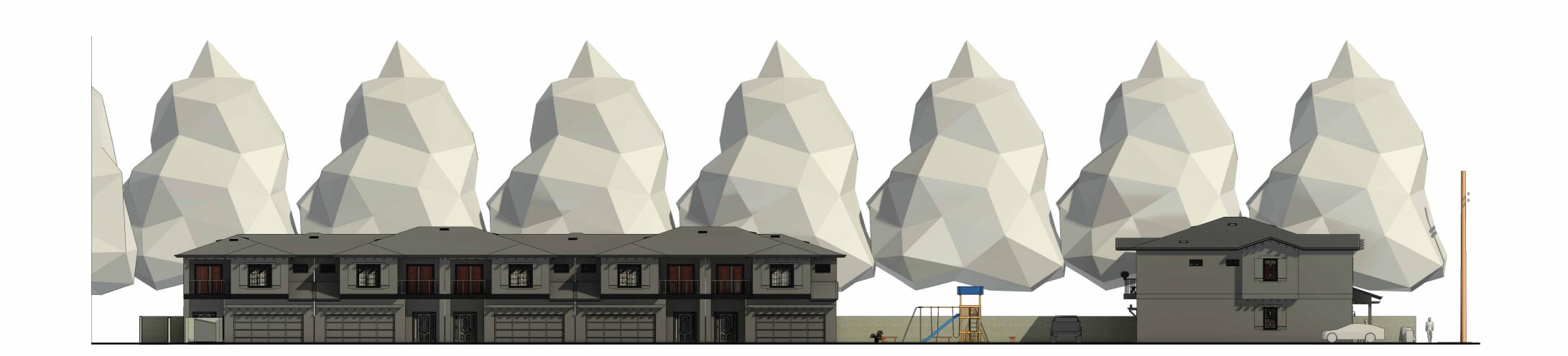
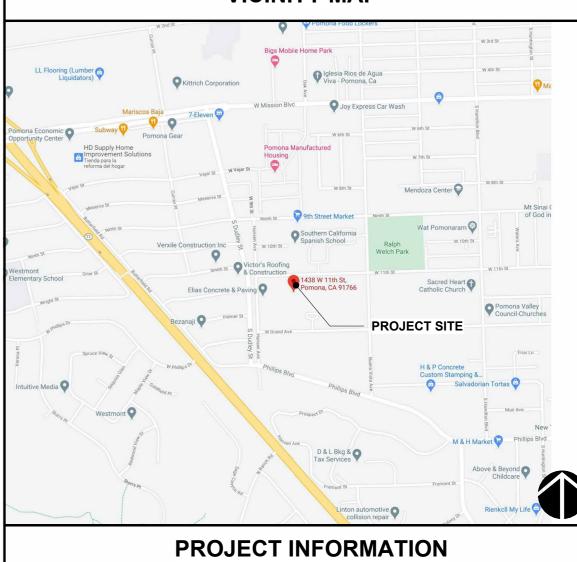
# NEW APARTMENT COMPLEX (10 UNITS)





### **VICINITY MAP**



ROJECT NAME:	MULTI RESIDENCIAL
WNER / APPLICANT:	ELEVENTH & BUENA VISTA LLC (323) 353-9335 485 E 18TH ST, UPLAND CA 91784
ONTACT	RICHARD ORTIZ
ESIGNER:	STUDIO ROCA INC. P.O. BOX 850 RANCHO CUCAMONGA CA 91729 PH: (909) 239-0867 E: studio_roca@yahoo.com

#### SCOPE OF WORK

2 TRASH ENCLOSURE WITH SCREENING LANDSCAPE AREA DRIVEWAY APPROACH AND DRIVEWAYS

	SHEET INDEX
SHEET NUMBER	SHEET NAME
A0.1	TITLE SHEET / SITE PLAN/ GENERAL NOTES
A0.2	TITLE SHEET / SITE PLAN/ GENERAL NOTES - O2
A0.3	MATERIAL SAMPLE BOARD
A0.4	GENERAL SECTIONS
A0.5	FIRE ACCESS PLAN
A0.6	PRELIMINARY UTILITY PLAN
A0.7	CONCENPTUAL LANDSCAPE PLAN (FOR REFERENCE ONLY)
A1.1	PROPOSED FLOOR PLAN - DUPLEX 1ST FLOOR (UNITS 1 - 2)
A1.2	PROPOSED FLOOR PLAN - DUPLEX 2ND FLOOR (UNITS 1 -2)
A2.1	EXTERIOR ELEVATIONS - DUPLEX NORTH & WEST (UNITS 1 - 2)
A2.2	EXTERIOR ELEVATIONS - DUPLEX SOUTH & EAST (UNITS 1 - 2)
A2.3	EXTERIOR COLOR ELEVATIONS - DUPLEX NORTH & WEST (UNITS 1 - 2)
A2.4	EXTERIOR COLOR ELEVATIONS - DUPLEX SOUTH AND EAST (UNITS 1 - 2)
A3.0	DOOR SCHEDULE - (UNITS 3 - 7) + 1 HR RATED DETAIL
A3.1	PROPOSED FLOOR PLAN - FIVEPLEX 1ST FLOOR (UNITS 3 - 7)
A3.2	PROPOSED FLOOR PLAN - FIVEPLEX 2 ND FLOOR (UNITS 3 - 7)
A4.1	EXTERIOR ELEVATIONS - FIVEPLEX EAST ONLY (UNITS 3 - 7)
A4.2	EXTERIOR ELEVATIONS - FIVEPLEX WEST ONLY (UNITS 3 - 7)
A4.3	EXTERIOR ELEVATIONS - FIVEPLEX SOUTH & NORTH (UNITS 3 - 7)
A4.4	EXTERIOR COLOR ELEVATIONS - FIVEPLEX EAST ONLY (UNITS 3 - 7)
A4.5	EXTERIOR COLOR ELEVATIONS - FIVEPLEX WEST ONLY (UNITS 3 - 7)
A4.6	EXTERIOR COLOR ELEVATIONS - FIVEPLEX SOUTH & NORTH (UNITS 3 - 7)
A5.1	PROPOSED FLOOR PLAN - TRIPLEX 1ST FLOOR (UNITS 8 - 10)
A5.2	PROPOSED FLOOR PLAN - TRIPLEX 2 ND FLOOR (UNITS 8 - 10)
A6.1	EXTERIOR ELEVATIONS - TRIPLEX EAST & WEST (UNITS (8 - 10)
A6.2	EXTERIOR ELEVATIONS - TRIPLEX SOUTH & NORTH (UNITS (8 - 10)
A6.3	EXTERIOR COLOR ELEVATIONS - TRIPLEX EAST & WEST (UNITS (8 - 10)
A6.4	EXTERIOR COLOR ELEVATIONS - TRIPLEX SOUTH & NORTH (UNITS (8 - 10)

PRINCIPAL DESIGNER:

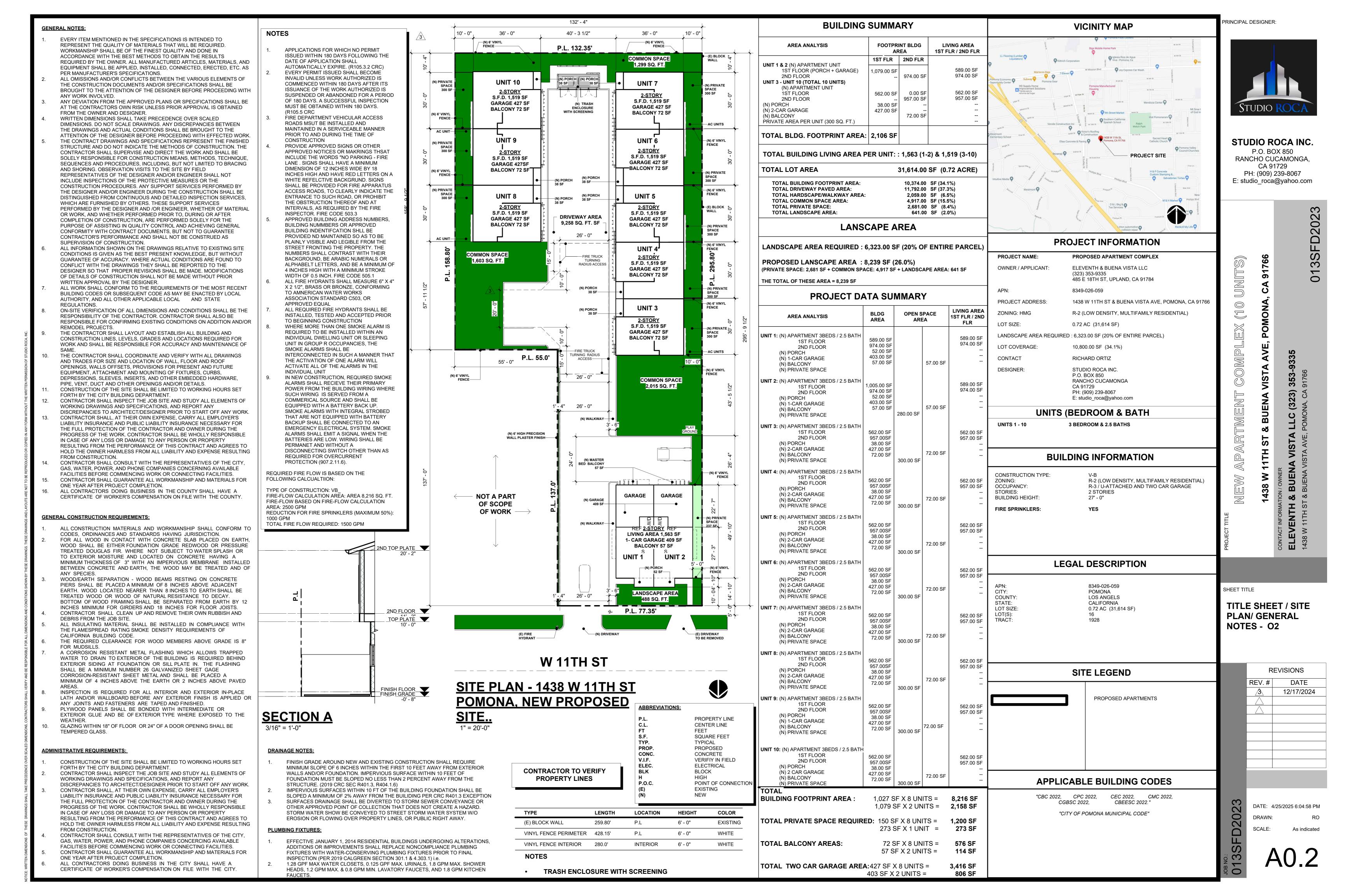


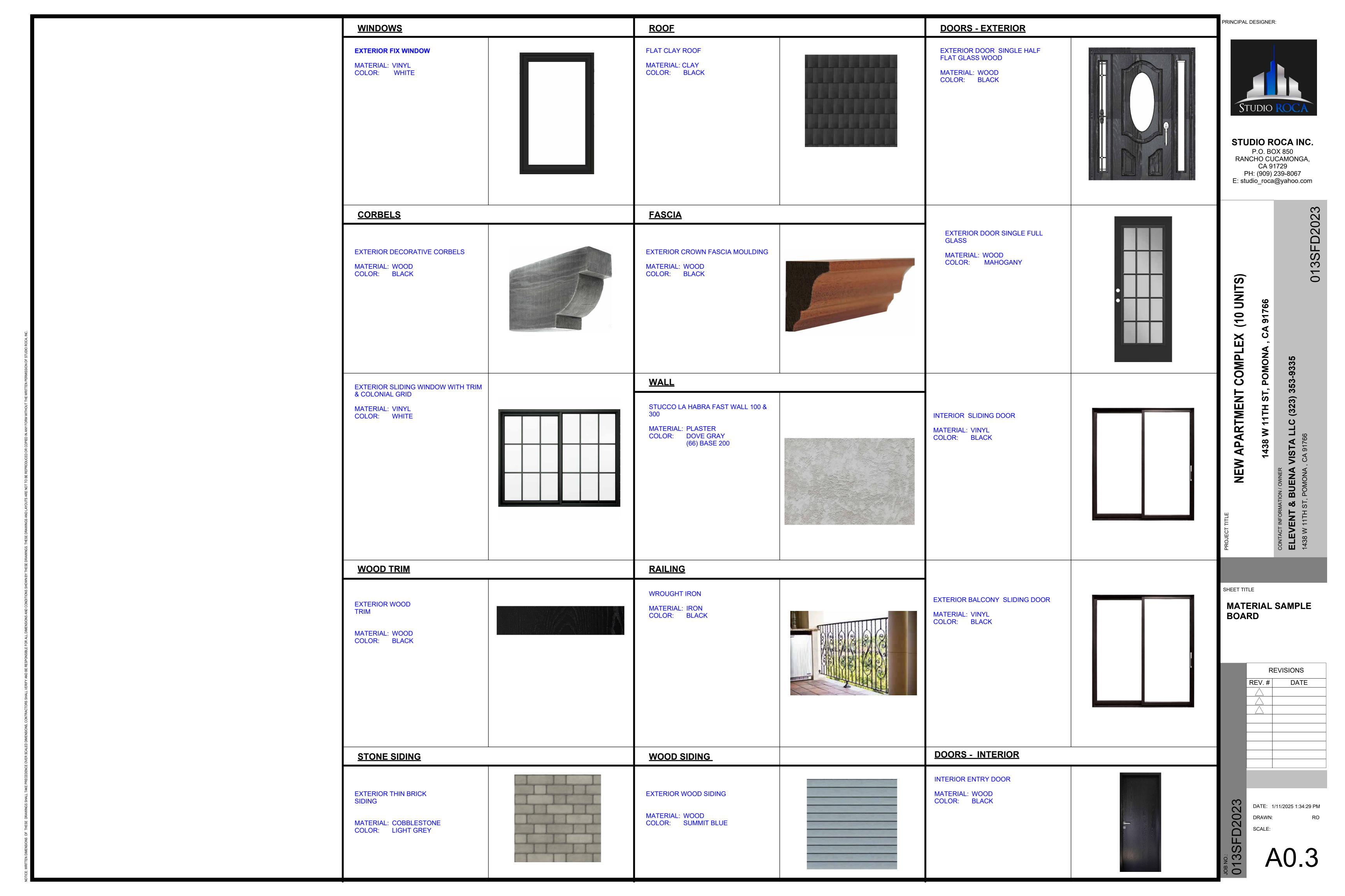
#### STUDIO ROCA INC.

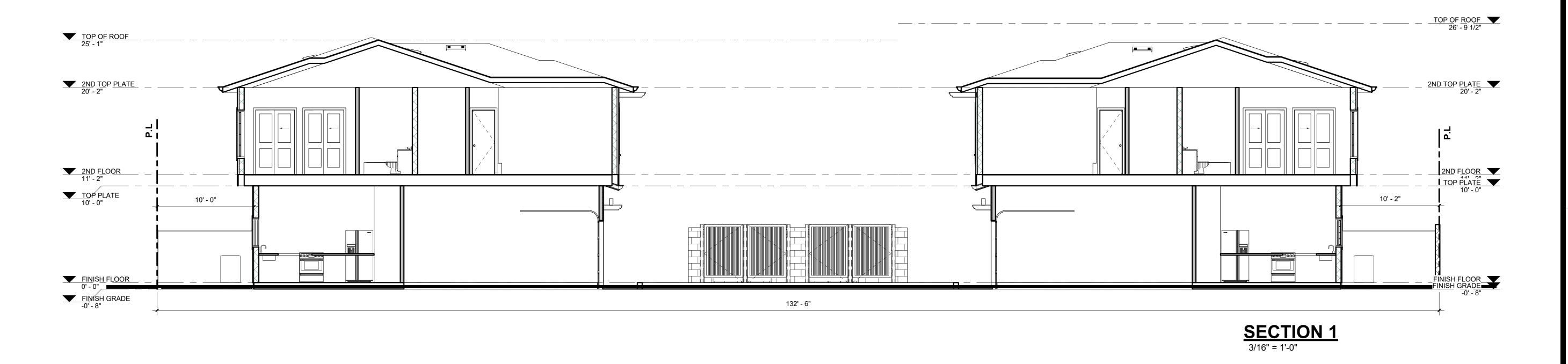
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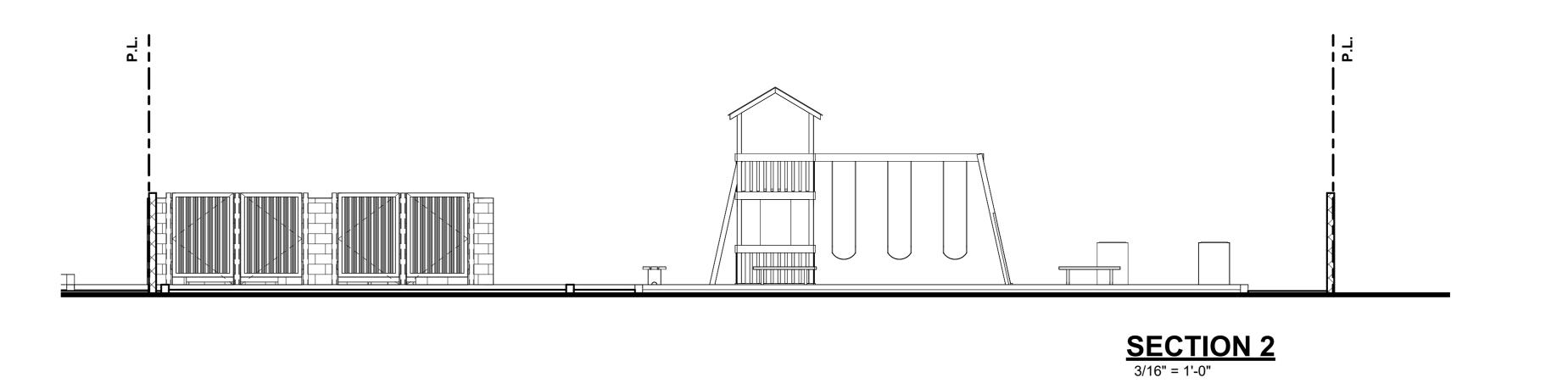
TITLE SHEET / SITE PLAN/ GENERAL NOTES

REVISIONS DATE









PRINCIPAL DESIGNER:



#### STUDIO ROCA INC.

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CA 91729
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E: studio\_roca@yahoo.com

013SFD2023

CA 91766

(10 UNITS)

GENERAL SECTIONS

SHEET TITLE

R	REVISIONS
REV.#	DATE

46' - 3" 29' - 7" 46' - 3" NOTES **ABBREVIATIONS:** 132' - 4" PROPERTY LINE FIRE DEPARTMENT VEHICULAR ACCESS ROADS MUST BE INSTALLED AND CENTER LINE P.L. 132.35' MAINTAINED IN A SERVICEABLE MANNER PRIOR TO AND DURING THE TIME OF CONSTRUCTION, FIRE CODE 501.4 S.F. SQUARE FEET COMMON SPACE FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO TYP. TYPICAL 17/7/7/7/1,299 SQ. FT.//7 5 1/// SUPPORT THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING 5000 POUNDS PROP. PROPOSED AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CONCRETE CAPABILITIES. FIRE APPARATUS ACCESS ROADS HAVING A GRADE OF 10 VERIFIY IN FIELD PERCENT OR GREATER SHALL HAVE A PAVED OR CONCRETE SURFACE. UNIT 7 ELEC. ELECTRICAL PROVIDE APPROVED SIGNS OR OTHER APPROVED NOTICES OR MARKINGS THAT BLOCK INCLUDE THE WORDS "NO PARKING - FIRE LANE . SIGNS SHALL HAVE A MINIMUM S.F.D. 1,519 SF DIMENSION OF 12 INCHES WIDE BY 18 INCHES HIGH AND HAVE RED LETTERS ON S.F.D. 1,519 SF P.O.C. POINT OF CONNECTION **GARAGE 427 SF** A WHITE REFLECTIVE BACKGROUND. SIGNS SHALL BE PROVIDED FOR FIRE **GARAGE 427 SF EXISTING BALCONY 72 SF** APPARATUS ACCESS ROADS, TO CLEARLY INDICATE THE ENTRANCE TO SUCH **BALCONY 72 SF** NEW ROAD. OR PROHIBIT THE OBSTRUCTION THEREOF AND AT INTERVALS, AS FENC REQUIRED BY THE FIRE INSPECTOR. FIRE CODE 503.3 APPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING INDENTIFICATION SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. UNIT 9 UNIT 6 THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS OR ALPHABELT LETTERS, AND BE A MINIMUM OF 4 INCHES HIGH WITH 2-STORY MOST REMOTE POINT @ 98' - 6" A MINIMUM STROKE WIDTH OF 0.5 INCH. FIRE CODE 505.1 S.F.D. 1,519 SF S.F.D. 1,519 SF ALL FIRE HYDRANTS SHALL MEASURE 6" X 4" X 2 1/2", BRASS OR BRONZE, **GARAGE 427 SF GARAGE 427SF** CONFORMING TO AMERICAN WATER WORKS ASSOCIATION STANDARD C503, OR BALCONY 72 SF BALCONY 72 SF APPROVED EQUAL ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED, TESTED AND ACCEPTED PRIOR TO BEGINNING CONSTRUCTION (N) PRIVAT UNIT 8 UNIT 5 7. REQUIRED FIRE FLOW IS BASED ON THE FOLLOWING CALCULATION: S.F.D. 1,519 SF S.F.D. 1,519 SF **GARAGE 427 SF GARAGE 427 SF** 19,258 SQ. FT. SF TYPE OF CONSTRUCTION: VB **BALCONY 72 SF BALCONY 72 SF** FIRE-FLOW CALCULATION AREA: AREA 8,216 SQ. FT. FIRE-FLOW BASED ON FIRE-FLOW CALCULATION AREA: 2500 GPM REDUCTION FOR FIRE SPRINKLERS (MAXIMUM 50%): 1000 GPM TOTAL FIRE FLOW REQUIRED: 1500 GPM UNIT 4 <u>·</u> S.F.D. 1,519 SF **GARAGE 427 SF BALCONY 72 SF** COMMON SPACE 1,603 SQ. FT. UNIT 3 S.F.D. 1,519 SF **GARAGE 427 SF BALCONY 72 SF** COMMON SPACE 2,015 SQ. FT. 44' - 11" GROUN WALL PLASTER FINISH-47' - 2" THE CITY OF POMONA WATER RESOURCES DEPARTMENT FIRE HYDRANT/FLOW INFORMATION **GARAGE** GARAGE All fire flows are conducted using a Pollard Water diffuser and flow rate chart for pitot measurements. PROJECT SITE ADDRESS: 1438 W EleventhSt, Pomona, CA 91766 Hydrant Number: H15\_140 Location: 1438 W Eleventh St **LEGEND** LIVING AREA 1,563 SF 70 Pitot PSI: 1- CAR GARAGE 409 SF PSI: **BALCONY 57 SF** FIRE TRUCK ACCESS
PER CFC 503 AND THE CITY OF A0.5 Hydrant Size/Type: Jones 6\* UNIT 2 POMONA WATER RESOURCES DEPARTMENT Size of Water Main: 6" ACP 5 Minutes 5' MIN. WIDE FIREFIGHTER ACCESS PATH Flow Rate @ 20 PSI Residual Pressure (GPM): 4,420 *~/~/~/~/~/~/~/~/* 1,130 Pitot Flow Rate - From Pollard Water Chart (GPM): P.L. 77.35 LANDSCAPE AREA Date: 10/30/2024 AM: X PM: Time of Test: TO BE REMOVED PROJECT SITE ADDRESS: Hydrant Number: Location: FIRE HYDRANT SETBACK **W 11TH ST** Static Residual Pitot PSI: Hydrant Size/Type: Size of Water Main: Duration: 5 Minutes

Flow Rate @ 20 PSI Residual Pressure (GPM):

FIRE FLOWS TAKEN FROM THE 2-1/2 INCH ORIFICE

Flows Performed Simultaneously?:

Time of Test:

Flow Tester:

Pitot Flow Rate - From Pollard Water Chart (GPM):

No Value

Form Current as of January 2016

Signature:

AC UNITS

(E) BLOCK WALL

(N) 6' VINYL FENCE

-(N) 6' VINYL FENCE

--(N) 6' VINYL FENCE

SPACE MOST REMOTE POINT @ 133' - 6"

**FIRE ACCESS PLAN** 

5" THICK PORTLAND CEMENT CONCRETE 1'-6" PAVING PER CIVIL CURB, GUTTER REBAR PER CIVIL AND FOOTING PER CIVIL 4" COMPACT BASE MATERIAL PER CIVIL 1'-0"

PRINCIPAL DESIGNER:

STUDIO ROCA INC.

P.O. BOX 850 RANCHO CUCAMONGA, CA 91729 PH: (909) 239-8067 E: studio\_roca@yahoo.com

DT DRIVEWAY PROFILE SCALE: N.T.S

S

FIRE ACCESS PLAN

REVISIONS		
REV.#	DATE	
<u>^3</u>	12/17/2024	

DATE: 4/25/2025 6:05:22 PM SCALE:

- FIRE DEPARTMENT VEHICULAR ACCESS ROADS MUST BE INSTALLED AND MAINTAINED IN A SERVICEABLE MANNER PRIOR TO AND DURING THE TIME OF CONSTRUCTION. FIRE CODE 501.4
- CONSTRUCTION. FIRE CODE 501.4

  2. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING 5000 POUNDS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. FIRE APPARATUS ACCESS ROADS HAVING A GRADE OF 10
- PERCENT OR GREATER SHALL HAVE A PAVED OR CONCRETE SURFACE.

