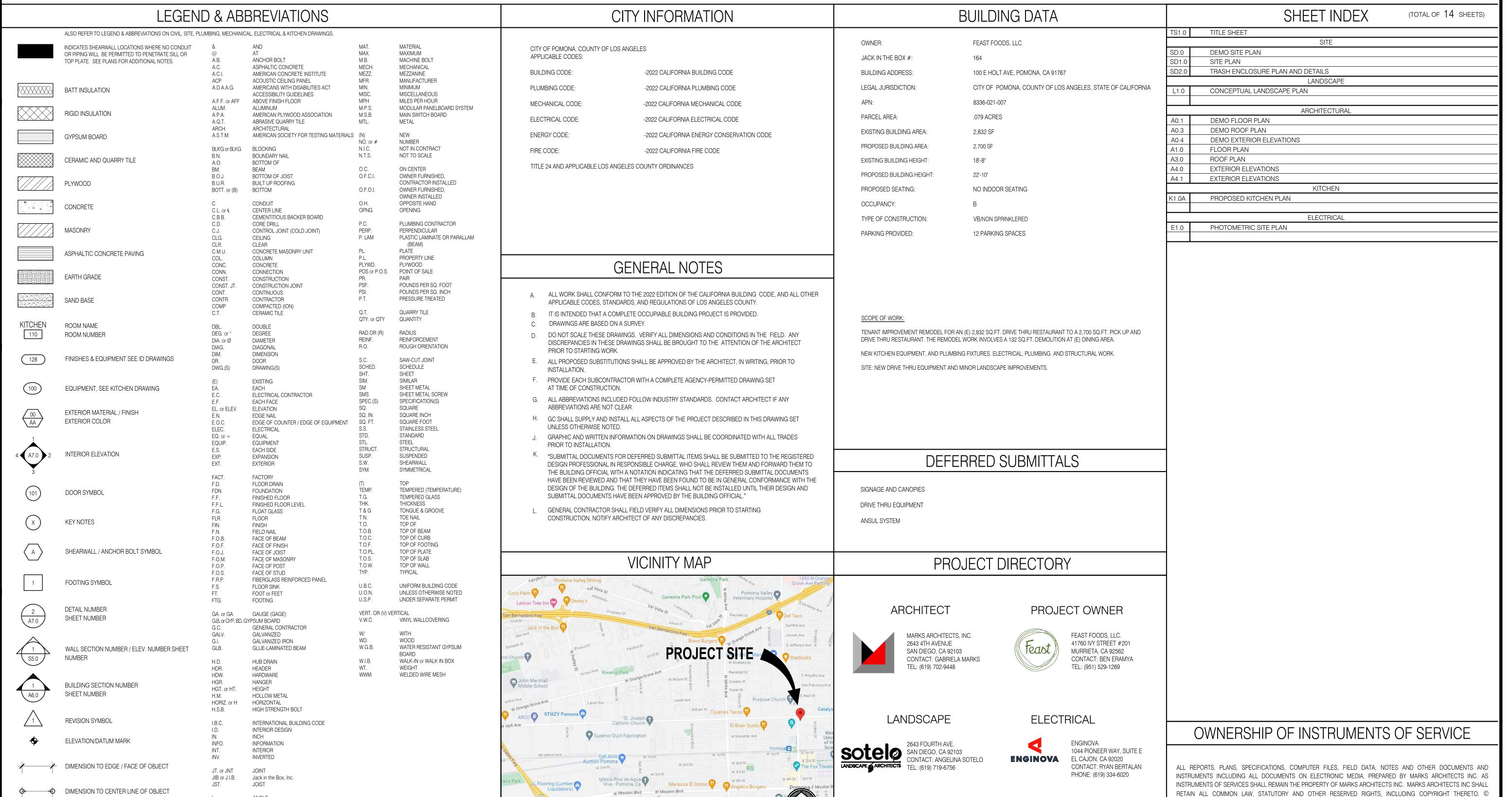


LB. or LB or #

POUNDS

TENANT IMPROVEMENT REMODEL 100 E HOLT AVE. POMONA, CA 91767

0164_PLANNING SET MK12B KITCHEN REPLACEMENT





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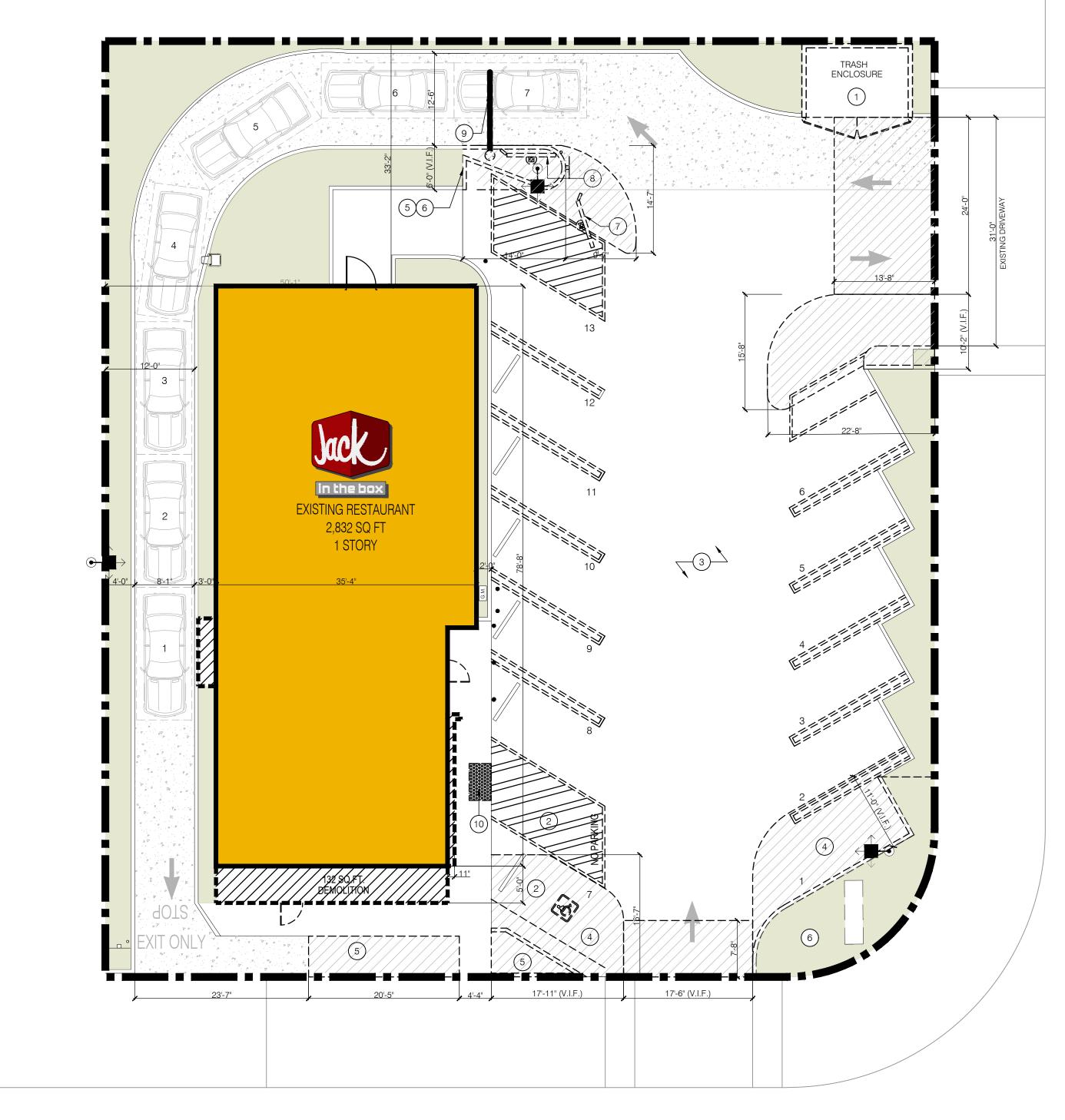
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TITLE SHEET

