

NEW ADU 3 BED 2 BATH PROJECT

1513 GANESHA PL, POMONA, CA 91768

ALL CONSTRUCTION
ARCHITECTURAL DESIGN SERVICES
1641 S. SAN GABRIEL BLVD. SUITE D
SAN GABRIEL, CA, 91776
TEL: (626)505-8888



1513 GANESHA PL, POMONA,
CA 91768

Location

NOTES:
THE DESIGNS AND DRAWINGS REMAIN THE PROPERTY OF ALL CONSTRUCTION AND MAY NOT BE REPRODUCED OR CHANGED IN ANY MANNER WITHOUT THE SPECIFIC WRITTEN CONSENT OF ALL CONSTRUCTION.
THE CONTRACTOR MUST CHECK AND VERIFY ALL DETAILS AND DIMENSIONS OF THE JOB AND BE RESPONSIBLE FOR ANY DISCREPANCIES TO ALL CONSTRUCTION BEFORE COMMENCING WORK.
WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ABBREVIATIONS

AC.T.	ACOUSTIC TILE	HDWE	HARDWARE
A. C.	ASPHALT CONCRETE	HB	HOSE BIBB
A. D.	AREA DRAIN	H. C.	HOLLOW CORE
ADJ	ADJUSTABLE	HGT	HEIGHT
AFF	ABOVE FINISH FLOOR	HORIZ	HORIZONTAL
ALT	ALTERNATE	H. M.	HOLLOW METAL
ALUM	ALUMINUM	HR	HOUR
ANCH	ANCHOR	HYD	HYDRANT
APPROX	APPROXIMATELY	I. D.	INSIDE DIAMETER
ARCH	ARCHITECT / ARCHITECTURE	INSUL	INSULATION
ASB	ASBESTOS	INT	INTERIOR
BD	BOARD	JAN	JANITOR
BR. CS.	BRICK COURSE	JT	JOINT
BLDG	BUILDING	KIT	KITCHEN
BLK	BLOCK	LAB	LABORATORY
BLKG	BLOCKING	LAM	LAMINATE
B. M.	BENCH MARK	LAV	LAVATORY
BM	BEAM	LT	LIGHT
B. N.	BULL NOSE	MAX	MAXIMUM
BNT	BENT	M. C.	MEDICINE CABINET
BMT	BOTTOM	MECH	MECHANICAL
C. B.	CATCH BASIN	MH	MANHOLE
C. I.	CAST IRON	MIN	MINIMUM
CEM	CEMENT	MIR	MIRROR
CER	CERAMIC	MISC	MISCELLANEOUS
CER. T.	CERAMIC TILE	M. O.	MASONRY OPENING
C. J.	CONTROL JOINT	MTD	MOUNTED
CLR.	CLEAR	MTL	METAL
CLG	CEILING	N. I. C.	NOT IN CONTRACT
CLO	CLOSET	N. T. S.	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	O/A	OVERALL
C. O.	CASE OPENING	OBS	OBSCURE
COL	COLUMN	O/C	ON CENTER
COMP	COMPOSITION	O. D.	OUTSIDE DIAMETER
CONC.	CONCRETE	OFF	OFFICE
CONN.	CONNECTION	OH	OVERHEAD
CONSTR	CONSTRUCTION	OIO	OUT TO OUT
CONT.	CONTINUOUS	OPNG	OPENING
CONTR.	CONTRACTOR	OPP	OPPOSITE
CORR	CORRIDOR	PC	PIECE
CORR	CORRIDOR	P. LAM	PLASTIC LAMINATE
CNTR	COUNTER	PLATE	PLATE
CTR	CENTER	PLAS	PLASTER
DBL	DOUBLE	PLBG	PLUMBING NUMBER
DEPT	DEPARTMENT	PLYWD	PLYWOOD
DET.	DETAIL	POL	POLISHED
D. F.	DRINKING FOUNTAIN	PROJ	PROJECT
DIA	DIAMETER	PT	POINT
DIM	DIMENSION	PTD	PAINTED
DISP	DISPENSER	Q. T.	QUARRY TILE
DN	DOWN	R	RISER
D. O.	DOOR OPENING	RAD	RADIUS
DS	DOWN SPOUT	R. D.	ROOD DRAIN
DWG	DRAWING	REF	REFRIGERATOR
EA	EACH	REINF.	REINFORCEMENT / REINFORCED
EIFS	EXT. INSULATION & FINISH SYSTEM	REQD.	REQUIRED
EL	ELEVATION	RM	ROOM
ELECT	ELECTRICAL	R. O.	ROUGH OPENING
ELEV	ELEVATION / ELEVATOR	S	SINK
EMER	EMERGENCY	SHT.	SHEET
ENCL	ENCLOSURE	S. M.	SHEET METAL
EQ	EQUAL	SQ.	SQUARE
EQPT	EQUIPMENT	S. S.	SLOP / SERVICE SINK
EXT	EXISTING	S. STL	STAINLESS STEEL
EXP	EXPANSION	STD	STANDARD
E. J.	EXPANSION JOINT	STRUCT.	STRUCTURAL
EXT	EXTERIOR	SUSP	SUSPENDED
F. A.	FIRE ALARM	T/	TOP OF
F. D.	FLOOD DRAIN	T. D.	TRENCH DRAIN
F. E.	FIRE EXTINGUISHER	TERR	TERRAZZO
FIN	FINISH	TYP	TYPICAL
FLASH	FLASHING	UNF	UNFINISHED
FLR	FLOOR	U. N. O.	UNLESS NOTED OTHERWISE
FLUOR	FLUORESCENT	VCT	VINYL COMPOSITION TILE
FDN	FOUNDATION	W. C.	WATER CLOSET
F. O. F.	FACE OF FINISH	WD	WOOD
FPHB	FROST PROOF HOSE BIBB	WT	WEIGHT
F. S.	FULL SIZE OR FLOOR SINK	WWF	WELDED WIRE FABRIC
FTG	FOOTING		
FURR	FURRING		
FVC	FIRE VALVE CABINET		
GA	GAUGE		
GALV	GALVANIZED		
GEN	GENERAL		
GR	GRADE		
GRFC	GLASS FIBER REINFORCED CONCRETE		
GRFG	GLASS FIBER REINFORCED GPYSUM		
GLS	GLASS / GLAZING		
G. S.	GRAVEL STOP		
GYP. BD.	GYPSSUM BOARD		

GENERAL NOTES

- THE OWNER OF THE PROPERTY HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE COPIED, REPRODUCED OR CHANGED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN CONSENT AND PERMISSION OF OWNER.
- SUBCONTRACTOR SHALL PROMPTLY NOTIFY CONTRACTOR, AND CONTRACTOR SHALL NOTIFY THE OWNER, OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES IN THE PLANS OR ON THE SPECIFICATION, SO THE OWNER CAN RECTIFY CORRECTIONS OR OMISSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE PRIOR TO COMMENCING WORK. ALL WORK SHALL BE DONE IN COMPLIANCE WITH LOCAL CODES. DO NOT SCALE DRAWINGS.
 - ALL SUBCONTRACTOR WORKMANSHIP WILL BE OF QUALITY TO PASS INSPECTIONS BY APPLICABLE LOCAL AUTHORITIES, LENDING INSTITUTIONS, OWNER, AND THE BUILDER. AND ONE, OR ALL MENTIONED PARTIES MAY INSPECT WORKMANSHIP AT ANY TIME, AND ANY CORRECTIONS NEEDED TO ENHANCE THE QUALITY OF BUILDING WILL BE DONE IMMEDIATELY.
 - EACH SUBCONTRACTOR SHALL START HIS WORK PROMPTLY, PURSUE IT DILIGENTLY AND COMPLETE IT IN ACCORDANCE WITH CONTRACTORS BUILDING SCHEDULE. IT IS MUTUALLY UNDERSTOOD THAT SCHEDULE COULD CHANGE WITHOUT NOTICE AS CIRCUMSTANCE WARRANT.
 - ALL MATERIALS, MACHINERY AND EQUIPMENT SHALL BE STORED IN A MANNER APPROVED BY THE CONTRACTOR, IN A PLACE DESIGNED BY THE CONTRACTOR. FIRE HAZARD SHALL BE PROMPTLY VACATED UPON REQUEST BY CONTRACTOR AND LEFT IN A BROOM CLEAN CONDITIONS.
 - ALL MATERIALS SUPPLIED BY SUBCONTRACTORS SHALL BE OF A GRADE AND QUALITY ACCEPTABLE TO THE CONTRACTORS; IN EVERY CASE THEY SHALL BE, IN THE OPINION OF THE CONTRACTOR, SUITABLE FOR THE PROPOSED.
 - EACH, SUBCONTRACTOR, UNLESS SPECIFICALLY EXEMPTED BY THE TERMS OF HIS SUBCONTRACTOR AGREEMENT, SHALL BE RESPONSIBLE FOR CLEANING UP AND REMOVING FROM THE JOB SITE ALL TRASH AND DEBRIS NOT LEFT BY THE OWNER CONTRACTOR. BUILDER WILL DETERMINE HOW SOON AFTER SUBCONTRACTOR COMPLETES EACH PHASE OF HIS WORK THAT TRASH AND DEBRIS WILL BE REMOVED FROM THE SITE.
 - WHILE IT IS THE RESPONSIBILITY OF EACH SUBCONTRACTOR TO COOPERATE FULL WITH THE JOB SUPERINTENDENT IN PROTECTING ALL WORK THROUGH THE ENTIRE COURSE OF CONSTRUCTION, SPECIAL ATTENTION MUST BE GIVEN TO PROTECTION OF ALL FINISH WORK PERFORMED AFTER COMPLETION OR PLASTERING, STUCCOING, OR DRYWALL. ALL SUBCONTRACTORS SHALL FULLY COOPERATE WITH JOB SUPERINTENDENT IN PROTECTING THE GOOD CONDITION OF ALL FINISH FLOORS, WALLS, CABINET WORK AND COUNTERTOPS THROUGHOUT THE PROJECT. NO TOOLS OR MATERIAL, COFFEE CUPS OR LIGHTED CIGARETTES SHALL NEVER BE PLACED ON ANY MARBLE OR FORMICA COUNTER-TOP, EXCEPT THAT TOOL AND MATERIALS IMMEDIATELY BEING WORKED WITH MAY BE SO PLACED THAT THEY ARE NOT PLACED UPON AN UNPROTECTED FINISH SURFACE. SUBCONTRACTOR SHALL BE BACK CHARGED FOR ANY DAMAGE WHICH MAY BE ASCRIBED TO THEM; FOR THIS REASON, EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PROMPTLY NOTIFYING THE JOB SUPERINTENDENT FOR ANY DAMAGE EXISTING PRIOR TO THE START OF THE WORK.
 - DRAWINGS AND SPECIFICATION, ERRORS, AND OMISSIONS:
 - THE CONTRACTOR SHALL NOTIFY OWNER IN WRITING, OF ANY ERRORS, DISCREPANCIES OR OMISSION IN THE CONTRACT DRAWINGS PRIOR TO THE COMMENCEMENT OF WORK.
 - THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES OR OMISSION WHICH THE CONTRACTOR FAILED TO NOTIFY THE PROPERTY'S OWNER OF BEFORE CONSTRUCTION AND FABRICATION OF WORK.
 - SPECIFICATIONS AND DRAWING EXPLANATIONS:

FOR CONVENIENCE OR REFERENCE AND TO FACILITATE THE LETTING OR CONTRACTORS AND SUBCONTRACTORS, THESE SPECIFICATIONS ARE SEPARATE IN TITLE SECTIONS. SUCH SEPARATION SHALL NOT, HOWEVER, OPERATE TO MAKE THE OWNER AN ARBITER TO ESTABLISH LIMITS TO CONTACTS BETWEEN THE CONTRACTOR AND SUBCONTRACTORS.
 - EXISTING DIMENSION AS SHOWN ON PLANS ARE PROVIDED BY OWNER, G.C. SHALL VERIFY EXISTING CONDITION BEFORE CONSTRUCTION, NOTIFY OWNER/ DESIGNER IF AND CONFLICT AS REQUIRED.
 - "OR EQUAL": THE CONTRACTOR SHALL SUBMIT FOR THE PROPERTY'S OWNER AND BUILDERS APPROVAL OF ALL MATERIALS OR EQUIPMENT WHICH IS CONSIDERED "OR EQUAL" TO THAT SPECIFIED ON THE DRAWINGS.
 - THE STRUCTURAL DESIGN AND DETAILS FULLY CONFORM TO ALL APPROPRIATE REQUIREMENTS OF THIS CODE, THE CALIFORNIA RESIDENTIAL CODE, SHOULD A PORTION OR ALL OF THE STRUCTURAL DESIGN CONFORM TO THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE, AS ALLOWED IN THE CRC, THE STATEMENT SHALL CLEARLY IDENTIFY WHICH PORTION OF THE STRUCTURAL DESIGN CONFORM TO THE CBC OR THAT THE FULL STRUCTURAL DESIGN IS IN CONFORMANCE WITH THE STRUCTURAL REQUIREMENTS OF THE CALIFORNIA BUILDING CODE. (R301.1.3 CRC)

PROJECT DATA

OWNER: CHEN WEIWEI
OWNER PHONE NO.: 626-725-6568
JOB ADDRESS: 1513 GANESHA PL, POMONA, CA 91768
OCCUPANCY CATEGORY: R-3/U
CONSTRUCTION TYPE: V-B
APN: 8359-018-023
TOTAL LOT AREA: 21,330 SQ.FT.
YEAR BUILT: 1947
ZONE: RND1-H
LEGAL DESCRIPTION: TRACT # 10650 LOT 22 AND THAT PART S OF A LINE PARALLEL WITH AND DIST S AT R/A 20 FT FROM N LINE OF LOT 21 BLK R

HISTORIC DISTRICT: HACIENDA PARK HISTORIC DISTRICT
ARCHITECTURAL STYLE: MINIMAL TRADITIONAL

SCOPE OF WORK

(N) ADU 1200 SQ.FT.
(N) GARAGE 450 SQ.FT.
(N) 4" H.T. CMU WALL ON SITE SOUTH, APPROX. 7'7"X3'2"X6'0"=16'9" LINEAR FT.

AREA TABULATION

EXISTING BUILDING	STORIES: 1
SINGLE FAMILY DWELLING	1941 SQ.FT.
PORCH	20 SQ.FT.
PATIO	258 SQ.FT.
GARAGE	622 SQ.FT.

TOTAL (E) FLOOR AREA TO REMAIN 2841 SQ.FT.

PROPOSED BUILDING	STORIES: 1
(N) ADU	1200 SQ.FT.
(N) GARAGE	450 SQ.FT.

FLOOR AREA RATIO / HABITABLE SPACE

(E) SINGLE FAMILY DWELLING	1941 SQ.FT.
(P) ACCESSORY DWELLING UNIT	1200 SQ.FT.

TOTAL (N) HABITABLE SPACE 3141 SQ.FT.

FAR 14.7000%

FLOOR AREA RATIO/ TOTAL BUILDING AREA

TOTAL BUILDING FOOT PRINT	4491 SQ.FT.
LOT AREA	21330 SQ.FT.
LOT COVERAGE	21.0500%

LANDSCAPE CALCULATIONS:
ENTIRE PROPERTY:
(1635+633+183+16+1478+2588+876+59+246+293)/21,330x100 = 37.54%

IMPERVIOUS COVERAGE:
REQUIREMENT MAX : 75%
PROVIDE : (432+4338+1360)/21,330=28.74%

SPRINKLERS FOR SFD: NO EXISTING SPRINKLERS
SPRINKLERS FOR ADU: NOT REQUIRED U.N.O
VERY HIGH FIRE HAZARD SEVERITY ZONE: NO
SOLAR PV SYSTEM: UNDER SEPARATE PERMIT

SHEET INDEX

- C-1 COVER SHEET
- A-1 EXISTING SITE PLAN
- A-1.1 PROPOSED SITE PLAN
- A-2 FLOOR / ROOF PLANS
- A-3 ELEVATIONS/ SCHEDULES
- A-3.1 CUT SHEET

APPLICABLE CODES

THE PROJECT SHALL COMPLY WITH ANY AND ALL REQUIREMENTS OF THE LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION INCLUDING THE FOLLOWING.

- 2022 CALIFORNIA BUILDING CODE (CBC)
- 2022 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2022 CALIFORNIA MECHANICAL CODE (CMC)
- 2022 CALIFORNIA ELECTRICAL CODE (CEC)
- 2022 CALIFORNIA PLUMBING CODE (CPC)
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBS)
- 2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS (CEES)
- 2022 CALIFORNIA FIRE CODE(CFC)
- POMONA CITY CODE

- APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITHIN 180 DAYS FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE.
- EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED COMMENCES WITHIN 180 DAYS AFTER ITS ISSUANCE OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS. A SUCCESSFUL INSPECTION MUST BE OBTAINED WITHIN 180 DAYS.

VICINITY MAP



PROJECT LOCATION
NEAREST BUS STOP: 0.3 MILES

CONSULTANTS

ENERGY ENGINEER:
TITLE 24 GUYS
GILBERTO CARRILLO
10964 MEMORY PARK AVE
MISSION HILLS, CA, 91345
TEL: 818-850-3385
EMAIL: GILBERTO@TITLE24GUYS.COM

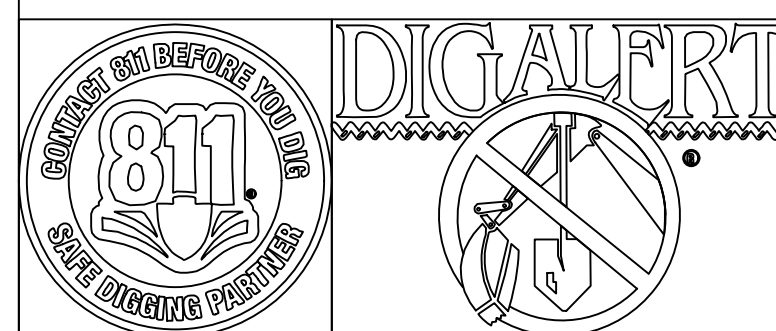
STRUCTURAL ENGINEER:
JOSE RAMIREZ.PE
5164 N RATON CIR, LONG BEACH, CA 90807
EMAIL: JOSE@RAMIREZSTRUCTURAL.COM

REFERENCE SYMBOLS

- 4:12 ROOF PITCH REFERENCE
- ⊙ DETAIL REFERENCE NUMBER SHEET NUMBER
- ⊙ SECTION REFERENCE SHEET NUMBER
- ⊗ DOOR REFERENCE
- ⊗ WINDOW REFERENCE

AREA FOR APPROVAL STAMPS

NO FIRE SPRINKLERS REQUIRED



4			
3			
2	PC CORRECTION	02/13/2025	
1	PC CORRECTION	10/30/2024	

DESIGNER:
CASSIE HUA
TEL: (626)505-6888

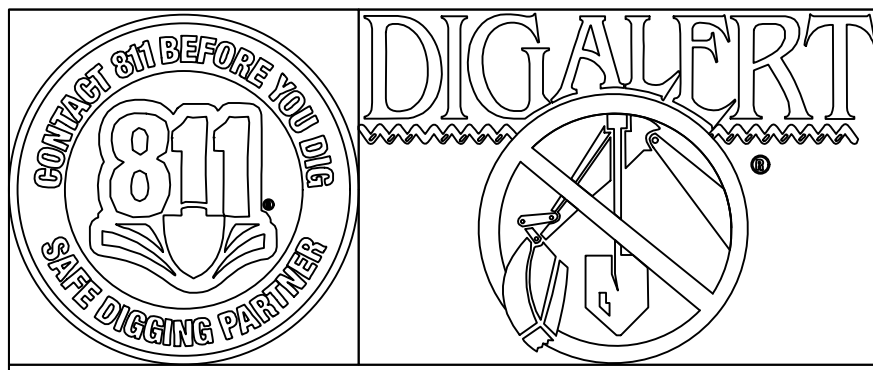
Drawing title

COVER SHEET

Date: 02-25-2025	Drawing no.
Scale: NOTED	
CSR:--	
Drawn by: HD	C-1
Checked by: JJ	

