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SCOPE OF WORK  
 372.6 SQ F EXISTING GARAGE TO BE CONVERTED INTO NEW ADU. WITH A NEW  
 228.25 SQ FT ADDITION WITH A TOTAL OF 600.85 SQ FT. NEW ADU IS CONFORMED  
 WITH 1 BEDROOM, 1 BATHROOM, OPEN KITCHEN & LIVING-DINNING AREA.  
 NEW 20 SQ FT ENTRY PORCH

PLANNING AND ZONING  
 OCCUPANCY GROUP R3  
 TYPE OF CONSTRUCTION TYPE V-B  
 ZONING: R-1-7, 200 SINGLE FAMILY RESIDENTIAL  
 HISTORIC DISTRICT: WILTON HEIGHTS HISTORIC DISTRICT  
 PRIMARY HOME YEAR BUILT: 1921  
 PRIMARY HOME ARCHITECTURAL STYLE: CRAFTSMAN BUNGALOW  
 NUMBER OF UNITS 2  
 FIRE SPRINKLERS NO  
 HEIGHT OF BUILDING (N) ONE STORY  
 LOT AREA 9298.84 SQ.FT.

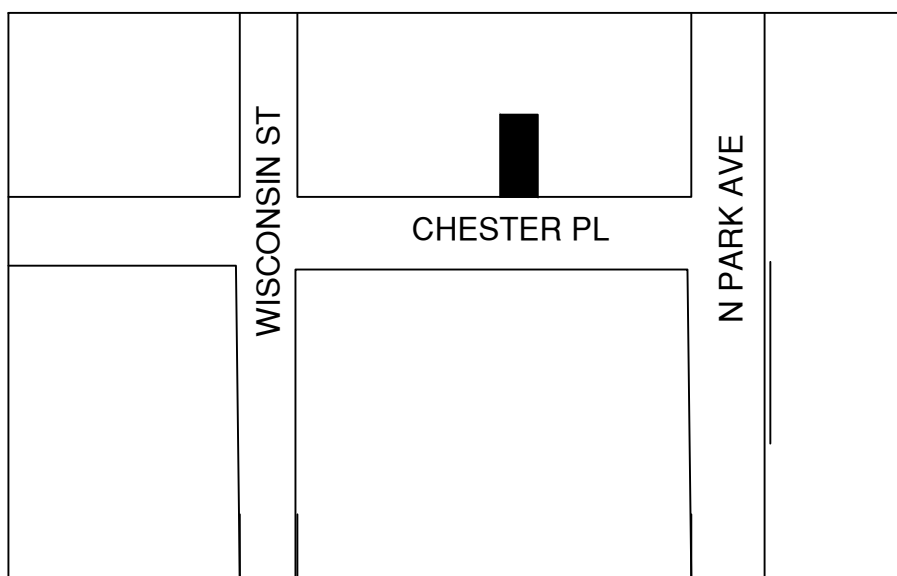
AREA CALCULATION		
(E) DWELLING	1,742	SQ FT
(E) ENTRY PORCH	120	SQ FT
(N) ADU	600.85	SQ FT
(N) ENTRY PORCH	20	SQ FT
TOTAL LOT COVERAGE	26.70	%

LANDSCAPING:		
(E) DWELLING	1,742	SQ FT
(E) ENTRY PORCH	120	SQ FT
(N) ADU (GARAGE & ADDITION)	600.85	SQ FT
(N) ENTRY PORCH	20	SQ FT
(E) IMPERVIOUS SURFACE AREA	2,000	SQ FT
TOTAL LOT COVERAGE	48.28	%
LANDSCAPING	51.72	%

The issuance of a permit shall not prevent the building official from requiring the correction of errors on these plans or from preventing any violation of the Codes adopted by the City, relevant laws, ordinances, rules and/or regulations. Separate permit shall first be obtained from the City Public Works Department prior to placement of any construction materials or equipment in the public way. Projects requiring CALGreen code compliance must recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with the CALGreen Code Sections 4.408.1 and 5.408.1. All noncompliant plumbing fixtures shall be replaced with water-conserving plumbing fixture prior to final inspection. Due to the possible presence of lead-based paint, lead-safe work practices are required for all repairs that disturb paint in pre-1979 buildings. Failure to do so could create lead hazards that violate California Health & Safety Code, Sections 17920.10 and 105256 with potential fines for violations up to \$5,000 Section (d) amended) or imprisonment for not more than 6 months in the County jail or both.

ALL WORKS SHALL COMPLY WITH THE FOLLOWING CODES:  
 2019 COUNTY OF LOS ANGELES BUILDING CODE  
 2019 COUNTY OF LOS ANGELES RESIDENTIAL CODES.  
 2019 COUNTY OF LOS ANGELES MECHANICAL CODES.  
 2019 COUNTY OF LOS ANGELES PLUMBING CODES.  
 2019 COUNTY OF LOS ANGELES ELECTRICAL CODES.  
 2019 CALIFORNIA GREEN BUILDING CODES.  
 2019 CALIFORNIA ENERGY CODES.  
 CITY OF UPLAND MUNICIPAL CODE

South Coast Air Quality Management District  
 SCAQMD shall be notified in accordance with California State Law prior to start of any demolition, addition, and/or remodel work. The South Coast Air Quality Management District Office is located at 21865 Copley Drive in Diamond Bar, Phone No. 909 396 2000. Be advised, SCAQMD may require a 10 day wait period prior to start of work.