TS1.0

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E HOLT AVE



KEY NOTES

- 1) EXISTING TRASH ENCLOSURE TO BE DEMOLISHED.
- 2 ACCCESSIBLE PARKING SPACE & LOADING ZONE TO GET RESTRIPED AND RELOCATED. SEE SD1.0 FOR NEW ACCESSIBLE PARKING SPACE.
- 3 EXISTING PARKING SPACES TO GET RESTRIPED. REFER TO SD1.0 FOR NEW STRIPING.
- 4) PARKING SPACES TO BE REMOVED AND NEW PLANTER TO BE LOCATED.
- 5 EXISTING ROCKS TO BE REMOVED AND CONVERTED TO PLANTER.
- 6 EXISTING PLANTER TO BE RECONFIGURATED. SEE SHEET SD1.0.
- 7 PREVIEW BOARD TO BE REMOVED. PREPARE TO INSTALL NEW ONE.
- 8 MENU BOARD TO BE REMOVED. PREPARE TO INSTALL NEW ONE.
- 9 HEIGHT DETECTOR TO BE REMOVED. PREPARE TO INSTALL NEW ONE.
- (E) TRUNCATED DOMES TO BE REMOVED. REFER TO SD1.0 FOR NEW TRUNCATED DOMES TO BE PROVIDED.
- 11) PORTION OF BUILDING TO BE DEMOLISHED.

SITE LEGEND

PROPERTY BOUNDARY LINE

AREA OF BUILDING TO BE DEMOLISHED

PORTION OF (E) ASPHALT TO BE REMOVED.
REFER TO SD1.0 FOR NEW WORK.

EXISTING TO BE REMOVED

LOT LIGHT POLE

ACCESSIBLE PARKING SPACES

GENERAL CONDITIONS

GENERAL CONTRACTOR SHALL NOTE THAT ALL WORK TO BE DONE SUCH AS EXCAVATIONS, TRENCHES, CAISSONS, WALLS, ETC., AS INDICATED ON DRAWINGS, IS SHOWN WITHOUT KNOWLEDGE OF UNDERGROUND UTILITIES ON THIS PARTICULAR SITE. THE ARCHITECT AND OWNER ASSUME NO RESPONSIBILITY FOR DETERMINING THEIR LOCATION, SIZE, DEPTH, OR HAZARD.

(E) CONCRETE PAVING



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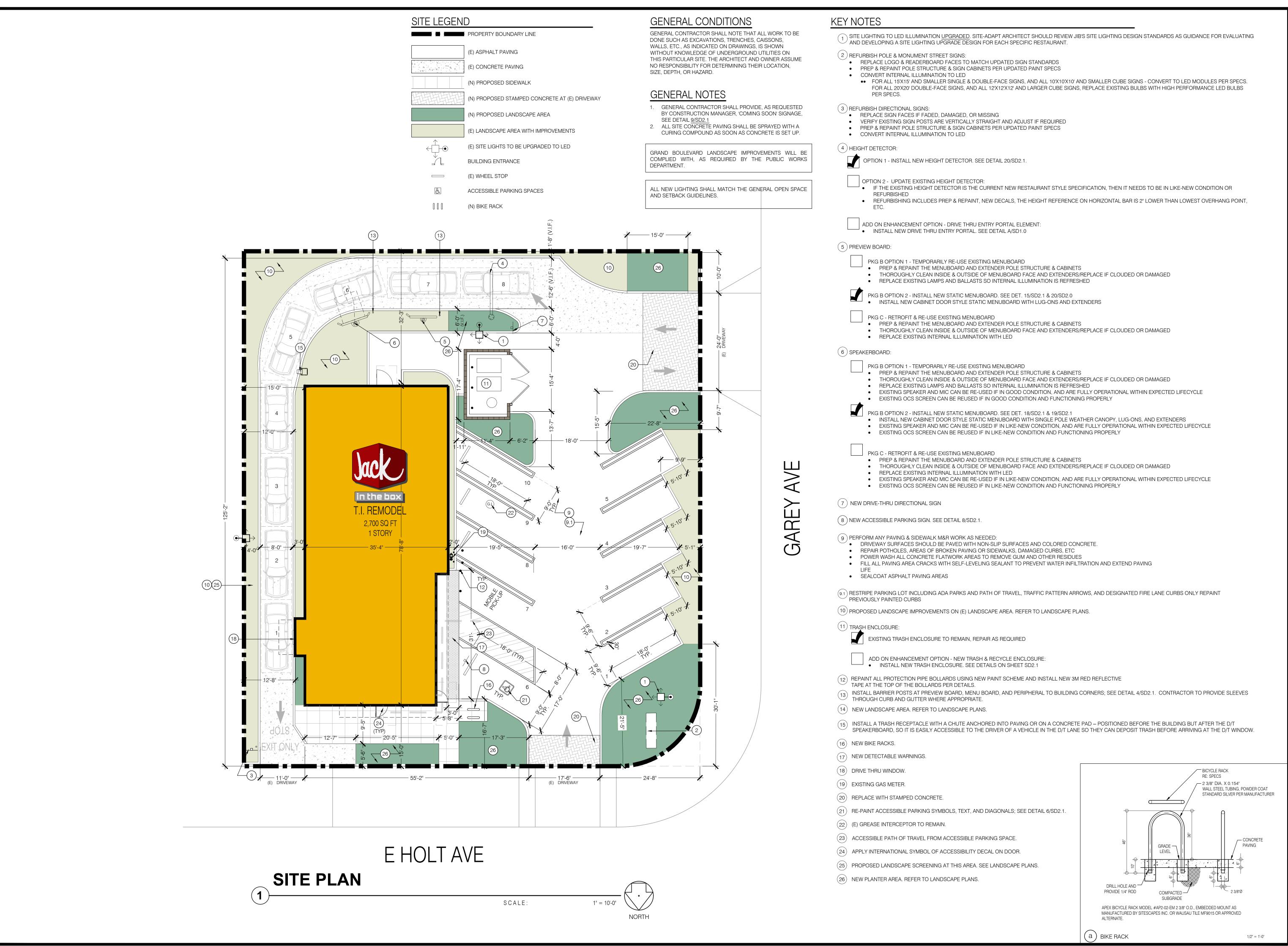
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DEMOLITION SITE PLAN