  PROVIDE APPROVED SIGNS OR OTHER APPROVED NOTICES OR MARKINGS THAT INCLUDE THE WORDS "NO PARKING FIRE LANE . SIGNS SHALL HAVE A MINIMUM DIMENSION OF 12 INCHES WIDE BY 18 INCHES HIGH AND HAVE RED LETTERS ON A WHITE REFLECTIVE BACKGROUND. SIGNS SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS, TO CLEARLY INDICATE THE ENTRANCE TO SUCH ROAD, OR PROHIBIT THE OBSTRUCTION THEREOF AND AT INTERVALS, AS REQUIRED BY THE FIRE INSPECTOR. FIRE CODE 503.3
- 4. APPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING INDENTIFICATION SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS OR ALPHABELT LETTERS, AND BE A MINCHES HIGH WITH
- A MINIMUM STROKE WIDTH OF 0.5 INCH. FIRE CODE 505.1

  5. ALL FIRE HYDRANTS SHALL MEASURE 6" X 4" X 2 1/2", BRASS OR BRONZE, CONFORMING TO AMERICAN WATER WORKS ASSOCIATION STANDARD C503, OR
- APPROVED EQUAL

  6. ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED, TESTED AND ACCEPTED PRIOR TO BEGINNING CONSTRUCTION

7. REQUIRED FIRE FLOW IS BASED ON THE FOLLOWING CALCULATION:

TYPE OF CONSTRUCTION: VB\_ FIRE-FLOW CALCULATION AREA: AREA 8,216 SQ. FT. FIRE-FLOW BASED ON FIRE-FLOW CALCULATION AREA: 2500 GPM REDUCTION FOR FIRE SPRINKLERS (MAXIMUM 50%): 1000 GPM TOTAL FIRE FLOW REQUIRED: 1500 GPM

**ABBREVIATIONS:** PROPERTY LINE CENTER LINE SQUARE FEET TYP. TYPICAL PROPOSED CONCRETE VERIFIY IN FIELD ELECTRICAL ELEC. BLOCK POINT OF CONNECTION P.O.C. **EXISTING** NEW

132' - 4" 1,299 SQ. FT. **UNIT 10** S.F.D. 1,519 SF S.F.D. 1,519 SF **GARAGE 427 SF GARAGE 427 SF** SUBMETER SUBMETER-**BALCONY 72 SF BALCONY 72 SF** (N) 6' VINIYL FENCE UNIT 10 FIRE RISER— RISER AC UNITS AC UNIT UNIT 9 FIRE | | N | RISER--(N) 6' VINIYL FENCE (N) PRIVATI UNIT 6 UNIT 9 UNIT 6
SUBMETER SUBMETER 2-STORY S.F.D. 1,519 SF S.F.D. 1,519 SF **GARAGE 427SF** GARAGE 427 SF BALCONY 72 SF (N) 6' VINIYL **BALCONY 72 SF** -(N) 6' VINIYL FENCE (N) PRIVA UNIT 8 ►(E) BLOCK WALL S.F.D. 1,519 SF **GARAGE 427 SF** RIVEWAY AREA **GARAGE 427 SF** 9,258 SQ. FT. SF **BALCONY 72 SF BALCONY 72 SF** UNIT 8 FIRE RISER— 2-STORY S.F.D. 1,519 SF GARAGE 427 SF **BALCONY 72 SF** OMMON SPACE 1,603 SQ. FT. -(N) 6' VINIYL FENCE S.F.D. 1,519 SF (N) PRIVATE **GARAGE 427 SF BALCONY 72 SF** RISER (N) 6' VINIYL **COMMON SPACE** 2,015 SQ. FT. GROUN (N) 6' HIGH PRECISION WALL PLASTER FINISH— **LEGEND** LIVING AREA 1,563 SF 1- CAR GARAGE 409 SF BALCONY 57 SF 2" DOMESTIC WATER LINE UNIT 2 3" FIRE WATER LINE .\_\_\_\_ (E) SEWER LINE 480 SQ. FT. TO BE REMOVED W 11TH ST → 17'-0"

PRELIMINARY UTILITY PLAN

(E) S.M.H. SEWER MAN HOLE



PRINCIPAL DESIGNER:



#### STUDIO ROCA INC.

P.O. BOX 850 RANCHO CUCAMONGA, CA 91729 PH: (909) 239-8067 E: studio\_roca@yahoo.com

D2023

013SFD

ST & BUENA VISTA AVE, POMONA

CT INFORMATION / OWNER

VENTH & BUENA VISTA
W 11TH ST & BUENA VISTA AVE,

SHEET TITLE

PRELIMINARY

**UTILITY PLAN** 

DATE: 4
DRAWN:
SCALE:

A0.6

# 10 UNIT APARTMENT COMPLEX

# CONCEPTUAL LANDSCAPE PLAN

1438 W. 11TH Street Pomona, CA 91766 APN: 8349-026-059

Private Open Area 2,566 Sq. Ft.

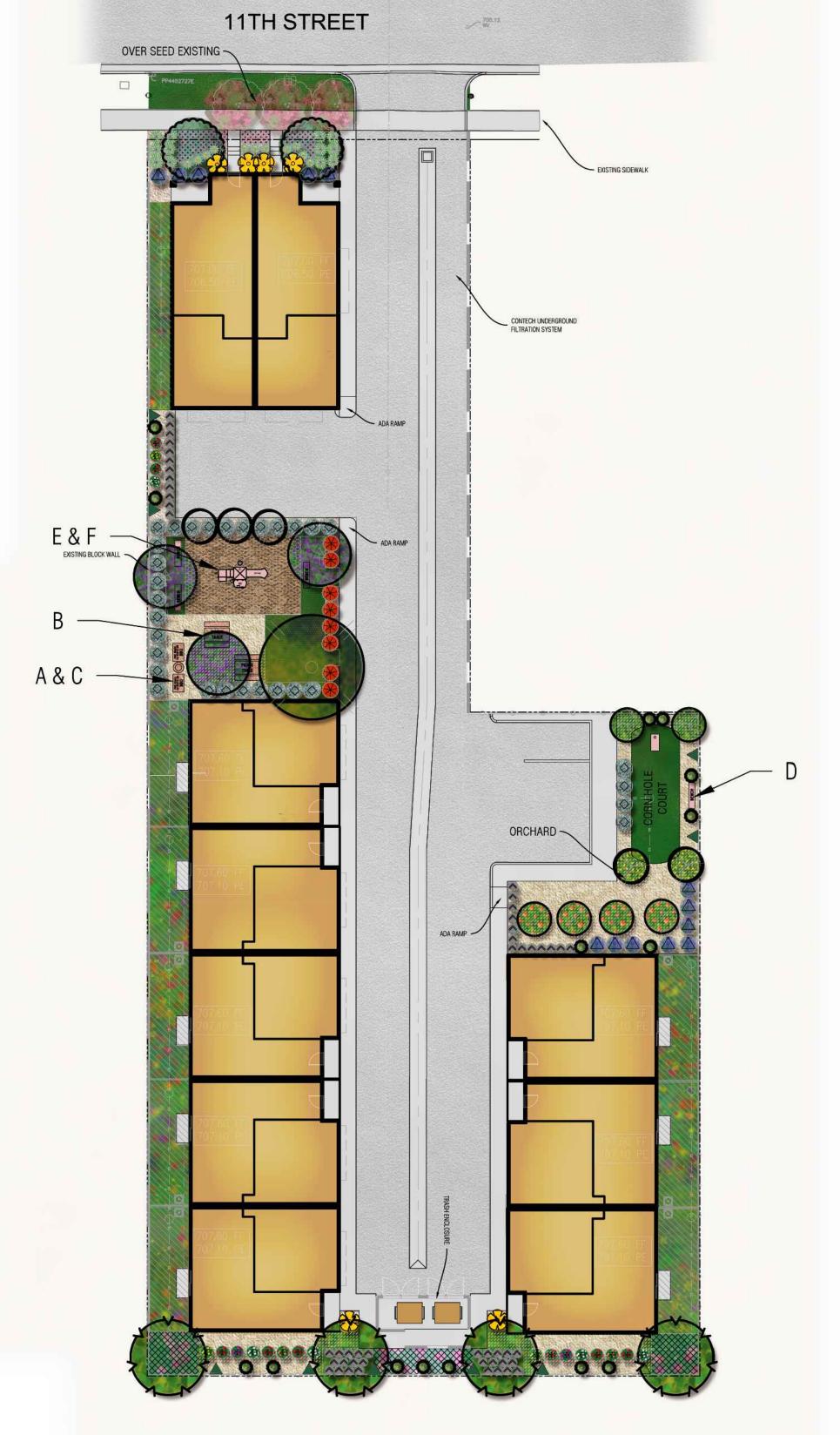
Common Open Area 5,399 Sq. Ft.

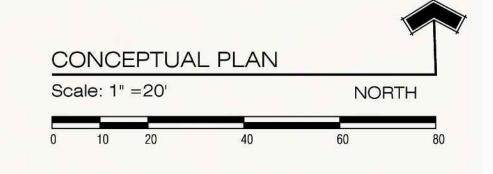
Total Landscape Area: 7,965 Sq. Ft.

## Applicant:

Studio Roca
P. O. Box 850
Rancho Cucamonga, CA 91729
Contact: Richard Ortiz
Phone: (909) 239-8067
Email: studio\_roca@yahoo.com

SYMBOL	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS IV WATER USAGE	INTENDED MATURE SIZE (HxW)
	3	Existing	Lagerstroemia indica	Crepe Myrtle	Mod	15' H, Ø 15'
	4	15 Gal.	Citrus sinensis 'Washington Navel' - Dwarf	Dwarf Navel Orange	Mod	8'H, Ø 8'
	2	15 Gal.	Citrus x latifolia 'Bearss Seedless' - Dwarf	Dwarf Bearss Seedless Lime	Mod	8'H, Ø 8'
	2	15 Gal.	Citrus limon 'Meyer Improved'	Dwarf Meyer Lemon	Mod	8'H, Ø 8'
	4	15 Gal.	Geijera parviflora	Austrialian Willow	Mod	30' H, Ø18'
	5	24" Box	Lagerstroemia indica x fauriei 'Zuni'	Semi-Dwarf Crepe Myrtle (Lavender)	Mod	8' H, Ø 8'
	2	24" Box	Melaleuca quinquenervia	Cajeput Tree	Mod	30' H, Ø15'
	1	15 Gal.	Prosopis chilensis	Thornless Chilean Mesquite	Low	25' H, Ø 25'
	3	15 Gal.	Vitex agnus-castus	Chaste Tree	Low	20' H, Ø15'
0	15	15 Gal.	Cupressus sempervirens 'Tiny Tower'	Dwarf Italian Cypress	Low	10' H, Ø 3'
<b>○</b>	6	15 Gal.	Tecoma stans - Tree Form	Yellow Trumpet Flower	Low	5' H, Ø 5'
*	12	1 Gal.	Aloe vera 'Barbadoes'	Barbados Aloe	Low	2' H, Ø 2'
**	12	1 Gal.	Aloe petricola	Stone Aloe	Low	2' H, Ø 3'
*	8	5 Gal.	Callistemon viminalis 'Little John'	Dwarf Bottlebrush	Low	3' H, Ø 4'
- G	20	5 Gal.	Rosa floribunda - Variety - Red, White, Yellow, Orange & Muave	White Shrub Rose	Mod	4' H, Ø 3'
	13	5 Gal.	Ruellia californica	Shrubby Ruellia	Mod	3' H, Ø 4'
	51	5 Gal.	Teucrium chamaedrys 'Compacta'	Low Germander	Low	18" H, Ø 2'
	31	5 Gal.	Westringia fruticosa	Coast Rosemary	Low	5' H, Ø 4'
	10	5 Gal.	Parthenocissus tricuspidata	Boston Ivy	Mod	30' H, Ø 3'
	860 Sq. Ft.	Sod /Overseed	Kentucky 32 Tall Fescue - Sod 430 Sq. Ft. New area. Over-seed 430 Sq. Ft. at Existing at Parkway, 12 lbs/1000 Sq. Ft.	Tall Fescue	Mod	OREGRO SEEDS 75 PASEO ADELANTO BLDG PERRIS, CA 92570 TOLL FREE: (855) 867-733: FAX: (855)-445-4748
	342 Sq. Ft.	1 Gal. 24" o.c.	Cistus salvifolius 'Prostratus'	Prostrate Sage-leafed Rock Rose	Low	18" H, Ø5'
+ + + + + + + + + + + + + + + + + + + +	116 Sq. Ft.	Flats 12" o.c.	Malephora lutea	Rocky Point Ice Plant	Low	1' H, Ø 4'-6'
	1,681 Sa. Ft.		3" Layer of Decomposed Granite - Color: Gold			

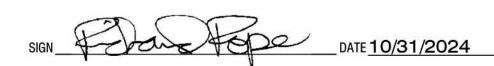






DETAIL	ITEM	QTY.	DESCRIPTION	Source
Α	BBQ GRILL Fire Magic #22-SC01C-G6	2	Charcoal in Ground Mount 24" X 18" Grill	(800) 332-3973 or (626) 369-508 https://www.firemagicgrills.com
В	Natural Element Picnic Table Model CRWT7 Color: to match building	2	7' Long X 5' Wide Concrete and Wood Picnic Table	1-(800) 323-5664 https://www.belson.com
С	Belson Heavy-Duty Precast Concrete Trash Receptacle Model TCRSW Color: to match building	1	27"Dia. x 36"H Concrete Trash Receptacle/ Spun Aluminum Lid	1-(800) 323-5664 https://www.belson.com
D	Belson Natural Comfort Park Bench Model UBRW7 Color: to match building	4	7' Long concrete and wood Park Bench	1-(800) 323-5664 https://www.belson.com
E	PORT LIBERTY PLAY STRUCTURE #PKP001P	1	Play Structure for Children 2-12 years old SAFETY ZONE: 19.5' x 25.5'	1-800-667-0097 http:/www.playgrounequipment.com
F	WoodCarpet Engineered Wood Fiber #WCEWF	1,415 Sq. Ft.	Playground Surfacing	1-800-667-0097 http:/www.playgrounequipment.com

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE





JOB: 23-23 LKD CKE September 21, 2023



PO Box 3656
San Bernardino, CA 92413
Office phone: (909) 888-5568
richardpopeassociates.la@gmail.com
www.richardpopeandassociates.com
Richard Pope, Landscape Architect CA# 2664

PLANTING NOTES:

NO SUBSTITUTIONS, SPECIES <u>OR</u> VARIETY. CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR ALL ISSUES RESULTING FROM SUBSTITUTIONS. DESIGN WAS CREATED USING EXACT VARIETY INDICATED.

IF SUBSTITUTIONS ARE NECESSARY, CONTRACTOR MUST CONTACT LANDSCAPE ARCHITECT FOR SUBSTITUTION APPROVAL.

PRIVATE AREAS - NOT A PART

Manufactured Play Surface

A 3" DEEP LAYER OF SHREDDED BARK MULCH SHALL BE PLACED IN ALL PLANTING BEDS.

PLANT COUNTS ARE FOR BIDDING PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR EXACT COUNT PER PLAN.

THIS PLAN IS FOR AESTHETIC PURPOSES ONLY. RICHARD POPE AND ASSOCIATES IS NOT RESPONSIBLE FOR STRUCTURAL BLOCK WALL DESIGN.

ALL ABOVE GROUND UTILITIES AND IRRIGATION EQUIPMENT SHALL BE SCREENED.

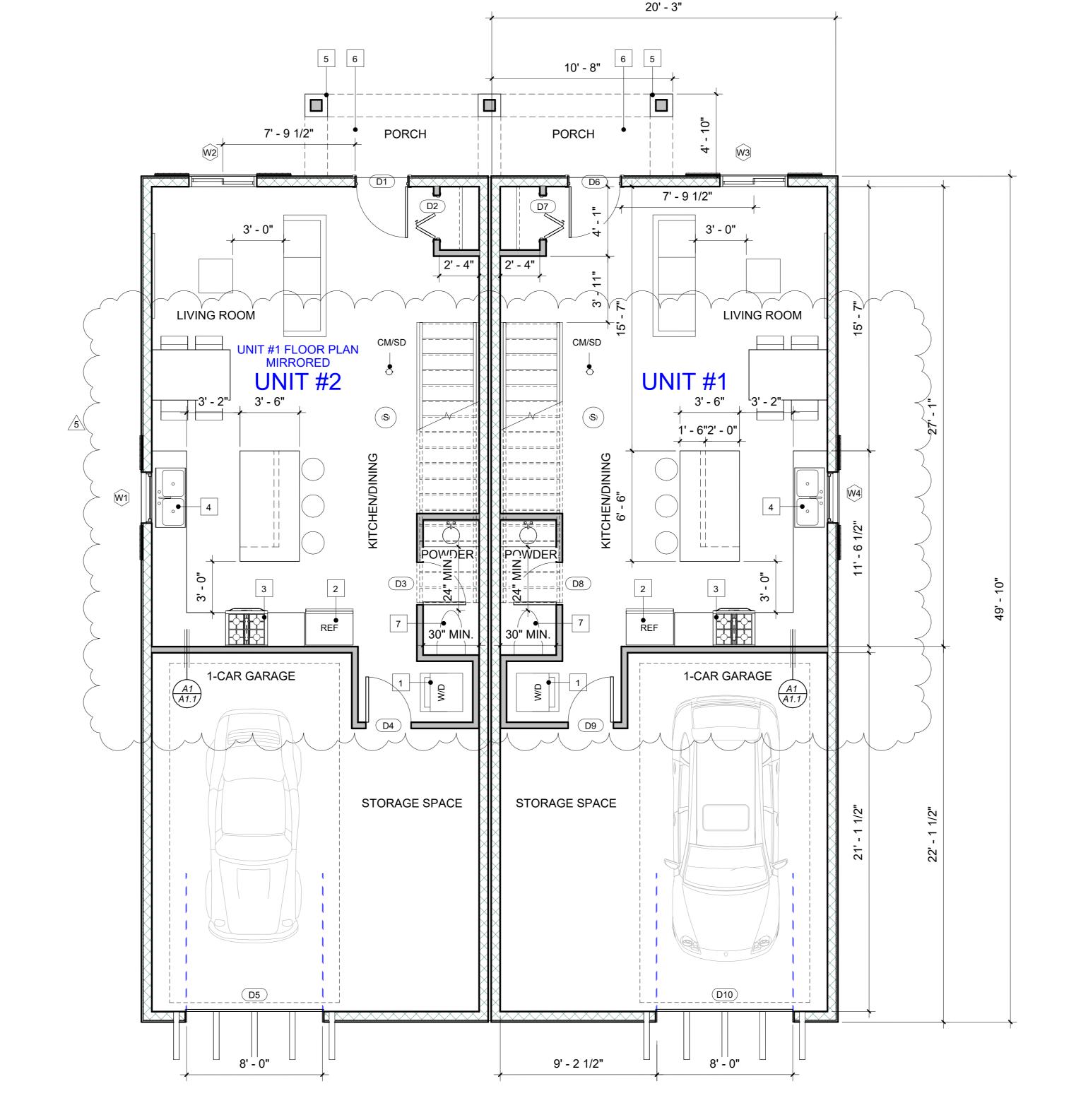
#### OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOF USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS. DOORS SHALL BE SELF-LATCHING AND EQUIPPED WITH A SELF CLOSING OR AUTOMATIC CLOSING DEVICE. (R302.5) THE GARAGE AND/OR CARPORT SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION (R302.5). ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R702.3.5. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL. A SEPARATION IS NOT REQUIRED BETWEEN THE DWELLING UNIT AND A CARPORT, PROVIDED THE CARPORT IS ENTIRELY OPEN ON TWO OR MORE SIDES AND THERE ARE NOT ENCLOSED AREAS ABOVE (R302.6). ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYPSUM BOARD (R302.7). BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY (R310.1). THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSIÓN SHALL BE 24 INCHES (610 MM). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSIÓN SHALL BE 20 INCHES (508 MM). THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING (R310.2.2), EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118 MM) MEASURED FROM THE FLOOR (R310.2.3). SINGLE- OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED IN GROUPS R-2, R-2.1, R-2.2, R-3, R-3.1 AND R-4 REGARDLESS OF OCCUPANT LOAD AT ALL OF THE FOLLOWING LOCATIONS: 1. ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS. 2. IN EACH ROOM USED FOR SLEEPING PURPOSES. 3. IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING

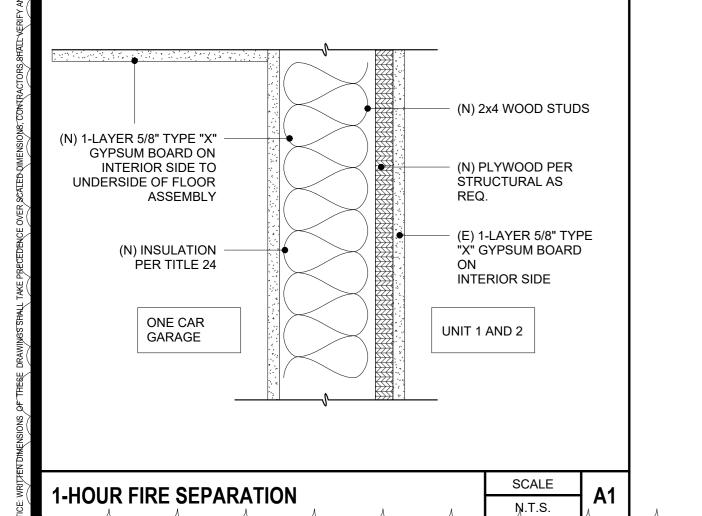
UNITS WITH SPLIT LEVELS AND WITHOUT AN

INTERVENING DOOR BETWEEN THE ADJACENT LEVELS,

A SMOKE ALARM INSTALLED ON THE UPPER LEVEL

SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL (907.2.11.2)



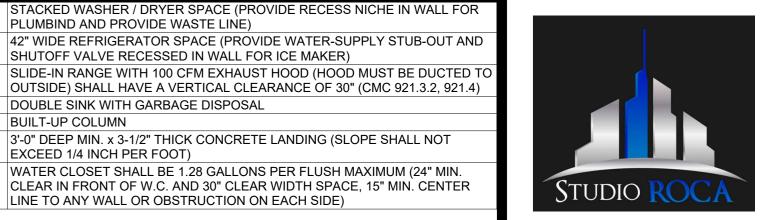


PROPOSED 1ST FLOOR PLAN



MARK	WIDTH	HEIGHT	SILL HEIGHT	TYPE COMMENTS	COMMENTS
	1				
W1	3' - 0"	5' - 0"	3' - 0"	Vinyl Single Hung Window	Dual Glazed Glass
W2	4' - 0"	5' - 0"	3' - 0"	Vinyl Sliding Window	Dual Glazed Glass
W3	4' - 0"	5' - 0"	3' - 0"	Vinyl Sliding Window	Dual Glazed Glass
W4	3' - 0"	5' - 0"	3' - 0"	Vinyl Single Hung Window	Dual Glazed Glass
W5	3' - 0"	1' - 6"	6' - 5 1/2"	Vinyl Sliding Window	Dual Glazed Glass
W6	3' - 0"	1' - 6"	6' - 5 1/2"	Vinyl Sliding Window	Dual Glazed Glass
W7	3' - 0"	5' - 0"	3' - 0"	Vinyl Single Hung Window	Dual Glazed Glass
W8	5' - 0"	5' - 0"	3' - 0"	Vinyl Sliding Window	Dual Glazed Glass
W9	2' - 0"	2' - 6"	5' - 6"	Vinyl Fixed Window	Dual Glazed Glass
W10	2' - 0"	2' - 6"	5' - 6"	Vinyl Fixed Window	Dual Glazed Glass
W11	5' - 0"	5' - 0"	3' - 0"	Vinyl Sliding Window	Dual Glazed Glass
W12	3' - 0"	5' - 0"	3' - 0"	Vinyl Single Hung Window	Dual Glazed Glass
W13	3' - 0"	1' - 6"	6' - 5 1/2"	Vinyl Sliding Window	Dual Glazed Glass
W14	3' - 0"	1' - 6"	6' - 5 1/2"	Vinyl Sliding Window	Dual Glazed Glass

PRINCIPAL DESIGNER: **KEYNOTE** 



#### STUDIO ROCA INC.

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WALL	<b>LEGEND</b>

PLUMBIND AND PROVIDE WASTE LINE)

DOUBLE SINK WITH GARBAGE DISPOSAL

BUILT-UP COLUMN

EXCEED 1/4 INCH PER FOOT)

SHUTOFF VALVE RECESSED IN WALL FOR ICE MAKER)

LINE TO ANY WALL OR OBSTRUCTION ON EACH SIDE)

3'-0" DEEP MIN. x 3-1/2" THICK CONCRETE LANDING (SLOPE SHALL NOT

WATER CLOSET SHALL BE 1.28 GALLONS PER FLUSH MAXIMUM (24" MIN.