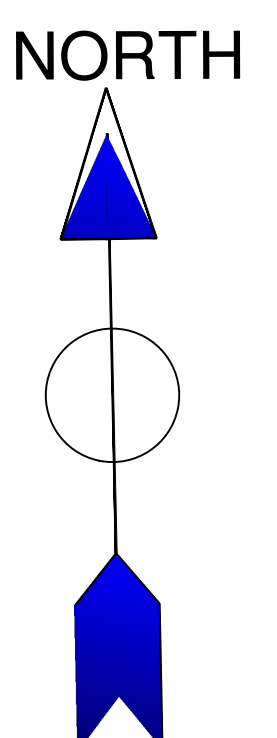


VICINITY MAP

N.T.S

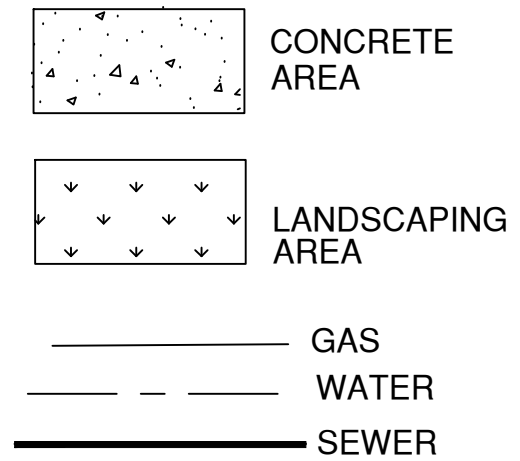
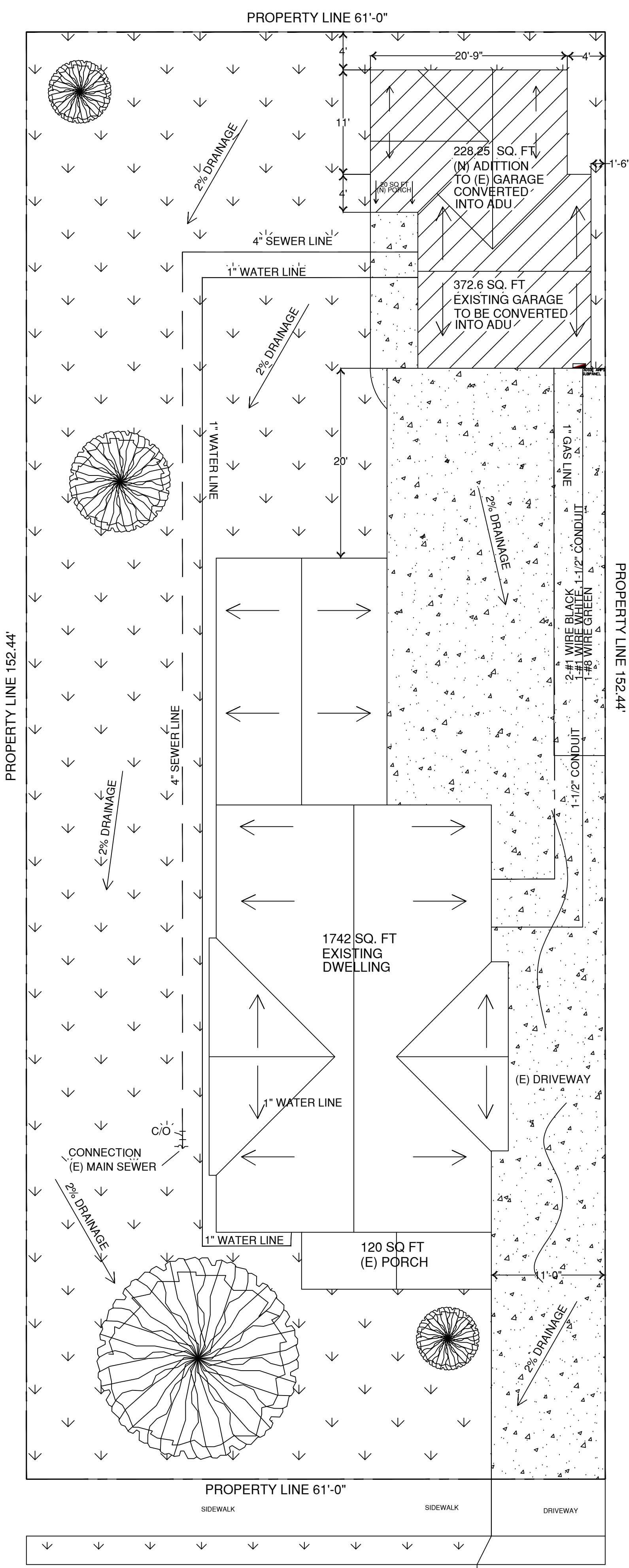
The building shall have address numbers placed in a position that is plainly legible and visible from the street or road fronting the property. Numbers shall contrast with background, be Arabic or alphabetical letters and be a minimum of 4 high with a minimum stroke of 1/2. See CRC Section R319.1 CRC for specific details.

Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind. Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.



PLOT PLAN

1/8" = 1'-0"



FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF 10 FT

The sewer line for the approved ADU must connect to the Main Lateral Sewer Line PRIOR to the connection of the Main Residence.

AIN: 8340-011-005

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SHEET 1 OF 7

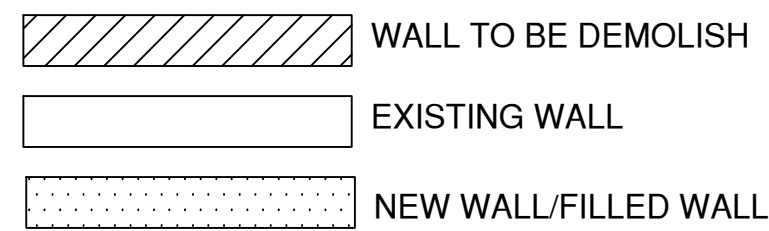
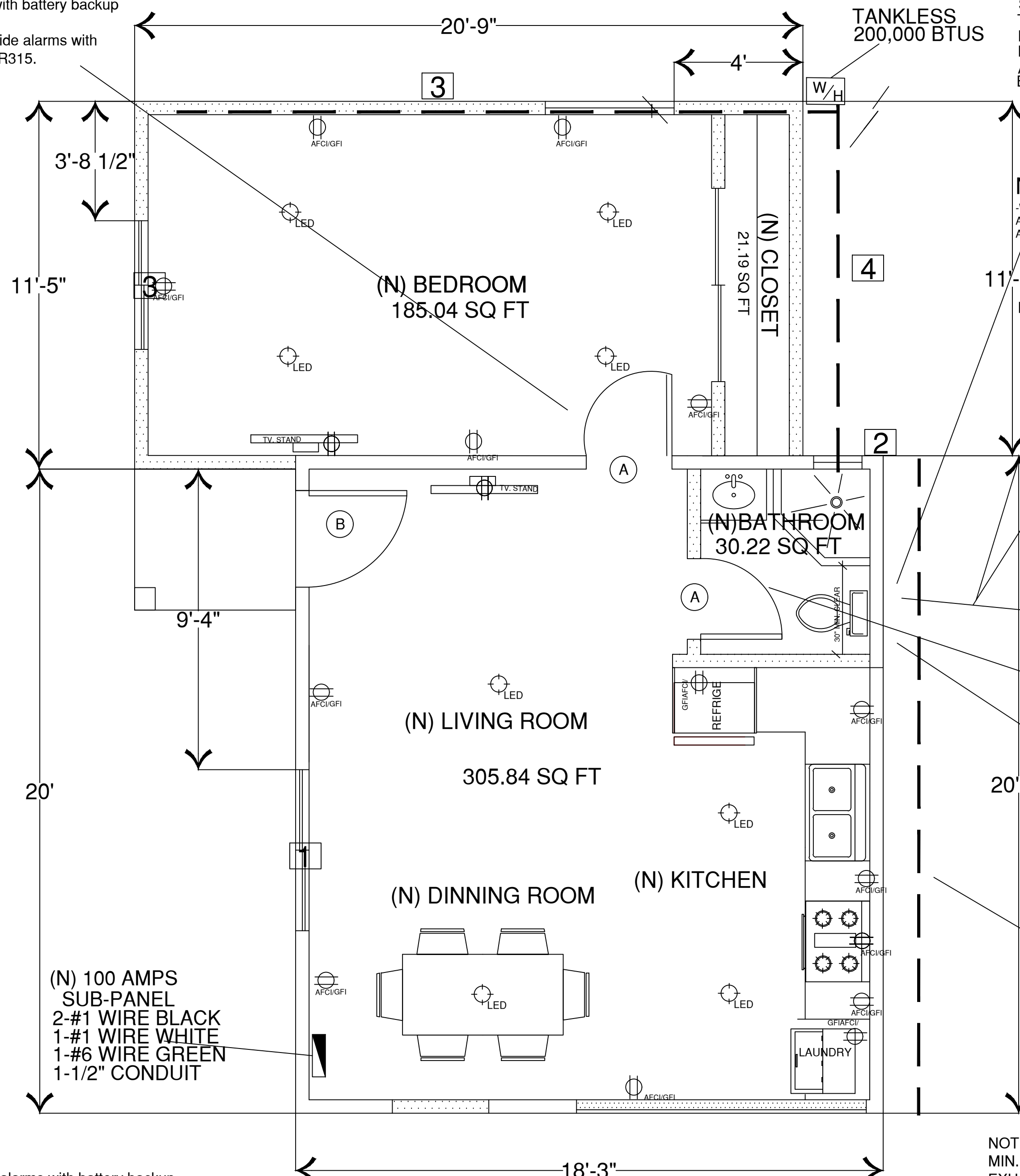
A1

Interconnected, hard-wired smoke alarms with battery backup shall be installed per CRC R314.  
 - Interconnected, hard-wired carbon monoxide alarms with battery back-up shall be installed per CRC R315.