SD.0





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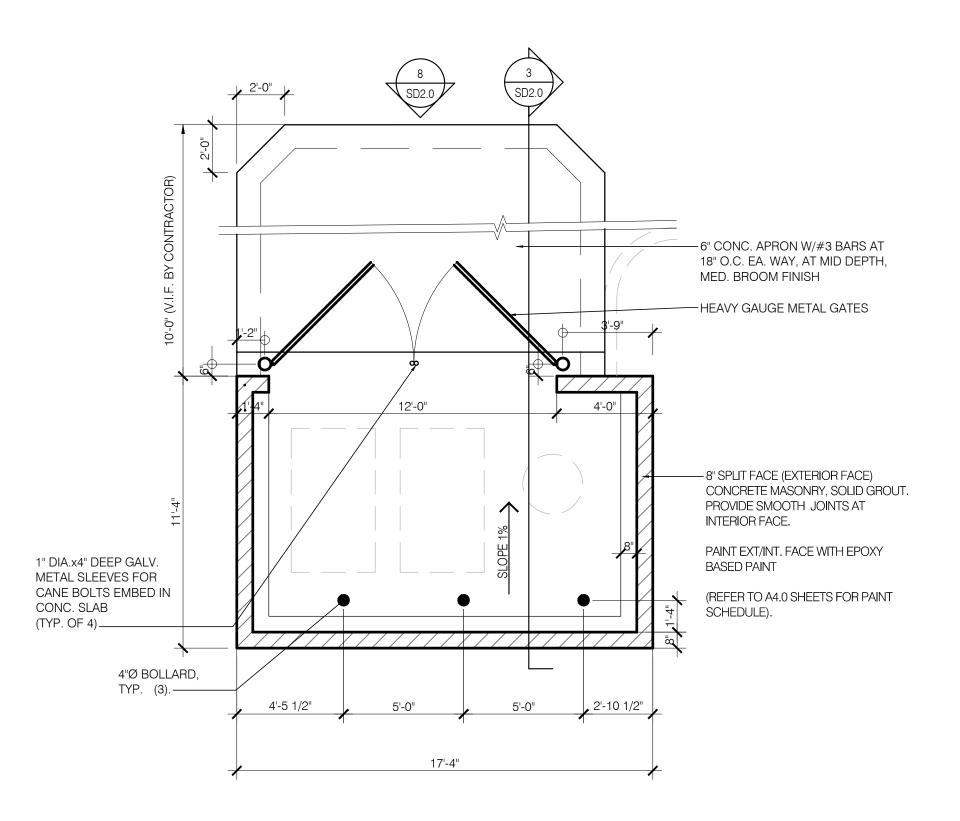


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SITE PLAN

SD1.0



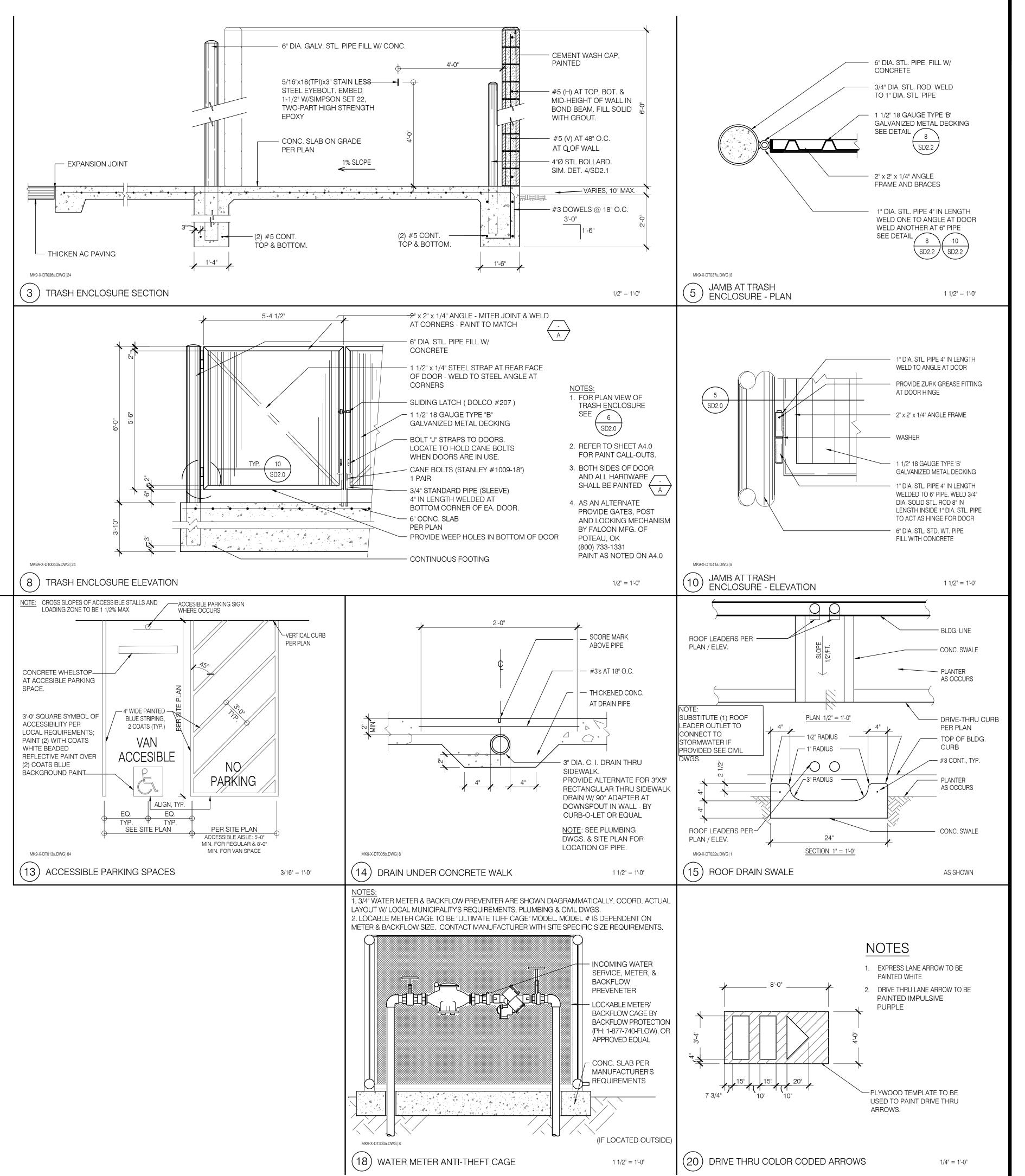
1/4" = 1'-0"