File name: 250225-1515 GANESHA PL, POMONA

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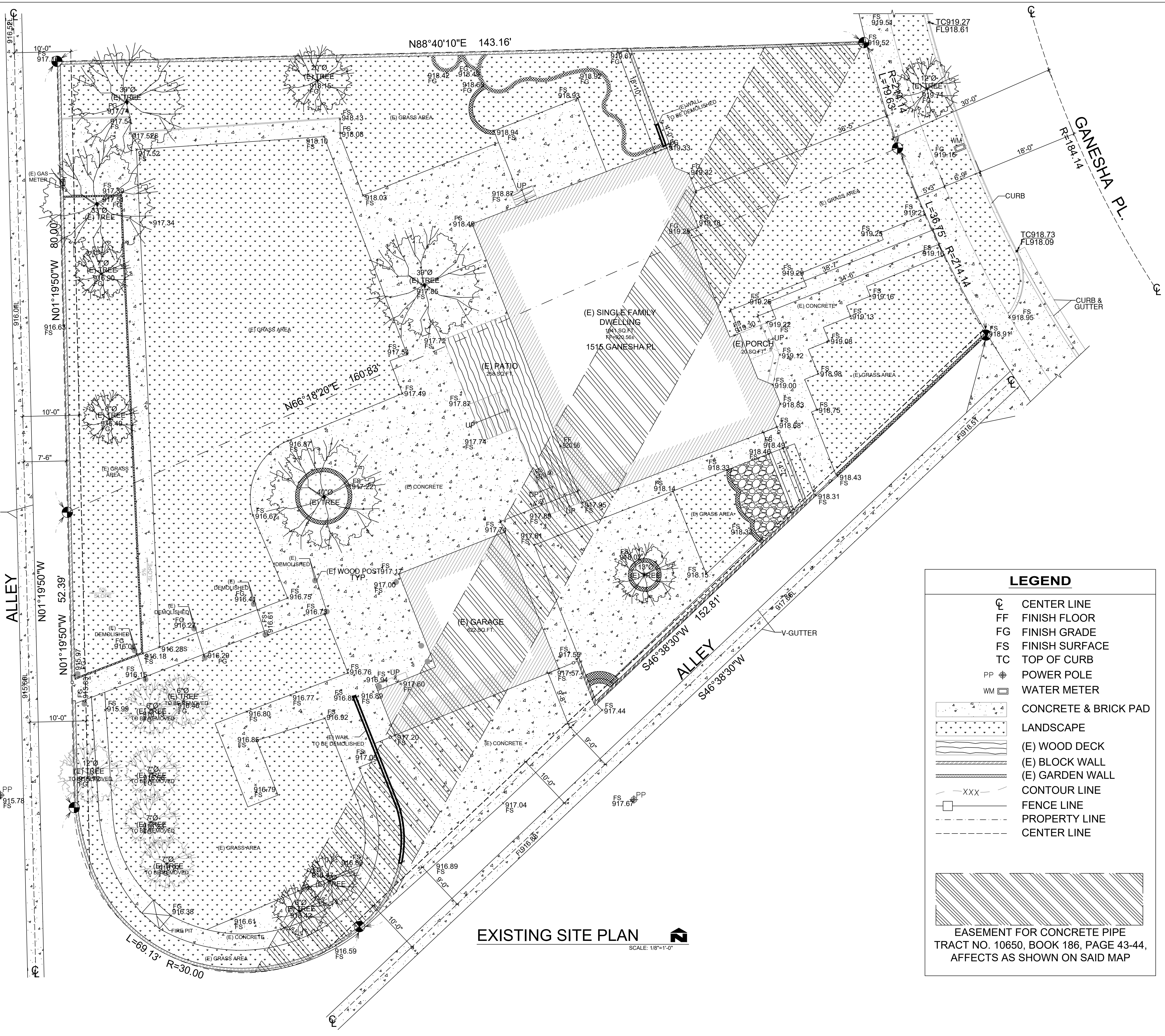
Low Impact Development Standards Manual

3.2 Stormwater Management Requirements for Small-Scale Non-Designated Projects

Residential development and redevelopment of four units or less are required to implement at least two of the following simple BMPs into the site design:

- Porous pavement: Install porous pavement to allow stormwater runoff to infiltrate through it. Porous pavement includes, but is not limited to, porous asphalt, porous concrete, ungrouted paving blocks, and gravel. At least 50 percent of the pavement at the site must be porous.
- Downspout routing: Each roof downspout must be directed to one of the following simple BMPs, which must have a total capacity of at least 200 gallons:
 - Rain barrel/cistern: Stored stormwater runoff can be used for irrigation or other non-potable uses as permitted under the Los Angeles County Building/Plumbing Code.
 - Rain garden/planter box: Stormwater runoff can be retained or treated by these stormwater quality control measures.
- Disconnect impervious surfaces: Slope driveways and other impervious surfaces to drain toward pervious surfaces. If possible, stormwater runoff should be directed toward vegetated areas or stormwater quality control measures. One-third of the lot must be pervious areas such as landscaping, gravel, or porous pavement. Limit the total area not directed toward vegetated areas or stormwater quality control measures to 10 percent or less of the area of the site.
- Dry well: Install a dry well to infiltrate stormwater runoff. The dry well must be sized to contain and infiltrate at least 200 gallons of stormwater runoff in a 24-hour period.
- Landscaping and landscape irrigation: Plant trees near impervious surfaces to intercept precipitation in their leaves. Trees planted adjacent to impervious surfaces can intercept water that would otherwise become stormwater runoff. A minimum of two 15-gallon trees must be planted at a maximum of 10 feet from impervious surfaces. Install irrigation systems that utilize a weather-based smart irrigation controller to minimize water usage and reduce dry weather urban runoff.
- Green roof: Install a green roof to retain and treat stormwater runoff on the rooftop. A green roof must cover at least 50 percent of the total rooftop area.

The project applicant is required to submit a geotechnical report, prepared by a geotechnical engineer, when proposing use of porous pavement or dry wells.



LEGEND

- CL CENTER LINE
- FF FINISH FLOOR
- FG FINISH GRADE
- FS FINISH SURFACE
- TC TOP OF CURB
- PP POWER POLE
- WM WATER METER
- CONCRETE & BRICK PAD
- LANDSCAPE
- (E) WOOD DECK
- (E) BLOCK WALL
- (E) GARDEN WALL
- CONTOUR LINE
- FENCE LINE
- PROPERTY LINE
- CENTER LINE

EASEMENT FOR CONCRETE PIPE TRACT NO. 10650, BOOK 186, PAGE 43-44, AFFECTS AS SHOWN ON SAID MAP

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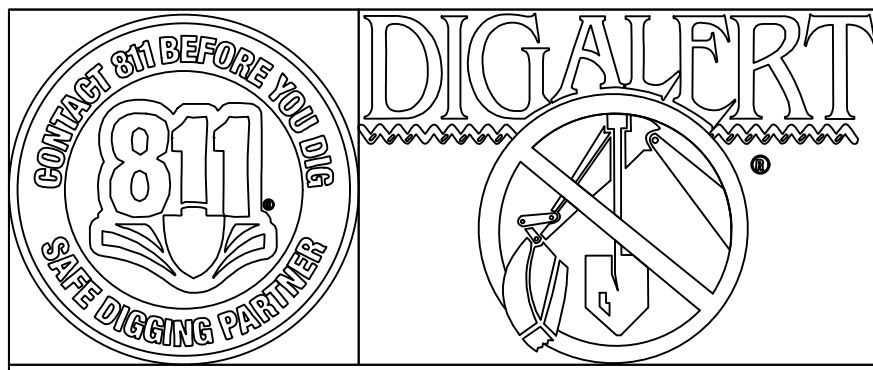
4			
3			
2	PC CORRECTION	10/30/2025	
1	PC CORRECTION	10/30/2024	
No.	Revisions	Date	OK

DESIGNER:
 CASSIE HUA
 TEL: (626)505-6888

Drawing title
 EXISTING SITE PLAN

Date: 02-25-2025	Drawing no.
Scale: NOTED	
CSR:--	
Drawn by: HD	A-1
Checked by: JJ	

File name: 250225-1515 GANESHA PL., POMONA
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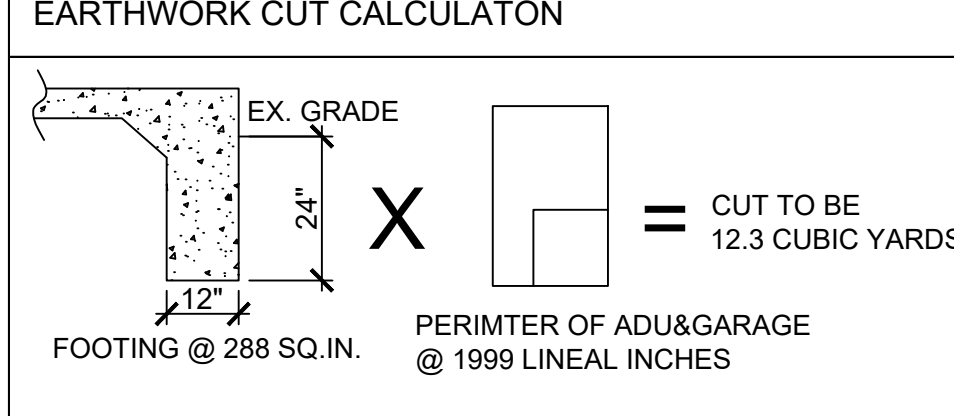
NOTE (FOR GENERAL INFORMATION AND FUTURE USE): IN ACCORDANCE WITH THE CITY OF POMONA GENERAL PLAN ALL PUBLIC ALLEY ROADWAYS SHALL BE 20 FEET WIDE. SINCE THE HALF-WIDTH OF THE EXISTING PUBLIC ALLEY HERE IS 7.5' WIDE, AN APPROXIMATELY 2.5' STRIP OF LAND ALONG THE PUBLIC ALLEY LOT FRONTAGE SHALL BE DEDICATED TO THE CITY OF POMONA FOR ROADWAY PURPOSES, IN CONJUNCTION WITH THE POTENTIAL FUTURE PROPERTY DEVELOPMENT.