**NOTE:**  
 NEW FANS SHOULD COMPLY W/BLDING GREEN CODES SHOULD BE "ENERGY STAR" COMPLIANT AND BE DUCTED TO THE OUTSIDE OF THE BUILDING.  
 FANS, NOT FUNCTIONING AS A COMPONENT OF THE WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL BE SEPARATE SWITCHED FROM LIGHTING SYSTEM.

**NOTES :**  
 -WALLS COVERING SHALL BE CEMENT PASTER, TILE OR APPROVED EQUAL TO 72 INCHESD ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS. MATERIAL OTHER THAN STRUCTURAL ELEMENTS ARE TO BE MOISTURE RESISTANT. [CRC R307.2]  
 NOTE:  
 ALL GLAZING LESS THAN 60" ABOVE A SHOWER OR TUB FLOOR AND WITHIN 60" HORIZONTALLY FROM FIXTURE'S WATER EDGE SHALL BE SAFETY GLAZING. [CRC R308.4,ITEM5]  
 Cement, fiber-cement, fiber-mat reinforced cement, glass mat gypsum or fiber-reinforced gypsum backers shall be used as a base for wall tile in tub and shower areas in accordance with CRC Section R702.4.2 CRC.  
 Anti-scalding or thermostatic mixing valves are required at showers and tub/shower combinations.  
 -A VACANCY SENSOR SWITCH IS REQUIRED TO CONTROL LIGHT IN A BATHROOM.  
 -NET AREA OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 1,024 SQ. IN. OF FLOOR AREA AND ENCOMPASS 30 INCH DIAMETER DIAMETER CIRCLE. [CRC R307.1 AND CPC 408.6] ARE TO BE MOISTURE RESISTANT. [CRC R307.2]  
 All hose bibs must be protected by an anti siphon device complying with CPC Section 603.  
 1-HR FIRE RATED WALL  
 5/8" STUCCO FINISH  
 OUTSIDE AND 5/8" DRYWALL TYPE X INSIDE

**NOTE:**  
 MIN. 100 CFM KITCHEN EXHAUST FAN TO BE VENT TO OUTSIDE AND PRODUCE A MAX. OF 3 SONES. WITH SEPARATE CIRCUIT BRAKER



**NOTE :**  
 A)ALL BRANCH CIRCUITS THATS SUPPLY 120 V SINGLE PHASE 15 & 20 AMPS, DEVICES, FIXTURES & OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINNING, KITCHEN, LAUNDRY ROOMS, LIVING ROOMS, RECREATION ROOMS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, PARLORS ,CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI) COMBINATION TYPE. [CEC 210.12 (A)]

B)IN ALL AREAS SPECIFIED IN SECTION 210.52, ALL NON-LOCKING 125-VOLT, 15- AND 20-AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. CEC 406.12

C) ALL NEW LIGHTING IN NOW REQUIRED TO BE HIGH EFFICACY. ALL RECOGNIZED HIGH EFFICACY LIGHT FIXTURES ARE TO BE CERTIFIED "JAB" WITH THE ENERGY COMISSION, AND HAVE COMPLIANT CONTROLS.

D)PROVIDE (2) DEDICATED 20 AMP SMALL APPLIANCE CIRCUITS. SHALL PROVIDED TO SERVE THE KITKYEN COUNTERTOP RECEPTACLES, KITCHEN COUNTERTOP PLUG OUTLETS SHALL BE GFCI PROTECTED, AND LOCATED SO THAT NO AREA ALONG COUNTERTOP WALL LINEIS FUTHER THAN 2 FEET FROM AN OUTLET.

E)A DEDICATED 20 AMP RATED CIRCUIT SHALL BE RUN TO THE BATHROOM PLUG OUTLETS. ALL PLUG OUTLETS IN THE BATHROOM SHALL BE GFCI PROTECTED, AND AT LEAST ONE OUTLET SHALL BE WITH 3 FEET OF EACH LAVATORY. FUTHER THAN 2 FEET FROM AN OUTLET.

F)AT BATHROOMS, PROVIDE A 50 CFM EXHAUST FAN, 3 SONE SOUND RATING MAXIMUM, HUMIDISTAT CONTROLLED, VENTED TO THE EXTERIOR TO SERVE THE TUB, SHOWER AREA,

G)THE KITCHEN SHALL BE PROVIDED WITH THE EXHAUST FAN VENTED TO THE EXTERIOR. MINIMUM EXHAUST RATE SHALL BE 100CFM. CMC TABLE 403.7, ASHRAE 62.1

Interconnected, hard-wired smoke alarms with battery backup shall be installed per CRC R314.  
 - Interconnected, hard-wired carbon monoxide alarms with battery back-up shall be installed per CRC R315.

**ELECTRICAL SYMBOL LEGEND**

- SMOKE DETECTOR, CARBON MONOXIDE ALARM
- LED CEILING LIGHT
- WALL SWITCH
- 3-WAY SWITCH
- EXHAUST FAN
- MOTION SENSOR
- HUMID SENSOR SWITCH
- WALL MOUNTED LIGHT FIXTURE DUSK TO DAWN WITH PHOTOCELL
- WALL OUTLET WITH AFCI PROTECTION
- WALL OUTLET GROUND FAULT PROTECTED
- WALL OUTLET 240 V
- WALL OUTLET GROUND FAULT PROTECTED /ARCH FAULT CIRCUIT INTERRUPTER
- WALL OUTLET GROUND FAULT PROTECTED WATERPROOF

**ADU FLOOR PLAN**

3/8" = 1'-0"

Projects requiring CALGreen code compliance must recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with the CALGreen Code Sections 4.408.1 and 5.408.1.

The NFRC temporary label displayed on windows must remain on the unit until final inspection has been completed .