CLEAR IN FRONT OF W.C. AND 30" CLEAR WIDTH SPACE, 15" MIN. CENTER

	EXTERIOR WALL
2	1 EXTERIOR 7/8" STUC
3	2 GRADE 'D' PAPER IC
	3 WALL SHEATHING (V
4	4 2X4" STUDS @ 16" C
5	5 1/2" GYPSUM BOARI

EXTERIOR 7/8" STUCCO PLASTER (3-COATS) GRADE 'D' PAPER ICC-ER ESR-2375

WALL SHEATHING (WHERE OCCURS)

2X4" STUDS @ 16" O.C. EXTERIOR WALL 1/2" GYPSUM BOARD UP TO CEILING

### INTERIOR WALL

1/2" GYPSUM BOARD EACH SIDE

☐ 2X4" STUDS @ 16" O.C. INTERIOR WALL

**EXTERIOR WALL** 1 EXTERIOR 7/8" STUCCO PLASTER (3-COATS) 2 GRADE 'D' PAPER ICC-ER ESR-2375

3 WALL SHEATHING (WHERE OCCURS)

5 1/2" GYPSUM BOARD UP TO CEILING

4 2X6" STUDS @ 16" O.C. EXTERIOR WALL

## PLUMBING WALL

1/2" GYPSUM BOARD EACH SIDE

2X6" STUDS @ 16" O.C. INTERIOR WALL

# SHEET TITLE

PROPOSED FLOOR **PLAN - DUPLEX 1ST FLOOR (UNITS** 1 - 2)

### (N) DOOR SCHEDULE

MARK	WIDTH	HEIGHT	FINISH	COMMENTS
D1	3' - 0"	8' - 0"	Solid Core 1 3/4" Thick	Swing - Self Latching
D2	2' - 6"	7' - 0"	Hollow Core	Bifold Door / Louvered
D3	2' - 6"	7' - 0"	Hollow Core	Swing
D4	2' - 8"	6' - 8"	Solid Core 1 3/8" Thick	Swing - Self Latching
D5	8' - 0"	7' - 0"	Pre - Fab Garage Metal Door	2-Car
D6	3' - 0"	8' - 0"	Solid Core 1 3/4" Thick	Swing - Self Latching
D7	2' - 6"	7' - 0"	Hollow Core	Bifold Door / Louvered
D8	2' - 6"	7' - 0"	Hollow Core	Swing
D9	2' - 8"	6' - 8"	Solid Core 1 3/8" Thick	Swing - Self Latching
D10	8' - 0"	7' - 0"	Pre - Fab Garage Metal Door	2-Car
D11	2' - 6"	6' - 8"	Hollow Core	Swing
D12	2' - 6"	6' - 8"	Hollow Core	Swing
D13	5' - 0"	6' - 8"	Double Sliding Closet Door	Swing
D14	2' - 6"	6' - 8"	Hollow Core	Swing
D15	2' - 6"	6' - 8"	Hollow Core	Swing
D16	2' - 6"	6' - 8"	Hollow Core	Swing
D17	2' - 6"	6' - 8"	Hollow Core	Swing
D18	2' - 6"	6' - 8"	Hollow Core	Swing
D19	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door
D20	2' - 6"	6' - 8"	Hollow Core	Swing
D21	2' - 6"	6' - 8"	Hollow Core	Swing
D22	5' - 0"	6' - 8"	Double Sliding Closet Door	Swing
D23	2' - 6"	6' - 8"	Hollow Core	Swing
D24	2' - 6"	6' - 8"	Hollow Core	Swing
D25	2' - 6"	6' - 8"	Hollow Core	Swing
D26	2' - 6"	6' - 8"	Hollow Core	Swing
D27	2' - 6"	6' - 8"	Hollow Core	Swing
D28	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door

DATE 04/26/2025

**REVISIONS** 

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#### NOTES

OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOF USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS. DOORS SHALL BE SELF-LATCHING AND EQUIPPED WITH A SELF CLOSING OR AUTOMATIC CLOSING DEVICE. (R302.5) THE GARAGE AND/OR CARPORT SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION (R302.5). ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R702.3.5. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT

DWELLING UNIT WALL. A SEPARATION IS NOT REQUIRED BETWEEN THE DWELLING UNIT AND A CARPORT, PROVIDED THE CARPORT IS ENTIRELY OPEN ON TWO OR MORE SIDES AND THERE ARE NOT ENCLOSED AREAS ABOVE (R302.6).

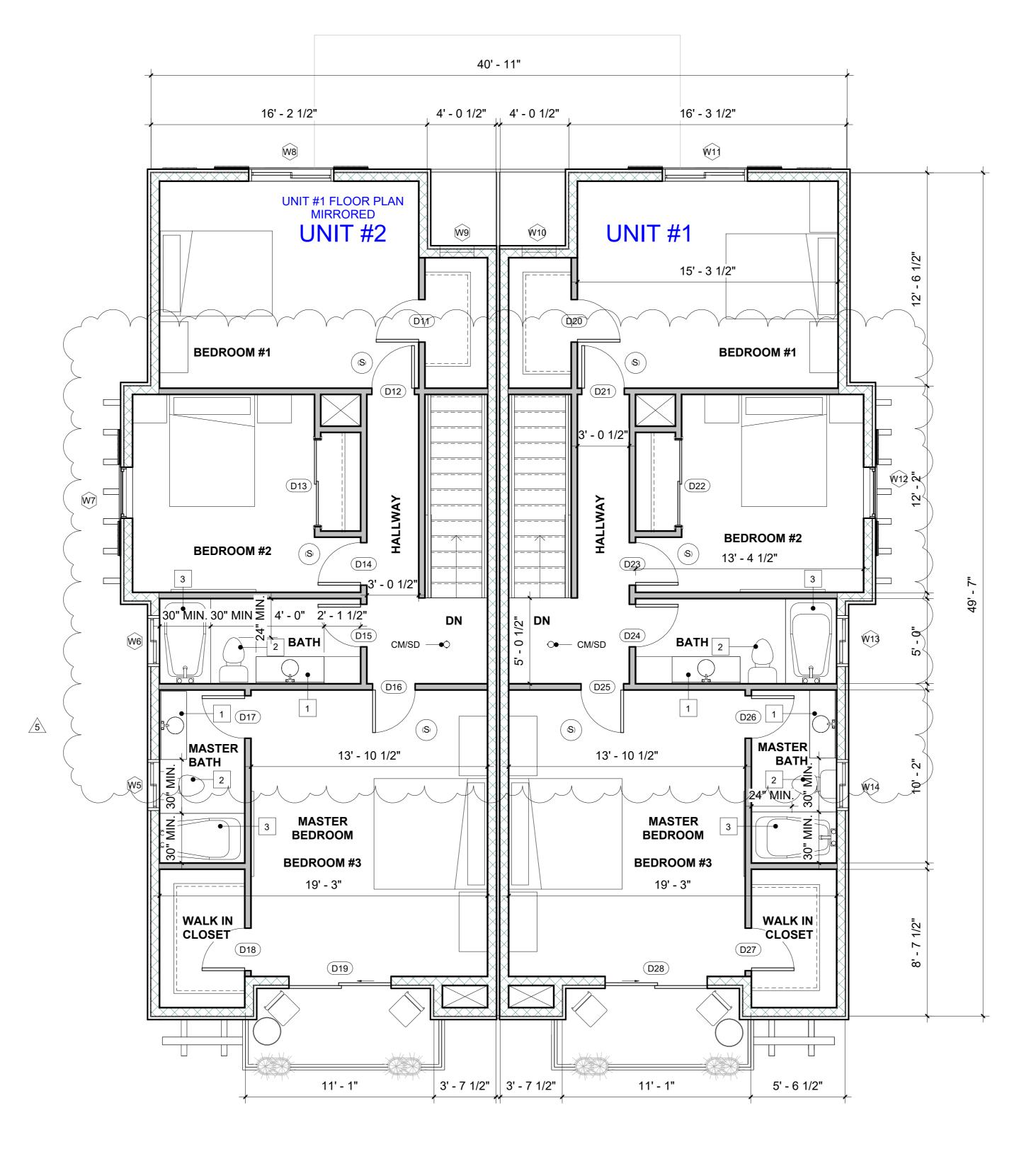
ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM)

GYPSUM BOARD (R302.7). BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY (R310.1). THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES (610 MM). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES (508 MM). THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING (R310.2.2). EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118 MM) MEASURED FROM THE FLOOR (R310.2.3). SINGLE- OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED IN GROUPS R-2, R-2.1, R-2.2, R-3, R-3.1 AND R-4 REGARDLESS OF OCCUPANT LOAD AT ALL OF THE FOLLOWING LOCATIONS: 1. ON THE CEILING OR WALL OUTSIDE OF EACH

2. IN EACH ROOM USED FOR SLEEPING PURPOSES.
3. IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL (907.2.11.2)

SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY

OF BEDROOMS.



PROPOSED 2ND FLOOR PLAN



(N) WINDOW SCHEDULE					
MARK	WIDTH	HEIGHT	SILL HEIGHT	TYPE COMMENTS	COMMENTS
W1	3' - 0"	5' - 0"	3' - 0"	Vinyl Single Hung Window	Dual Glazed Glass
W2	4' - 0"	5' - 0"	3' - 0"	Vinyl Sliding Window	Dual Glazed Glass
W3	4' - 0"	5' - 0"	3' - 0"	Vinyl Sliding Window	Dual Glazed Glass
W4	3' - 0"	5' - 0"	3' - 0"	Vinyl Single Hung Window	Dual Glazed Glass
W5	3' - 0"	1' - 6"	6' - 5 1/2"	Vinyl Sliding Window	Dual Glazed Glass
W6	3' - 0"	1' - 6"	6' - 5 1/2"	Vinyl Sliding Window	Dual Glazed Glass
W7	3' - 0"	5' - 0"	3' - 0"	Vinyl Single Hung Window	Dual Glazed Glass
W8	5' - 0"	5' - 0"	3' - 0"	Vinyl Sliding Window	Dual Glazed Glass
W9	2' - 0"	2' - 6"	5' - 6"	Vinyl Fixed Window	Dual Glazed Glass
W10	2' - 0"	2' - 6"	5' - 6"	Vinyl Fixed Window	Dual Glazed Glass
W11	5' - 0"	5' - 0"	3' - 0"	Vinyl Sliding Window	Dual Glazed Glass
W12	3' - 0"	5' - 0"	3' - 0"	Vinyl Single Hung Window	Dual Glazed Glass
W13	3' - 0"	1' - 6"	6' - 5 1/2"	Vinyl Sliding Window	Dual Glazed Glass
W14	3' - 0"	1' - 6"	6' - 5 1/2"	Vinyl Sliding Window	Dual Glazed Glass

KEYNOTE

LAVATORY FAUCET TO HAVE A WATER EFFICIENCY OF 1.2 GPM @ 60 PSI WATER CLOSET SHALL BE 1.28 GALLONS PER FLUSH MAXIMUM (24" MIN. CLEAR IN FRONT OF W.C. AND 30" CLEAR WIDTH SPACE, 15" MIN. CENTER LINE TO ANY WALL OR OBSTRUCTION ON EACH SIDE)

TUB, SHOWER OR TUB/SHOWER COMBINATION W/ 72" HIGH OF GREEN GYPSUM BOARD AT SURROUNDING WALLS. (FLOOR, WALLS AND COMPARTMENTS SHALL BE FINISHED WITH NON-ABSORBENT SURFACE TO A MIN. HEIGHT OF 72" ABOVE THE FLOOR.)



PRINCIPAL DESIGNER:

#### STUDIO ROCA INC.

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EXTERIOR WALL

EXTERIOR 7/8" STUCCO PLASTER (3-COATS)

2 GRADE 'D' PAPER ICC-ER ESR-2375
3 WALL SHEATHING (WHERE OCCURS)

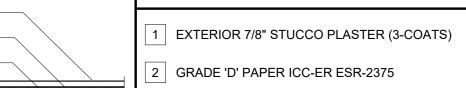
2X4" STUDS @ 16" O.C. EXTERIOR WALL

5 1/2" GYPSUM BOARD UP TO CEILING

### INTERIOR WALL



# EXTERIOR WALL



3 WALL SHEATHING (WHERE OCCURS)
4 2X6" STUDS @ 16" O.C. EXTERIOR WALL

5 1/2" GYPSUM BOARD UP TO CEILING

# PLUMBING WALL

1 1/2" GYPSUM BOARD EACH SIDE

2 2X6" STUDS @ 16" O.C. INTERIOR WALL

#### SHEET TITLE

PROPOSED FLOOR PLAN - DUPLEX 2ND FLOOR (UNITS 1 - 2)

(N) DOOR SCHEDULE	
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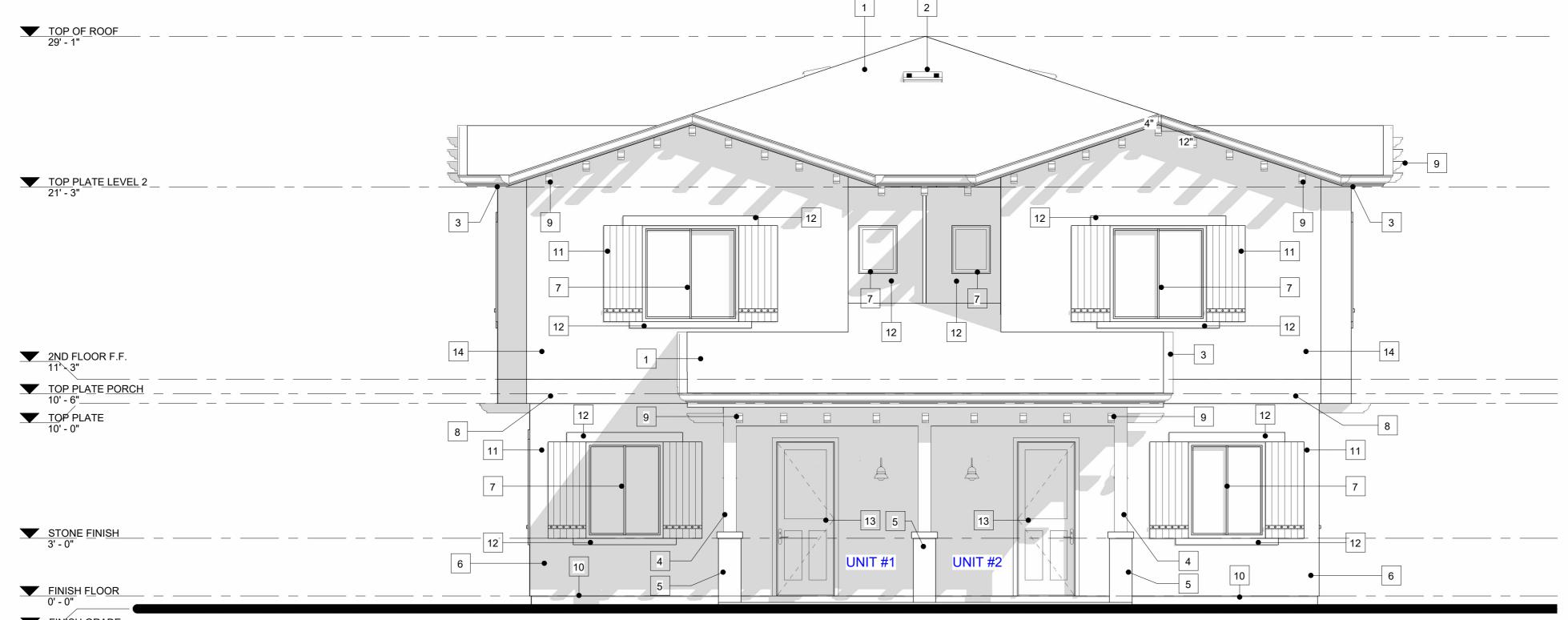
MARK	WIDTH	HEIGHT	FINISH	COMMENTS
D1	3' - 0"	8' - 0"	Solid Core 1 3/4" Thick	Swing - Self Latching
D2	2' - 6"	7' - 0"	Hollow Core	Bifold Door / Louvered
D3	2' - 6"	7' - 0"	Hollow Core	Swing
D4	2' - 8"	6' - 8"	Solid Core 1 3/8" Thick	Swing - Self Latching
D5	8' - 0"	7' - 0"	Pre - Fab Garage Metal Door	2-Car
D6	3' - 0"	8' - 0"	Solid Core 1 3/4" Thick	Swing - Self Latching
D7	2' - 6"	7' - 0"	Hollow Core	Bifold Door / Louvered
D8	2' - 6"	7' - 0"	Hollow Core	Swing
D9	2' - 8"	6' - 8"	Solid Core 1 3/8" Thick	Swing - Self Latching
D10	8' - 0"	7' - 0"	Pre - Fab Garage Metal Door	2-Car
D11	2' - 6"	6' - 8"	Hollow Core	Swing
D12	2' - 6"	6' - 8"	Hollow Core	Swing
D13	5' - 0"	6' - 8"	Double Sliding Closet Door	Swing
D14	2' - 6"	6' - 8"	Hollow Core	Swing
D15	2' - 6"	6' - 8"	Hollow Core	Swing
D16	2' - 6"	6' - 8"	Hollow Core	Swing
D17	2' - 6"	6' - 8"	Hollow Core	Swing
D18	2' - 6"	6' - 8"	Hollow Core	Swing
D19	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door
D20	2' - 6"	6' - 8"	Hollow Core	Swing
D21	2' - 6"	6' - 8"	Hollow Core	Swing
D22	5' - 0"	6' - 8"	Double Sliding Closet Door	Swing
D23	2' - 6"	6' - 8"	Hollow Core	Swing
D24	2' - 6"	6' - 8"	Hollow Core	Swing
D25	2' - 6"	6' - 8"	Hollow Core	Swing
D26	2' - 6"	6' - 8"	Hollow Core	Swing
D27	2' - 6"	6' - 8"	Hollow Core	Swing
D28	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door

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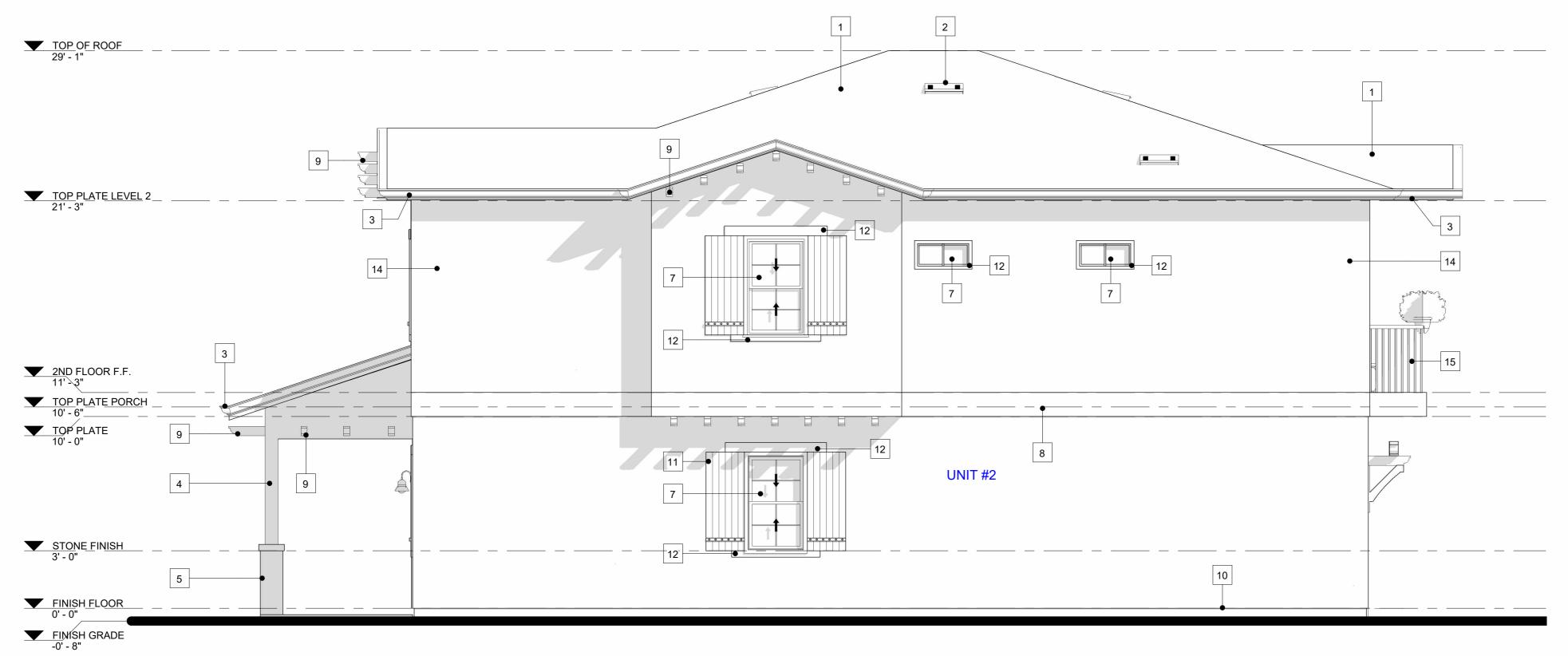
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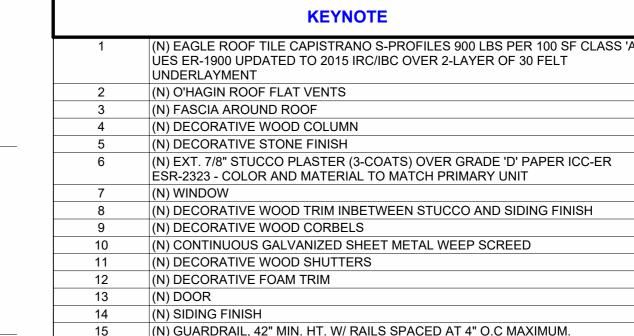
- OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOF USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS. DOORS SHALL BE SELF-LATCHING AND EQUIPPED WITH A SELF CLOSING OR AUTOMATIC CLOSING DEVICE. (R302.5) THE GARAGE AND/OR CARPORT SHALL BE SEPARATED
- AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION (R302.5). ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R702.3.5. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL. A SEPARATION IS NOT REQUIRED BETWEEN THE DWELLING UNIT AND A CARPORT,
- PROVIDED THE CARPORT IS ENTIRELY OPEN ON TWO OR MORE SIDES AND THERE ARE NOT ENCLOSED AREAS ABOVE (R302.6).
- ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYPSUM BOARD (R302.7).
- BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY (R310.1). THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSIÓN SHALL BE 24 INCHES (610 MM). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES (508 MM). THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING (R310.2.2). EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118 MM)
- MEASURED FROM THE FLOOR (R310.2.3). SINGLE- OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED IN GROUPS R-2, R-2.1, R-2.2, R-3, R-3.1 AND R-4 REGARDLESS OF OCCUPANT LOAD AT ALL OF THE FOLLOWING LOCATIONS: 1. ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.
  - 2. IN EACH ROOM USED FOR SLEEPING PURPOSES. 3. IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL (907.2.11.2)



# **NORTH ELEVATION (UNITS**



# **WEST ELEVATION (UNITS 1-2)**





PRINCIPAL DESIGNER:

#### STUDIO ROCA INC.

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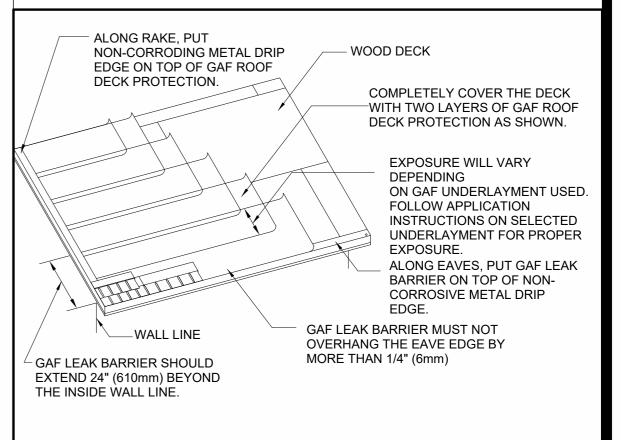
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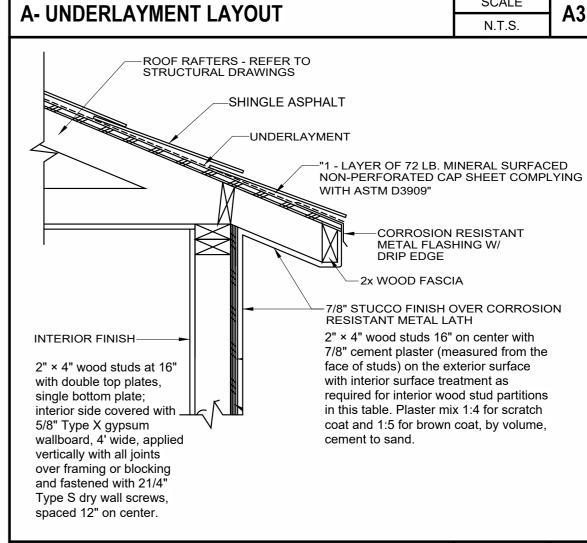
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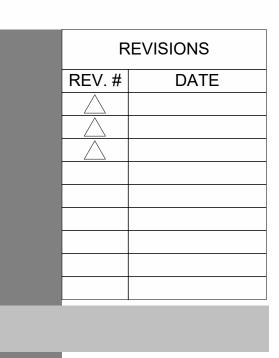


