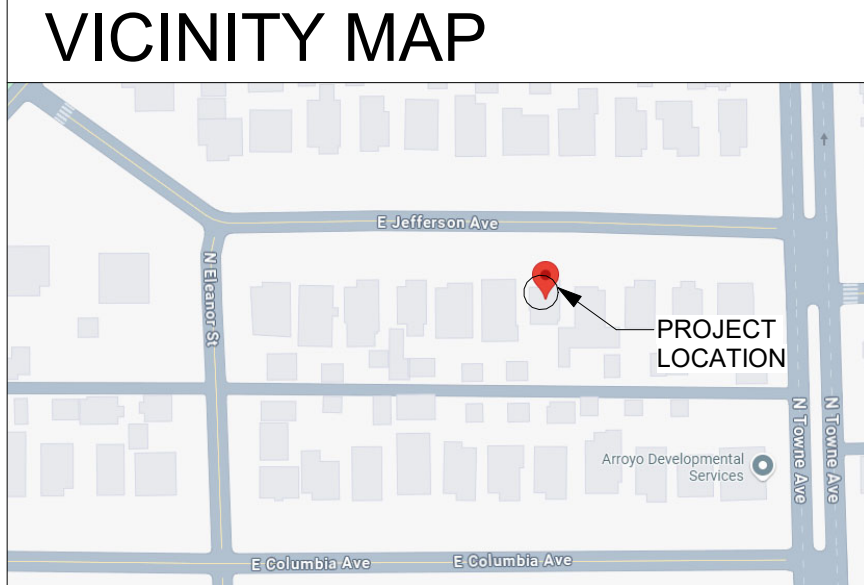


GENERAL NOTES		
DIVISION 1-GENERAL	DIVISION 5- METALS	DIVISION 11 - EQUIPMENT
1. ALL CONSTRUCTION, INCLUDING WORKMANSHIP AND MATERIALS, SHALL CONFORM TO THE REQUIREMENTS OF THE CURRENT EDITIONS OF NATIONAL, STATE AND LOCAL CODES, AND ANY OTHER WORK, INCLUDING THE "THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY" ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING GENERAL CONSTRUCTION, MECHANICAL, ELECTRICAL, PLUMBING OR RELATED WORK SHALL COMPLY WITH APPLICABLE SECTIONS OF THE CODES THAT HAVE JURISDICTION.	1. ALL OPENINGS IN EXTERIOR WALLS TO HAVE MINIMUM 24 GA. GALVANIZED SHEET METAL FLASHING OR OTHER APPROVED WEATHERPROOFING ALL AROUND.	1. CABINET WORK MANUFACTURER / CONTRACTOR SHALL VERIFY WITH GENERAL CONTRACTOR ALL APPLIANCES, ETC. THAT ARE INTEGRAL WITH THE CABINET WORK OR THAT DEPEND UPON PROPER CABINET WORK DESIGN TO INSURE THEIR NORMAL OPERATION. CABINET WORK MANUFACTURERS/ CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF APPLIANCES AND CABINET WORK WITH GENERAL CONTRACTOR PRIOR TO FABRICATION OR INSTALLATION TO INSURE THAT ALL ITEMS FIT PROPERLY AND MANUFACTURER/CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CHANGES REQUIRED IN THE CABINET WORK DESIGN PRIOR TO FABRICATION OR INSTALLATION OF CABINETS.
2. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT OR THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL WORK AND MATERIALS, INCLUDING THOSE FURNISHED BY SUBCONTRACTORS.	2. ALL VENTS THROUGH EXTERIOR WALLS TO HAVE A MAXIMUM 1/4" GALVANIZED HARDWARE CLOTH COVERING.	2. ELEMENTS OF APPLIANCES IN GARAGES WHICH CREATE A GLOW, SPARK OR FLAME WITHIN 18" OF GARAGE FLOOR SHALL BE LOCATED ON AN 18" HIGH (ABOVE GARAGE FINISH FLOOR) WOOD PLATFORM.
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION AND COORDINATION WITH OTHER TRADES AND THEIR WORK TO ENSURE COMPLIANCE OF DRAWINGS AND SPECIFICATIONS. ALSO, HE SHALL VERIFY SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT WITH THESE SUBCONTRACTORS, AS WELL AS SHOP DRAWINGS AS APPROVED BY ARCHITECT, BEFORE PROCEEDING WITH THE WORK.	3. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL "METAL, STRUCTURAL STEEL AND WELDING NOTES".	DIVISION 12 - FURNISHINGS
4. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BARRIERS, LIGHTING, COVERING, FIRE PREVENTION AND OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS AND THE PROPERTY THROUGHOUT THE ENTIRE PERIOD OF THE CONSTRUCTION CONTRACT.	DIVISION 6- WOOD & PLASTICS	1. NOT USED
5. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SUPERVISE ALL CUTTING AND PATCHING OF FINISHED WORK ALREADY INSTALLED IF MADE NECESSARY BY ERRORS, CHANGES OR OTHER REASON AND ALL REPLACEMENT WORK SHALL MATCH ADJOINING SURFACE.	1. ALL FRAMING MEMBERS SHALL BE GRADE MARKED, AND CONFORM TO THE PROVISION OF CHAPTER 23, C.B.C.	DIVISION 13 - SPECIAL INSPECTION
6. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR CONTINUOUS CLEANING UP OF THE JOB SITE, INCLUDING ALL DEBRIS WHETHER MADE BY HIS WORK OR THE WORK OF HIS SUBCONTRACTORS, AND INSURE SAFETY OF ALL PERSONS AND PROPERTY DURING THE EXECUTION OF WORK.	2. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY WHICH IS IN DIRECT CONTACT WITH EARTH SHALL BE FOUNDATION GRADE REDWOOD OR PRESSURE TREATED DOUGLAS FIR.	1. EPOXY USED FOR EMBEDMENT TO BE PERFORMED BY A CERTIFIED DEPUTY SPECIAL INSPECTION APPROVED BY THE LOCAL BUILDING DEPARTMENT
7. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN APPROVAL BY THE BUILDING INSPECTOR FOR ALL CONCEALED WORK BEFORE CLOSING UP.	3. FIRE AND DRAFT STOPS FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND ROOF SPACE IT SHALL BE USED IN SPECIFIC LOCATIONS AS FOLLOWS: A. IN EXTERIOR OR INTERIOR STUD WALLS, OR CEILINGS AND FLOOR LEVELS. B. IN ALL STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES SO PLACED THAT THE MAXIMUM DIMENSION OF ANY CONCEALED SPACES IS NOT OVER 10 FEET. C. BETWEEN STAIR STRINGERS AT TOP AND BOTTOM AND BETWEEN STUDS ALONG AND IN LINE WITH RUN OF STAIR AND JOINING STUD WALLS AND PARTITIONS D. AROUND TOP BOTTOM, SIDES AND ENDS OF SLIDING DOOR POCKETS. E. IN SPACES BETWEEN CHIMNEYS AND WOOD FRAMING, LOOSE NONCOMBUSTIBLE MATERIAL SHALL BE PLACED IN NONCOMBUSTIBLE SUPPORTS, OR METAL COLLAR TIGHTLY FITTED TO THE CHIMNEY AND NAILED TO THE WOOD FRAMING MAY BE USED.	DIVISION 14 - CONVEYING SYSTEMS
8. APPROVAL BY THE INSPECTORS DOES NOT MEAN APPROVAL OF FAILURE TO COMPLY WITH THE PLANS AND SPECIFICATIONS, ANY DESIGN THAT IS UNCLEAR OR IS AMBIGUOUS MUST BE REFERRED TO THE ARCHITECT OR ENGINEER FOR INTERPRETATION OR CLARIFICATION.	4. DRAFT STOPS, IN WOOD FRAME FLOOR CONSTRUCTION WHERE SUSPENDED CEILINGS OCCUR, THE SPACE BETWEEN THE CEILING AND THE FLOOR ABOVE SHALL BE DIVIDED INTO AREAS NOT EXCEEDING 1,000 SQ. FT. IN A MANNER REQUIRED FOR PARTITIONING ATTIC SPACE IN C.B.C. SECTION 1505.2.	1. NOT USED
9. CONSTRUCTION MATERIAL STORED ON THE JOB SITE SHALL BE SPREAD TO DISTRIBUTE LOADING. LOAD SHALL	5. WHERE WOOD FRAME WALLS AND PARTITIONS ARE COVERED ON THE INTERIOR WITH PLASTER OR SIMILAR MATERIAL, ARE ARE SUBJECT TO MOISTURE, THE FRAMING SHALL BE PROTECTED WITH AN APPROVED WATERPROOF PAPER CONFORMING TO SECTION 1402.1 OF THE C.B.C.	DIVISION 15 - MECHANICAL
10. NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.	6. REFER TO THE STRUCTURAL DRAWINGS FOR "WOOD" NOTES.	1. ALL WORK SHALL BE IN COMPLIANCE WITH THE LATEST ADOPTED EDITION OF THE UNIFORM ECHANICAL CODE AND ANY OTHER GOVERNING MECHANICAL CODES.
11. THE DESIGN, ADEQUACY, AND SAFETY OF CONSTRUCTION BRACING AND TEMPORARY SHORING IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO COMPLETION OF THE JOB WHICH INCLUDES THE APPLICATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS. VISITS TO THE JOB SITE BY THE ENGINEER OR HIS AGENT SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEM AS TO ADEQUACY UNLESS SUPPORTED BY A LETTER SO STATING.	DIVISION 7 - THERMAL AND MOISTURE PROTECTION	2. BATHROOM EXHAUST FANS SHALL PROVIDE A MINIMUM OF 5 AIR CHANGES PER HOUR. ALL RETURN AIR DUCTS SHALL BE OF INCOMBUSTIBLE CONSTRUCTION.
12. IN THE EVENT OF OMISSIONS, DISCREPANCIES, OR AMBIGUITIES ARE FOUND IN THE SPECIFICATIONS OR CONTRACT DOCUMENTS, THE MEANING AND INTENT, THE ARCHITECT/ENGINEER SHALL BE NOTIFIED IN ORDER TO PROVIDE A WRITTEN CLARIFICATION.	1. PROVIDE INSULATION AS NOTED AND SHOWN ON DRAWINGS.	3. FOR GAS FIRED FORCED AIR UNITS: A. PROVIDE 100 SQUARE INCHES OF OUTSIDE COMBUSTION AIR VENT THROUGH ROOF AND DUCT IN ATTIC FOR F.A.U. SIZE OF 100 B.T.U. OR UNDER. B. PROVIDE 1 SQ. IN. OF OUTSIDE COMBUSTION AIR FROM VENT THROUGH ROOF AND CUT IN ATTIC FOR EACH 1,000 B.T.U. FOR F.A.U. SIZES OVER 100 M.B.T.U.
13. TRADE NAMES AND/ OR MANUFACTURES NAMES REFERRED ARE FOR QUALITY STANDARDS ONLY, EQUAL PRODUCTS ARE PERMITTED IF APPROVED BY THE ARCHITECT AND/OR OWNER.	2. ALL INSULATION SHALL MEET MINIMUM ENERGY INSULATION STANDARDS AS ESTABLISHED BY THE CALIFORNIA ADMINISTRATIVE CODE.	4. PROVIDE MINIMUM OF 48 SQ. IN. OF EXHAUST VENT ABOVE ALL RANGES.
14. SPECIFICATIONS SHEETS ARE PART OF THESE DOCUMENTS. ALL ADDENDA, BULLETINS AND NOTICES ISSUED LATER SHALL BE CONSIDERED AS PART OF THE WORK.	3. THE INSULATION INSTALLER SHALL POST A SIGN CERTIFICATE, IN A CONSPICUOUS PLACE IN THE BUILDING, STATING THE INSULATION COMPLIES WITH TITLE 24, CHAPTER 25.3 AND TITLE 20, CHAPTER 2, SUBCHAPTER 4, ARTICLE 3.	5. DUCTS PENETRATING ONE-HOUR FIRE RATED WALLS BETWEEN LIVING UNIT AND GARAGE SHALL BE OF 26 GA. GALVANIZED STEEL.
15. THE DESIGNER SHALL IN NO WAY BE RESPONSIBLE FOR HOW THE FIELD WORK IS PERFORMED, SAFETY IN, ON OR ABOUT THE JOB SITE, METHODS OR PERFORMANCE OR TIMELINESS IN THE PERFORMANCE OF THE WORK.	4. STORAGE TYPE WATER HEATERS TO BE WRAPPED WITH INSULATION BLANKET (R-12 MINIMUM OR FACTORY INSTALLED INSULATION PLUS ADDITIONAL TO TOTAL R-16). PROVIDE INSULATION WRAPPING ON FIRST FIVE FEET OF PIPING IN UNCONDITIONED SPACE, (R-3)	6. ALL VENTS THROUGH ROOF ASSEMBLY SHALL BE LOCATED TOWARD THE REAR OF ROOF HIGH POINT WHERE POSSIBLE.
16. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS ON FLOOR PLANS ARE TO FACE OF MASONRY, CENTERLINE OF COLUMN AND/OR DEMISING PARTITIONS AND FACE OF STUDS, UNLESS OTHERWISE NOTED OR DETAILED. DIMENSIONS ON LARGER SCALES DRAWINGS AND DETAILS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND SHALL VERIFY SAME IN THE FIELD.	5. ALL SWINGING DOORS AND WINDOWS LEADING TO UNCONDITIONED AREAS SHALL BE FULLY WEATHER-STRIPPED	7. WHERE A PARTITION CONTAINING PLUMBING, HEATING, ELECTRICAL OR OTHER SYSTEMS RUNS PARALLEL TO THE FLOOR JOISTS, PROVIDE DOUBLE JOISTS SPACED AND BRIDGED TO PERMIT THE PASSAGE OF SUCH SYSTEMS. WHERE SYSTEMS ARE PARTIALLY OR WHOLLY WITHIN THE PARTITION AND REQUIRE ANY CUTTING OF THE SOLE OR TOP PLATES, PROVIDE A METAL TIE 1/8" THICK BY 1 1/2" WIDE, FASTENED TO THE PLATE ACROSS AND TO EACH SIDE OF THE OPENING WITH NOT LESS THAN 4-1/6 D NAILS. (REF. 2320.11.7)
17. UPON COMPLETION OF PROJECT, GENERAL CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH COMPLETE MARKED UP SET OF PRINTS INDICATING ACTUAL CONSTRUCTION METHODS USED WHICH DEVIATED FROM CONDITIONS REPRESENTED WITHIN THE CONSTRUCTION DOCUMENTS.	6. FOR INFILTRATION CONTROL, ALL OPENINGS AND PENETRATIONS MUST BE CAULKED AND SEALED, SUCH AS AROUND WINDOWS, AT SOLE PLATES AND OPENINGS FOR UTILITY PIPES AND WIRES.	8. DUCTS FOR EXHAUST FANS, RANGE HOODS, HEAT OR AIR CONDITIONING SUPPLY, ETC. THAT PENETRATE FLOOR CONSTRUCTION ABOVE SHALL BE OF MINIMUM 26 GA. GALVANIZED SHEET METAL IN LIEU OF SHEET METAL DRAFT, PROVIDE A ONE-HOUR RESISTIVE SHAFT.
18. PLANS IDENTIFIED AS "BID SET" ON ANY OR ALL SHEETS MAY BE SUBJECT TO REVIEW BY THE DESIGNER, OR OTHERS SUCH AS THE BUILDER, BUILDING INSPECTION DEPARTMENT, ETC. THIS REVIEW MAY RESULT IN CHANGES WHICH MAY BE MADE TO THE PLANS PRIOR TO ISSUANCE OF THE FINAL CONSTRUCTION SET WHICH WILL CONTAIN NO "BID SET" DESIGNATIONS.	7. ALL EXTERIOR OPENINGS SHALL BE FLASHED WITH "JIFFY-SEAL" BY "PROTECTOR WRAP COMPANY". "JIFFY-SEAL" SHALL EXTEND A MINIMUM OF 6" BEYOND OPENING.	9. DUCTS EXHAUSTING AIR TO HAVE BACK-DRAFT OR AUTOMATIC DAMPERS.
19. ALL REQUIRED PERMITS MUST BE OBTAINED FROM THE FIRE PREVENTION BUREAU BEFORE THE BUILDING IS OCCUPIED.	8. FLASHING SHALL BE INSTALLED AS DETAILED IN ACCORDANCE WITH CURRENT SPECIFICATIONS FOR THE TYPE OF FLASHING REQUIRED. ALL FLASHING, DOWNSPOUTS, ETC. TO BE MINIMUM 26 GA. GALVANIZED SHEET METAL UNLESS OTHERWISE NOTED.	10. HEATING OR COOLING SYSTEMS (EXCEPT HEAT-PUMPS) SHALL HAVE AN AUTOMATIC THERMOSTAT WITH MECHANISM WHICH CAN BE MANUALLY PROGRAMMED TO AUTOMATICALLY SET BACK THE THERMOSTAT SET POINTS FOR AT LEAST TWO PERIODS WITHIN 24 HOURS.
DIVISION 2 - SITE WORK & UTILITIES	9. WATERPROOF MEMBRANE AT EXTERIOR WALLS BELOW GRADE TO BE "JIFF-SEAL". INSTALL PER MANUFACTURER'S RECOMMENDATIONS FOR BELOW GRADE INSTALLATION. PROTECT ALL WATERPROOF MEMBRANES FROM PUNCTURE OR DAMAGE DURING CONSTRUCTION. PROVIDE PROTECTION BOARD OVER MEMBRANE ("D-DRAIN #302" BY JDR ENTERPRISES).	11. ALL DUCTS SHALL COMPLY WITH CHAPTER 10 C.B.C. AND SHALL BE TIGHTLY SEALED WITH MASTIC OR TAPE.
1. ALL STUMPS AND ROOTS SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF AT LEAST 12" BELOW THE SURFACE OF THE GROUND IN THE AREA TO BE OCCUPIED BY THE BUILDING OR PROPOSED STRUCTURE, OR AS RECOMMENDED BY THE SOIL ENGINEER.	10. ROOFING UNDERLAYMENT SHALL BE 2-LAYERS OF 40 LBS. ROOFING FELT.	12. ALL PLUMBING WORK SHALL CONFORM TO THE LATEST ADOPTED EDITION OF THE CALIFORNIA PLUMBING CODE AND ANY OTHER ADOPTED GOVERNING PLUMBING CODES.
2. ALL WOOD FORMS WHICH HAVE BEEN USED IN PLACING CONCRETE, IF WITHIN THE GROUND OR BETWEEN THE FOUNDATION SILL AND THE GROUND, SHALL BE REMOVED BEFORE A BUILDING IS OCCUPIED OR USED FOR ANY PURPOSE.	11. PROVIDE A WEATHER-RESISTIVE BARRIER AT EXTERIOR WALL OF THE BUILDING AS PER CHAPTER 14, SECTION 1402.1 OF THE C.B.C. ("TYVECK"-STUCCO WRAP AT AREAS TO RECEIVE STUCCO FINISH AND HOUSE WRAP AT OTHER AREAS) OR ARCHITECT APPROVED SUBSTITUTE.	13. PROVIDE MINIMUM CLEARANCE OF 24" IN FRONT OF AND 30" IN WIDTH FOR WATER CLOSET COMPARTMENTS. (REF. 29

