

GENERAL NOTES:

- ALL MATERIALS AND WORK SHALL CONFORM TO THE LATEST EDITION OF THE C.M.C., C.P.C. AND N.E.C. AS WELL AS TO THE STATE AND LOCAL BUILDING CODES, ORDINANCES AND REGULATIONS AND OTHER GOVERNING LOCAL AGENCIES AS REQUIRED. ONE (1) COPY OF THESE CODES AND REGULATIONS SHALL BE MADE AVAILABLE AT THE CONTRACTOR'S FIELD OFFICE DURING CONSTRUCTION.
- OWNER OR CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN AND ANY OTHER UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK.
- ALL GYPSUM WALL BOARD SHALL CONFORM TO THE CBC.
- INTERIOR FINISHES AND FLAMEPROOFING MUST CONFORM TO THE CBC.
- BATT INSULATION SHALL BE INSTALLED IN WALL AND CEILINGS. EXTERIOR WALLS SHALL HAVE R-13 CEILING / ATTIC SHALL HAVE R-30.
- ROOFING SHALL BE CLASS A OR B MINIMUM WITH 2 LAYERS OF #15 FELT WITH 90# CAP SHEET WILL FOR LOW SLOPED ROOFS.
- BEDROOM WINDOW SHALL HAVE MAX. SILL HEIGHT OF 44" ABOVE THE FLOOR. REFER TO 2001 UBC SEC. 310.4 FOR ADDITIONAL REQUIREMENTS ALL EAST & WEST FACING WINDOWS SHALL HAVE A MAX. SHADING COEFFICIENT OF .40. INSTALL WINDOWS LABELED BY THE WINDOW MFG. TO HAVE A MAX. 40 SHADING COEFFICIENT SUCH AS DUAL PANE LOW E WINDOWS.
- ALL BATT INSULATION SHALL BE INSTALLED TO MEET CALIFORNIA ENERGY COMMISSION QUALITY STANDARDS. ALL EXTERIOR WALLS SHALL HAVE R-13 BATT INSULATION AND CEILING INSULATION SHALL BE R-30.
- PROVIDE TWO LAYERS OF GRAD "D" PAPER AS THE WEATHER RESISTIVE BARRIER FOR PORTLAND CEMENT PLASTER (STUCCO) WHEN APPLIED OVER WOOD SHEATHING SUCH AS PLYWOOD.
- WEATHER PROTECTION SHALL COMPLY TO SECTION 1402 OF THE 2016 CBC. WEATHER RESISTIVE BARRIERS, FLASHING AND COUNTERFLASHING SHALL BE PROVIDED.
- CORROSION-RESISTANT WEEP SCREED SHALL BE A MIN. OF 4" ABOVE EARTH AND 2" ABOVE PAVED AREAS PER SEC. 2306.5.
- TEMPERED GLAZING SHALL BE PROVIDED PER CBC 2406. TEMPERED GLAZING SHALL INCLUDE SHOWER DOORS AND GLAZING IN DOORS AND WITHIN 24" INCH.
- ENCLOSED ATTIC AND ENCLOSED RAFTER SPACES SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE. THE NET FREE VENTING AREA SHALL BE NOT LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED. THE OPENING SHALL BE 1/300 OF THE AREA PROVIDED 50% OF THE OPENING AREA IS PROVIDED WITH VENTILATORS IN THE UPPER PORTION AT LEAST 3" ABOVE THE EAVE OR CORNICE WITH THE BALANCE OF THE VENTILATORS PROVIDED BY EAVE OR CORNICE VENTS. REFER TO CBC SECTION 1503.3 FOR ADDITIONAL INFORMATION.
- ALL WINDOWS SHALL BE DUAL GLAZED WITH A MAX. SHADING COEFFICIENT SUCH AS DUAL PANE, LOW E WINDOWS. MAXIMUM U-FACTOR OF .75.
- WALL COVERING SHALL BE PLASTER, TILE OR APPROVED EQUAL TO 70" ABOVE DRAIN INLET AT SHOWERS OR TUB WITH SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT (CBC 807.1.3 AND 2512).
- ALL WATER CLOSETS SHALL BE RETROFITTED TO COMPLY W/ WATER SAVING 1.2 GAL PER FLUSH

GENERAL REQUIREMENTS:

WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:

- GENERAL NOTES UNLESS OTHERWISE NOTED ON PLANS OR SPECIFICATIONS.
- BUILDING CODE, APPLICABLE EDITION.
- ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES, LAWS, REGULATIONS AND PROTECTIVE COVENANTS GOVERNING THE SITE OF WORK.
- STANDARD SPECIFICATIONS OF ASTM.
- IN CASE OF CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN.
- "OR EQUAL" THE CONTRACTOR SHALL BE SUBMITTED FOR THE ARCHITECTS APPROVAL FOR ALL MATERIALS OR EQUIPMENT WHICH IS CONSIDERED.
- NOTED DIMENSIONS TAKE PRECEDENT OVER SCALE. EACH CONTRACTOR OR SUB-CONTRACTOR SHALL REPORT TO PROJECT SUPERINTENDENT ALL CONDITIONS GENERAL REQUIREMENTS.
- "OR EQUAL" TO THAT SPECIFIED IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS, WHICH PREVENT THE PROPER EXECUTION

FLASHING AND COUNTER FLASHING:

EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF. FLASHING AND COUNTERFLASHING SHALL BE PROVIDED AT THE JUNCTION OF THE ROOF AND VERTICAL SURFACES ROOF VALLEY FLASHINGS SHALL BE PROVIDED FOR SHINGLES AS FOLLOWS:

- FOR WOOD SHINGLES OR SHALL BE OF LACED ASPHALT SHINGLES APPLIED IN AN APPROVED MANNER WITH AN UNDERLAYMENT OF NOT LESS THAN TYPE 15 FELT EXTENDING 10 INCHES FROM THE CENTER LINE EACH WAY OR SHALL BE OF TWO LAYERS OF 80-POUND MINERAL SURFACED CAP SHEET CEMENTED TOGETHER WITH THE BOTTOM LAYER NOT LESS THAN 12 INCHES WIDE LAID FACE DOWN AND THE TOP LAYER NOT LESS THAN 24 INCHES WIDE LAID FACE UP.
- ASPHALT SHINGLES: THE ROOF VALLEY FLASHING SHALL BE THE SAME AS REQUIRED

ASPHALT COMPOSITION SHINGLES:

ASPHALT COMPOSITION SHINGLES TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS AND D.C.R. R905.2. WEIGHT, COLOR, AND MATERIAL TO BE APPROVED BY ARCHITECT AND/OR OWNER. FLASH AND COUNTERFLASH SHALL BE APPLIED AT ALL EXTERIOR WALLS AND ROOF TO WALL CONDITIONS. I.E. FLASH CALK WOOD BEAMS, AND OUTLOOKERS EXTERIOR FINISH, EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, PROJECTED THROUGH EXTERIOR WALLS BALCONIES, LANDINGS, EXTERIOR STAIRWAYS, AND SURFACES EXPOSED TO WEATHER. FLASHING SHALL BE REQUIRED AT ALL HORIZONTAL WOOD TRIM BUTTING TO BETWEEN WALL PANELS, AND SURFACES EXPOSED TO WEATHER.

WATERPROOFING WEATHER EXPOSED AREAS:

OPENINGS FOR PLUMBING, ELECTRICAL AND GAS LINES IN EXTERIOR AND INTERIOR UNDERNEATH SHALL BE WATERPROOFED AND SLOPED A MINIMUM OF OCCUPIED ROOMS AND SIMILAR SURFACES EXPOSED TO THE WEATHER AND SEALED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2% SLOPE) FOR DRAINAGE.

INSULATION:

SEE ENERGY COMPLIANCE SHEET FOR CALIFORNIA ENERGY TITLE 24 REQUIREMENTS THE FOLLOWING OPENINGS IN THE BUILDING ENVELOPE MUST BE CAULKED, SEALED CAULKED, SEALED OR WEATHERSTRIPPED:

- WALL SOLE PLATES AND FLOORS
- WALLS, CEILINGS AND FLOORS

EXTERIOR WALL COVERINGS:

WEATHER RESISTIVE BARRIER - PROVIDE ONE (1) LAYER 60 MINUTE GR. D' PAPER MINIMUM UNDER ALL EXTERIOR FINISHES. (2 LAYERS OVER WOOD BASE SHEATHING BEHIND EXTERIOR PLASTER).

LATH AND PLASTER:

- ALL LATH AND PLASTER SHALL CONFORM TO LOCAL CODES AND C.B.C. (CHAPTER 25), APPLICABLE EDITION, STATE AND LOCAL CODES AND REQUIREMENTS.
- COLOR AND FINISH TO BE APPROVED BY OWNER.

RESAWN AND ROUGHSAW/LUMBER:

- ALL ROUGHSAW AND RESAWN SURFACES TO RECEIVE PRIME AND PAINT. COLOR AND FINISH TO BE APPROVED BY CONTRACTOR.
- ALL WOOD EXPOSED TO WEATHER TO BE PRIMED PRIOR TO ASSEMBLY.

INTERIOR FINISHES:

- INTERIOR COVERINGS AND WALL FINISHES SHALL COMPLY WITH SECTION R702.1
- INTERIOR FINISHES AND FLAMEPROOFING MUST CONFORM TO CBC
- CEILING FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS FOR INTERIOR WALL FINISHES. (R805.1)
- BATT INSULATION SHALL BE INSTALLED IN FLOOR, WALL AND CEILINGS PER T24 CALCS ALL BATT INSULATION SHALL BE INSTALLED TO MEET CALIFORNIA ENERGY COMMISSION QUALITY STANDARDS.
- ROOFING SHALL BE CLASS A OR B MINIMUM WITH 2 LAYERS OF #15 FELT WITH 90# CAP SHEET WILL FOR LOW SLOPED ROOFS.
- EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTANCE EXTERIOR WALL ENVELOPE. (R703.1)
- PROVIDE TWO LAYERS OF GRADE "D" PAPER AS THE WEATHER RESISTIVE BARRIER FOR PORTLAND CEMENT PLASTER (STUCCO) WHEN APPLIED OVER WOOD SHEATHING SUCH AS PLYWOOD
- WEATHER PROTECTION SHALL COMPLY TO SECTION 1402 OF THE CBC. WEATHER RESISTIVE BARRIERS, FLASHING AND COUNTERFLASHING SHALL BE PROVIDED.
- CORROSION-RESISTANT WEEP SCREED SHALL BE A MIN. OF 8" ABOVE EARTH AND 4" ABOVE PAVED AREAS PER SEC. R308.1
- ENCLOSED ATTIC AND ENCLOSED RAFTER SPACES SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE. THE NET FREE VENTING AREA SHALL BE NOT LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED. THE OPENING SHALL BE 1/300 OF THE AREA PROVIDED 50% OF THE OPENING AREA IS PROVIDED WITH VENTILATORS IN THE UPPER PORTION AT LEAST 3" ABOVE THE EAVE OR CORNICE WITH THE BALANCE OF THE VENTILATORS PROVIDED BY EAVE OR CORNICE VENTS. REFER TO CBC SECTION 1503.3 FOR ADDITIONAL INFORMATION.

KITCHEN:

- PROVIDE LOCAL EXHAUST SYSTEM VENTED TO OUTDOORS WITH RATE = 100CFM. CEC 150(a), ASHRAE STD. 62.2.
- FAUCETS AT KITCHENS SHALL NOT EXCEED A WATER SUPPLY FLOW RATED OF 1.8 GALLONS PER MINUTE MEASURED AT 60 PSI. CBC 403.6

BATHROOMS:

- ROOMS CONTAINING BATHTUBS, SHOWERS, SPAS AND SIMILAR FIXTURES SHALL BE PROVIDED WITH AN EXHAUST FAN WITH A MINIMUM CAPACITY OF 50 CFM. WITH HUMIDITY CONTROL TO EXHAUST MOISTURE TO THE EXTERIOR OF BUILDING. EXHAUST OUTLET MUST BE 36" FROM ANY OPENING INTO BUILDING AND 36" FROM PROPERTY LINE. CRC R303.3, CBC 1203.4.2.1, CMC 1-4.4
- CLEARANCE FOR WATER CLOSET TO BE A MINIMUM OF 24-INCHES IN FRONT, AND 15-INCHES FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION. CPC 402.5
- WATER CLOSET SHALL HAVE AN AVERAGE CONSUMPTION OF A MAXIMUM OF 1.28 GALLONS OF WATER PER FLUSH. CPC 403.2.1
- RESIDENTIAL FAUCETS SHALL NOT EXCEED A WATER SUPPLY FLOW RATE OF AT 60 PSI. AND 0.8 GALLONS PER MINUTES AT 20 PSI
- SHOWER HEADS SHALL NOT EXCEED A WATER SUPPLY FLOW RATE CPC 403.7 OF 2.0 GALLONS OF WATER PER MINUTE AT 80 PSI. CPC 408.2
- WALL COVERING OF SHOWERS OR TUBS WITH SHOWERS SHALL BE OF SMOOTH, NONABSORBENT SURFACE EXTENDED TO A HEIGHT NOT LESS THAN 6 FEET ABOVE MESH. ENCLOSURE MUST BE APPROVED SAFETY GLAZING AND DOORS (22" MIN. WIDTH) MUST BE SWING OUT OF SHOWERS
- THE NET AREA OF THE SHOWER ENCLOSURE SHALL BE 1.024 SQ. INCHES (7.1 SQ. FEET) OR MORE IN CLEAR FLOOR AREA, & SHALL BE CAPABLE OF ENCOMPASSING A 30-INCH DIA. CIRCLE. CPC 408.6
- MECHANICAL VENTILATION FOR TOILET COMPARTMENTS AND BATHROOMS SHALL BE CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR.
- SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE-BALANCE OR THERMOSTATIC MIXING VALVE TYPE

DOORS AND WINDOWS

- DIMENSIONS SHOWN ARE CLEAR OPENING SIZES. WINDOW OR DOOR FRAME IS 1/2" BIGGER IN BOTH DIRECTIONS
- CONTRACTOR TO VERIFY EGRESS WINDOW LOCATIONS & VERIFY CLEAR DIMENSIONS PRIOR TO FABRICATION.
- GLAZING WITHIN A 24" ARC OF THE DOORWAY/GLAZING IN SHOWER AND BATHUB DOORS AND ENCLOSURES SHALL BE TEMPERED.
- GLAZING IN RAILINGS REGARDLESS OF HEIGHT ABOVE A WALKWAY SURFACE SHALL BE TEMPERED
- WINDOW AREA SHALL NOT BE LESS THAN 1/10 OF THE FLOOR AREA OF THE ROOM WITH A MINIMUM OF 10 SQ. FT. NOT LESS THAN HALF THE REQUIRED WINDOW AREA SHALL BE OPEN.
- GLAZING IN DOORS AND WINDOWS SHALL BE TEMPERED AS REQUIRED BY CBC.
- ALL WINDOWS SHALL BE DUAL GLAZED WITH A MAX. SHADING COEFFICIENT SUCH AS DUAL PANE, LOW E WINDOWS.
- EMERGENCY ESCAPE WINDOWS SHALL HAVE A 20" MIN. WIDTH, 24" MIN. CLEAR HEIGHT AND A 5.7 S.F. MIN. AREA (5.0 S.F. MIN AREA FOR GRADE FLOOR OPENINGS) PER CBC SEC. 310.4
- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. (TITLE 24 1004.3)
- WIDTH AND HEIGHT OF REQUIRED EXIT DOORWAYS TO COMPLY WITH TITLE 24
- COMPLY WITH TITLE 24, 310.4 REGARDING ACCESS.

ELECTRICAL:

- ALL RECEPTACLE OUTLETS IN BATHROOMS, ABOVE KITCHEN COUNTERTOP, CRAWL SPACES, GARAGE, ROOFTOPS, OUTDOOR OUTLETS, WITHIN 6-FEET OF WET BAR SINK/LAUNDRY SINK TO BE PROTECTED BY GROUND FAULT CIRCUIT INTERRUPTER (GFCI). CEC 210.8
- ALL RECEPTACLE OUTLETS SHALL BE LISTED TAMPER RESISTANT.
- COMBINATION TYPE AFCI CIRCUIT BREAKERS ARE REQUIRED FOR ALL 120 VOLT SINGLE PHASE 15/20 AMP BRANCH CIRCUITS, EXCEPT FOR BATHROOMS, KITCHENS, GARAGES, OUTDOORS, AND LAUNDRY ROOMS. (CEC 210.12(B))
- AT A MINIMUM, ONE DEDICATED 20 AMP CIRCUIT IS REQUIRED FOR A BATHROOM
- A GFCI PROTECTED RECEPTACLE IS REQUIRED WITHIN 3 FEET OF THE EDGE OF EACH BASIN IN A BATHROOM. (CEC 210.52(D))
- RECEPTACLE OUTLETS ARE NOT ALLOWED WITHIN OR OVER A BATHTUB
- SUBPANELS ARE NOT ALLOWED TO BE LOCATED IN BATHROOMS OR CLOTHES CLOSETS. (CEC 240.24(D) AND 240.25(E))
- CIRCUITS SHARING A GROUNDED CONDUCTOR (NEUTRAL) WITH TWO UNGROUNDED (HOT) CONDUCTORS MUST USE A THREE POLE BREAKER OR AN IDENTIFIED HANDLE TIE. (CEC 210.4(B)) GROUP NON-CABLE CIRCUITS IN PANEL. (CEC 210.4(D))
- KITCHEN COUNTER TOP RECEPTACLES MUST HAVE A MIN. OF 2 DEDICATED 20 AMP CIRCUITS. (CEC 210.52(B))
- THE RECEPTACLES IN THE DINING AREA, PANTRY, OR BREAKFAST NOOK MUST BE SUPPLIED BY DEDICATED 20 AMP CIRCUITS. (CEC 210.52(B))
- KITCHEN COUNTER TOPS 12 INCHES OR WIDER MUST HAVE A RECEPTACLE
- KITCHEN COUNTER TOPS MUST HAVE CIRCULAR RECEPTACLE OUTLETS SO NO POINT ALONG THE COUNTER WALLS IS MORE THAN 24 INCHES FROM A RECEPTACLE OUTLET. (CEC 210.52(C))
- ISLAND AND PENINSULAR COUNTER TOPS MUST HAVE AT LEAST ONE RECEPTACLE. (CEC 210.52(C)(1) & (2))
- KITCHEN COUNTERTOP RECEPTACLES SHALL BE READILY ACCESSIBLE, AND LOCATED NO MORE THAN 20 INCHES ON OR ABOVE, OR MORE THAN 12 INCHES BELOW THE COUNTERTOP SURFACE. (CEC 210.52(C)(5))
- THE RECEPTACLE FOR GENERAL RECEPTACLE OUTLETS MUST BE LOCATED SO THAT NO POINT ON ANY WALL OR FIXED GLASS IS OVER 6 FEET FROM RECEPTACLE OUTLET. (CEC 210.52(A))
- LAUNDRY ROOMS MUST HAVE AT LEAST ONE DEDICATED 20 AMP RECEPTACLE CIRCUIT. (CEC 210.11 (C) (2))
- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED
- OPENINGS AND PENETRATIONS THROUGH THE WALLS AND CEILING SEPARATING THE DWELLING FROM GARAGE SHALL BE IN ACCORDANCE WITH R302.5.2 THROUGH R302.5.3
- DUCTS PENETRATING SEPARATIONS SHALL BE MINIMUM 0.019-INCH SHEET STEEL AND SHALL HAVE NO OPENINGS IN THE GARAGE. R302.5.2
- PROVIDE DUCTING FOR RANGE HOOD TO OUTSIDE WITH MIN. VENTILATION OF 100CFM. DUCTING SHALL BE SIZED IN ACCORDING TO ASHRAE STANDARDS TABLE 62.2 TABLE 7.1 THIS LOCAL EXHAUST MAY OPERATE CONTINUOUSLY OR INTERMITTENTLY.
- PROVIDE HEATING FACILITY CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF 68 DEGREES F AT 3FT ABOVE THE FLOOR IN ALL HABITABLE ROOMS.
- THIS PROJECT MUST COMPLY WITH CGCS 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING. SEE WEBSITE FOR INFORMATION.
- ALL DUCT OPENINGS & OTHER AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE PROTECTED DURING STORAGE ON THE CONSTRUCTION SITE UNTIL FINAL START-UP WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF DUST & DEBRIS. CGBC 4.504.
- SPECIFY EXTERIOR LUMINAIRES TO BE HIGH EFFICIENCY
- ALL OUTDOOR OUTLETS SHALL BE GFCI WATERPROOF & WATER RESISTANT
- USE GFCI IS REQUIRED AND A MAIN BONDING JUMPER SHALL NOT BE INSTALLED IN THE SUB PANEL.
- DISHWASHER OUTLET TO BE GFCI AND TO BE NEXT TO THE DISHWASHER, NOT BEHIND IT.

SMOKE ALARMS:

- POWER SOURCE: IN NEW CONSTRUCTION, REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. SMOKE ALARMS WITH INTEGRAL STROBES THAT ARE NOT EQUIPPED WITH BATTERY BACKUP SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THEN THOSE REQUIRED FOR OVERCURRENT PROTECTION. CRC R314.4.
- A SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM AND ON THE CEILING OR WALL OUTSIDE EACH SEPARATE SLEEPING AREA IMMEDIATE VICINITY OF BEDROOMS.
- SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARMS SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.
- WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE UNIT. CRC R314.4
- ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL217 AND INSTALLED IN ACCORDANCE WITH THE GOVERNING CRC AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SYSTEMS AND COMPONENTS SHALL BE CALIFORNIA STATE FIRE MARSHALL LISTED AND APPROVED IN ACCORDANCE WITH CCR, TITLE 19, DIVISION 1 FOR THE PURPOSE FOR WHICH THEY ARE INSTALLED. CRC R314.1

CARBON MONOXIDE ALARMS:

- A CARBON MONOXIDE ALARM COMPLYING WITH UL 2034 AND FOR CARBON MONOXIDE DETECTORS COMPLYING WITH UL2075 SHALL BE INSTALLED PER NFPA720 (REQUIRED IN DWELLINGS UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND/OR WITH ATTACHED GARAGES), OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS PER CRC R315.3
- CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP AND EMIT A SIGNAL WHEN THE BATTERY IS LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVER CURRENT PROTECTION PER CRC R315.1.1.

SPECIAL INSPECTIONS:

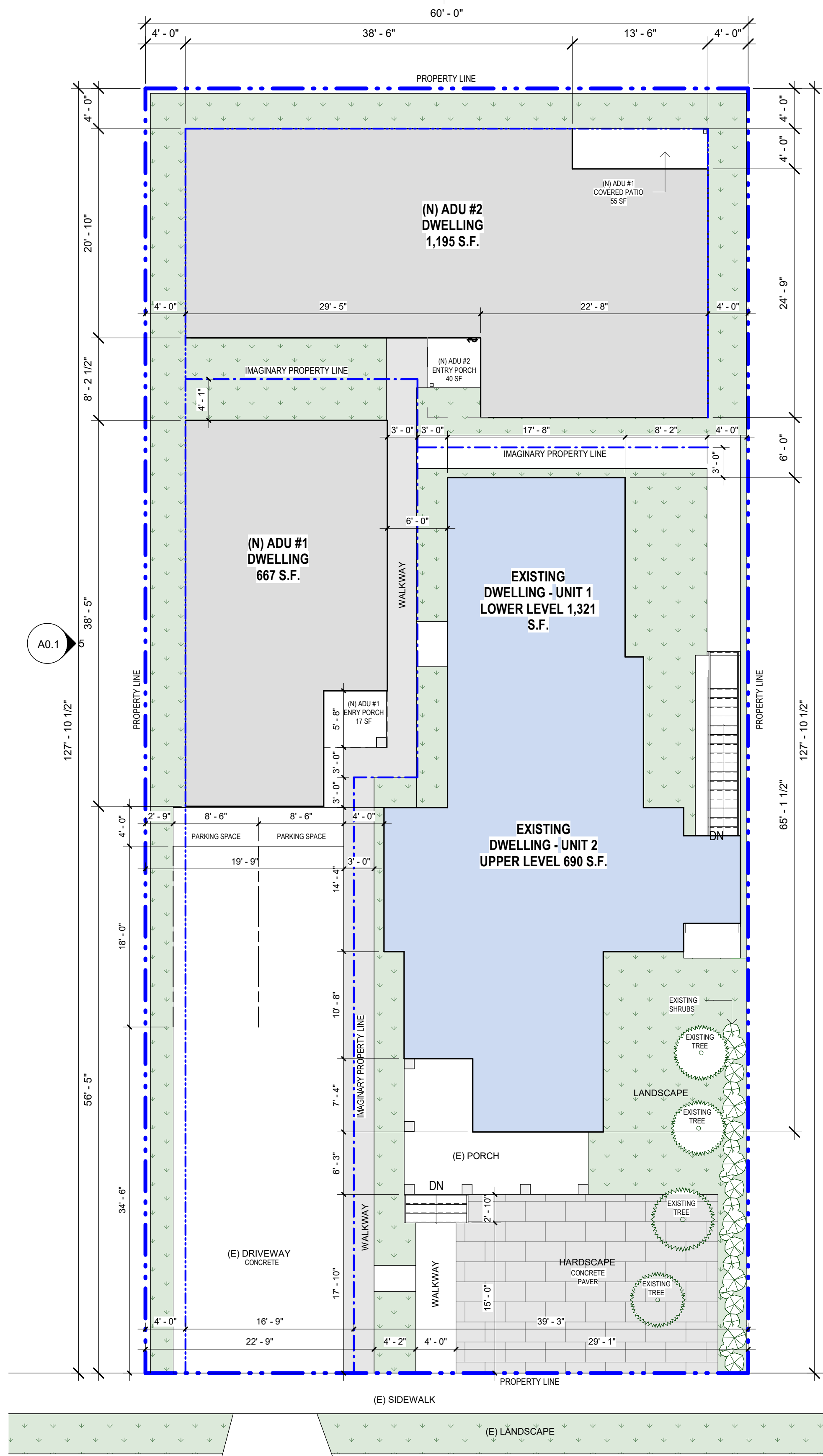
- EXPANSION / EPOXY ANCHORS
- PLYWOOD SHEARWALL
- SHEAR PANELS
- DIAPHRAGMS
- INCLUDING NAILING, BOLTING, ANCHORING, AND OTHER FASTENING OF COMPONENTS OF THE SEISMIC FORCE RESISTING SYSTEM.

DUTIES OF THE SPECIAL INSPECTORS FOR THE WORK LISTED ABOVE:

- INSPECT METHODOLOGY AND QUALITY OF WORK FOR COMPLIANCE WITH CITY APPROVED PLANS AND BUILDING CODE PROVISIONS.
 - PROVIDE REPORT CERTIFYING COMPLIANCE OF WORK & SUBMIT COPIES TO THE CITY, CONTRACTOR & OWNER
- SPECIAL INSPECTOR SHALL CHECK WITH THE CITY AND PRESENT THEIR CREDENTIALS FOR APPROVAL PRIOR TO BEGINNING WORK ON THE JOB SITE.
- I, AS THE OWNER, OR AGENT OF THE OWNER (CONTRACTOR MAY NOT EMPLOY THE SPECIAL INSPECTOR), CERTIFY THAT I WILL BE RESPONSIBLE FOR EMPLOYING THE SPECIAL INSPECTOR(S), AS REQUIRED BY CALIFORNIA BUILDING CODE (CBC) SECTION 1704.1 FOR THE PROJECT LOCATED AT THE SUBJECT SITE.