SHEET TITLE **EXTERIOR ELEVATIONS -DUPLEX NORTH & WEST (UNITS 1 - 2)** 



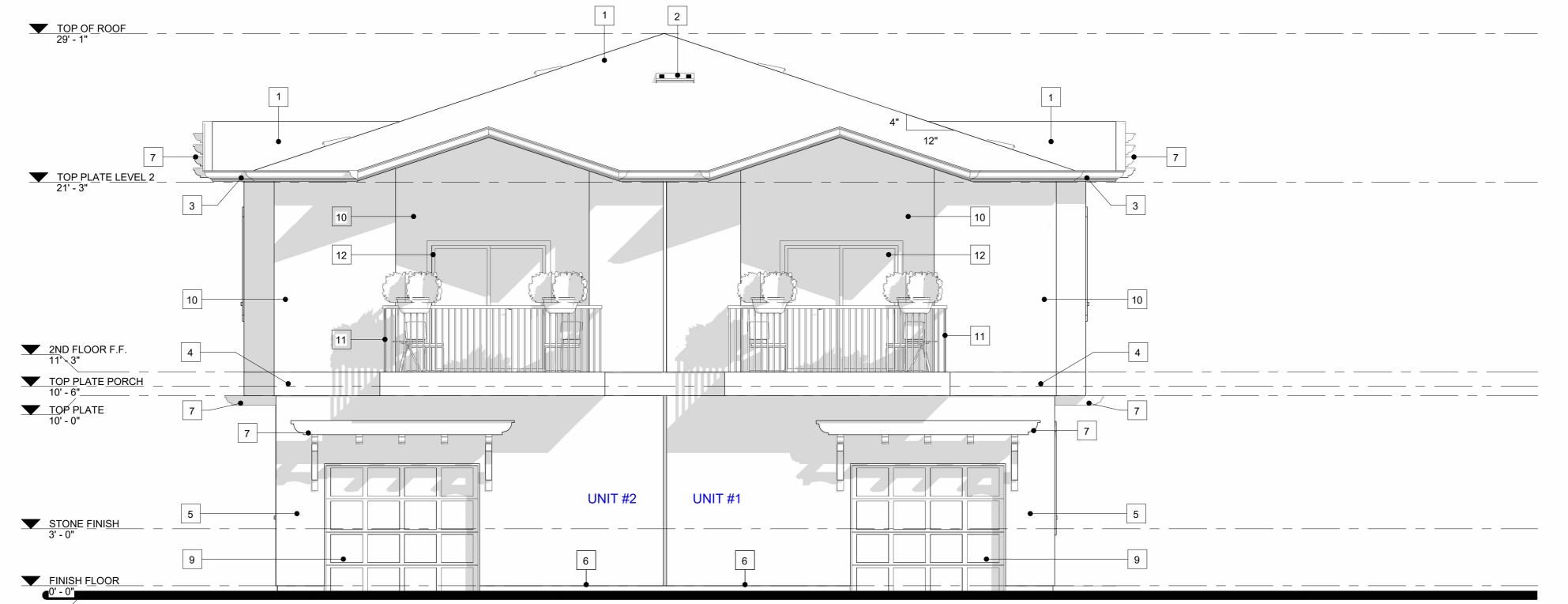
**ENCLOSE EAVE DETAIL1** 

- ALL DETAIL REFERENCES ARE TYPICAL AND APPLY TO ALL SIMILAR CONDITIONS WHETHER SPECIFICALLY REFERENCED
- ALL DIMENSIONS ARE TO FACE OF FRAMING U.N.O. ALL WINDOWS REQUIRED FOR EMERGENCY EXISTING FER C.R.C SHALL BE VERIFIED BY THE WINDOW SUBCONTRACTOR AND THE ARCHITECT SHALL BE NOTIFIED INMEDIATELY IF ANY REVISION TO WINDOW SIZES ARE REQUIRED PRIOR TO START OF CONSTRUCTION SAID WINDOW SHALL PROVIDE A CLEAR OPENING OF 5.7 SQ. FT. (MIN.), 20" CLEAR WIDTH
- (MIN.), AND 24" CLEAR HEIGHT (MIN.) EXTERIOR CEMENT PLASTER FINISH: LIGHT SAND WITH BULLNOSE CORNER BEAD AT ALL EXTERIOR - VERIFY WITH
- TWO LAYERS OF No 30 ASPHALT FELT, COMPLYING WITH ASTM D 226 FOR TYPE 1 FELT, OR OTHER APPROVED WATER-RESISTIVE BARRIER, IS REQUIRED FOR THE EXTERIOR. SUCH MATERIAL SHALL BE APPLIED HORIZONTALLY, WITH THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 2" AND WHERE JOIST OCCUR, THE MATERIAL SHALL BE LAPPED NO LESS THAN 6 INCHES. WHERE APPLIED OVER WOOD BASED SHEATING A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER IS
  - REQUIRED. (R703.2, R703.7.3 CRC) THE GARAGE AND/OR CARPORT SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION R302.5. ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R702.3.5. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL. A SEPARATION IS NOT REQUIRED BETWEEN THE DWELLING UNIT AND A CARPORT. PROVIDED THE CARPORT IS ENTIRELY OPEN ON TWO OR MORE SIDES AND THERE ARE NOT ENCLOSED AREAS ABOVE

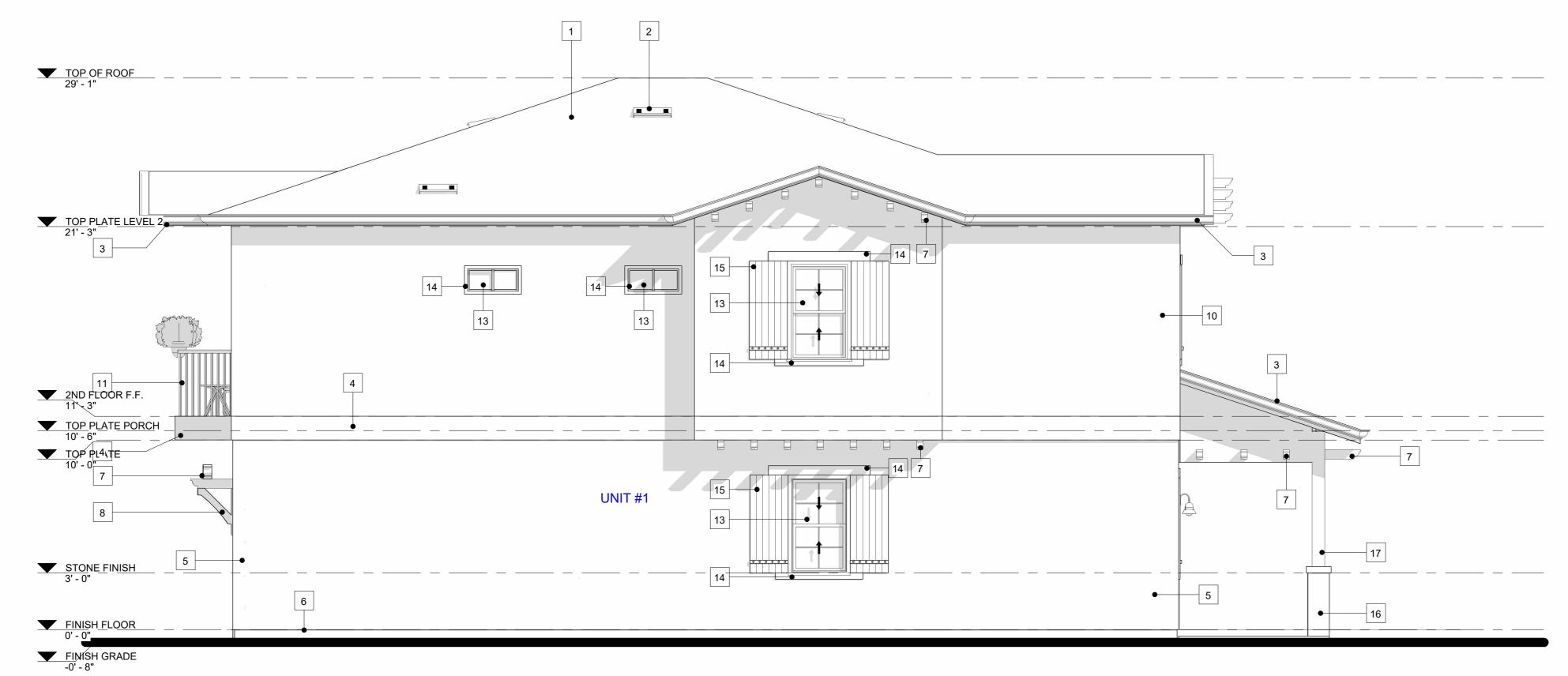


DATE: 1/11/2025 3:09:18 PM SCALE:

- OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOF USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS. DOORS SHALL BE SELF-LATCHING AND EQUIPPED WITH A SELF
- CLOSING OR AUTOMATIC CLOSING DEVICE. (R302.5) THE GARAGE AND/OR CARPORT SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION (R302.5). ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R702.3.5. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT
  - DWELLING UNIT WALL. A SEPARATION IS NOT REQUIRED BETWEEN THE DWELLING UNIT AND A CARPORT, PROVIDED THE CARPORT IS ENTIRELY OPEN ON TWO OR MORE SIDES AND THERE ARE NOT ENCLOSED AREAS ABOVE (R302.6).
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- MEASURED FROM THE FLOOR (R310.2.3). SINGLE- OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED IN GROUPS R-2, R-2.1, R-2.2, R-3, R-3.1 AND R-4 REGARDLESS OF OCCUPANT LOAD AT ALL OF THE FOLLOWING LOCATIONS: 1. ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY
  - OF BEDROOMS. 2. IN EACH ROOM USED FOR SLEEPING PURPOSES. 3. IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL (907.2.11.2)



# **SOUTH ELEVATION (UNITS**



# EAST ELEVATION (UNITS 1-2) 1/4" = 1'-0"

**KEYNOTE** (N) EAGLE ROOF TILE CAPISTRANO S-PROFILES 900 LBS PER 100 SF CLASS 'A UES ER-1900 UPDATED TO 2015 IRC/IBC OVER 2-LAYER OF 30 FELT UNDERLAYMENT (N) O'HAGIN VENTS (N) FASCIA AROUND ROOF (N) DECORATIVE WOOD TRIM INBETWEEN STUCCO AND SIDING FINISH (N) EXT. 7/8" STUCCO PLASTER (3-COATS) OVER GRADE 'D' PAPER ICC-ER ESR-2323 - COLOR AND MATERIAL TO MATCH PRIMARY UNIT (N) CONTINUOUS GALVANIZED SHEET METAL WEEP SCREED (N) DECORATIVE WOOD CORBELS (N) DECORATIVE WOOD BRACING (N) GARAGE DOOR (N) SIDING FINISH (N) GUARDRAIL, 42" MIN. HT. W/ RAILS SPACED AT 4" O.C MAXIMUM. 12 (N) SLIDING DOOR 13 (N) WINDOW (N) DECORATIVE FOAM TRIM (N) DECORATIVE WOOD SHUTTERS (N) DECORATIVE STONE FINISH (N) DECORATIVE WOOD COLUMN



PRINCIPAL DESIGNER:

#### STUDIO ROCA INC.

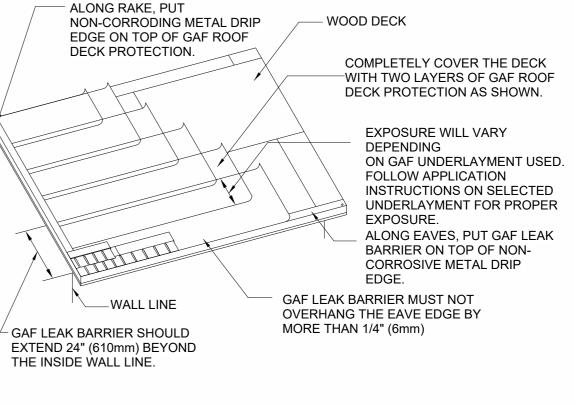
P.O. BOX 850 RANCHO CUCAMONGA, CA 91729 PH: (909) 239-8067 E: studio\_roca@yahoo.com

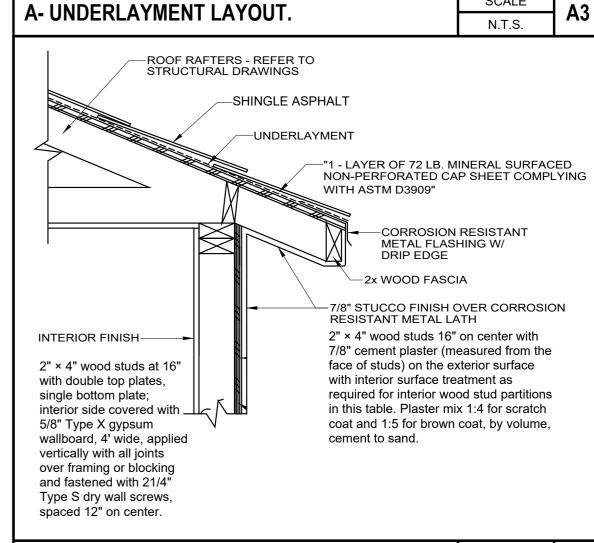
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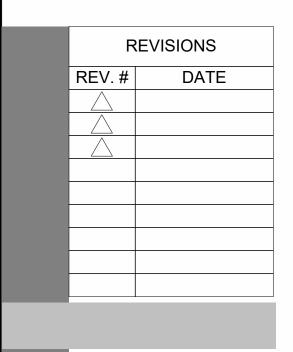
SHEET TITLE **EXTERIOR ELEVATIONS -DUPLEX SOUTH &** EAST (UNITS 1 - 2) N.T.S.

SCALE

### **ELEVATION NOTES.**

**ENCLOSE EAVE DETAIL1.** 

- ALL DETAIL REFERENCES ARE TYPICAL AND APPLY TO ALL SIMILAR CONDITIONS WHETHER SPECIFICALLY REFERENCED
- ALL DIMENSIONS ARE TO FACE OF FRAMING U.N.O. ALL WINDOWS REQUIRED FOR EMERGENCY EXISTING FER C.R.C SHALL BE VERIFIED BY THE WINDOW SUBCONTRACTOR AND THE ARCHITECT SHALL BE NOTIFIED INMEDIATELY IF ANY REVISION TO WINDOW SIZES ARE REQUIRED PRIOR TO START OF CONSTRUCTION SAID WINDOW SHALL PROVIDE A CLEAR OPENING OF 5.7 SQ. FT. (MIN.), 20" CLEAR WIDTH
- (MIN.), AND 24" CLEAR HEIGHT (MIN.) EXTERIOR CEMENT PLASTER FINISH: LIGHT SAND WITH BULLNOSE CORNER BEAD AT ALL EXTERIOR - VERIFY WITH
- TWO LAYERS OF No 30 ASPHALT FELT, COMPLYING WITH ASTM D 226 FOR TYPE 1 FELT, OR OTHER APPROVED WATER-RESISTIVE BARRIER, IS REQUIRED FOR THE EXTERIOR. SUCH MATERIAL SHALL BE APPLIED HORIZONTALLY, WITH THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 2" AND WHERE JOIST OCCUR, THE MATERIAL SHALL BE LAPPED NO LESS THAN 6 INCHES. WHERE APPLIED OVER WOOD BASED SHEATING A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER IS
- REQUIRED. (R703.2, R703.7.3 CRC) THE GARAGE AND/OR CARPORT SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION R302.5. ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R702.3.5. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL. A SEPARATION IS NOT REQUIRED BETWEEN THE DWELLING UNIT AND A CARPORT, PROVIDED THE CARPORT IS ENTIRELY OPEN ON TWO OR MORE SIDES AND THERE ARE NOT ENCLOSED AREAS ABOVE



SCALE:

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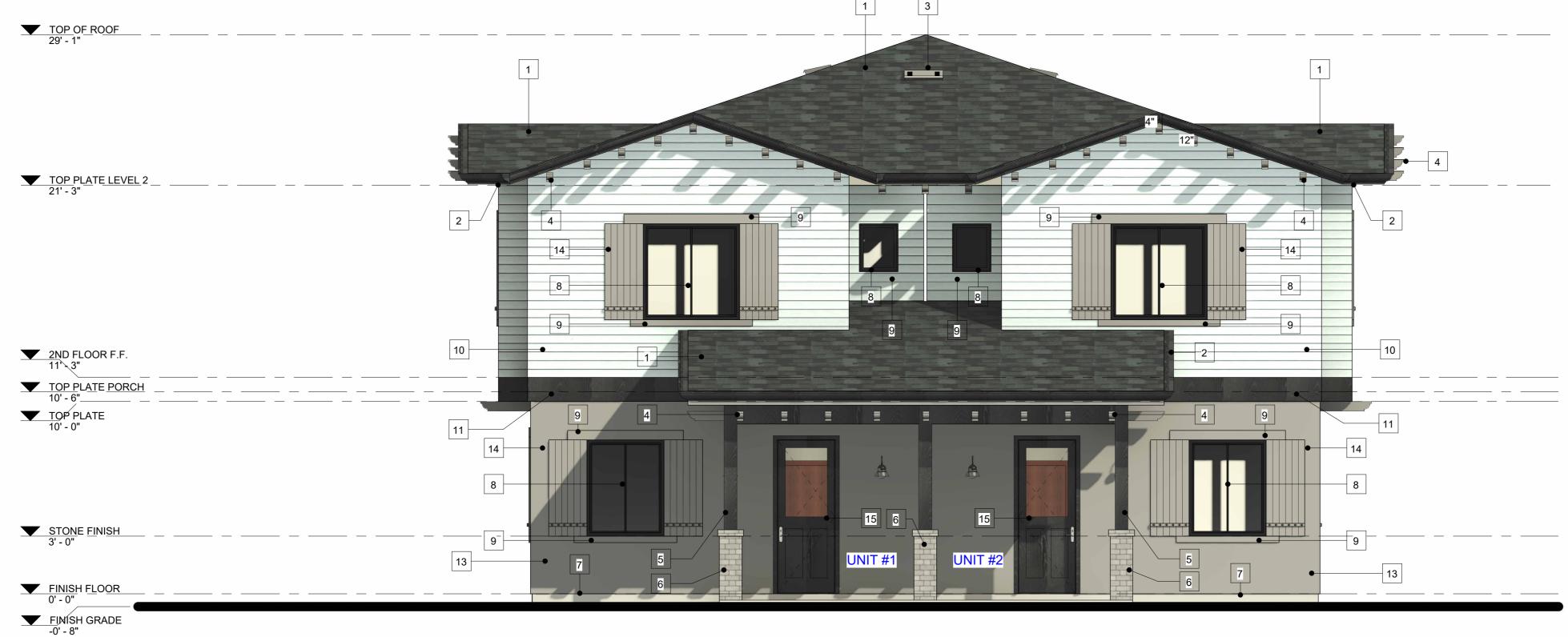
- OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOF USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS. DOORS SHALL BE SELF-LATCHING AND EQUIPPED WITH A SELF CLOSING OR AUTOMATIC CLOSING DEVICE. (R302.5)
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- AREAS ABOVE (R302.6). **ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED** BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM)
- BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY (R310.1). THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSIÓN SHALL BE 24 INCHES (610 MM). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES (508 MM). THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING (R310.2.2). EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118 MM)
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SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL

FULL STORY BELOW THE UPPER LEVEL (907.2.11.2)

PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE

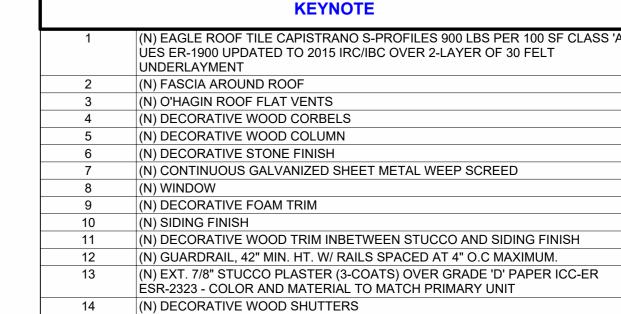
MEASURED FROM THE FLOOR (R310.2.3).



# **NORTH COLOR ELEVATION**



# **WEST COLOR ELEVATION** (UNITS 1-2)



(N) DOOR

15

INTERIOR FINISH-

2" × 4" wood studs at 16"

interior side covered with

**ENCLOSE EAVE DETAIL1.** 

with double top plates,

single bottom plate;

5/8" Type X gypsum

vertically with all joints

over framing or blocking and fastened with 21/4"

Type S dry wall screws, spaced 12" on center.

wallboard, 4' wide, applied



PRINCIPAL DESIGNER:

#### STUDIO ROCA INC.

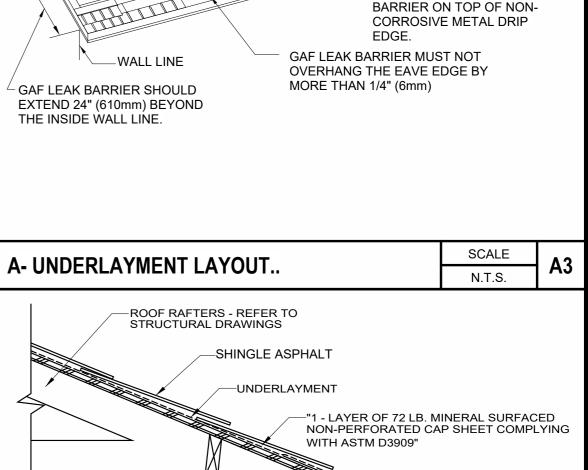
P.O. BOX 850 RANCHO CUCAMONGA, CA 91729 PH: (909) 239-8067 E: studio\_roca@yahoo.com

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ALONG RAKE, PUT NON-CORRODING METAL DRIP - WOOD DECK EDGE ON TOP OF GAF ROOF DECK PROTECTION. COMPLETELY COVER THE DECK WITH TWO LAYERS OF GAF ROOF DECK PROTECTION AS SHOWN. EXPOSURE WILL VARY DEPENDING ON GAF UNDERLAYMENT USED. FOLLOW APPLICATION INSTRUCTIONS ON SELECTED UNDERLAYMENT FOR PROPER EXPOSURE. ALONG EAVES, PUT GAF LEAK BARRIER ON TOP OF NON-CORROSIVE METAL DRIP EDGE. GAF LEAK BARRIER MUST NOT OVERHANG THE EAVE EDGE BY MORE THAN 1/4" (6mm) GAF LEAK BARRIER SHOULD EXTEND 24" (610mm) BEYOND THE INSIDE WALL LINE.



-CORROSION RESISTANT METAL FLASHING W/

7/8" STUCCO FINISH OVER CORROSION

2" × 4" wood studs 16" on center with

face of studs) on the exterior surface

with interior surface treatment as

7/8" cement plaster (measured from the

required for interior wood stud partitions

in this table. Plaster mix 1:4 for scratch

coat and 1:5 for brown coat, by volume,

N.T.S.

DRIP EDGE

—2x WOOD FASCIA

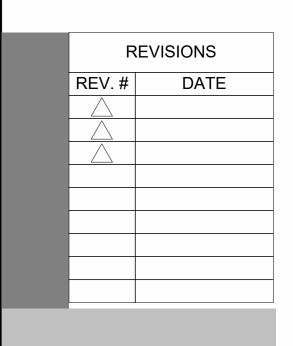
RESISTANT METAL LATH

cement to sand.

