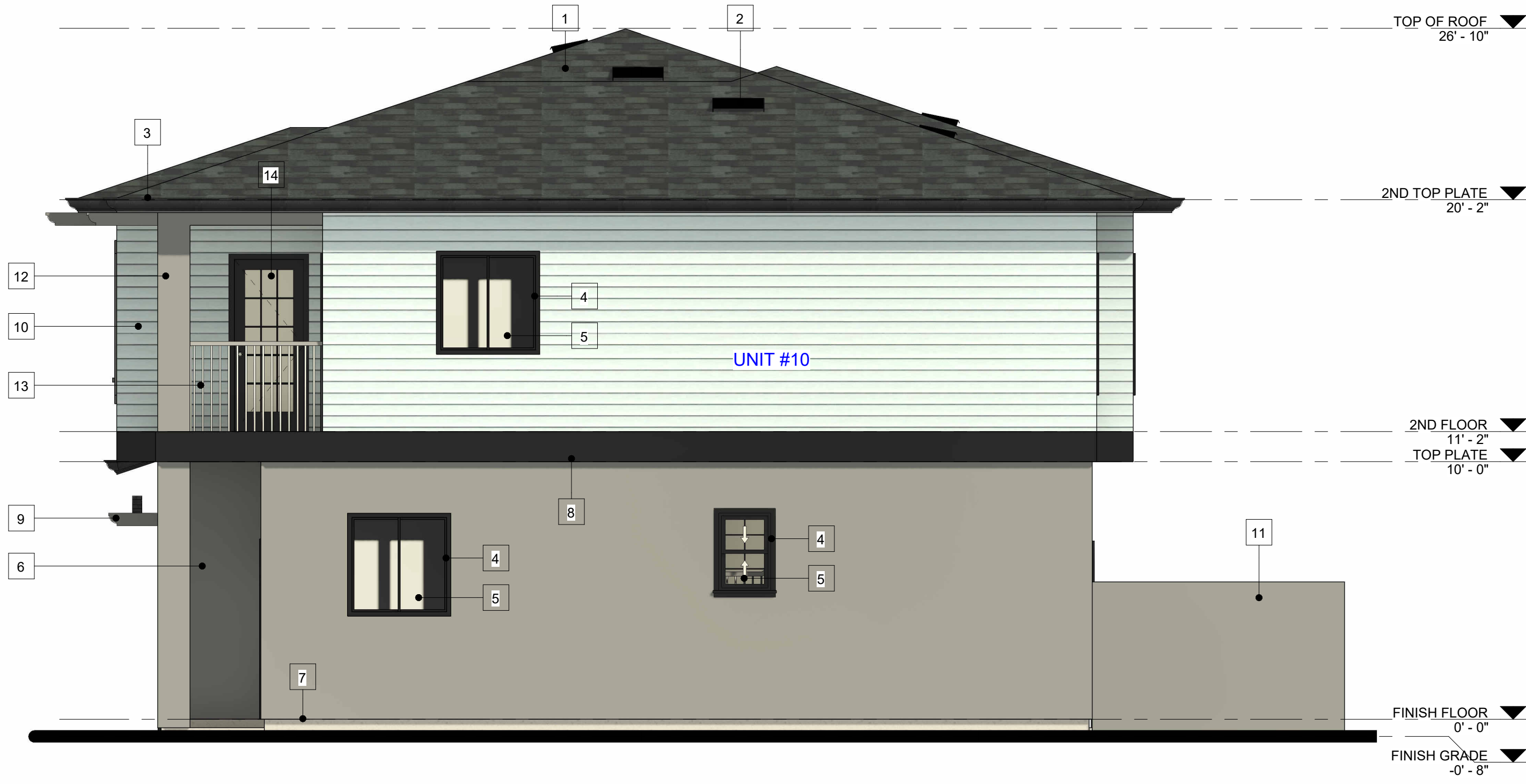
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NOTICE: WRITTEN DIMENSIONS OF THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. THESE DRAWINGS AND LAYOUTS ARE NOT TO BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF STUDIO ROCA, INC.



SOUTH COLOR ELEVATION

1/4" = 1'-0"