SIGNED _____

DATE _____



1 SITE PLAN

SCALE: 1/8" = 1'-0"

AREA ANALYSIS:

UNIT	AREA	SF	LOT AREA
EXISTING DWELLING UNIT 1	1,321	SF	7,680
EXISTING DWELLING UNIT 2	690	SF	
(N) ADU # 2	1,195	SF	
(N) ADU # 1	667	SF	
TOTAL GROSS FLOOR AREA		3,873	
FLOOR AREA RATIO (dividing GFA by the lot area)		50%	
LOT COVERAGE: PERCENTAGE OF AREA THAT IS COVERED BY A BUILDING + ACC. STRUCTURES		51%	
GFA	3,873	SF	
PORCH UNIT 2	40	SF	
PORCH UNIT 1	17	SF	
TOTAL GROSS FLOOR AREA		3,930	
USEABLE OPEN SPACE: ANY SPACE NOT ENCLOSED WITHIN A BUILDING		3,750	
7,680 LOT AREA - 3,930 = 3,750 SF			
3,750 / 7,680 = 49%			

SITE PLAN LEGEND:

- PROPERTY LINE
- SETBACK LINE
- EXISTING AREA
- NEW AREA
- LANDSCAPE AREA
- 2% SLOPE DRAINAGE - 2% SLOPE MIN.
- ELEC PANEL
- GAS METER
- WATER METER
- GAS LINE
- WATER LINE
- SEWER LINE
- WATER HEATER
- HOSE BIB
- CONDENSING UNIT

SHEET INDEX

SHEET NUMBER	DESCRIPTION
A0.0	GENERAL NOTES & SITE
A0.1	EXISTING ROOF, DEMO & UTILITIES PLAN
A1.1A	ADU #1 FLOOR PLAN AND ROOF PLAN
A1.1B	ADU #1 EXTERIOR ELEVATIONS (OPTINONAL) AND BUILDING SECTIONS
A1.1C	ADU #1 INTERIOR ELEVATIONS
A2.1A	ADU #2 FLOOR PLAN & ROOF PLAN
A2.1B	ADU #2 EXTERIOR ELEVATIONS
A2.1C	ADU#2 INTERIOR ELEVATIONS
A3.0	3D VIEWS
A4.0	DETAILS
S0.1	GENERAL STRUCTURAL NOTES
S1.1A	ADU #1 FOUNDATION & FRAMING PLAN
S1.1B	ADU #2 FOUNDATION & FRAMING PLAN
S3.1	FOUNDATION DETAILS
S4.1	FRAMING DETAILS
S4.2	FRAMING DETAILS
T-1	T24 RESIDENTIAL SHEETS ADU #1
T-2	T24 RESIDENTIAL SHEETS ADU #1
T-3	T-24 RESIDENTIAL SHEETS ADU #1
T-4	T-24 RESIDENTIAL SHEETS ADU #2
T-5	T-24 RESIDENTIAL SHEETS ADU #2
T-6	T-24 RESIDENTIAL SHEETS ADU #2

BUILDING DESIGN CRITERIA:

ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES:

- 2022 CALIFORNIA BUILDING CODE (CBC)
- 2022 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2022 CALIFORNIA MECHANICAL CODE (CMC)
- 2022 CALIFORNIA ELECTRICAL CODE (CEC)
- 2022 CALIFORNIA PLUMBING CODE (CPC)
- 2022 CALIFORNIA ENERGY CODE (CEC)
- 2022 CALIFORNIA GREEN BUILDING STANDARDS (CALGreen)
- 2022 CALIFORNIA EXISTING BUILDING CODE (CEBC)
- 2022 CALIFORNIA FIRE CODE (CFC)
- 2022 POMONA MUNICIPAL CODE

SITE INFO:

ACCESSOR'S PARCEL NUMBER: 8340-020-009
 LEGAL DESCRIPTION: W M WOODY'S SUB LOT 9 BLK A
 ZONING: P0R377
 PROPERTY INFO: MULTI-FAMILY (2-4 UNIT)
 BUILDING OCCUPANCY: V-B
 CONSTRUCTION TYPE: 2 - STORY
 LOT AREA: 7,680 SF
 # OF STORIES: 2
 FIRE SPRINKLERS: X-0602320276J
 HISTORIC PROPERTY: 1,890
 YEAR BUILT: 1,890
 HISTORIC DISTRICT: WILTON HEIGHTS HISTORIC DISTRICT

PROJECT DIRECTORY:

OWNER: PABLO & ANA GONZALEZ

ARCHITECT: BRENDA GUTIERREZ

STRUCTURAL ENGINEER: RSG REGAL STRUCTURAL GROUP

ENERGY CONSULTANT: TBD

POMONA ADU DEVELOPMENT STANDARDS:

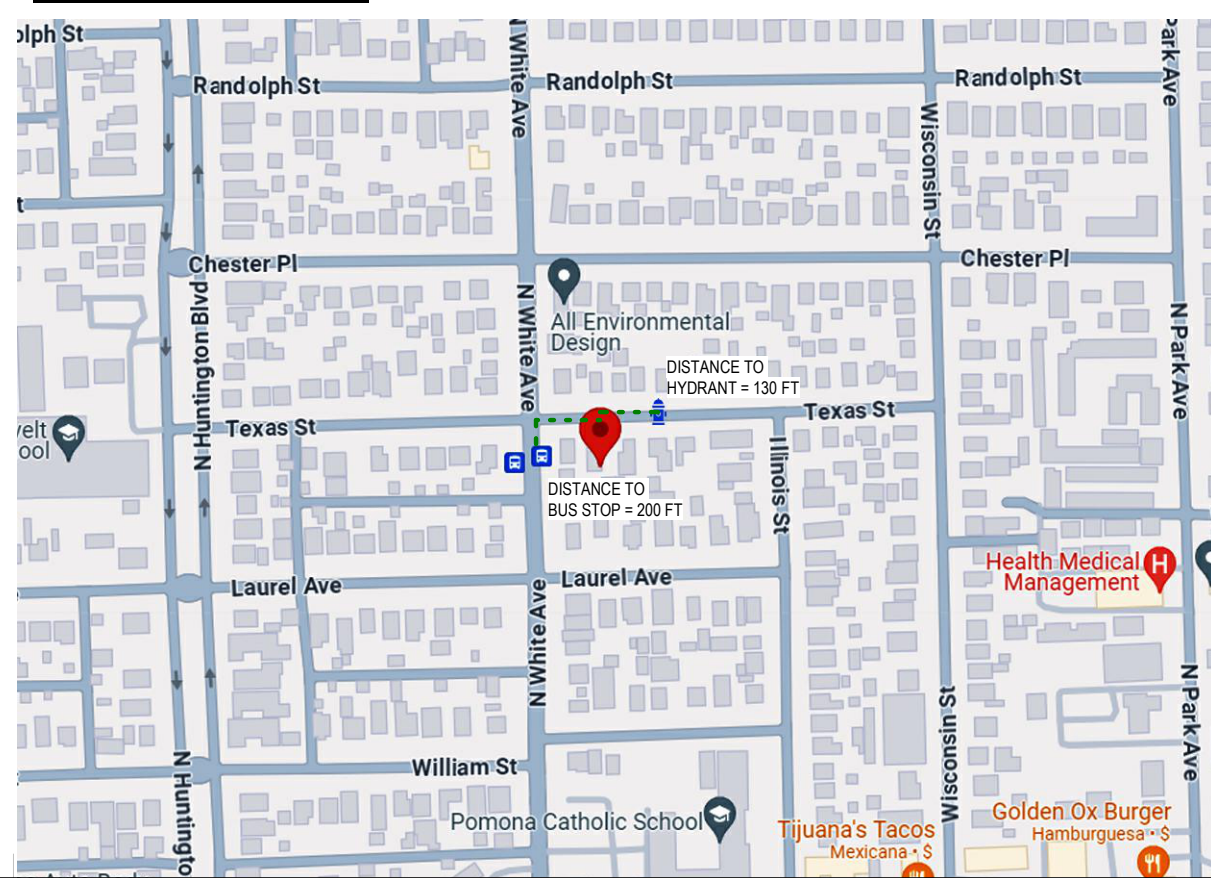
REQUIRING MINISTRIAL ADU PERMIT:
 ADU: DETACHED - LOTS OVER 7,200 SF
 MIN SIZE: 220 SF
 MAXIMUM SIZE: 1,200 SF
 MAXIMUM LOT COVERAGE: YES
 MAXIMUM HEIGHT: 2 STORIES OF 35 FT (NO TALLER THAN PRIMARY BUILDING)
 MIN. DISTANCE BTWN BLDG.: BETWEEN ADU & PRIMARY DWELLING: 10'
 BETWEEN ADU & ACCESSORY STRUC.: 6'
 MINIMUM SIDE YARD SETBACK: 4 FT
 MINIMUM REAR YARD SETBACK: 4 FT
 ROOF EAVES: MIN. 2" FROM PL, MAX 1" PROJECTION
 LANDSCAPING: 20% MIN OF ENTIRE PARCEL
 PARKING: NONE
 ARCHITECTURE: ARCHITECTURE ELEMENTS TO MATCH PRIMARY BLDG
 EXTERIOR ACCESS: REQUIRED
 UTILITY CONNECTIONS: NOT REQUIRED TO INSTALL NEW OR SEPARATE UTILITY
 OWNER OCCUPANCY: NOT REQUIRED UNTIL 1/1/2025
 RENTAL PERIOD: 30 DAYS MIN
 DEED RESTRICTIONS: REQUIRED

REQUIRING BUILDING PERMIT:
 MIN SIZE: 220 SF
 MAX SIZE: 800 SF
 HEIGHT: 16 SF
 SIDE YARD: 4'
 REAR YARD: 4'
 EXTERIOR ACCESS: REQUIRED
 UTILITY CONNECTIONS: NOT REQUIRED
 OWNER OCCUPANCY: NOT REQUIRED UNTIL 1/1/2025
 RENTAL PERIOD: 30 DAYS MIN
 DEED RESTRICTION: REQUIRED

SCOPE OF WORK:

(N) DETACHED ADU #1, 2 BEDROOM 2 BATH - 850 SF
 (N) DETACHED ADU #2, 3 BEDROOM 3 BATH - 1195 SF

VICINITY MAP



ARCHITECT:

BRENDA GUTIERREZ

ENGINEER:

REVISIONS

- △
- △
- △
- △
- △
- △

OWNER

PABLO & ANA GONZALEZ

576 TEXAS ST
 POMONA, CA 91768

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 POMONA, CA 91768

PROJECT:

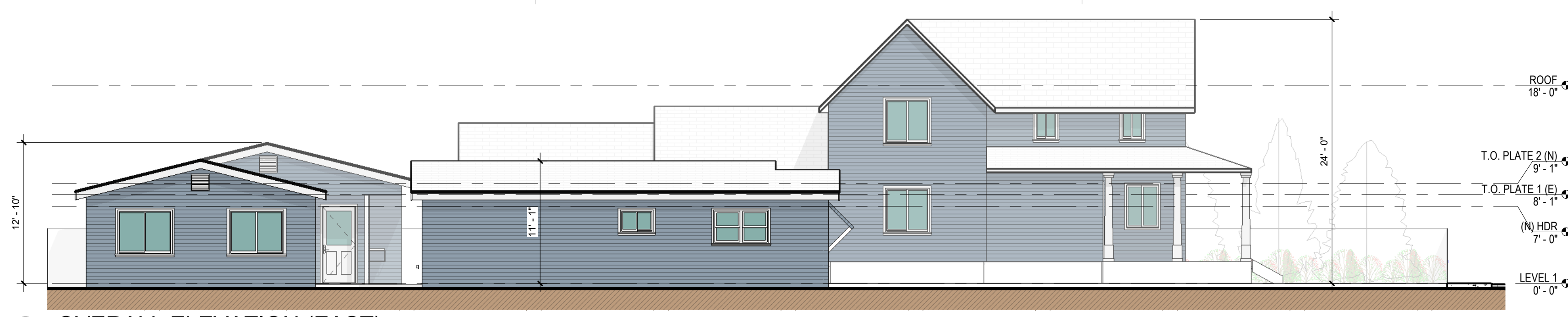
JOB NO. 12/29/2025

DATE: 12/29/2025

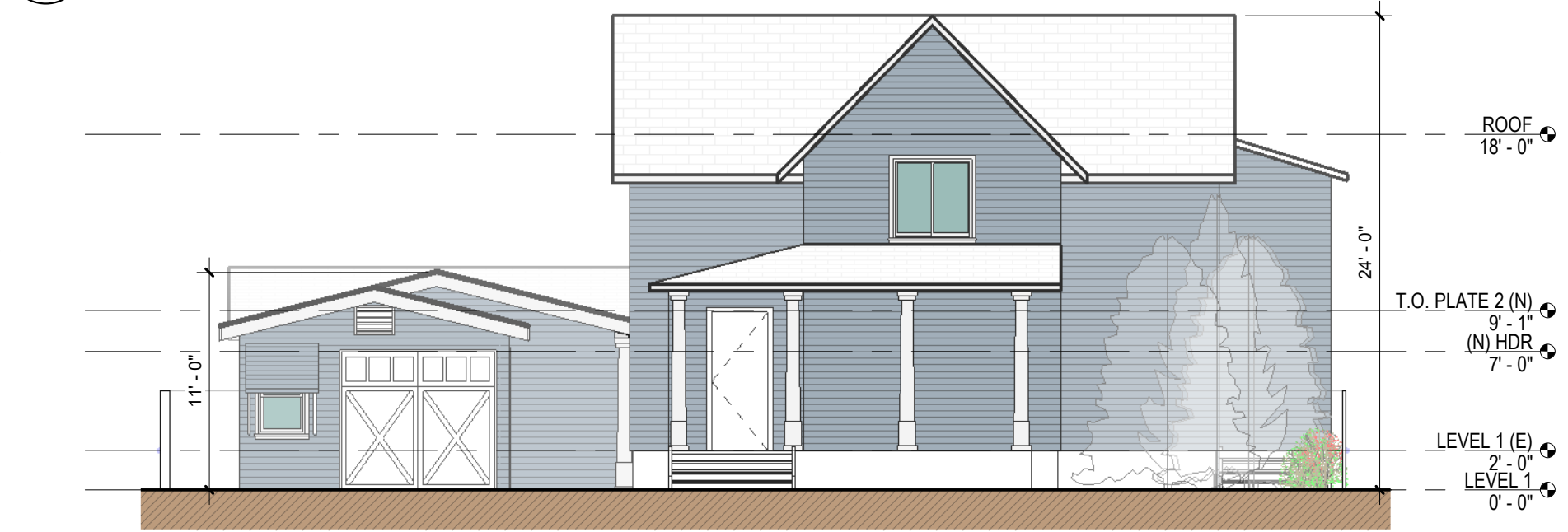
SHEET TITLE:
GENERAL NOTES & SITE

SHEET NO.

A0.0



5 OVERALL ELEVATION (EAST)
A0.1 SCALE: 1/8" = 1'-0"



6 OVERALL ELEVATION (NORTH)
A0.1 SCALE: 1/8" = 1'-0"

UTILITIES LEGEND

EM	EXISTING WATER METER
NW	NEW WATER METER, 1" COPPER SERVICE, METER BOX AND METER PER CITY OR ORANGE STANDARDS
—	1" PVC POTABLE WATER LINE
—	4" PVC SEWER LINE

DEMOLITION NOTES

R	RELOCATE - RELOCATE EXISTING WALL TO MEET CURRENT CODE REQUIRED SETBACK
P	PROTECT IN PLACE
D	DEMO WALL

OPEN AREAS

LANDSCAPE	1935 SF
HARDSCAPE	1973 SF
TOTAL OPEN AREA=	3908 SF

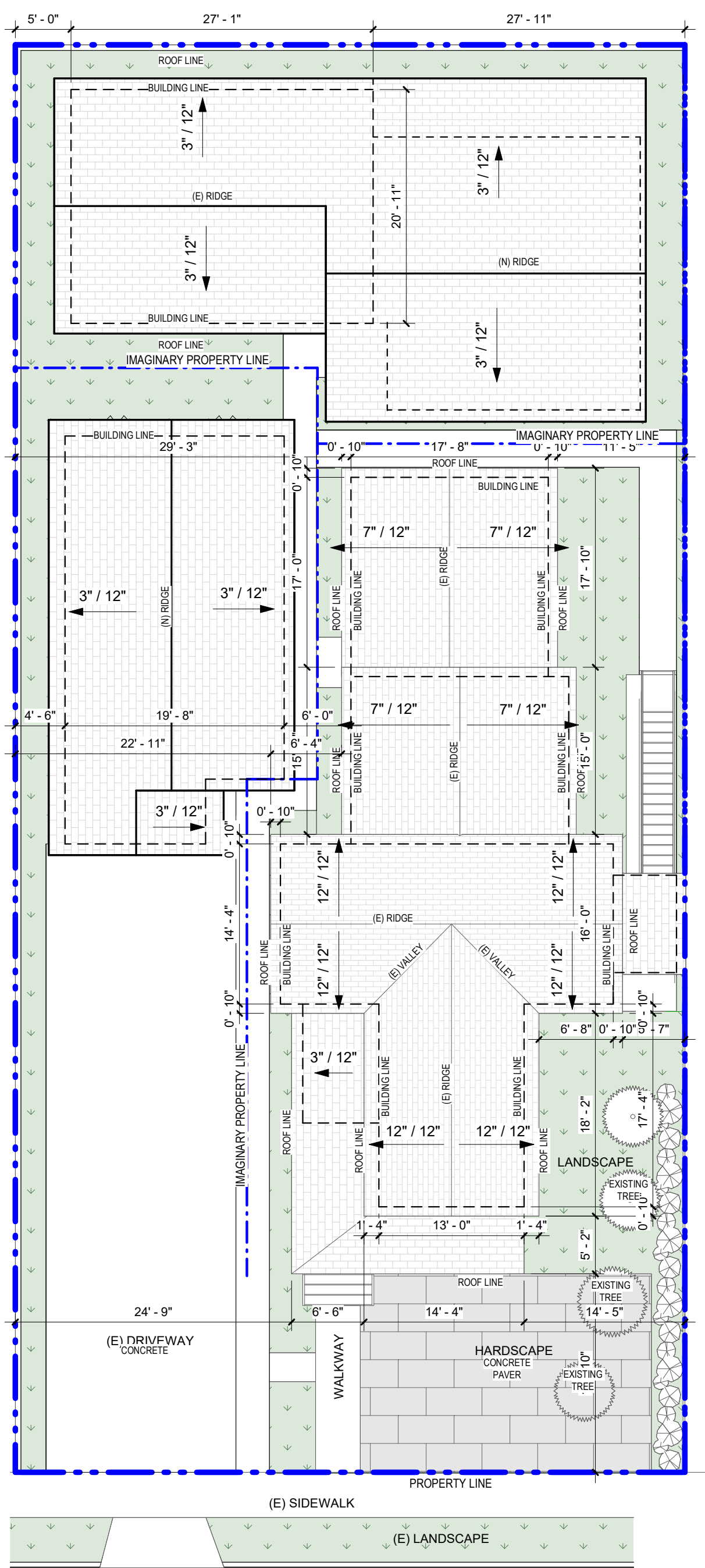
NOTE:
ADU IS INDIVIDUALLY METERED

KEYNOTE LEGEND

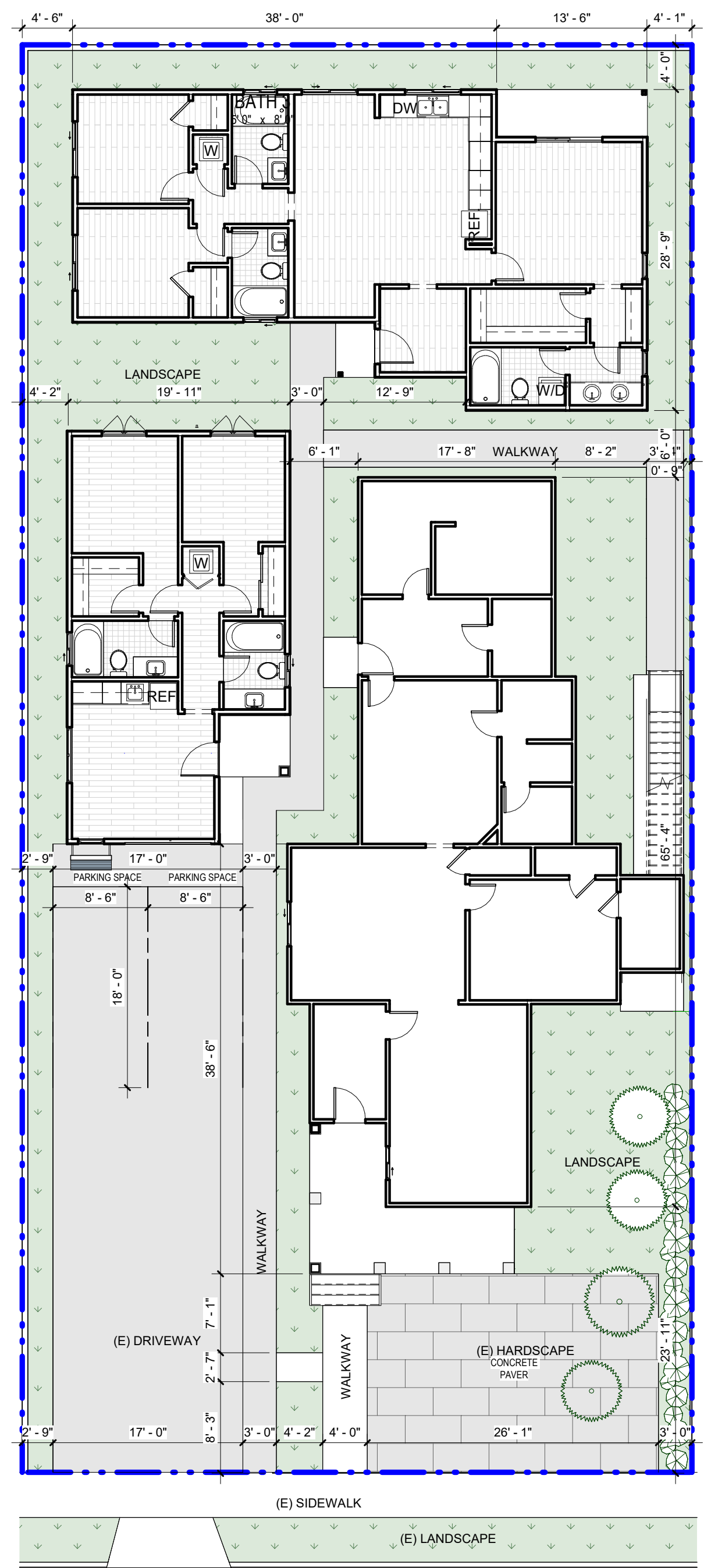
Key Value	Keynote Text
04e	EXISTING EXTERIOR 2X STUD WALL TO REMAIN
15e	EXISTING ASPHALT SHINGLE ROOFING. VERIFY CLASS "A" MIN. ROOF PER MFG RECOMMENDATIONS AND ICC #ESR-1017

PROJECT MATERIALS

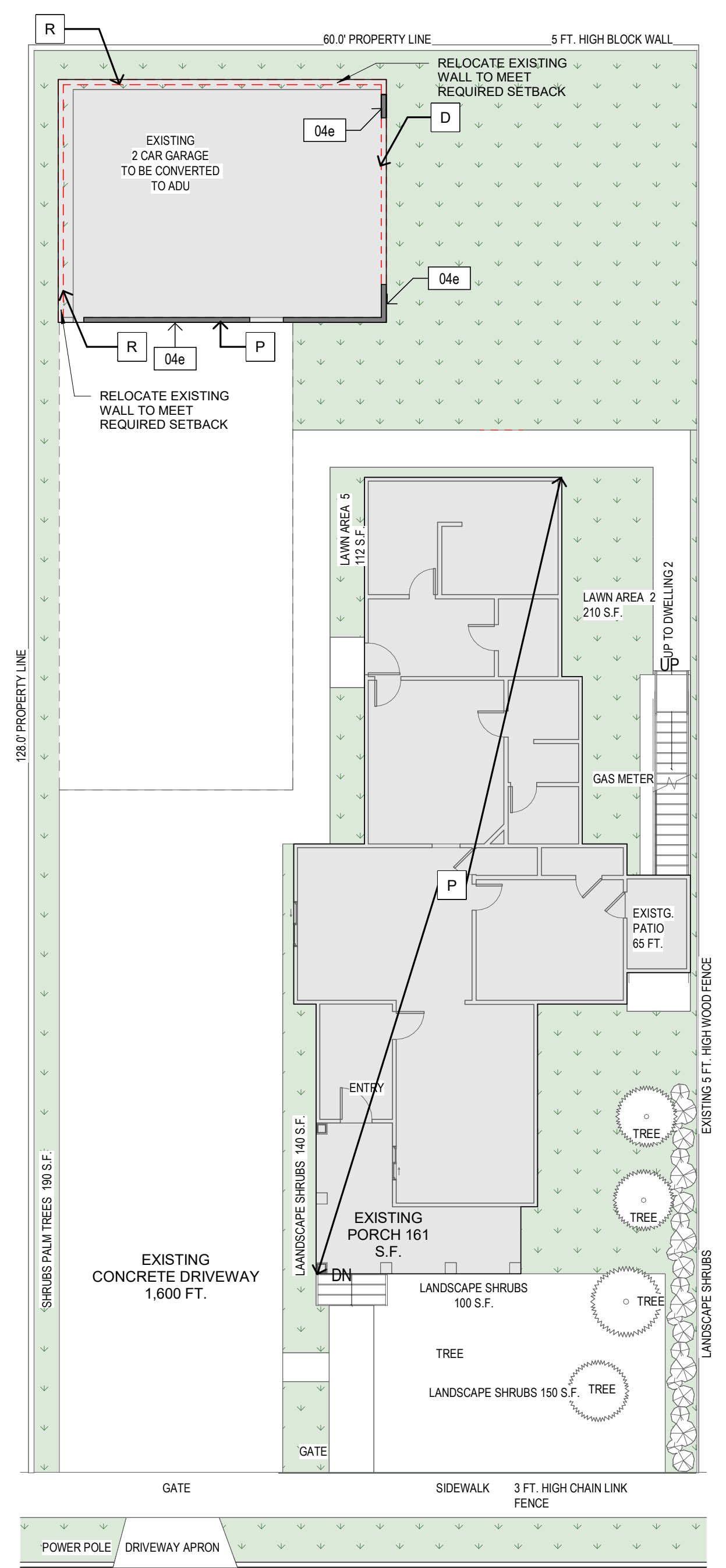
ELEMENT	MATERIAL	COLOR
WALLS	WOOD SIDING	COLOR: SW6523 - DENIM
WALL ACCENT:	WOOD MOLDING	COLOR: SW 6601 - TANAGER
WINDOW FRAMES	WOOD	COLOR: SW 7757 - HIGH REFLECTIVE WHITE
WINDOW TRIM:	WOOD	COLOR: SW 7757 - HIGH REFLECTIVE WHITE
DOOR TRIM:	WOOD	COLOR: SW 7757 - HIGH REFLECTIVE WHITE
EXPOSED RAFTERS:	WOOD	COLOR: SW 7757 - HIGH REFLECTIVE WHITE
KNEE BRACES:	WOOD	COLOR: SW 7757 - HIGH REFLECTIVE WHITE
AWNING	WOOD SIDING	COLOR: SW6523 - DENIM
COLUMNS:	WOOD	COLOR: SW 7757 - HIGH REFLECTIVE WHITE
ROOF:	ASPHALT SHINGLE	COLOR: ELITE GLASS-SEAL® WEATHERED WOOD



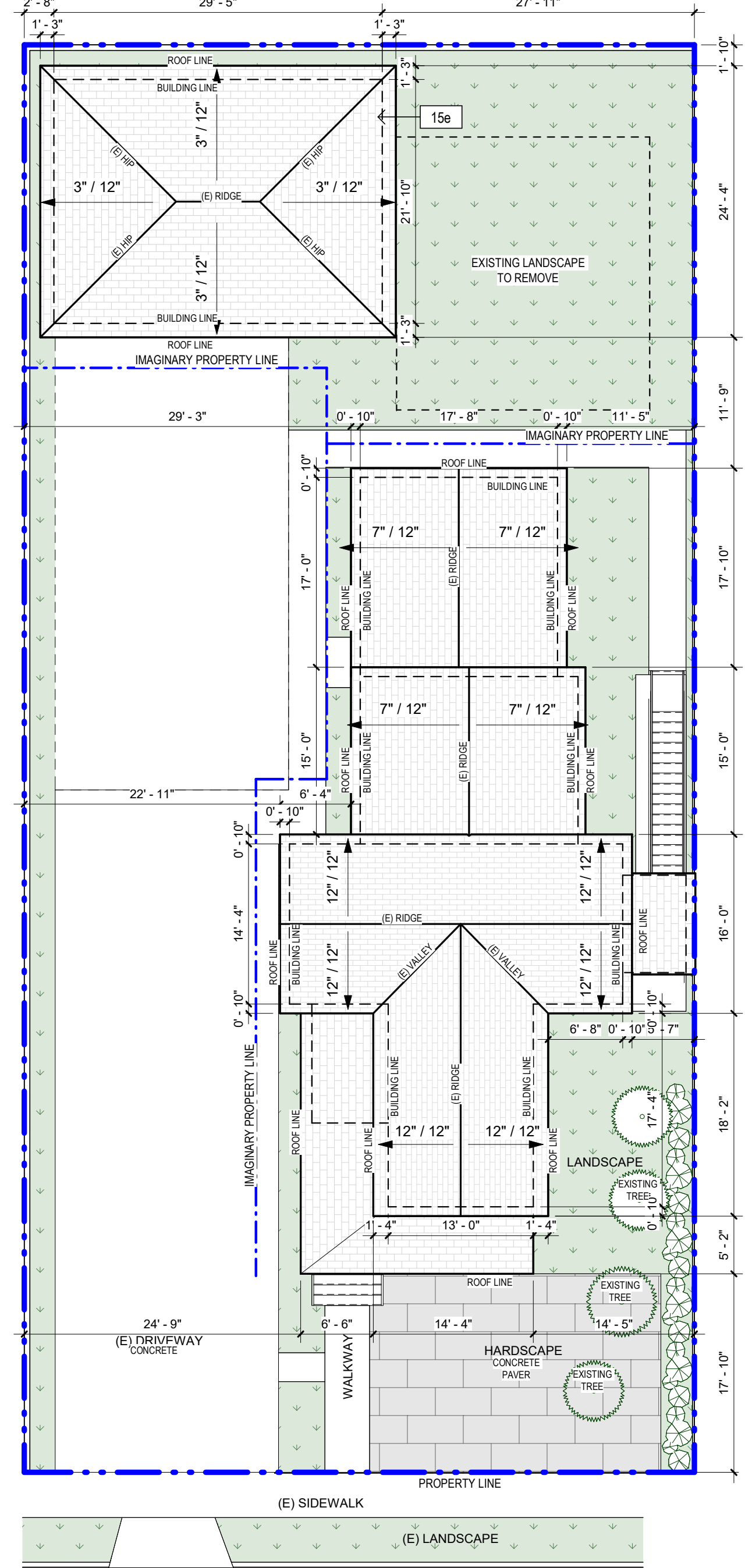
4 PROPOSED ROOF PLAN
A0.1 SCALE: 1" = 10'-0"



3 UTILITIES PLAN
A0.1 SCALE: 1" = 10'-0"



2 SITE PLAN - DEMO
A0.1 SCALE: 1" = 10'-0"



1 EXISTING ROOF PLAN
A0.1 SCALE: 1" = 10'-0"

ARCHITECT:
BRENDA GUTIERREZ

ENGINEER:

REVISIONS

△	
△	
△	
△	
△	

OWNER
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JOB NO. 12/29/2025

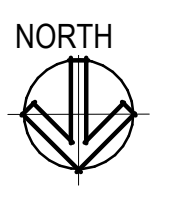
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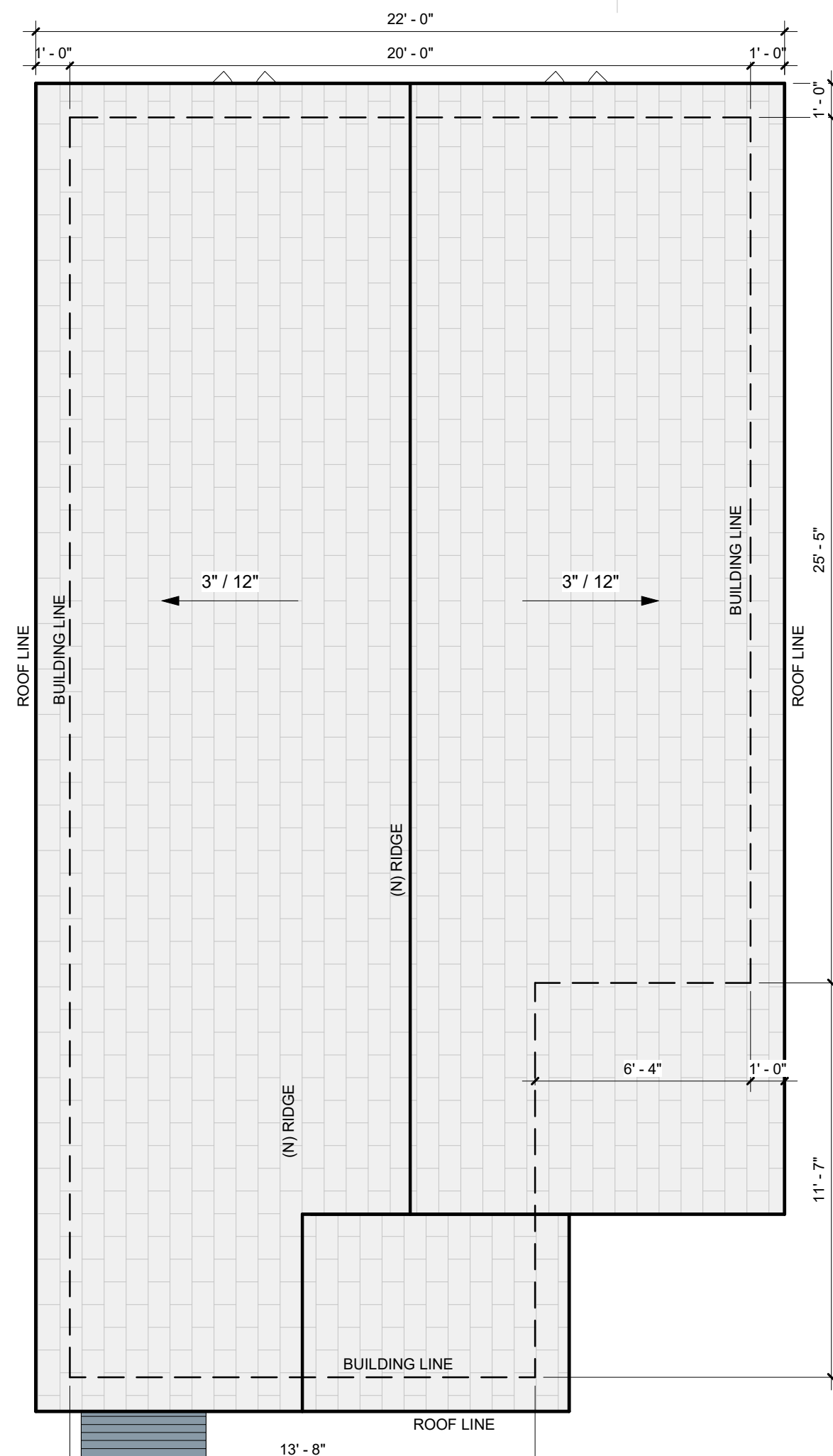
SHEET TITLE:
EXISTING ROOF, DEMO & UTILITIES PLAN

SHEET NO.