WINDOW SCHEDULE	
1	(N)60"x48" WHITE WOOD SLID. DBL GL. INSULATED O/X
2	(N)18"x36" WHITE WOOD SINGLE HUNG DBL GL. OBSCURE
3	(N)48"x48"WHITE WOOD SINGLE HUNG DBL GL. INSULATED O/X
4	(N)36"x36"WHITE WOOD SINGLE HUNG DBL GL. INSULATED O/X

MIN. U-FACTOR = 0.30 AND SHGC 0.23 & INSECT SCREEN

DOOR SCHEDULE	
A	32"x80" HOLLOW CORE
B	36"x80" SOLID CORE EXT I HR FIRE RATED CRAFTSMAN MADE TO MATCH EXISTING HOUSE

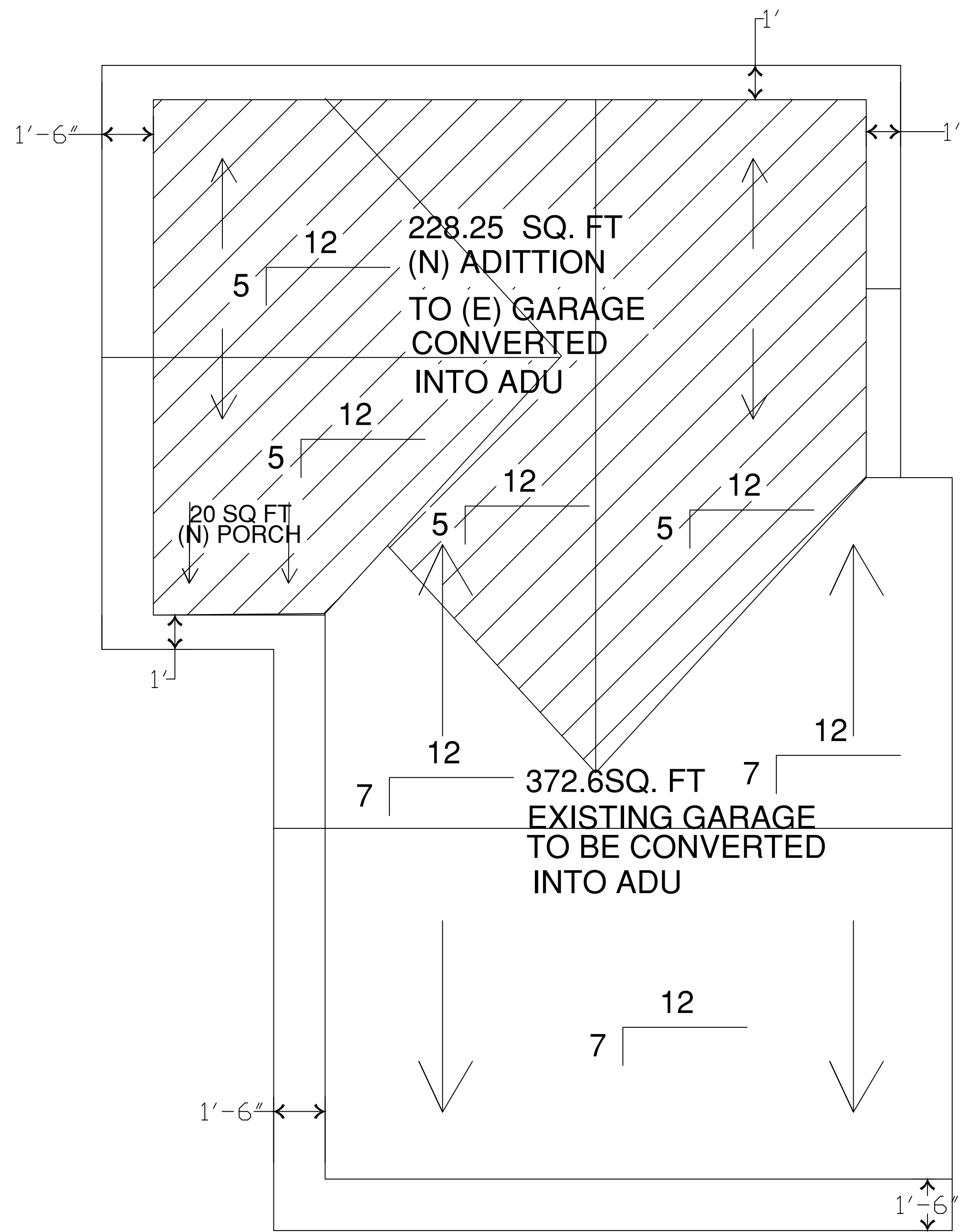
basements, habitable attics and every sleeping room shall have at least one operable emergency escape and rescue opening having a minimum net clear opening of 5.7 square feet except for grade floor openings shall have a minimum net clear opening of 5 sq.ft. The min. net clear opening height shall be 24 in. widthshall be 20 inches min. and bottom of the clear opening shall be not greater than 44 inches measured from the floor

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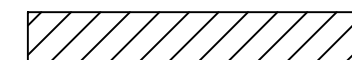


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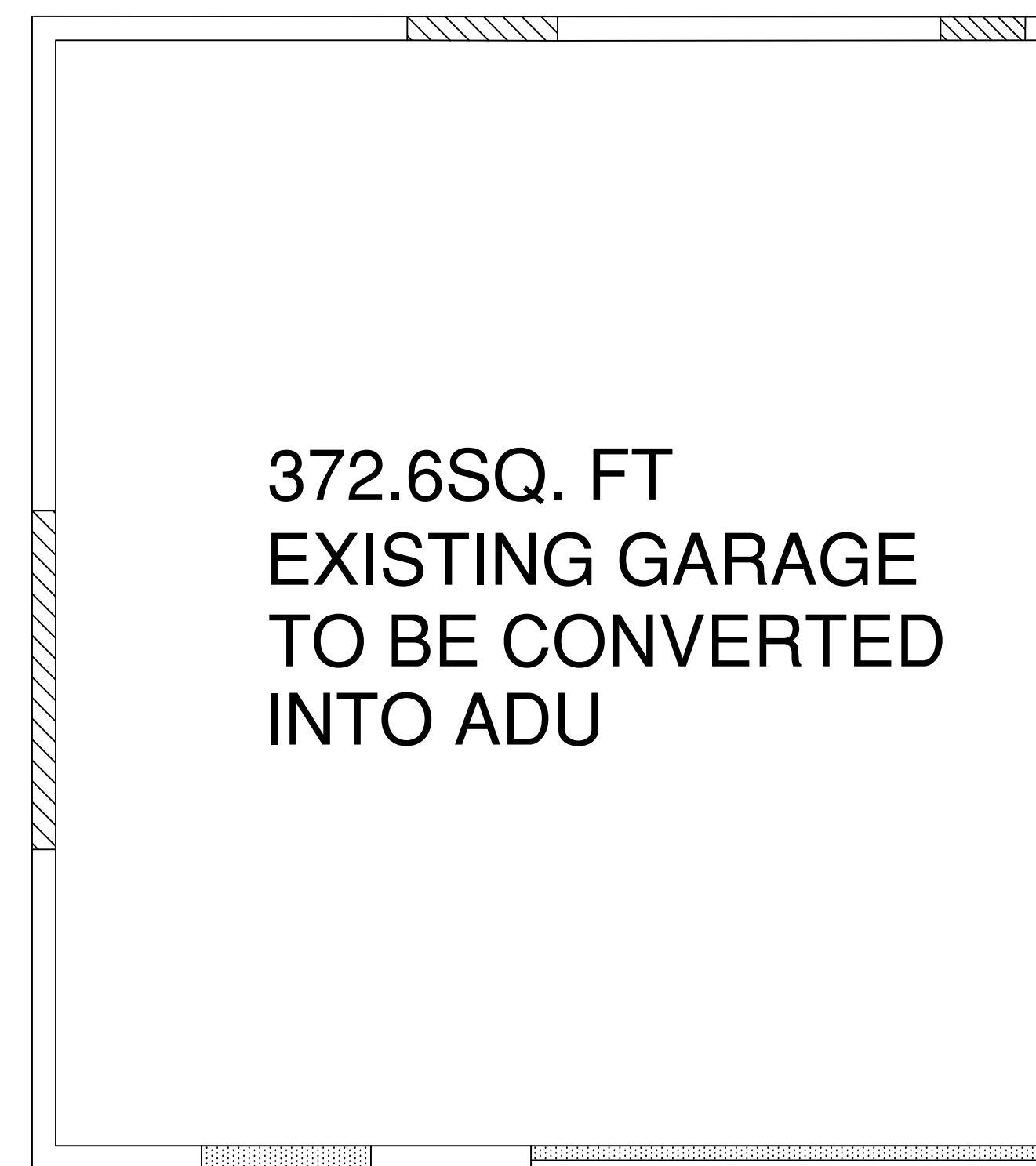
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**A4**