GRADING NOTES	
1.	ALL SITE DRAINAGE TO COMPLY WITH 2022 CRC AND DRAIN TO STREET AT 1% MIN SLOPE OR PROVIDE DRAINAGE SYSTEM FOR REVIEW TO GRADING DIVISION PRIOR TO FINAL GRADE TO BE SUCH THAT SURFACE WATER DRAINS AT A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (5%) OF A FOUNDATION WALL. CONCENTRATED DRAINAGE BE CONVEYED TO THE STREET VIA NON-EROSIVE DEVICES.
MECHANICAL NOTES	
1.	EXHAUST DUCT TERMINATION SHALL BE 3 FEET FROM OPENINGS INTO THE BUILDING PER CMFC 502.2.
ELECTRICAL NOTES	
1.	UNDERGROUNDING OF ELECTRICAL, CABLE AND PHONE IS REQUIRED. ORD 3032
2.	ALL 120-VOLT, SINGLE PHASE, 15- AND 20- AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT KITCHEN, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY ROOM, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. CEC 210.12
3.	ALL 125-VOLT, 15- AND 20- AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES PER CEC 406.12.
PLUMBING NOTES	
1.	PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CALGREEN SECTION 301.1, ALL BUILDING ALTERATIONS TO A SINGLE-FAMILY HOME, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET COMPLIANT FLOW RATES NEED TO BE UPGRADED. WATER CLOSETS WITH A FLOW RATE IN EXCESS OF 1.6 GPM WILL NEED TO BE REPLACED WITH WATER CLOSETS WITH A MAXIMUM FLOW RATE OF 1.28 GPM. SHOWERS WITH A FLOW RATE IN EXCESS OF 2.5 GPM WILL NEED TO BE REPLACED WITH SHOWERHEADS WITH A MAXIMUM FLOW RATE OF 1.8 GPM. LAVATORY WITH A FLOW RATE IN EXCESS OF 2.2 GPM WILL NEED TO BE REPLACED WITH LAVATORY WITH A MAXIMUM FLOW RATE OF 1.2 GPM (1.8 GPM FOR KITCHEN FAUCETS).
BUILDING NOTES	
1.	ADU ADDRESS SHALL BE CLEARLY VISIBLE AND LEGIBLE FROM ADJACENT PUBLIC WAY OR STREET. ADDRESS LETTERS/NUMBERS SHALL BE MINIMUM 4 INCHES HIGH, WITH A MINIMUM STROKE WIDTH OF 1/2 INCH, AND SHALL CONTRAST WITH THEIR BACKGROUND. CRC R319.1
HERS INSPECTION LIST	
BUILDING-LEVEL VERIFICATIONS: • INDOOR AIR QUALITY VENTILATION COOLING SYSTEM VERIFICATION: • MINIMUM AIRFLOW • VERIFIED EER • VERIFIED SEER • FAN EFFICACY WATTS/CFM HVAC DISTRIBUTION SYSTEM VERIFICATIONS: • DUCT LEAKAGE TESTING • LOW-LEAKAGE AIR HANDLING UNIT	
PLANNING NOTES	
•	FOR ADUS, THE OWNER IS NOT REQUIRED TO OCCUPY ONE OF THE UNITS ON THE PROPERTY.
•	FOR JADUS, THE OWNER IS REQUIRED TO OCCUPY THE PRIMARY RESIDENCE OR JADU.
•	JADUS MAY NOT BE SOLD SEPARATELY FROM THE PRIMARY RESIDENCE.
•	SHORT-TERM RENTALS ARE NOT ALLOWED. THE RENTAL OF AN ADU MUST BE FOR A TERM 30 DAYS OR LONGER.
•	UTILITIES SERVING THE ADU SHALL BE COMMON TO THE PRIMARY RESIDENCE.
AGING-IN-PLACE DESIGN AND FALL PREVENTION	
•	REINFORCEMENT FOE GRAB BAR, SEC R327.1.1 AT LEASE ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH REINFORCEMENT.
•	ELECTRICAL RECEPTACLE OUTLET, SWITCH AND CONTROL HEIGHTS, SEC R327.1.2 ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF OUTLET BOX AND NOT LESS THAN 15" MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE FINISH FLOOR.
•	INTERIOR DOORS, SEC R327.1.3 EFFECTIVE JULY 1, 2024, AT LEAST ONE BATHROOM AND ONE BEDROOM ON THE ENTRY LEVEL SHALL PROVIDE A DOORWAY WITH A NET CLEAR OPENING OF NOT LESS THAN 32".
•	DOORBELL BUTTONS, SEC R327.1.4 DOORBELL BUTTONS OR CONTROL, WHEN INSTALLED, SHALL NOT EXCEED 48" ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM TOP OF THE DOORBELL BUTTON ASSEMBLY.



SCOPE OF WORK		
- NEW DETACHED A.D.U., 1 STORY, STUCCO AND WOOD SIDING EXTERIOR, DRYWALL INTERIOR, SHINGLES ROOF TO MATCH WITH THE MAIN BUILDING. TOTAL OF 3 BEDROOMS, 2 BATHROOMS, AND 1 KITCHEN. - NO DEMOLITION OF EXISTING GARAGE OR ACCESSORY STRUCTURE DUE TO NO GARAGE OR ACCESSORY STRUCTURE ON EXISTING LOT		
CONTACT INFORMATION		
CONTACT'S NAME: XUELIN CHEN TELEPHONE: 626-991-8421 ADDRESS: 566 E JEFFERSON AVE., POMONA, CA 91767		
PROJECT INFORMATION		
ASSESSOR'S PARCEL: 8338-028-005 ZONING: RND-1-H [HM1-N1-R1] TRACT: 891 LOT: 5 OCCUPANCY GROUP: R-3/U CONSTRUCTION TYPE: VB LOT AREA: 7,231 SF NUMBER OF STORIES: 1 STORY MAXIMUM BUILD HEIGHT: 32' (16' A.D.U.) HISTORIC DISTRICT: LINCOLN PARK HISTORIC DISTRICT YEAR BUILT: 1922 ARCHITECTURAL STYLE: CRAFTSMAN		
APPLICATION CODES: 2022 CBC, CEC, CPC, CMC 2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE		
FIRE SPRINKLER: NO		
FLOOR AREA CALCULATION		
FLOOR AREA (EXISTING) -		1,085 SF.
FRONT COVERED PORCH (EXISTING) -		183 SF.
FLOOR AREA (PROPOSED DETACHED ADU) -		998 SF.
FRONT COVERED PORCH (PROPOSED DETACHED ADU) -		88 SF.
TOTAL FLOOR AREA (NEW) -		2,354 SF.
LOT COVERAGE CALCULATION		
EXISTING MAIN HOUSE:		1,497.00 S.F.
NEW DETACHED ADU:		1,310.00 S.F.
2,807 SF. / 7,231 SF. * 100% = 38.8% < 45%		
LANDSCAPE CALCULATION		
LANDSCAPE CALCULATION		
TOTAL LOT:		7,231 S.F.
MINIMUM LANDSCAPE AREA:		7,231 S.F. * 20% = 1,446.2 S.F.
PROPOSED LANDSCAPE AREA:		1,592 S.F. + 1,228 S.F. = 2,820 S.F.
2,820 SF. / 7,231 SF. * 100% = 39% > 20%		2,820 S.F. > 1,446.2 S.F.
SETBACK REQUIREMENT		
BUILDING SEPARATION: 10' SIDE SETBACK: 4' REAR SETBACK: 4'		
PROJECT REPRESENTATIVES		
OWNER: XUELIN CHEN		
ARCHITECT: ALADDIN OUTSOURCING		
STEVEN SHI		
599 S BARRANCA AVE. STE 204, COVINA, CA 91723		
(626) 400-9937		
STRUCTURAL: TBA T-24: TBA CONTRACTOR: TBA		
LIST OF DRAWINGS		
T-1.0 TITLE SHEET		
SITE PLAN:		
SP-1.0 EXISTING SITE PLAN		
SP-1.1 PROPOSED SITE PLAN		
ARCHITECTURAL:		
A-1.0 EXISTING FLOOR PLAN		
A-1.1 PROPOSED ADU FLOOR PLAN		
A-1.2 -		
A-1.3 ROOF PLAN		
A-1.4 PROPOSED ELEVATIONS		
A-2.0 SCHEDULE & NOTES		
A-3.0 DETAILS		
A-3.1 DETAILS		
A-4.0 SPEC SHEET		

ALADDIN OUTSOURCING Engineering & Architectural Consulting 1214 Galemont Avenue, Hacienda Heights, CA 91745 ♦ Phone. (626) 400-9937																	
566 E JEFFERSON DETACHED ADU																	
566 E JEFFERSON AVE., POMONA, CA 91767 OWNER: XUELIN CHEN																	
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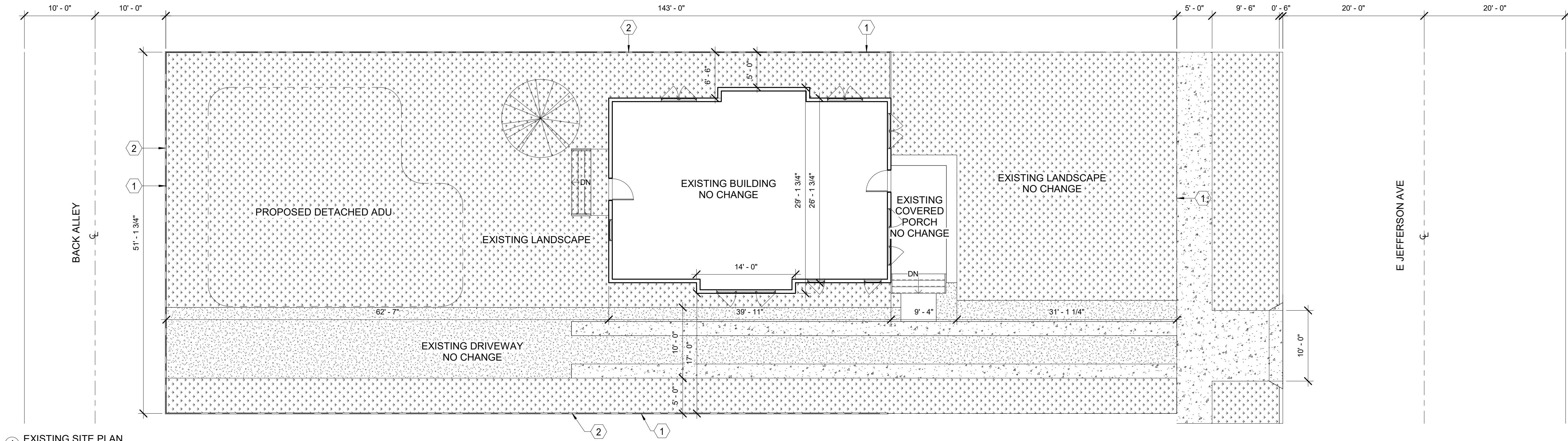


KEYNOTE	
1	PROPERTY LINE
2	EXISTING WOOD FENCE TO REMAIN

ALADDIN OUTSOURCING
Engineering & Architectural Consulting
1214 Galemont Avenue, Hacienda Heights, CA 91745
Phone: (626) 400-9937

566 E JEFFERSON DETACHED ADU

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91767
OWNER: XUELIN CHEN



1 EXISTING SITE PLAN
1/8" = 1'-0"

REVISION	
1	1ST PLANNING
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SEAL

DAT	JOB
09/23/25	-
	DRAWN
	Author

EXISTING SITE PLAN

DRAWING

SP-1.0

KEYNOTE	
1	PROPERTY LINE
2	EXISTING WOOD FENCE TO REMAIN
3	PROPOSED 6" x 6" WOOD COLUMNS PER STRUCTURAL

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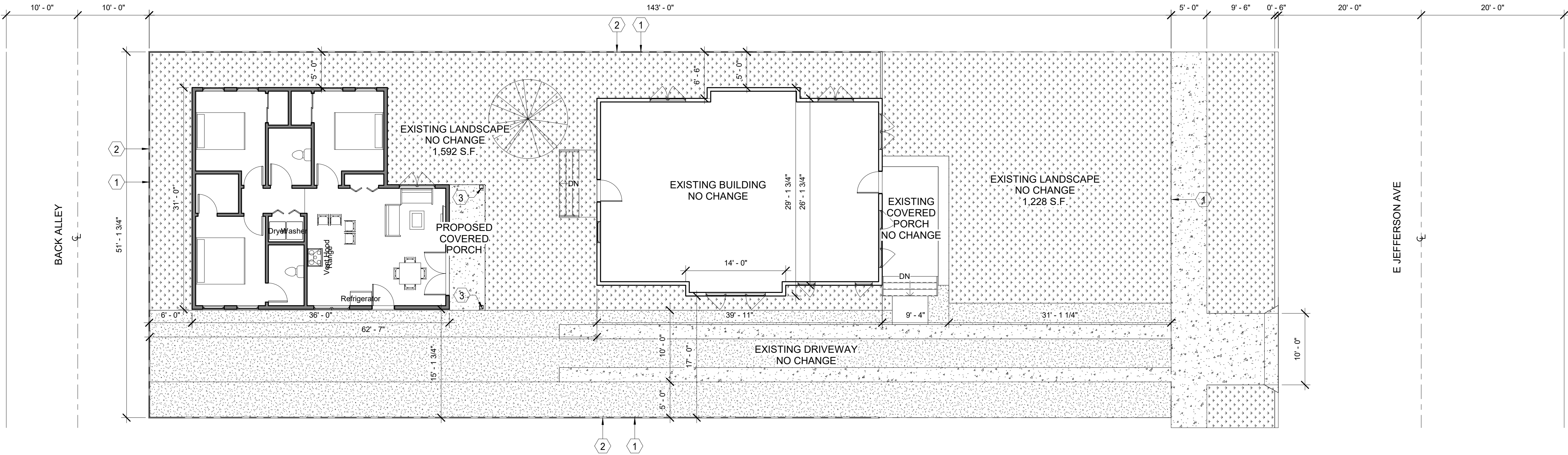
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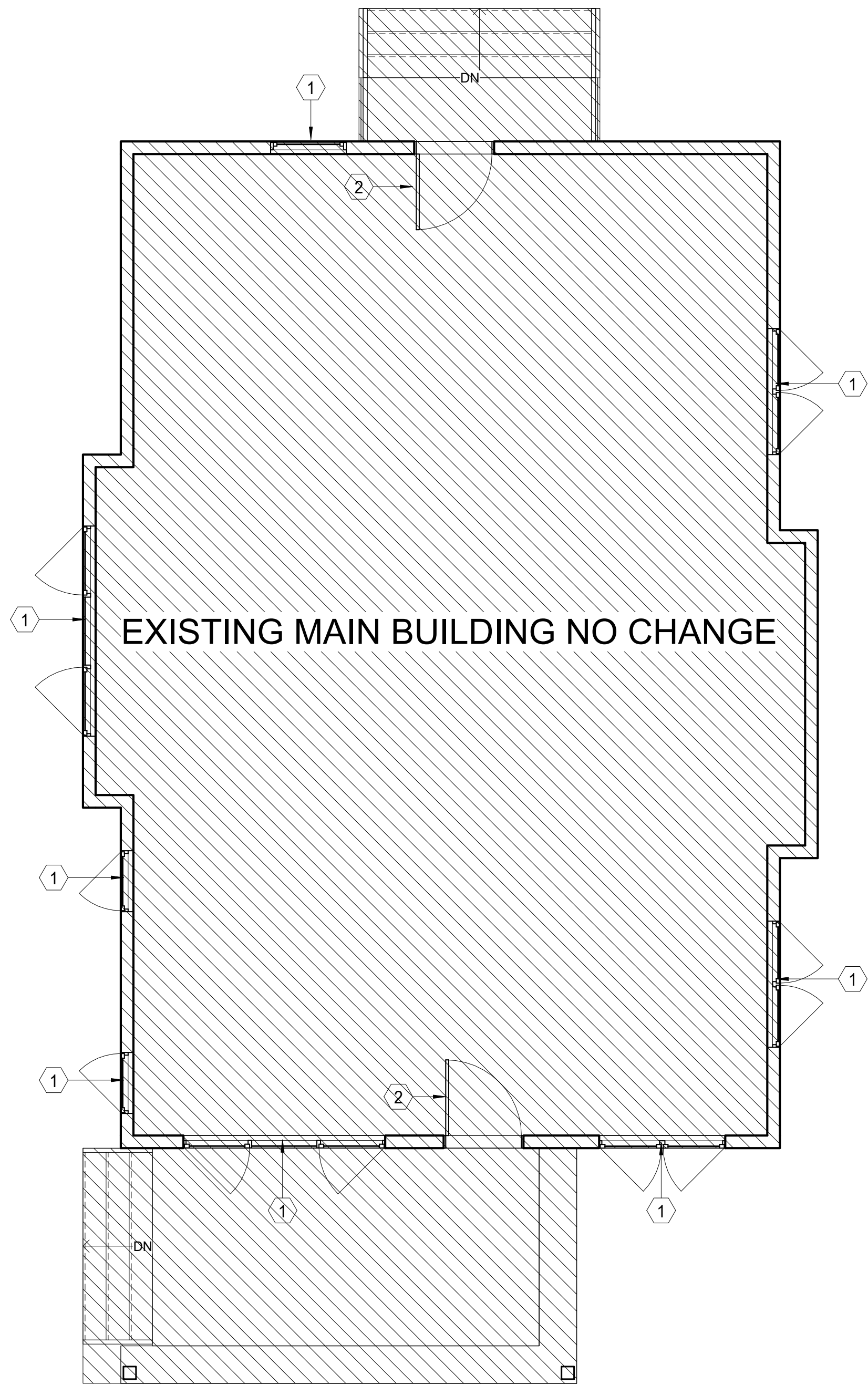
PROPOSED SITE PLAN

DRAWING

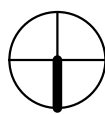
SP-1.1



1 PROPOSED SITE PLAN
1/8" = 1'-0"



1 EXISTING FLOOR PLAN
1/4" = 1'-0"



KEYNOTE	
1	EXISTING WINDOW TO REMAIN
2	EXISTING DOOR TO REMAIN

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Engineering & Architectural Consulting
1214 Galemont Avenue, Hacienda Heights, CA 91745
Phone: (626) 400-9937

566 E JEFFERSON DETACHED ADU

566 E JEFFERSON AVE, POMONA, CA 91767
OWNER: XUELIN CHEN

REVISION					
	DATE	BY	CHKD	APPD	DESCRIPTION

SEAL	
DAT 01/27/2025	JOB -
	DRAWN Author

EXISTING FLOOR PLAN

DRAWING

A-1.0

ATTIC VENTILATION CALCULATION

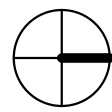
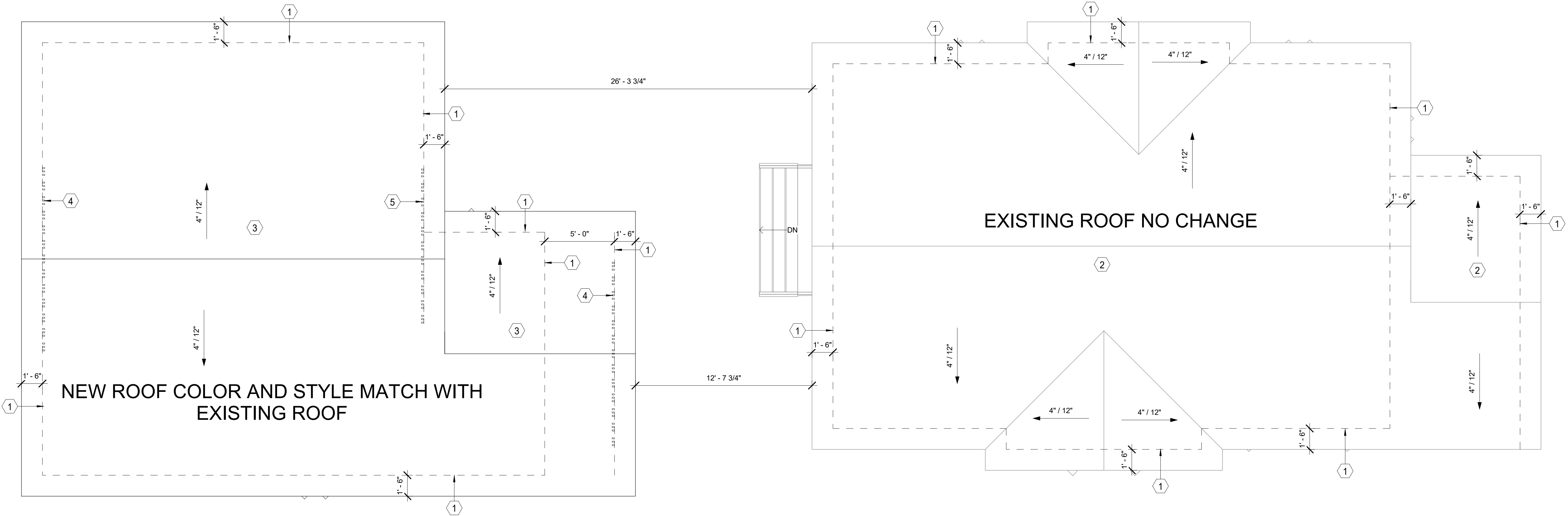
ROOF AREA: 1,396 SF.
REQUIRED VENTILATION: 1,396 SF. / 150 = 9.31 SF.
CONVERT TO SI.: 9.56 SF. * 144 SI. = 1,340.64 SI.

PROVIDED VENTILATION:

(FRONT) NEW WELL VENT - (CUSTOMIZED WELL VENT TO MATCH WITH EXISTING)
TOTAL OPEN SPEACE = 5.68 SF.+ 4.81 SF. * 144 = 1,510.56 SI

(BACK) NEW WELL VENT - (CUSTOMIZED WELL VENT TO MATCH WITH EXISTING)
TOTAL OPEN SPEACE = 5.68 SF. * 144 = 817.92 SI

TOTAL VENTILATION: 1,510.56 SI + 817.92 SI = 2,328.48 SL > 1,340.64 SI.