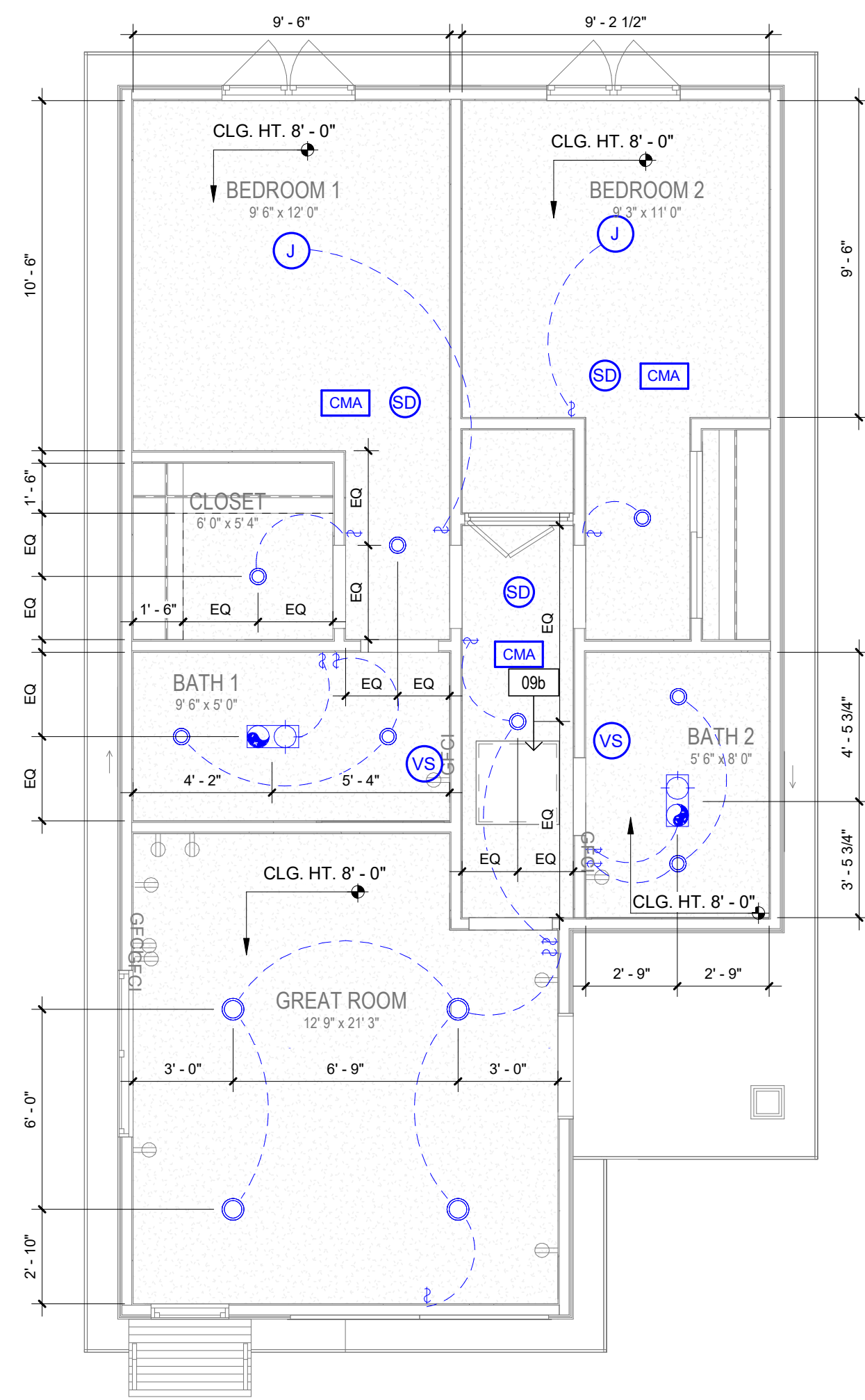
A0.1

FILE NAME: C:\Users\branda\OneDrive - AD\Desktop\TEMP\Pomona - 576 Texas St\576 Texas St - 102524_AWNING_BLDG.DWG
PLOT DATE: 02/23/24

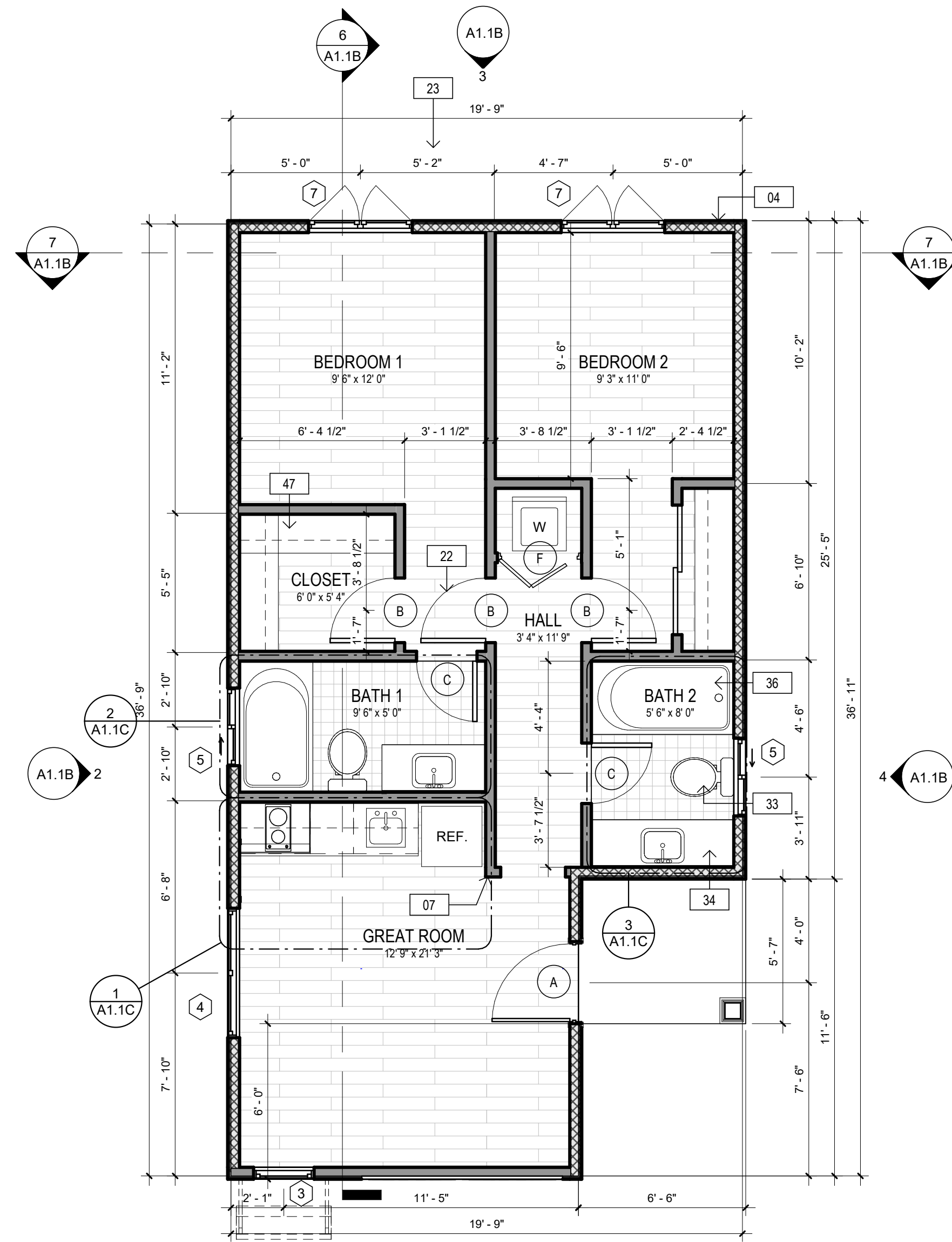




2 ADU #1 ROOF PLAN - PROPOSED
SCALE: 1/4" = 1'-0"



3 ADU #1 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



1 ADU #1 FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

ELECTRICAL GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CODES, RULES & REGULATIONS OF GOVERNING AGENCIES & SHALL COMPLY WITH THE REQUIREMENTS OF THE SERVING POWER & TELEPHONE COMPANIES.
2. ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO WEATHER SHALL BE WATERPROOFED.
3. RECEPTACLES IN BATHROOM SHALL BE INSTALLED ABOVE WORK TOP UNLESS OTHERWISE NOTED.
4. RECEPTACLES SHALL BE INSTALLED VERTICALLY +12" (APPROX.) ABOVE FLOOR.
5. WALL SWITCHES TO BE +42" ABOVE FLOOR, UNLESS NOTED OTHERWISE.
6. PROVIDE GROUND FAULT CIRCUIT INTERRUPTER (GFI) PROTECTION AT ALL BATHROOMS, POWDER ROOMS, OUTDOOR RECEPTACLES, GARAGES AND ALL KITCHEN RECEPTACLES SERVING THE COUNTERTOP SURFACES, ALSO AT LAUNDRY, UTILITY, AND WET BAR SINKS WHERE THE RECEPTACLES ARE INSTALLED WITHIN 6 FEET OF THE OUTSIDE EDGE OF THE SINK.
7. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET, MEASURED HORIZONTALLY, FROM AN OUTLET IN THAT SPACE.
8. A RECEPTACLE OUTLET SHALL BE INSTALLED IN ANY USABLE WALL SPACE 2 FT. OR MORE IN WIDTH.
9. PROVIDE 2 METHODS OF ELECTRICAL GROUNDING:
 - A. CLAMP AT HOSEBOX.
 - B. ONE ADDITIONAL #4 BAR-20' LONG IN FOOTING AT ELECTRICAL METER LOCATION FOR UFER GROUND.
10. BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY A MINIMUM OF ONE 20-AMPERE BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS BUT MAY SERVE MORE THAN ONE BATHROOM.
11. ALL 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAY, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI), COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. THIS INCLUDES LIGHTS, RECEPTABLES, FANS AND SMOKE DETECTORS.
12. EXCEPTION 1: WHERE RMC, IMC, EMT OR STEEL ARMORED CABLE, TYPE AC, MEETING THE REQUIREMENTS OF NEC 250.118 USING METAL OUTLET, IT SHALL BE PERMITTED TO INSTALL A COMBINATION AFCI AT THE FIRST OUTLET TO PROVIDE PROTECT FOR THE REMAINING PORTION OF THE BRANCH CIRCUIT NEC 210.12
13. APPLIANCE CIRCUITS ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS ONLY AND CANNOT SERVE DISHWASHER, MICROWAVE, RANGE HOOD, GARBAGE DISPOSAL OR APPLIANCE, LOCATED WITHIN CABINETS OR CUPBOARDS, OR LOCATED MORE THAN 1.7M (5-1/2 FT) ABOVE FLOOR.
14. BATH LIGHTING NOT TO BE ON AN OUTLET CIRCUIT. HIGH EFFICACY LUMINAIRES MUST BE PIN BASED.
15. OCCUPANT SENSOR AND MOTION SENSORS SHALL BE CAPABLE OF AUTOMATICALLY TURNING OFF ALL LIGHTS IN AN AREA NO MORE THAN 30 MINUTES AFTER THE AREA HAS BEEN VACATED. ALL 125-VOLT, 15- AND 20-AMPERE OUTLETS IN UNIT SHALL BE LISTED TAMPER-RESISTANT PER NEC 406.11 AND 210.52.

ELECTRICAL PLAN NOTES

1. MECHANICAL VENTILATION FOR TOILET COMPARTMENTS & BATHROOMS SHALL BE CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR.
2. PROVIDE LISTED NON-REMOVABLE TYPE BACK FLOW PREVENTION DEVICE AT ALL HOSE BIBBS.
3. SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE.
4. ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15 AND 20-AMPERE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
5. BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY A MINIMUM OF ONE 20-AMPERE BRANCH CIRCUIT.
6. SMOKE DETECTORS TO BE HARDWIRED W/ BATTERY BACK-UP TO COMPLY WITH TITLE 24, 310.9.1 REGARDING FIRE WARNING SYSTEM.

ELECTRICAL SYMBOLS

- POWER /DATA:**
- ⊕ TAMPER RESISTANT RECEPTACLE WALL MOUNTED, 110V U.N.O.
 - GFCI - WATER PROOF GFCI
 - CT - COOKTOP/GRILL 220V
 - O - OVEN 220V
 - MW - MICROWAVE 110V
 - GD - GARBAGE DISPOSAL 110V
 - R - RANGE 220V
 - C - COUNTER HEIGHT 6" ABV COUNTER
 - IDU - INDOOR UNIT POWER 84" AFF
 - WD - WASHER/DRYER (30 AMP/220 AMP)
- △ PHONE/DATA/MEDIA
- ⊖ CEILING, WATERPROOF OUTLET
- ⊕ FLOOR MOUNTED DUPLEX, RECEPTABLE, VERIFY LOCATION IN FIELD
- ▭ SUBPANEL

LIGHTING SYMBOLS

- LIGHTING:**
- ⊕ SURFACE MOUNTED CEILING LIGHT FIXTURE
 - CEILING RECESSED LIGHTING, ZERO CLEARANCE IC RATED LED BULB
 - ⊖ WP CEILING RECESSED LIGHTING, ZERO CLEARANCE IC RATED LED BULB WATER RESISTANT
 - ▭ RECTANGULAR MIRROR WITH PERIMETRAL LED LIGHTING
 - ⊖ WALL MOUNTED LIGHT FIXTURE
 - ⊖ J-BOX FLUSH CEILING MOUNTED

- MECHANICAL:**
- ⊖ RECESSED COMBINATION LIGHT/EXHAUST FAN, SWITCH CONTROLLED MIN. 50 CFM TO BE DUCTED TO EXTERIOR & MIN. 5 AIR CHANGES PER HOUR (1203.3)

- FIRE DETECTION:**
- ⊖ SMOKE ALARM, ICBO APPROVED, CEILING MOUNTED, HARDWIRED AND W/ BATTERY BACKUP (CRC R314)
 - ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT. SHALL COMPLY WITH THE FOLLOWING:
 - AT LEAST 3' FROM THE TIP OF THE BLADE OF A CEILING MOUNTED FAN
 - NOT LESS THAN 3' FROM THE DOOR OPENING OF A BATHROOM
 - AT LEAST 20' FROM A COOKING APPLIANCE OR 10' FROM COOKING APPLIANCE WITH THE ALARM IS AN IONIZING SMOKE ALARM PER NFPA 72 SECTION 29.3.4 ITEM 4
 - AT LEAST 3' FROM SUPPLY REGISTERS OF A HEATING/COOLING SYSTEM

- ⊖ CMA PROVIDE CARBON MONOXIDE ALARM (CRC R315) PERMANENTLY WIRED WITH BATTERY BACKUP. ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT
- ⊖ VS VACANCY SENSOR

FLOOR PLAN LEGEND

- ⊖ SMOKE ALARM, CEILING MOUNTED, SMOKE ALARMS/DETECTORS SHALL BE AT LEAST 6 FEET FROM PERMANENTLY INSTALLED COOKING APPLIANCES. WHEN BETWEEN 6- TO 10- FEET, THE SYSTEM SHALL BE A PHOTOELECTRIC SYSTEM AND WHEN BETWEEN 10- TO 20- FEET THE SYSTEM SHALL BE A PHOTOELECTRIC SYSTEM OR AN IONIZATION SYSTEM WITH A SILENCING SWITCH.
- ⊖ CMA CARBON MONOXIDE ALARMS SHALL BE HARDWIRED WITH BATTERY BACKUP AND INTERCONNECTED SO THAT THE ACTUATION OF ONE ALARM SHALL ACTIVATE ALL OTHER ALARMS IN THE DWELLING UNIT. PER CRC R314 & R315
- ⊖ EXISTING WALLS TO BE REMOVED
- ⊖ EXISTING WALLS TO REMAIN
- ⊖ NEW 2x STUD WALLS
- ⊖ 1 HR FIRE RATED WALLS

KEYNOTE LEGEND	
Key Value	Keynote Text
04	NEW EXTERIOR 2X4 STUDS @ 16" O.C. EXTERIOR WALL W/ FIBERGLASS BATT INSULATION. REFER TO CAL-CERTS ON SHEETS T24 FOR ADDITIONAL INFO. R-# 7/8" THK. NEW 4" FIBER CEMENT SIDING FINISH OVER 1/2" THK. EXT. GRADE. PLYWOOD SHEATHING. COLOR AND TEXTURE PER ELEVATIONS/FINISH SCHEDULE
07	NEW INTERIOR WALL 2X6 STUDS @ 16" O.C. W/ 1/2" THK GYP BD EACH SIDE. PLUMBING WALL
09b	NEW ATTIC ACCESS 30" x 30"
22	NEW DOORS. SEE DOOR SCHEDULE.
23	NEW FLOORING AND BASEBOARDS. PER OWNER SPEC
33	NEW TOILET FIXTURE, ULTRA LOW FLUSH WITH 1.28 GAL MAX. PROVIDE A MIN. OF 24" MIN. CLEAR DIRECTLY IN FRONT OF AND 15" MIN FROM WALL TO CENTERLINE. PER OWNER SPEC. COORDINATE PLUMBING POINT OF CONNECTION W/ SPEC
34	NEW VANITY COUNTER/SINK/FAUCET. FAUCET TO BE 1.2 GPM MAX FLOW RATE. PER OWNER SPEC. COORDINATE PLUMBING POINT OF CONNECTION W/ SPEC
36	NEW TUB/SHOWER COMBO W/ TEMPERED GLASS ENCLOSURE (2.0 GPM), PER OWNER SPEC. COORDINATE PLUMBING POINT OF CONNECTION W/ SPEC
47	NEW CLOSET. PROVIDE SHELF & POLES

NATURAL LIGHT CALCULATIONS

- BEDROOM 1**
ROOM AREA: 132 SF
8' x 132 = 10.56 SF
EXTERIOR GLAZING: 16 + 8.94 = 24.94 SF
24.94 > 10.56 SF
- BEDROOM 2**
ROOM AREA: 122 SF
8' x 122 = 9.76 SF
EXTERIOR GLAZING: 16 + 8.94 = 24.94 SF
24.94 > 10.56 SF

ARCHITECT:
BRENDA GUTIERREZ

ENGINEER:

REVISIONS

NO.	DESCRIPTION

OWNER
PABLO & ANA GONZALEZ
576 TEXAS ST
POMONA, CA 91768

PROJECT:
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POMONA, CA 91768

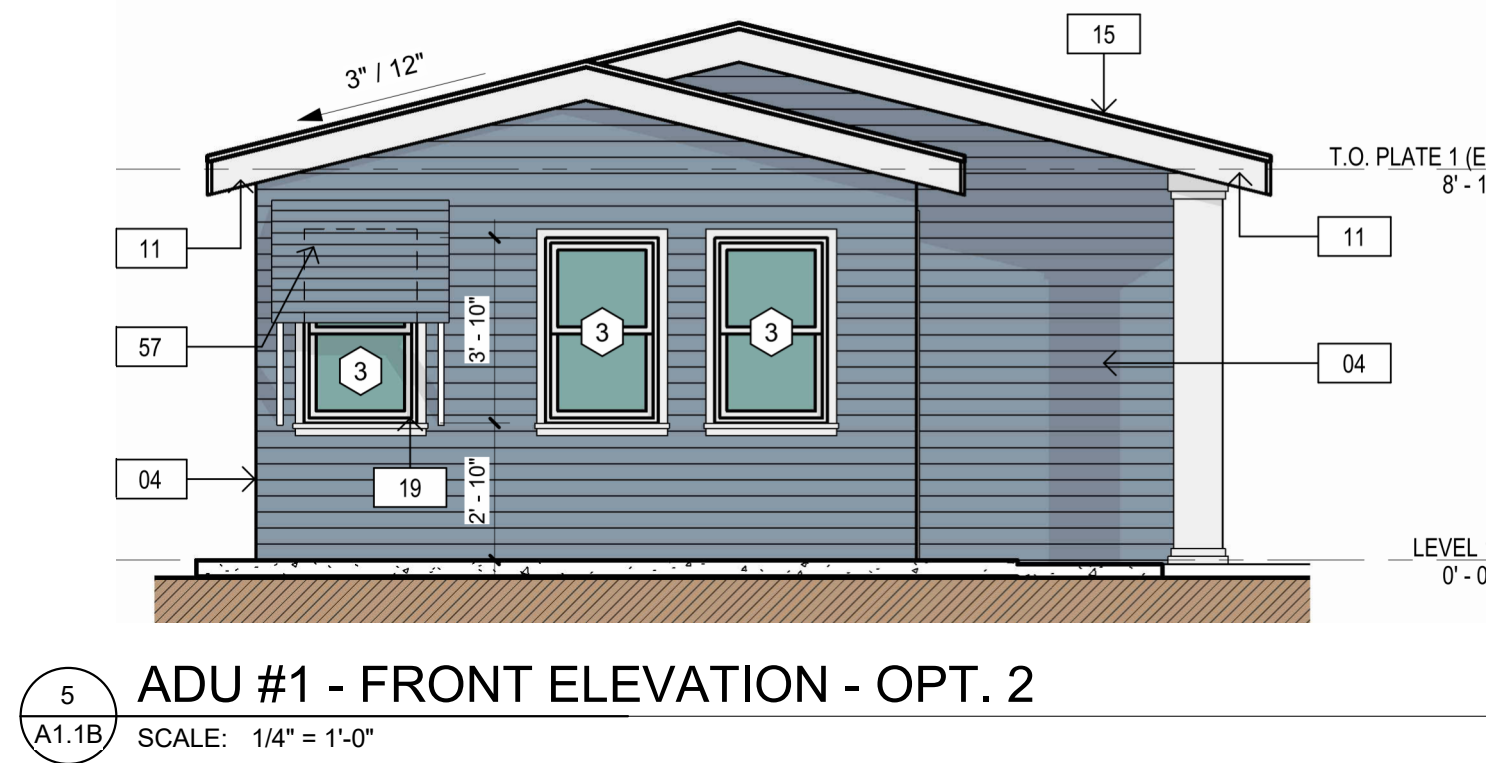
JOB NO. 12/29/2025
DATE: 12/29/2025
SHEET TITLE:
ADU #1 FLOOR PLAN AND ROOF PLAN

SHEET NO.
A1.1A

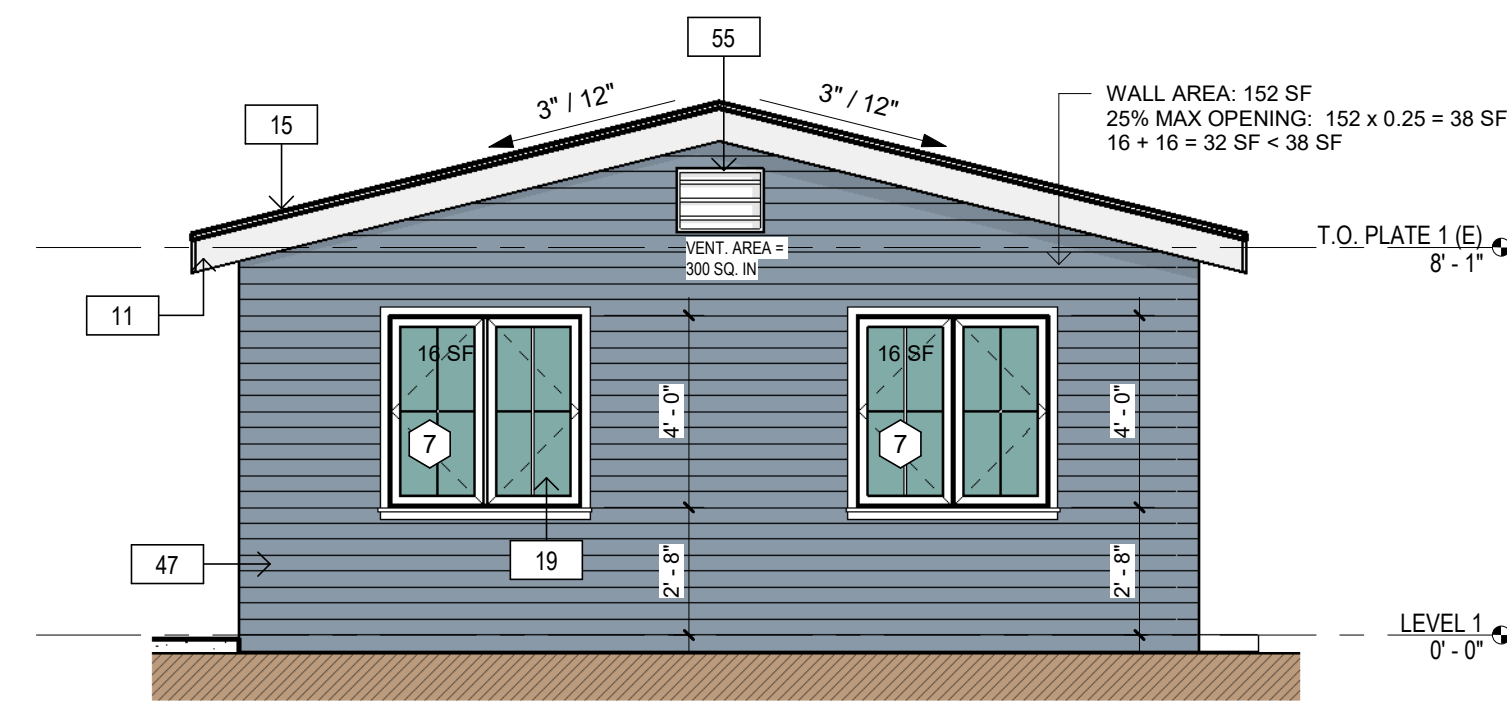
NEW WINDOW SCHEDULE											
NO.	QTY	ROUGH OPENING		Type	Material	MANUFACTURER	MODEL	HEAD HEIGHT	EXST / NEW	U-Factor	SHGC
		WIDTH	HEIGHT								
3	1	2' - 4"	3' - 10"	Window-Double-Hung	WOOD / GLASS	MARVIN		6' - 8"	NEW	0.30	0.23
4	1	5' - 0"	3' - 0"	Window-Single-Hung-Double	WOOD / GLASS	MARVIN		6' - 8"	NEW	0.30	0.23
5	2	3' - 0"	2' - 0"	Window-Sliding-Double	WOOD / GLASS	MARVIN		6' - 8"	NEW	0.30	0.23
7	2	4' - 0"	4' - 0"	Window-Casement-Double	WOOD / GLASS	MARVIN		6' - 8"	NEW	0.30	0.23

NOTE:
UNLESS OTHERWISE NOTED, ALL WINDOWS SHALL BE WOOD AND SHALL MATCH THE COLOR OF THE EXISTING PROJECT WINDOWS TO MAINTAIN ARCHITECTURAL CONSISTENCY.