**ROOF PLAN**  
3/8" = 1'-0"

-  WALL TO BE DEMOLISH
-  EXISTING WALL
-  NEW WALL/FILLED WALL

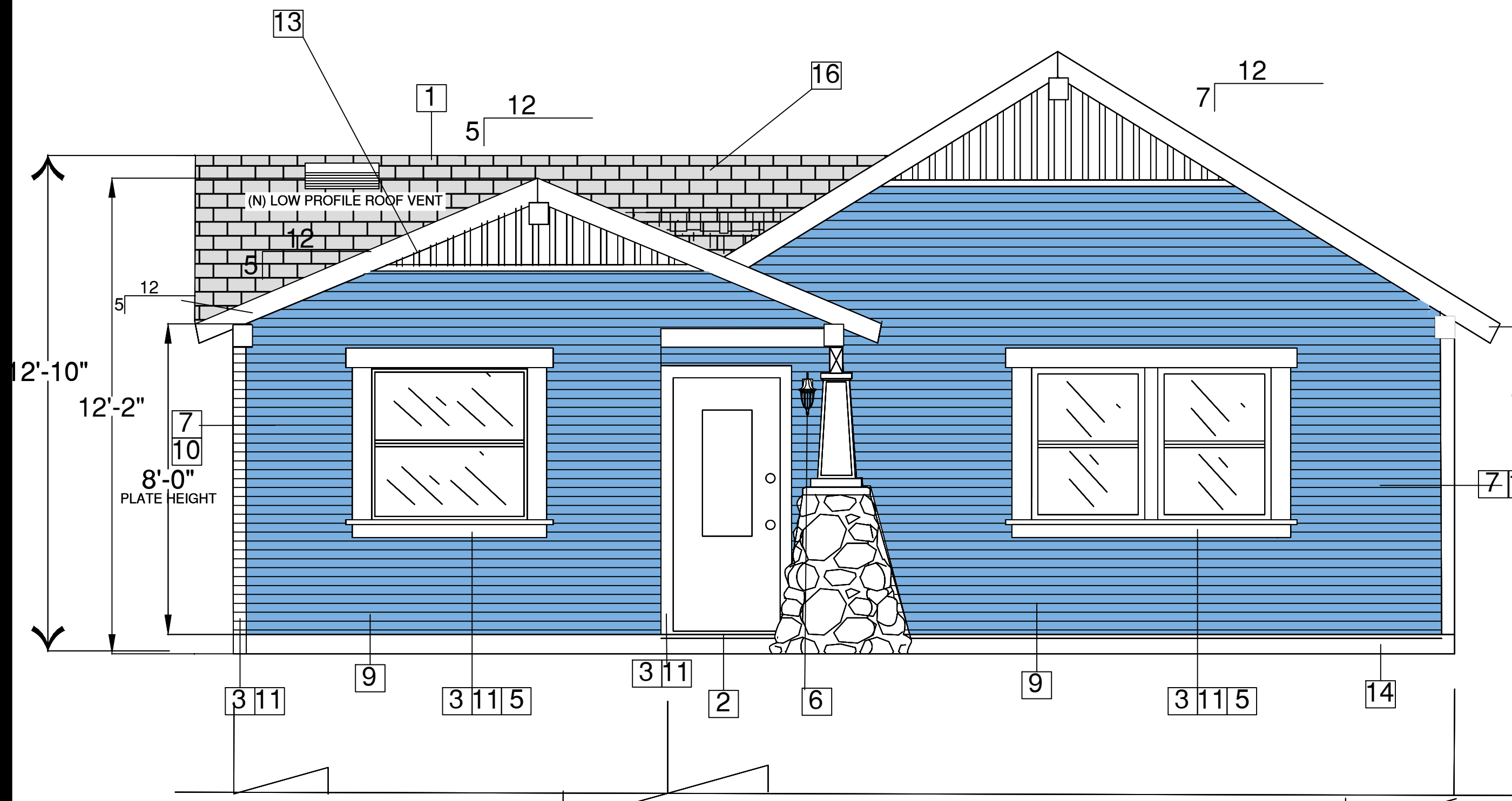


**DEMO PLAN**  
3/8" = 1'-0"