GRADE MOVEMENT (IN CUBIC YARDS)

CUT:	= 12.3 CUBIC YARDS
FILL:	= 0 CUBIC YARDS
OVER EXCAVATION:	= 0 CUBIC YARDS

GRADE TO BE RE-USED ON-SITE

PERIMETER X FOOTING WIDTH X FOOTING HEIGHT = CUBIC INCHES
 1.999' X 12" X 24" = 575,712 CUBIC INCHES
 CUBIC INCHES CONVERT TO CUBIC YARDS
 575,712 CUBIC INCHES = 12.3 CUBIC YARDS



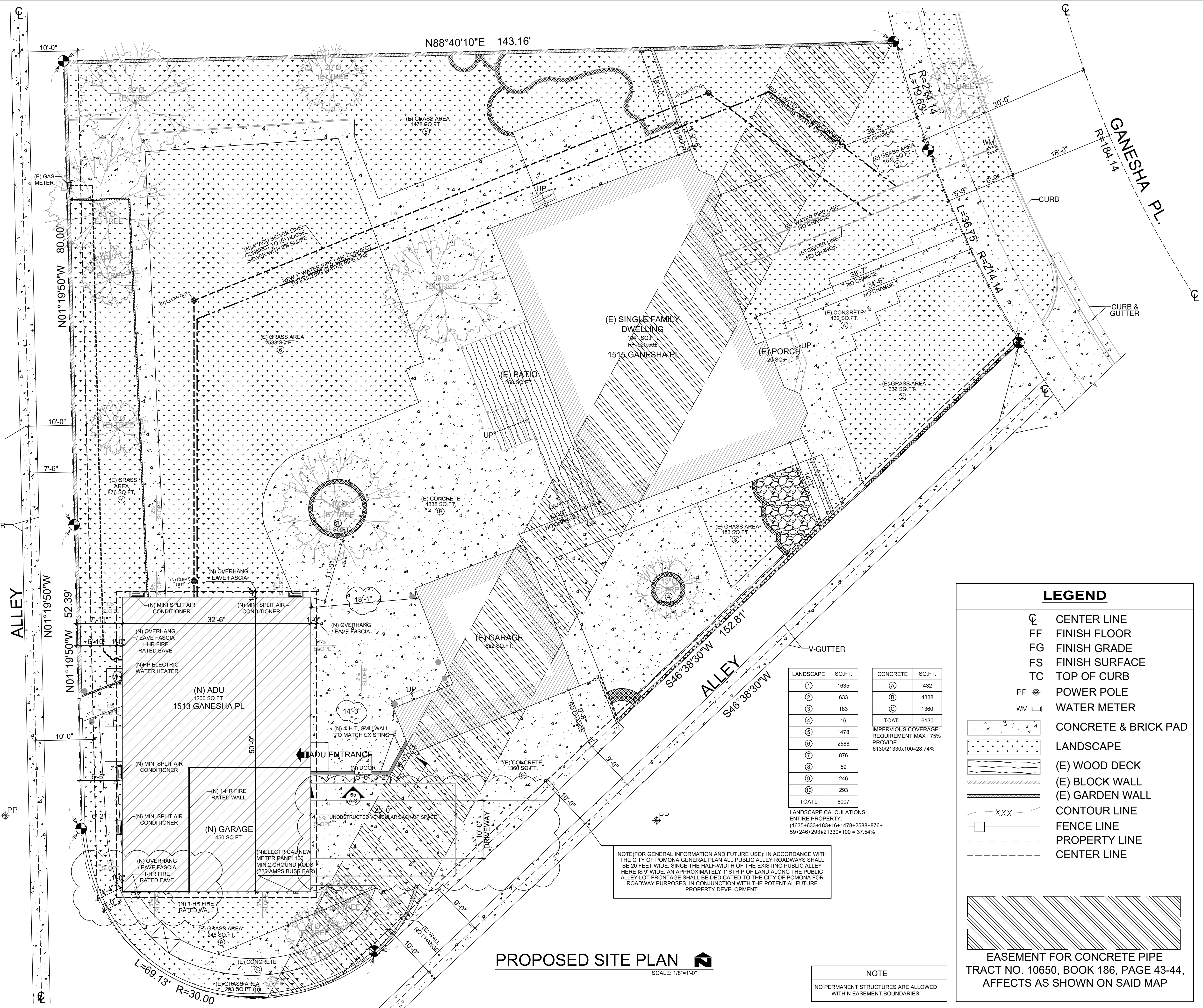
NOTE AND COMPLY: UNDER GROUNDING OF ALL EXISTING AND PROPOSED UTILITY LINES IS REQUIRED AS PER CITY OF POMONA MUNICIPAL CODE SECTION 62-31(B)(1).

THE PARKWAY LANDSCAPING SHALL BE MAINTAINED BY THE PROPERTY OWNER PER CITY OF POMONA MUNICIPAL CODE SECTION 46-496.

THE PROPERTY ABUTTING SIDEWALK, PARKWAY AND ALLEY, AS APPLICABLE, SHALL BE MAINTAINED FREE OF WEEDS, RUBBISH AND REFUSE BY THE PROPERTY OWNER, AS REQUIRED BY THE CITY'S MUNICIPAL CODE SECTION 18-261.

NOTE: NO SHEET FLOW OVER THE DRIVEWAY APPROACH IS ALLOWED. THE RAIN WATER SHALL BE CAPTURED VIA CATCH BASINS/TRENCH DRAINS AND DIRECTED TO THE STREET GUTTER VIA PARWAY DRAINS/CULVERTS CONSTRUCTED UNDER THE SIDEWALK, PER CITY STANDARDS A-29-10/A-30-10

NOTE: IT IS THE OWNER'S AND THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ALL DAMAGE TO THE EXISTING PUBLIC IMPROVEMENTS DUE TO THE PROPOSED CONSTRUCTION ACTIVITIES AND TO ADDRESS ALL REPAIRS REQUESTED BY THE PUBLIC WORKS INSPECTOR BASED ON THE INSPECTOR'S REVIEW OF THE CURRENT CONDITION OF THE SAID PUBLIC IMPROVEMENTS.



PROPOSED SITE PLAN

SCALE: 1/8"=1'-0"

LANDSCAPE	SQ. FT.	CONCRETE	SQ. FT.
①	1635	(A)	432
②	633	(B)	4338
③	183	(C)	1360
④	16		
⑤	1478	TOATL	6130
⑥	2588		
⑦	876		
⑧	59		
⑨	246		
⑩	293		
TOATL	8007		

IMPERVIOUS COVERAGE REQUIREMENT MAX.: 75% PROVIDE: 6130/21330x100=28.74%

LANDSCAPE CALCULATIONS: ENTIRE PROPERTY: (1635+633+183+16+1478+2588+876+59+246+293)/21330x100 = 37.54%

NOTE: NO PERMANENT STRUCTURES ARE ALLOWED WITHIN EASEMENT BOUNDARIES.

LEGEND

- CL CENTER LINE
- FF FINISH FLOOR
- FG FINISH GRADE
- FS FINISH SURFACE
- TC TOP OF CURB
- PP POWER POLE
- WM WATER METER
- CONCRETE & BRICK PAD
- LANDSCAPE
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ALL CONSTRUCTION ARCHITECTURAL DESIGN SERVICES
 1841 S. SAN GABRIEL BLVD., SUITE D
 SAN GABRIEL, CA, 91776
 TEL: (626)505-6888

ALIGCUS ARCHITECTURAL CONSTRUCTION

DESIGNER: CASSIE HUA
 TEL: (626)505-6888

Drawing title: PROPOSED SITE PLAN

Date: 02-25-2025 Drawing no. A-1.1

Scale: NOTED

CSR: --

Drawn by: HD

Checked by: JJ

File name: 250225-1515 GANESHA PL, POMONA

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LEGEND	
	(N) HP ELECTRIC WATER HEATER MODEL: XE50T10HS45U0(50GAL) SPECS: H62IN, W22.25IN, D22.25IN (30 IN. GALVANIZED STEEL WATER HEATER ENCLOSURE AND A 30" DETAIL LIFTING THE WATER TANK UP)
	(N) MINI SPLIT AIR CONDITIONER
	(N) AIR-CONDITIONING (INDOOR)
	"ENERGY STAR" EXHAUST FAN - 50 CFM MIN. VENTED TO OUTSIDE AIR WITH HUMIDITY CONTROL REQUIRED WITH SEPARATE SWITCH

THE BEDROOM SHALL HAVE AN EMERGENCY EGRESS WINDOW THAT MEETS THE FOLLOWING REQUIREMENTS:
1. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET
2. MIN HORIZ OPENING 20"
3. MIN VERTICAL OPENING 24"
4. SILL IS NO MORE THAN 44" FROM FINISHED FLOOR.

SAFETY GLAZING = TEMPERED GLAZING

THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED

WALL LEGEND	
	(N) STUD WALL
	(N) 1-HR FIRE RATED WALL

GENERAL NOTES

SMOKE ALARMS SHALL BE HARDWIRED WITH BATTERY BACKUP AND INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OTHER ALARMS IN THE DWELLING UNIT. RETROFIT ALARMS MAY BE BATTERY OPERATED IN ROOMS WHERE ALTERATIONS/REPAIRS DO NOT RESULT IN THE REMOVAL OF WALLS OR CEILING FINISHES.

CARBON MONOXIDE ALARMS SHALL BE HARDWIRED WITH BATTERY BACKUP AND INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OTHER ALARMS IN THE DWELLING UNIT. RETROFIT ALARMS MAY BE BATTERY OPERATED IN ROOMS WHERE ALTERATIONS/REPAIRS DO NOT RESULT IN THE REMOVAL OF WALLS OR CEILING FINISHES.

BUILDING IDENTIFICATION: BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY CRC.R319.1.

WALL COVERINGS IN SHOWERS AND TUBS WITH SHOWERHEADS SHALL BE CEMENT PLASTER, TILE, OR EQUAL TO 6-FEET (72") ABOVE DRAIN. ENCLOSURES MUST BE APPROVED SAFETY GLAZING AND DOORS (22" MIN. WIDTH) MUST SWING OUT OF SHOWERS. WINDOWS IN ENCLOSURE WALLS SHALL BE LABELED SAFETY GLAZING WHEN LESS THAN 60" ABOVE THE DRAIN.