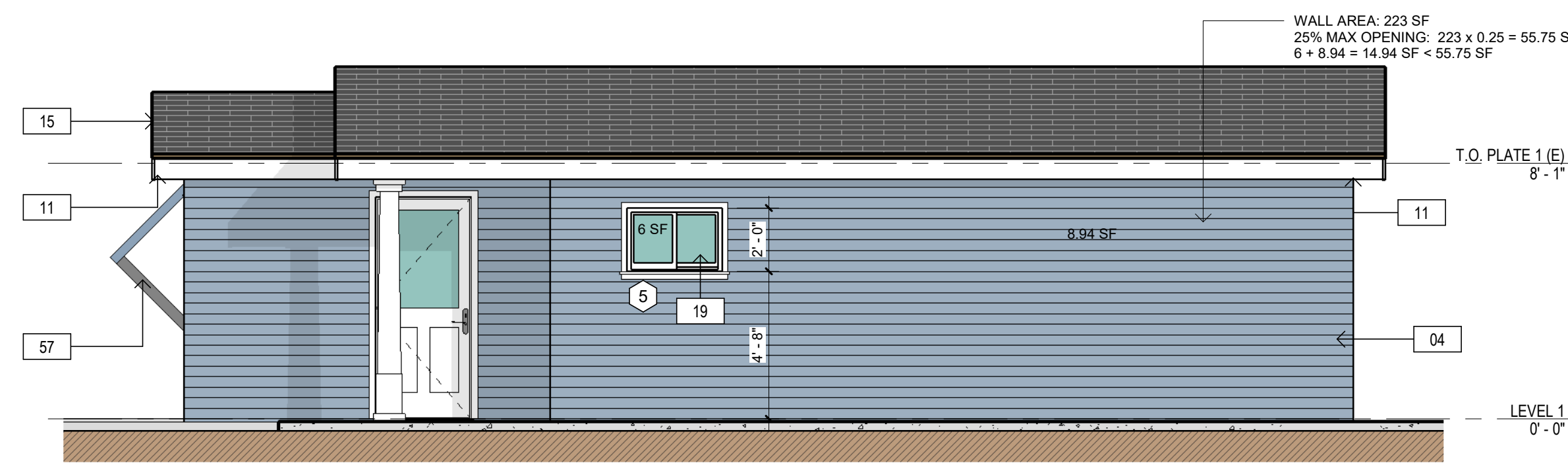
NEW DOOR SCHEDULE							
No.	WIDTH	HEIGHT	QTY	Door Panel Type	EXST / NEW	U-Factor	SHGC
A	3' - 0"	7' - 0"	1	WOOD SOLID CORE	NEW	0.30	0.23
B	2' - 6"	6' - 8"	5	WOOD SOLID CORE	NEW	0.30	0.23
C	2' - 4"	6' - 8"	6	WOOD SOLID CORE	NEW	0.30	0.23
D	6' - 0"	7' - 0"	1	TEMPERED GLASS	NEW	0.30	0.23



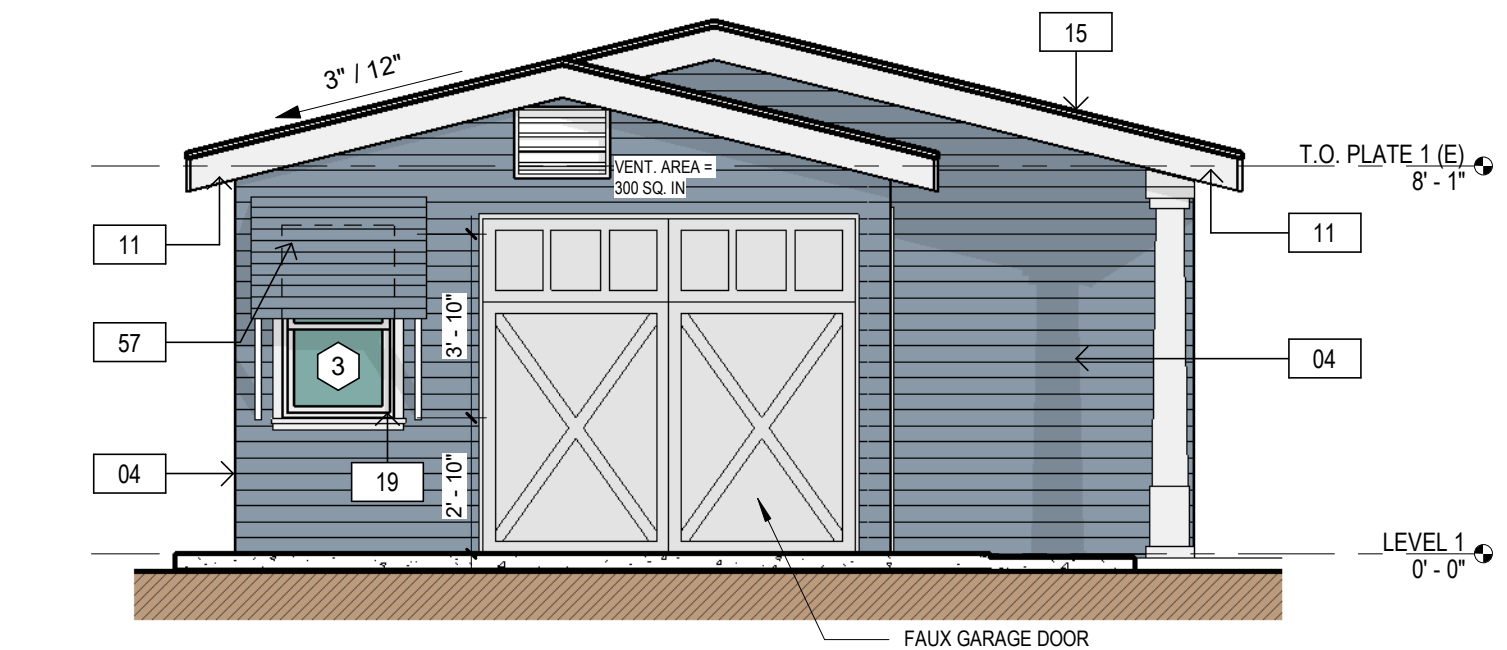
KEYNOTE LEGEND	
Key Value	Keynote Text
04	NEW EXTERIOR 2X4 STUDS @ 16" O.C. EXTERIOR WALL W/ FIBERGLASS BATT INSULATION. REFER TO CAL-CERTS ON SHEETS T24 FOR ADDITIONAL INFO. R-# 7/8" THK. NEW 4" FIBER CEMENT SIDING FINISH OVER 1/2" THK. EXT. GRADE. PLYWOOD SHEATHING. COLOR AND TEXTURE PER ELEVATIONS/FINISH SCHEDULE
07	NEW INTERIOR WALL 2X6 STUDS @ 16" O.C. W/ 1/2" THK GYP BD EACH SIDE. PLUMBING WALL
09	NEW 2X CEILING JOIST WITH BATT INSULATION. REFER TO FRAMING PLAN TITLE 24
09a	NEW GYPSUM BOARD CEILING
11	NEW 2X FASCIA OR BARGE, PRIME AND PAINT
15	NEW ASPHALT SHINGLE ROOFING. CLASS "A" MIN. ROOF PER MFG RECOMMENDATIONS AND ICC #ESR-1017
16	NEW WOOD BEAM. SEE STRUCTURAL
17	NEW FOOTING. SEE STRUCTURAL
18	NEW CONCRETE SLAB. SEE STRUCTURAL
19	NEW DUAL GLAZED WINDOW WITH 0 # U-FACTOR AND 0 # SHGC PER TITLE 24. IDENTIFICATION SHALL BE PER SECTION R308.1. FRAME MATERIAL: COMPOSITE - WOOD-CLAD VINYL. SEE WINDOW SCHEDULE
33	NEW TOILET FIXTURE. ULTRA LOW FLUSH WITH 1.28 GAL MAX. PROVIDE A MIN. OF 24" MIN. CLEAR DIRECTLY IN FRONT OF AND 15" MIN FROM WALL TO CENTERLINE. PER OWNER SPEC. COORDINATE PLUMBING POINT OF CONNECTION W/ SPEC
47	NEW CLOSET. PROVIDE SHELF & POLES
55	18" x 24" GABLE VENT (NFA = 141 SQ. IN.)
57	NEW AWNING TO MATCH EXISTING



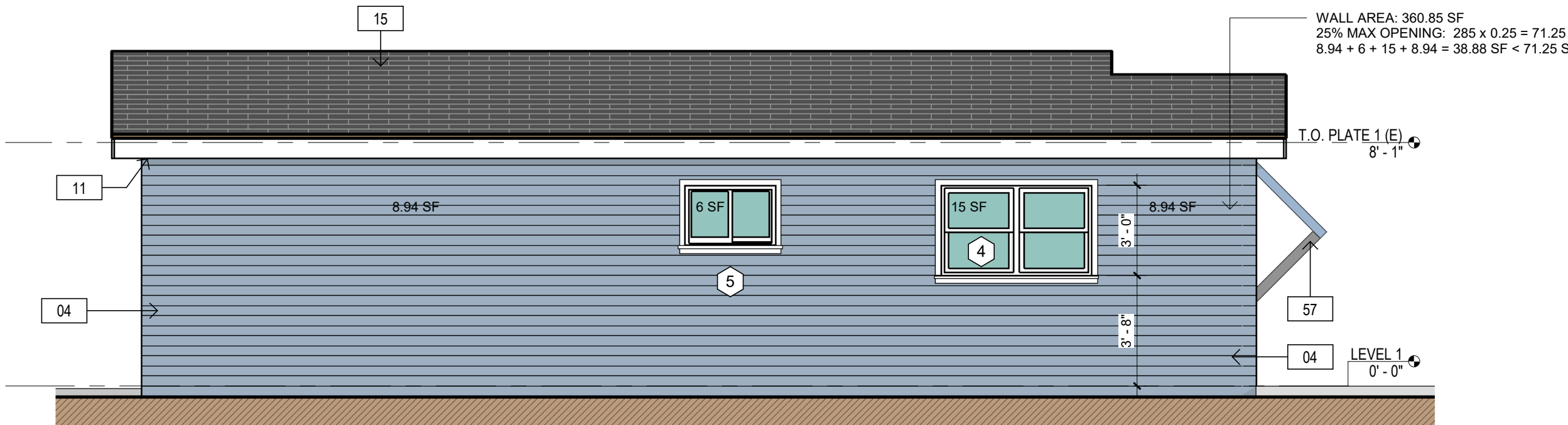
3 ADU #1 - REAR ELEVATION (SOUTH)
A1.1B SCALE: 1/4" = 1'-0"



4 ADU #1 - RIGHT ELEVATION (WEST)
A1.1B SCALE: 1/4" = 1'-0"



1 ADU #1 - FRONT ELEVATION (NORTH)
A1.1B SCALE: 1/4" = 1'-0"



2 ADU #1 - LEFT ELEVATION (EAST)
A1.1B SCALE: 1/4" = 1'-0"

ATTIC AREA VENTILATION

TOTAL ATTIC AREA: = 615 SF

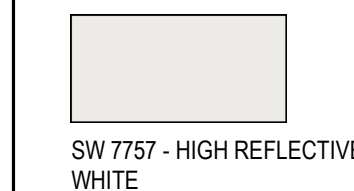
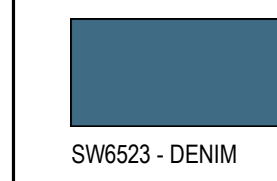
REQUIRED VENTING AREA 1:150 RATIO:
735 / 150 = 4.9 SF REQ'D
4.9 x 144 = 590 SQ. IN.

PROVIDED VENTING AREA:
(3600 x 2) = 600 SQ. IN. = 600 SQ. IN.
= 4.16 SF

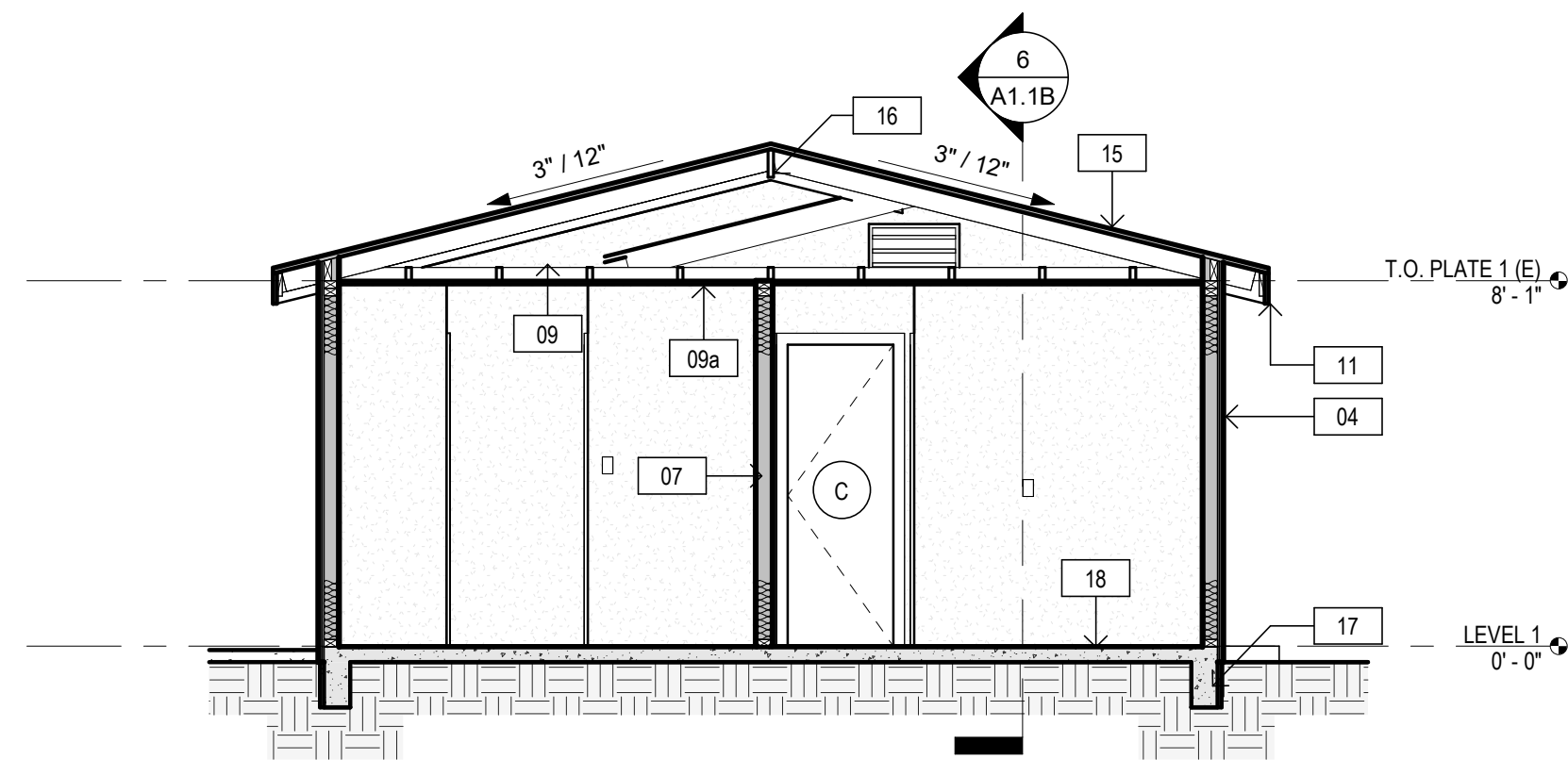
4.16 SF PROVIDED > 4.1 SF REQUIRED = OK

EXTERIOR FINISHES

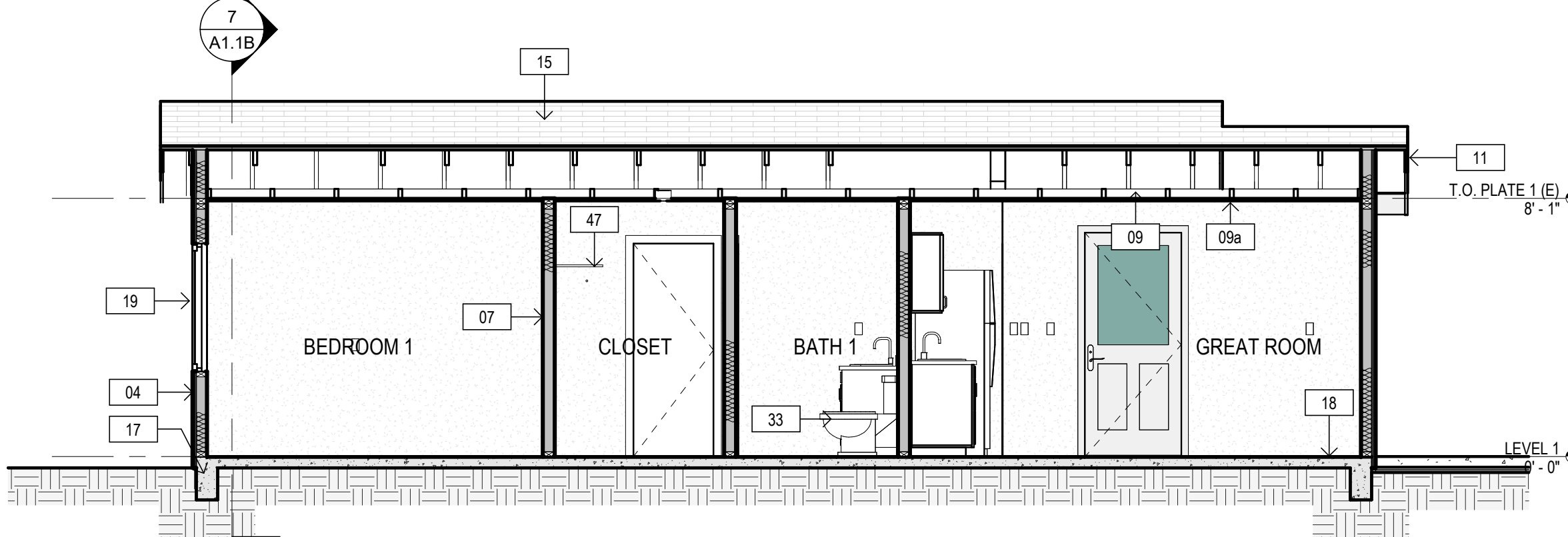
- WALL COLOR: SW6523 - DENIM
- WALL ACCENT: SW 6601 - TANAGER
- WINDOW TRIM: SW 7757 - HIGH REFLECTIVE WHITE
- DOOR TRIM: SW 7757 - HIGH REFLECTIVE WHITE
- EXPOSED RAFTERS: SW 7757 - HIGH REFLECTIVE WHITE
- KNEE BRACES: SW 7757 - HIGH REFLECTIVE WHITE
- ROOF: ELITE GLASS-SEAL® WEATHERED WOOD



IMPORTANT NOTE:
ALL THE FINISHES INDICATED HERE, WHICH WILL BE APPLIED TO THE NEW ADU, MUST BE VERIFIED ON-SITE BY THE CONTRACTOR TO ENSURE THEY MATCH THE APPEARANCE OF THE EXISTING DWELLING.



7 ADU #1 - SECTION A
A1.1B SCALE: 1/4" = 1'-0"



6 ADU #1 - SECTION BB
A1.1B SCALE: 1/4" = 1'-0"

ARCHITECT:
BRENDA GUTIERREZ

ENGINEER:

REVISIONS

NO.	DATE	DESCRIPTION

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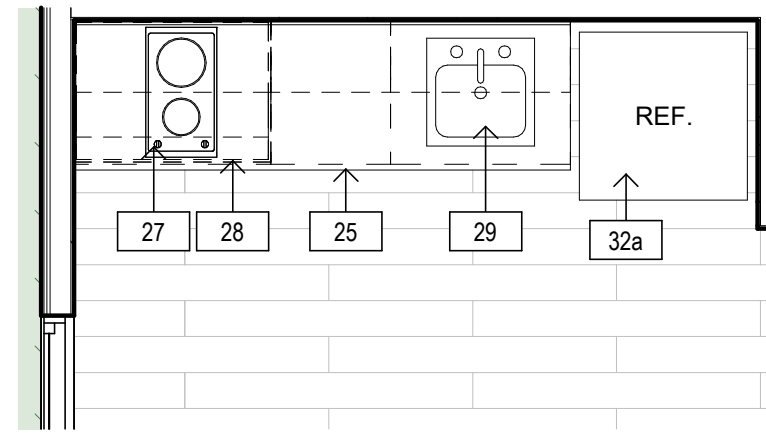
DATE: 12/29/2025

SHEET TITLE:

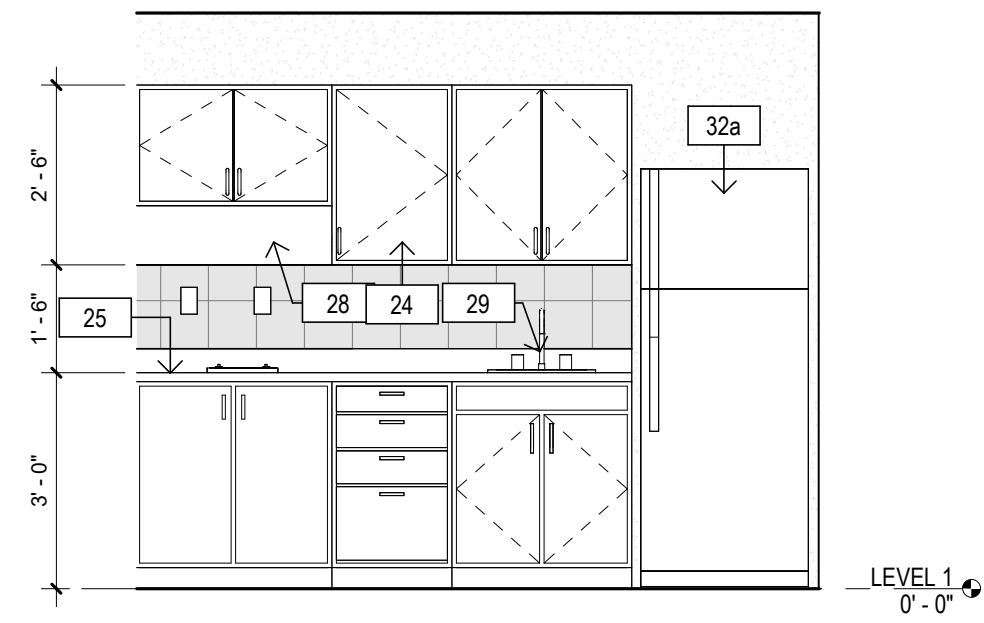
ADU #1 EXTERIOR ELEVATIONS (OPTIONAL) AND BUILDING SECTIONS

SHEET NO.

A1.1B

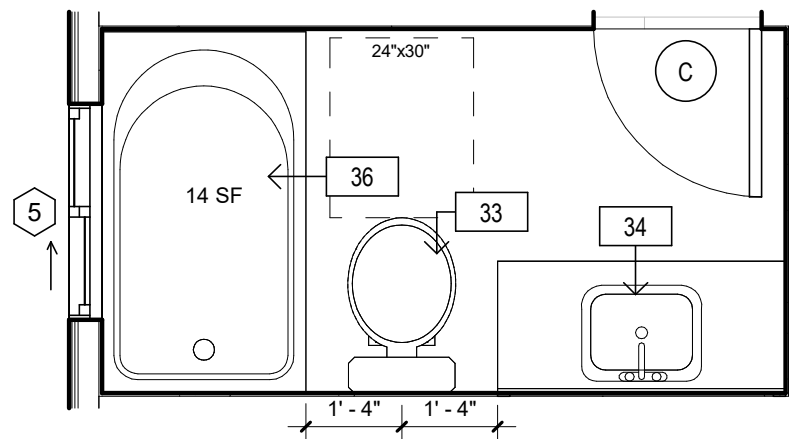


1 ADU #1 - KITCHEN
A1.1C SCALE: 3/8" = 1'-0"

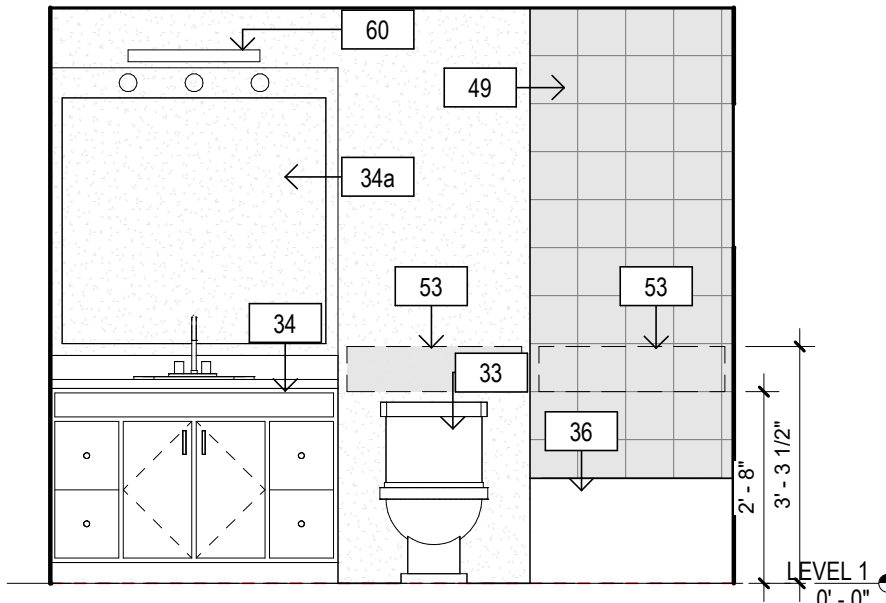


1A KITCHEN ELEVATION A
A1.1C SCALE: 3/8" = 1'-0"

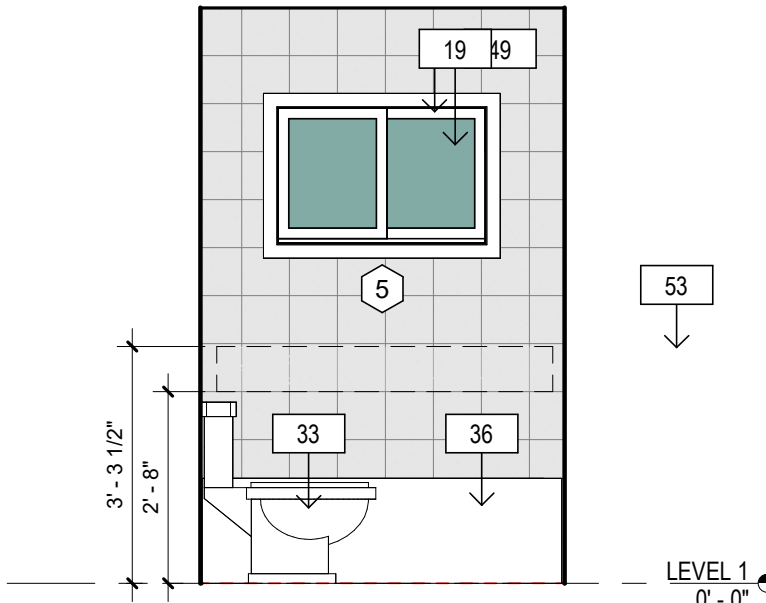
KEYNOTE LEGEND	
Key Value	Keynote Text
19	NEW DUAL GLAZED WINDOW WITH 0.# U-FACTOR AND 0.# SHGC PER TITLE 24. IDENTIFICATION SHALL BE PER SECTION R308.1. FRAME MATERIAL: COMPOSITE - WOOD-CLAD VINYL. SEE WINDOW SCHEDULE
22	NEW DOORS. SEE DOOR SCHEDULE.
24	NEW KITCHEN CABINETS. PER OWNER SPEC
25	NEW KITCHEN COUNTERTOP PER OWNER SPEC
27	NEW STOVE/RANGE SPACE. PROVIDE POWER PER MFG. RECOMMENDATIONS. PER OWNER SPEC
28	NEW HOOD EXHAUST FAN, 24" - 30" AWAY, VENT THRU ROOF, PER OWNER SPEC
29	NEW SINK AND FAUCET MAX 1.8 GPM. PROVIDE SEPARATE 20 AMP CIRCUITS FOR GARBAGE DISPOSAL. PER OWNER SPEC. COORDINATE PLUMBING POINT OF CONNECTION W/ SPEC
32a	NEW FRIDGE SPACE. PROVIDE POWER. PER OWNER SPECS
33	NEW TOILET FIXTURE. ULTRA LOW FLUSH WITH 1.28 GAL MAX. PROVIDE A MIN. OF 24" MIN. CLEAR DIRECTLY IN FRONT OF AND 15" MIN FROM WALL TO CENTERLINE. PER OWNER SPEC. COORDINATE PLUMBING POINT OF CONNECTION W/ SPEC
34	NEW VANITY COUNTER/SINK/FAUCET. FAUCET TO BE 1.2 GPM MAX FLOW RATE. PER OWNER SPEC. COORDINATE PLUMBING POINT OF CONNECTION W/ SPEC
34a	NEW 21" PEDESTAL BATHROOM SINK. FAUCET TO BE 1.2 GPM MAX FLOW RATE. PER OWNER SPEC. COORDINATE PLUMBING POINT OF CONNECTION W/ SPEC
36	NEW TUB/SHOWER COMBO W/ TEMPERED GLASS ENCLOSURE (2.0 GPM). PER OWNER SPEC. COORDINATE PLUMBING POINT OF CONNECTION W/ SPEC
49	CERAMIC TILE
53	REINFORCEMENT IN WALLS
60	



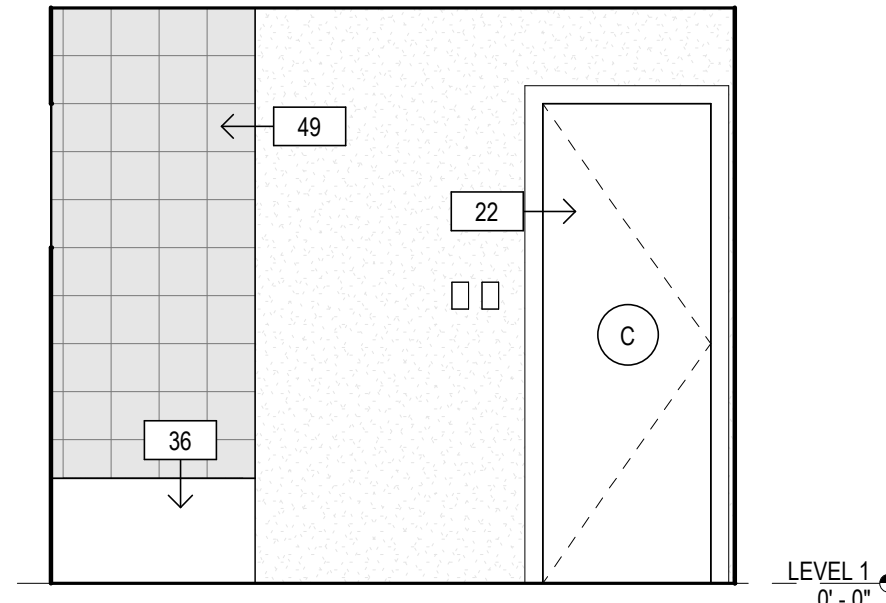
2 ADU #1 - PRIMARY BATHROOM
A1.1C SCALE: 3/8" = 1'-0"



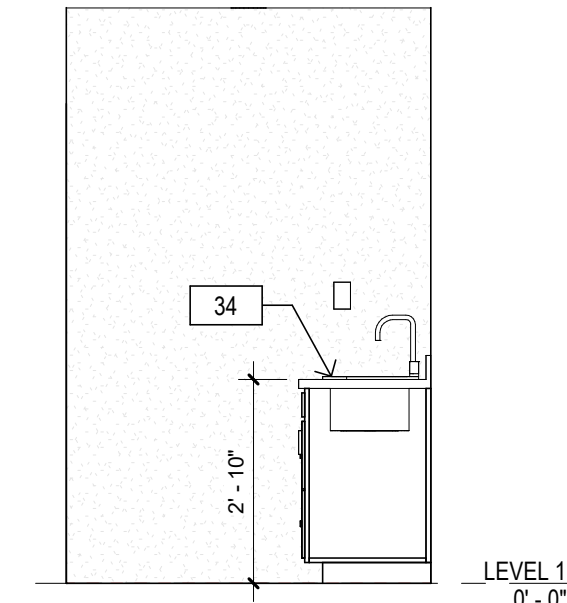
2A BATH - A
A1.1C SCALE: 3/8" = 1'-0"