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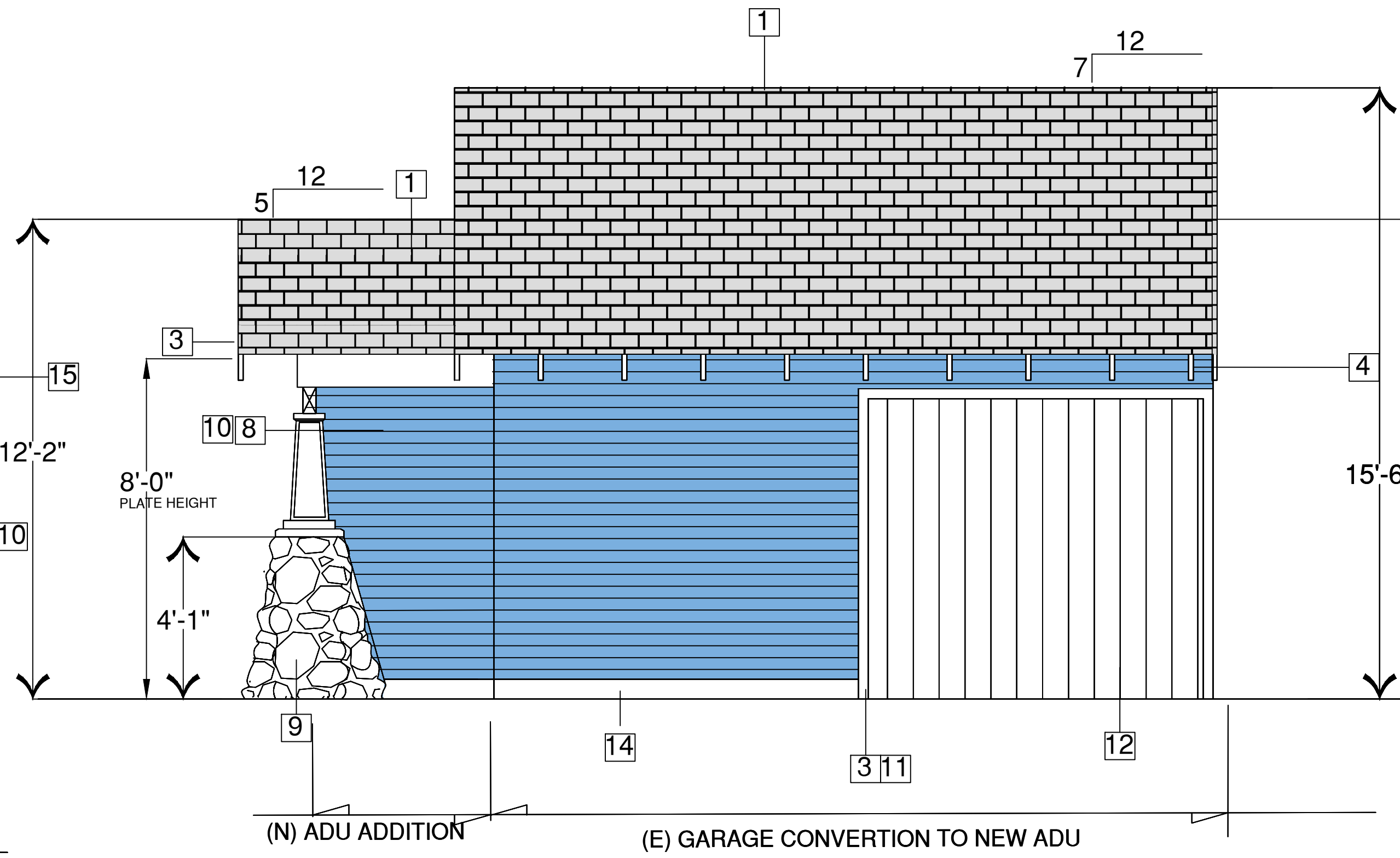
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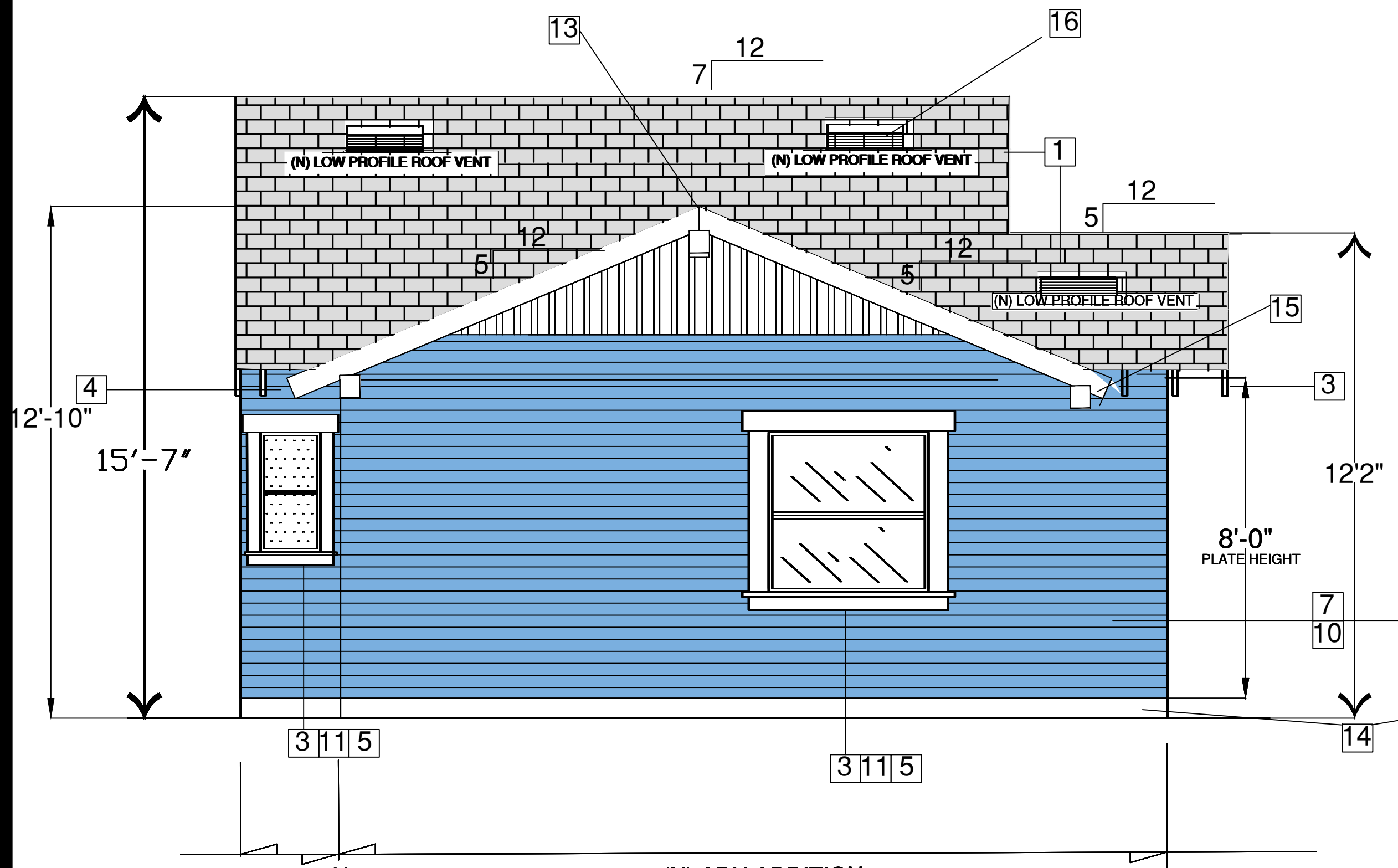
**WEST ELEVATION**

3/8"=1'-0"