SHEET TITLE **EXTERIOR COLOR ELEVATIONS -DUPLEX NORTH & WEST (UNITS 1 - 2)** 

### **ELEVATION NOTES..**

- ALL DETAIL REFERENCES ARE TYPICAL AND APPLY TO ALL SIMILAR CONDITIONS WHETHER SPECIFICALLY REFERENCED
- ALL DIMENSIONS ARE TO FACE OF FRAMING U.N.O. ALL WINDOWS REQUIRED FOR EMERGENCY EXISTING FER C.R.C SHALL BE VERIFIED BY THE WINDOW SUBCONTRACTOR AND THE ARCHITECT SHALL BE NOTIFIED INMEDIATELY IF ANY REVISION TO WINDOW SIZES ARE REQUIRED PRIOR TO START OF CONSTRUCTION SAID WINDOW SHALL PROVIDE A CLEAR OPENING OF 5.7 SQ. FT. (MIN.), 20" CLEAR WIDTH
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  - OF BEDROOMS. 2. IN EACH ROOM USED FOR SLEEPING PURPOSES. 3. IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL (907.2.11.2)

(UNITS 1-2)

(UNITS 1-2)





**KEYNOTE** (N) EAGLE ROOF TILE CAPISTRANO S-PROFILES 900 LBS PER 100 SF CLASS 'A UES ER-1900 UPDATED TO 2015 IRC/IBC OVER 2-LAYER OF 30 FELT UNDERLAYMENT (N) O'HAGIN VENTS (N) FASCIA AROUND ROOF (N) DECORATIVE WOOD TRIM INBETWEEN STUCCO AND SIDING FINISH (N) DECORATIVE WOOD CORBELS (N) CONTINUOUS GALVANIZED SHEET METAL WEEP SCREED (N) DECORATIVE WOOD BRACING (N) GUARDRAIL, 42" MIN. HT. W/ RAILS SPACED AT 4" O.C MAXIMUM. (N) EXT. 7/8" STUCCO PLASTER (3-COATS) OVER GRADE 'D' PAPER ICC-ER ESR-2323 - COLOR AND MATERIAL TO MATCH PRIMARY UNIT (N) WINDOW (N) DECORATIVE FOAM TRIM (N) DECORATIVE WOOD SHUTTERS (N) DECORATIVE STONE FINISH (N) DECORATIVE WOOD COLUMN (N) SIDING FINISH (N) GARAGE DOOR (N) SLIDING DOOR



PRINCIPAL DESIGNER:

#### STUDIO ROCA INC.

P.O. BOX 850 RANCHO CUCAMONGA, CA 91729 PH: (909) 239-8067 E: studio\_roca@yahoo.com

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SHEET TITLE

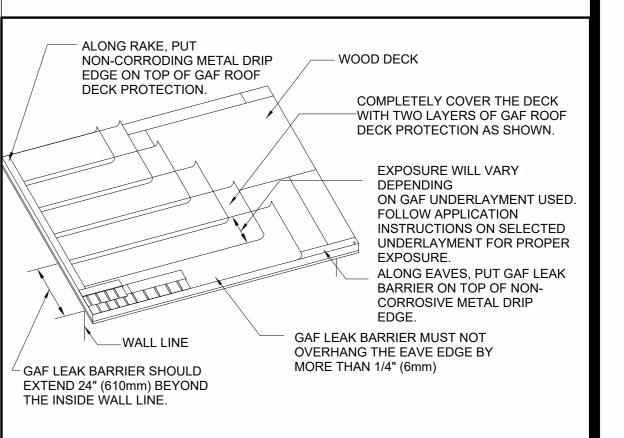
**EXTERIOR COLOR** 

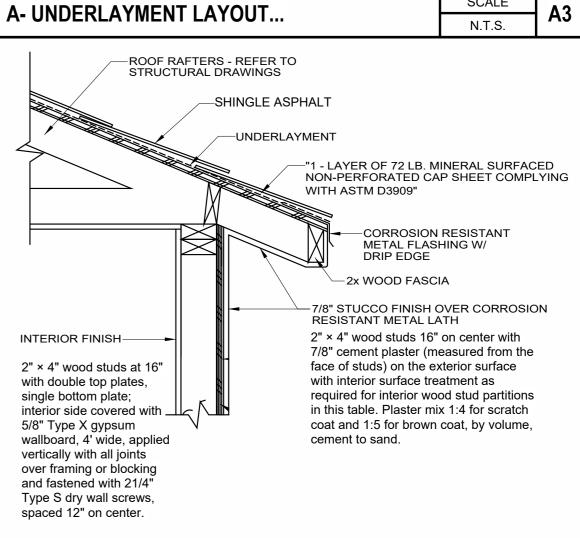
**DUPLEX SOUTH &** 

**EAST (UNITS 1 - 2)** 

**ELEVATIONS -**

013SFD;





#### **ENCLOSE EAVE DETAIL1..** N.T.S.

ASTM D 226 FOR TYPE 1 FELT, OR OTHER APPROVED WATER-RESISTIVE BARRIER, IS REQUIRED FOR THE EXTERIOR. SUCH

MATERIAL SHALL BE APPLIED HORIZONTALLY, WITH THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 2" AND WHERE JOIST OCCUR, THE MATERIAL SHALL BE

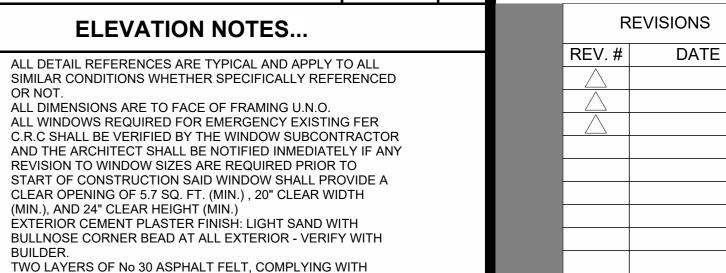
LAPPED NO LESS THAN 6 INCHES. WHERE APPLIED OVER WOOD BASED SHEATING A PERFORMANCE AT LEAST

THE GARAGE AND/OR CARPORT SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS

SHALL COMPLY WITH SECTION R302.5. ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R702.3.5. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL. A SEPARATION IS NOT REQUIRED BETWEEN THE DWELLING UNIT AND A CARPORT, PROVIDED THE CARPORT IS ENTIRELY OPEN ON TWO OR MORE SIDES AND THERE ARE NOT ENCLOSED AREAS ABOVE

EQUIVALENT TO TWO LAYERS OF GRADE D PAPER IS

REQUIRED. (R703.2, R703.7.3 CRC)



SCALE

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(N) WINDOW SCHEDULE					
MARK	WIDTH	HEIGHT	SILL HEIGHT	TYPE COMMENTS	COMMENTS
W1	4' - 0"	4' - 0"	4' - 0"	Vinyl Sliding Window	Dual Glazed Glass
W2	2' - 0"	3' - 0"	5' - 0"	Vinyl Single Hung	Dual Glazed Glass
W3	4' - 0"	3' - 0"	3' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W4	4' - 0"	3' - 0"	3' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W5	4' - 0"	3' - 0"	3' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W6	4' - 0"	3' - 0"	3' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W7	4' - 0"	3' - 0"	3' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W8	4' - 0"	4' - 0"	3' - 0"	Vinyl Sliding Window	Dual Glazed Glass
W9	2' - 0"	4' - 0"	3' - 0"	Vinyl Single Hung	Dual Glazed Glass
W10	2' - 0"	3' - 0"	4' - 0"	Vinyl Single Hung	Dual Glazed Glass
W11	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W12	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W13	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W14	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W15	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W16	3' - 0"	1' - 6"	5' - 2"	Vinyl Sliding Window	Dual Glazed Glass
W17	3' - 0"	1' - 6"	5' - 2"	Vinyl Sliding Window	Dual Glazed Glass
W18	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W19	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W20	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W21	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W22	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W23	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W24	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W25	3' - 0"	1' - 6"	5' - 2"	Vinyl Sliding Window	Dual Glazed Glass
W26	2' - 0"	3' - 0"	3' - 8"	Vinyl Single Hung	Dual Glazed Glass
W27	3' - 0"	1' - 6"	5' - 2"	Vinyl Sliding Window	Dual Glazed Glass
W28	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W29	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W30	3' - 0"	1' - 6"	5' - 2"	Vinyl Sliding Window	Dual Glazed Glass
W31	3' - 0"	1' - 6"	5' - 2"	Vinyl Sliding Window	Dual Glazed Glass
W32	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass

MARK	14/IDTU	TUEICUT	(N) DOOR SCHE	
MARK D1	<b>WIDTH</b> 16' - 0"	7' - 0"	FINISH Pre - Fab Garage Metal Door	2-Car
ם D2	16' - 0" 5' - 0"	6' - 8"	Solid Core 1 3/8" Thick	Swing W/ Sidehlights - Self Latching
D2	2' - 8"	6' - 8"	Solid Core 1 3/8" Thick Solid Core 1 3/4" Thick	Swing - Self Latching Swing - Self Latching
D3 	2' - 4"	6' - 8"	Hollow Core	Swing - Sell Laterling Swing
D5	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door
D3	2' - 8"	6' - 8"	Hollow Core	Swing
D0	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D8	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D0	2' - 4"	6' - 8"	Hollow Core	Pocket Door
D10	2' - 4"	6' - 8"	Hollow Core	Swing - Self Latching
D10	2' - 6"	6' - 8"	Hollow Core	Swing - Sell Laterling
D11	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D12 D13	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door Sliding Closet Door
D13	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door
D14 D15	2' - 6"	6' - 8"	Hollow Core	Swing
D15	2' - 4"	6' - 8"	Hollow Core	Swing
D17	2' - 4"	6' - 8"	Hollow Core	Swing
D17	2' - 8"	6' - 8"	Hollow Core	Swing
D18	16' - 0"	7' - 0"	Pre - Fab Garage Metal Door	2-Car
D19 D20	2' - 8"	6' - 8"	Solid Core 1 3/4" Thick	Swing - Self Latching
D20 D21	2' - 4"	6' - 8"	Hollow Core	Swing - Self Latching Swing
D21 D21	2' - 4" 6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door
D21 D22	6' - 0" 2' - 6"	6' - 8"	Hollow Core	Swing
D22 D23	2' - 6" 4' - 0"	6' - 8" 6' - 8"	Hollow Core Hollow Core	
	4' - 0" 4' - 0"	6' - 8" 6' - 8"		Sliding Closet Door
D24			Hollow Core	Sliding Closet Door
D25	2' - 6"	6' - 8"	Hollow Core	Swing
D26	2' - 4"	6' - 8"	Hollow Core	Swing
D27	2' - 4"	6' - 8"	Hollow Core	Swing
D28	2' - 4"	6' - 8"	Hollow Core	Swing
D29	2' - 8"	6' - 8"	Hollow Core	Swing
D30	2' - 8"	6' - 8"	Hollow Core	Swing
D31	2' - 4"	6' - 8"	Hollow Core	Pocket Door
D32	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D33	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D34	5' - 0"	6' - 8"	Solid Core 1 3/8" Thick	Swing W/ Sidehlights - Self Latching
D35	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door
D36	16' - 0"	7' - 0"	Pre - Fab Garage Metal Door	2-Car
D37	2' - 8"	6' - 8"	Solid Core 1 3/4" Thick	Swing - Self Latching
D38	2' - 4"	6' - 8"	Hollow Core	Swing
D39	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door
D40	2' - 6"	6' - 8"	Hollow Core	Swing
D41	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D42	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D43	2' - 6"	6' - 8"	Hollow Core	Swing
D44	2' - 4"	6' - 8"	Hollow Core	Swing
D45	2' - 4"	6' - 8"	Hollow Core	Swing
D46	2' - 4"	6' - 8"	Hollow Core	Swing
D47	2' - 8"	6' - 8"	Hollow Core	Swing
D48	2' - 8"	6' - 8"	Hollow Core	Swing
D49	2' - 4"	6' - 8"	Hollow Core	Pocket Door
D50	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D51	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D52	5' - 0"	6' - 8"	Solid Core 1 3/8" Thick	Swing W/ Sidehlights - Self Latching
D53	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door
D54	16' - 0"	7' - 0"	Pre - Fab Garage Metal Door	2-Car
D55	2' - 8"	6' - 8"	Solid Core 1 3/4" Thick	Swing - Self Latching
D56	2' - 4"	6' - 8"	Hollow Core	Swing
D50	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door
D57	2' - 6"	6' - 8"	Hollow Core	Swing
D58	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D59 D60	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door Sliding Closet Door
D60 D61	2' - 6"	6' - 8"	Hollow Core	Swing Swing
D61 D62	2' - 6"	6' - 8"	Hollow Core Hollow Core	Swing
D62 D63	2' - 4"	6' - 8"	Hollow Core Hollow Core	Swing
D63 D64	2' - 4"	6' - 8" 6' - 8"	Hollow Core Hollow Core	
	2' - 4"			Swing
D65		6' - 8"	Hollow Core	Swing
D66	2' - 8"	6' - 8"	Hollow Core	Swing  Pocket Door
D67	2' - 4"	6' - 8"	Hollow Core	Pocket Door
D68	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D69	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D70	5' - 0"	6' - 8"	Solid Core 1 3/8" Thick	Swing W/ Sidehlights - Self Latching
D71	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door
D72	16' - 0"	7' - 0"	Pre - Fab Garage Metal Door	2-Car
D73	2' - 8"	6' - 8"	Solid Core 1 3/4" Thick	Swing - Self Latching
D74	2' - 4"	6' - 8"	Hollow Core	Swing
D75	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door
D76	2' - 6"	6' - 8"	Hollow Core	Swing
D77	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D78	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
	2' - 6"	6' - 8"	Hollow Core	Swing
D79	2' - 4"	6' - 8"	Hollow Core	Swing
D79 D80	2' - 4"	6' - 8"	Hollow Core	Swing
D80		6' - 8"	Hollow Core	Swing
D80 D81	יי∧ יר∟ ו	0 - 0		Swing
D80 D81 D82	2' - 4"	רו פיי		Swing
D80 D81 D82 D83	2' - 8"	6' - 8" 6' - 8"	Hollow Core	
D80 D81 D82 D83 D84	2' - 8" 2' - 8"	6' - 8"	Hollow Core	Swing
D80 D81 D82 D83 D84 D85	2' - 8" 2' - 8" 2' - 4"	6' - 8" 6' - 8"	Hollow Core Hollow Core	Swing Pocket Door
D80 D81 D82 D83 D84 D85 D86	2' - 8" 2' - 8" 2' - 4" 4' - 0"	6' - 8" 6' - 8" 6' - 8"	Hollow Core Hollow Core Hollow Core	Swing Pocket Door Sliding Closet Door
D80 D81 D82 D83 D84 D85	2' - 8" 2' - 8" 2' - 4"	6' - 8" 6' - 8"	Hollow Core Hollow Core	Swing Pocket Door



PRINCIPAL DESIGNER:

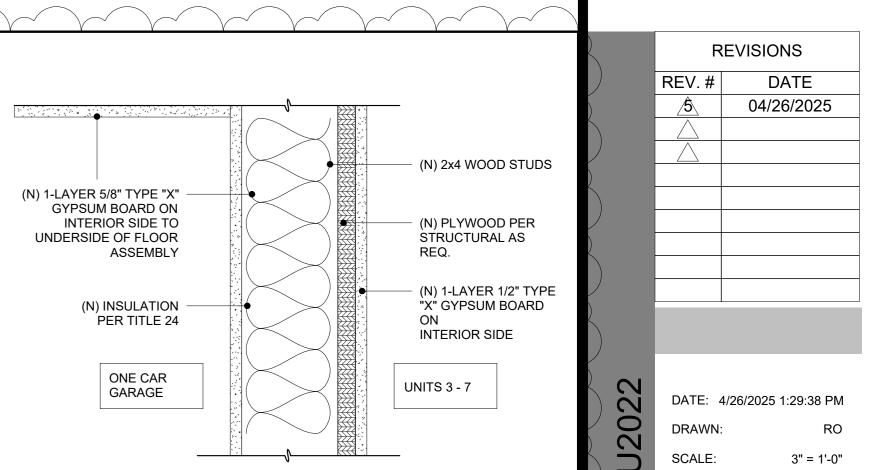
#### STUDIO ROCA INC.

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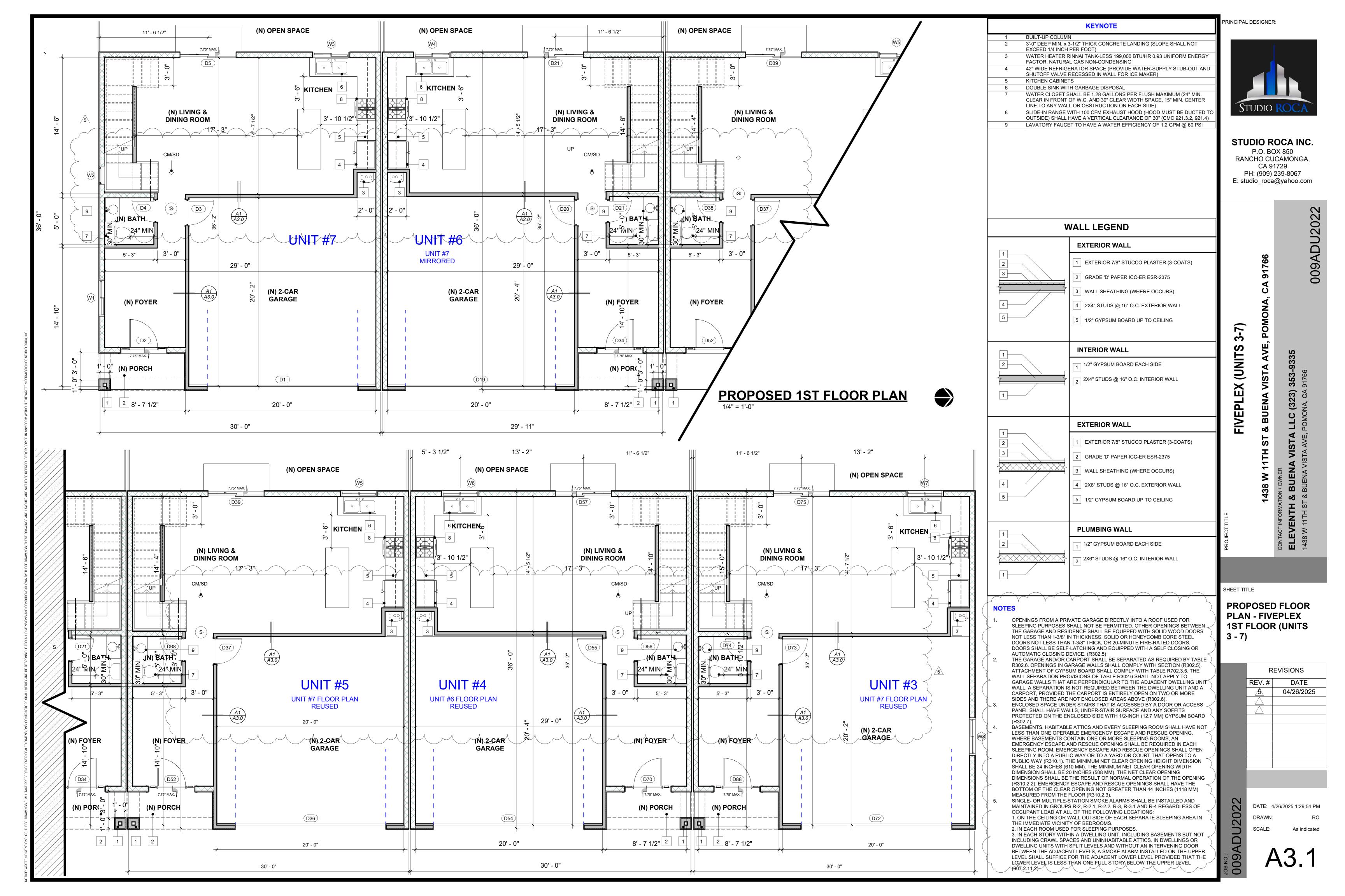
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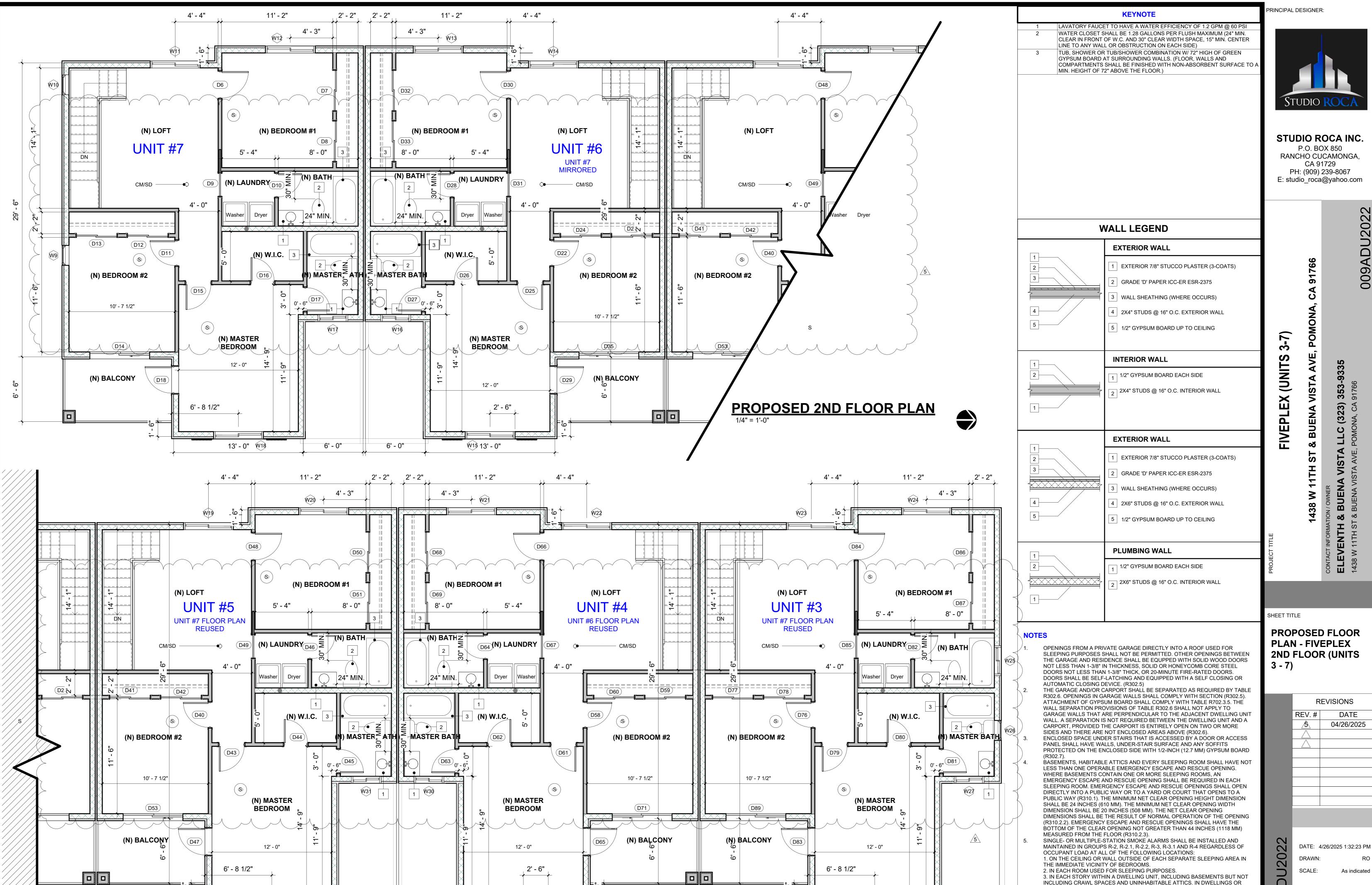
FIVEPLEX (UNITS

DOOR SCHEDULE -(UNITS 3 - 7) + 1 HR RATED DETAIL



1 - HR FIRE SEPARATION





-6' - 0"

13' - 0" (W3)

\_6' - 0"\_

13' - 0" (W29

RE	EVISIONS
REV.#	DATE
<u>/</u> \$\	04/26/2025

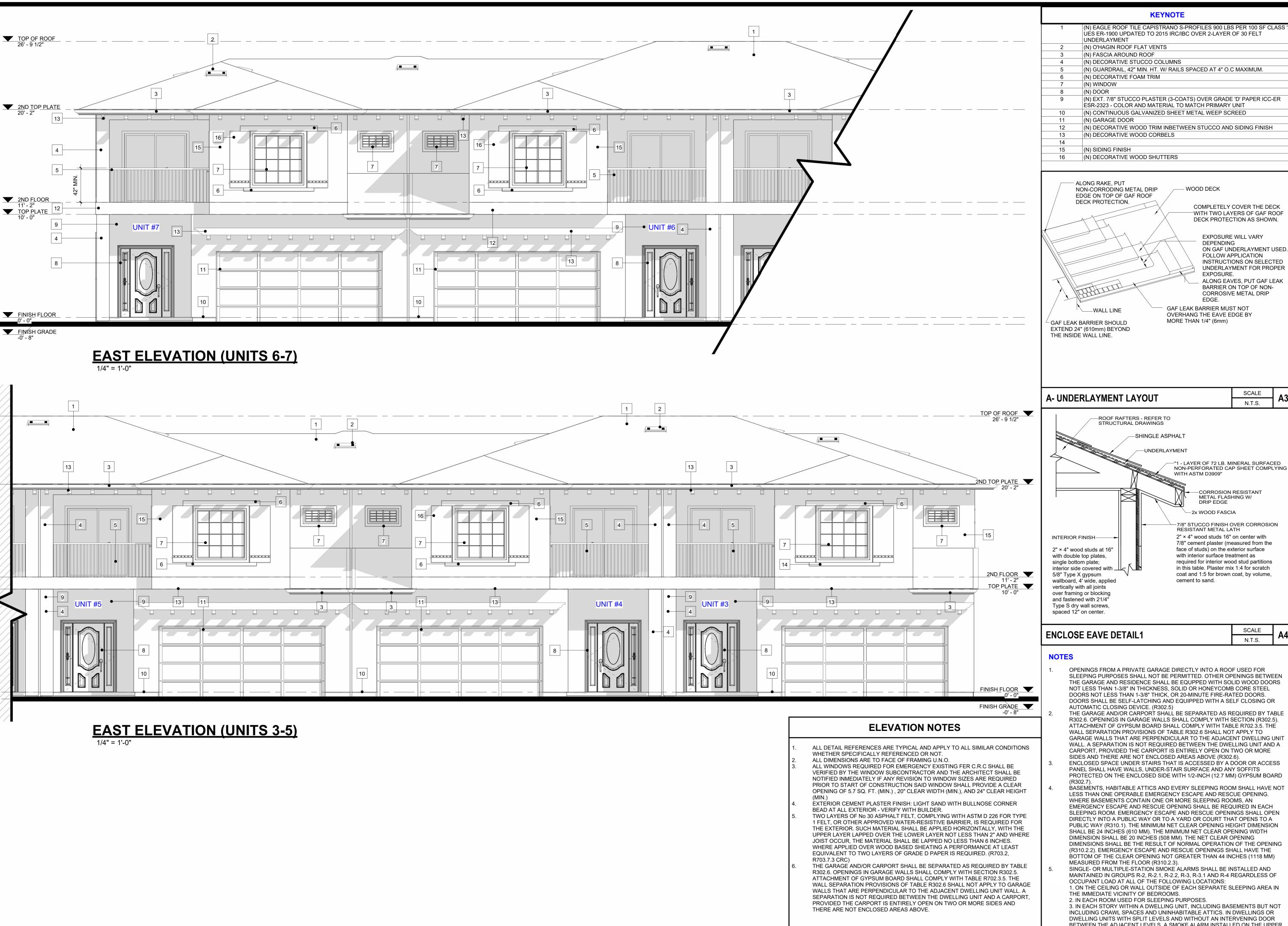
DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE

LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL

(907.2.11.2)

6' - 0"

13' - 0" W28



PRINCIPAL DESIGNER:



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SHEET TITLE

**EXTERIOR ELEVATIONS -FIVEPLEX EAST ONLY (UNITS 3 - 7)** 

R	REVISIONS
REV.#	DATE
$\triangle$	

DATE: 1/11/2025 3:24:29 PM DRAWN:

SCALE:

As indicated

OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOF USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS. DOORS SHALL BE SELF-LATCHING AND EQUIPPED WITH A SELF CLOSING OR

-SHINGLE ASPHALT

-UNDERLAYMENT

**KEYNOTE** 

- WOOD DECK

COMPLETELY COVER THE DECK

-WITH TWO LAYERS OF GAF ROOF DECK PROTECTION AS SHOWN.