NOTES

- 1. ALL CONC. BLOCK MORTAR JOINTS SHALL BE FLUSH & SMOOTH AT INSIDE FACE.
- 2. SEE SITE PLAN FOR LOCATION OF TRASH ENCLOSURE.
- 3. SEE EXTERIOR ELEVATIONS SHEET A4.0 FOR FINISH SCHEDULE.
- 4. THE TRASH ENCLOSURE PAD SHALL BE SEALED WITH A "NON-PIGMENTED" CLEAR CONCRETE SEALER.

MK9-X-DT038a.DWG|48

(6) SMALL TRASH ENCLOSURE PLAN





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TRASH ENCLOSURE PLAN AND DETAILS

SD2.0

PLANT LIST SIZE SCIENTIFIC NAME STREET TREES PLATANUS ACERIFOLIA 'COLUMBIA' PLA. ACE. 36" BOX SHADE TREES PISTACIA CHINENSIS PIS. CHI. 24" BOX UPRIGHT SHRUBS ROSMARINUS OFFICINALIS 'TUSCAN BLUE' UPRIGHT ROSEMARY ROS. T.B. 5 GAL. WESTRINGIA FRUTICOSA 'MORNING LIGHT' | MORNING LIGHT COAST ROSEMARY WES. M.L. 5 GAL. ACCENT SHRUBS AGAVE 'BLUE GLOW' AGA. B.G. 5 GAL. 5 GAL. DIANELLA REVOLUTA 'LITTLE REV' JUN. PAT. 5 GAL. JUNCUS PATENS 'ELK BLUE' MUH. CAP. 5 GAL. MUHLENBERGIA CAPILLARIS 'LENCA' PC TEU. CHA. 5 GAL. TEUCRIUM CHAMAEDRYS YUC. S.A. 5 GAL. YUCCA 'SILVER ANNIVERSARY' GROUNDCOVERS BAC. P.P. 1 GAL. 30" O.C. BACCHARIS PILULARIS PIGEON POINT FES. S.B. | 1 GAL. | 18" O.C. | FESTUCA 'SISKIYOU BLUE' SEN. MAN. FLATS 8" O.C. SENECIO MANDRALISCAE