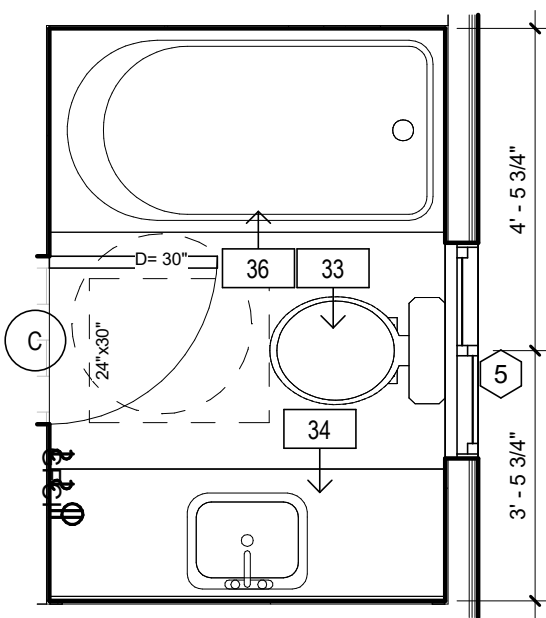
2B BATH - B
A1.1C SCALE: 3/8" = 1'-0"



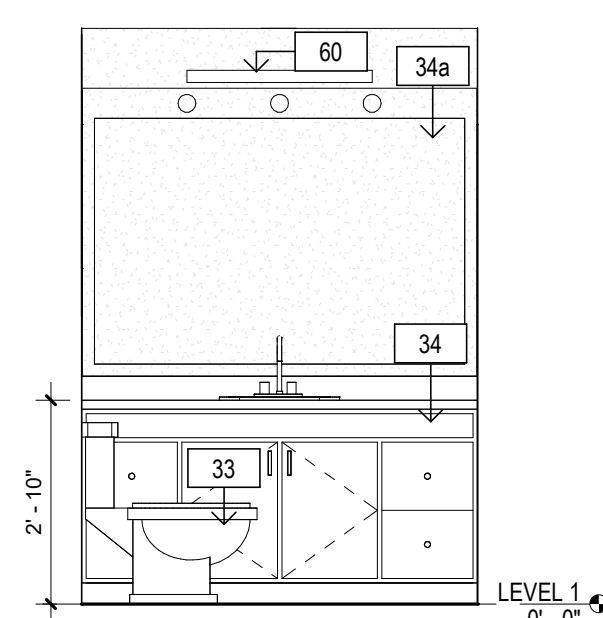
2C BATH - C
A1.1C SCALE: 3/8" = 1'-0"



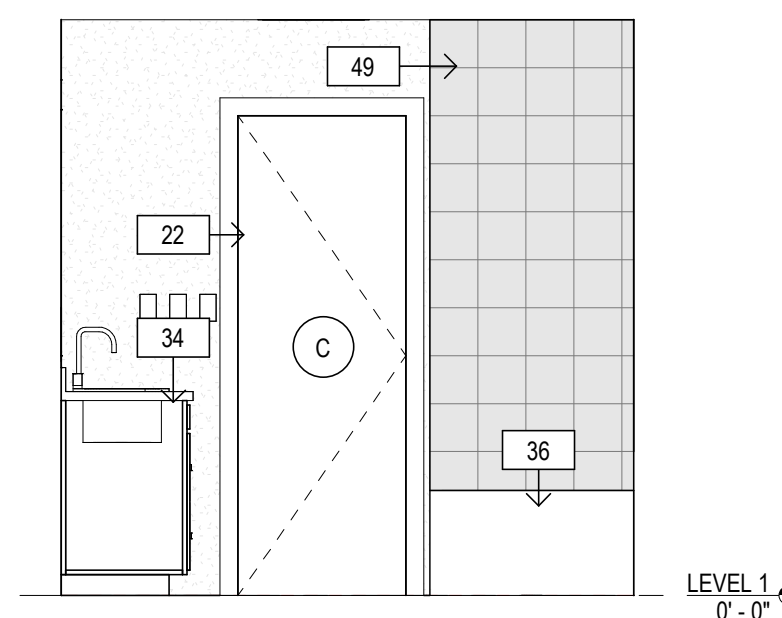
2D BATH - D
A1.1C SCALE: 3/8" = 1'-0"



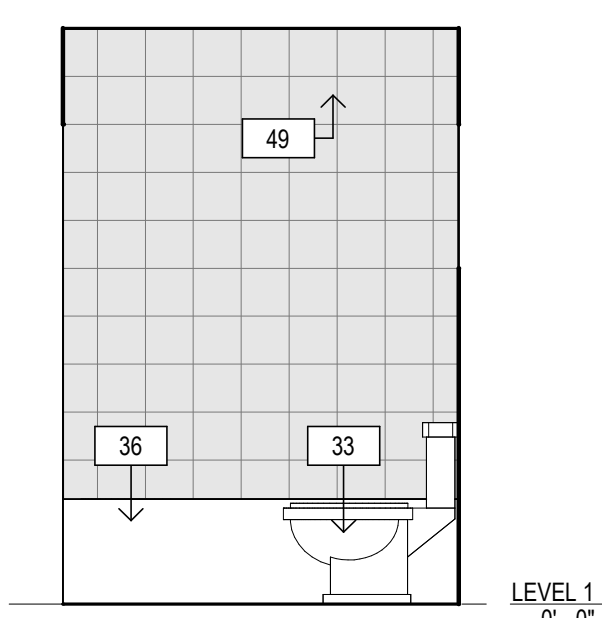
3 ADU #1 - BATH
A1.1C SCALE: 3/8" = 1'-0"



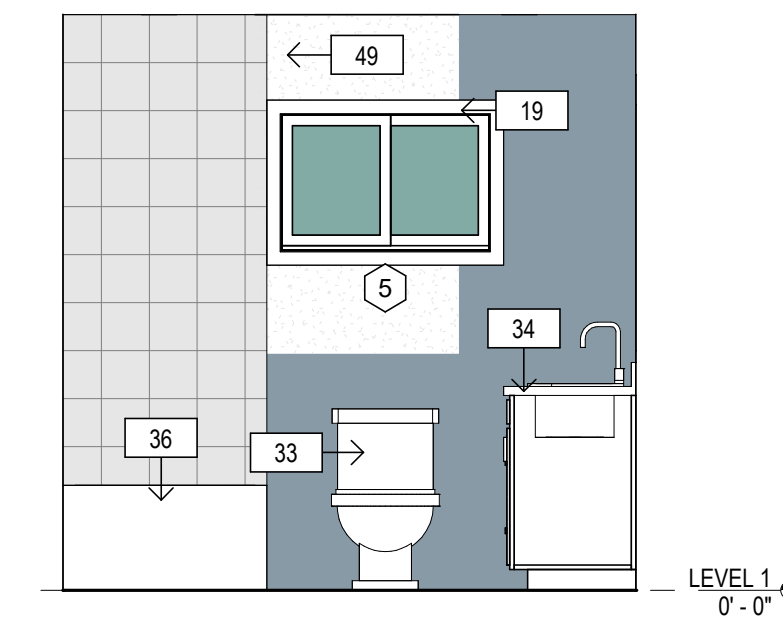
3A BATH - A
A1.1C SCALE: 3/8" = 1'-0"



3B BATH - B
A1.1C SCALE: 3/8" = 1'-0"



3C BATH - C
A1.1C SCALE: 3/8" = 1'-0"



3D BATH - D
A1.1C SCALE: 3/8" = 1'-0"

ARCHITECT:
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ENGINEER:

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JOB NO. 12/29/2025

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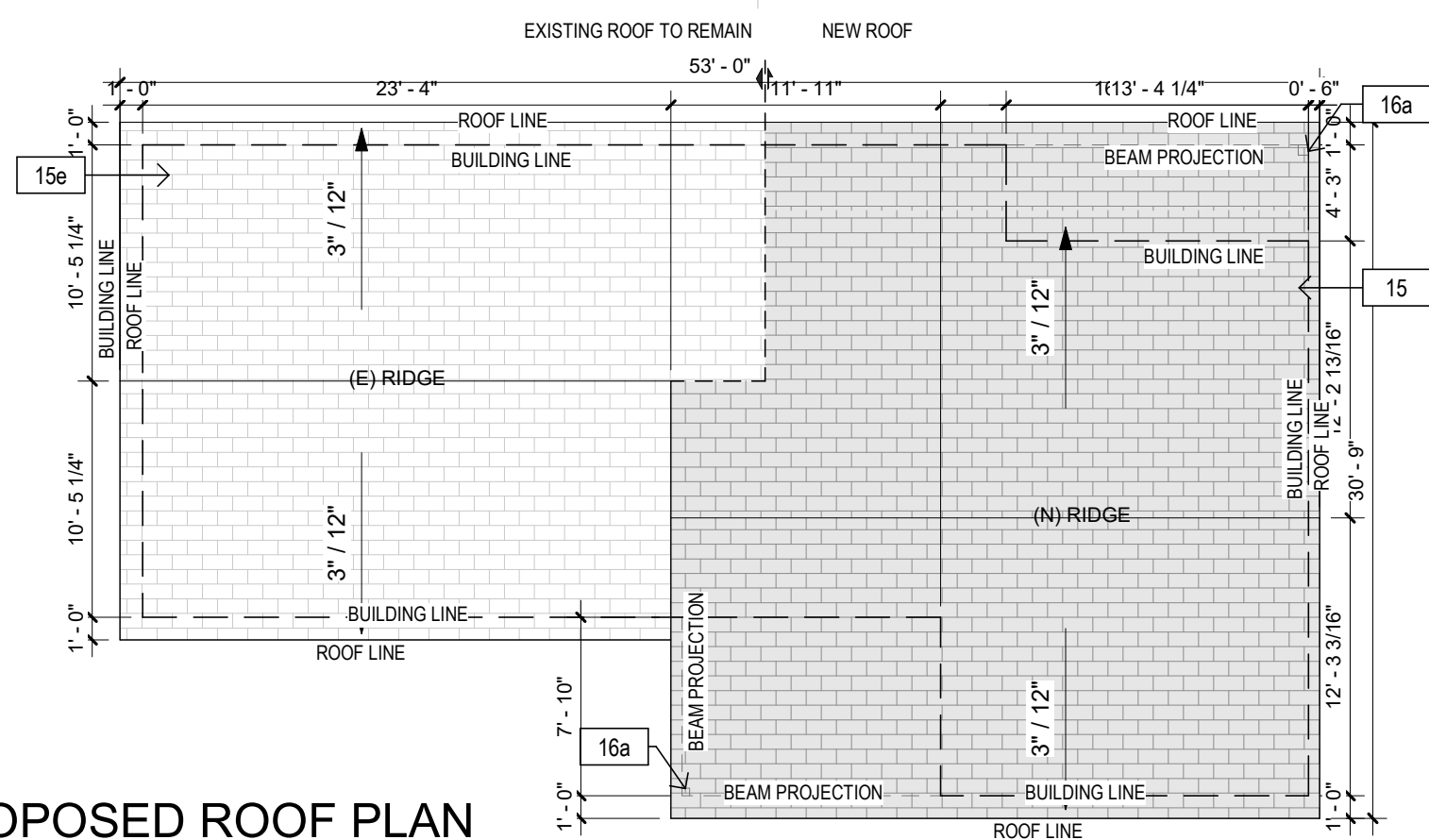
SHEET TITLE:

ADU #1 INTERIOR ELEVATIONS

SHEET NO.

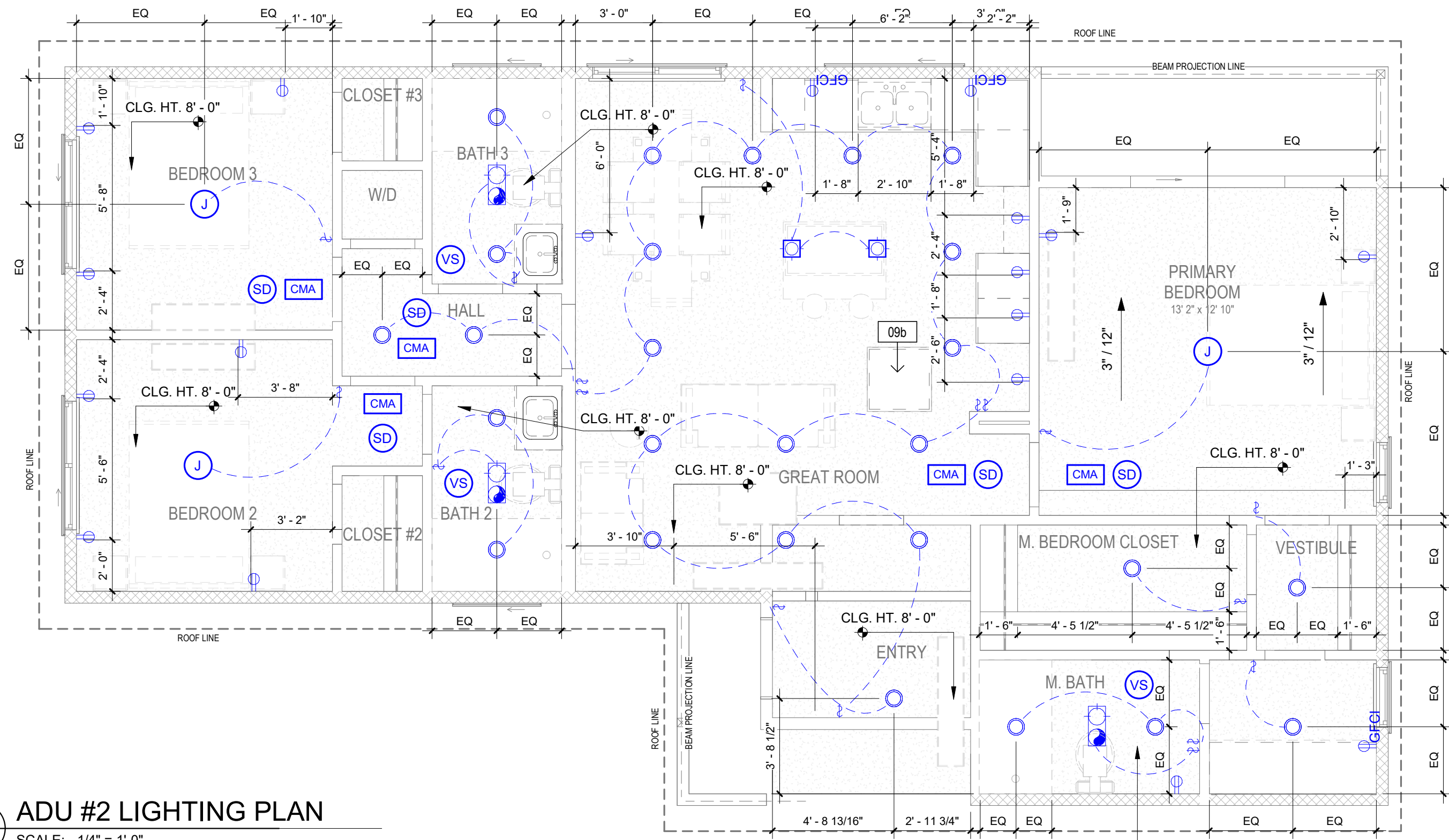
A1.1C

FILE NAME: C:\Users\benedict\OneDrive - AD\Desktop\TEMP\Pomona - 576 Texas St\576 Texas St - 102524_AWNING_BGV.DWG PLOT DATE: 04/22/22



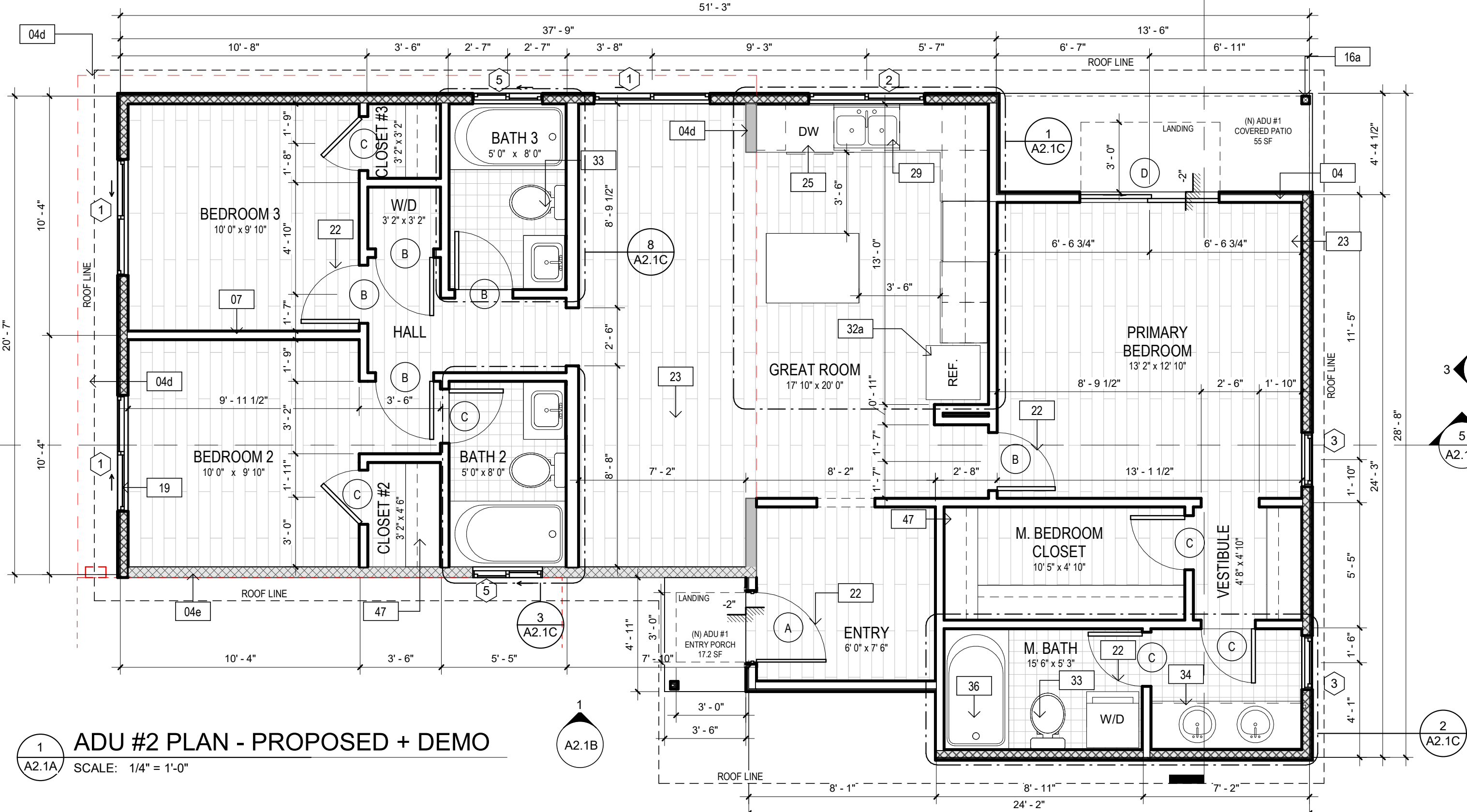
2 ADU #2 PROPOSED ROOF PLAN

A2.1A SCALE: 1/8" = 1'-0"



5 ADU #2 LIGHTING PLAN

A2.1A SCALE: 1/4" = 1'-0"



1 ADU #2 PLAN - PROPOSED + DEMO

A2.1A SCALE: 1/4" = 1'-0"

ELECTRICAL GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CODES, RULES & REGULATIONS OF GOVERNING AGENCIES & SHALL COMPLY WITH THE REQUIREMENTS OF THE SERVING POWER & TELEPHONE COMPANIES.
2. ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO WEATHER SHALL BE WATERPROOFED.
3. RECEPTACLES IN BATHROOM SHALL BE INSTALLED ABOVE WORK TOP UNLESS OTHERWISE NOTED.
4. RECEPTACLES SHALL BE INSTALLED VERTICALLY +12" (APPROX.) ABOVE FLOOR.
5. WALL SWITCHES TO BE +4" ABOVE FLOOR, UNLESS NOTED OTHERWISE.
6. PROVIDE GROUND FAULT CIRCUIT INTERRUPTER (GFI) PROTECTION AT ALL BATHROOMS, POWDER ROOMS, OUTDOOR RECEPTACLES, GARAGES AND ALL KITCHEN RECEPTACLES SERVING THE COUNTERTOP SURFACES, ALSO AT LAUNDRY, UTILITY, AND WET BAR SINKS WHERE THE RECEPTACLES ARE INSTALLED WITHIN 6 FEET OF THE OUTSIDE EDGE OF THE SINK.
7. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET, MEASURED HORIZONTALLY, FROM AN OUTLET IN THAT SPACE.
8. A RECEPTACLE OUTLET SHALL BE INSTALLED IN ANY USABLE WALL SPACE 2 FT. OR MORE IN WIDTH.
9. PROVIDE 2 METHODS OF ELECTRICAL GROUNDING:
 - A. CLAMP AT HOSEBIB.
 - B. ONE ADDITIONAL #4 BAR-20" LONG IN FOOTING AT ELECTRICAL METER LOCATION FOR UFER GROUND.
10. BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY A MINIMUM OF ONE 20-AMPERE BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS BUT MAY SERVE MORE THAN ONE BATHROOM.
11. ALL 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAY, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI), COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. THIS INCLUDES LIGHTS, RECEPTABLES, FANS AND SMOKE DETECTORS.
- EXCEPTION 1: WHERE RMC, IMC, EMT OR STEEL ARMORED CABLE, TYPE AC, MEETING THE REQUIREMENTS OF NEC 250.118 USING METAL OUTLET, IT SHALL BE PERMITTED TO INSTALL A COMBINATION AFCI AT THE FIRST OUTLET TO PROVIDE PROTECT FOR THE REMAINING PORTION OF THE BRANCH CIRCUIT NEC 210.12
12. APPLIANCE CIRCUITS ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS ONLY AND CANNOT SERVE DISHWASHER, MICROWAVE, RANGE HOOD, GARBAGE DISPOSAL OR APPLIANCE. LOCATED WITHIN CABINETS OR CUPBOARDS, OR LOCATED MORE THAN 17M (5-1/2 FT) ABOVE FLOOR.
13. BATH LIGHTING NOT TO BE ON AN OUTLET CIRCUIT. HIGH EFFICIENCY LUMINAIRES MUST BE PIN BASED.
14. OCCUPANT SENSOR AND MOTION SENSORS SHALL BE CAPABLE OF AUTOMATICALLY TURNING OFF ALL LIGHTS IN AN AREA NO MORE THAN 30 MINUTES AFTER THE AREA HAS BEEN VACATED. ALL 125-VOLT, 15- AND 20-AMPERE OUTLETS IN UNIT SHALL BE LISTED TAMPER-RESISTANT PER NEC 406.11 AND 210.52.

ELECTRICAL SYMBOLS

1. MECHANICAL VENTILATION FOR TOILET COMPARTMENTS & BATHROOMS SHALL BE CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR.
2. PROVIDE LISTED NON-REMOVABLE TYPE BACK FLOW PREVENTION DEVICE AT ALL HOSE BIBBS.
3. SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE.
4. ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15 AND 20-AMPERE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
5. BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY A MINIMUM OF ONE 20-AMPERE BRANCH CIRCUIT.
6. SMOKE DETECTORS TO BE HARDWIRED W/ BATTERY BACK-UP TO COMPLY WITH TITLE 24, 310.9.1 REGARDING FIRE WARNING SYSTEM.

ELECTRICAL SYMBOLS

- POWER / DATA:**
- TRAMPER RESISTANT RECEPTACLE WALL MOUNTED, 110V U.N.O.
 - GFCI - WATER PROOF GFCI
 - CT - COOKTOP/GRILL 220V
 - O - OVEN 220V
 - MW - MICROWAVE 110V
 - GD - GARBAGE DISPOSAL 110V
 - R - RANGE 220V
 - C - COUNTER HEIGHT 6" ABV COUNTER
 - IDU - INDOOR UNIT POWER 84" ABV
 - WD - WASHER/DRYER (30 AMP/220 AMP)
- PHONE/DATA/MEDIA**
- CEILING, WATERPROOF OUTLET
 - FLOOR MOUNTED DUPLEX, RECEPTABLE, VERIFY LOCATION IN FIELD
 - SUBPANEL

LIGHTING SYMBOLS

- LIGHTING: SURFACE MOUNTED CEILING LIGHT FIXTURE
- CEILING RECESSED LIGHTING, ZERO CLEARANCE IC RATED LED BULB
- CEILING RECESSED LIGHTING, ZERO CLEARANCE IC RATED LED BULB WATER RESISTANT
- RECTANGULAR MIRROR WITH PERIMETRAL LED LIGHTING
- WALL MOUNTED LIGHT FIXTURE
- J-BOX FLUSH CEILING MOUNTED

- MECHANICAL:**
- RECESSED COMBINATION LIGHT/EXHAUST FAN, SWITCH CONTROLLED MIN. 50 CFM TO BE DUCTED TO EXTERIOR & MIN. 5 AIR CHANGES PER HOUR (1203.3)

- FIRE DETECTION:**
- SMOKE ALARM, ICBO APPROVED, CEILING MOUNTED, HARDWIRED AND W/ BATTERY BACKUP (CRC R314)
 - ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT. SHALL COMPLY WITH THE FOLLOWING:
 - AT LEAST 3' FROM THE TIP OF THE BLADE OF A CEILING MOUNTED FAN
 - NOT LESS THAN 3' FROM THE DOOR OPENING OF A BATHROOM
 - AT LEAST 20' FROM A COOKING APPLIANCE OR 10' FROM COOKING APPLIANCE WITH THE ALARM IS AN IONIZING SMOKE ALARM PER NFPA 72 SECTION 29.8.3.4 ITEM 4
 - AT LEAST 3' FROM SUPPLY REGISTERS OF A HEATING/COOLING SYSTEM

- CMA PROVIDE CARBON MONOXIDE ALARM (CRC R315) PERMANENTLY WIRED WITH BATTERY BACKUP. ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT
- VS VACANCY SENSOR

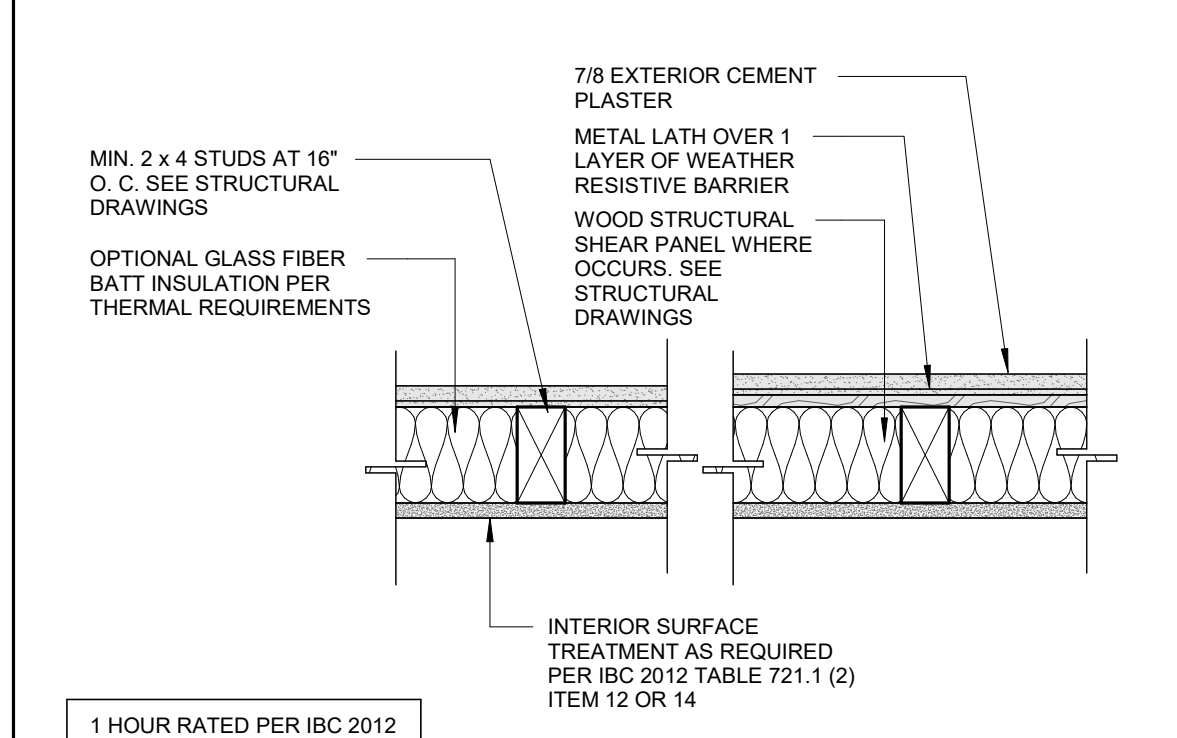
SMOKE ALARMS SHALL NOT BE INSTALLED WITHIN A 36 INCH HORIZONTAL PATH FROM THE TIP OF THE BLADE OF A CEILING-SUSPENDED FAN. CFC 907.2.10.8

WHERE MORE THAN ONE SMOKE ALARM ARE REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. CFC 907.2.10.5

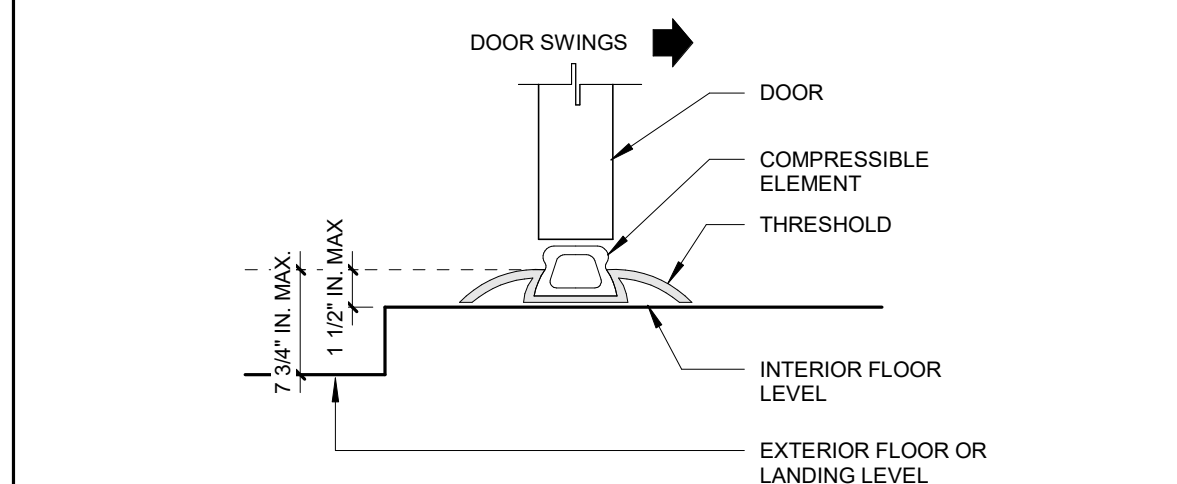
FLOOR PLAN LEGEND

- SD SMOKE ALARM, CEILING MOUNTED. SMOKE ALARMS/DETECTORS SHALL BE AT LEAST 6 FEET FROM PERMANENTLY INSTALLED COOKING APPLIANCES. WHEN BETWEEN 6- TO 10- FEET, THE SYSTEM SHALL BE A PHOTOELECTRIC SYSTEM AND WHEN BETWEEN 10- TO 20- FEET THE SYSTEM SHALL BE A PHOTOELECTRIC SYSTEM OR AN IONIZATION SYSTEM WITH A SILENCING SWITCH.
- CMA CARBON MONOXIDE ALARMS SHALL BE HARDWIRED WITH BATTERY BACKUP AND INTERCONNECTED SO THAT THE ACTUATION OF ONE ALARM SHALL ACTIVATE ALL OTHER ALARMS IN THE DWELLING UNIT. PER CRC R314 & R315
- EXISTING WALLS TO BE REMOVED
- EXISTING WALLS TO REMAIN
- NEW 2x STUD WALLS
- 1 HR FIRE RATED WALLS