KEYNOTE	
1	WALL LINE BELOW
2	EXISTING SHINGLES ROOF NO CHANGE
3	NEW ROOF TO INSTALL WITH CLASS A, GAF, SHINGLES, TIMBERLINE HDZ RS (COOL ROOF), ICC ESR-1475 & 3267 OR EQUIVALENT, COLOR MATCH EXISTING MAIN HOUSE
4	NEW WELL VENT 5.68 SF OPEN SPACE, SIZE AND STYLE MATCH EXISTING STRUCTURE
5	NEW WELL VENT 4.81 SF OPEN SPACE, SIZE AND STYLE MATCH EXISTING STRUCTURE

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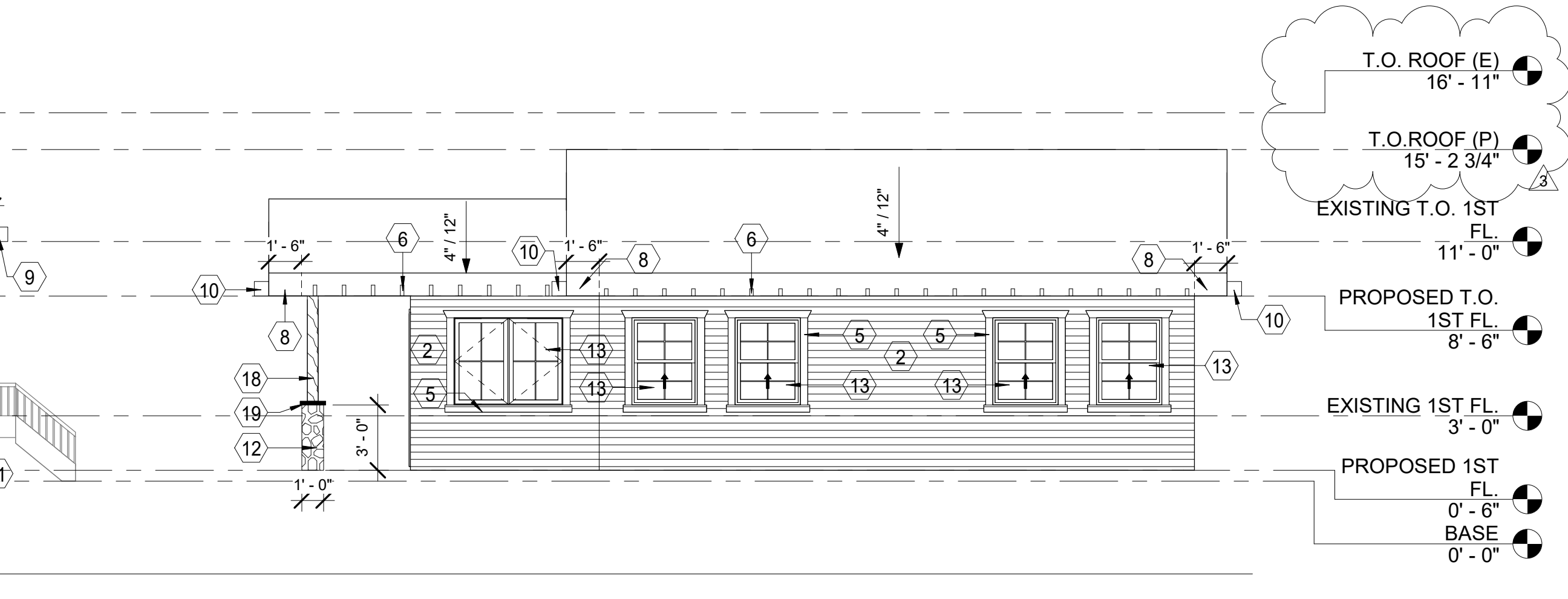
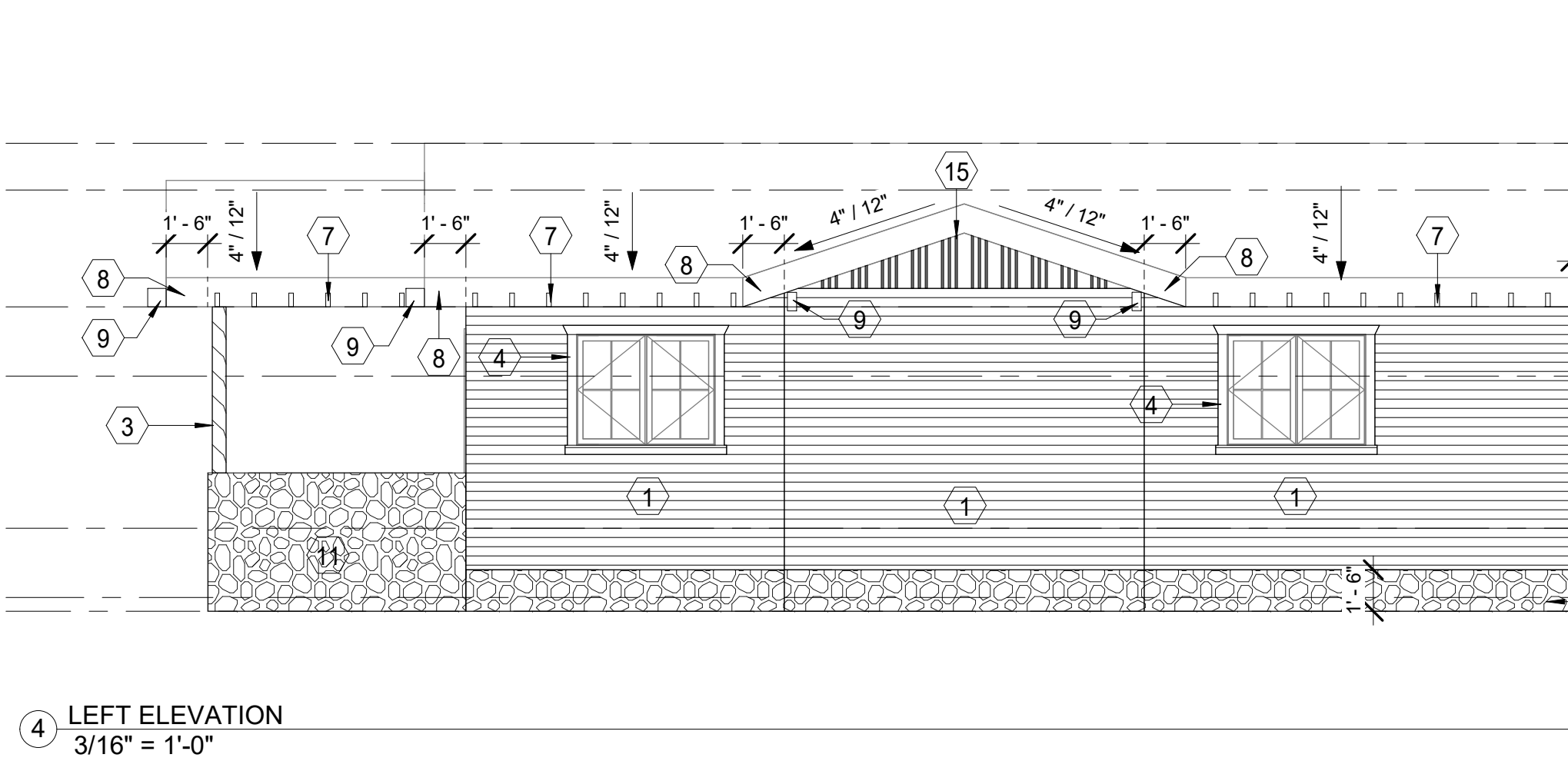
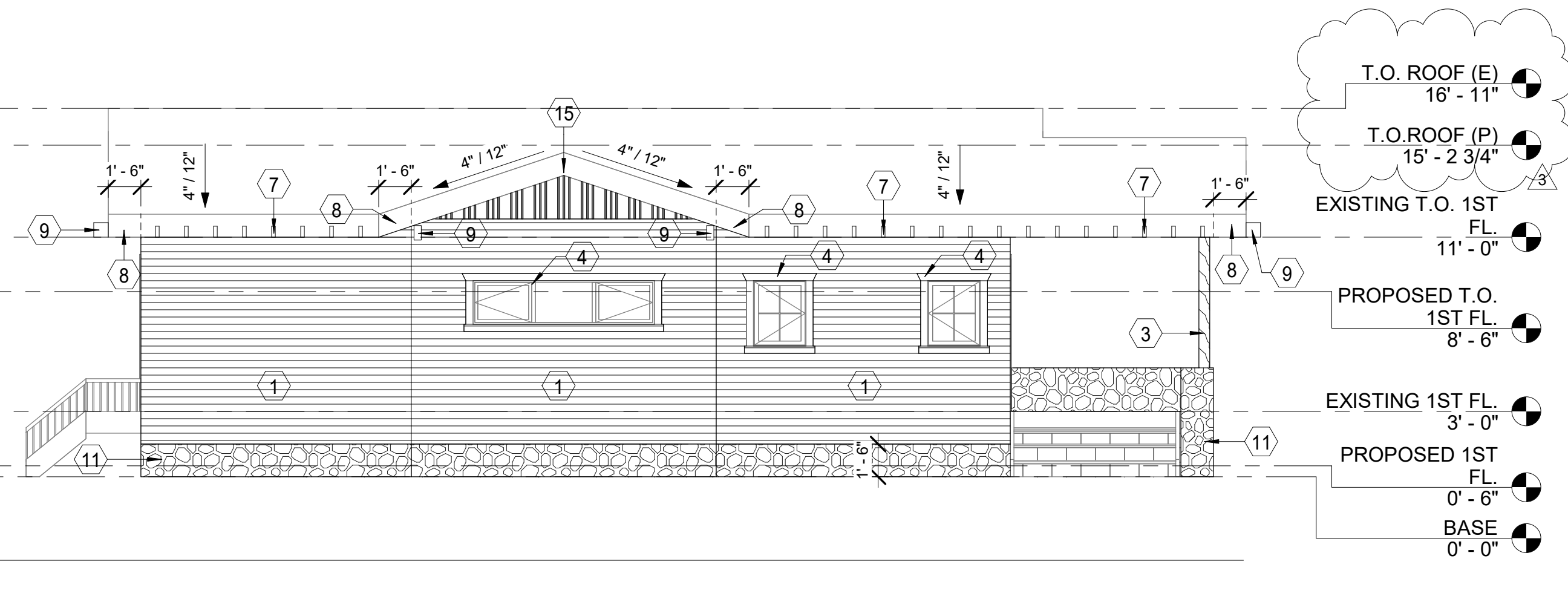
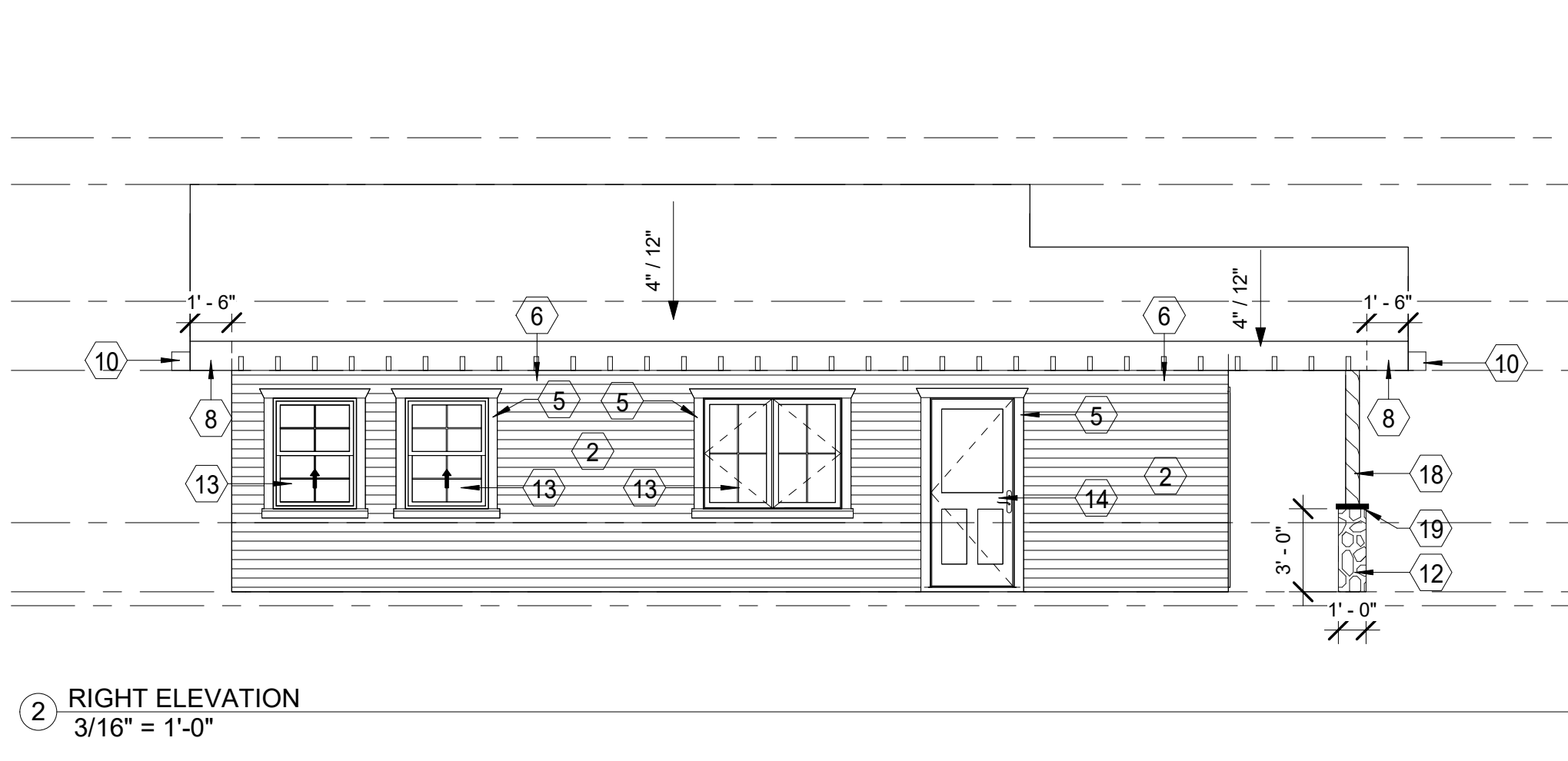
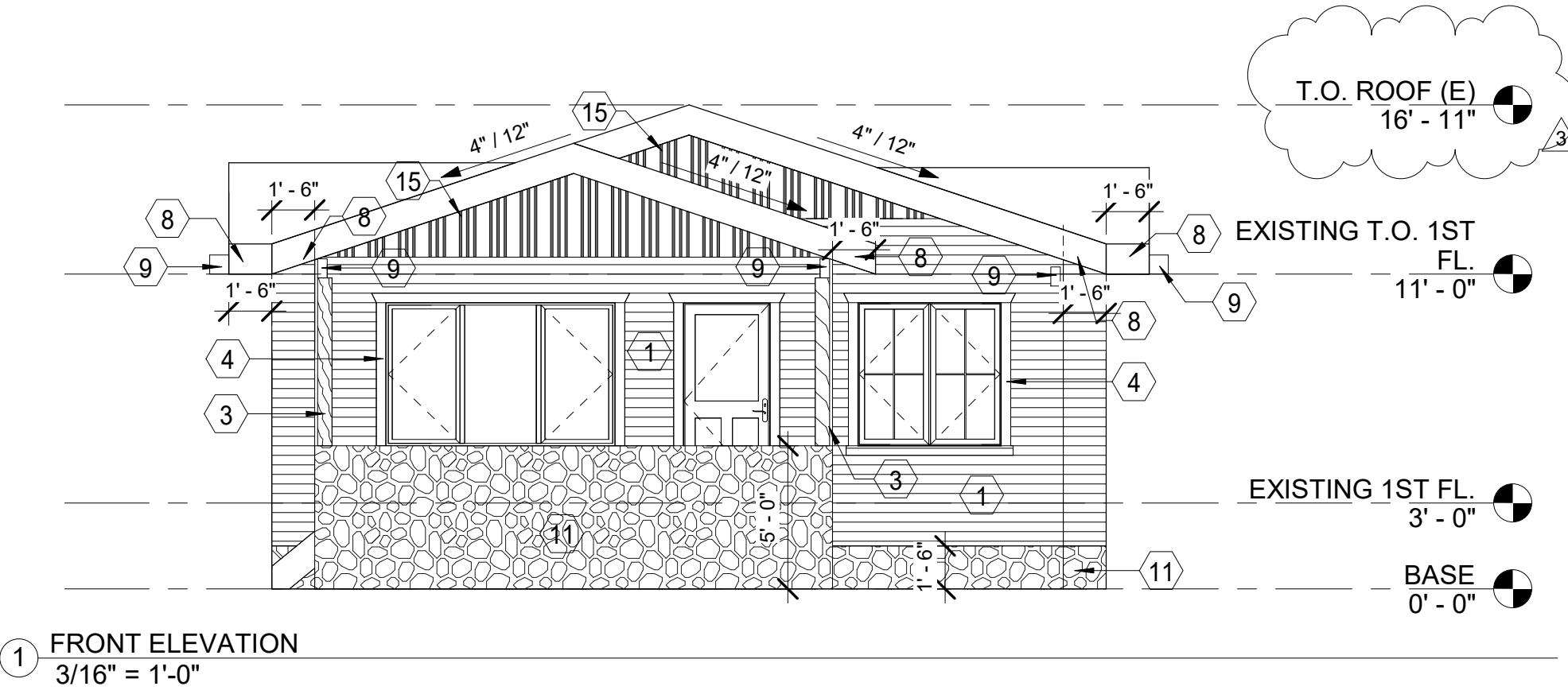
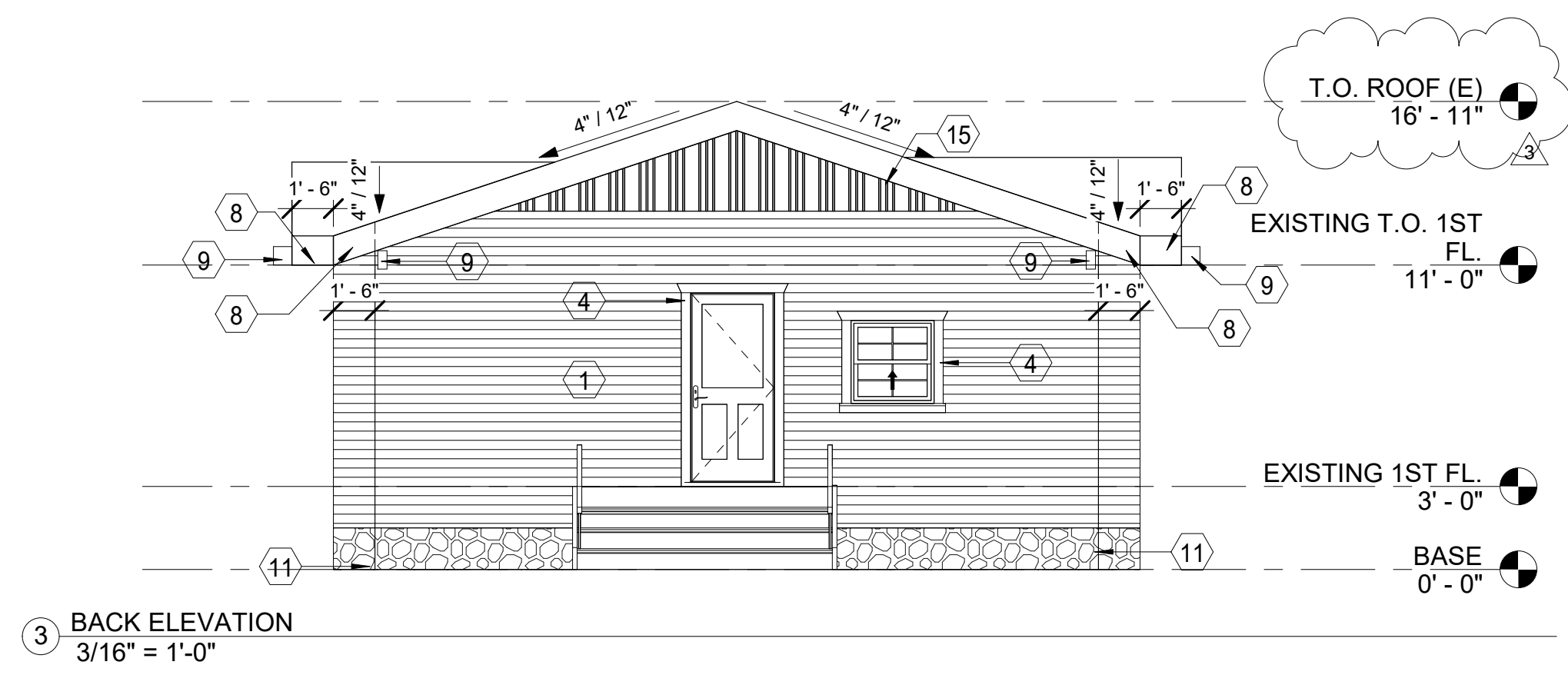
REVISION	
1	09/22/2025
2	10/07/2025
3	10/21/2025