COMMON NAME

LONDON PLANE

CHINESE PISTACHE

BLUE GLOW AGAVE

WALL GERMANDER

DWARF COYOTE BRUSH

SISKIYOU BLUE FESCUE

BLUE CHALK STICKS

LITTLE REV FLAX LILY

BLUE ELK CALIFORNIA RUSH

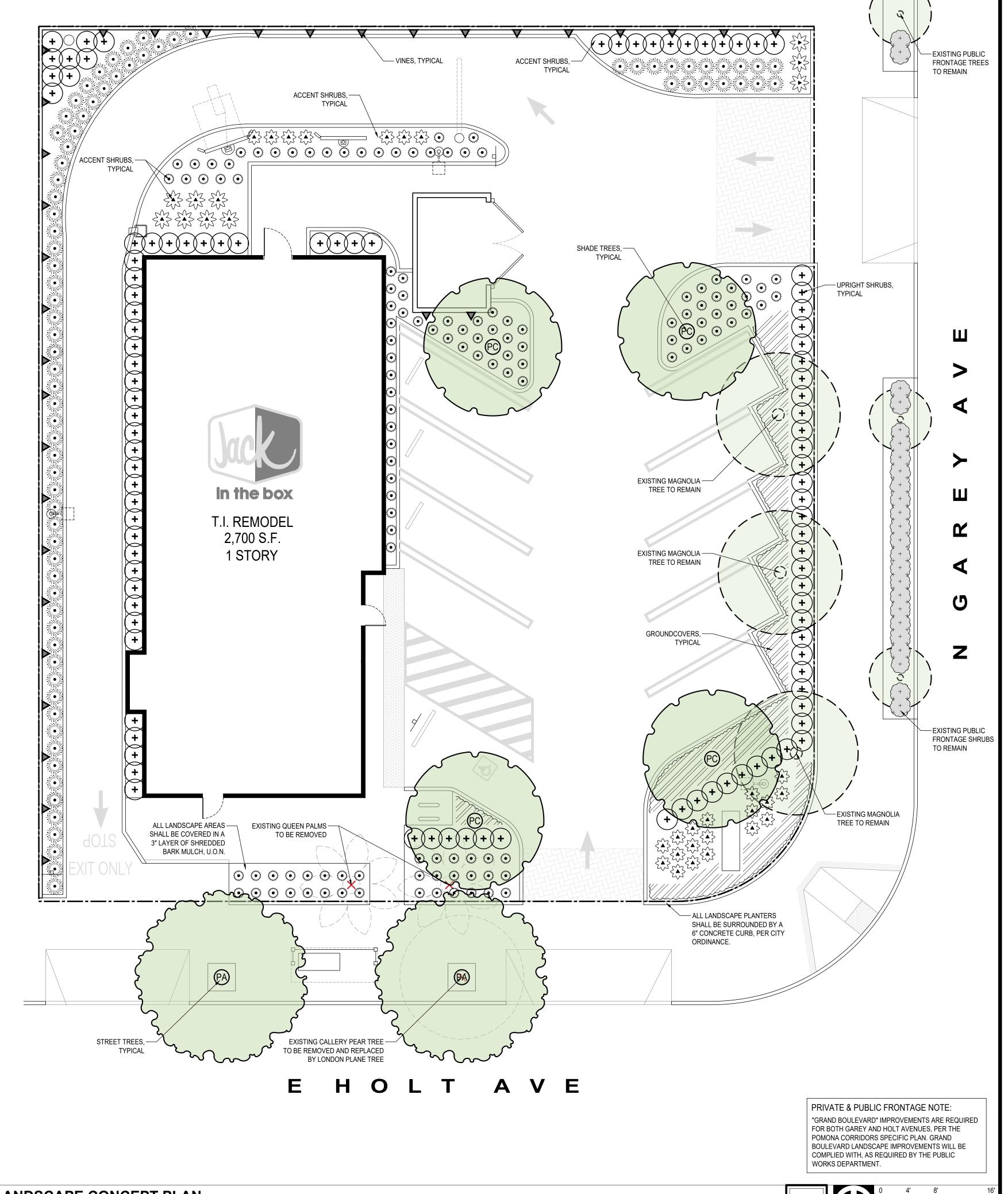
REGAL MIST PINK MUHLY GRASS

SILVER ANNIVERSARY SOAPWORT

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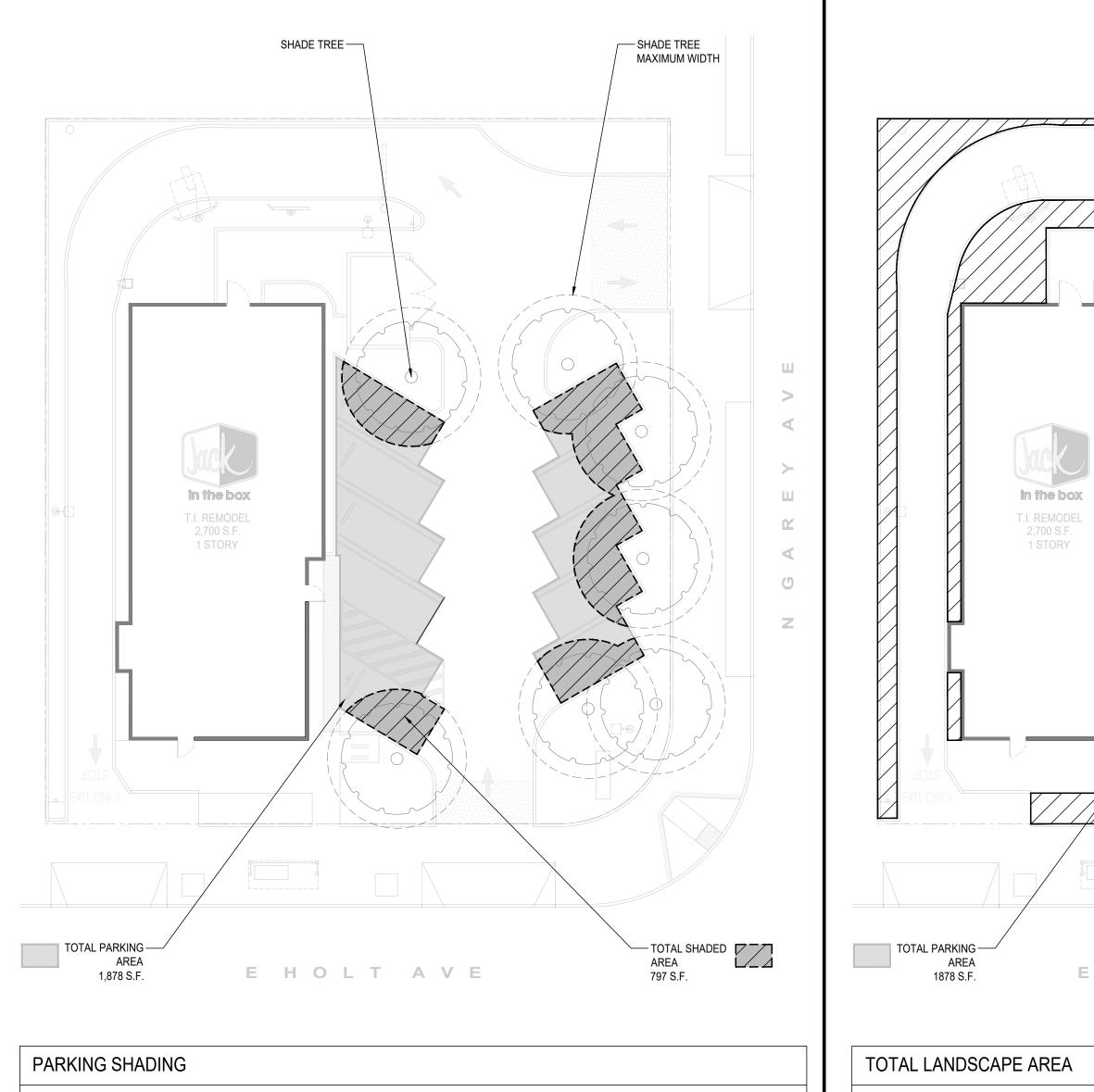


LANDSCAPE CONCEPT **PLAN**

LANDSCAPE CONCEPT PLAN

SCALE 1/8" = 1'- 0"





1,878 S.F.

751.2 S.F.

797 S.F.

SCALE 1/16" = 1'- 0"

100%

42.44%

TOTAL OFF-STREET PARKING AREA:

TOTAL PROPOSED SHADING:

SCALE 1/16" = 1'- 0"

REQUIRED SHADING PER ORDINANCE:

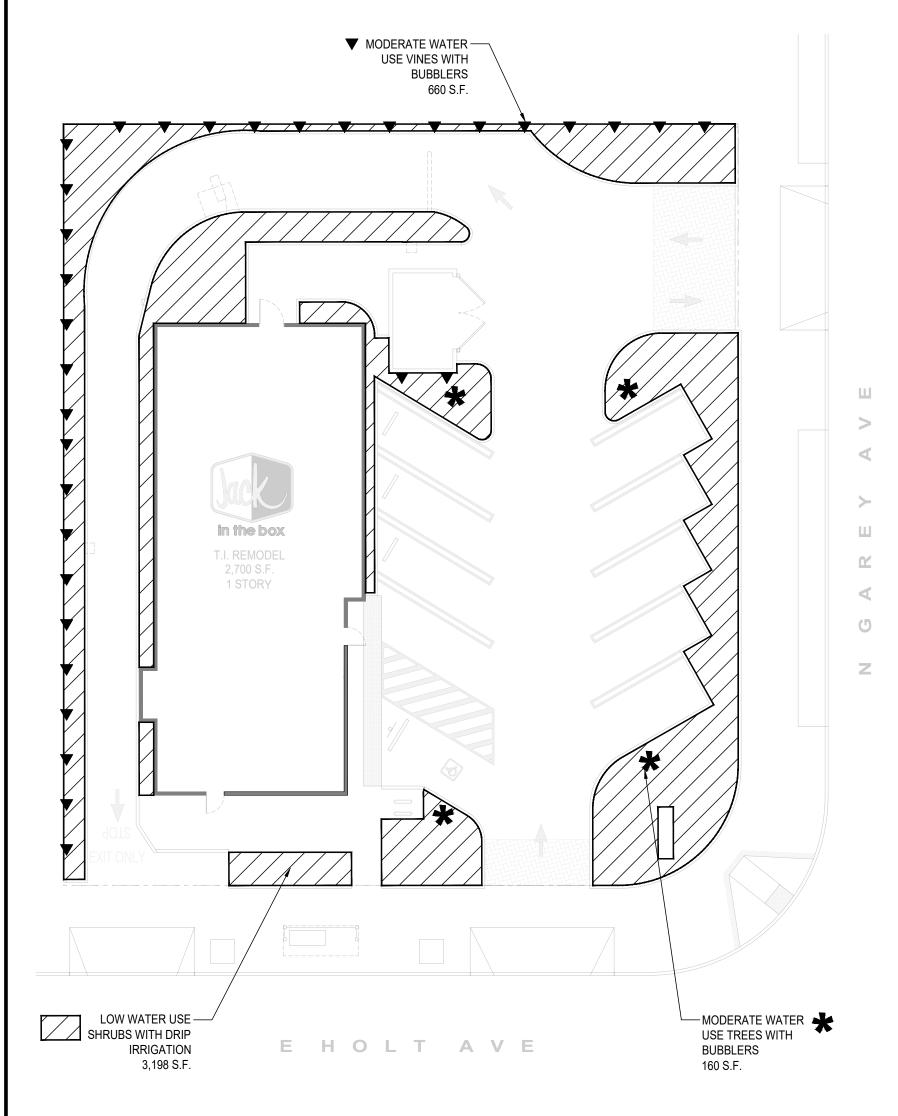
SHADING KEYMAP & CALCULATIONS

TOTAL PARKING AREA 1878 S.F. E H O L T A V E		REET PARKING CAPE AREA
TOTAL LANDSCAPE AREA		
TOTAL SITE AREA:	100%	14,180.26 S.F.
REQUIRED LANDSCAPE AREA PER ORDINANCE:	15%	2,127.03 S.F.
TOTAL PROPOSED LANDSCAPE AREA	22.55%	3,198 S.F.
OFF STREET PARKING LANDSCAPE AREA		
TOTAL OFF-STREET PARKING AREA:	100%	1,878 S.F.
REQUIRED OFF-STREET PARKING LANDSCAPE AREA PER ORDINANCE:	6%	112.68 S.F.
TOTAL PROPOSED OFF-STREET PARKING LANDSCAPE AREA:	35.09%	659 S.F.

PROPOSED — LANDSCAPE AREA

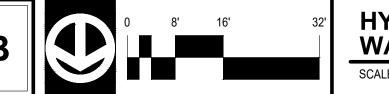
INSIDE PROPERTY LINE

3,198 S.F.

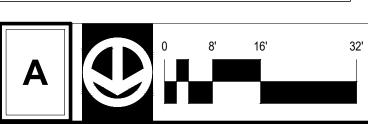


MAWA (MAXIMUM ALLOWABLE WATER ALLOWANCE):	
(ETo)x(0.62)x[(0.42)xLA]	
(47.50) x (0.62) x [(0.42) x 4,018] =	80,129
ETWU (ESTIMATED TOTAL WATER USE):	
HYDROZONE 1:	
LOW WATER USE SHRUBS WITH DRIP IRRIGATION	
(47.50) x (0.62) x [(0.3 x 3,198)/0.90] =	31,394
HYDROZONE 2:	
MODERATE WATER USE TREES WITH BUBBLERS	
(47.50) x (0.62) x [(0.5 x 660) / 0.85] =	11,434
HYDROZONE 3:	
▼ MODERATE WATER USE VINES WITH BUBBLERS	
(47.50) x (0.62) x [(0.5 x 160) / 0.85] =	2,772
ETWU = 45,600 < MAWA = 80,129	

LANDSCAPE AREAS KEYMAP & CALCULATIONS



HYDROZONE KEYMAP & WATER USE CALCULATIONS SCALE 1/16" = 1'- 0"



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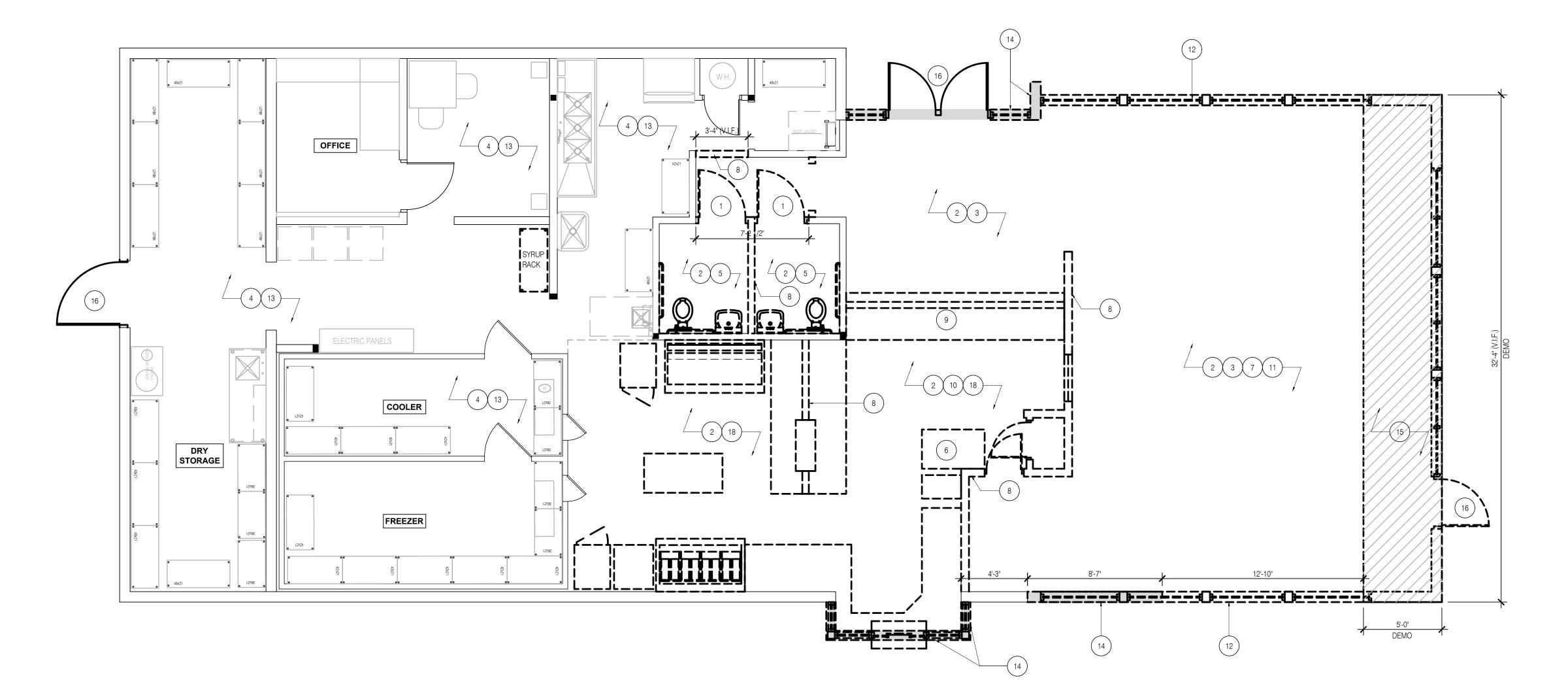