LOW IMPACT DEVELOPMENT (LID): COMPLIANCE WITH LOW IMPACT DEVELOPMENT (LID) STANDARDS TO MITIGATE STORMWATER RUN-OFFS IS REQUIRED. INSTALL THE LID BEST MANAGEMENT PRACTICES (LID-BMP) AS SPECIFIED ON THE PLANS AND SCHEDULE FINAL INSPECTION WITH THE CITY ENGINEERING DIVISION AT (626)813-5255. FINAL INSPECTION APPROVAL AND CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE APPROVED LID-BMP'S ARE INSTALLED AND APPROVED.

ADDITIONAL PERMITS: CONTRACTORS/SUBCONTRACTORS SHALL SUBMIT SEPARATE APPLICATION(S) AND SECURE SEPARATE PERMIT(S) FOR:
A. ELECTRICAL WORK
B. MECHANICAL WORK
C. PLUMBING WORK

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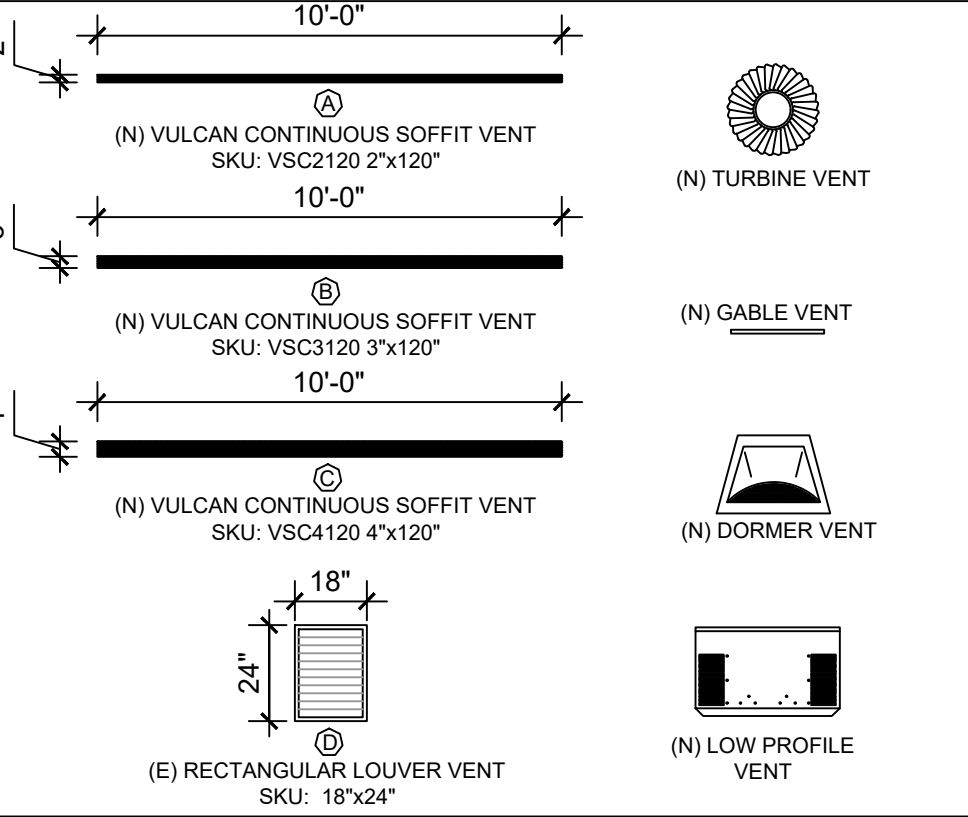
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ATTIC VENTILATION CALCULATION
SQ.FT. x 300 x 144 = SQ.IN.

AREA	AREA #1	AREA #2	AREA #3	AREA #4
FLOOR AREA (UNIT: SQ.FT.)	1200	450		
CALCULATED REQUIRED NET FREE VENTING AREA (UNIT: SQ.IN.)	576	216		