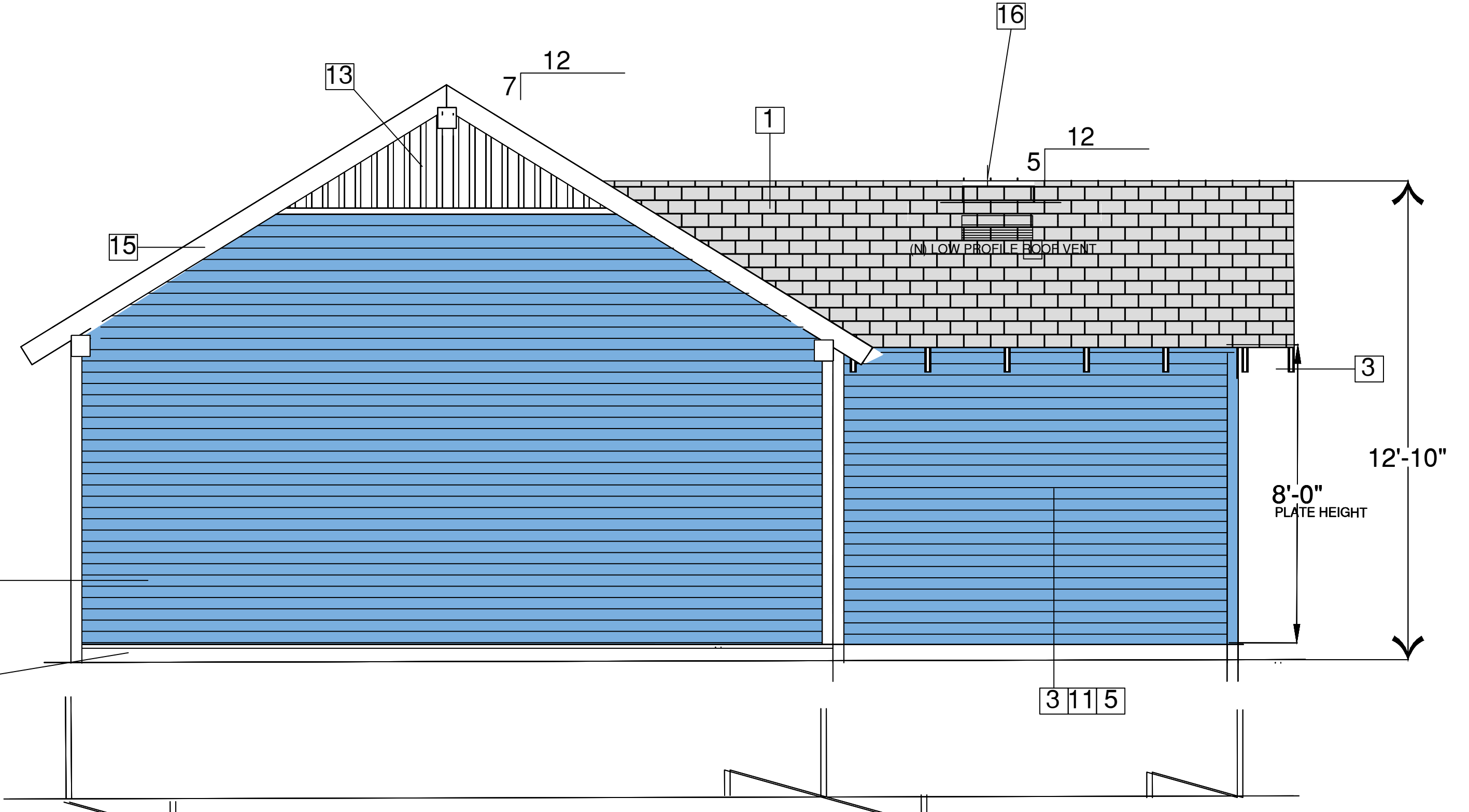
**SOUTH ELEVATION**

3/8"=1'-0"



**NORTH ELEVATION**

3/8"=1'-0"



**EAST ELEVATION**

3/8"=1'-0"

NOTE:  
ALL FINISH MATERIALS MUST  
MATCH EXISTING HOUSE  
INCLUDES, SIDING, ROOF  
MATERIALS, WINDOWS, EXTERIOR  
DOOR, FASCIA AND ALL TRIMS.

NOTE:  
PROPOSED ROOF PITCHES WILL  
MATCH EXISTING HOUSE 5:12

- 1 ROOF ASPHALT SHINGLES  
3-TAP  
COLOR: WHITE  
BRAND: GAF ROYAL SOVEREIGN  
SEE PAGE A6
- 2 ENTRY EXTERIOR CRAFTSMAN  
WOOD DOOR  
COLOR: WHITE  
TYPE: WOOD CRAFTSMAN TYPE  
BRAND: TRIMLINE  
SEE PAGE A6
- 3 FASCIA AND TRIM PAINT  
COLOR: WHITE  
BRAND: BEHR  
SEE PAGE A6
- 4 RAFTERS TO MATCH THE  
STYLE OF EXPOSED RAFTERS  
@ 24" O.C.  
ON THE EXISTING HOME
- 5 WOOD WINDOW  
COLOR: WHITE  
BRAND: JELD-WEN  
SEE PAGE A6
- 6 ENTRY LIGHT FIXTURE  
COLOR: WHITE  
SEE PAGE A6
- 7 3" LAP SIDING  
MATERIAL: WOOD  
TO BE PAINT MATCH  
MAIN BUILDING  
SEE PAGE A6  
MATERIALS TO MATCH MAIN UNIT
- 8 48"x96" WOOD SIDING PANEL  
MATERIAL: WOOD  
TO BE PAINT MATCH  
MAIN BUILDING  
SEE PAGE A6
- 9 MEHERRIN RIVER FAUX-STONE  
EASY STACK  
SUPPLIER: THE HOME DEPOT  
SEE PAGE A6
- 10 WOOD SIDING PAINT  
COLOR: #510-3 SAILOR KNOT  
SEE PAGE A6
- 11 1"x4" WOOD TRIM TO MATCH  
EXISTING HOUSE  
COLOR: WHITE  
SEE PAGE A6
- 12 EXISTING GARAGE DOOR  
TO REMAIN AS PART OF  
EXISTING FACADE  
AS A MAKE-UP
- 13 NEW VENT  
MATERIAL: WOOD  
TO BE PAINT MATCH  
MAIN BUILDING  
MATERIALS TO MATCH MAIN UNIT
- 14 CONCRETE SLAB FLOOR
- 15 FASCIA BOARD DESIGN  
TO MATCH MAIN UNIT
- 16 LOW PROFILE ROOF VENTS

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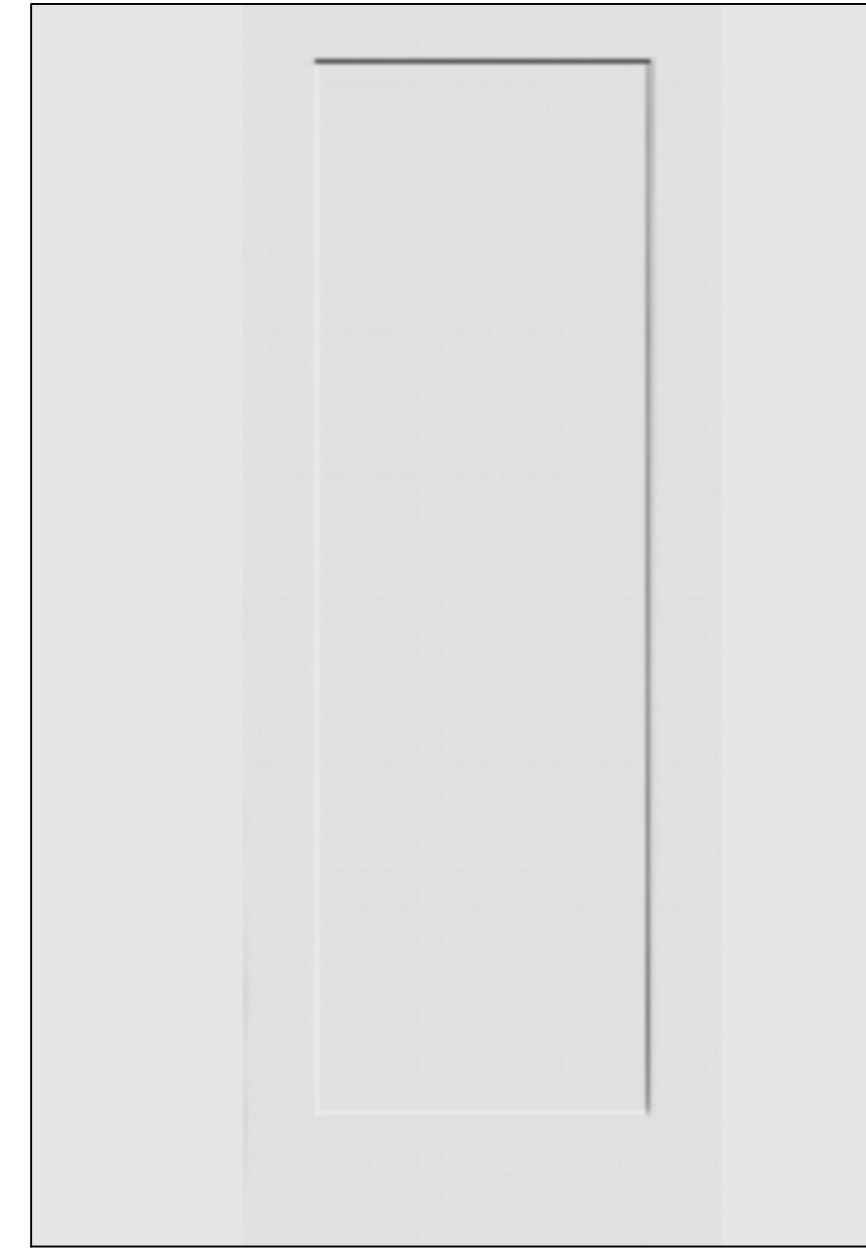
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**A5**