SEAL	
DAT	JOB
01/27/2025	-
DRAWN	
Author	

ROOF PLAN

DRAWING

A-1.3



KEYNOTE	
1	EXISTING SIDING TO REMAIN
2	NEW SIDING TO INSTALL WITH JAMES HARDIE SIDING OR EQUIVALENT, COLOR, MATERIAL, SIZE AND STYLE MATCH EXISTING STRUCTURE
3	EXISTING WOOD COLUMN TO REMAIN
4	EXISTING WOOD TRIM MOLDING TO REMAIN
5	NEW WOOD TRIM MOLDING, COLOR, MATERIAL, SIZE AND STYLE MATCH EXISTING STRUCTURE
6	NEW EXPOSED ROOF RAFTERS MATCH WITH EXISTING STRUCTURE
7	EXISTING EXPOSED ROOF RAFTERS TO REMAIN
8	ROOF OVERHANG
9	EXISTING EXTRUDED SUPPORT BEAM TO REMAIN
10	NEW EXTRUDED SUPPORT BEAM, MATCH WITH EXISTING STRUCTURE
11	EXISTING RIVER ROCK VENEER TO REMAIN
12	NEW RIVER ROCK VENEER, COLOR, MATERIAL, SIZE AND STYLE MATCH EXISTING STRUCTURE
13	NEW WINDOW, SEE WINDOW SCHEDULE, COLOR, MATERIAL, SIZE AND STYLE MATCH EXISTING STRUCTURE
14	NEW DOOR, SEE DOOR SCHEDULE, SIZE AND STYLE MATCH EXISTING STRUCTURE
15	EXISTING WELL VENT TO REMAIN, TYP.
16	NEW WELL VENT 5.68 SF OPEN SPACE, SIZE AND STYLE MATCH EXISTING STRUCTURE
17	NEW WELL VENT 4.81 SF OPEN SPACE, SIZE AND STYLE MATCH EXISTING STRUCTURE
18	PROPOSED 6" x 6" WOOD COLUMNS PER STRUCTURAL
19	NEW STONE CAP, COLOR AND STYLE MATCH EXISTING STRUCTURE



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566 E JEFFERSON DETACHED ADU

OWNER: XUELIN CHEN

REVISION		09/22/2025	10/07/2025	10/21/2025
1	1ST PLANNING			
2	2ND PLANNING			
3	3RD PLANNING			
SEAL				
DAT	JOB	01/27/2025	-	
	DRAWN		-	
PROPOSED ELEVATIONS				
DRAWING				

A-1.4

EXTERIOR WALL NOTES
1. EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTANT EXTERIOR WALL ENVELOPE. THE EXTERIOR WALL ENVELOPE SHALL INCLUDE FLASHING, AS DESCRIBED IN SECTION 1405.3. THE EXTERIOR WALL ENVELOPE SHALL BE DESIGNED AND CONSTRUCTED IN SUCH A MANNER AS TO PREVENT THE ACCUMULATION OF WATER WITHIN THE WALL ASSEMBLY BY PROVIDING A WATER-RESISTIVE BARRIER BEHIND THE EXTERIOR VENEER, AS DESCRIBED IN SECTION 1404.2, AND A MEANS FOR DRAINING WATER THAT ENTERS THE ASSEMBLY TO THE EXTERIOR. PROTECTION AGAINST CONDENSATION IN THE EXTERIOR WALL ASSEMBLY SHALL BE PROVIDED IN ACCORDANCE WITH THE CALEDONIA ENERGY CODE, SECTION 150 OF TITLE 24, PART 6. 1403.2 CBC 2. FLASHING SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR. FLASHING SHALL BE INSTALLED AT THE PERIMETERS OF EXTERIOR DOOR AND WINDOW ASSEMBLIES, PENETRATIONS AND TERMINATIONS OF EXTERIOR WALL ASSEMBLIES, EXTERIOR WALL INTERSECTIONS WITH ROOFS, CHIMNEYS, PORCHES, DECKS, BALCONIES AND SIMILAR PROJECTIONS AND AT BUILT-IN GUTTERS AND SIMILAR LOCATIONS WHERE MOISTURE COULD ENTER THE WALL. FLASHING WITH PROJECTING FLANGES SHALL BE INSTALLED ON BOTH SIDES AND THE ENDS OF COPINGS, UNDER SILLS AND CONTINUOUSLY ABOVE PROJECTING HIM. 1405.3 CBC 3. FLASHING AND COUNTER FLASHING SHALL BE MADE WITH SHEET METAL. VALLEY FLASHING SHALL BE A MINIMUM OF 15 INCHES (381 MM) WIDE. VALLEY AND FLASHING METAL SHALL BE A MINIMUM UNCOATED THICKNESS OF 0.0179-INCH (0.455 MM) ZINC-COATED G90. CHIMNEYS, STUCCO OR BRICK WALLS SHALL HAVE A MINIMUM OF TWO PLIES OF FELT FOR A CAP FLASHING CONSISTING OF A 4-INCH-WIDE (102 MM) SHIP OF FELT SET IN PLASTIC CEMENT AND EXTENDING 1 INCH (25 MM) ABOVE THE FIRST FELT AND A TOP COATING OF PLASTIC CEMENT. THE FELT SHALL EXTEND OVER THE BASE FLASHING 2 INCHES (51 MM). 1507.7.6 CBC 4. WATER-RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION 1404.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER. 2510.6 CBC 5. A MINIMUM 0.019-INCH (0.48 MM) (NO. 26 GALVANIZED SHEET GAGE), CORROSION-RESISTANT WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 31/2 INCHES (89 MM) SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C 926. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES (102 MM) ABOVE THE EARTH OR 2 INCHES (51 MM) ABOVE PAVED AREAS AND BE OF A TYPE THAT WILL ALLOW TRAPPED

BUILDING NOTES
1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES. 2. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170, 158) (SEPARATE PLUMBING PERMIT IS REQUIRED). 3. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM. (R306.3) 4. KITCHEN SINKS, LAVATORIES, BATHHUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SYPPLY. (R306.4) 5. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (R307.2) 6. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION.. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION. 7. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). 8. WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3, LAPC) 9. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC) 10. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLING PER ASSEMBLY BILL (AB) NO. 2977 (3162B) 11. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4) 12. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. (R314.2) 13. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2) 14. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1) 15. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE. 16. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319.1) 17. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWP A U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWP A U1. 18. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306) 19. BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED NATURAL VENTILATION OR WITH MECHANICAL VENTILATION CAPABLE OF 50 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE (R303.3) 20. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68 °F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.10)

DOOR SCHEDULE						
NUMBER	TYPE	WIDTH	HEIGHT	MATERIAL	HARDWARE SET	REMARK
100	FLUSH	3' - 0"	6' - 10"	S.C.	ENTRY	CRAFTSMAN STYLE
100A	SWINGING	6' - 0"	7' - 0"	S.C.	ENTRY	TEMPERED GLASS / FRENCH DOOR
101	FOLD	4' - 0"	6' - 8"	H.C.	PASSAGE	LOUVERED DOOR
102	FLUSH	3' - 0"	6' - 8"	H.C.	PRIVACY	AGING IN PLACE
103	SLIDER	4' - 0"	6' - 8"	H.C.	PASSAGE	
105	FLUSH	3' - 0"	6' - 8"	H.C.	PRIVACY	AGING IN PLACE
106	FOLD	4' - 0"	6' - 8"	H.C.	PASSAGE	LOUVERED DOOR
107	FLUSH	2' - 8"	6' - 8"	H.C.	PRIVACY	
108	SLIDER	4' - 0"	6' - 8"	H.C.	PASSAGE	
109	FLUSH	2' - 8"	6' - 8"	H.C.	PRIVACY	
110	FLUSH	2' - 8"	6' - 8"	H.C.	PASSAGE	
111	FLUSH	2' - 8"	6' - 8"	H.C.	PRIVACY	

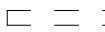
WINDOW SCHEDULE					
TYPE MARK	TYPE	WIDTH	HEIGHT	SILL HEIGHT	REMARK
A	CASEMENT	5' - 0"	4' - 0"	3' - 0"	TEMPERED GLASS / EGRESS WINDOW, CLEAR NET OPENING 20 S.F.
B	SINGLE-HUNG	3' - 0"	4' - 0"	3' - 0"	TEMPERED GLASS / EGRESS WINDOW, CLEAR NET OPENING 6 S.F.

VENTILATION & NATURAL LIGHT CALCULATION						
ROOM NUMBER	NAME	AREA	REQUIRED NATURAL LIGHT (8%)	PROVIDED NATURAL LIGHT	REQUIRED VENTILATION (4%)	PROVIDED VENTILATION
100	KITCHEN & LIVING	320 SF	26 SF	82 SF	13 SF	61 SF
102	AGING BEDROOM	116 SF	9 SF	24 SF	5 SF	12 SF
107	BEDROOM	116 SF	9 SF	24 SF	5 SF	12 SF
109	MASTER BEDROOM	122 SF	10 SF	24 SF	5 SF	12 SF

PLANNING NOTE
ALL EXTERIOR DOORS AND WINDOWS OF THE PROPOSED ADU AND JADU WILL MATCH THE EXISTING IN STYLE, TRIM AND METHOD OF OPERATION.

SCHEDULE NOTES	
FF	- FACTORY FINISH
PT	- PORCELAIN TILE
PNT	- PAINTED FINISH
GB	- GYP. BD.
WD	- WOOD
WR	- WATER RESISTANT
SC	- SOLID CORE
MDF	- MEDIUM DENSITY FIBREBOARD
FG	- FIBERGLASS
AL	- ALUMINUM
VL	- VINYL