**EXPOSURE WILL VARY** 

FOLLOW APPLICATION INSTRUCTIONS ON SELECTED UNDERLAYMENT FOR PROPER

ON GAF UNDERLAYMENT USED

ALONG EAVES, PUT GAF LEAK BARRIER ON TOP OF NON-CORROSIVE METAL DRIP

N.T.S.

"1 - LAYER OF 72 LB. MINERAL SURFACED NON-PERFORATED CAP SHEET COMPLYING

CORROSION RESISTANT

-7/8" STUCCO FINISH OVER CORROSION

2" × 4" wood studs 16" on center with 7/8" cement plaster (measured from the face of studs) on the exterior surface

with interior surface treatment as

required for interior wood stud partitions

in this table. Plaster mix 1:4 for scratch

coat and 1:5 for brown coat, by volume,

N.T.S.

DEPENDING

EXPOSURE.

GAF LEAK BARRIER MUST NOT OVERHANG THE EAVE EDGE BY

MORE THAN 1/4" (6mm)

WITH ASTM D3909"

cement to sand.

2x WOOD FASCIA

RESISTANT METAL LATH

AUTOMATIC CLOSING DEVICE. (R302.5) THE GARAGE AND/OR CARPORT SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION (R302.5). ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R702.3.5. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL. A SEPARATION IS NOT REQUIRED BETWEEN THE DWELLING UNIT AND A CARPORT, PROVIDED THE CARPORT IS ENTIRELY OPEN ON TWO OR MORE SIDES AND THERE ARE NOT ENCLOSED AREAS ABOVE (R302.6).

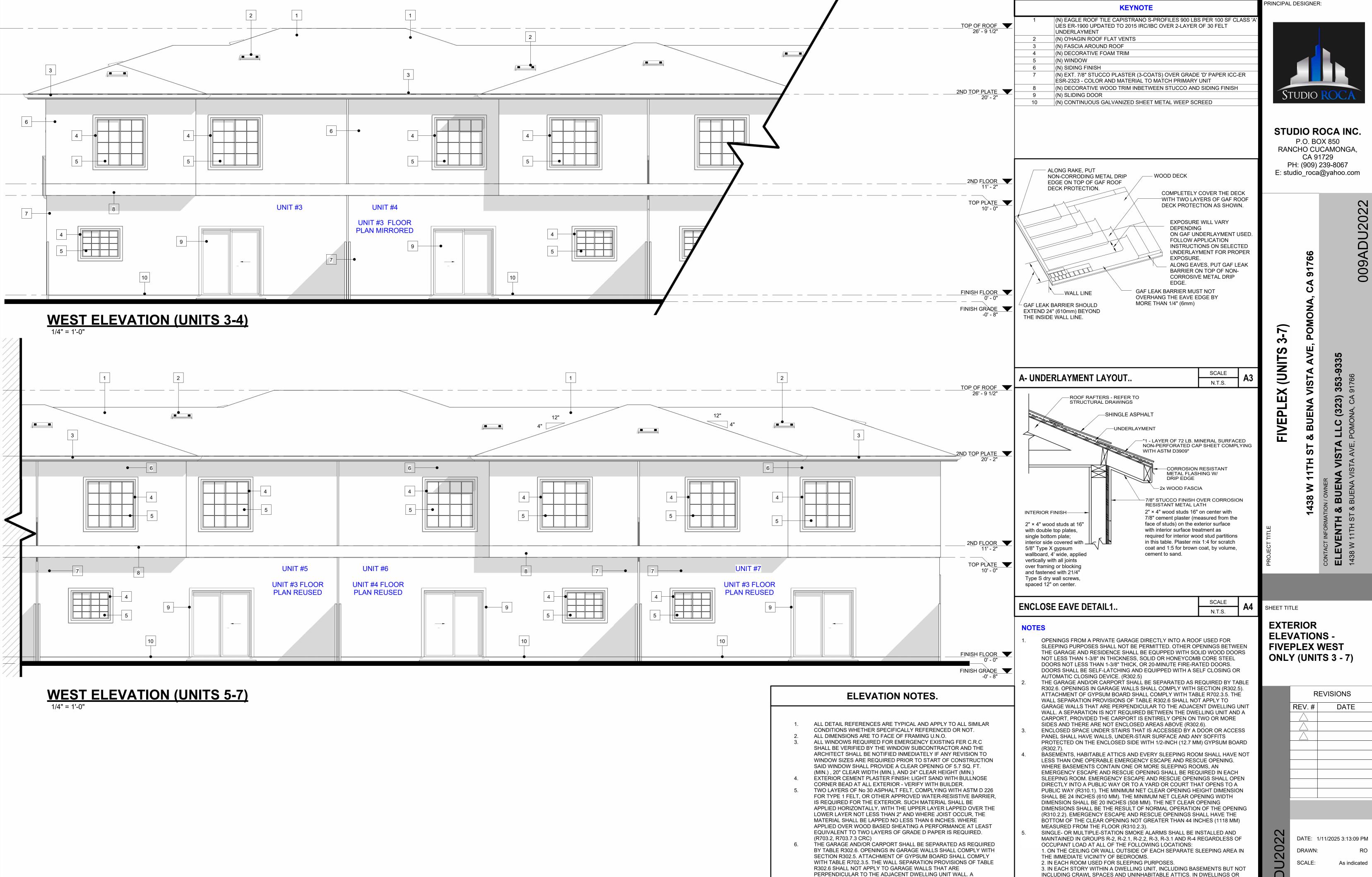
ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYPSUM BOARD

BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY (R310.1). THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES (610 MM). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES (508 MM). THE NET CLEAR OPENING

DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING (R310.2.2). EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118 MM) MEASURED FROM THE FLOOR (R310.2.3). SINGLE- OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED AND

MAINTAINED IN GROUPS R-2, R-2.1, R-2.2, R-3, R-3.1 AND R-4 REGARDLESS OF OCCUPANT LOAD AT ALL OF THE FOLLOWING LOCATIONS: 1. ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.

3. IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL (907.2.11.2)



SEPARATION IS NOT REQUIRED BETWEEN THE DWELLING UNIT AND A

CARPORT, PROVIDED THE CARPORT IS ENTIRELY OPEN ON TWO OR

MORE SIDES AND THERE ARE NOT ENCLOSED AREAS ABOVE.

1/1/2

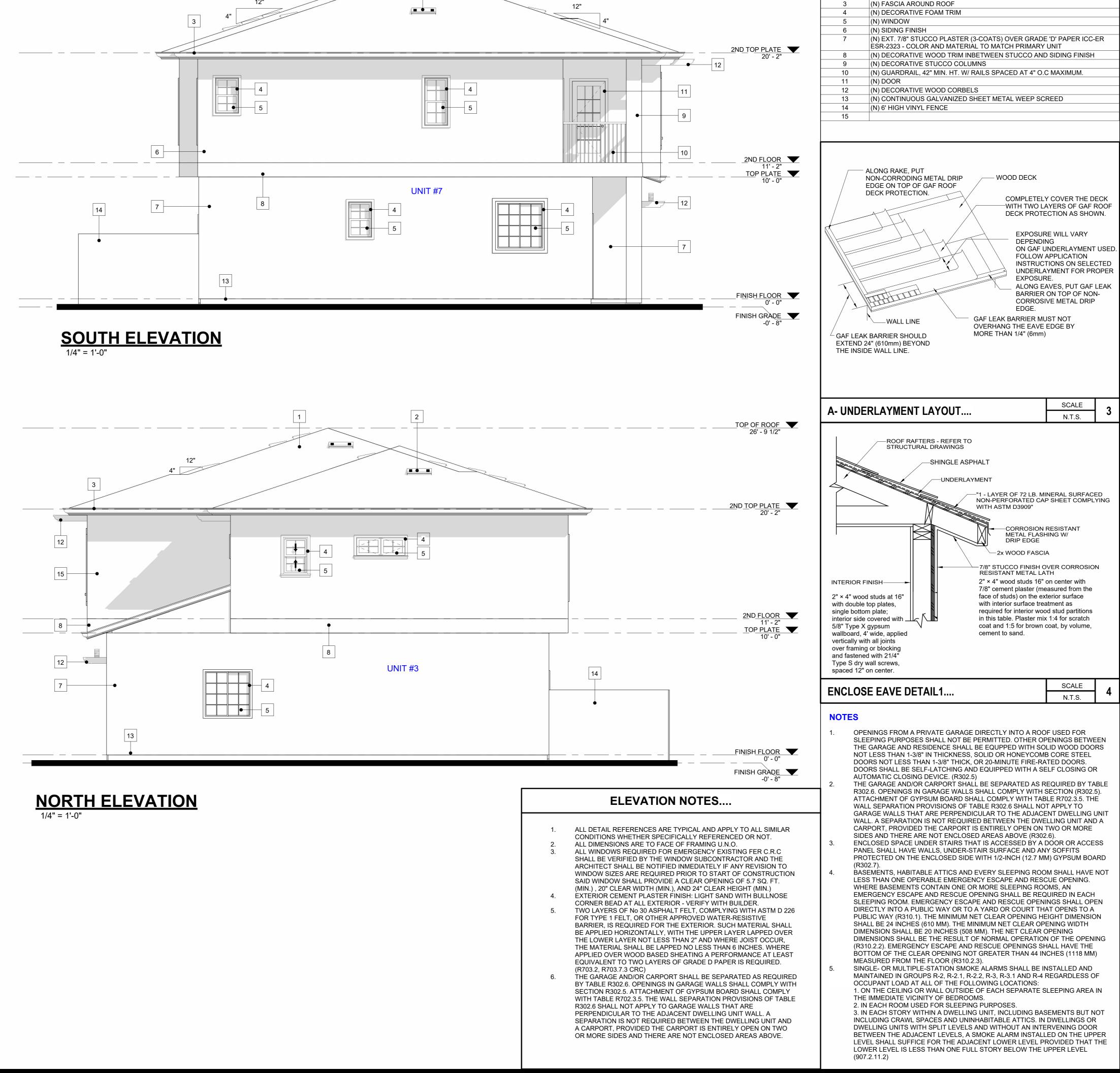
DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR

LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL

(907.2.11.2)

BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER

LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE



PRINCIPAL DESIGNER: (N) EAGLE ROOF TILE CAPISTRANO S-PROFILES 900 LBS PER 100 SF CLASS '/

**KEYNOTE** 

UNDERLAYMENT

(N) O'HAGIN ROOF FLAT VENTS

UES ER-1900 UPDATED TO 2015 IRC/IBC OVER 2-LAYER OF 30 FELT

TOP OF ROOF



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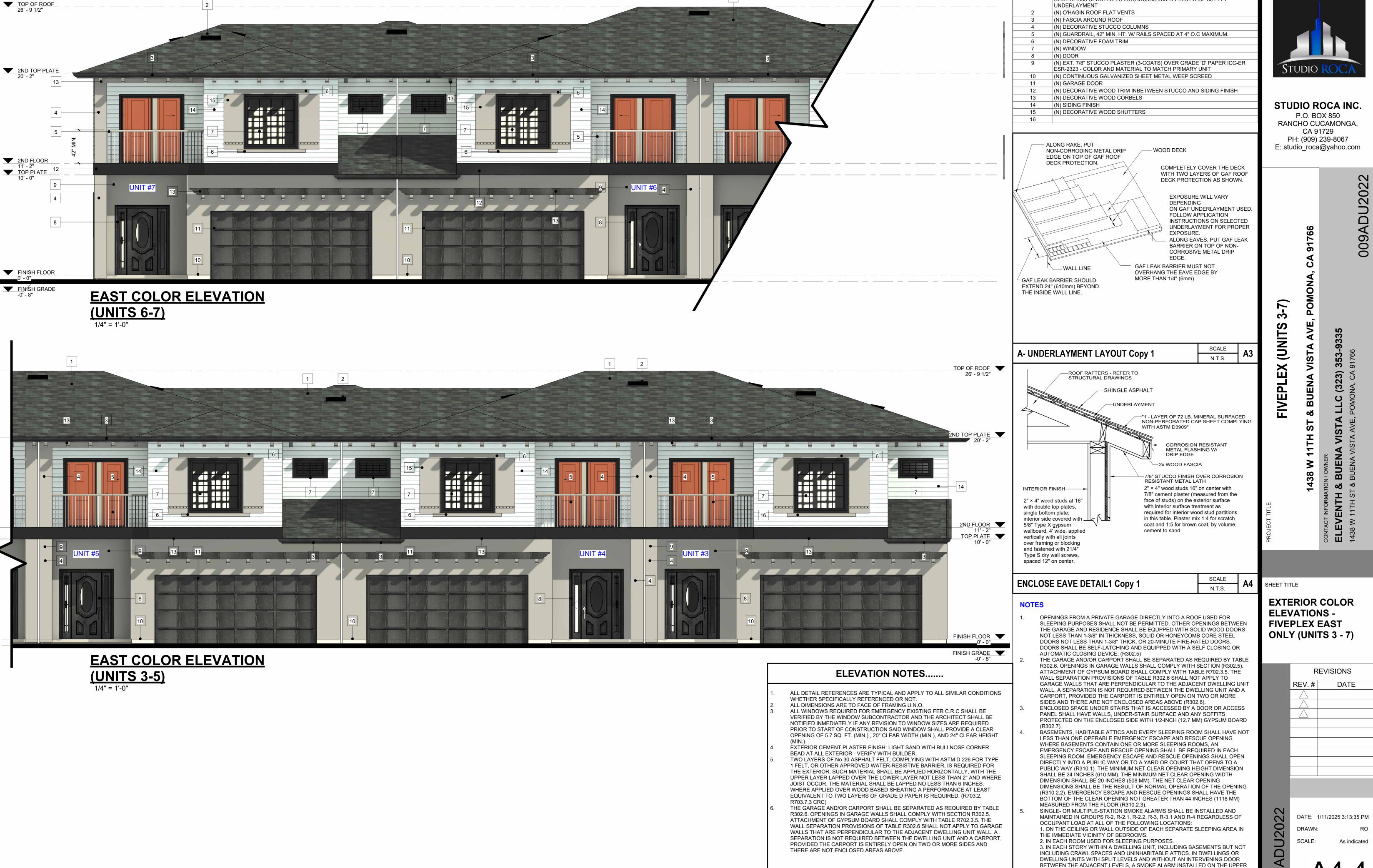
SHEET TITLE

**EXTERIOR ELEVATIONS** -FIVEPLEX SOUTH & NORTH (UNITS 3 -

REVISIONS		
REV.#	DATE	

DATE: 1/11/2025 3:13:20 PM DRAWN:

SCALE:



PRINCIPAL DESIGNER:

**KEYNOTE** 

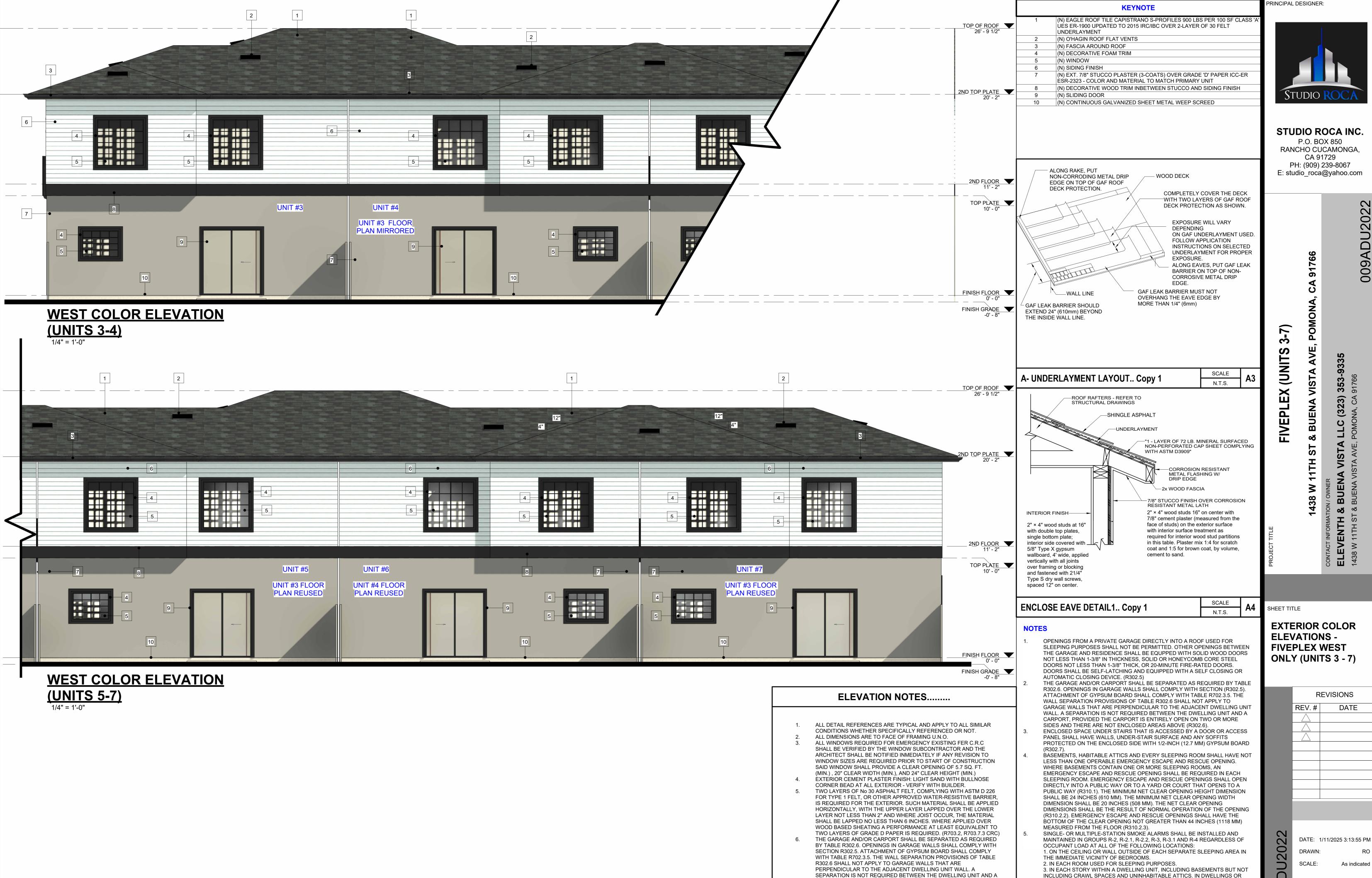
UES ER-1900 UPDATED TO 2015 IRC/IBC OVER 2-LAYER OF 30 FELT

LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL

(907.2.11.2)

(N) EAGLE ROOF TILE CAPISTRANO S-PROFILES 900 LBS PER 100 SF CLASS '.





CARPORT, PROVIDED THE CARPORT IS ENTIRELY OPEN ON TWO OR

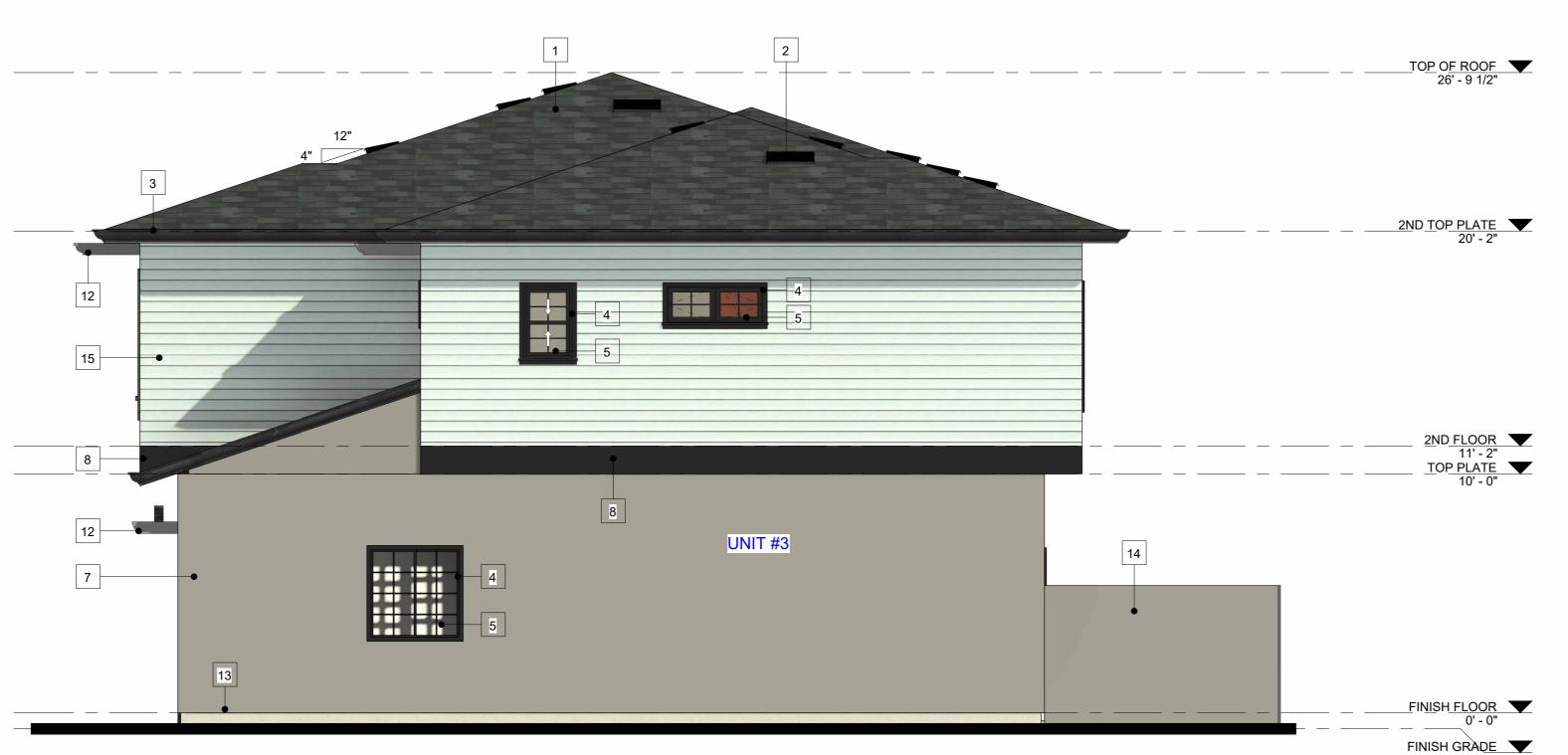
MORE SIDES AND THERE ARE NOT ENCLOSED AREAS ABOVE.

DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR

(907.2.11.2)

BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL

# **SOUTH COLOR ELEVATION**



# **NORTH COLOR ELEVATION**

#### **ELEVATION NOTES.....**

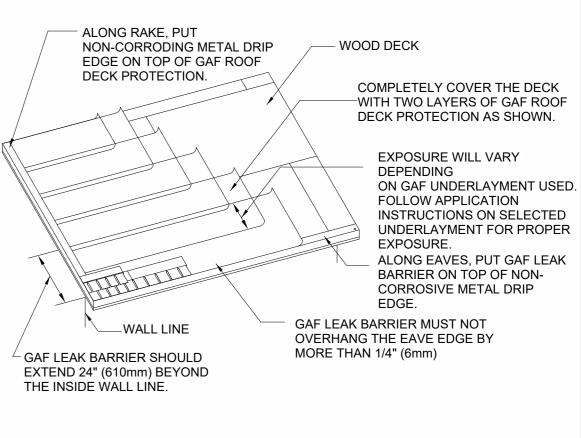
- ALL DETAIL REFERENCES ARE TYPICAL AND APPLY TO ALL SIMILAR CONDITIONS WHETHER SPECIFICALLY REFERENCED OR NOT.
- ALL DIMENSIONS ARE TO FACE OF FRAMING U.N.O. ALL WINDOWS REQUIRED FOR EMERGENCY EXISTING FER C.R.C SHALL
  - BE VERIFIED BY THE WINDOW SUBCONTRACTOR AND THE ARCHITECT SHALL BE NOTIFIED INMEDIATELY IF ANY REVISION TO WINDOW SIZES ARE REQUIRED PRIOR TO START OF CONSTRUCTION SAID WINDOW SHALL PROVIDE A CLEAR OPENING OF 5.7 SQ. FT. (MIN.), 20" CLEAR WIDTH (MIN.), AND 24" CLEAR HEIGHT (MIN.)
- EXTERIOR CEMENT PLASTER FINISH: LIGHT SAND WITH BULLNOSE CORNER BEAD AT ALL EXTERIOR - VERIFY WITH BUILDER. TWO LAYERS OF No 30 ASPHALT FELT, COMPLYING WITH ASTM D 226 FOR TYPE 1 FELT, OR OTHER APPROVED WATER-RESISTIVE BARRIER, IS REQUIRED FOR THE EXTERIOR. SUCH MATERIAL SHALL BE APPLIED HORIZONTALLY, WITH THE UPPER LAYER LAPPED OVER THE LOWER
- WOOD BASED SHEATING A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER IS REQUIRED. (R703.2, R703.7.3 CRC) THE GARAGE AND/OR CARPORT SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION R302.5. ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R702.3.5. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL. A SEPARATION IS NOT REQUIRED BETWEEN THE DWELLING UNIT AND A CARPORT, PROVIDED THE CARPORT IS ENTIRELY OPEN ON TWO OR

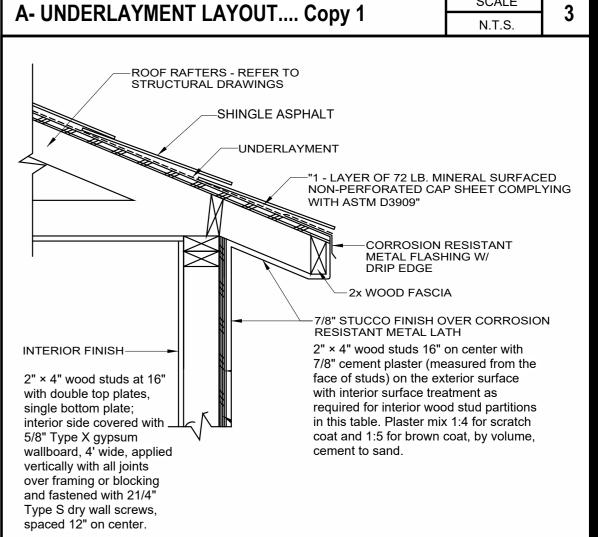
MORE SIDES AND THERE ARE NOT ENCLOSED AREAS ABOVE.