KEYNOTE LEGEND	
Key Value	Keynote Text
04	NEW EXTERIOR 2X4 STUDS @ 16" O.C. EXTERIOR WALL W/ FIBERGLASS BATT INSULATION. REFER TO CAL-CERTS ON SHEETS T24 FOR ADDITIONAL INFO. R-# 7/8" THK. NEW 4" FIBER CEMENT SIDING FINISH OVER 1/2" THK. EXT. GRADE. PLYWOOD SHEATHING. COLOR AND TEXTURE PER ELEVATIONS/FINISH SCHEDULE
04d	DEMO EXTERIOR 2X STUD WALL
04e	EXISTING EXTERIOR 2X STUD WALL TO REMAIN
07	NEW INTERIOR WALL 2X6 STUDS @ 16" O.C. W/ 1/2" THK GYP BD EACH SIDE. PLUMBING WALL
09b	NEW ATTIC ACCESS 30" x 30"
15	NEW ASPHALT SHINGLE ROOFING. CLASS "A" MIN. ROOF PER MFG RECOMMENDATIONS AND ICC #ESR-1017
15e	EXISTING ASPHALT SHINGLE ROOFING. VERIFY CLASS "A" MIN. ROOF PER MFG RECOMMENDATIONS AND ICC #ESR-1017
16a	
19	NEW DUAL GLAZED WINDOW WITH 0.8 U-FACTOR AND 0.8 SHGC PER TITLE 24. IDENTIFICATION SHALL BE PER SECTION R308.1. FRAME MATERIAL: COMPOSITE - WOOD-CLAD VINYL. SEE WINDOW SCHEDULE
22	NEW DOORS. SEE DOOR SCHEDULE.
23	NEW FLOORING AND BASEBOARDS. PER OWNER SPEC
25	NEW KITCHEN COUNTERTOP PER OWNER SPEC
29	NEW SINK AND FAUCET MAX 1.8 GPM. PROVIDE SEPARATE 20 AMP CIRCUITS FOR GARBAGE DISPOSAL. PER OWNER SPEC. COORDINATE PLUMBING POINT OF CONNECTION W/ SPEC
32a	NEW FRIDGE SPACE. PROVIDE POWER. PER OWNER SPECS
33	NEW TOILET FIXTURE. ULTRA LOW FLUSH WITH 1.28 GAL MAX. PROVIDE A MIN. OF 24" MIN. CLEAR DIRECTLY IN FRONT OF AND 15" MIN FROM WALL TO CENTERLINE. PER OWNER SPEC. COORDINATE PLUMBING POINT OF CONNECTION W/ SPEC
34	NEW VANITY COUNTER/SINK/FAUCET. FAUCET TO BE 1.2 GPM MAX FLOW RATE. PER OWNER SPEC. COORDINATE PLUMBING POINT OF CONNECTION W/ SPEC
36	NEW TUB/SHOWER COMBO W/ TEMPERED GLASS ENCLOSURE (2.0 GPM). PER OWNER SPEC. COORDINATE PLUMBING POINT OF CONNECTION W/ SPEC
47	NEW CLOSET. PROVIDE SHELF & POLES



3 1 HR EXTERIOR STUCCO WALL
A2.1A SCALE: 1 1/2" = 1'-0"



4 THRESHOLD HEIGHTS
A2.1A SCALE: NOT TO SCALE

NATURAL LIGHT CALCULATIONS

(N) MASTER BEDROOM	ROOM AREA: 167 SF
	8% x 167 = 13.35 SF
EXTERIOR GLAZING: 40 + 8.94 = 48.94 SF	
	48.94 > 13.35 SF
(N) BEDROOM 2	ROOM AREA: 113 SF
	8% x 113 = 9.04 SF
EXTERIOR GLAZING: 20 SF	
	20 > 9.04 SF
(N) BEDROOM 3	ROOM AREA: 102 SF
	8% x 102 = 8.16 SF
EXTERIOR GLAZING: 20 SF	
	20 > 8.16 SF

ARCHITECT:
BRENDA GUTIERREZ

ENGINEER:

REVISIONS

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JOB NO. 12/29/2025
DATE: 12/29/2025
SHEET TITLE:
ADU #2 FLOOR PLAN & ROOF PLAN

SHEET NO.
A2.1A

NEW WINDOW SCHEDULE											
NO.	QTY	WIDTH	HEIGHT	Type	Material	MANUFACTURER	MODEL	HEAD HEIGHT	EXST / NEW	U-Factor	SHGC
1	3	5' - 0"	4' - 0"	Window-Sliding-Double	WOOD / GLASS	MARVIN		6' - 8"	NEW	0.30	0.23
2	1	5' - 0"	3' - 0"	Window-Sliding-Double	WOOD / GLASS	MARVIN		6' - 8"	NEW	0.30	0.23
3	2	2' - 4"	3' - 10"	Window-Double-Hung	WOOD / GLASS	MARVIN		6' - 8"	NEW	0.30	0.23
5	2	3' - 0"	2' - 0"	Window-Sliding-Double	WOOD / GLASS	MARVIN		6' - 8"	NEW	0.30	0.23
7	2	4' - 0"	4' - 0"	Window-Casement-Double	WOOD / GLASS	MARVIN		6' - 8"	NEW	0.30	0.23

NOTE:
ALL WINDOWS INSTALLED IN THE RESIDENCE SHALL BE COMPOSITE WINDOWS WITH WOOD-CLAD VINYL FRAMES AND SASHES, UNLESS OTHERWISE NOTED ON DRAWINGS.

NEW DOOR SCHEDULE							
No.	WIDTH	HEIGHT	QTY	Door Panel Type	EXST / NEW	U-Factor	SHGC
A	3' - 0"	7' - 0"	1	WOOD SOLID CORE	NEW	0.30	0.23
B	2' - 6"	6' - 8"	5	WOOD SOLID CORE	NEW	0.30	0.23
C	2' - 4"	6' - 8"	6	WOOD SOLID CORE	NEW	0.30	0.23
D	6' - 0"	7' - 0"	1	TEMPERED GLASS	NEW	0.30	0.23

KEYNOTE LEGEND	
Key Value	Keynote Text
04	NEW EXTERIOR 2X4 STUDS @ 16" O.C. EXTERIOR WALL W/ FIBERGLASS BATT INSULATION. REFER TO CAL-CERTS ON SHEETS T24 FOR ADDITIONAL INFO. R-# 7/8" THK. NEW 4" FIBER CEMENT SIDING FINISH OVER 1/2" THK. EXT. GRADE. PLYWOOD SHEATHING. COLOR AND TEXTURE PER ELEVATIONS/FINISH SCHEDULE
04e	EXISTING EXTERIOR 2X STUD WALL TO REMAIN
05	26 GA. CORROSION RESISTANT WEEP SCREED. REFER TO DETAIL. 1 MIN. 0.019 (NO. 26 GLAV. SHEET GRADE) CORRISON - RESISTANT OR PLASTIC WEEP SCREED. INSTALL 2" MIN FROM CONCRETE AND 6" MIN FROM EARTH GRADE
07	NEW INTERIOR WALL 2X6 STUDS @ 16" O.C. W/ 1/2" THK GYP BD EACH SIDE. PLUMBING WALL
09	NEW 2X CEILING JOIST WITH BATT INSULATION. REFER TO FRAMING PLAN TITLE 24
09a	NEW GYPSUM BOARD CEILING
10	NEW 2X ROOF RAFTERS
15	NEW ASPHALT SHINGLE ROOFING. CLASS "A" MIN. ROOF PER MFG RECOMMENDATIONS AND ICC #ESR-1017
15e	EXISTING ASPHALT SHINGLE ROOFING. VERIFY CLASS "A" MIN. ROOF PER MFG RECOMMENDATIONS AND ICC #ESR-1017
16	NEW WOOD BEAM. SEE STRUCTURAL
16a	NEW FOOTING. SEE STRUCTURAL
17	NEW CONCRETE SLAB. SEE STRUCTURAL
18	NEW DUAL GLAZED WINDOW WITH 0.# U-FACTOR AND 0.# SHGC PER TITLE 24. IDENTIFICATION SHALL BE PER SECTION R308.1. FRAME MATERIAL: COMPOSITE - WOOD-CLAD VINYL. SEE WINDOW SCHEDULE
19	NEW DOORS. SEE DOOR SCHEDULE.
22	NEW DOORS. SEE DOOR SCHEDULE.

ARCHITECT:
BRENDA GUTIERREZ

ENGINEER:

REVISIONS

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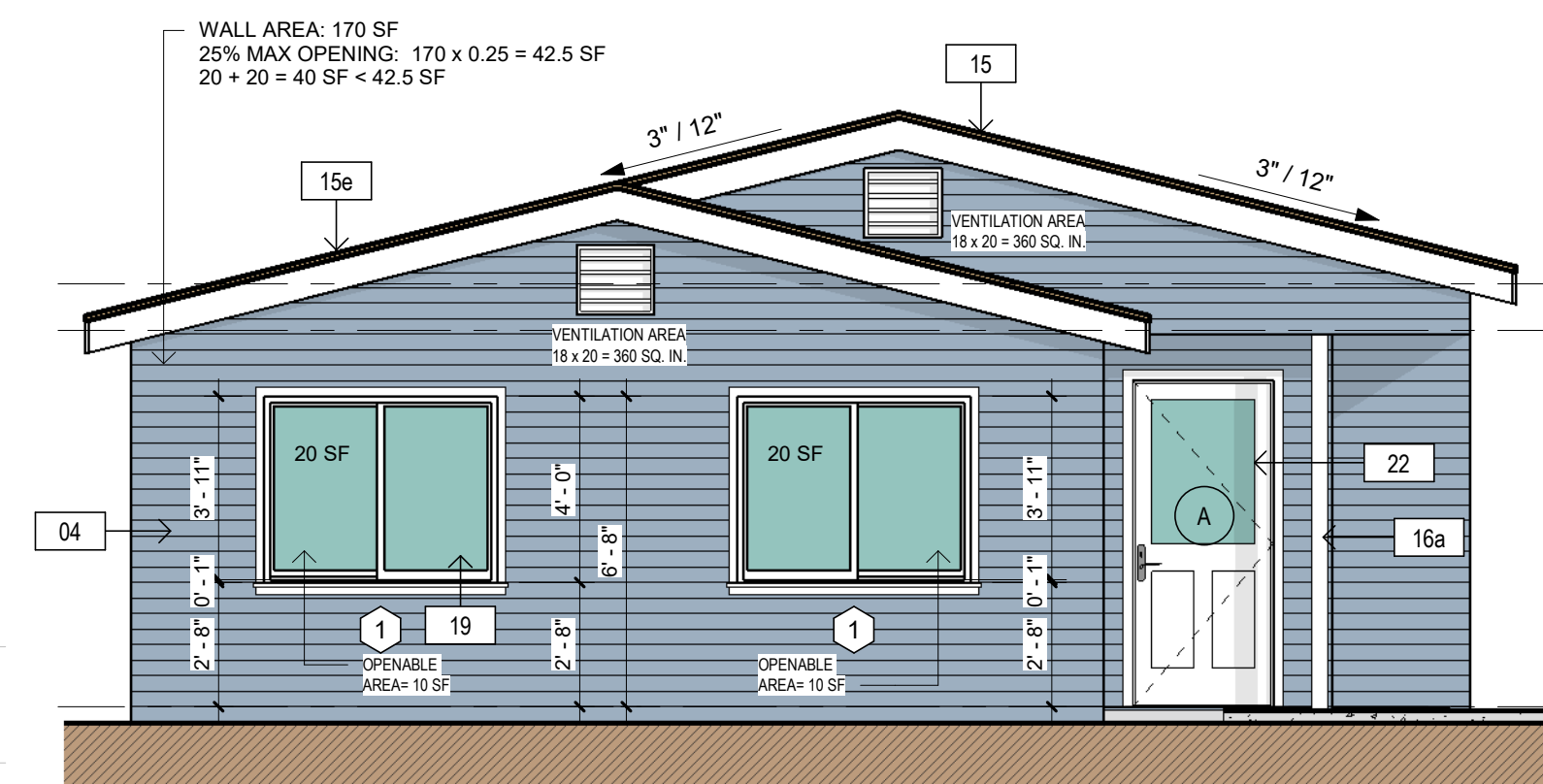
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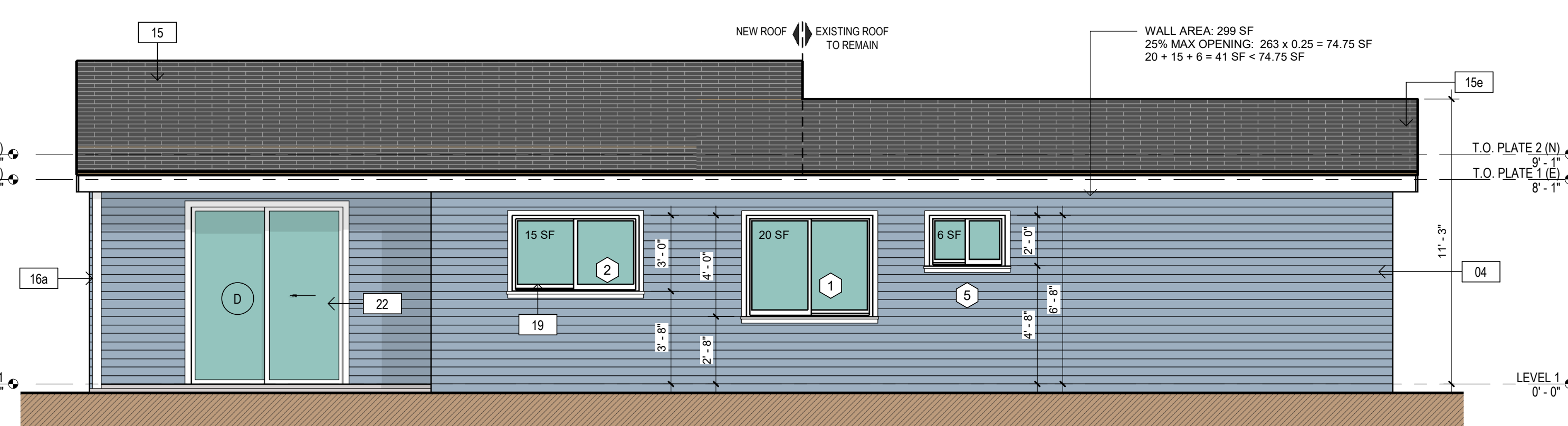
JOB NO. 12/29/2025
DATE: 12/29/2025

SHEET TITLE:
ADU #2 EXTERIOR ELEVATIONS

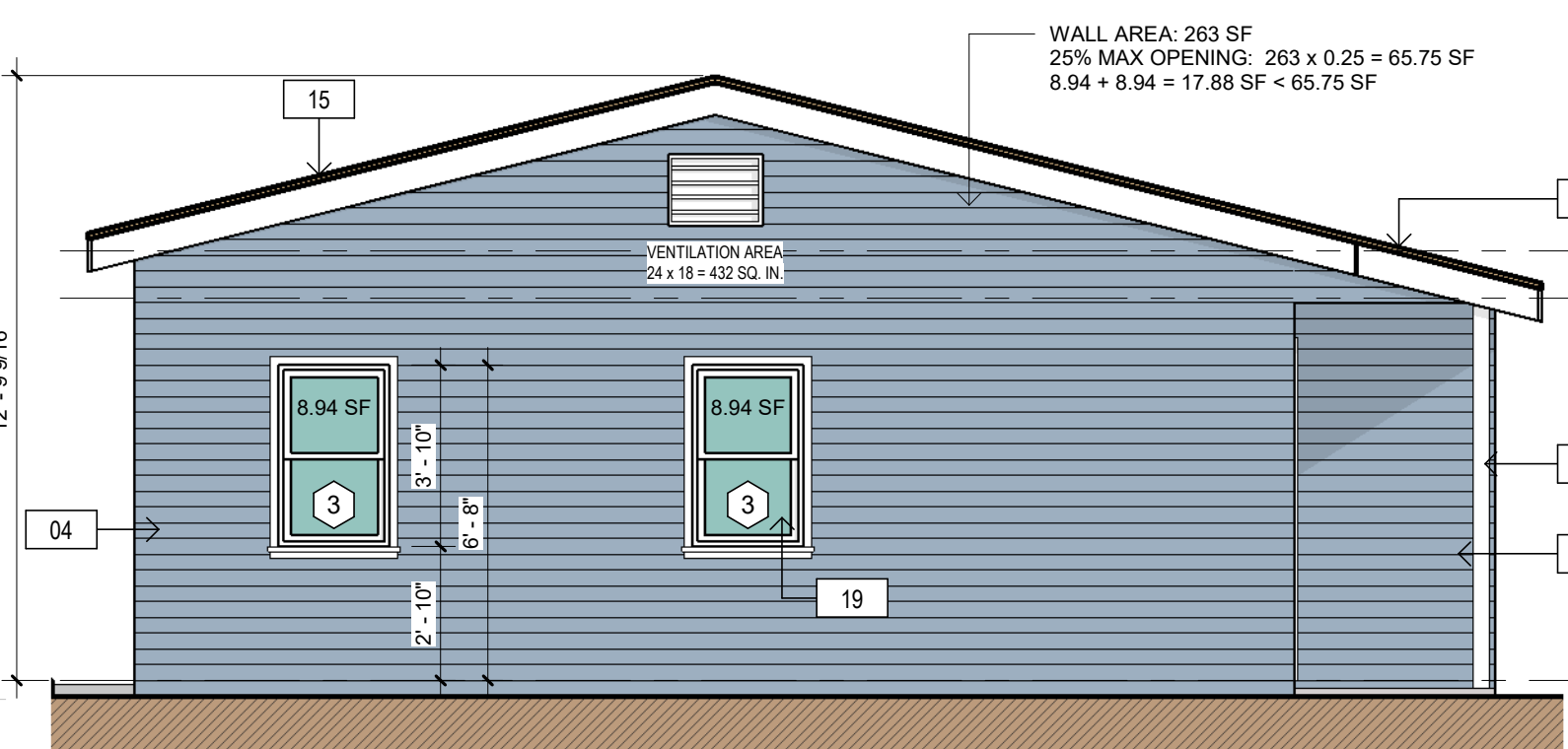
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A2.1B



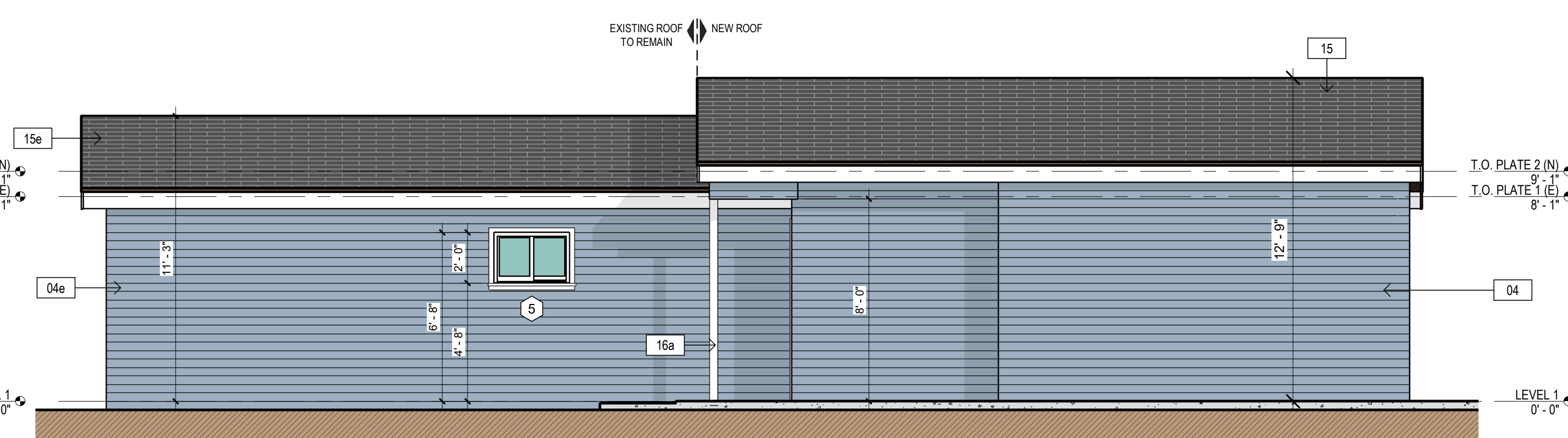
4 ADU #2 - RIGHT ELEVATION (WEST)
SCALE: 1/4" = 1'-0"



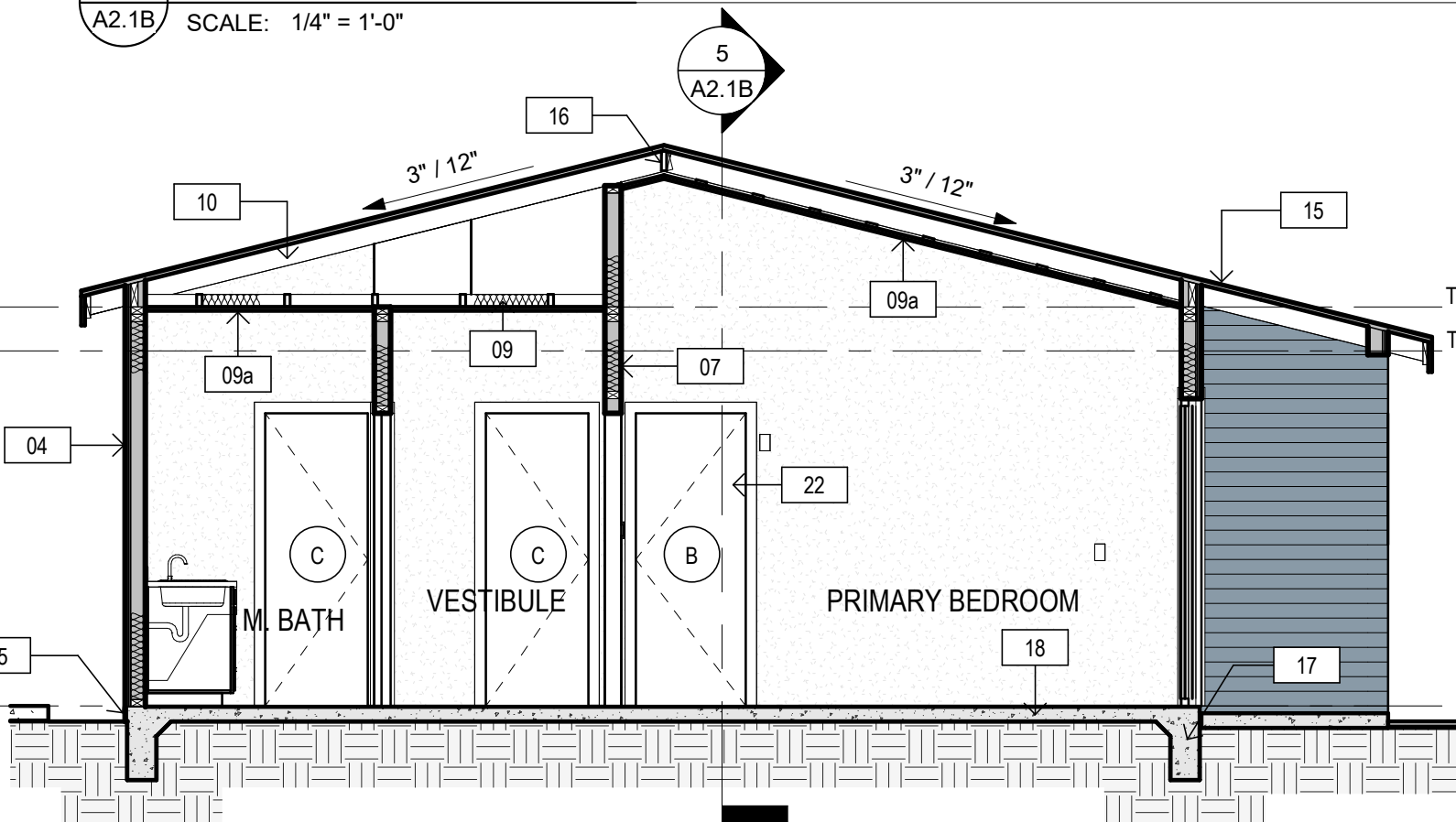
2 ADU #2 - REAR ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"



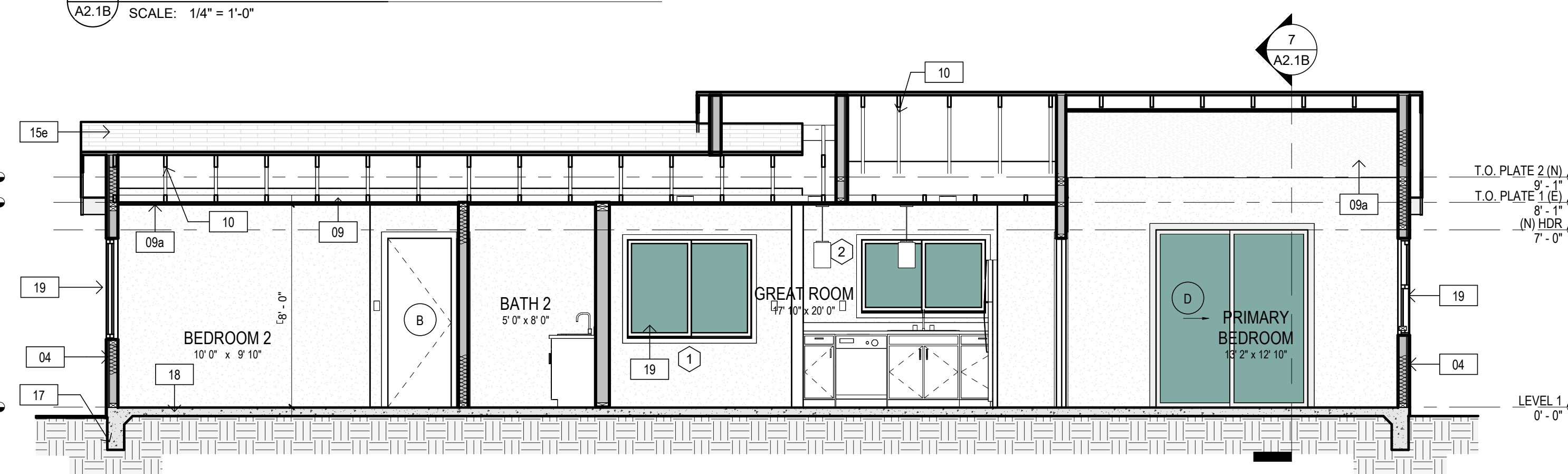
3 ADU #2 - LEFT ELEVATION (EAST)
SCALE: 1/4" = 1'-0"



1 ADU #2 - FRONT ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"



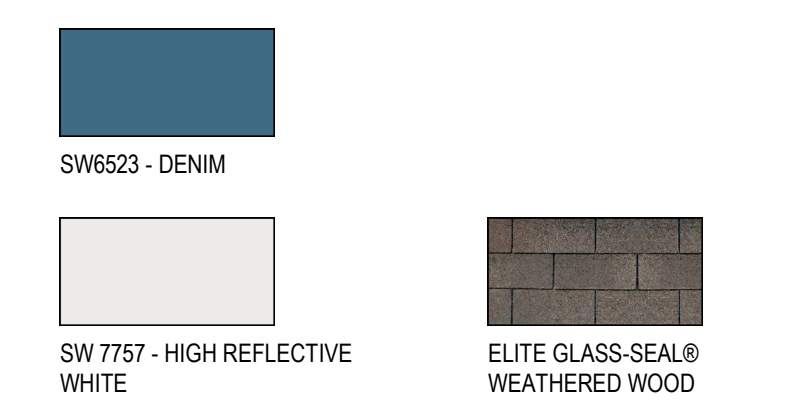
7 ADU #2 - SECTION C
SCALE: 1/4" = 1'-0"



5 ADU #2 - SECTION A
SCALE: 1/4" = 1'-0"

ATTIC AREA VENTILATION
TOTAL ATTIC AREA: = 1,137 SF
REQUIRED VENTING AREA 1:150 RATIO:
1,137 / 150 = 7.58 SF REQ'D
7.58 x 144 = 1,091 SQ. IN.
PROVIDED VENTING AREA:
360 + 360 + 432 = 1,152 SQ. IN.
= 8 SF
8 SF PROVIDED > 7.58 REQUIRED = OK

EXTERIOR FINISHES
WALL COLOR: SW6523 - DENIM
WALL ACCENT: SW 6601 - TANAGER
WINDOW TRIM: SW 7757 - HIGH REFLECTIVE WHITE
DOOR TRIM: SW 7757 - HIGH REFLECTIVE WHITE
EXPOSED RAFTERS: SW 7757 - HIGH REFLECTIVE WHITE
KNEE BRACES: SW 7757 - HIGH REFLECTIVE WHITE
ROOF: ELITE GLASS-SEAL® WEATHERED WOOD

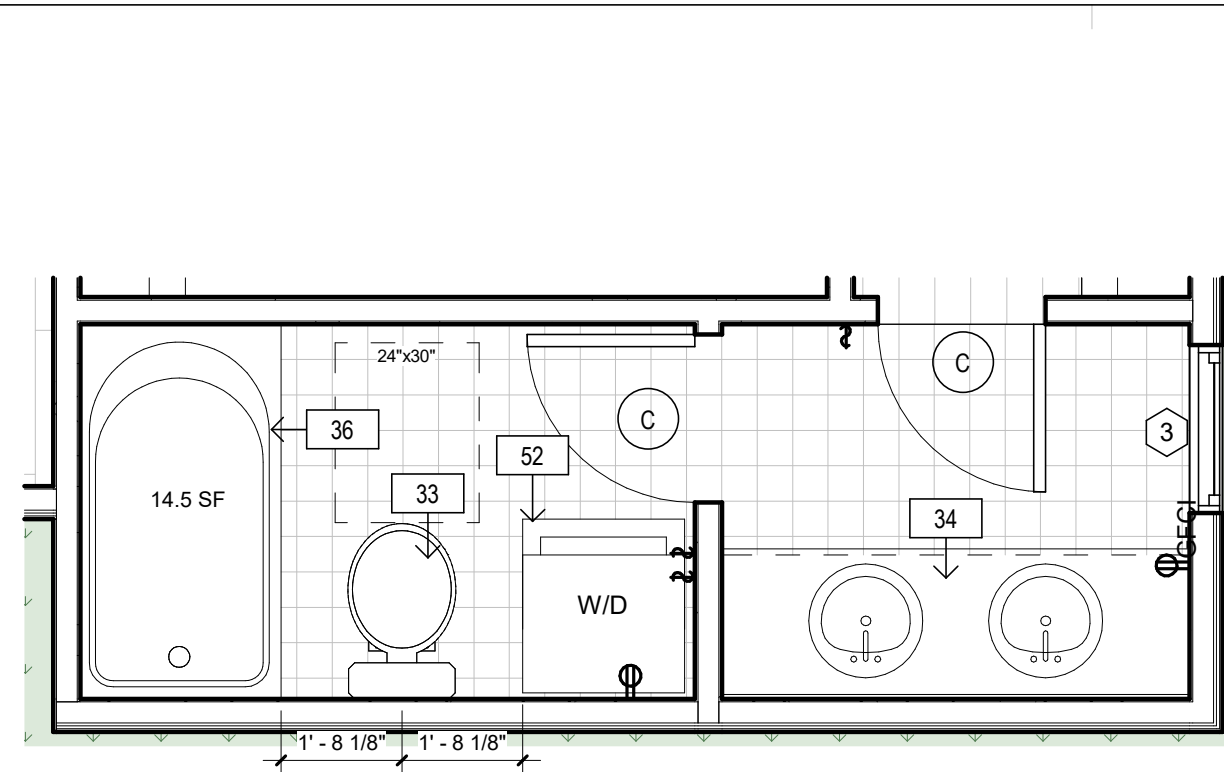


IMPORTANT NOTE:
ALL THE FINISHES INDICATED HERE, WHICH WILL BE APPLIED TO THE NEW ADUs, MUST BE VERIFIED ON-SITE BY THE CONTRACTOR TO ENSURE THEY MATCH THE APPEARANCE OF THE EXISTING DWELLING.