WALL LEGEND

	EXISTING WALLS TO REMAIN
	EXISTING WALL TO DEMO
	NEW 2 X STUD WALL

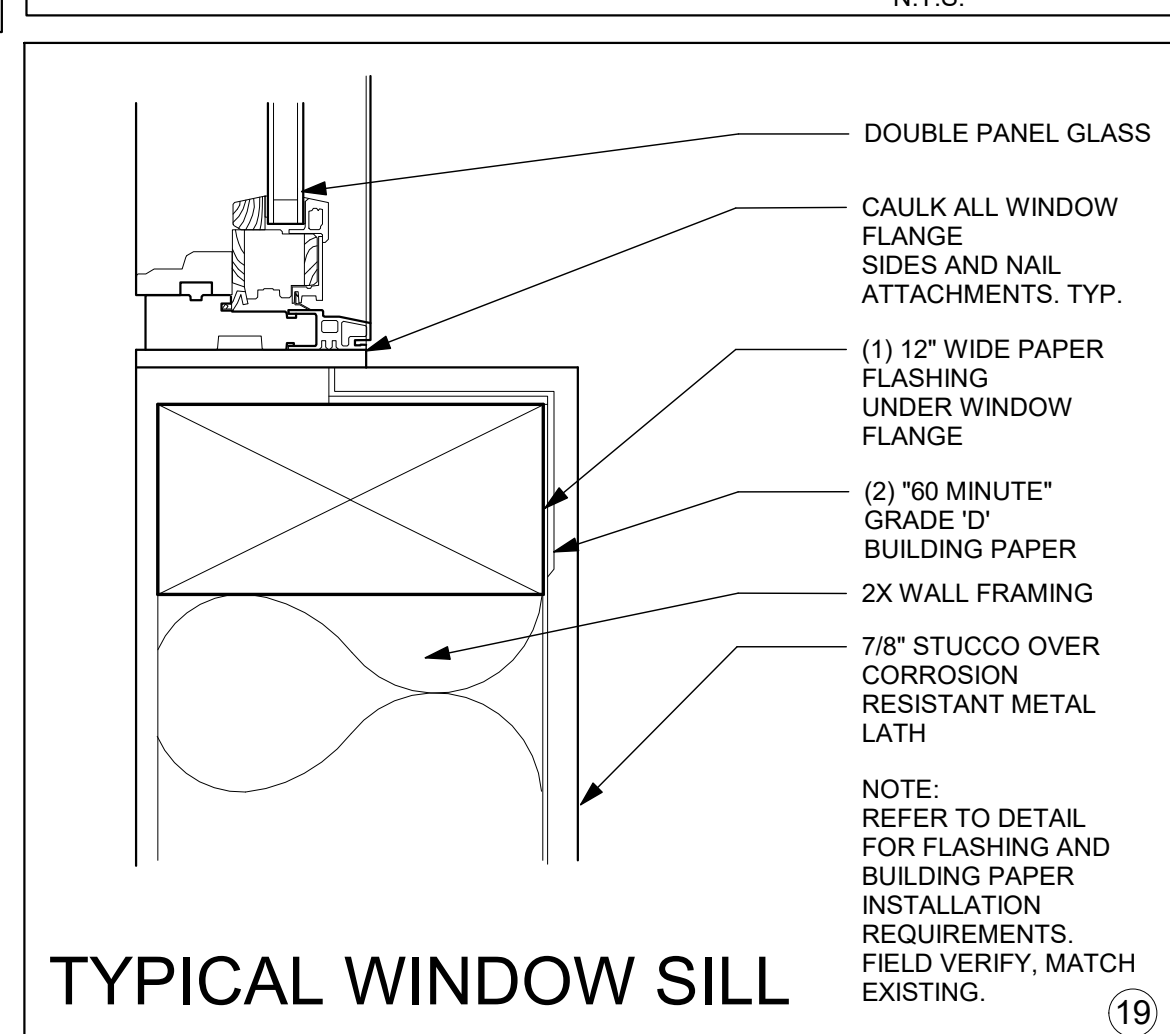
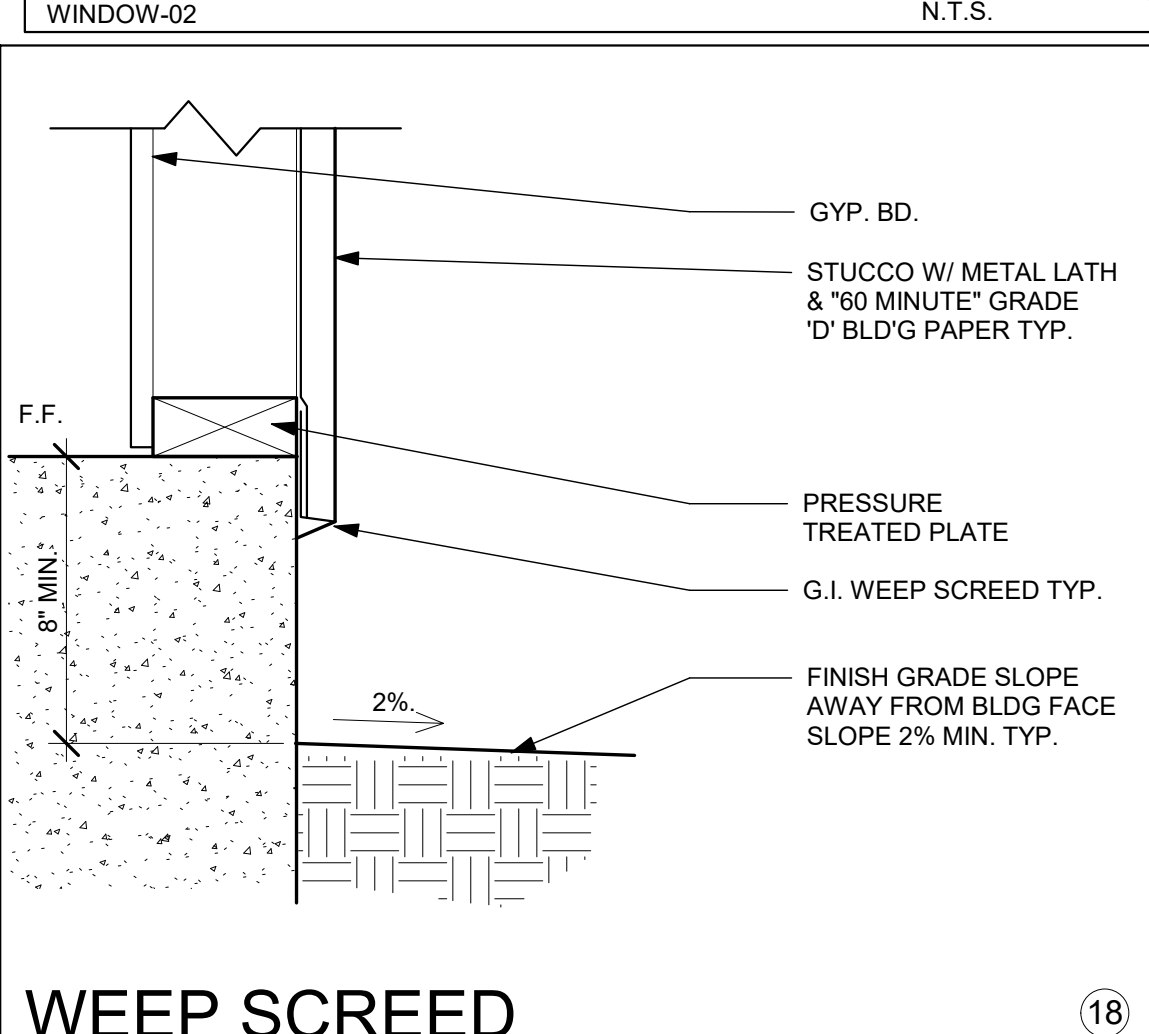
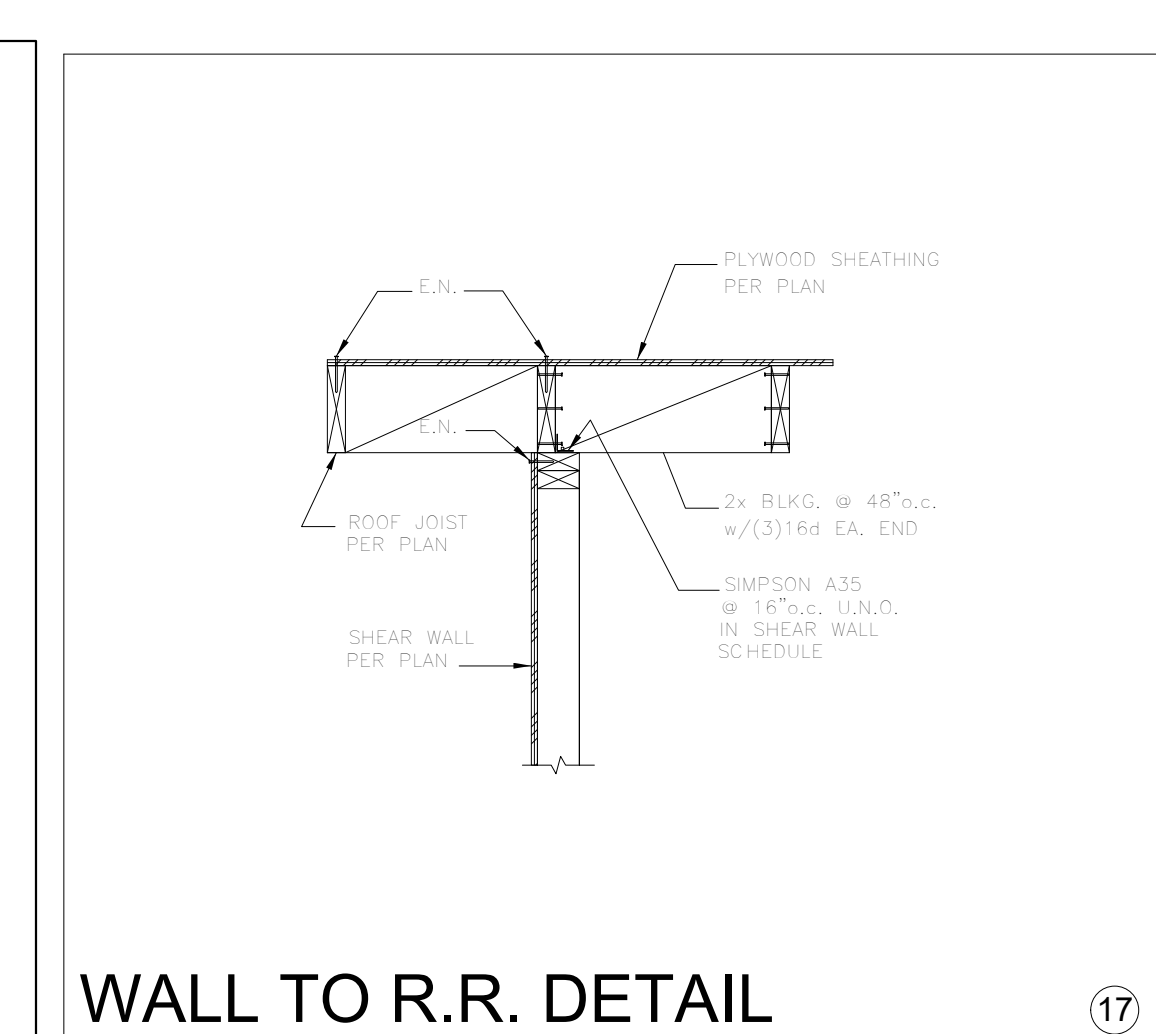
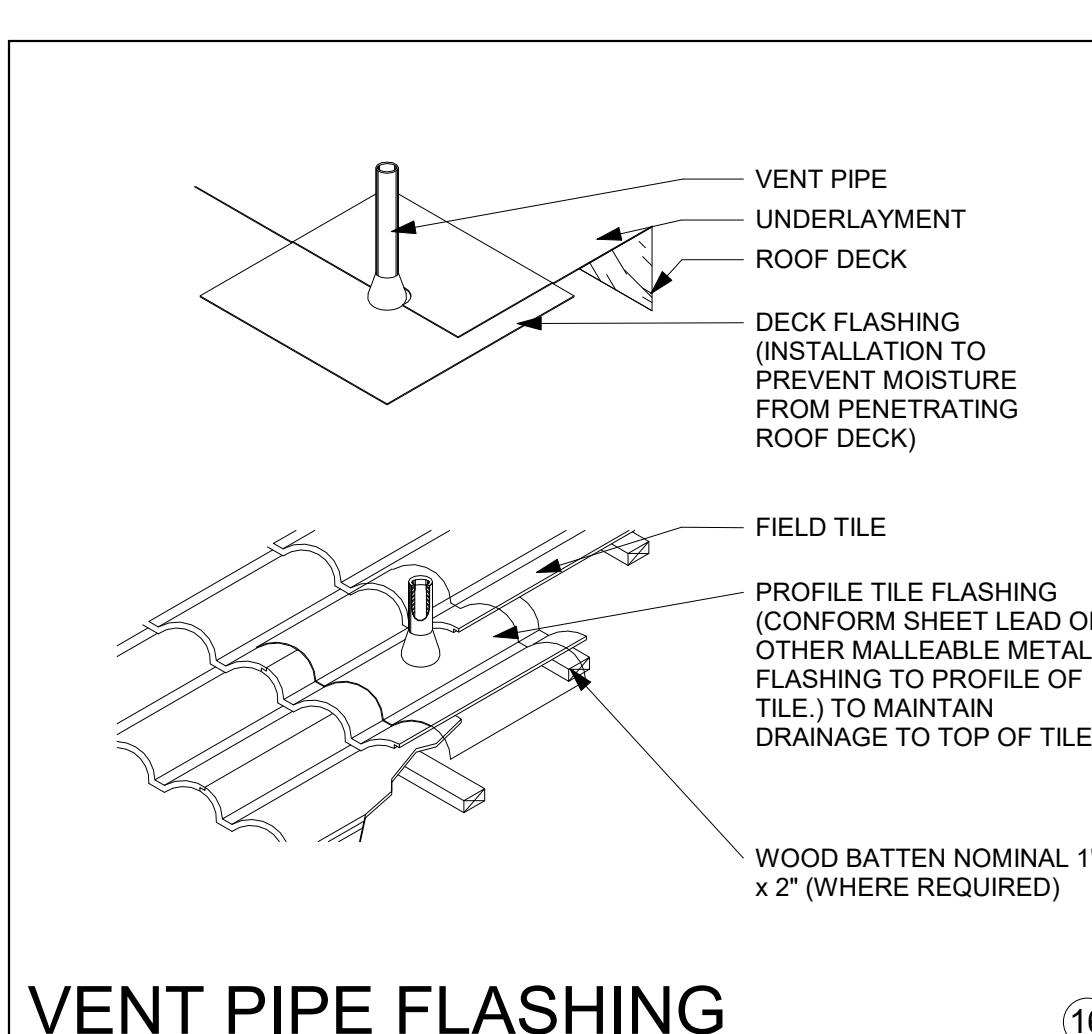
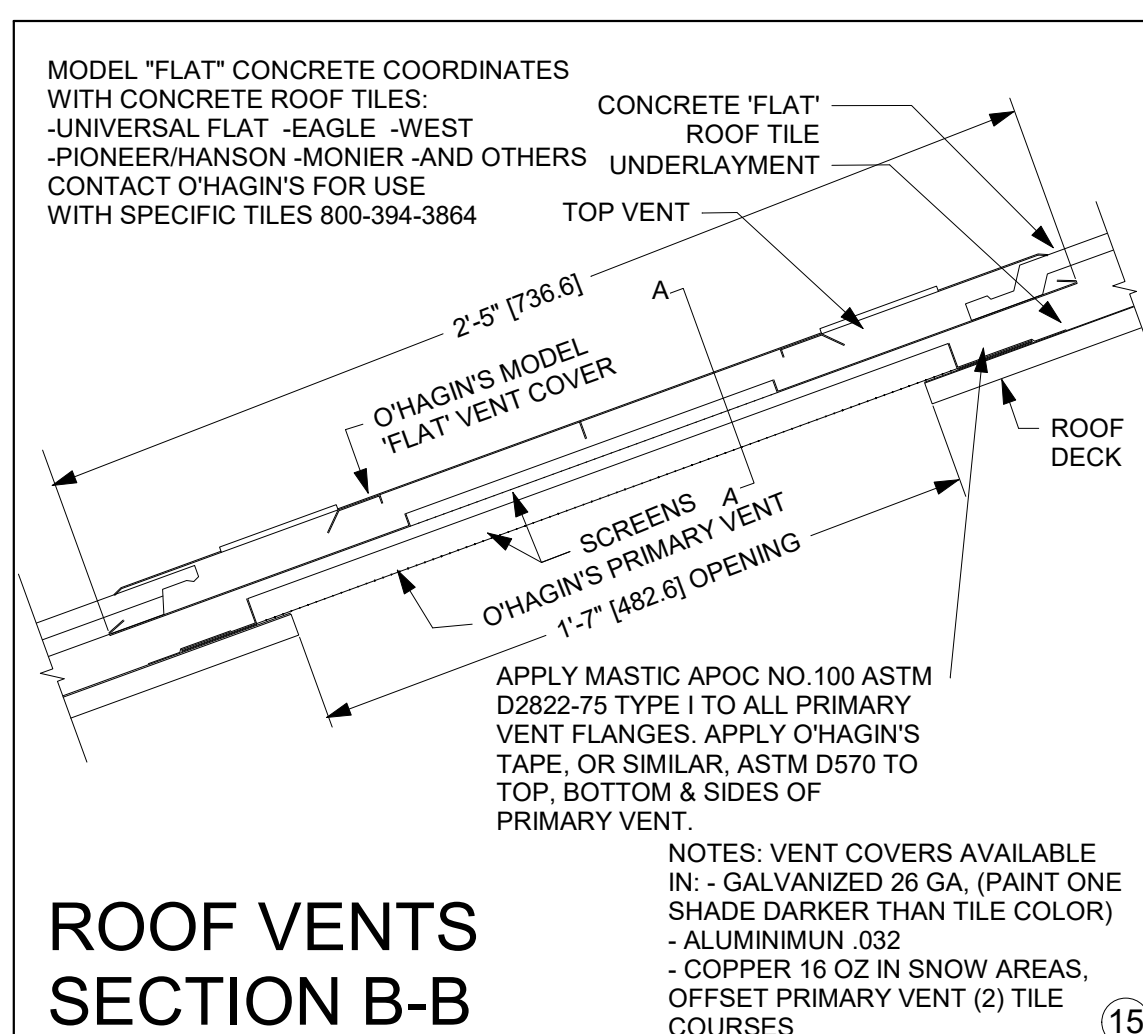
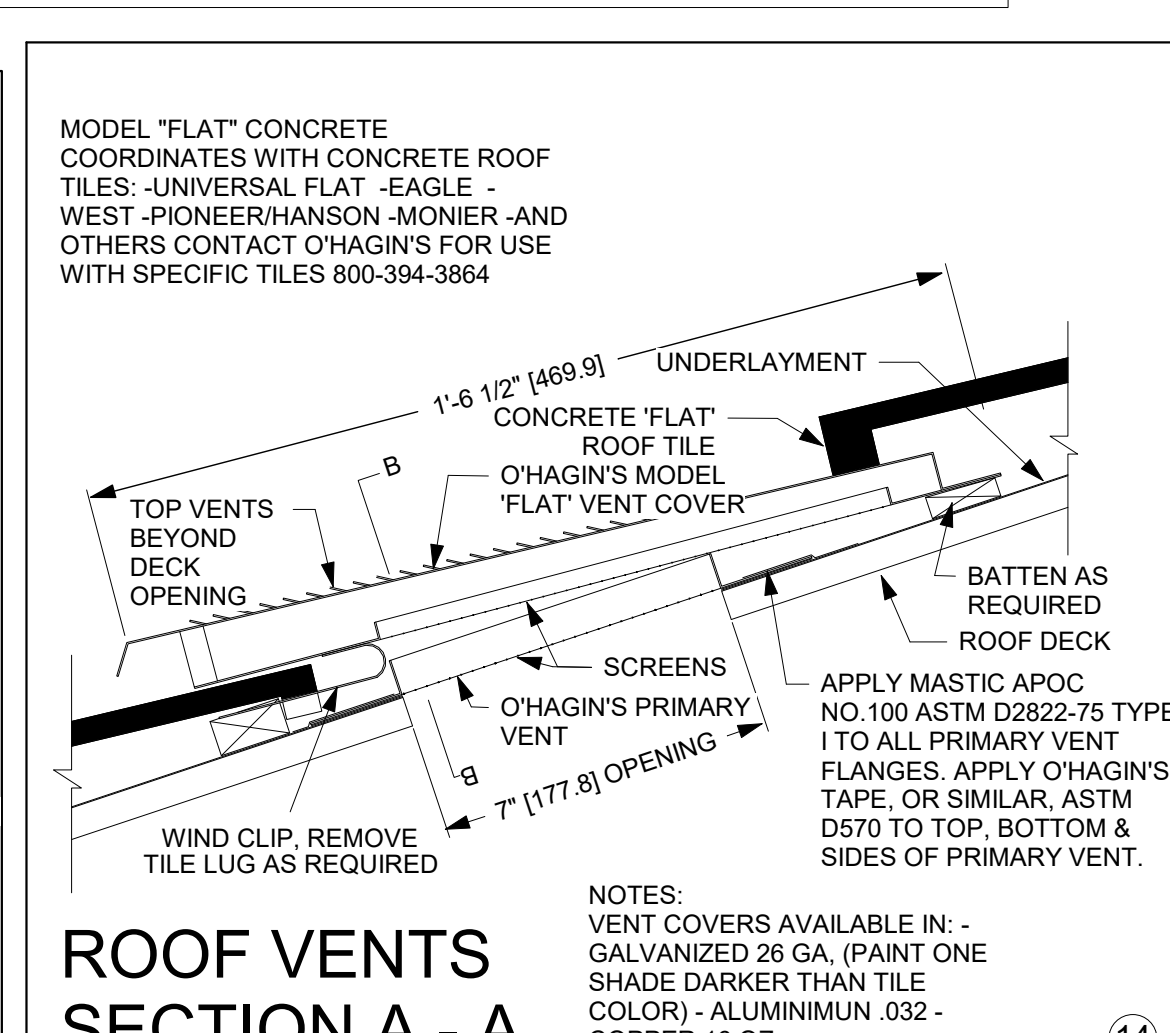
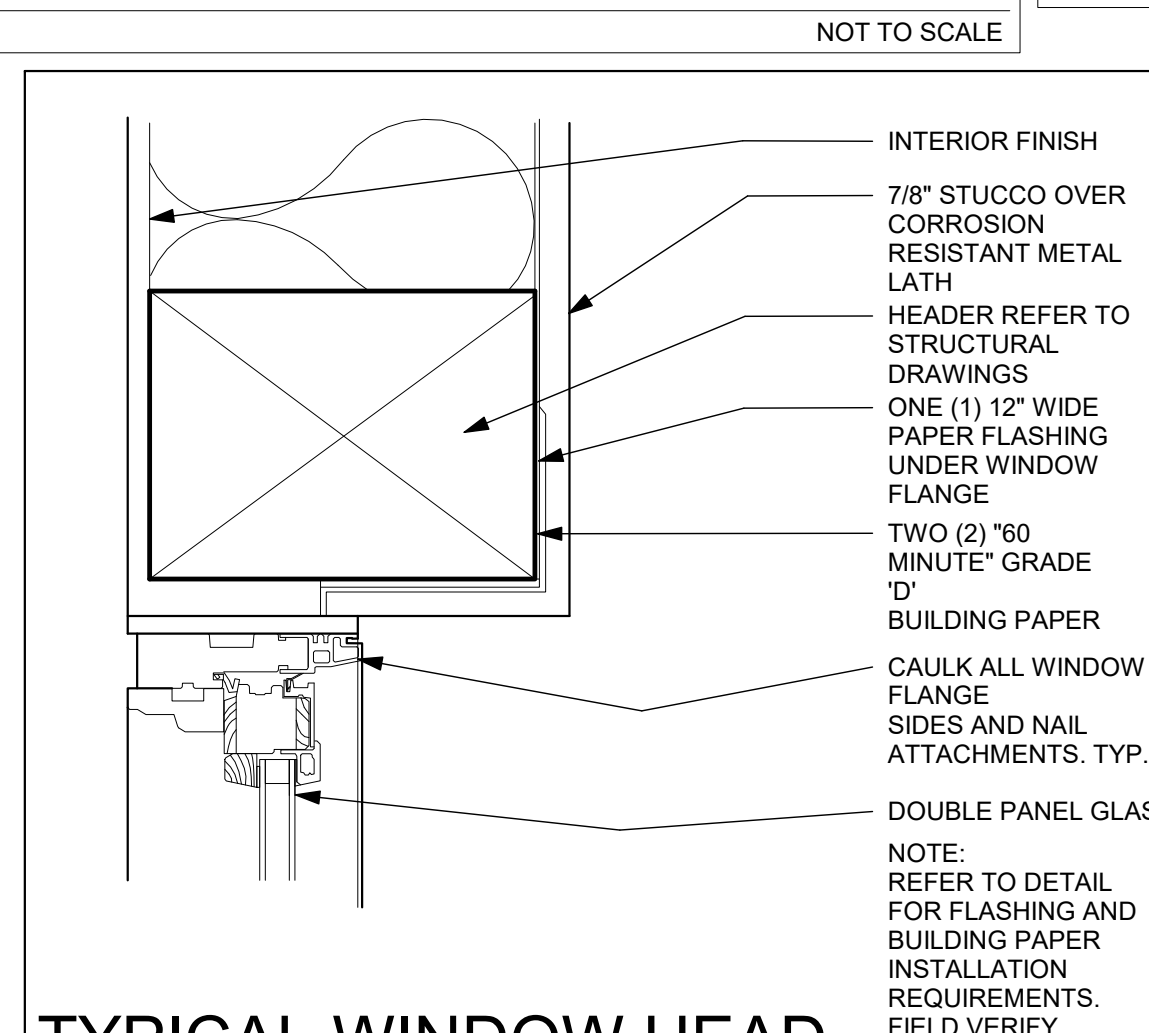
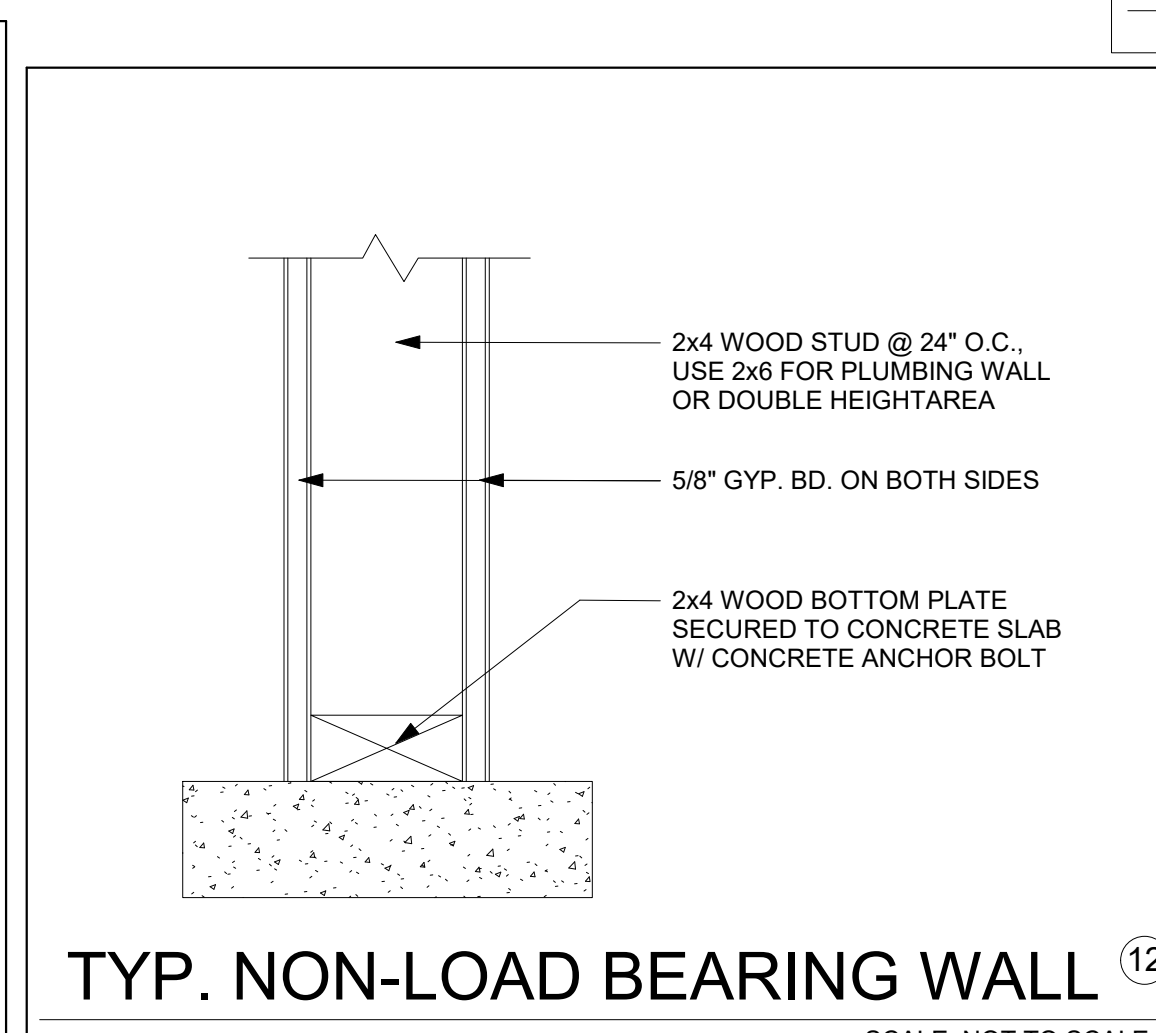
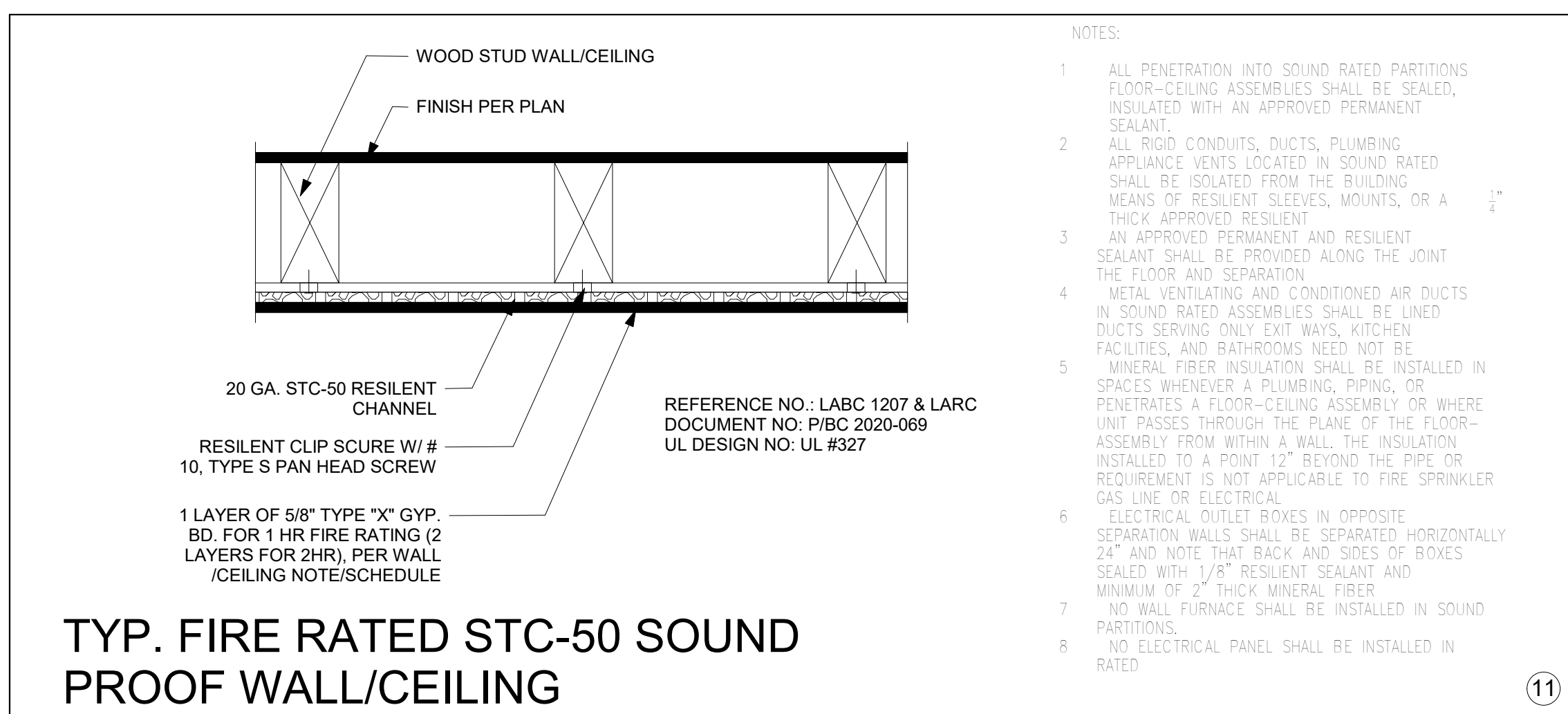