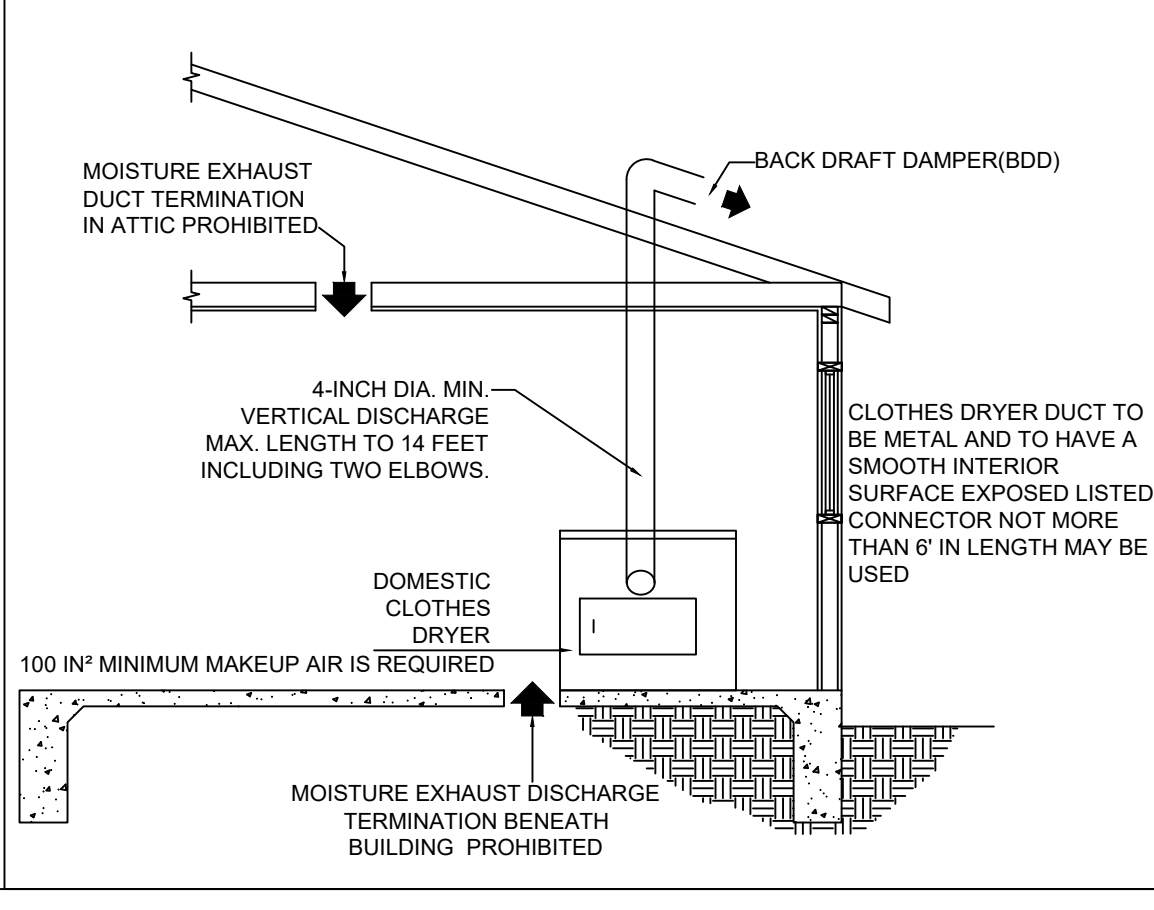
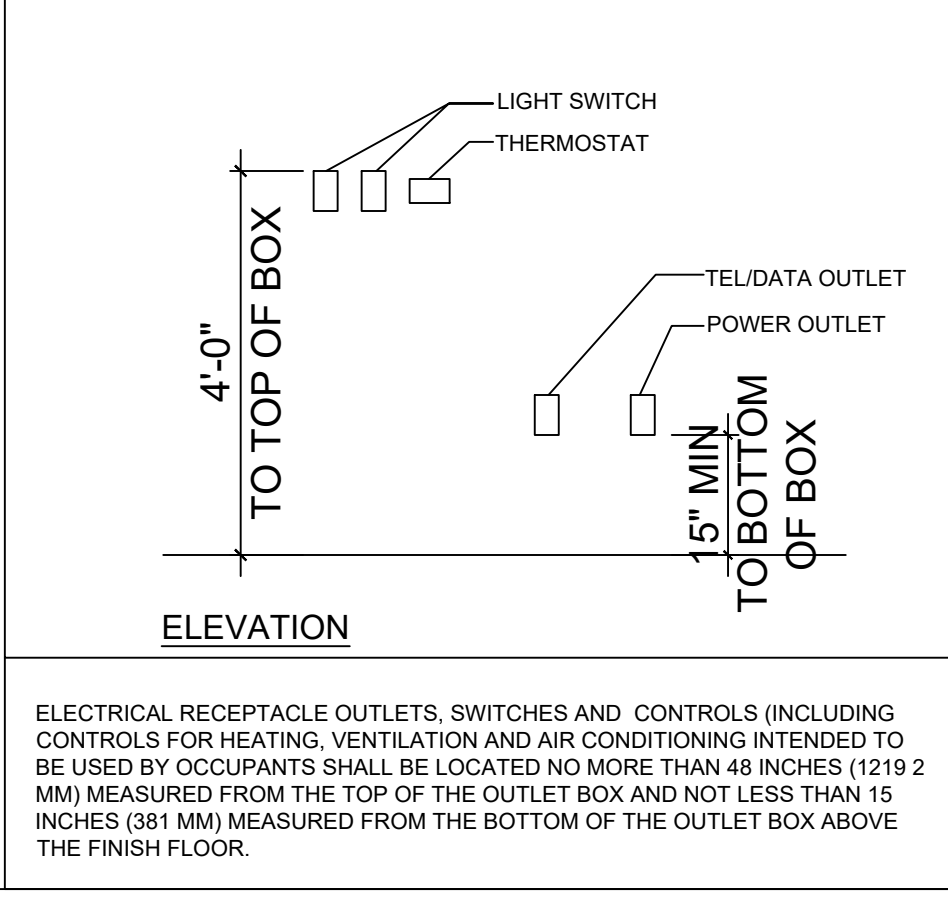
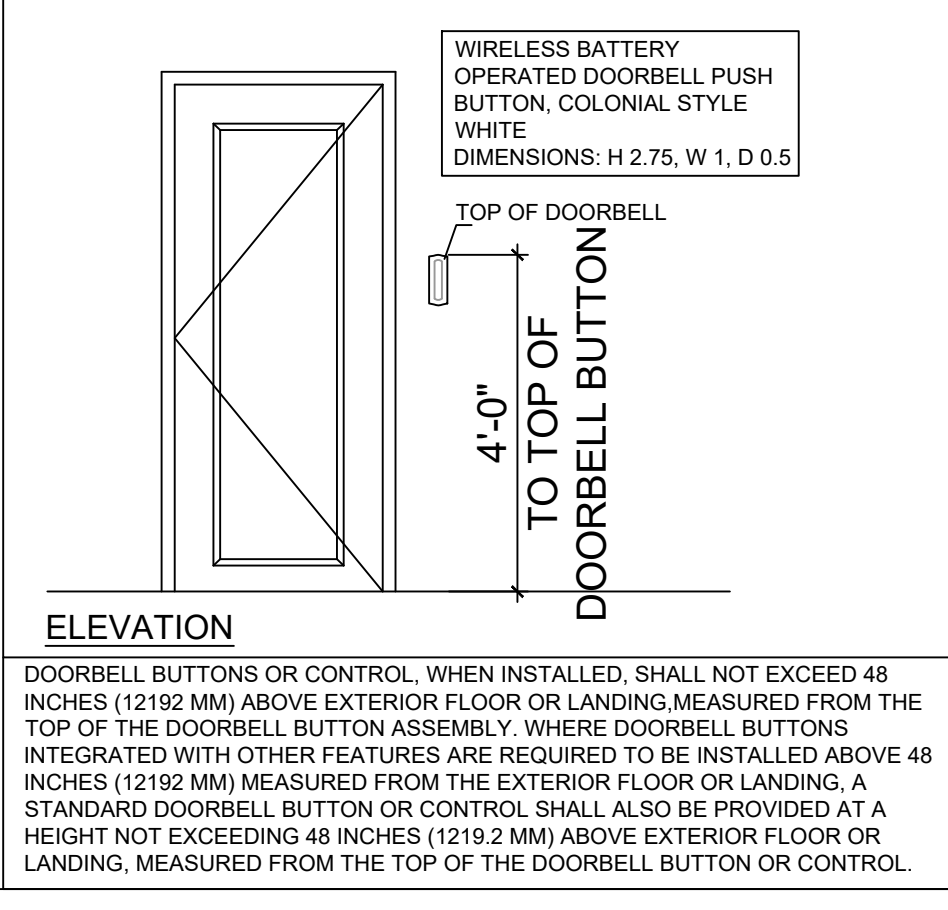
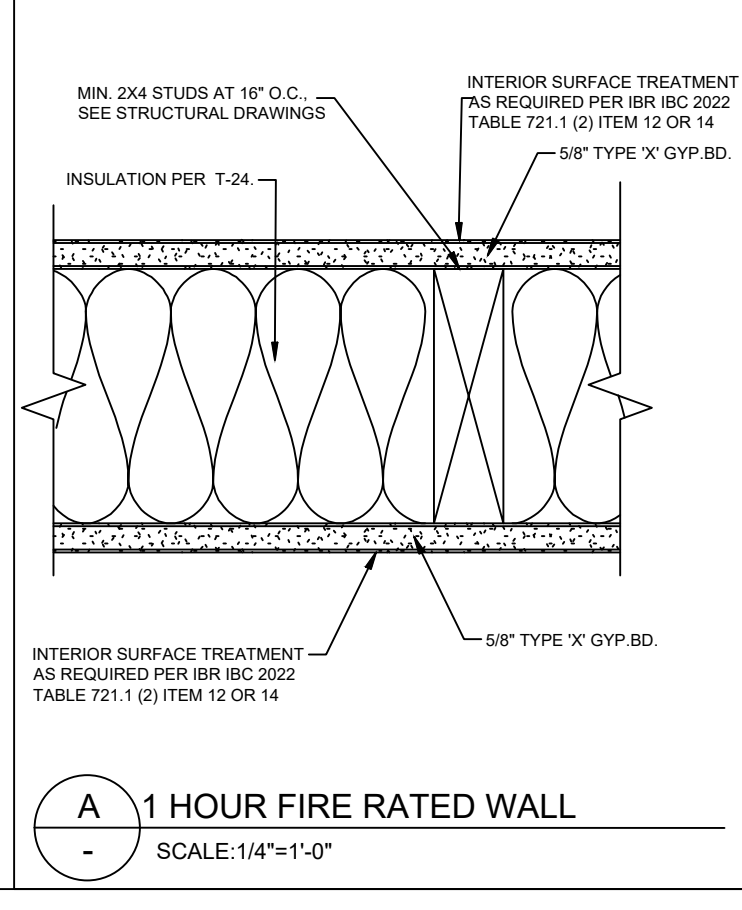
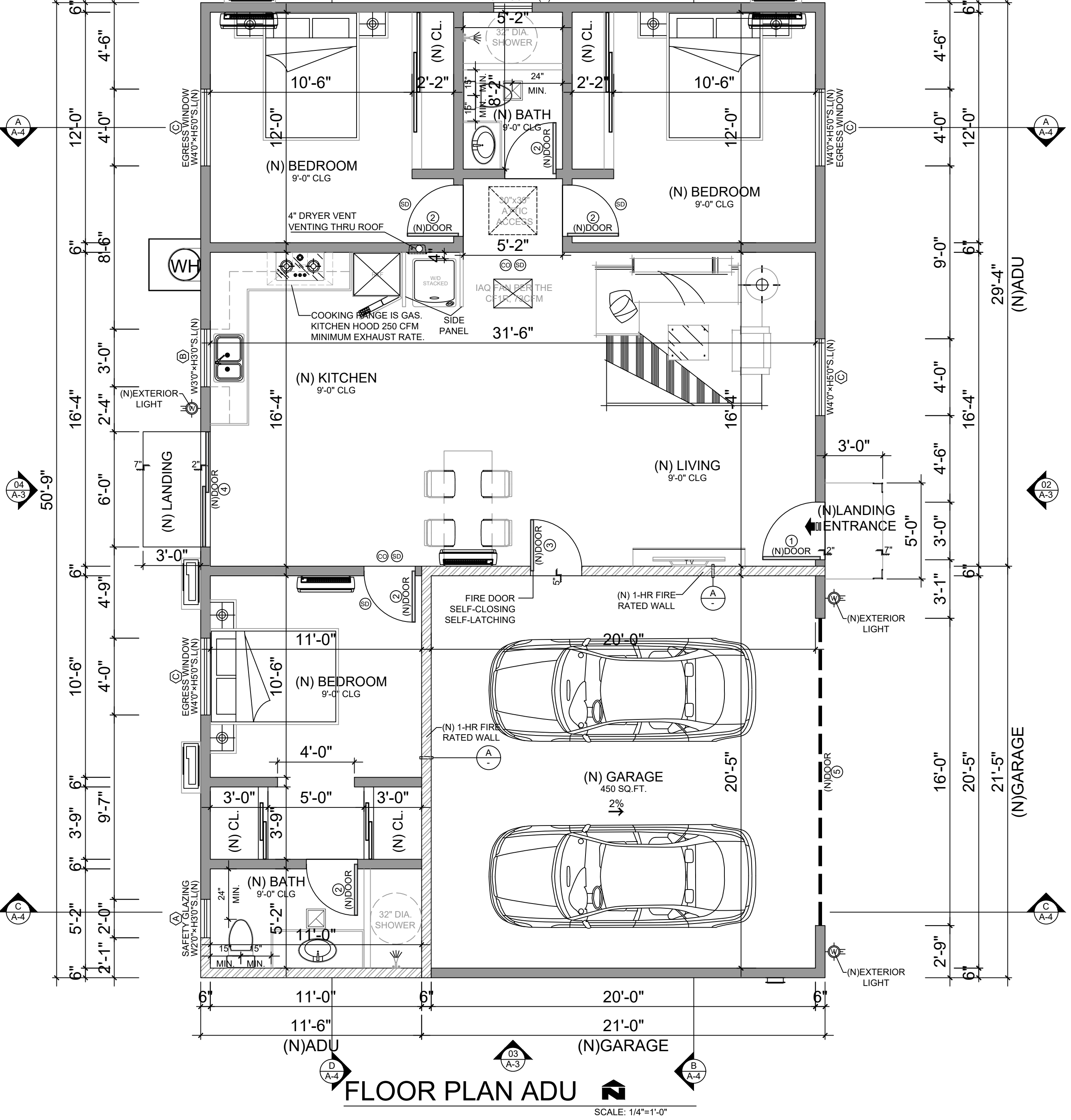
NET FREE VENTING AREA CALCULATION

INTAKE NFVA (50% OF REQ. VENTILATION)

EAWE VENTS (48 SQ.IN. / VENT)	CONTINUOUS SOFFIT VENT (96 SQ.IN. / VENT)	CONTINUOUS SOFFIT VENT (144 SQ.IN. / VENT)	CONTINUOUS SOFFIT VENT (192 SQ.IN. / VENT)	RECTANGULAR LOUVER VENT (140 SQ.IN. / VENT)
	2			
TOTAL NFVA PROVIDED	428	140		

EXHAUST NFVA (50% OF REQ. VENTILATION)

TURBINE VENTS 14" (132 SQ.IN. / VENT)	DORMER VENTS (100 SQ.IN. / VENT)	TURBINE VENTS 12" (96 SQ.IN. / VENT)	CHAGIN LOW PROFILE VENT (72 SQ.IN. / VENT)	STATIC ROOF VENTS (60 SQ.IN. / VENT)
		5	2	
TOTAL NFVA PROVIDED		360	144	
TOTAL ATTIC VENTS		8	3	



NOTE: AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH REINFORCEMENT INSTALLED IN ACCORDANCE WITH THIS SECTION.

- REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.
- REINFORCEMENT SHALL NOT BE LESS THAN 2 BY 8 INCH (51 MM BY 203 MM) NOMINAL LUMBER. [1 1/2 INCH BY 7 1/4 INCH (38 MM BY 184 MM) ACTUAL DIMENSION] OR OTHER CONSTRUCTION MATERIAL PROVIDING EQUAL HEIGHT AND LOAD CAPACITY. REINFORCEMENT SHALL BE LOCATED BETWEEN 32 INCHES (812.8 MM) AND 39 1/4 INCHES (997 MM) ABOVE THE FINISHED FLOOR FLUSH WITH THE WALL FRAMING.
- WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE, OR ONE SIDE WALL AND THE BACK WALL.
- SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.
- BATHTUB AND COMBINATION BATHTUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHTUB AND THE BACK WALL. ADDITIONALLY, BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 6 INCHES (152.4 MM) ABOVE THE BATHTUB RIM.

SPECIFIC NOTES

- SEPARATE SUBMITTAL FOR PV SYSTEM SHALL BE SUBMITTED TO THE BUILDING DIVISION FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
- THE SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE COMPLIANT WITH CRC R314 AND R315
- A MIN OF 1" OF SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATING AND AT THE LOCATION OF VENTS CRC R806.3.3

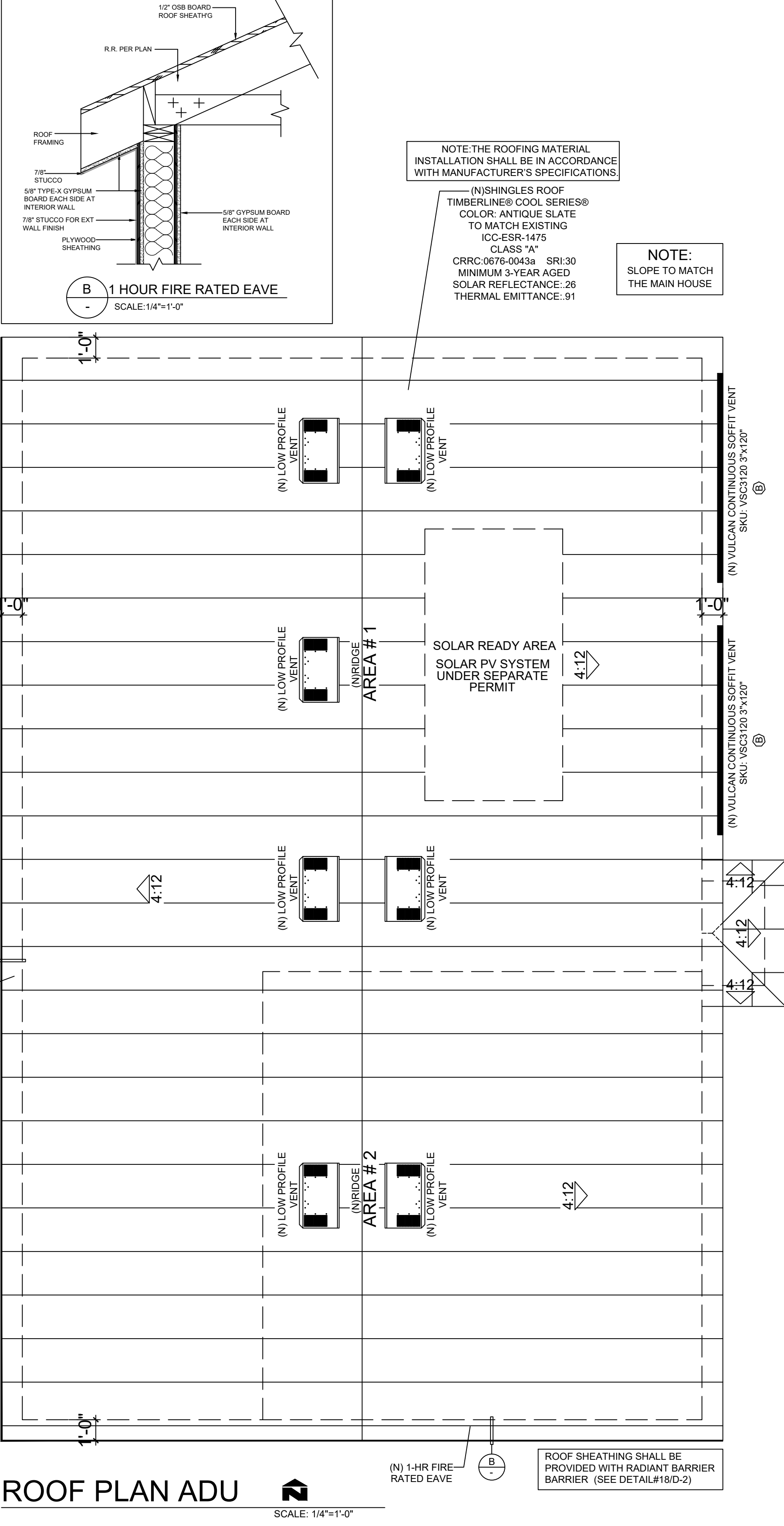
DESIGNER: CASSIE HUA
TEL: (626)505-6888

Drawing title: FLOOR / ROOF PLANS

Date: 02-25-2025
Scale: NOTED
CSR: --
Drawn by: HD
Checked by: JJ

File name: 250225-1515 GANESHA PL., POMONA

ALIGCUS



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SAN GABRIEL, CA, 91776
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ALIGCUS
ARCHITECTURAL CONSTRUCTION

Location
1513 GANESHA PL., POMONA, CA 91768

NOTES:
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2. THE CONTRACTOR MUST CHECK AND VERIFY ALL DETAILS AND DIMENSIONS OF THE JOB AND BE DISCREPANCIES TO ALL CONSTRUCTION BEFORE COMMENCING WORK.
3. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

4
3
2 PC CORRECTION/A 02/13/2025
1 PC CORRECTION/A 10/30/2024
No. Revisions Date CK

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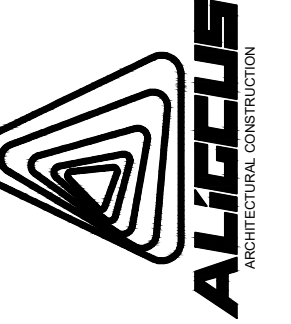
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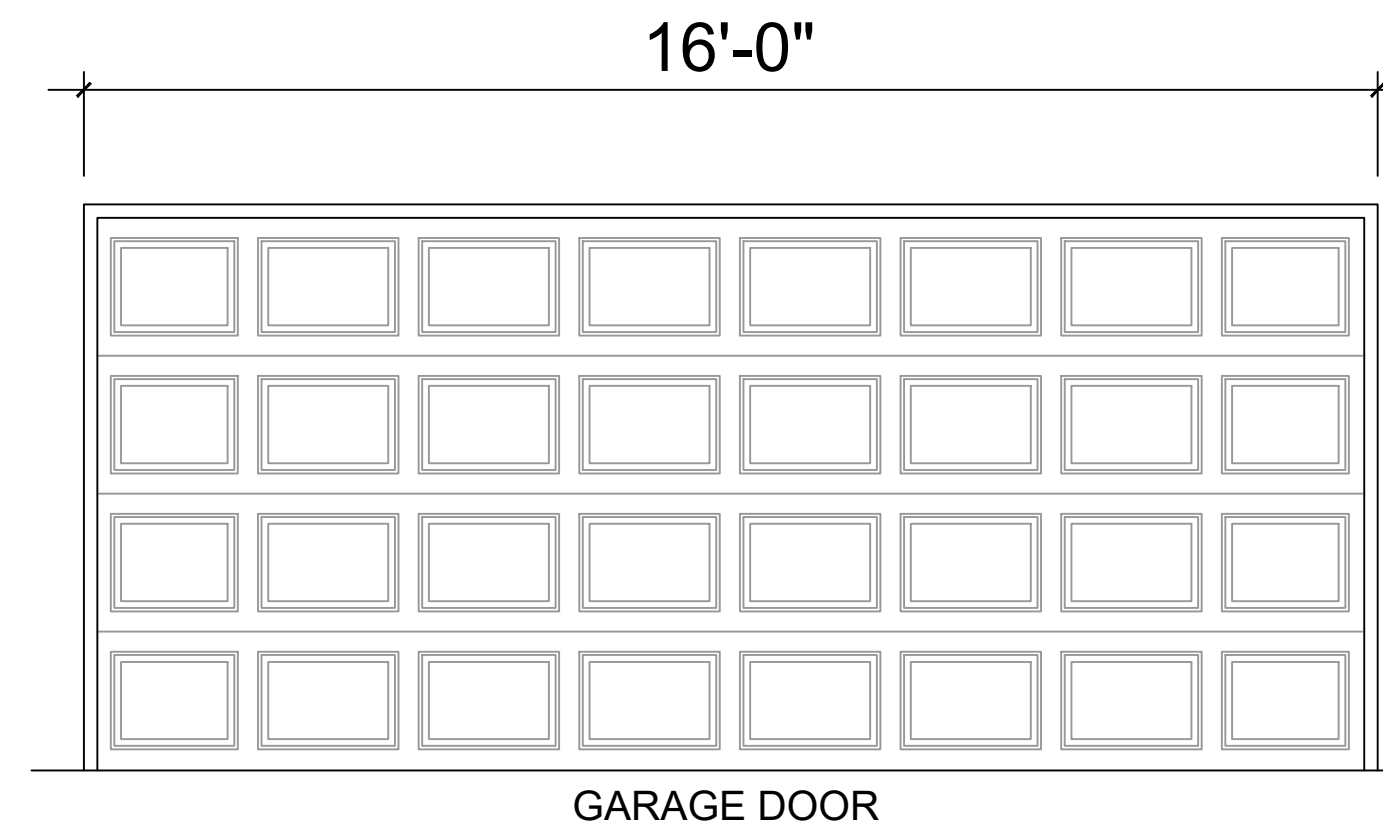
COLOR AND MATERIAL SAMPLE BOARD