1

ROOF ASPHALT SHINGLES 3-TAP  
COLOR: WHITE  
COLOR: GAF ROYAL SOVEREIGN  
SUPPLIER:THE HOME DEPOT



2

ENTRY EXTERIOR DOOR  
COLOR: WHITE  
TYPE: SINGLE PANEL  
MATERAIL: WOOD  
BRAND: TRIMLINE



3

FASCIA AND TRIM PAINT  
COLOR: WHITE  
SUPPLIER:THE HOME DEPOT



5

WOOD WINDOW  
COLOR: WHITE  
BRAND: JELD-WEN  
THE HOME DEPOT



6

ENTRY LIGHT FIXTURE  
COLOR: WHITE  
SUPPLIER:THE HOME DEPOT



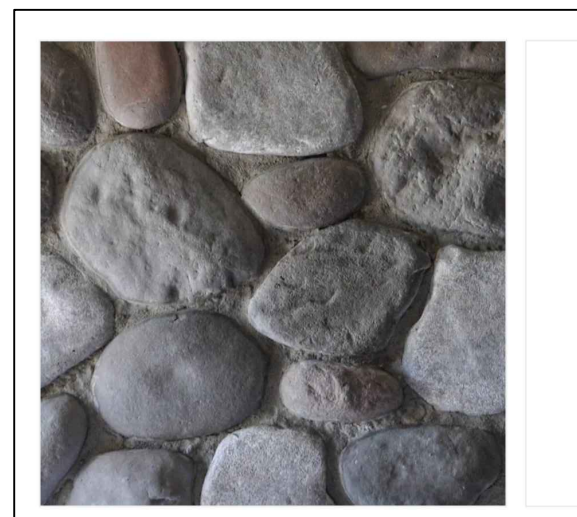
7

3" LAP SIDDING  
MATERIAL: WOOD  
SUPPLIER:THE MOULDING CO.



8

48" x 96" SIDDING PANEL (5")  
MATERIAL: WOOD  
SUPPLIER:THE HOME DEPOT



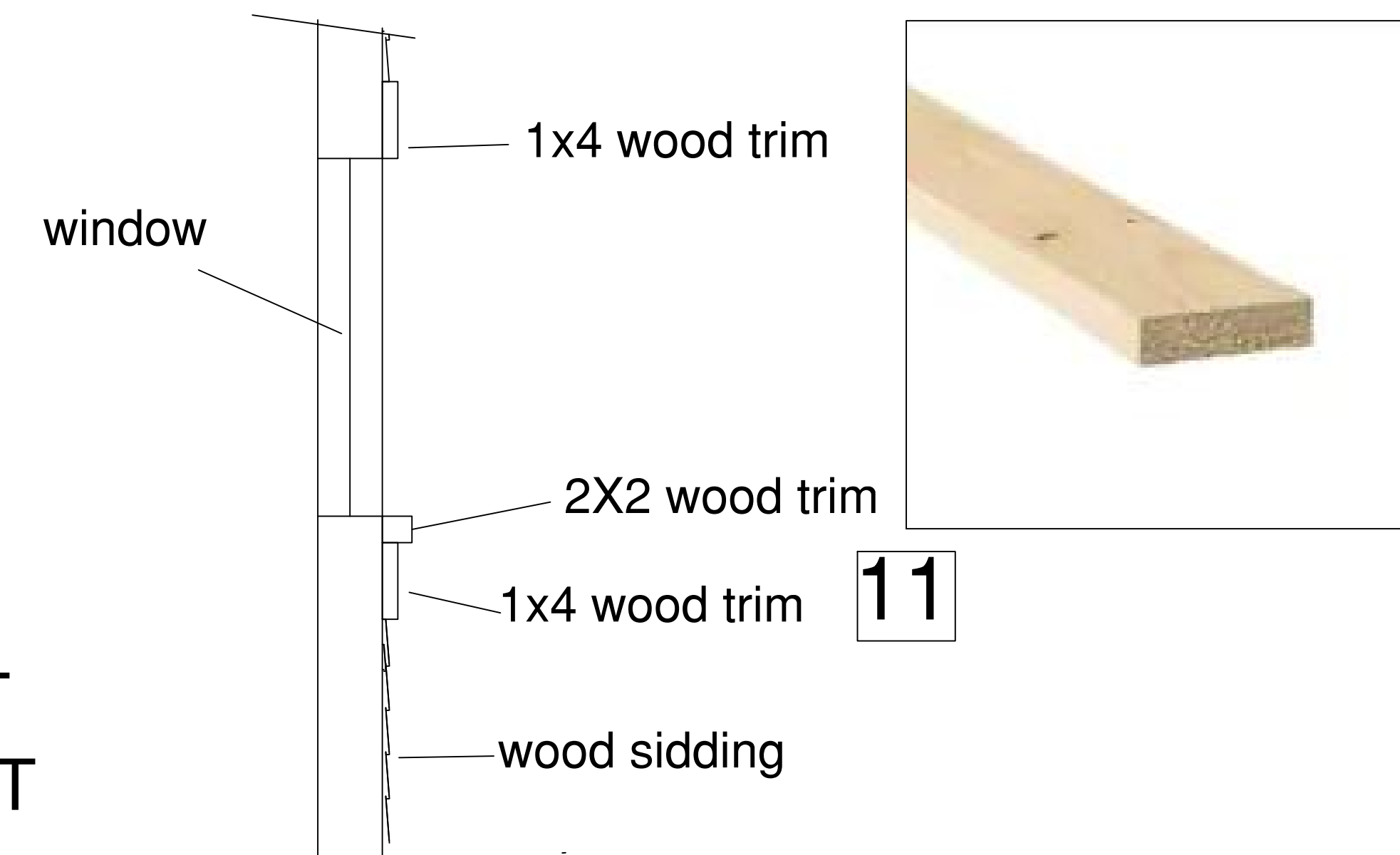
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CONCRETE RIVER STONE FLAT CRATED  
EASY STACK  
SUPPLIER:THE HOME DEPOT



10

WOOD SIDDING COLOR PAINT  
COLOR: #M510-3 SAILOR KNOT



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