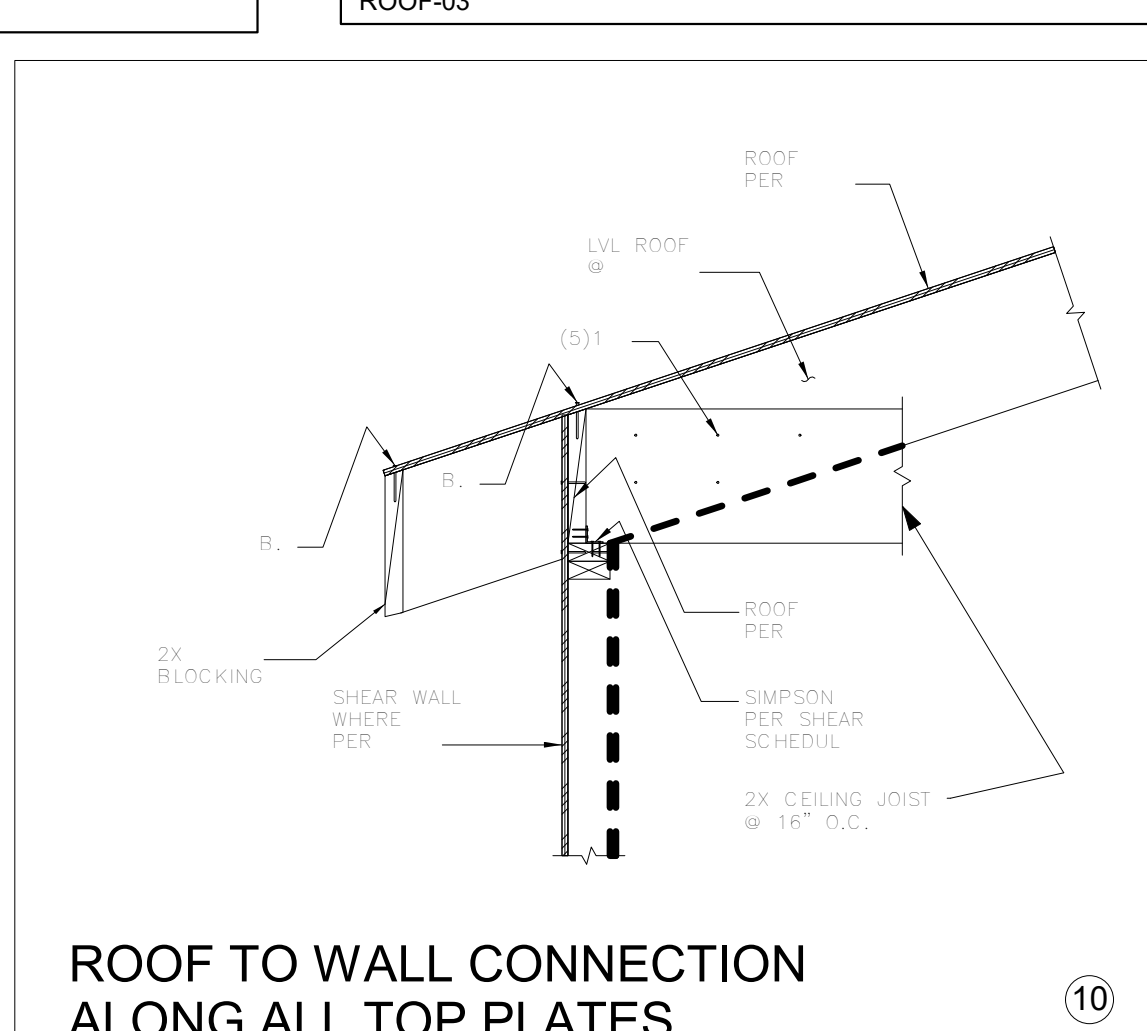
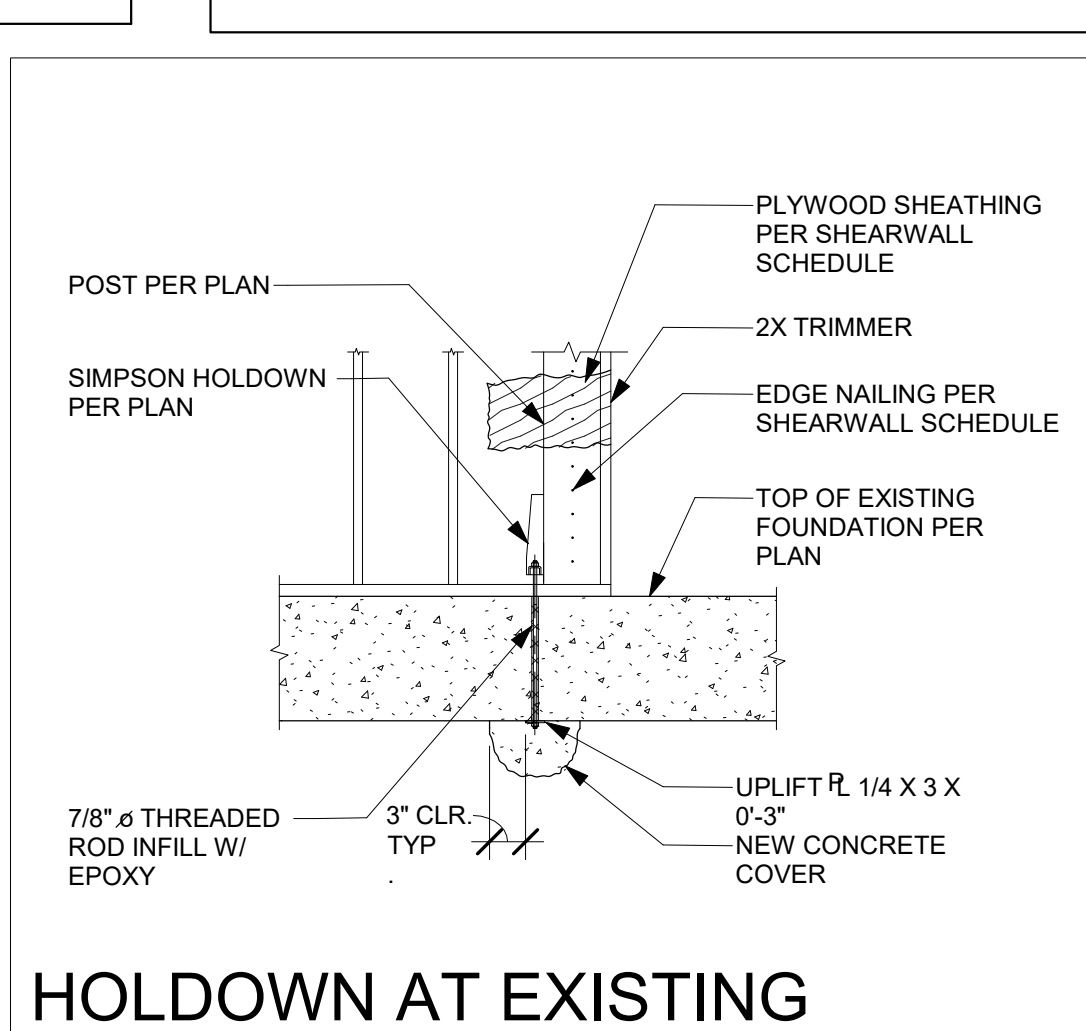
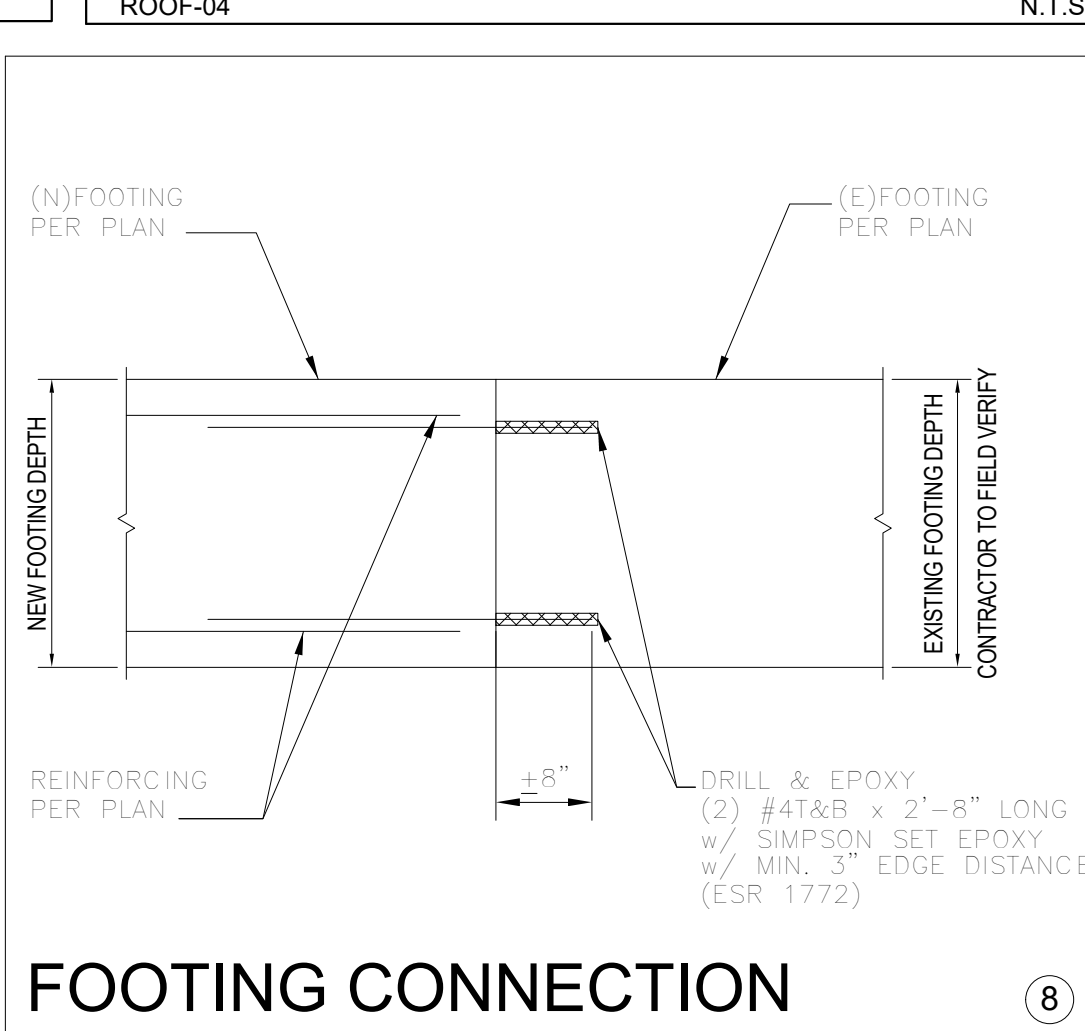
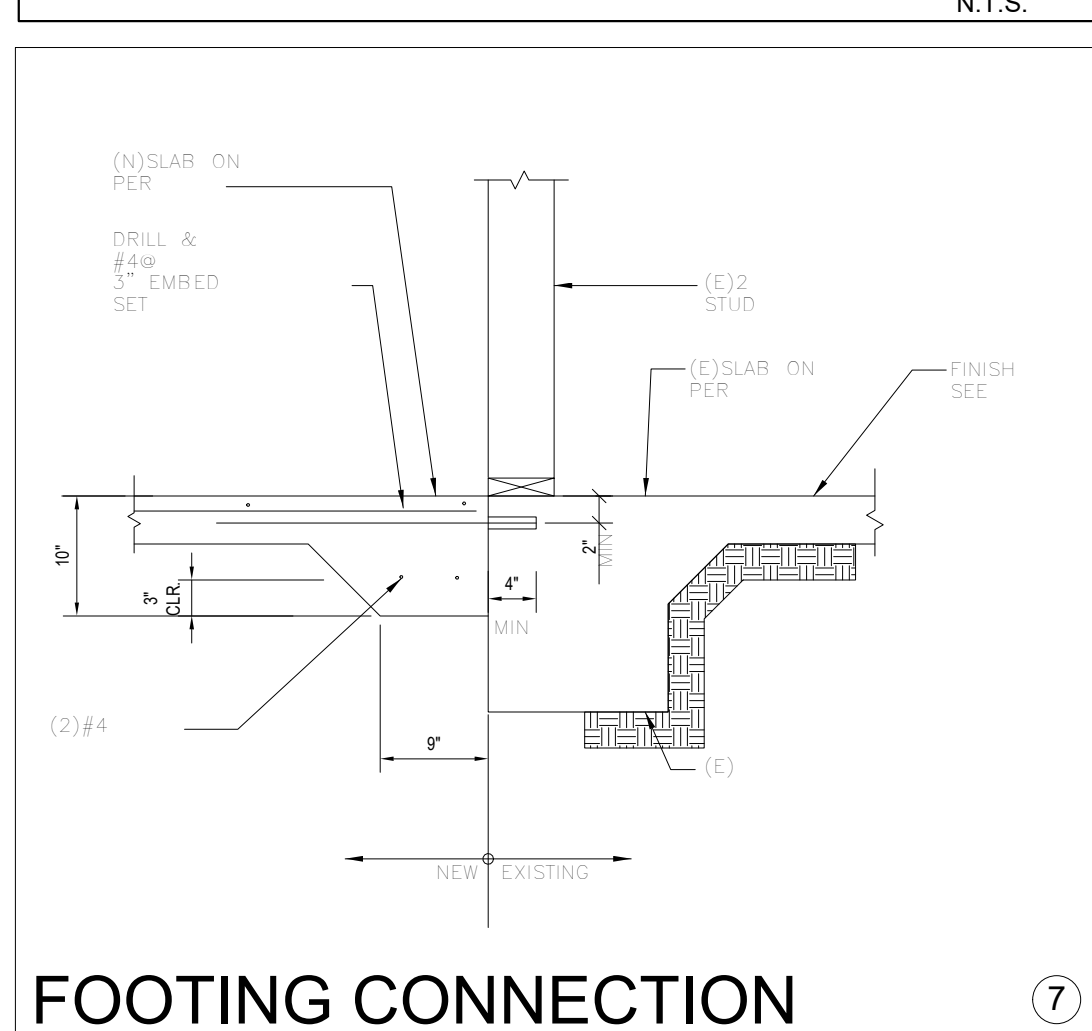
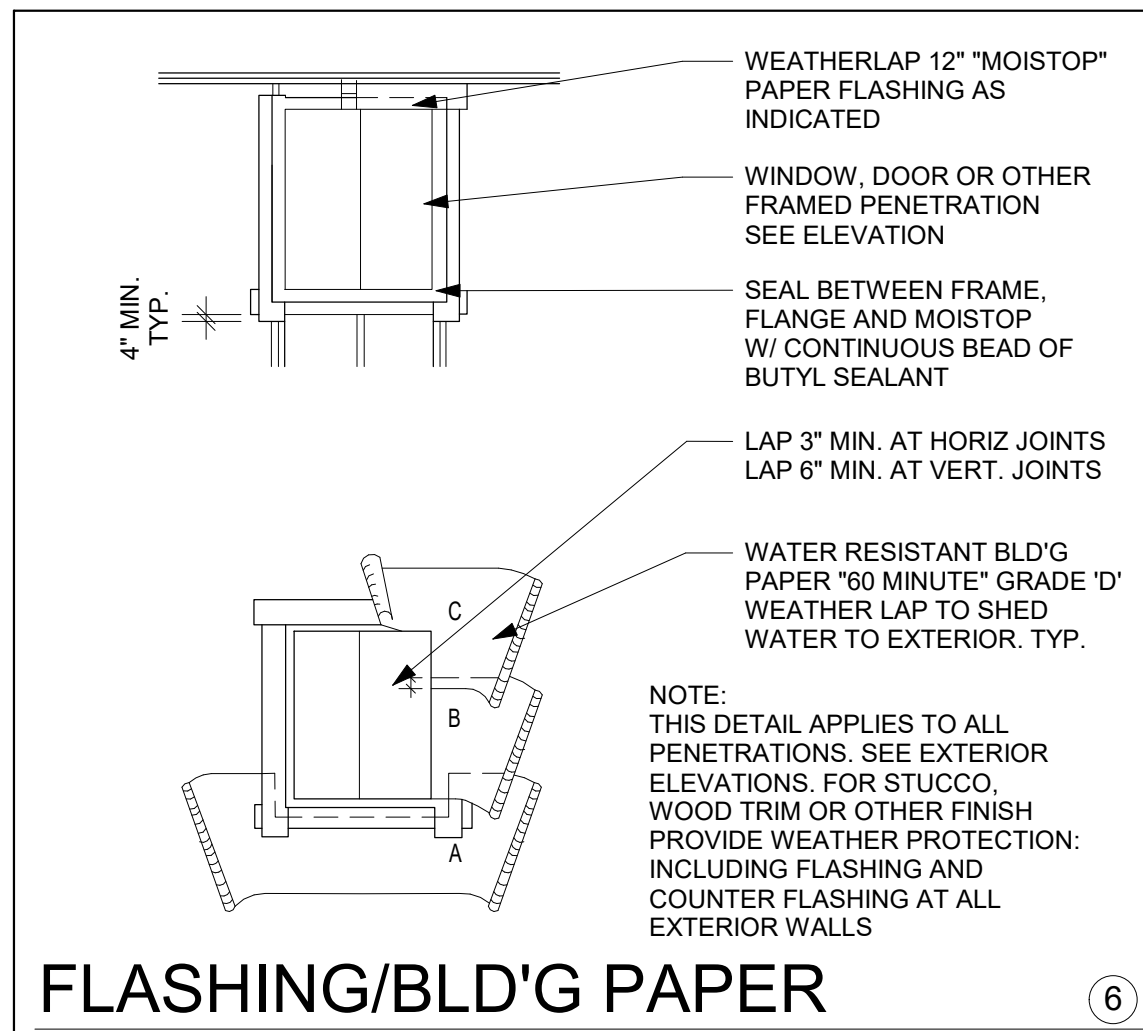
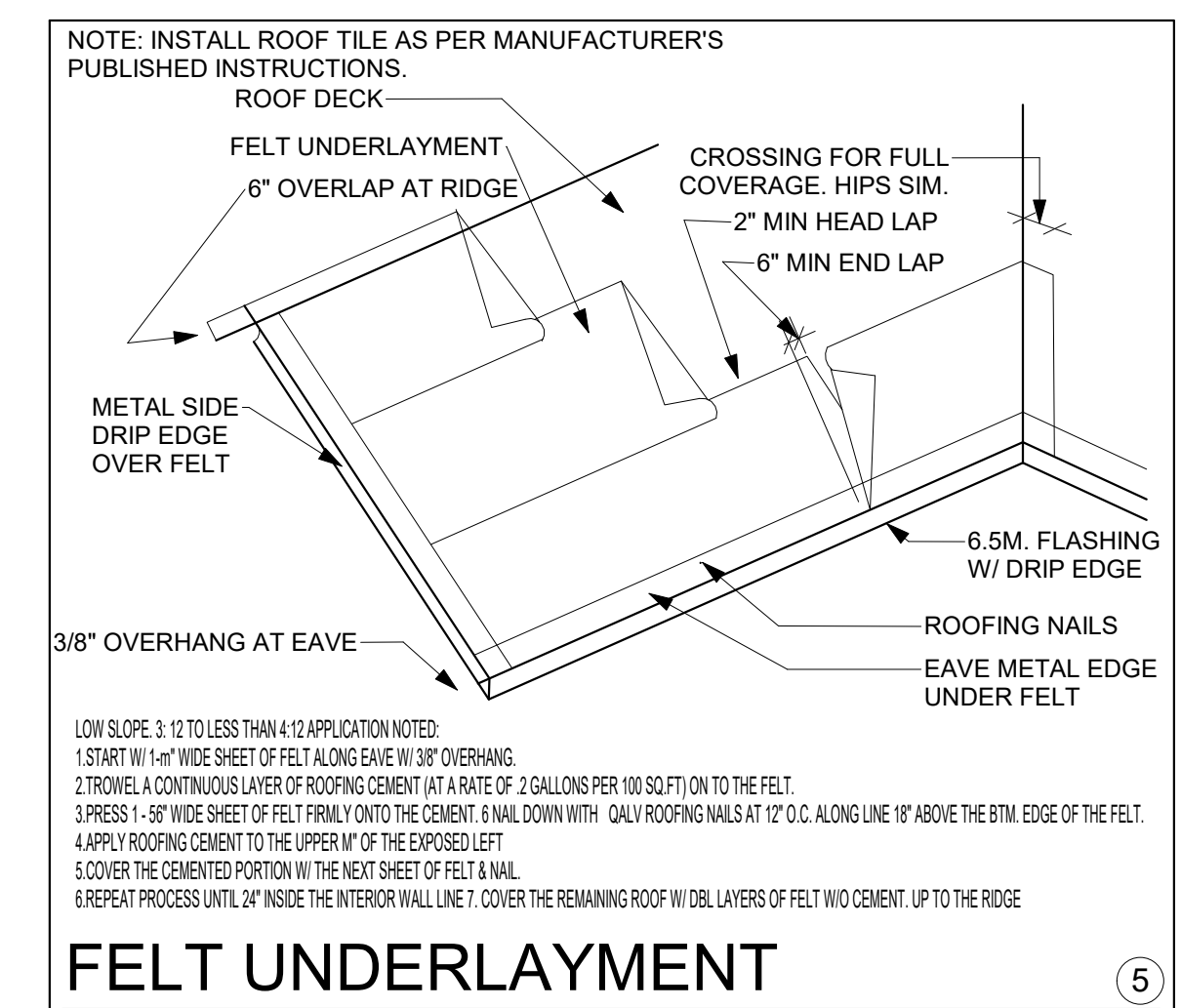
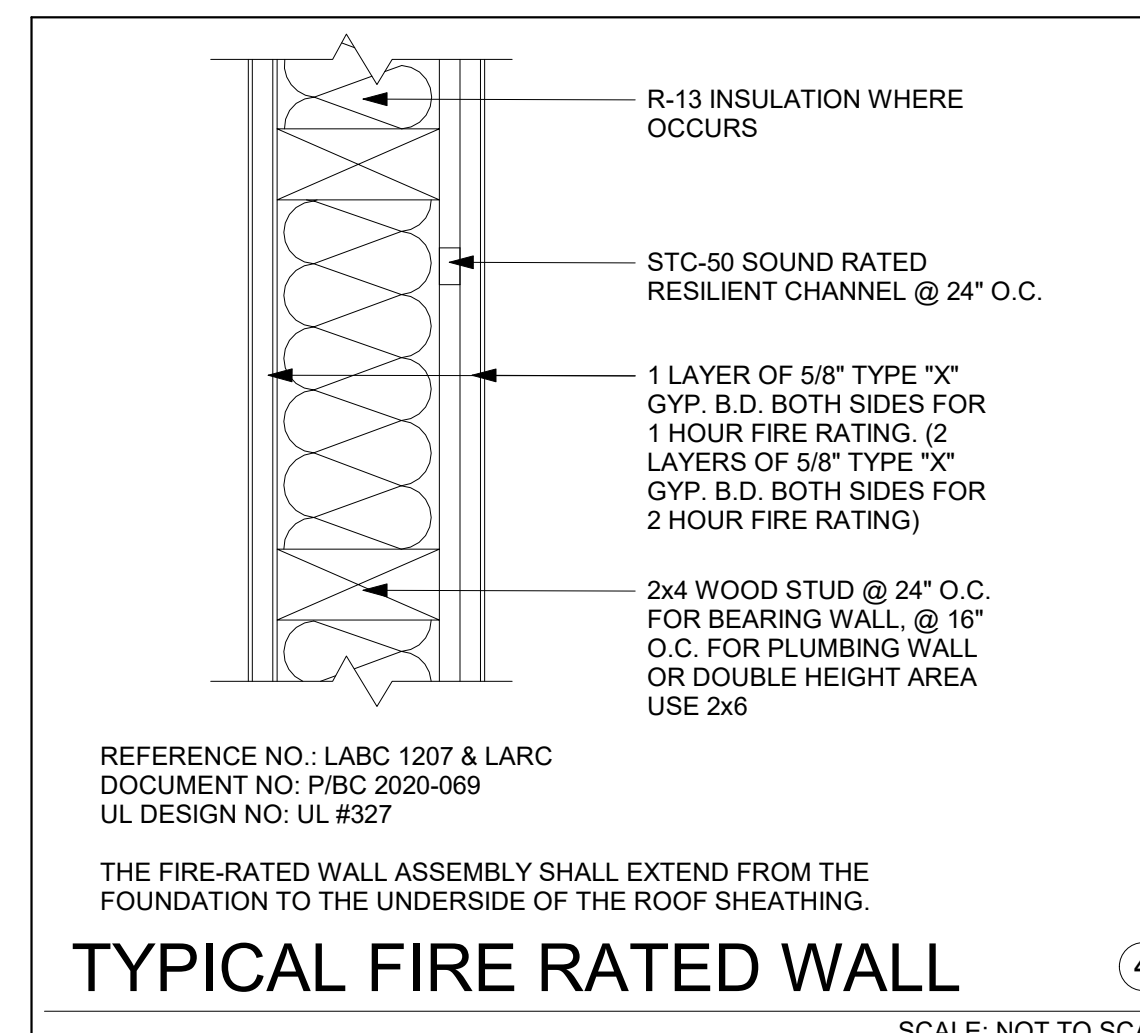
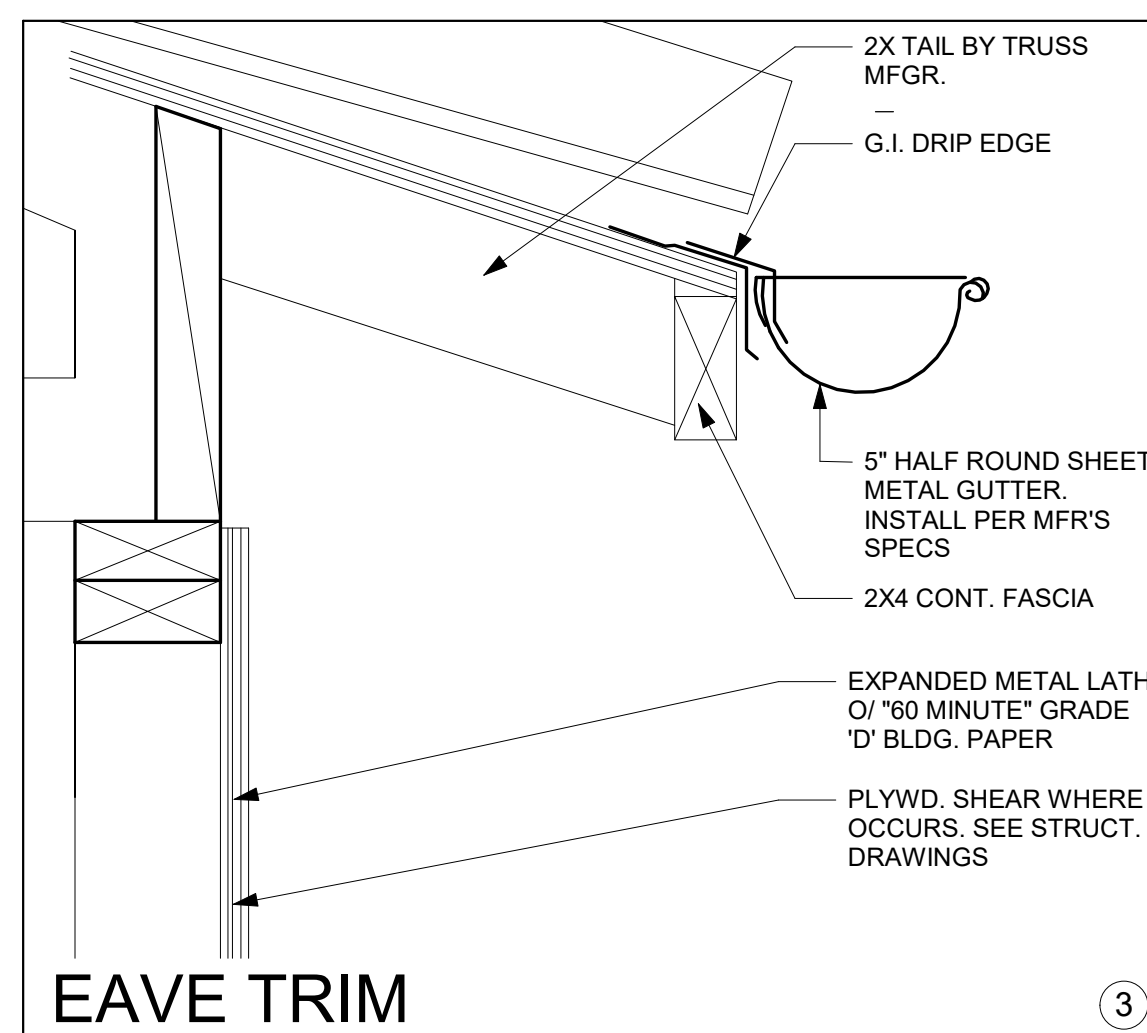
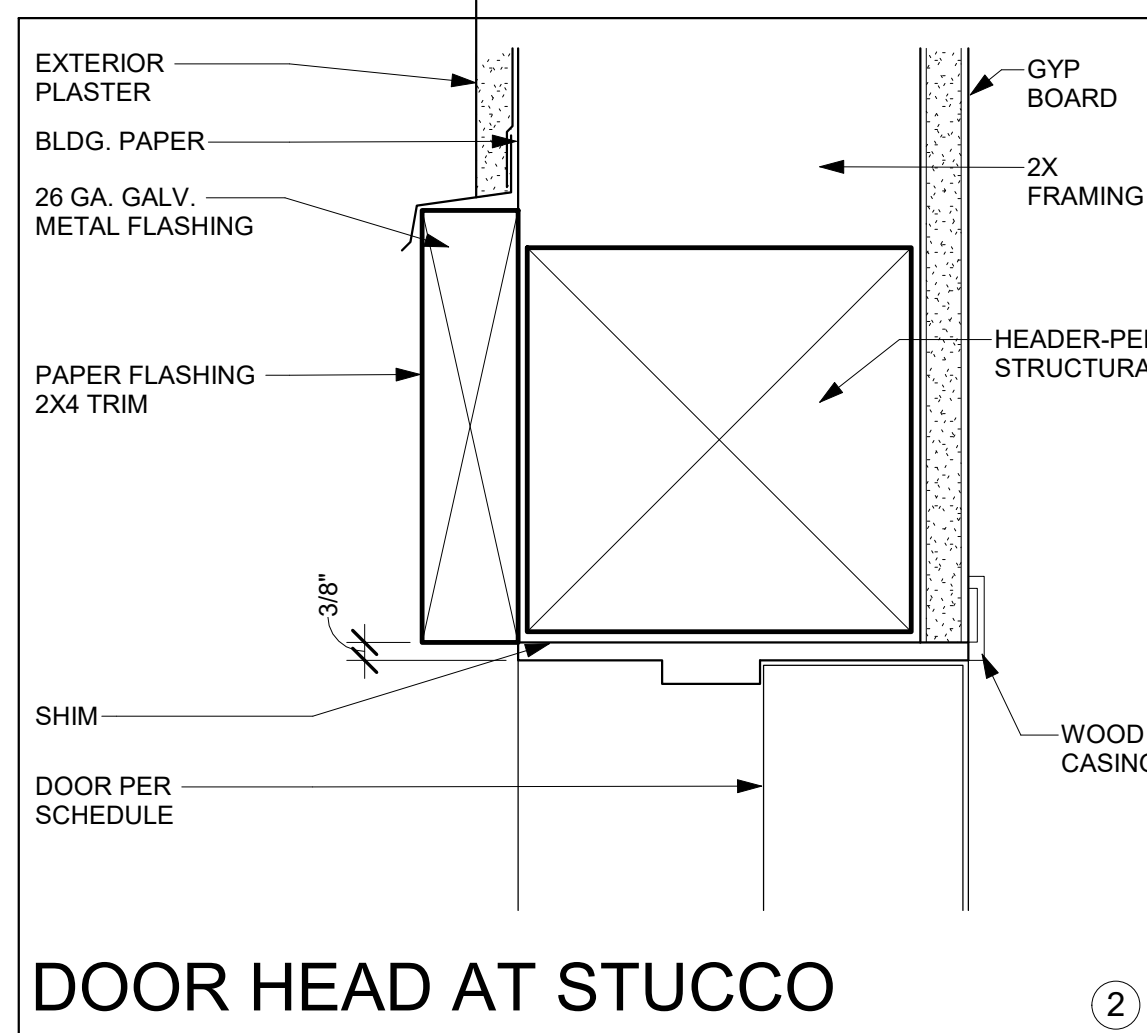
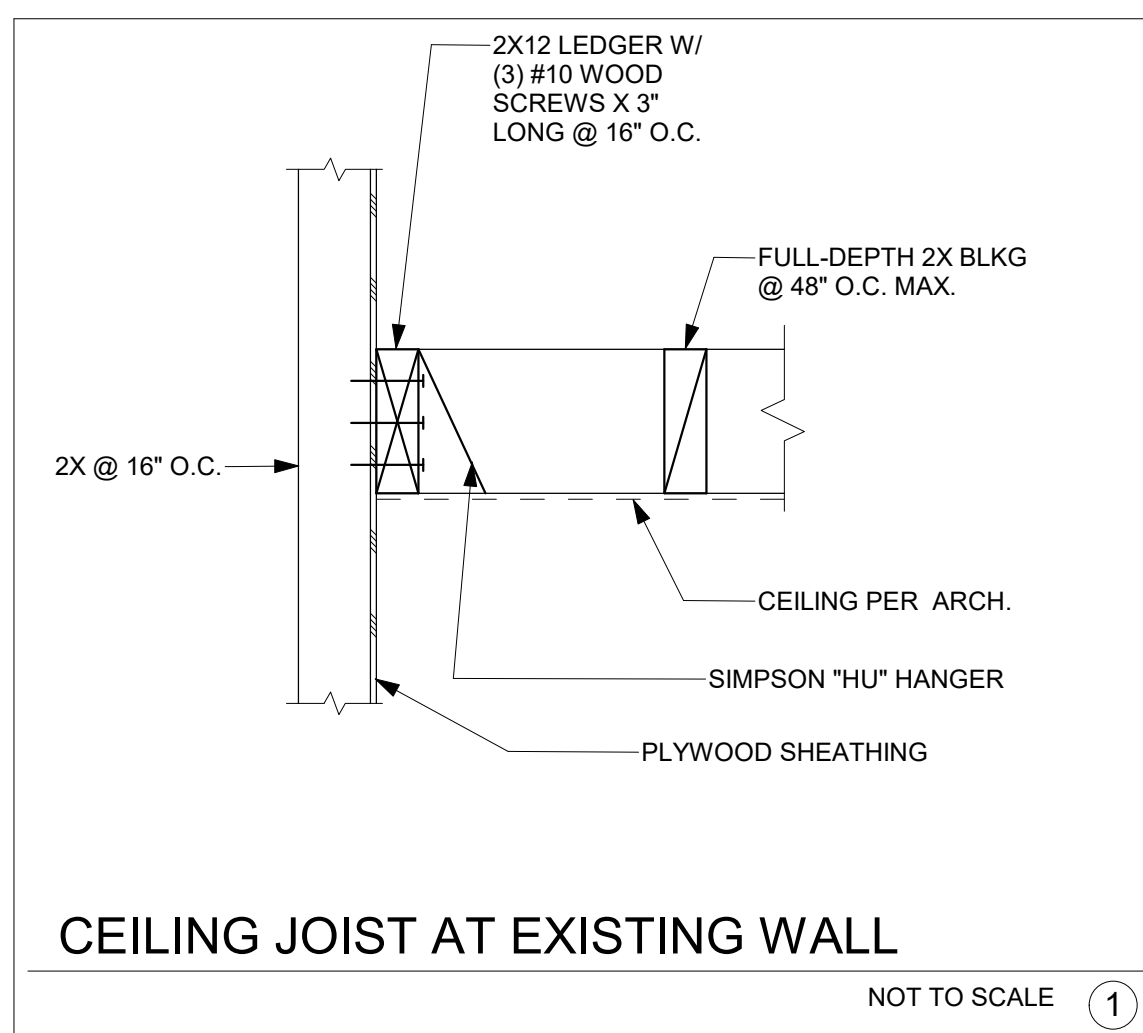