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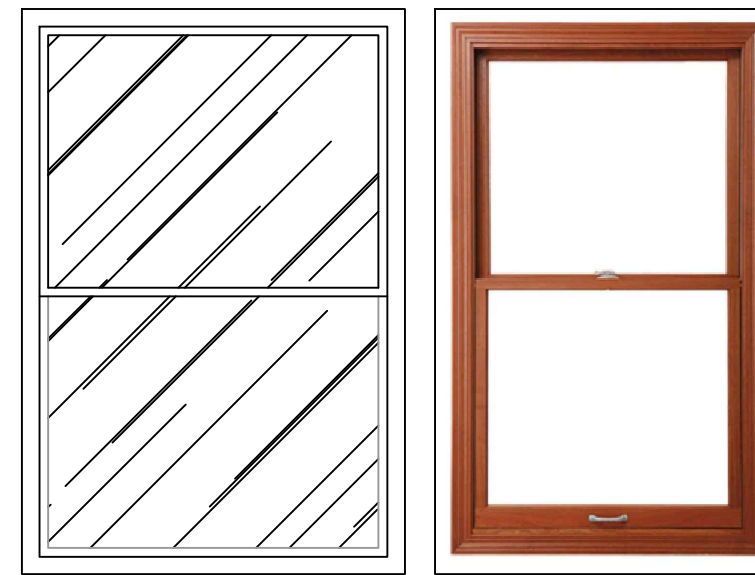


GARAGE DOOR



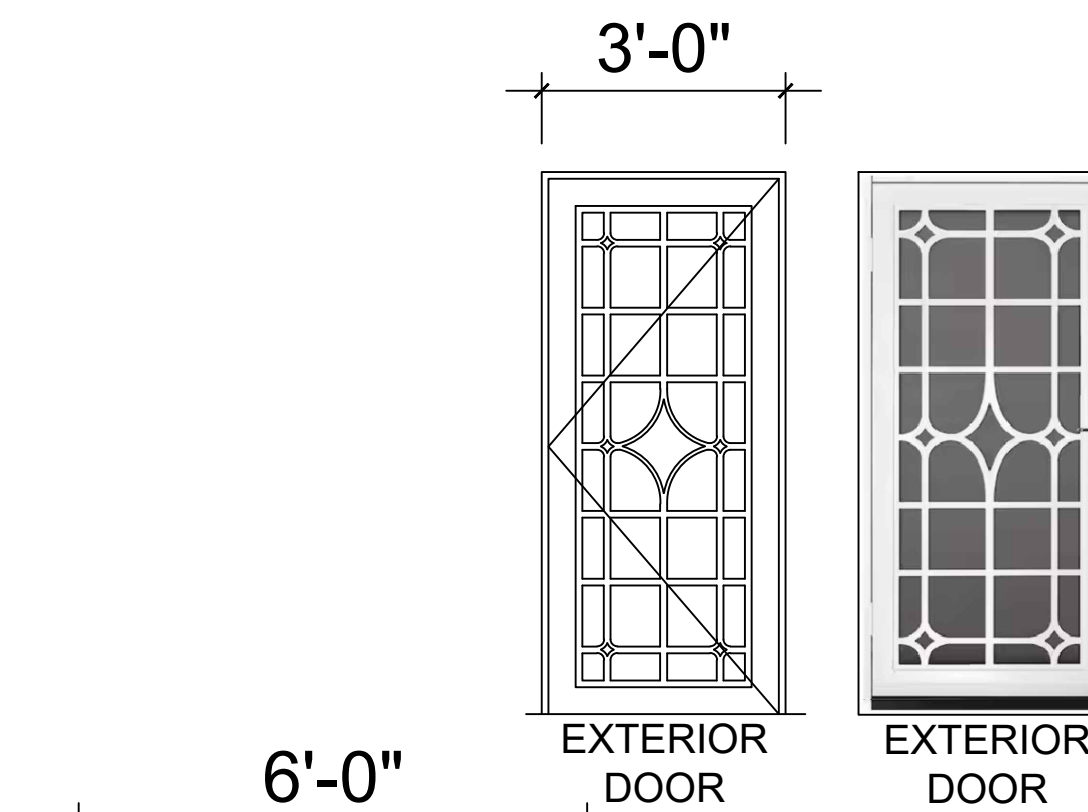
GARAGE DOOR

PRODUCT NUMBER	MANUFACTURER SPECIFICATIONS	CLOOR
MODEL # HDB_AL_SOL	CLOPAY CLASSIC STEEL SHORT PANEL 16 FT X 7 FT NON-INSULATED ALMOND GARAGE DOOR WITHOUT WINDOWS DIMENSIONS : H 84 IN,W 192 IN, D 2 IN	ALMOND



WINDOW

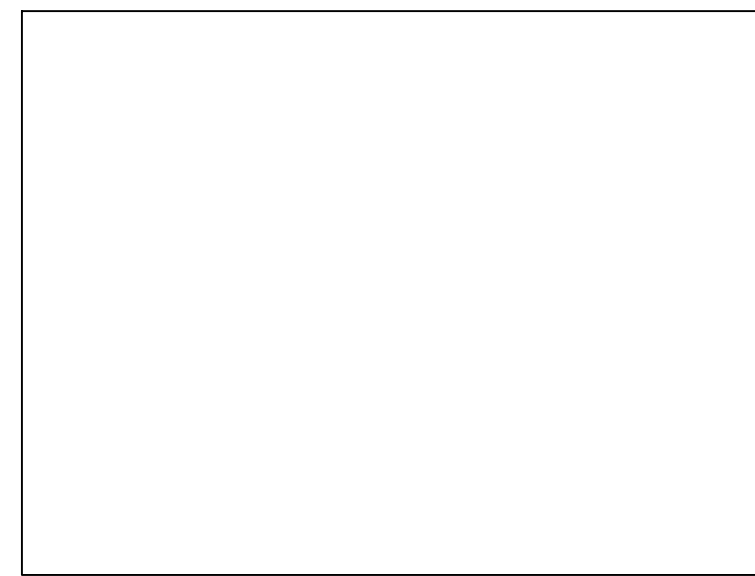
PRODUCT NUMBER	MANUFACTURER SPECIFICATIONS	CLOOR
CUSTOM WINDOWS	PELLA® RESERVE™ – TRADITIONAL WOOD SINGLE-HUNG WINDOW DIMENSIONS : AVAILABLE IN SIZES UP TO 48" X 96" (PLEASE REFER TO ELEVATIONS/SCHEDULES FOR SPECIFIC DIMENSIONS)	PINE (UNFINISHED WOOD)



EXTERIOR
DOOR

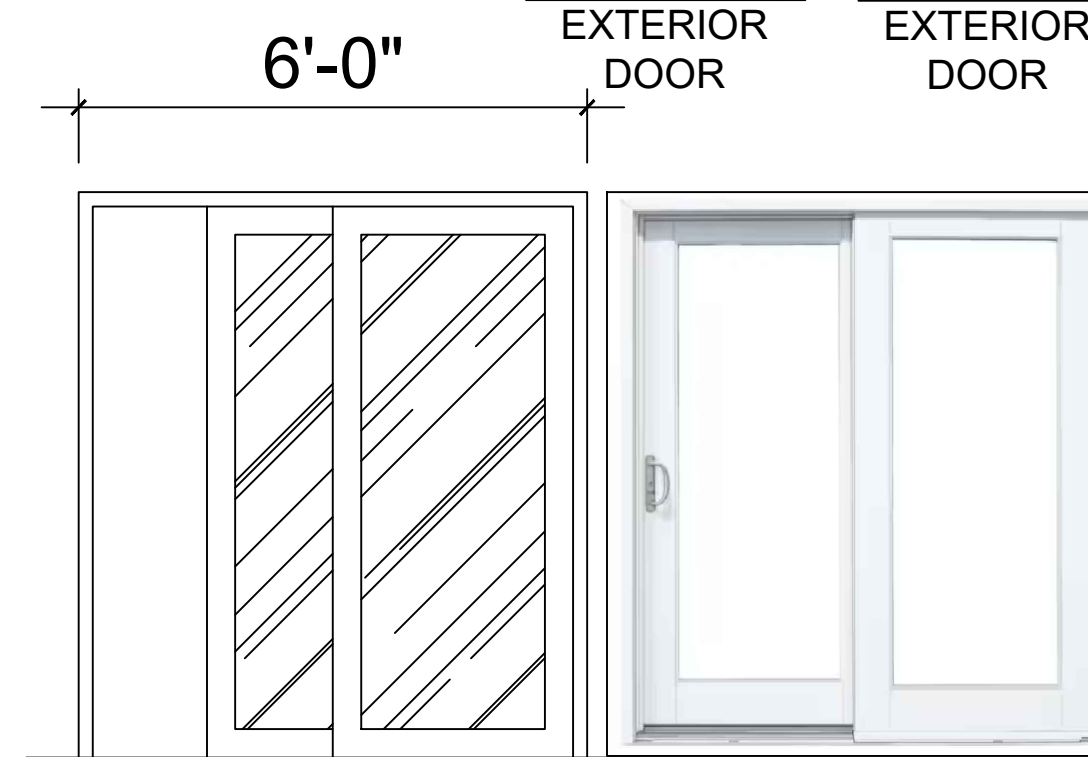
EXTERIOR
DOOR

PRODUCT NUMBER	MANUFACTURER SPECIFICATIONS	CLOOR
MODEL # IDR30000362130	UNIQUE HOME DESIGNS 36 IN. X 80 IN. LEXINGTON WHITE SURFACE MOUNT STEEL SECURITY DOOR WITH INSECT SCREEN AND NICKEL HARDWARE DIMENSIONS : H 80,W 36 IN, D 1 IN	WHITE



WINDOW PROTECTIVE FINISH

PRODUCT NUMBER	MANUFACTURER SPECIFICATIONS	CLOOR
DEW380 RL#005	DUNN-EDWARDS PAINTS	WARM WHITE



SIDING DOOR

SIDING DOOR

PRODUCT NUMBER	MANUFACTURER SPECIFICATIONS	CLOOR
MODEL # G60LDP50	MP DOORS 72 IN. X 80 IN. SMOOTH WHITE LEFT-HAND COMPOSITE PG50 SLIDING PATIO DOOR DIMENSIONS : H 80,W 72 IN, D 2 IN	WHITE

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No.	Revisions	Date	CK.
1	PC CORRECTION	10/30/2024	
2	PC CORRECTION	02/13/2025	
3			
4			

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CASSIE HUA
TEL: (626)505-6888

Drawing title
CUT SHEET

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Scale: NOTED
CSR:--
Drawn by: HD
Checked by: JJ

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A-3.1
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