LAYER NOT LESS THAN 2" AND WHERE JOIST OCCUR, THE MATERIAL

SHALL BE LAPPED NO LESS THAN 6 INCHES. WHERE APPLIED OVER

**KEYNOTE** (N) EAGLE ROOF TILE CAPISTRANO S-PROFILES 900 LBS PER 100 SF CLASS '/ UES ER-1900 UPDATED TO 2015 IRC/IBC OVER 2-LAYER OF 30 FELT UNDERLAYMENT (N) O'HAGIN ROOF FLAT VENTS (N) FASCIA AROUND ROOF (N) DECORATIVE FOAM TRIM (N) WINDOW (N) SIDING FINISH (N) EXT. 7/8" STUCCO PLASTER (3-COATS) OVER GRADE 'D' PAPER ICC-ER ESR-2323 - COLOR AND MATERIAL TO MATCH PRIMARY UNIT (N) DECORATIVE WOOD TRIM INBETWEEN STUCCO AND SIDING FINISH (N) DECORATIVE STUCCO COLUMNS (N) GUARDRAIL, 42" MIN. HT. W/ RAILS SPACED AT 4" O.C MAXIMUM. (N) DECORATIVE WOOD CORBELS (N) CONTINUOUS GALVANIZED SHEET METAL WEEP SCREED (N) 6' HIGH VINYL FENCE





#### **NOTES**

OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOF USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS. DOORS SHALL BE SELF-LATCHING AND EQUIPPED WITH A SELF CLOSING OR

**ENCLOSE EAVE DETAIL1.... Copy 1** 

- AUTOMATIC CLOSING DEVICE. (R302.5) THE GARAGE AND/OR CARPORT SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION (R302.5). ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R702.3.5. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL. A SEPARATION IS NOT REQUIRED BETWEEN THE DWELLING UNIT AND A CARPORT, PROVIDED THE CARPORT IS ENTIRELY OPEN ON TWO OR MORE SIDES AND THERE ARE NOT ENCLOSED AREAS ABOVE (R302.6).
- ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYPSUM BOARD
- BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY (R310.1). THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES (610 MM). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES (508 MM). THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING (R310.2.2). EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118 MM) MEASURED FROM THE FLOOR (R310.2.3).
- SINGLE- OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED IN GROUPS R-2, R-2.1, R-2.2, R-3, R-3.1 AND R-4 REGARDLESS OF OCCUPANT LOAD AT ALL OF THE FOLLOWING LOCATIONS: 1. ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.
- 2. IN EACH ROOM USED FOR SLEEPING PURPOSES 3. IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL (907.2.11.2)

PRINCIPAL DESIGNER:

STUDIO ]

#### STUDIO ROCA INC.

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N.T.S.

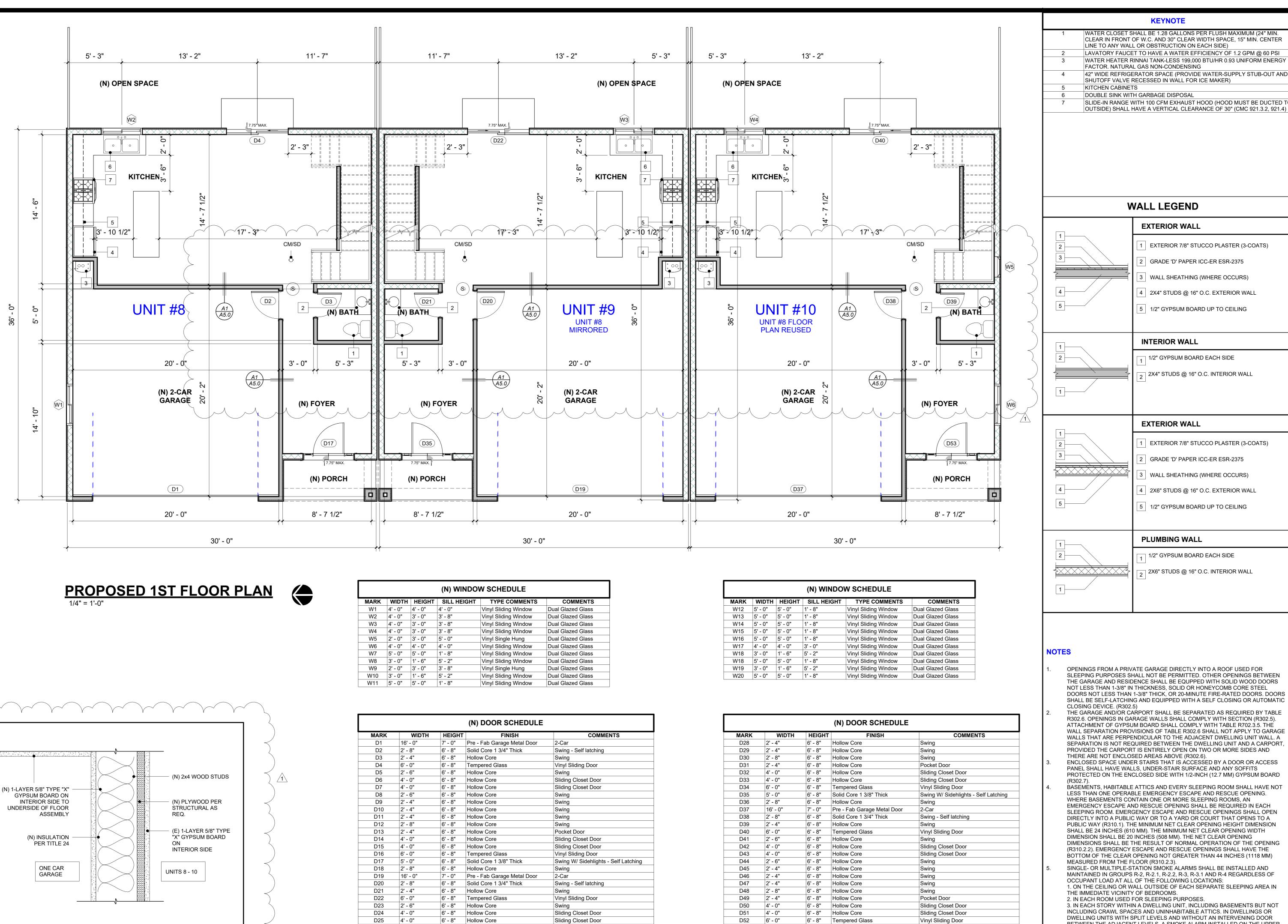
SHEET TITLE

**EXTERIOR COLOR ELEVATIONS -**FIVEPLEX SOUTH & NORTH (UNITS 3 -

REVISIONS		
REV.#	DATE	

DATE: 1/11/2025 3:14:07 PM DRAWN:

SCALE:



6' - 8" Hollow Core

6' - 8" Hollow Core

D26

SCALE

N.T<sub>A</sub>S.

- HR RATED SEPARATION

PRINCIPAL DESIGNER:

#### STUDIO ROCA INC.

STUDIO R

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#### WALL LEGEND

**KEYNOTE** 

	EXTERIOR WALL
2	1 EXTERIOR 7/8" STUCCO PLASTER (3-COATS)
3	2 GRADE 'D' PAPER ICC-ER ESR-2375
	3 WALL SHEATHING (WHERE OCCURS)
4	4 2X4" STUDS @ 16" O.C. EXTERIOR WALL
5	5 1/2" GYPSUM BOARD UP TO CEILING
1	INTERIOR WALL
2	1/2" GYPSUM BOARD EACH SIDE
	2 2X4" STUDS @ 16" O.C. INTERIOR WALL
1	
	EXTERIOR WALL
2	1 EXTERIOR 7/8" STUCCO PLASTER (3-COATS)
3	2 GRADE 'D' PAPER ICC-ER ESR-2375
	3 WALL SHEATHING (WHERE OCCURS)
4	4 2X6" STUDS @ 16" O.C. EXTERIOR WALL
5	5 1/2" GYPSUM BOARD UP TO CEILING
	PLUMBING WALL

(907.2.11.2)

6' - 8" Solid Core 1 3/8" Thick

6' - 8" Hollow Core

Swing W/ Sidehlights - Self Latching

D53

OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOF USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS. DOORS SHALL BE SELF-LATCHING AND EQUIPPED WITH A SELF CLOSING OR AUTOMATIC

1/2" GYPSUM BOARD EACH SIDE

2X6" STUDS @ 16" O.C. INTERIOR WALL

- THE GARAGE AND/OR CARPORT SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION (R302.5). ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R702.3.5. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL. A SEPARATION IS NOT REQUIRED BETWEEN THE DWELLING UNIT AND A CARPORT PROVIDED THE CARPORT IS ENTIRELY OPEN ON TWO OR MORE SIDES AND THERE ARE NOT ENCLOSED AREAS ABOVE (R302.6).
- ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYPSUM BOARD
- BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY (R310.1). THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES (610 MM). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES (508 MM). THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING (R310.2.2). EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118 MM) MEASURED FROM THE FLOOR (R310.2.3).
- MAINTAINED IN GROUPS R-2, R-2.1, R-2.2, R-3, R-3.1 AND R-4 REGARDLESS OF OCCUPANT LOAD AT ALL OF THE FOLLOWING LOCATIONS: 1. ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.
- 2. IN EACH ROOM USED FOR SLEEPING PURPOSES. 3. IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL

SHEET TITLE

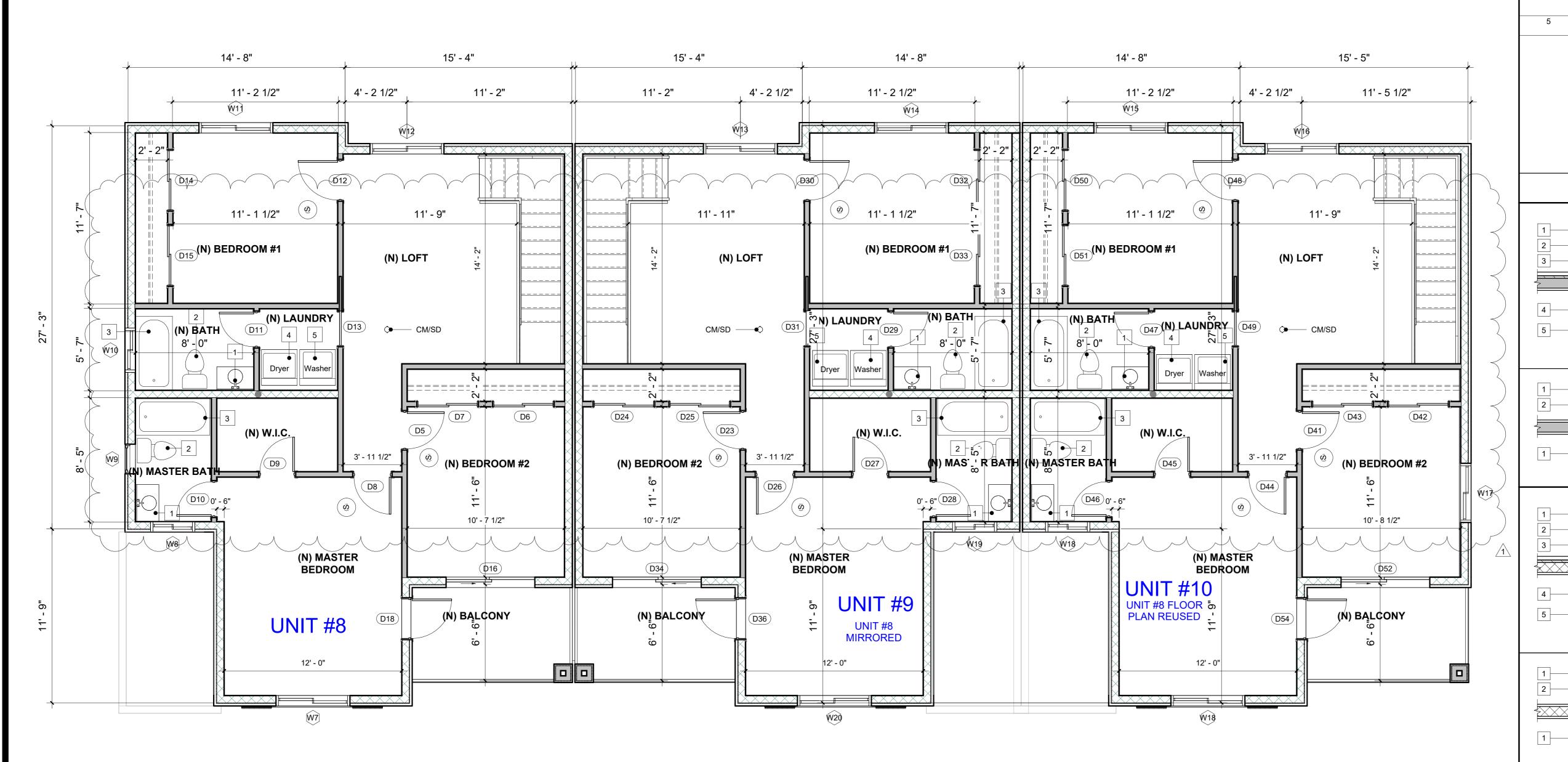
8-10)

(UNITS

PROPOSED FLOOR **PLAN - TRIPLEX 1ST FLOOR (UNITS** 8 - 10)

RE	EVISIONS
REV.#	DATE
<u> </u>	04/25/2025
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DATE: 4/26/2025 1:56:06 PM DRAWN: SCALE:



# PROPOSED 2ND FLOOR PLAN

(N) WINDOW SCHEDULE					
MARK	WIDTH	HEIGHT	SILL HEIGHT	TYPE COMMENTS	COMMENTS
W1	4' - 0"	4' - 0"	4' - 0"	Vinyl Sliding Window	Dual Glazed Glass
W2	4' - 0"	3' - 0"	3' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W3	4' - 0"	3' - 0"	3' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W4	4' - 0"	3' - 0"	3' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W5	2' - 0"	3' - 0"	5' - 0"	Vinyl Single Hung	Dual Glazed Glass
W6	4' - 0"	4' - 0"	4' - 0"	Vinyl Sliding Window	Dual Glazed Glass
W7	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W8	3' - 0"	1' - 6"	5' - 2"	Vinyl Sliding Window	Dual Glazed Glass
W9	2' - 0"	3' - 0"	3' - 8"	Vinyl Single Hung	Dual Glazed Glass
W10	3' - 0"	1' - 6"	5' - 2"	Vinyl Sliding Window	Dual Glazed Glass
W11	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W12	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W13	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W14	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W15	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W16	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W17	4' - 0"	4' - 0"	3' - 0"	Vinyl Sliding Window	Dual Glazed Glass
W18	3' - 0"	1' - 6"	5' - 2"	Vinyl Sliding Window	Dual Glazed Glass
W18	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass
W19	3' - 0"	1' - 6"	5' - 2"	Vinyl Sliding Window	Dual Glazed Glass
W20	5' - 0"	5' - 0"	1' - 8"	Vinyl Sliding Window	Dual Glazed Glass

	(N) DOOR SCHEDULE				
MARK	WIDTH	HEIGHT	FINISH	COMMENTS	
D1	16' - 0"	7' - 0"	Pre - Fab Garage Metal Door	2-Car	
D2	2' - 8"	6' - 8"	Solid Core 1 3/4" Thick	Swing - Self latching	
D3	2' - 4"	6' - 8"	Hollow Core	Swing	
D4	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door	
D5	2' - 6"	6' - 8"	Hollow Core	Swing	
D6	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door	
D7	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door	
D8	2' - 6"	6' - 8"	Hollow Core	Swing	
D9	2' - 4"	6' - 8"	Hollow Core	Swing	
D10	2' - 4"	6' - 8"	Hollow Core	Swing	
D11	2' - 4"	6' - 8"	Hollow Core	Swing	
D12	2' - 8"	6' - 8"	Hollow Core	Swing	
D13	2' - 4"	6' - 8"	Hollow Core	Pocket Door	
D14	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door	
D15	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door	
D16	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door	
D17	5' - 0"	6' - 8"	Solid Core 1 3/8" Thick	Swing W/ Sidehlights - Self Latching	
D18	2' - 8"	6' - 8"	Hollow Core	Swing	
D19	16' - 0"	7' - 0"	Pre - Fab Garage Metal Door	2-Car	
D20	2' - 8"	6' - 8"	Solid Core 1 3/4" Thick	Swing - Self latching	
D21	2' - 4"	6' - 8"	Hollow Core	Swing	
D22	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door	
D23	2' - 6"	6' - 8"	Hollow Core	Swing	
D24	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door	
D25	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door	
D26	2' - 6"	6' - 8"	Hollow Core	Swing	
D27	2' - 4"	6' - 8"	Hollow Core	Swing	

MARK	WIDTH	HEIGHT	FINISH	COMMENTS
D28	2' - 4"	6' - 8"	Hollow Core	Swing
D29	2' - 4"	6' - 8"	Hollow Core	Swing
D30	2' - 8"	6' - 8"	Hollow Core	Swing
D31	2' - 4"	6' - 8"	Hollow Core	Pocket Door
D32	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D33	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D34	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door
D35	5' - 0"	6' - 8"	Solid Core 1 3/8" Thick	Swing W/ Sidehlights - Self Latching
D36	2' - 8"	6' - 8"	Hollow Core	Swing
D37	16' - 0"	7' - 0"	Pre - Fab Garage Metal Door	2-Car
D38	2' - 8"	6' - 8"	Solid Core 1 3/4" Thick	Swing - Self latching
D39	2' - 4"	6' - 8"	Hollow Core	Swing
D40	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door
D41	2' - 6"	6' - 8"	Hollow Core	Swing
D42	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D43	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D44	2' - 6"	6' - 8"	Hollow Core	Swing
D45	2' - 4"	6' - 8"	Hollow Core	Swing
D46	2' - 4"	6' - 8"	Hollow Core	Swing
D47	2' - 4"	6' - 8"	Hollow Core	Swing
D48	2' - 8"	6' - 8"	Hollow Core	Swing
D49	2' - 4"	6' - 8"	Hollow Core	Pocket Door
D50	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D51	4' - 0"	6' - 8"	Hollow Core	Sliding Closet Door
D52	6' - 0"	6' - 8"	Tempered Glass	Vinyl Sliding Door
D53	5' - 0"	6' - 8"	Solid Core 1 3/8" Thick	Swing W/ Sidehlights - Self Latching
D54	2' - 8"	6' - 8"	Hollow Core	Swing

(N) DOOR SCHEDULE

**KEYNOTE** 

- LAVATORY FAUCET TO HAVE A WATER EFFICIENCY OF 1.2 GPM @ 60 PSI WATER CLOSET SHALL BE 1.28 GALLONS PER FLUSH MAXIMUM (24" MIN. CLEAR IN FRONT OF W.C. AND 30" CLEAR WIDTH SPACE, 15" MIN. CENTER LINE TO ANY WALL OR OBSTRUCTION ON EACH SIDE)
- TUB, SHOWER OR TUB/SHOWER COMBINATION W/ 72" HIGH OF GREEN GYPSUM BOARD AT SURROUNDING WALLS. (FLOOR, WALLS AND COMPARTMENTS SHALL BE FINISHED WITH NON-ABSORBENT SURFACE TO A MIN. HEIGHT OF 72" ABOVE THE FLOOR.)
- (N) DRYER MACHINE W/ 4" DIA. DRYER VENT THRU ROOF. MAXIMUM LENGT SHALL BE 14' INCLUDING TWO 90° ELBOWS. TERMINATE NOT LESS THAN 3FT FROM BUILDING OPENINGS.
  - WASHER MACHINE. PROVIDE HOT AND COLD WATER AND WASTE IN RECESSED WALL BOX.



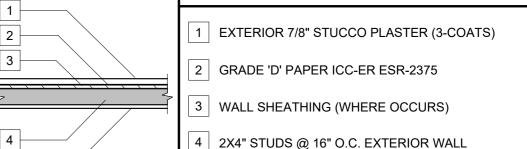
PRINCIPAL DESIGNER:

#### STUDIO ROCA INC.

P.O. BOX 850 RANCHO CUCAMONGA, CA 91729 PH: (909) 239-8067 E: studio\_roca@yahoo.com

009ADU2022

### WALL LEGEND



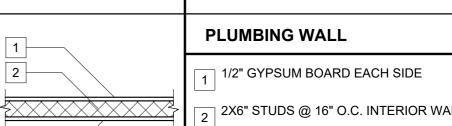
**EXTERIOR WALL** 

- 5 1/2" GYPSUM BOARD UP TO CEILING

### INTERIOR WALL 1/2" GYPSUM BOARD EACH SIDE 2X4" STUDS @ 16" O.C. INTERIOR WALL

# **EXTERIOR WALL** 1 EXTERIOR 7/8" STUCCO PLASTER (3-COATS)

- 2 GRADE 'D' PAPER ICC-ER ESR-2375
- 3 WALL SHEATHING (WHERE OCCURS) 4 2X6" STUDS @ 16" O.C. EXTERIOR WALL
- 5 1/2" GYPSUM BOARD UP TO CEILING



# 2 2X6" STUDS @ 16" O.C. INTERIOR WALL

# **NOTES**

- OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOF USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS. DOORS SHALL BE SELF-LATCHING AND EQUIPPED WITH A SELF CLOSING OR AUTOMATIC
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SHEET TITLE

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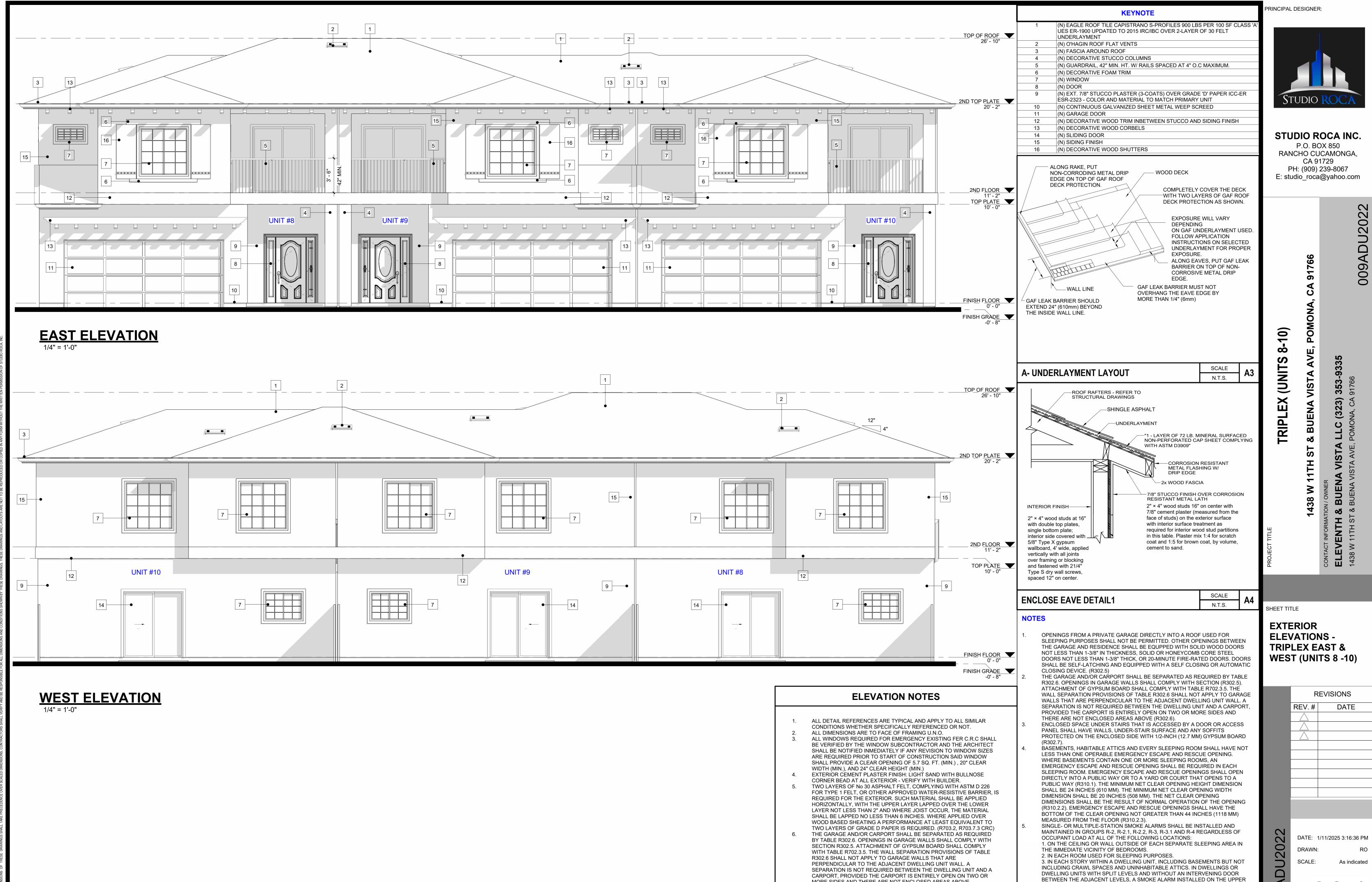
(UNITS