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LANDSCAPE CONCEPT **PLAN**

SYMBOL LEGEND INDICATES WALLS TO BE DEMOLISHED AND EQUIPMENT TO BE REMOVED. INDICATES (E) EQUIPMENT TO REMAIN INDICATES DEMOLISH PORTION OF BUILDING AND CONCRETE SLAB INDICATES (E) EXTERIOR WALLS TO BE DEMOLISHED FROM BOTTOM TO TOP

EXISTING INTERIOR WALLS TO REMAIN



KEY NOTES

(1) REMOVE EXISTING KITCHEN AND RESTROOMS DOORS.

REMOVE EXISTING FLOOR TILE AND COVE BASE IN DINING AREA, FRONT SERVICE, RESTROOMS AND KITCHEN.

INTERIOR FINISHES AT DRINK STATION, RESTROOM VESTIBULE AREA AND DINING ROOM

REMOVE EXISTING DECORATIVE WALL FINISHES TO GYP BOARD SHEATHING OR TO SUBSTRATE. REPLACE GYP BOARD IN IRREPARABLE AREAS FOR INSTALLATION OF NEW

WALLS. SKIM COAT WALLS AND PREP FOR NEW FINISHES.

(4) KEEP EXISTING FLOOR TILE AND COVE BASE IN THIS AREA. TYP U.O.N.

FEMOVE ALL EXISTING PLUMBING FIXTURES AND ACCESSORIES. SEE A7.0 FOR NEW RESTROOM DESIGN AND FIXTURES.

REMOVE EXISTING BEVARAGE MACHINE AND REPLACE WITH BEVARIATY, ICE MAKER AND STAINLESS STEEL CABINETS. GC SHALL REMOVE AND RE-INSTALL AS REQUIRED FOR NEW WALL FINISHES. PROVIDE PROTECTION OF EQUIPMENT AS REQUIRED.

7) REMOVE ALL EXISTING DINING FURNITURE.

8 EXISTING INTERIOR WALL TO BE DEMOLISHED.

9 EXISTING SERVICE COUNTER TO BE REMOVED IN THEIR ENTIRETY. PATCH AND REPAIR SLAB AS REQUIRED.

REMOVE EXISTING MENU BOARD, AND BREAKFAST BOARD (IF APPLICABLE). NEW ONE PROVIDED AND INSTALLED BY SIGN COMPANY. SEE KITCHEN PLAN FOR NEW LOCATION.

REMOVE EXISTING ARTWORK AS REQUIRED. PREP WALLS FOR NEW FINISHES AND INSTALLATION OF NEW ART WORK.

(12) REMOVE EXISTING STOREFRONT WINDOWS.

(13) NO WORK THIS AREA UNLESS OTHERWISE NOTED.

(14) PORTION OF EXISTING EXTERIOR WALL AND WINDOWS TO BE DEMOLISHED.

AREA OF DEMOLITION. SLAB, STOREFRONT SYSTEM, WALLS AND ROOF WILL BE DEMOLISHED ENTIRELY.

(16) REMOVE EXISTING EXTERIOR DOORS.

(17) REMOVE EXISTING EQUIPMENT IN THIS AREA.