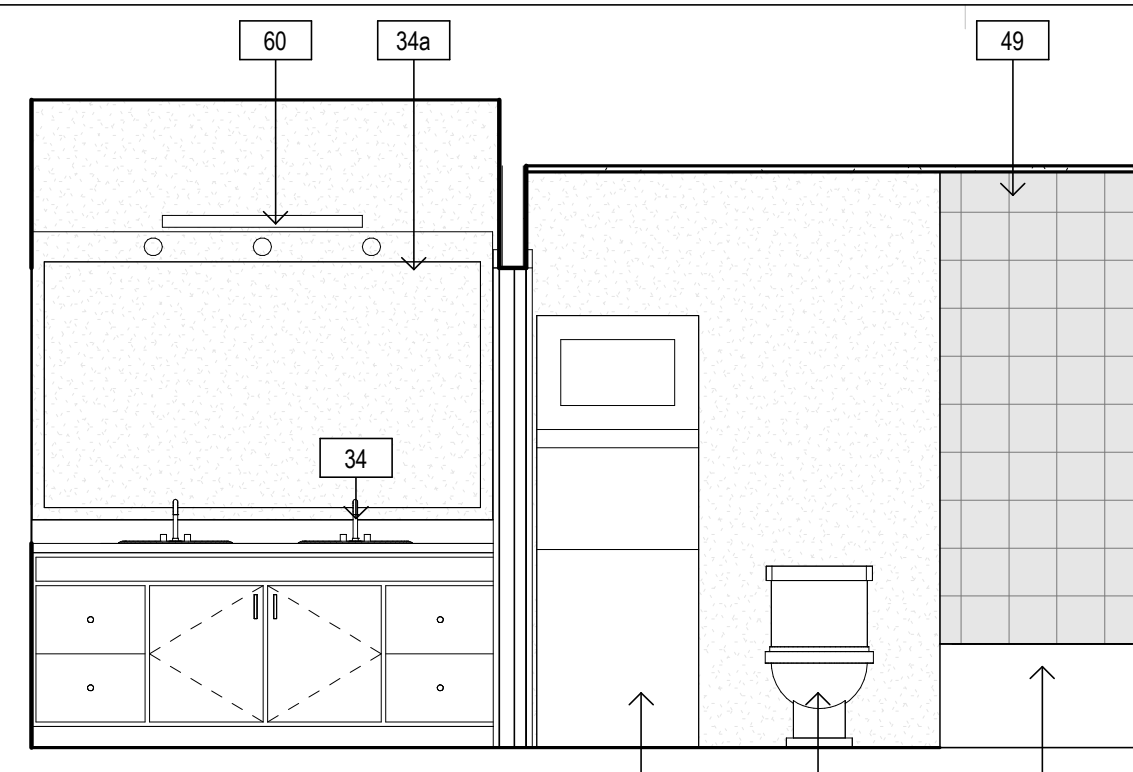
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PLOT DATE: 02/14/23

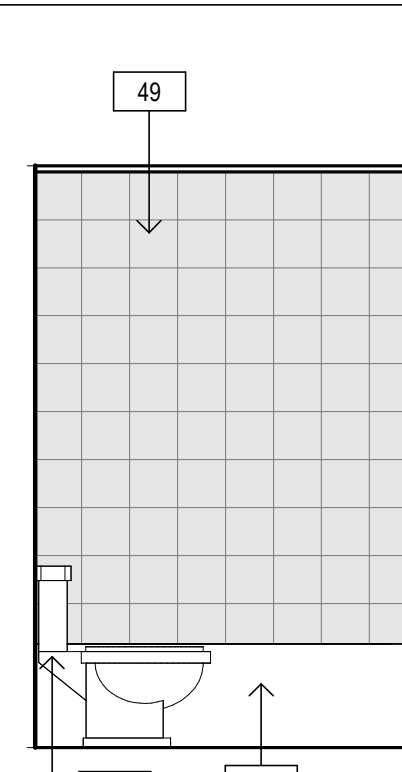
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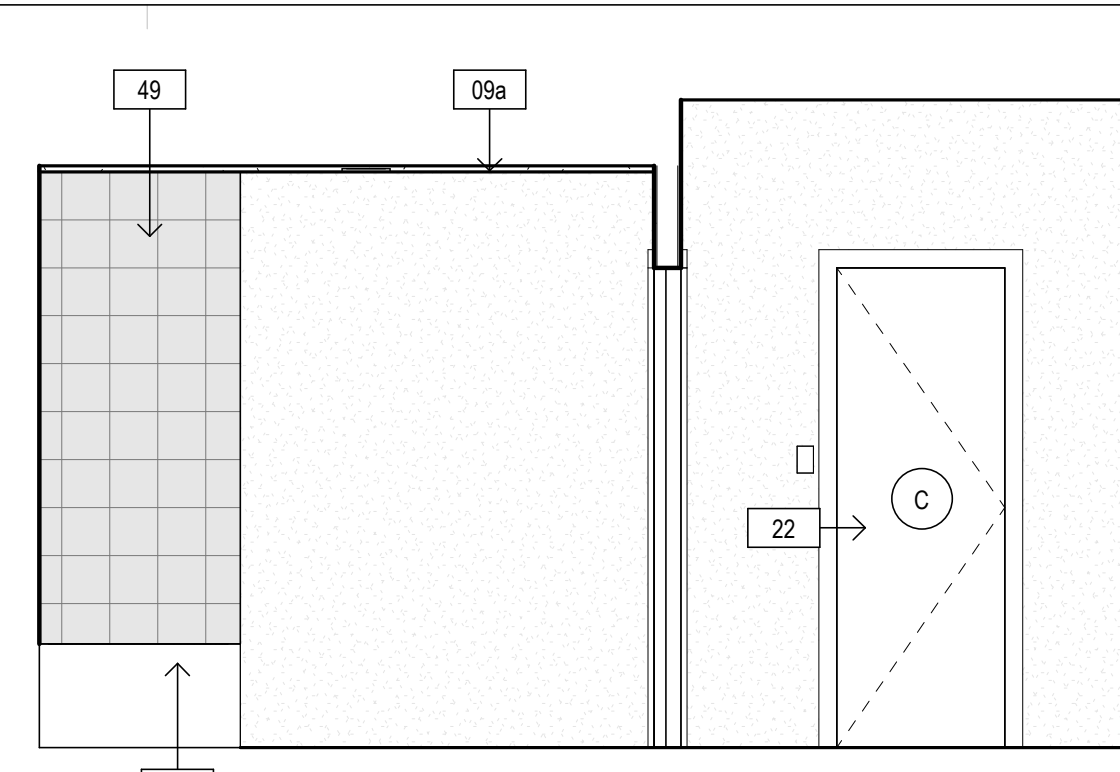
2 ADU #2 - PRIMARY BATHROOM
A2.1C SCALE: 3/8" = 1'-0"



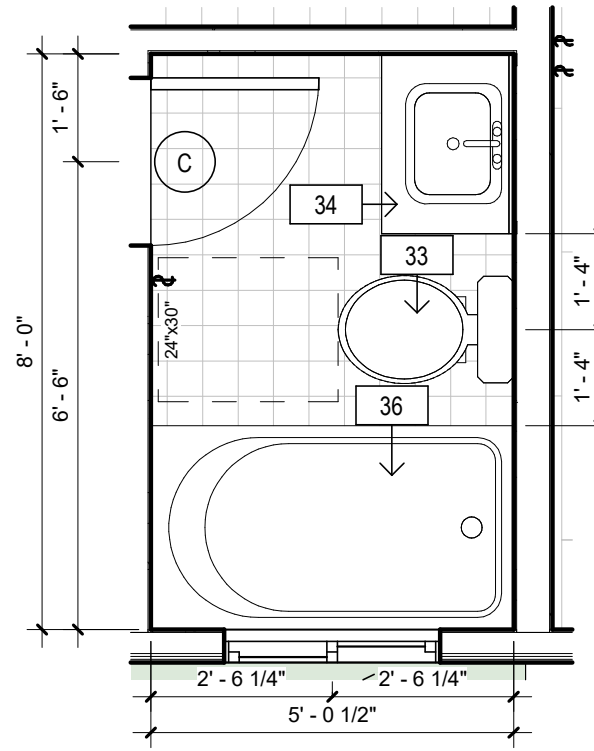
2A M. BATH 2A
A2.1C SCALE: 3/8" = 1'-0"



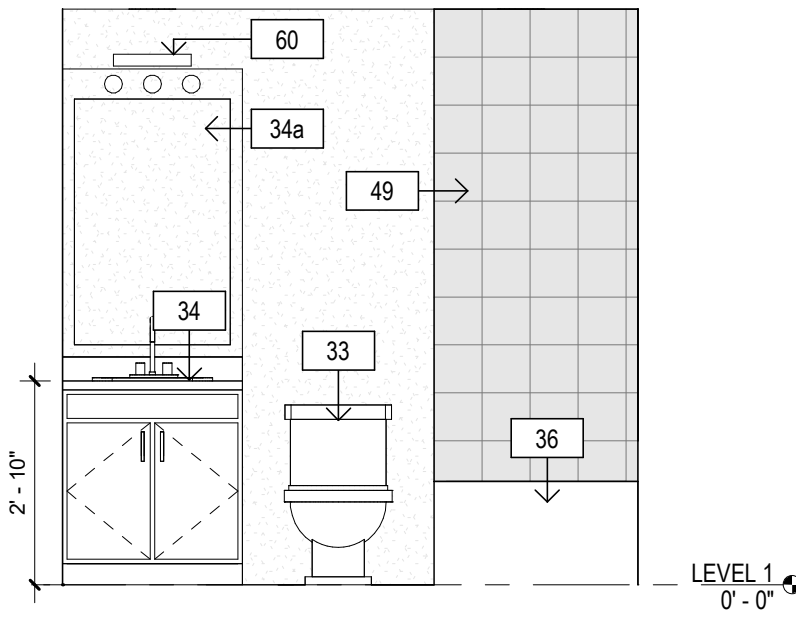
2B M. BATH 2B
A2.1C SCALE: 3/8" = 1'-0"



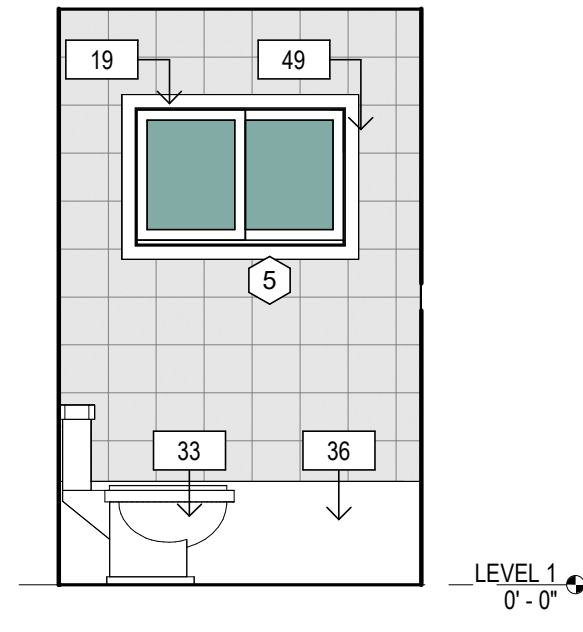
2C M. BATH 2C
A2.1C SCALE: 3/8" = 1'-0"



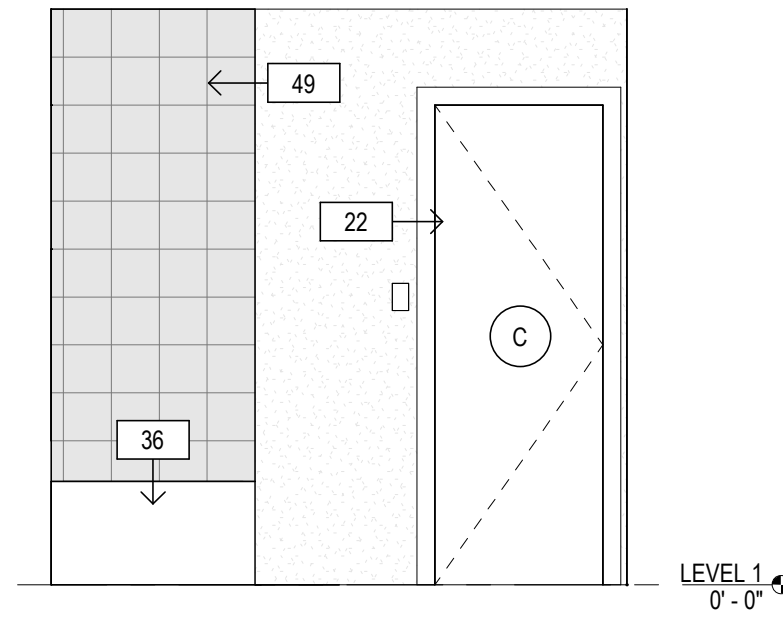
3 ADU #2 - BATH 2
A2.1C SCALE: 3/8" = 1'-0"



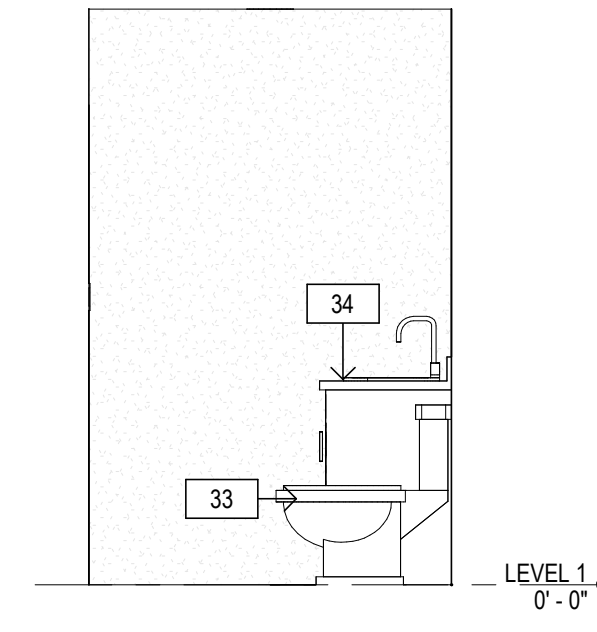
3A BATH 2 - A
A2.1C SCALE: 3/8" = 1'-0"



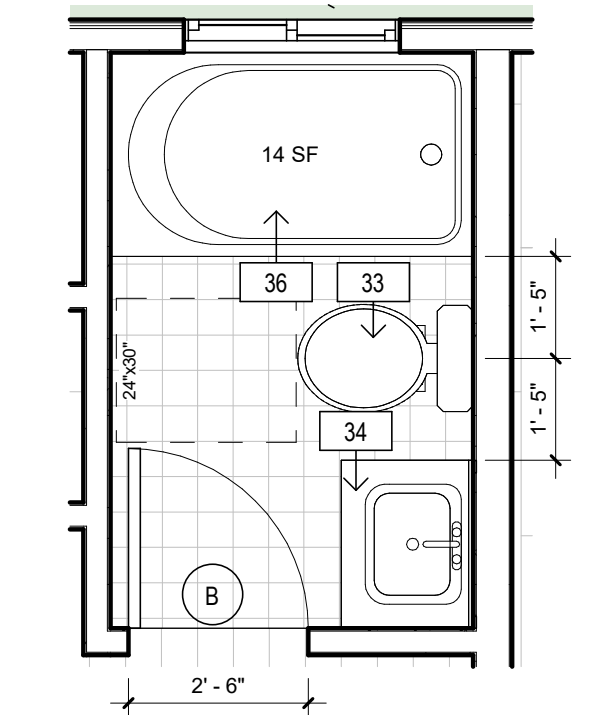
3B BATH 2 - B
A2.1C SCALE: 3/8" = 1'-0"



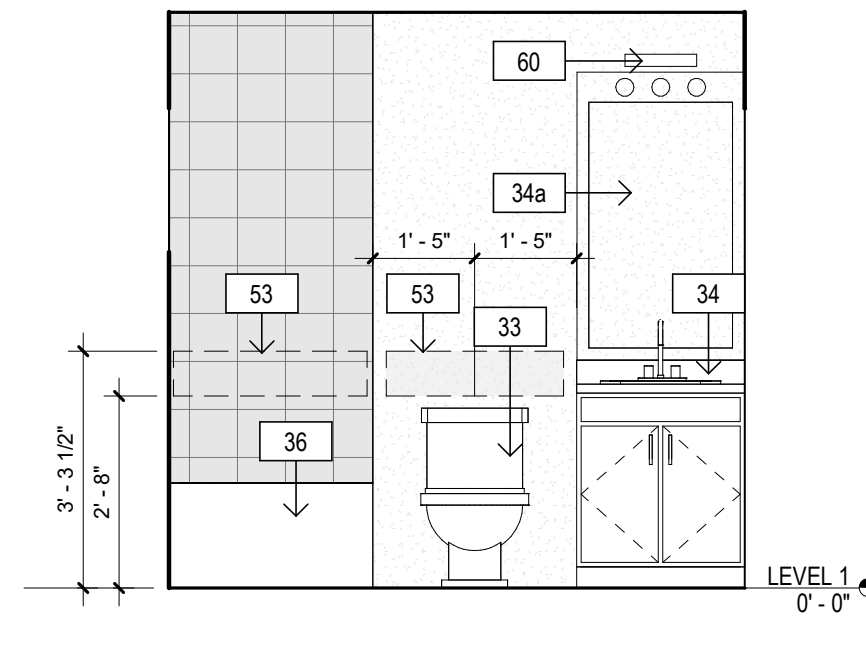
3C BATH 2 - C
A2.1C SCALE: 3/8" = 1'-0"



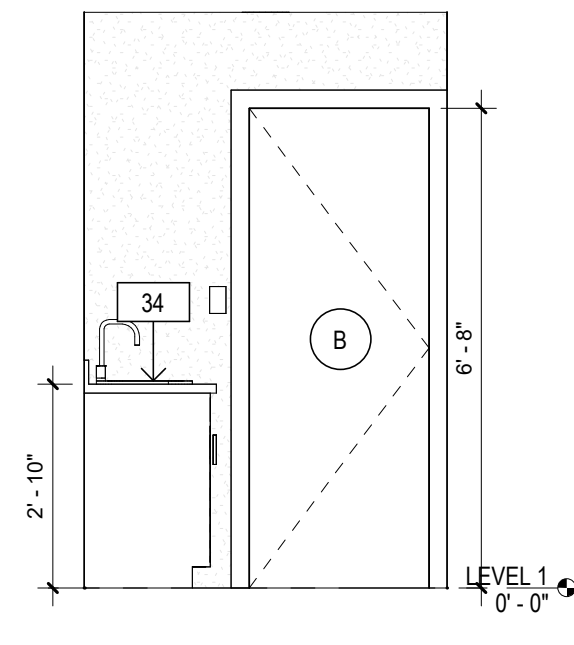
3D BATH 2 - D
A2.1C SCALE: 3/8" = 1'-0"



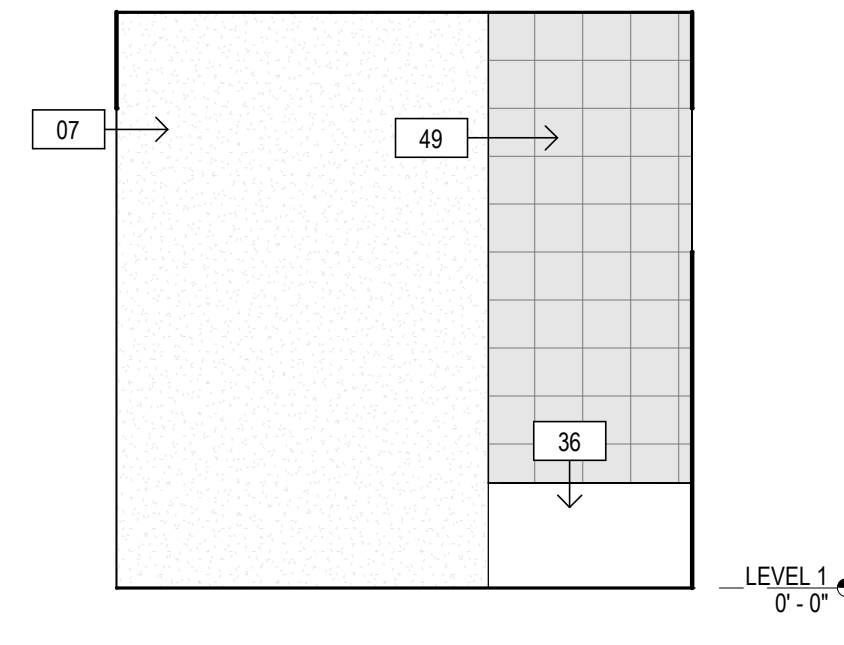
8 ADU #2 - BATH 3
A2.1C SCALE: 3/8" = 1'-0"



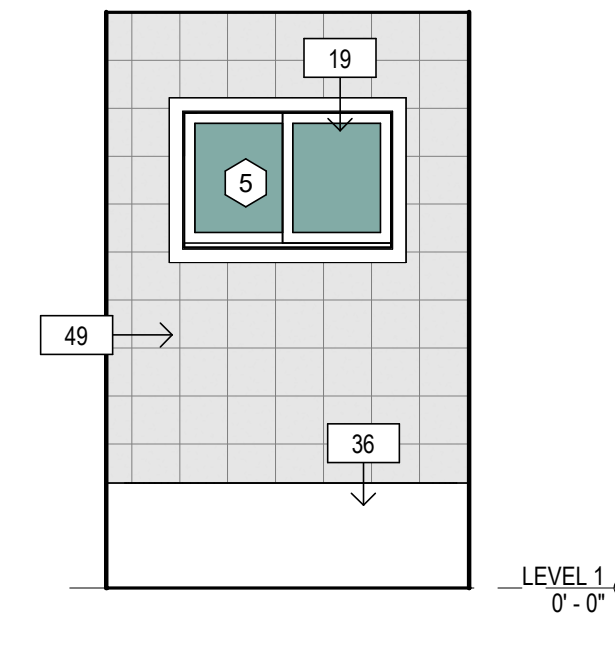
4 BATH 3 - A
A2.1C SCALE: 3/8" = 1'-0"



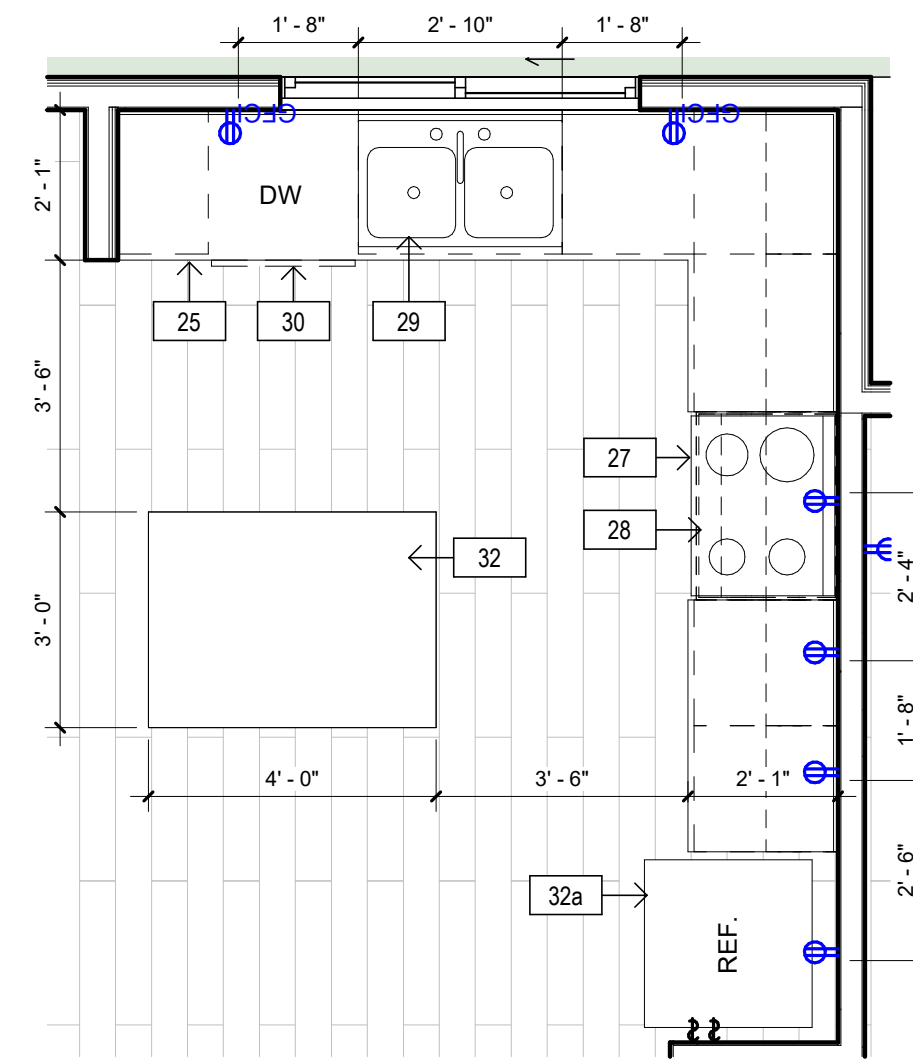
5 BATH 3 - B
A2.1C SCALE: 3/8" = 1'-0"



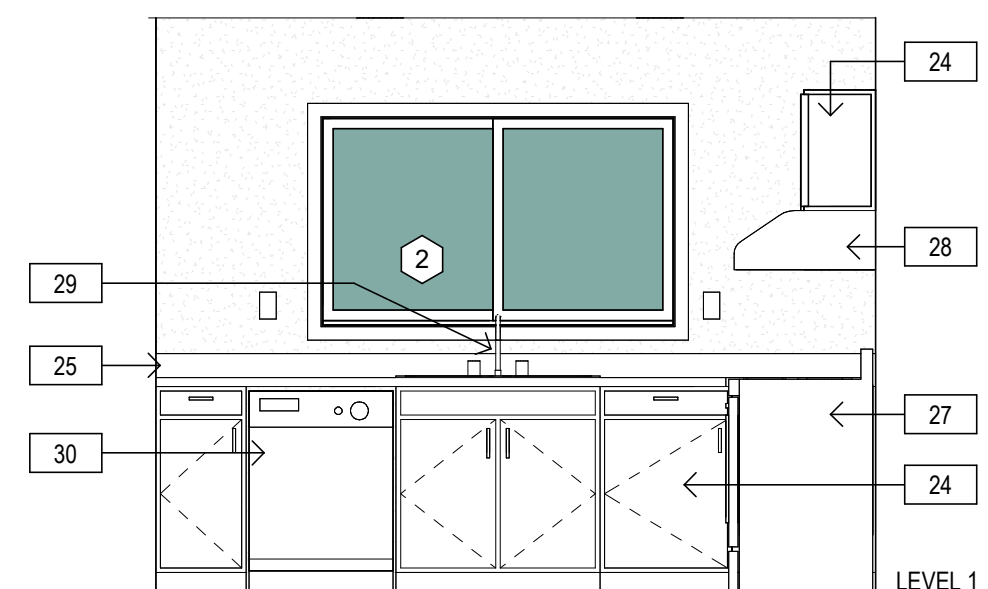
6 BATH 3 - C
A2.1C SCALE: 3/8" = 1'-0"