**TRIPLEX** 

PROPOSED FLOOR **PLAN - TRIPLEX** 2ND FLOOR (UNITS 8 - 10)

R	REVISIONS		
REV.#	DATE		
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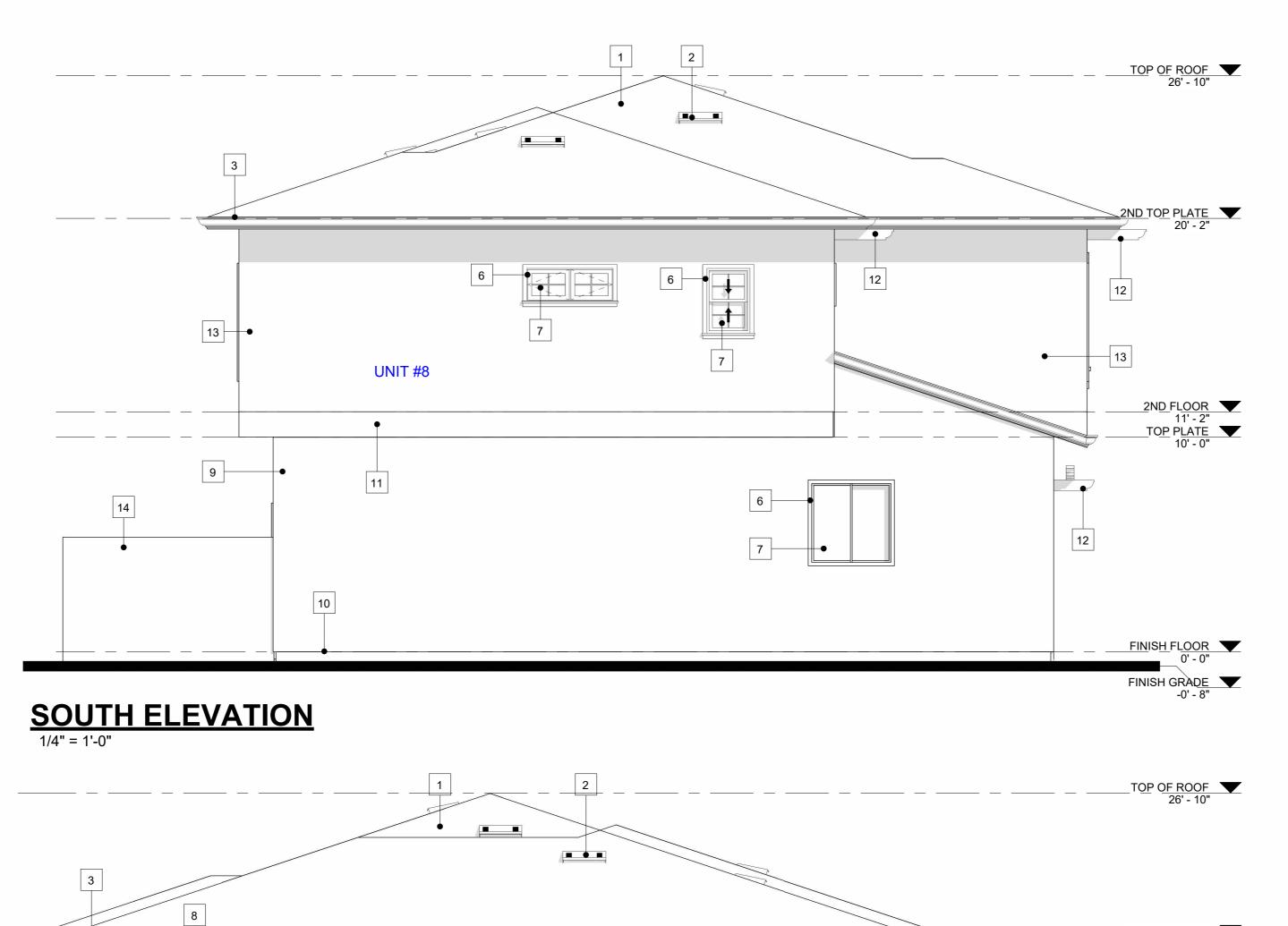
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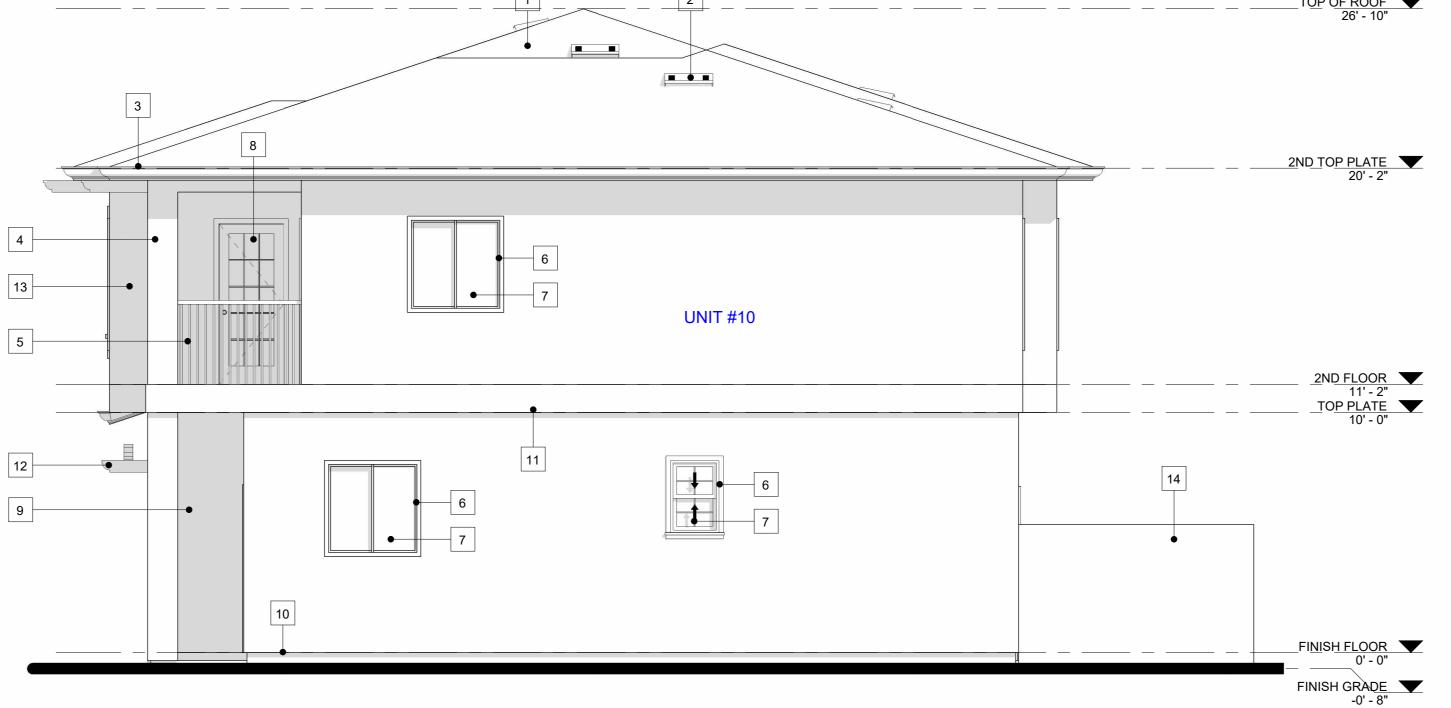


MORE SIDES AND THERE ARE NOT ENCLOSED AREAS ABOVE.

LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL

(907.2.11.2)





NORTH ELEVATION

1/4" = 1'-0"

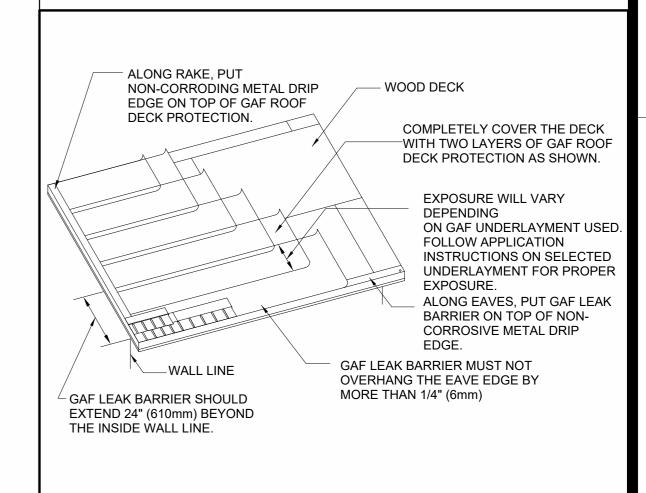
#### **ELEVATION NOTES.**

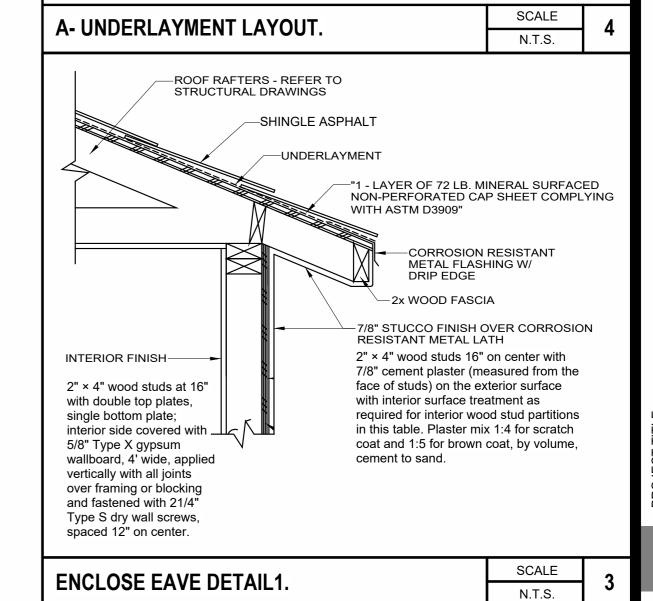
- ALL DETAIL REFERENCES ARE TYPICAL AND APPLY TO ALL SIMILAR CONDITIONS WHETHER SPECIFICALLY REFERENCED OR NOT. ALL DIMENSIONS ARE TO FACE OF FRAMING U.N.O.
- ALL WINDOWS REQUIRED FOR EMERGENCY EXISTING FER C.R.C SHALL BE VERIFIED BY THE WINDOW SUBCONTRACTOR AND THE ARCHITECT SHALL BE NOTIFIED INMEDIATELY IF ANY REVISION TO WINDOW SIZES ARE REQUIRED PRIOR TO START OF CONSTRUCTION SAID WINDOW SHALL PROVIDE A CLEAR OPENING OF 5.7 SQ. FT. (MIN.), 20" CLEAR
- WIDTH (MIN.), AND 24" CLEAR HEIGHT (MIN.) EXTERIOR CEMENT PLASTER FINISH: LIGHT SAND WITH BULLNOSE
- CORNER BEAD AT ALL EXTERIOR VERIFY WITH BUILDER. TWO LAYERS OF No 30 ASPHALT FELT, COMPLYING WITH ASTM D 226 FOR TYPE 1 FELT, OR OTHER APPROVED WATER-RESISTIVE BARRIER, IS REQUIRED FOR THE EXTERIOR. SUCH MATERIAL SHALL BE APPLIED HORIZONTALLY, WITH THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 2" AND WHERE JOIST OCCUR, THE MATERIAL SHALL BE LAPPED NO LESS THAN 6 INCHES. WHERE APPLIED OVER WOOD BASED SHEATING A PERFORMANCE AT LEAST EQUIVALENT TO
- TWO LAYERS OF GRADE D PAPER IS REQUIRED. (R703.2, R703.7.3 CRC) THE GARAGE AND/OR CARPORT SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION R302.5. ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R702.3.5. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL. A

SEPARATION IS NOT REQUIRED BETWEEN THE DWELLING UNIT AND A CARPORT, PROVIDED THE CARPORT IS ENTIRELY OPEN ON TWO OR MORE SIDES AND THERE ARE NOT ENCLOSED AREAS ABOVE.

**KEYNOTE** (N) EAGLE ROOF TILE CAPISTRANO S-PROFILES 900 LBS PER 100 SF CLASS 1/4 UES ER-1900 UPDATED TO 2015 IRC/IBC OVER 2-LAYER OF 30 FELT UNDERLAYMENT (N) O'HAGIN ROOF FLAT VENTS (N) FASCIA AROUND ROOF (N) DECORATIVE STUCCO COLUMNS (N) GUARDRAIL, 42" MIN. HT. W/ RAILS SPACED AT 4" O.C MAXIMUM. (N) DECORATIVE FOAM TRIM (N) WINDOW (N) DOOR (N) EXT. 7/8" STUCCO PLASTER (3-COATS) OVER GRADE 'D' PAPER ICC-ER ESR-2323 - COLOR AND MATERIAL TO MATCH PRIMARY UNIT (N) CONTINUOUS GALVANIZED SHEET METAL WEEP SCREED (N) DECORATIVE WOOD TRIM INBETWEEN STUCCO AND SIDING FINISH (N) DECORATIVE WOOD CORBELS (N) SIDING FINISH

(N) 6' HIGH VINYL FENCE





#### **NOTES**

- OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOF USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS. DOORS SHALL BE SELF-LATCHING AND EQUIPPED WITH A SELF CLOSING OR AUTOMATIC
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PRINCIPAL DESIGNER:



#### STUDIO ROCA INC.

P.O. BOX 850 RANCHO CUCAMONGA, CA 91729 PH: (909) 239-8067 E: studio\_roca@yahoo.com

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SHEET TITLE **EXTERIOR ELEVATIONS -**TRIPLEX SOUTH &

NORTH (UNITS 8 -

**REVISIONS** DATE REV.#

DATE: 1/11/2025 3:16:54 PM DRAWN: SCALE: As indicated



REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL

COMPLY WITH SECTION R302.5. ATTACHMENT OF GYPSUM BOARD

PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS

UNIT AND A CARPORT, PROVIDED THE CARPORT IS ENTIRELY OPEN

ON TWO OR MORE SIDES AND THERE ARE NOT ENCLOSED AREAS

SHALL COMPLY WITH TABLE R702.3.5. THE WALL SEPARATION

THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL. A SEPARATION IS NOT REQUIRED BETWEEN THE DWELLING

PRINCIPAL DESIGNER:

**KEYNOTE** 

DRAWN: SCALE:

1. ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN

3. IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT

LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE

INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR

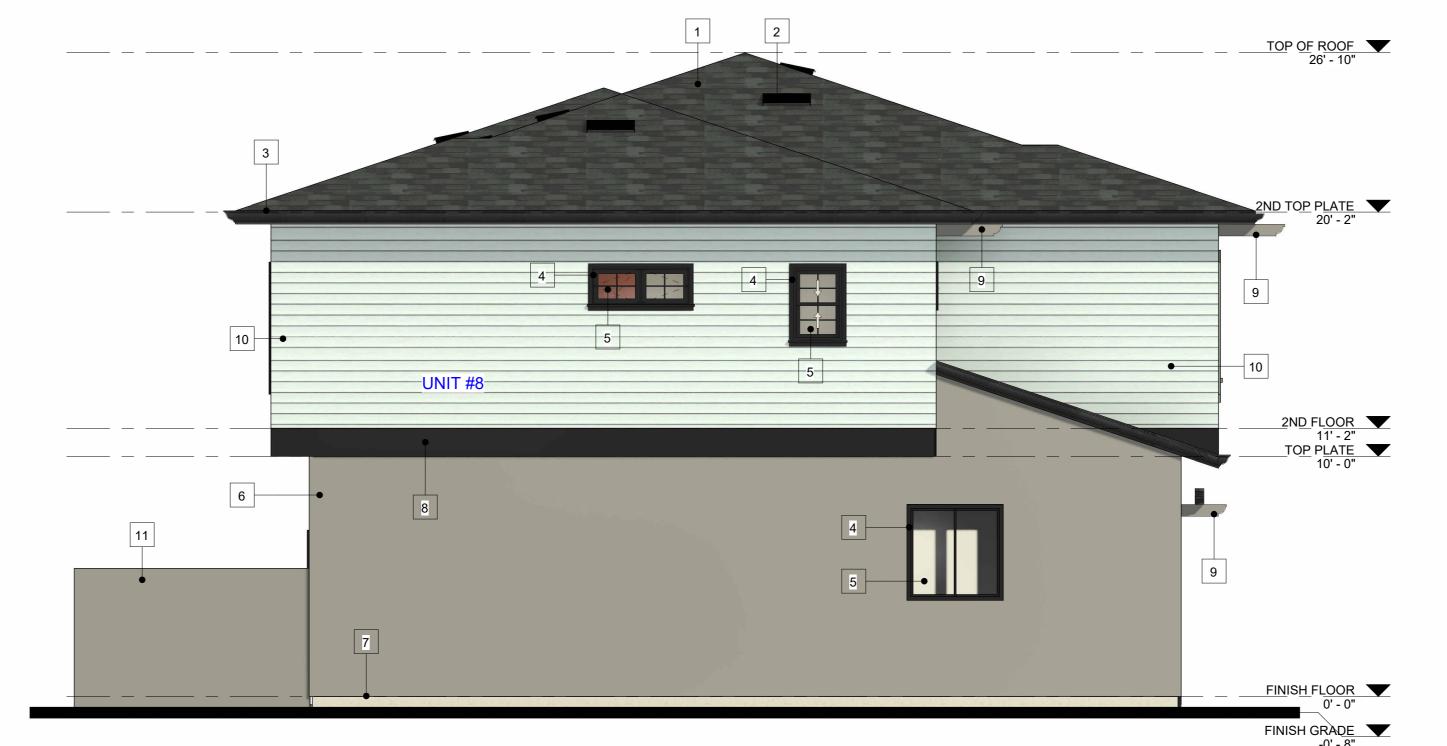
DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER

LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL

THE IMMEDIATE VICINITY OF BEDROOMS.

(907.2.11.2)

2. IN EACH ROOM USED FOR SLEEPING PURPOSES.



## **SOUTH COLOR ELEVATION**



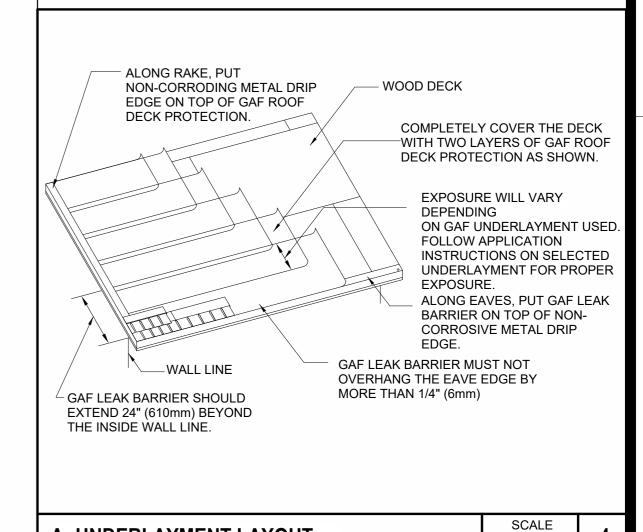
# **NORTH COLOR ELEVATION**

#### **ELEVATION NOTES....**

- ALL DETAIL REFERENCES ARE TYPICAL AND APPLY TO ALL SIMILAR CONDITIONS WHETHER SPECIFICALLY REFERENCED OR NOT.
- ALL DIMENSIONS ARE TO FACE OF FRAMING U.N.O. ALL WINDOWS REQUIRED FOR EMERGENCY EXISTING FER C.R.C SHALL BE VERIFIED BY THE WINDOW SUBCONTRACTOR AND THE ARCHITECT SHALL BE NOTIFIED INMEDIATELY IF ANY REVISION TO WINDOW SIZES ARE REQUIRED PRIOR TO START OF CONSTRUCTION SAID WINDOW SHALL PROVIDE A CLEAR OPENING OF 5.7 SQ. FT. (MIN.), 20" CLEAR WIDTH (MIN.), AND 24" CLEAR HEIGHT (MIN.)
- EXTERIOR CEMENT PLASTER FINISH: LIGHT SAND WITH BULLNOSE CORNER BEAD AT ALL EXTERIOR - VERIFY WITH BUILDER. TWO LAYERS OF No 30 ASPHALT FELT, COMPLYING WITH ASTM D 226 FOR TYPE 1 FELT, OR OTHER APPROVED WATER-RESISTIVE
- BARRIER, IS REQUIRED FOR THE EXTERIOR. SUCH MATERIAL SHALL BE APPLIED HORIZONTALLY, WITH THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 2" AND WHERE JOIST OCCUR, THE MATERIAL SHALL BE LAPPED NO LESS THAN 6 INCHES. WHERE APPLIED OVER WOOD BASED SHEATING A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER IS REQUIRED. (R703.2, R703.7.3 CRC)
- THE GARAGE AND/OR CARPORT SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION R302.5. ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R702.3.5. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL. A SEPARATION IS NOT REQUIRED BETWEEN THE DWELLING UNIT AND A CARPORT, PROVIDED THE CARPORT IS ENTIRELY OPEN ON TWO OR MORE SIDES AND THERE ARE NOT ENCLOSED AREAS

	KEYNOTE
1	(N) EAGLE ROOF TILE CAPISTRANO S-PROFILES 900 LBS PER 100 SF CLASS 'A UES ER-1900 UPDATED TO 2015 IRC/IBC OVER 2-LAYER OF 30 FELT UNDERLAYMENT
2	(N) O'HAGIN ROOF FLAT VENTS
3	(N) FASCIA AROUND ROOF
4	(N) DECORATIVE FOAM TRIM
5	(N) WINDOW
6	(N) EXT. 7/8" STUCCO PLASTER (3-COATS) OVER GRADE 'D' PAPER ICC-ER ESR-2323 - COLOR AND MATERIAL TO MATCH PRIMARY UNIT
7	(N) CONTINUOUS GALVANIZED SHEET METAL WEEP SCREED
8	(N) DECORATIVE WOOD TRIM INBETWEEN STUCCO AND SIDING FINISH
9	(N) DECORATIVE WOOD CORBELS
10	(N) SIDING FINISH
11	(N) 6' HIGH VINYL FENCE
12	(N) DECORATIVE STUCCO COLUMNS
13	(N) GUARDRAIL, 42" MIN. HT. W/ RAILS SPACED AT 4" O.C MAXIMUM.

14 (N) DOOR



A- UNDERLAYMENT LAYOUT	SCALE	4
A- ONDEREATMENT LATOUT	N.T.S.	4
ROOF RAFTERS - REFER TO STRUCTURAL DRAWINGS  SHINGLE ASPHALT  UNDERLAYMENT  "1 - LAYER OF 72 LB. M NON-PERFORATED CA WITH ASTM D3909"  CORROSION METAL FLASE DRIP EDGE  2x WOOD FASCI  7/8" STUCCO FINISH OR RESISTANT METAL LA 2" × 4" wood studs at 16" with double top plates, single bottom plate; interior side covered with 5/8" Type X gypsum wallboard, 4' wide, applied vertically with all joints over framing or blocking and fastened with 21/4"  Type S dry wall screws, spaced 12" on center.	P SHEET COMPL RESISTANT HING W/  A OVER CORROSIC TH on center with easured from the atterior surface atment as od stud partitions x 1:4 for scratch coat, by volume,	YING
ENCLOSE EAVE DETAIL1		

#### **NOTES**

- OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOF USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS. DOORS SHALL BE SELF-LATCHING AND EQUIPPED WITH A SELF CLOSING OR AUTOMATIC
- CLOSING DEVICE. (R302.5) THE GARAGE AND/OR CARPORT SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION (R302.5). ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R702.3.5. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL. A SEPARATION IS NOT REQUIRED BETWEEN THE DWELLING UNIT AND A CARPORT, PROVIDED THE CARPORT IS ENTIRELY OPEN ON TWO OR MORE SIDES AND THERE ARE NOT ENCLOSED AREAS ABOVE (R302.6).
- ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYPSUM BOARD
- BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY (R310.1). THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES (610 MM). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES (508 MM). THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING (R310.2.2). EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118 MM)
- MEASURED FROM THE FLOOR (R310.2.3). SINGLE- OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED IN GROUPS R-2, R-2.1, R-2.2, R-3, R-3.1 AND R-4 REGARDLESS OF OCCUPANT LOAD AT ALL OF THE FOLLOWING LOCATIONS: 1. ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.
- 2. IN EACH ROOM USED FOR SLEEPING PURPOSES. 3. IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL (907.2.11.2)

PRINCIPAL DESIGNER:



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