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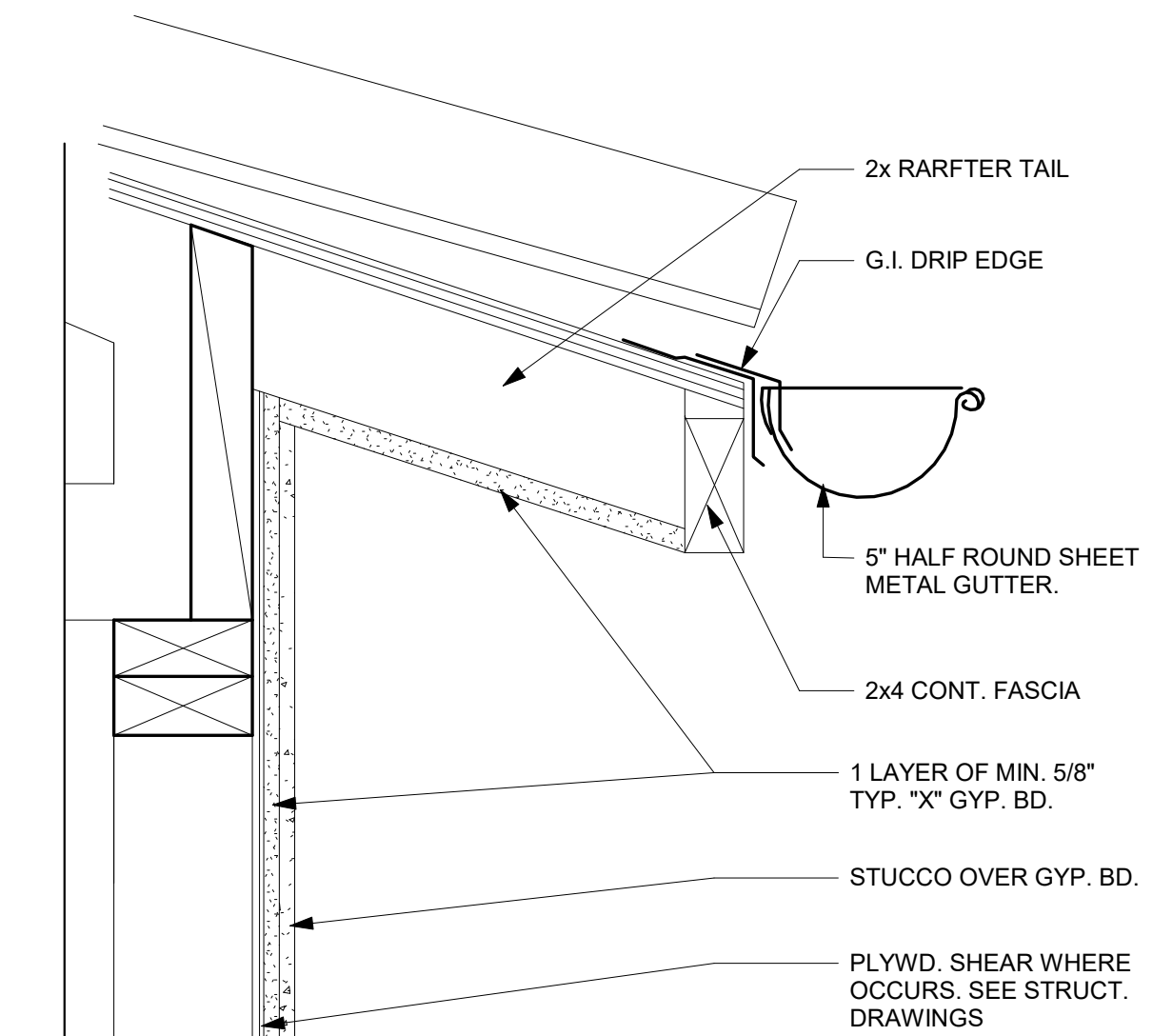
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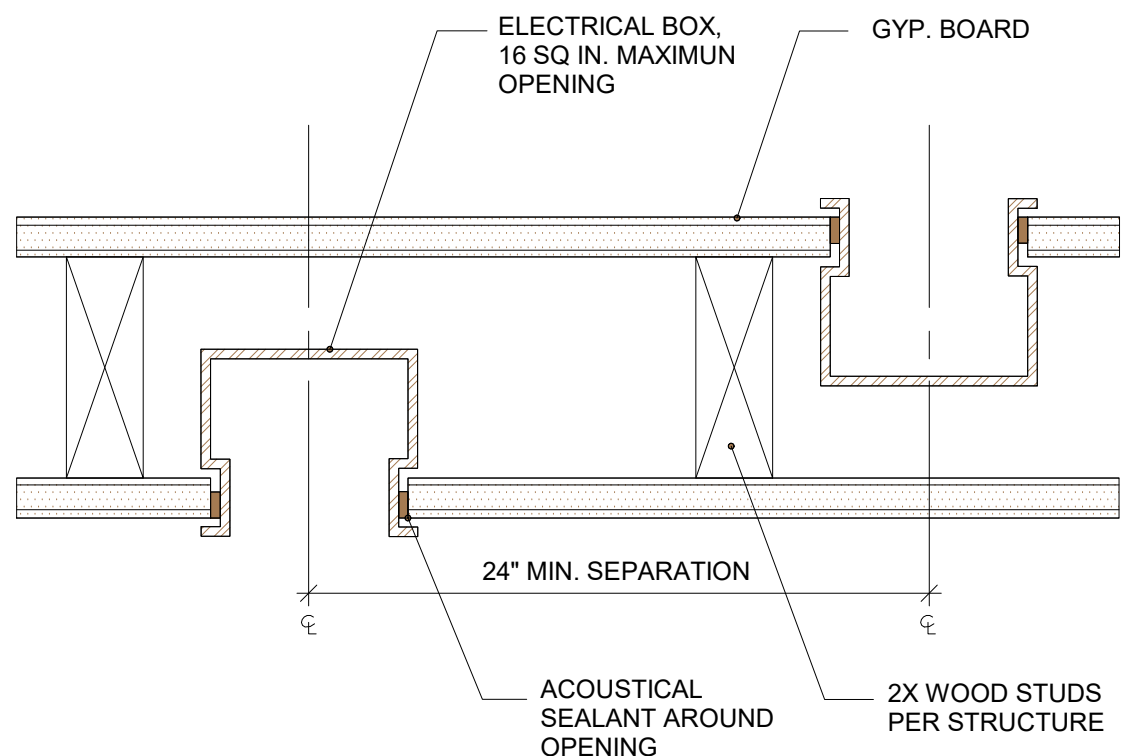
REVISION	1	1ST PLANNING	09/22/2025				
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DAT 01/27/2025		JOB -		DRAWN Author			
SCHEDULE & NOTES							
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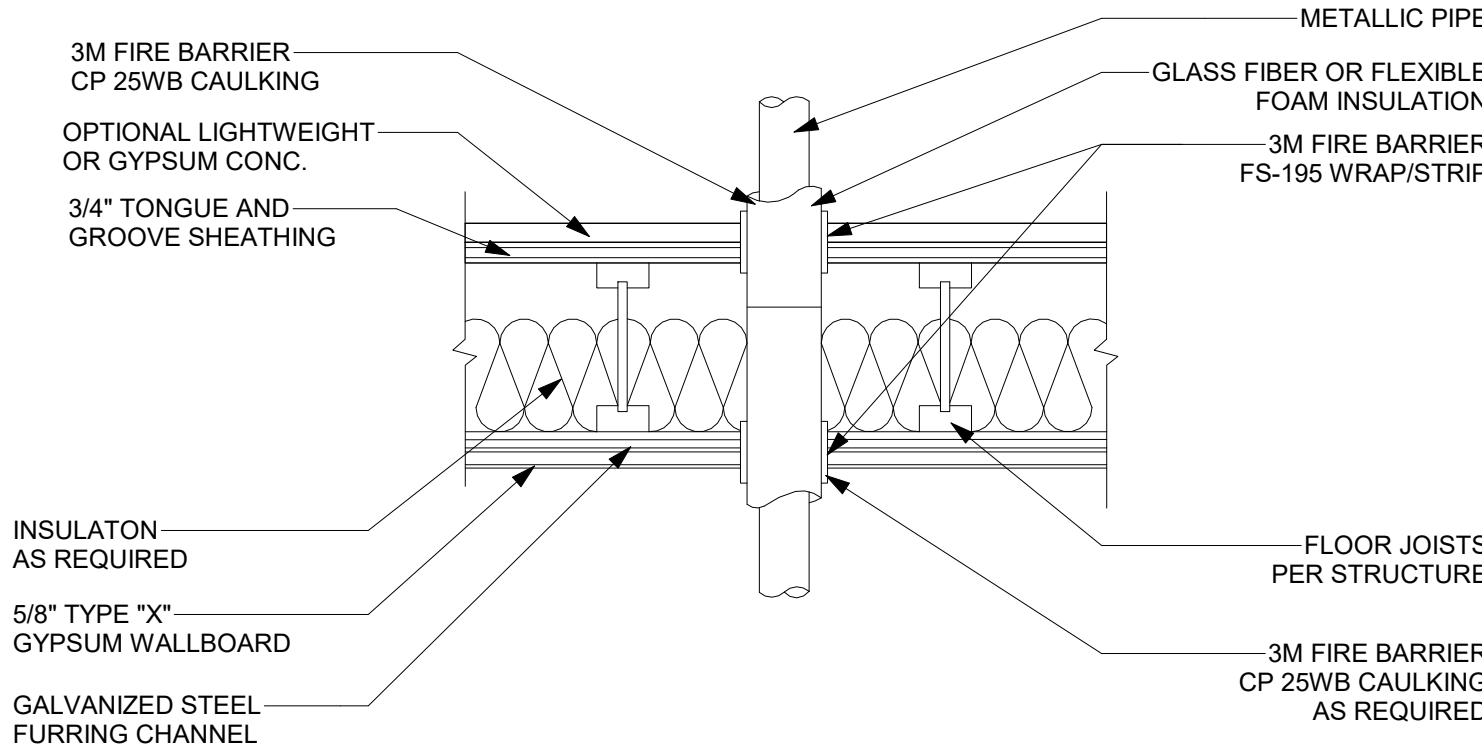