NORTH COLOR ELEVATION

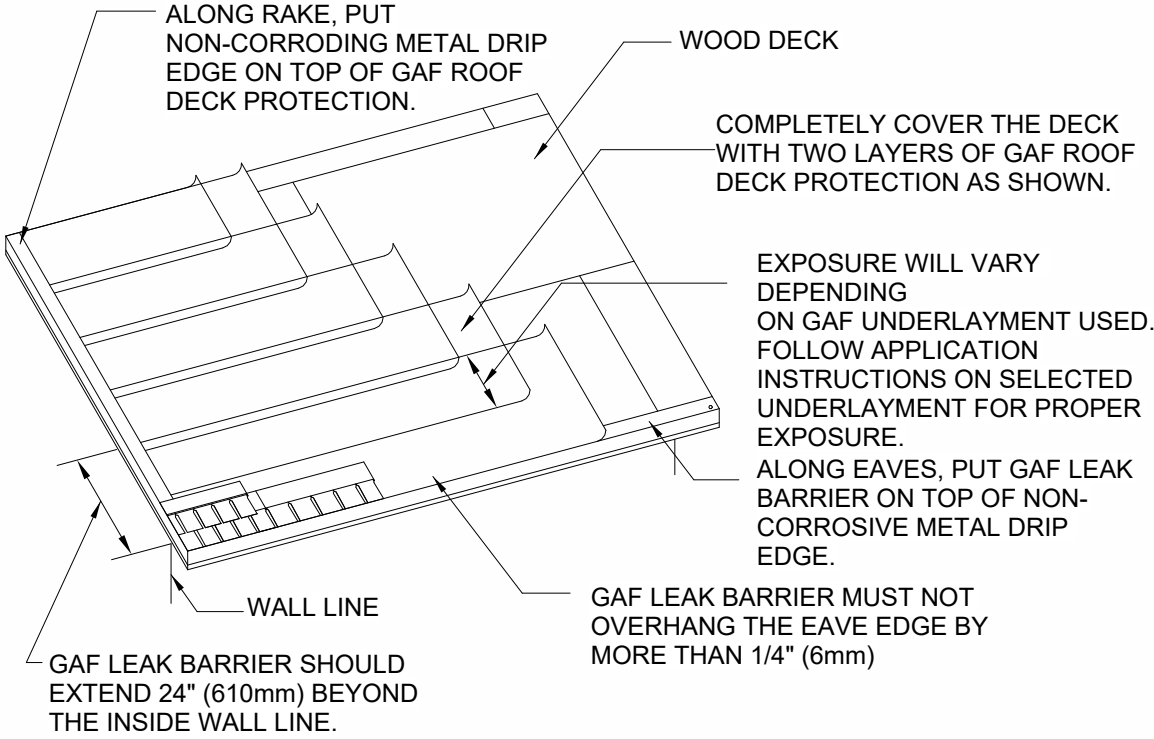
1/4" = 1'-0"

ELEVATION NOTES....

- ALL DETAIL REFERENCES ARE TYPICAL AND APPLY TO ALL SIMILAR CONDITIONS WHETHER SPECIFICALLY REFERENCED OR NOT.
- ALL DIMENSIONS ARE TO FACE OF FRAMING U.N.O.
- ALL WINDOWS REQUIRED FOR EMERGENCY EXISTING FER C.R.C SHALL BE VERIFIED BY THE WINDOW SUBCONTRACTOR AND THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IF ANY REVISION TO WINDOW SIZES ARE REQUIRED PRIOR TO START OF CONSTRUCTION SAID WINDOW SHALL PROVIDE A CLEAR OPENING OF 5.7 SQ. FT. (MIN.), 20" CLEAR WIDTH (MIN.), AND 24" CLEAR HEIGHT (MIN.) EXTERIOR CEMENT PLASTER FINISH: LIGHT SAND WITH BULLNOSE CORNER BEAD AT ALL EXTERIOR - VERIFY WITH BUILDER.
- TWO LAYERS OF NO 30 ASPHALT FELT, COMPLYING WITH ASTM D 226 FOR TYPE 1 FELT, OR OTHER APPROVED WATER-RESISTIVE BARRIER, IS REQUIRED FOR THE EXTERIOR. SUCH MATERIAL SHALL BE APPLIED HORIZONTALLY, WITH THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 2" AND WHERE JOIST OCCUR, THE MATERIAL SHALL BE LAPPED NO LESS THAN 6 INCHES. WHERE APPLIED OVER WOOD BASED SHEATING A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER IS REQUIRED. (R703.2, R703.7.3 CRC)
- THE GARAGE AND/OR CARPORT SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION R302.5. ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R702.3.5. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL. A SEPARATION IS NOT REQUIRED BETWEEN THE DWELLING UNIT AND A CARPORT, PROVIDED THE CARPORT IS ENTIRELY OPEN ON TWO OR MORE SIDES AND THERE ARE NOT ENCLOSED AREAS ABOVE.