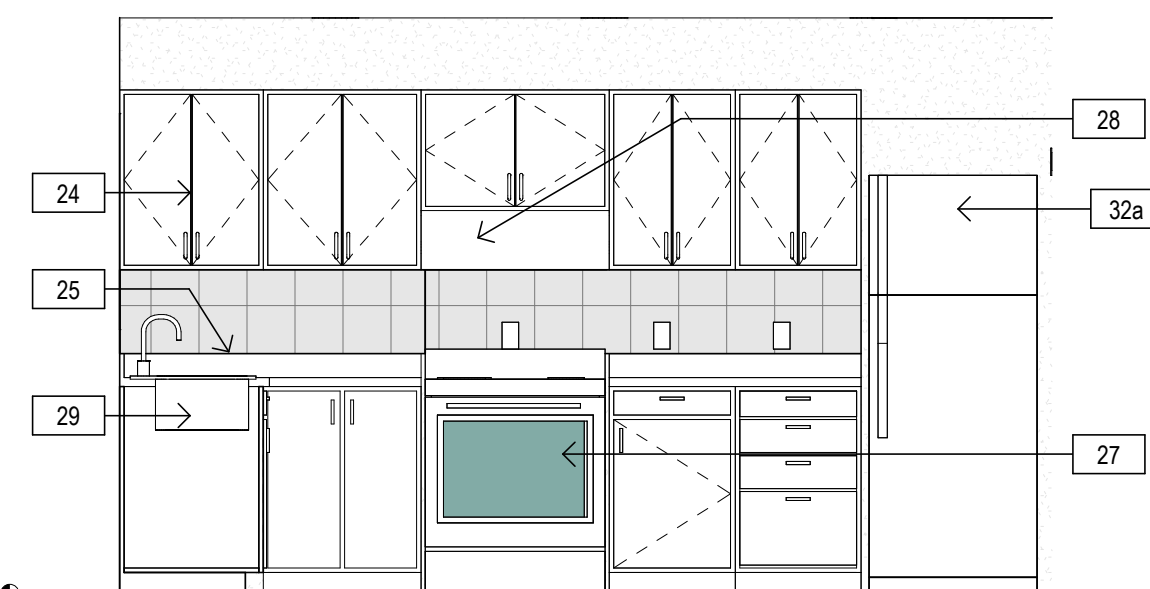
7 BATH 3 - D
A2.1C SCALE: 3/8" = 1'-0"



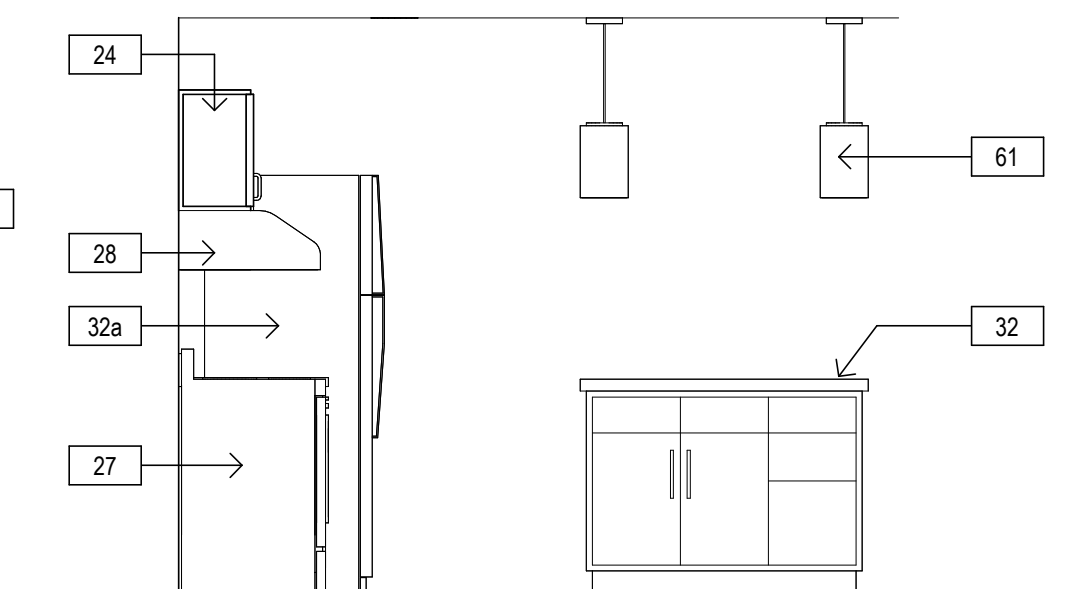
1 ADU #2 - KITCHEN
A2.1C SCALE: 3/8" = 1'-0"



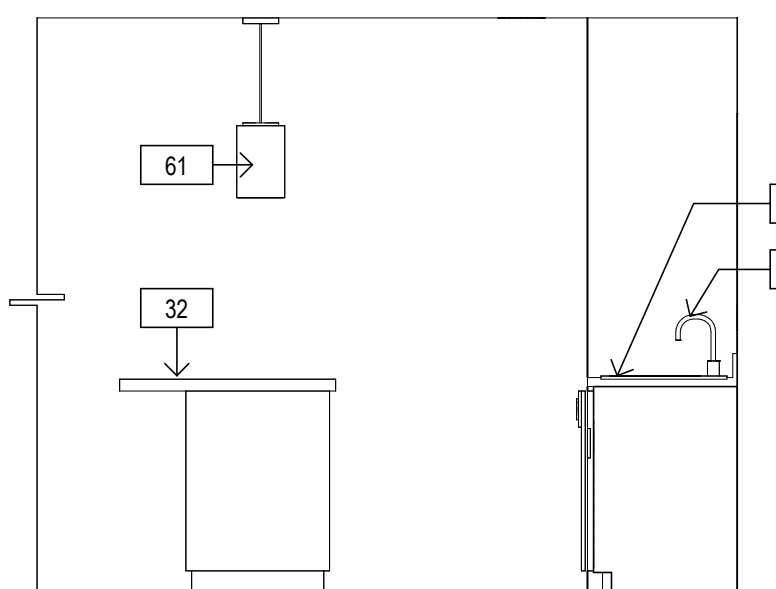
1A KITCHEN - 2A
A2.1C SCALE: 3/8" = 1'-0"



1B KITCHEN - 2B
A2.1C SCALE: 3/8" = 1'-0"



1C KITCHEN - 2C
A2.1C SCALE: 3/8" = 1'-0"



1D KITCHEN - 2D
A2.1C SCALE: 3/8" = 1'-0"

KEYNOTE LEGEND	
Key Value	Keynote Text
07	NEW INTERIOR WALL 2X6 STUDS @ 16" O.C. W/ 1/2" THK GYP BD EACH SIDE. PLUMBING WALL
09a	NEW GYPSUM BOARD CEILING
19	NEW DUAL GLAZED WINDOW WITH 0.8 U-FACTOR AND 0.8 SHGC PER TITLE 24. IDENTIFICATION SHALL BE PER SECTION R308.1. FRAME MATERIAL: COMPOSITE - WOOD-CLAD VINYL. SEE WINDOW SCHEDULE
22	NEW DOORS. SEE DOOR SCHEDULE.
24	NEW KITCHEN CABINETS. PER OWNER SPEC
25	NEW KITCHEN COUNTERTOP PER OWNER SPEC
27	NEW STOVE/RANGE SPACE. PROVIDE POWER PER MFG. RECOMMENDATIONS. PER OWNER SPEC
28	NEW HOOD EXHAUST FAN, 24" - 30" AWAY, VENT THRU ROOF. PER OWNER SPEC
29	NEW SINK AND FAUCET MAX 1.8 GPM. PROVIDE SEPARATE 20 AMP CIRCUITS FOR GARBAGE DISPOSAL. PER OWNER SPEC. COORDINATE PLUMBING POINT OF CONNECTION W/ SPEC
30	NEW DISHWASHER. PROVIDE ELEC POWER. PER OWNER SPEC. COORDINATE PLUMBING POINT OF CONNECTION W/ SPEC
32	NEW KITCHEN ISLAND. PROVIDE POWER
32a	NEW FRIDGE SPACE. PROVIDE POWER. PER OWNER SPECS
33	NEW TOILET FIXTURE. ULTRA LOW FLUSH WITH 1.28 GAL MAX. PROVIDE A MIN. OF 24" MIN. CLEAR DIRECTLY IN FRONT OF AND 15" MIN FROM WALL TO CENTERLINE. PER OWNER SPEC. COORDINATE PLUMBING POINT OF CONNECTION W/ SPEC
34	NEW VANITY COUNTER/SINK/FAUCET. FAUCET TO BE 1.2 GPM MAX FLOW RATE. PER OWNER SPEC. COORDINATE PLUMBING POINT OF CONNECTION W/ SPEC
34a	NEW 21" PEDESTAL BATHROOM SINK. FAUCET TO BE 1.2 GPM MAX FLOW RATE. PER OWNER SPEC. COORDINATE PLUMBING POINT OF CONNECTION W/ SPEC
36	NEW TUB/SHOWER COMBO W/ TEMPERED GLASS ENCLOSURE (2.0 GPM), PER OWNER SPEC. COORDINATE PLUMBING POINT OF CONNECTION W/ SPEC
49	CERAMIC TILE
52	DOORBELL BUTTONS OR CONTROLS. WHEN INSTALLED, SHALL NOT EXCEED 48" ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY. WHERE DOORBELL BUTTONS INTEGRATED WITH OTHER FEATURES ARE REQUIRED TO BE INSTALLED ABOVE 48" MEASURED FROM THE EXTERIOR FLOOR OR LANDING. A STANDARD DOORBELL BUTTON OR CONTROL SHALL ALSO BE PROVIDED AT A HEIGHT NOT EXCEEDING 48" ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON OR CONTROL.
53	REINFORCEMENT IN WALLS
60	
61	

ARCHITECT:
BRENDA GUTIERREZ

ENGINEER:

REVISIONS

△	
△	
△	
△	
△	
△	

OWNER

PABLO & ANA GONZALEZ

576 TEXAS ST
POMONA, CA 91768

PROJECT:
PABLO & ANA GONZALEZ

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POMONA, CA 91768

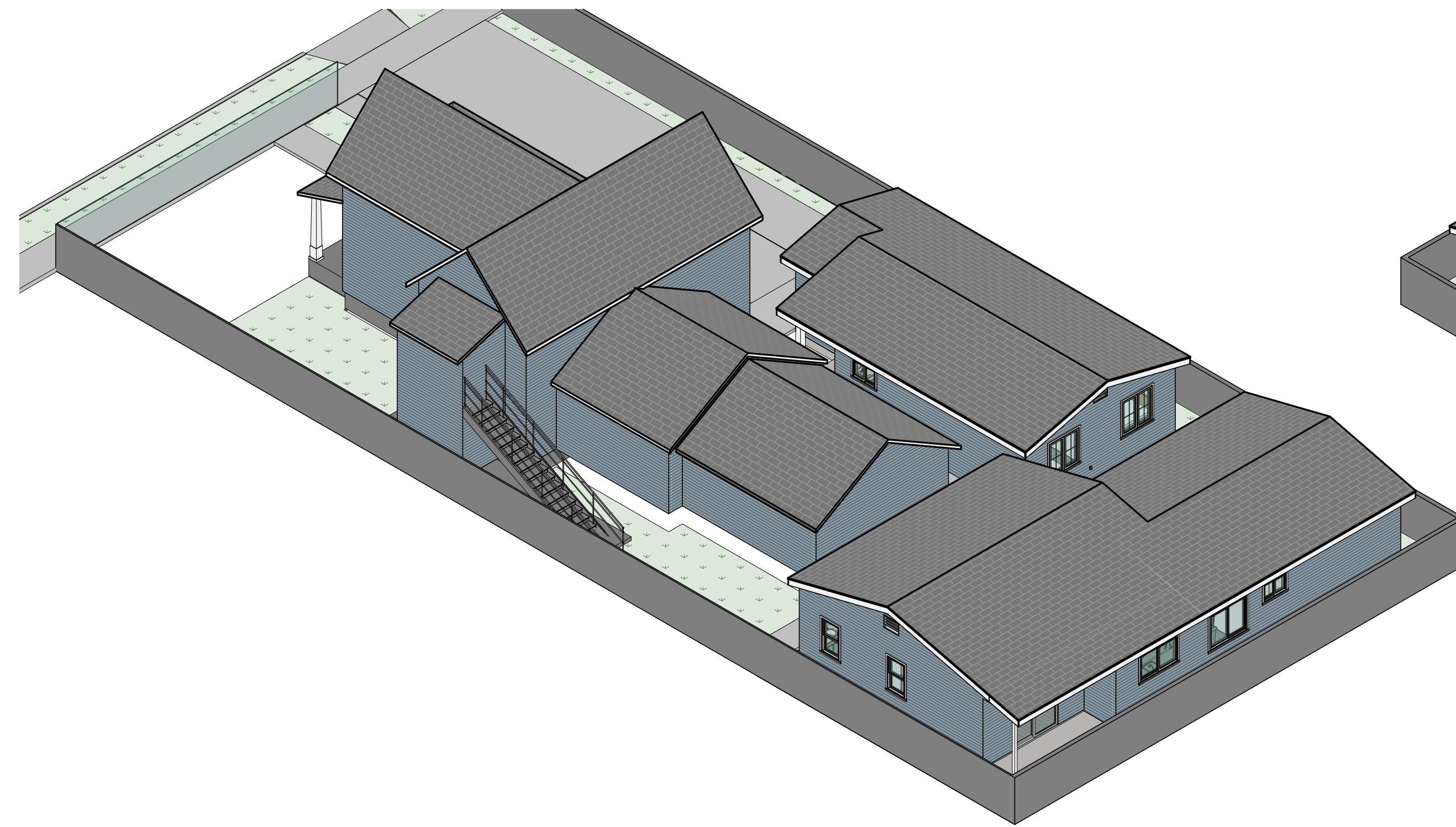
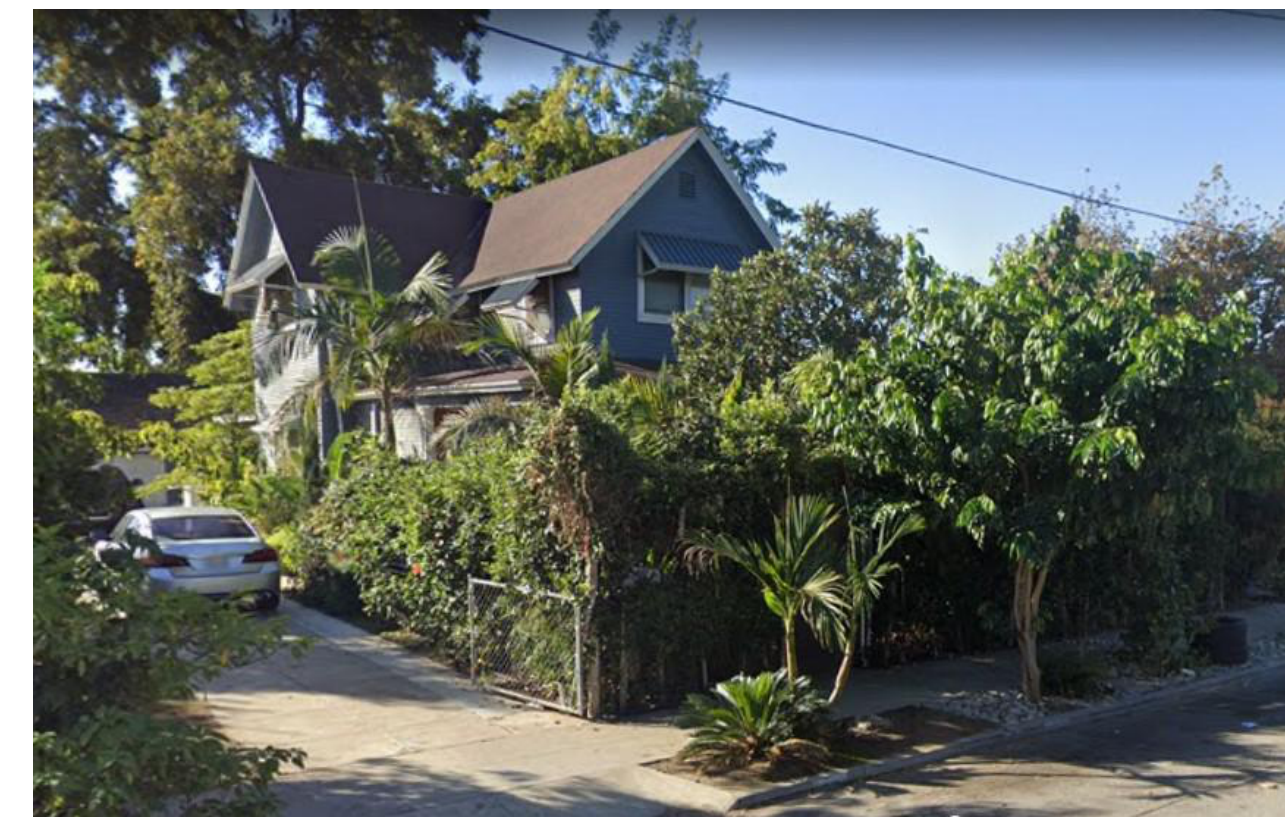
JOB NO. 12/29/2025

DATE: 12/29/2025

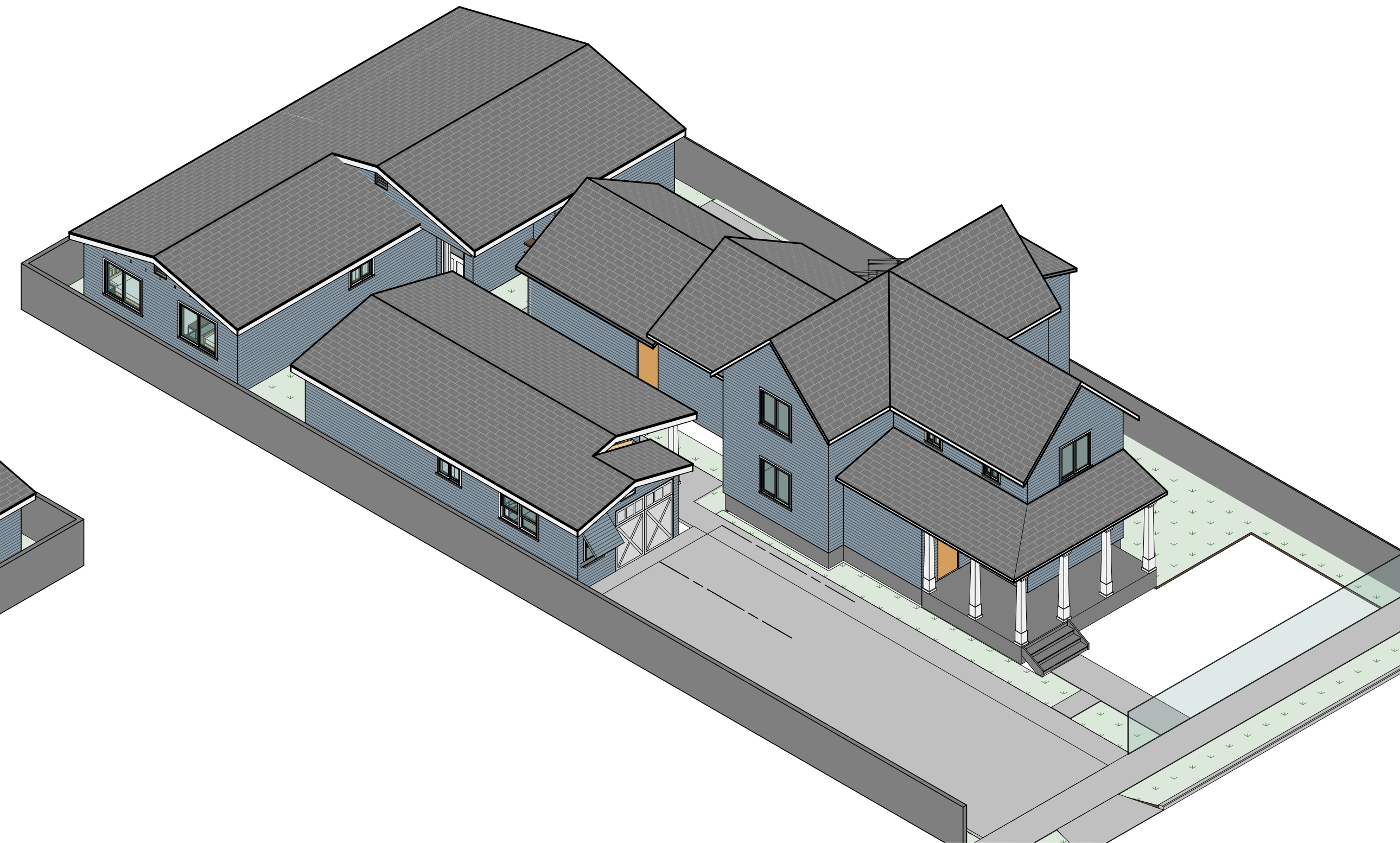
SHEET TITLE:
ADU#2 INTERIOR ELEVATIONS

SHEET NO.

A2.1C



4 3D VIEW 02
A3.0 SCALE:



3 3D VIEW 01
A3.0 SCALE:



2 VIEW FROM THE STREET 2
A3.0 SCALE: 1/4" = 1'-0"



1 VIEW FROM THE STREET 1 SIMPLIFIED
A3.0 SCALE: 1/4" = 1'-0"

ARCHITECT:
BRENDA GUTIERREZ

ENGINEER:

REVISIONS	
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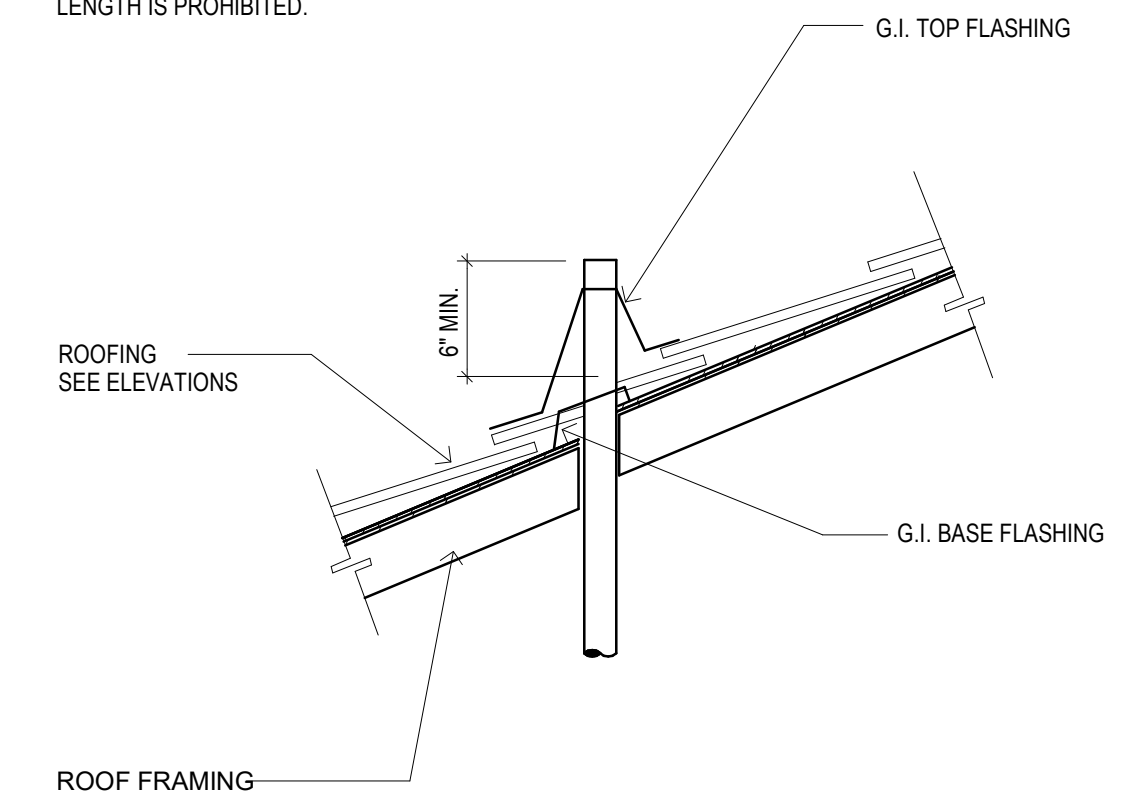
PROJECT:
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576 TEXAS ST
POMONA, CA 91768

JOB NO. 12/29/2025
DATE: 12/29/2025

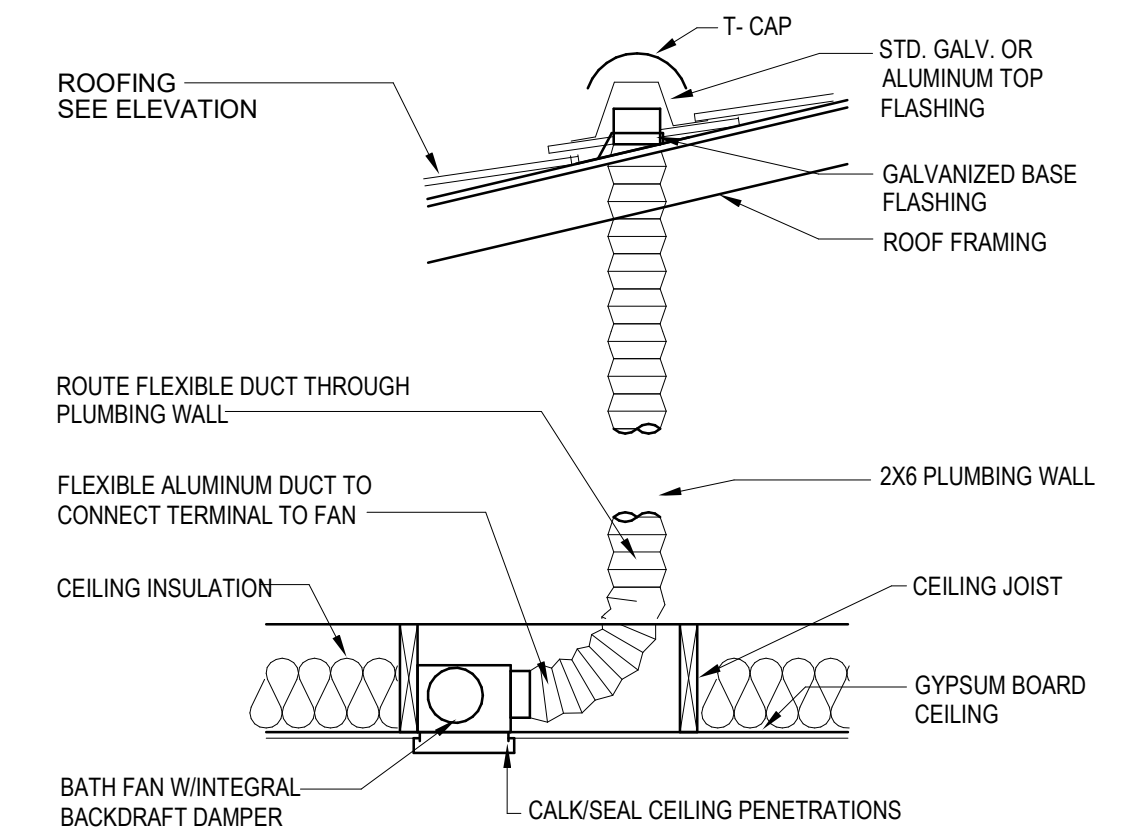
SHEET TITLE:
3D VIEWS

SHEET NO.
A3.0

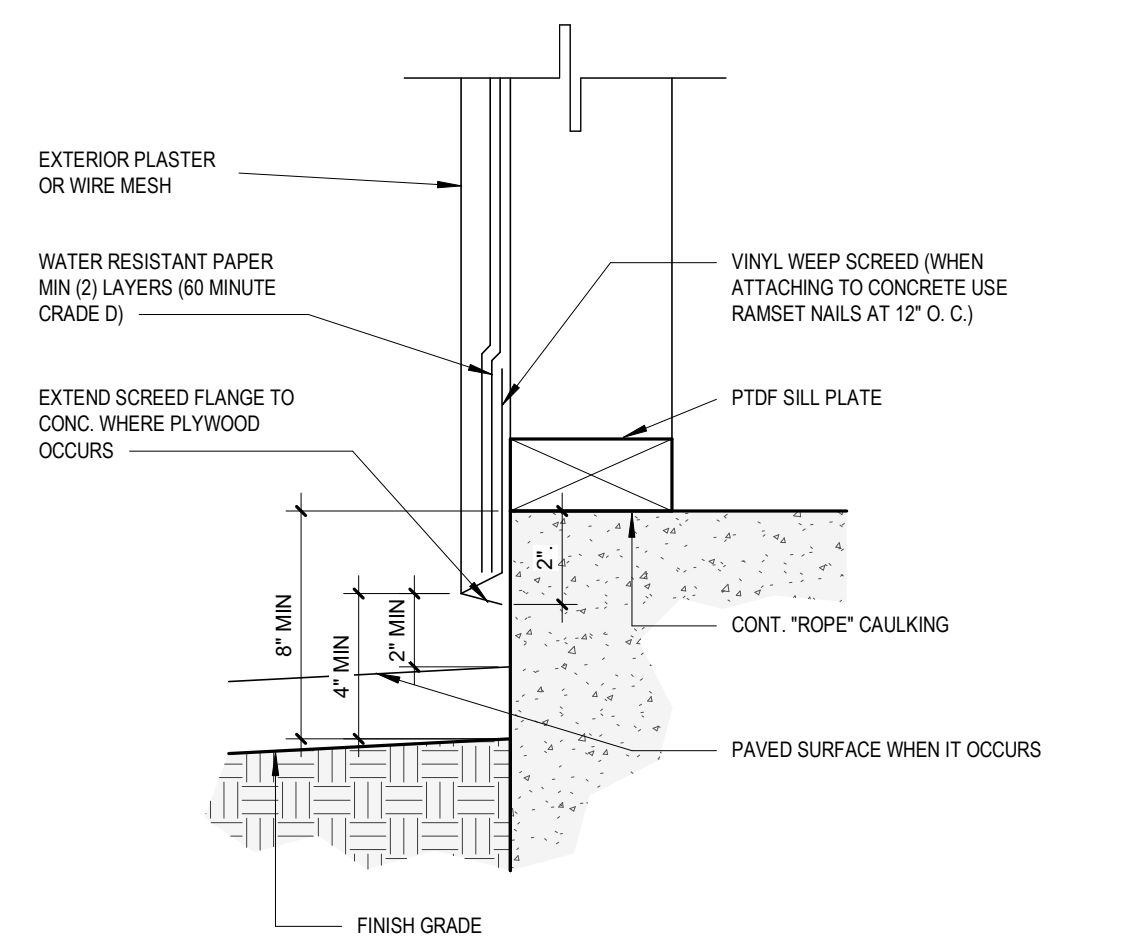
NOTE:
CONTRACTOR SHALL TERMINATE
VENT AT CODE MINIMUMS, EXCESS
LENGTH IS PROHIBITED.



1 PLUMBING VENT
SCALE: 1/4" = 1'-0"



2 EXHAUST FAN DETAIL
SCALE: 1/4" = 1'-0"



3 WEEP SCREED
SCALE: 1 1/2" = 1'-0"

ARCHITECT:
BRENDA GUTIERREZ

ENGINEER:

REVISIONS	
△	
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JOB NO. 12/29/2025
DATE: 12/29/2025

SHEET TITLE:
DETAILS

SHEET NO.
A4.0