④ 1 HOUR FIRE RATED EAVE
3" = 1'-0"

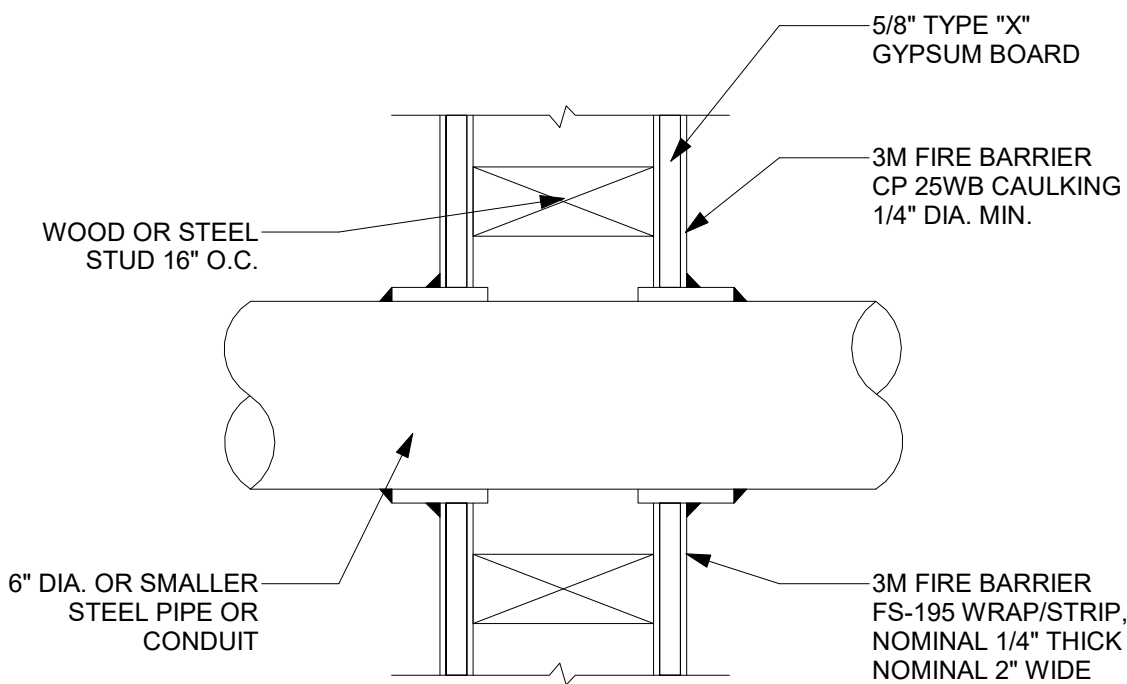


① ELECTRICAL OUTLET
1/4" = 1'-0"



NOTE:
PENETRATION FIRESTOP FOR 4" MAX.DIA INSULATED METAL
PIPE THROUGH A WOOD TRUSS FLOOR/CEILING ASSEMBLY.

② PIPE THRU RATED FLOOR/CEILING
3" = 1'-0"



NOTE:
A MAX. OF ONE PIPE OR CONDUIT IS PERMITTED IN THE FIRESTOP SYSTEM. THE
ANNULAR SPACE BETWEEN THE PIPE OR CONDUIT AND THE CIRCULAR CUTOUT IN
THE GYPSUM WALLBOARD LAYERS ON EACH SIDE OF THE WALL SHALL BE MIN.1/4
INCH TO MAX.3/8 INCH. PIPE OR CONDUIT TO BE INSTALLED NEAR CENTER OF STUD
CAVITY WIDTH AND TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF WALL ASSEMBLY.

③ PIPE THRU RATED WALL
3" = 1'-0"

ALADDIN OUTSOURCING

Engineering & Architectural Consulting
1214 Galemont Avenue, Hacienda Heights, CA 91745
Phone: (626) 400-9937

566 E JEFFERSON DETACHED ADU

566 E JEFFERSON AVE, POMONA, CA

91767

OWNER: XUELIN CHEN

REVISION									

SEAL

DAT	JOB
01/27/2025	-
	DRAWN Author

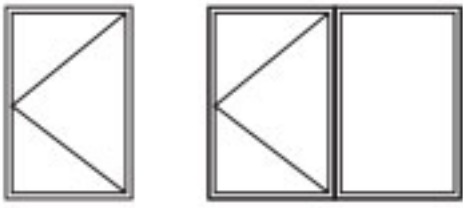
DETAILS

DRAWING

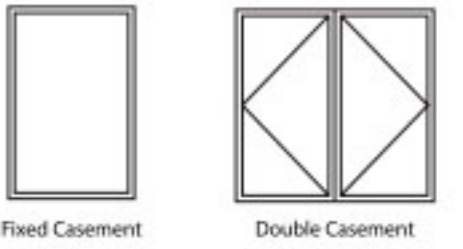
A-3.1

Casement Window

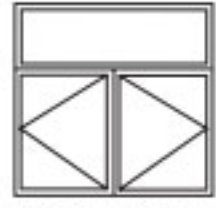
Configurations



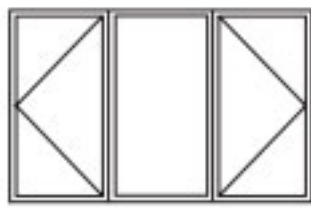
Full Casement Single Casement



Fixed Casement Double Casement



Double bottom Casement



Double Casement/Picture

Minimum/Maximum Sizes

FULL CASEMENT

- Min 1'1"
- Max 3'5" or 2'6"

SINGLE CASEMENT

- Min 3'1"
- Max 6'5" or 5'6"

DOUBLE CASEMENT WITH PICTURE

- Min 4'1"
- Max 12'6" with 30" vent set

- Maximum vent size is 15 square feet
- Minimum egress for casement is 2'13" or 2'4"
- 18" height and width required for rotary hardware

FIXED CASEMENT

- Min 1'1"
- Max 6'6"
-

Available Frame Styles

NO NAIL-ON FIN:

8520T Block Frame

8570T 1-5/8" Narrow Z-Bar (Tuscany only)

8540T 2-1/8" Wide Z-Bar (Tuscany only)

INCLUDES NAIL-ON FIN:

8520T 1-3/8" Nail Fin Setback

8530T 1" Nail Fin Setback with Stucco Key

8540T 1-3/8" Nail Fin Setback, 2" Long Nail Fin

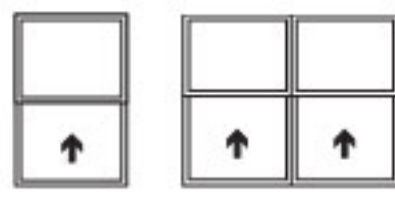
8540T 1-3/8" Nail Fin Setback, 2" Long Nail Fin with optional:

- 3/4" Flat J-channel
- 1" Contoured J-channel
- 2" Brickmold-style J-channel
- Welded Brickmold

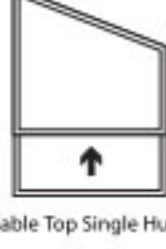
Casement Window — 36

Single Hung Window

Configurations



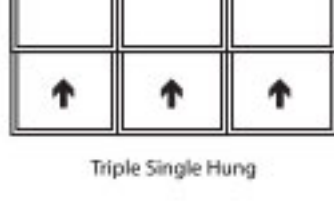
Single Hung Double Single Hung



Gable Top Single Hung



Double Single Hung/Center Lite



Triple Single Hung

Minimum/Maximum Sizes

Single-Hung

- Min 1'2"
- Max 4'6"

Double Single-Hung

- Min 2'2"
- Max 7'6"

Triple Single-Hung

- Min 3'2"
- Max 9'6"

Double Single-Hung with Center Lite

- Min 3'2"
- Max 9'6"

Gable Top Single Hung

- Min 1'2"
- Max 4'6"

Minimum egress is 3'5" with a 30" bar set or 2'6" with a 36" bar set.
SH vent set: 12, 15, 18, 21, 24, 27, 30, 33 or 36.

Available Frame Styles

- 1-3/8" Nail Fin Setback
- 1" Nail Fin Setback with Stucco Key
- 1" Nail Fin Setback with J-Channel
- Contour Z-bar
- Flat Z-bar
- Block Frame (no fin)

Single Hung Window — 64

Tuscany® Series Inswing/Outswing Doors

Standard Size and Egress

Custom sizes also available

Egress Requirements	Min. Width	Min. Height	Min. Sq. Ft.
United States	20"	24"	5.70
Canada	15"	15"	3.77

Operating Style	Size	Rough Opening		Net Size		Clear Opening		Clear Opening Sq. Ft.	Egress Compliance		Glass Size - Vent and Fixed		Total Visible Glass Sq. Ft.
		Width	Height	Width	Height	Width	Height		U.S.	Canada	Width	Height	
Operating Style	Size	Rough Opening		Net Size		Clear Opening		Clear Opening Sq. Ft.	Egress Compliance		Glass Size - Vent and Fixed		Total Visible Glass Sq. Ft.
Two Panel, Single Operable	5' 1" 6' 8"	60 1/2"	80"	60"	79 1/2"	24 5/8"	75 5/16"	12.88	Y	Y	19 1/2"	67 1/8"	16.99
	5' 1" 6' 10"	60 1/2"	82"	60"	81 1/2"	24 5/8"	77 5/16"	13.22	Y	Y	19 1/2"	69 1/8"	17.50
	5' 1" 7' 0"	60 1/2"	84"	60"	83 1/2"	24 5/8"	79 5/16"	13.56	Y	Y	19 1/2"	71 1/8"	18.02
	5' 1" 8' 0"	60 1/2"	96"	60"	95 1/2"	24 5/8"	91 5/16"	15.62	Y	Y	19 1/2"	83 1/8"	21.10
	6' 1" 6' 8"	72 1/2"	80"	72"	79 1/2"	30 5/8"	75 5/16"	16.02	Y	Y	25 1/2"	67 1/8"	22.50
	6' 1" 6' 10"	72 1/2"	82"	72"	81 1/2"	30 5/8"	77 5/16"	16.44	Y	Y	25 1/2"	69 1/8"	23.18
	6' 1" 7' 0"	72 1/2"	84"	72"	83 1/2"	30 5/8"	79 5/16"	16.87	Y	Y	25 1/2"	71 1/8"	23.86
	6' 1" 8' 0"	72 1/2"	96"	72"	95 1/2"	30 5/8"	91 5/16"	19.42	Y	Y	25 1/2"	83 1/8"	27.95

Operating Style	Size	Rough Opening		Net Size		Clear Opening		Clear Opening Sq. Ft.	Egress Compliance		Glass Size - Vent and Fixed		Total Visible Glass Sq. Ft.
		Width	Height	Width	Height	Width	Height		U.S.	Canada	Width	Height	
Two Panel, Two Operable	5' 0" 6' 8"	60"	80"	59 1/2"	79 1/2"	51 3/4"	75 5/16"	27.07	Y	Y	19 1/2"	67 1/8"	16.99
	5' 0" 6' 10"	60"	82"	59 1/2"	81 1/2"	51 3/4"	77 5/16"	27.78	Y	Y	19 1/2"	69 1/8"	17.50
	5' 0" 7' 0"	60"	84"	59 1/2"	83 1/2"	51 3/4"	79 5/16"	28.50	Y	Y	19 1/2"	71 1/8"	18.02
	5' 0" 8' 0"	60"	96"	59 1/2"	95 1/2"	51 3/4"	91 5/16"	32.82	Y	Y	19 1/2"	83 1/8"	21.10
	6' 0" 6' 8"	72"	80"	71 1/2"	79 1/2"	63 3/4"	75 5/16"	33.34	Y	Y	25 1/2"	67 1/8"	22.50
	6' 0" 6' 10"	72"	82"	71 1/2"	81 1/2"	63 3/4"	77 5/16"	34.23	Y	Y	25 1/2"	69 1/8"	23.18
	6' 0" 7' 0"	72"	84"	71 1/2"	83 1/2"	63 3/4"	79 5/16"	35.11	Y	Y	25 1/2"	71 1/8"	23.86
	6' 0" 8' 0"	72"	96"	71 1/2"	95 1/2"	63 3/4"	91 5/16"	40.42	Y	Y	25 1/2"	83 1/8"	27.95

File Name: Tuscany IS-OS Doors_Size Chart

Due to continual product research and development, details listed are subject to change at any time.

NOTE: For engineering approval contact your Milgard representative for any configuration over 40 square feet. Each Milgard Manufacturing plant reserves the right to alter or change sizes and configurations according to location capabilities. Ask your Milgard rep about specialty applications. Windows over 40 square feet shipped open for field glazing. Varies by location.

Not all frame styles available at all Milgard locations. Contact your Milgard Representative for more information.

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Not all frame styles available at all Milgard locations. Contact your Milgard Representative for more information.

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Exclusive

Krosswood Doors

36 in. x 80 in. Craftsman Right Hand 6-Lite Grey Stain Hemlock Prehung Front Door

★★★★☆ (16) Questions & Answers (19)

- Modern wood front door, supports most keyless smart lock devices
- Craftsman style door features 6 Low-E clear glass window panes
- Overhang required for all wood doors, see warranty for details
- [View More Details](#)

Color/Finish: **Grey Stain**



Common Door Size (WxH) in.: **36 x 80**

36 x 80 36 x 96

566 E JEFFERSON DETACHED ADU

REVISION	DATE	DESCRIPTION	BY	CHECKED	DATE
1	09/22/2025	1ST PLANNING			

SEAL

DAT	JOB
09/24/25	-
	DRAWN
	Author

SPEC SHEET

DRAWING

A-4.0

ALADDIN OUTSOURCING
Engineering & Architectural Consulting
1214 Galemont Avenue, Hacienda Heights, CA 91745
Phone: (626) 400-9937

566 E JEFFERSON AVE, POMONA, CA 91767

OWNER: XUELIN CHEN