KEYNOTE

- (N) EAGLE ROOF TILE CAPISTRANO S-PROFILES 900 LBS PER 100 SF CLASS 'A' UES ER-1900 UPDATED TO 2015 IRC/IBC OVER 2-LAYER OF 30 FELT UNDERLAYMENT
- (N) O'HAGIN ROOF FLAT VENTS
- (N) FASCIA AROUND ROOF
- (N) DECORATIVE FOAM TRIM
- (N) WINDOW
- (N) EXT. 7/8" STUCCO PLASTER (3-COATS) OVER GRADE 'D' PAPER ICC-ER ESR-2323 - COLOR AND MATERIAL TO MATCH PRIMARY UNIT
- (N) CONTINUOUS GALVANIZED SHEET METAL WEEP SCREED
- (N) DECORATIVE WOOD TRIM INBETWEEN STUCCO AND SIDING FINISH
- (N) DECORATIVE WOOD CORBELS
- (N) SIDING FINISH
- (N) 6' HIGH VINYL FENCE
- (N) DECORATIVE STUCCO COLUMNS
- (N) GUARDRAIL, 42" MIN. HT. W/ RAILS SPACED AT 4" O.C MAXIMUM.
- (N) DOOR

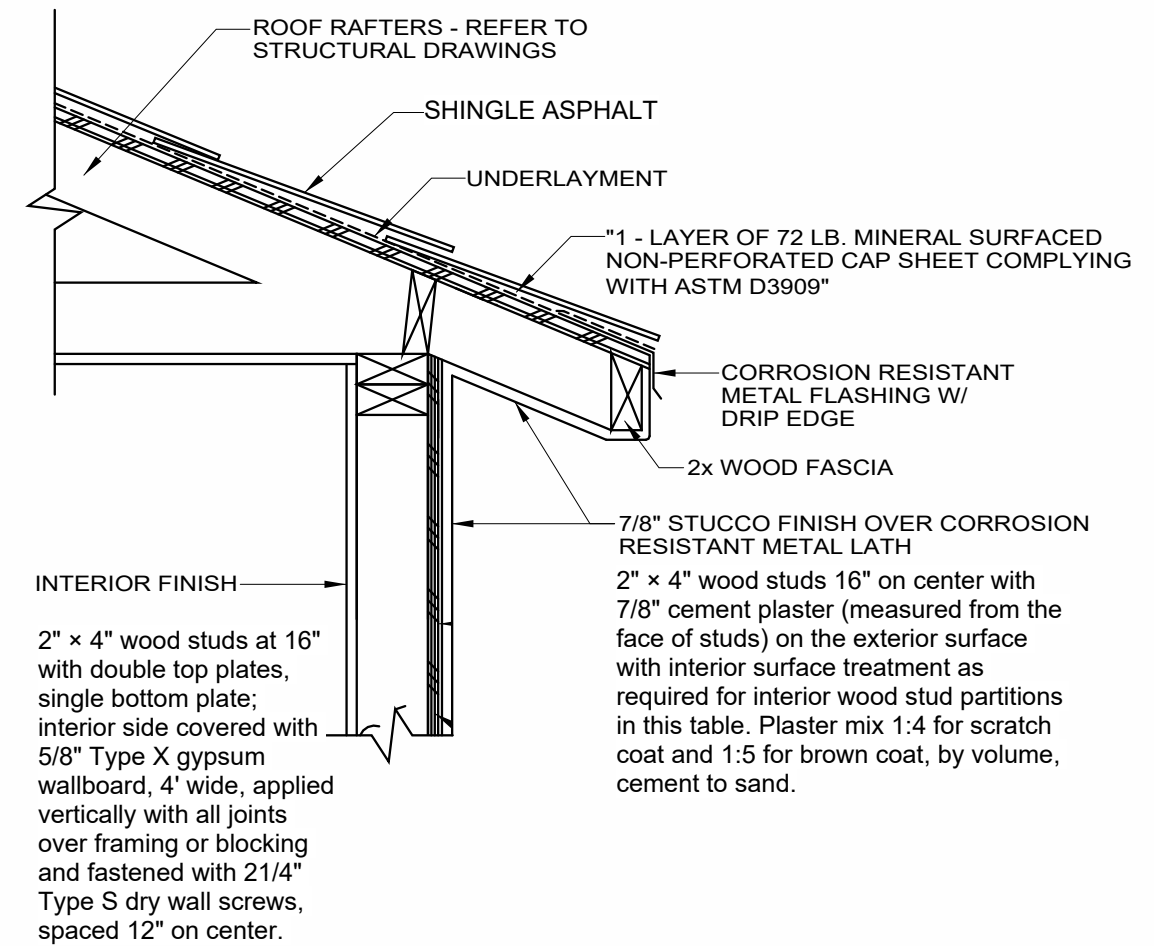


A- UNDERLAYMENT LAYOUT.....

SCALE

N.T.S.

4



ENCLOSE EAVE DETAIL1.....

SCALE

N.T.S.

3

NOTES

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009ADU2022

PROJECT TITLE

SHEET TITLE

EXTERIOR COLOR
ELEVATIONS -
TRIPLEX SOUTH &
NORTH (UNITS 8 -
10)

REVISIONS

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