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DEMO FLOOR PLAN

A0.1

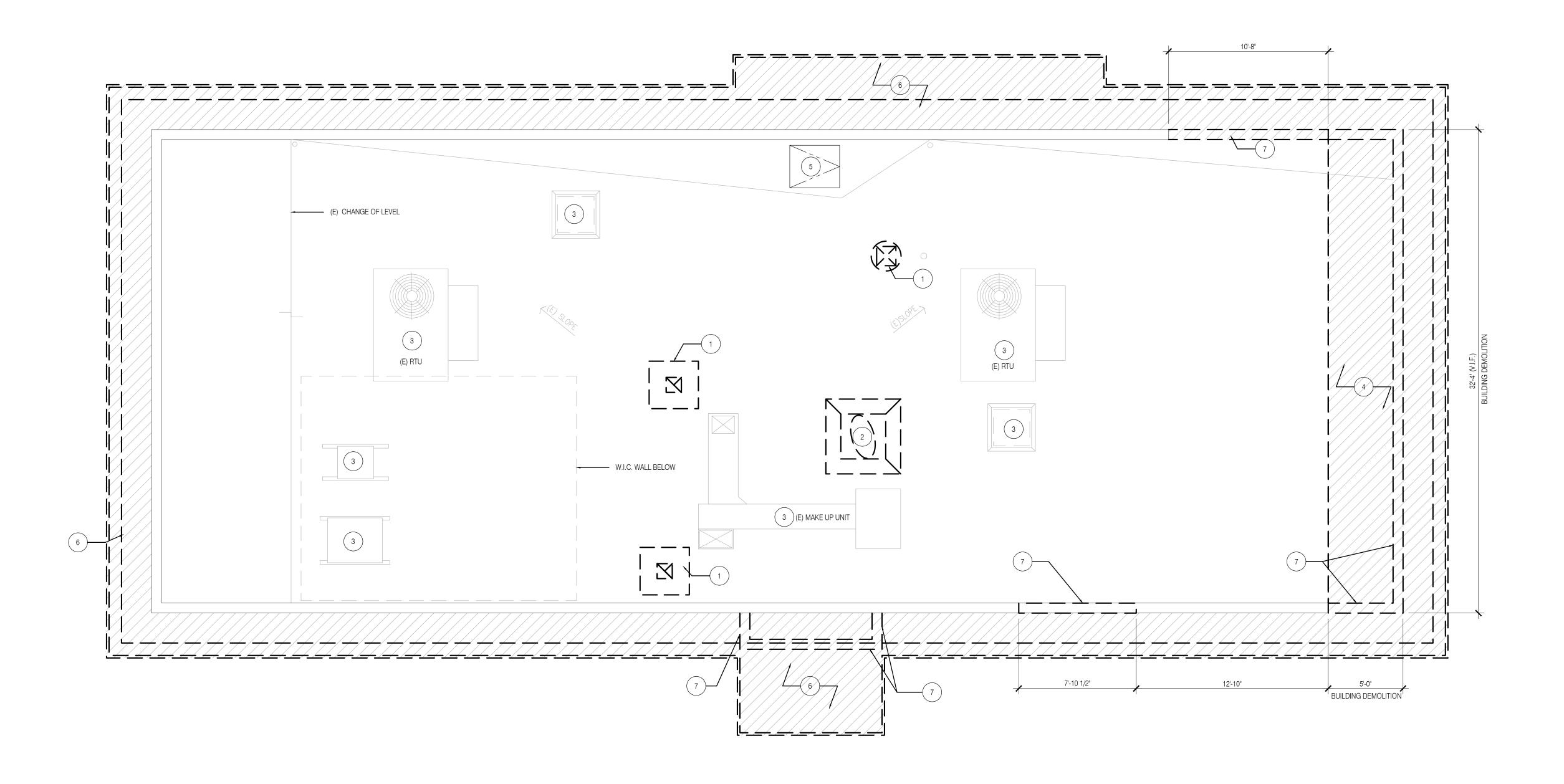
SYMBOL LEGEND ---- INDICATES DEMOLITION

INDICATES (E) ROOF EQUIPMENT TO REMAIN INDICATES AREA OF DEMOLITION

EXISTING PARAPET WALLS TO REMAIN

KEY NOTES

- 1 EXISTING EXHAUST FANS TO BE REMOVED.
- 2 EXISTING ANTENNA TO BE REMOVED.
- 3 EXISTING ROOF EQUIPMENT TO REMAIN.
- 4 AREA OF BUILDING DEMOLITION
- (E) ROOF ACCESS
- 6 REMOVE EXISTING SLOPED ROOF STRUCTURE AND ALUMINUM FASCIA AROUND BUILDING.
- 7 DEMOLISH PORTION OF PARAPET WALL





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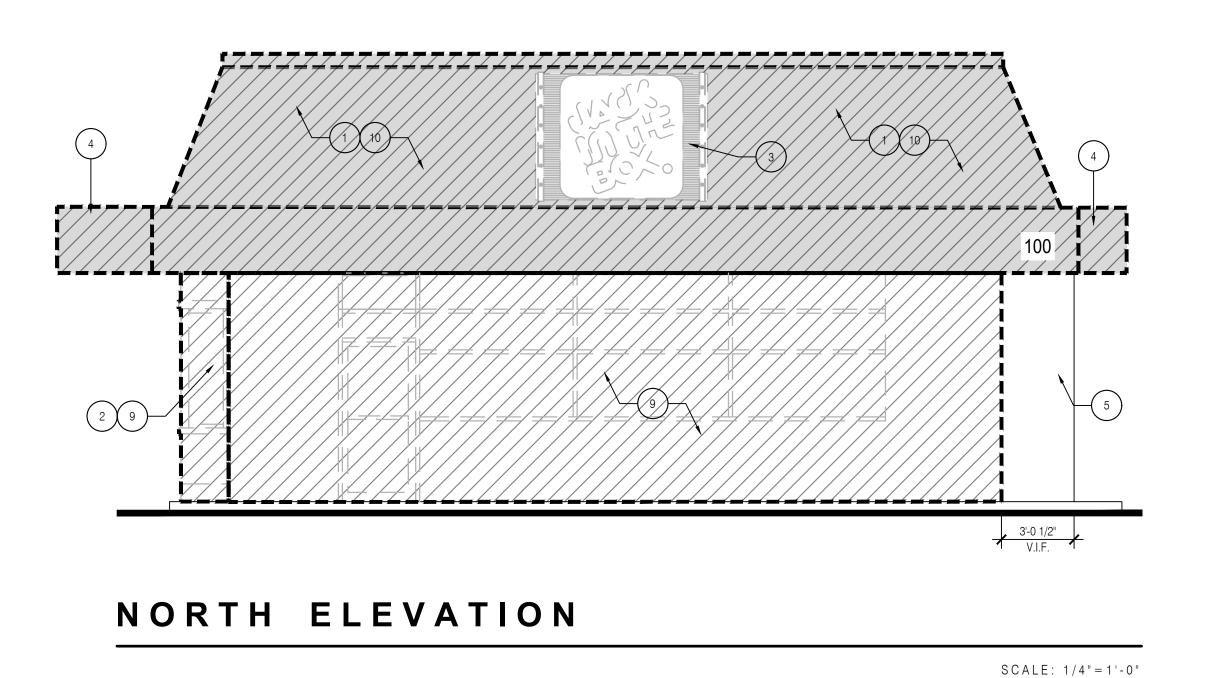


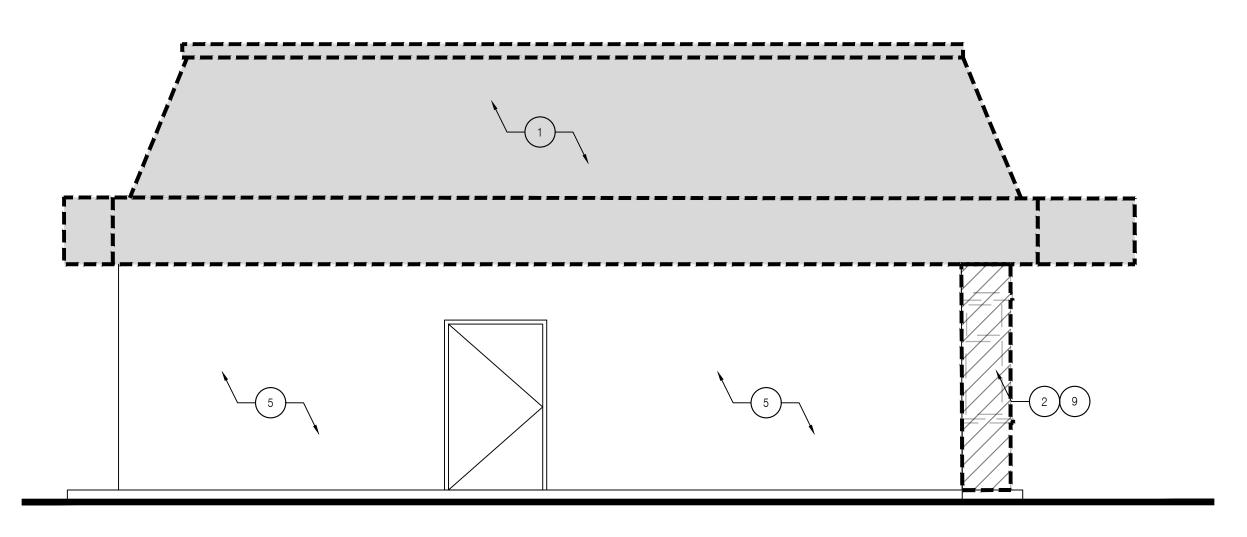
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DEMO ROOF PLAN



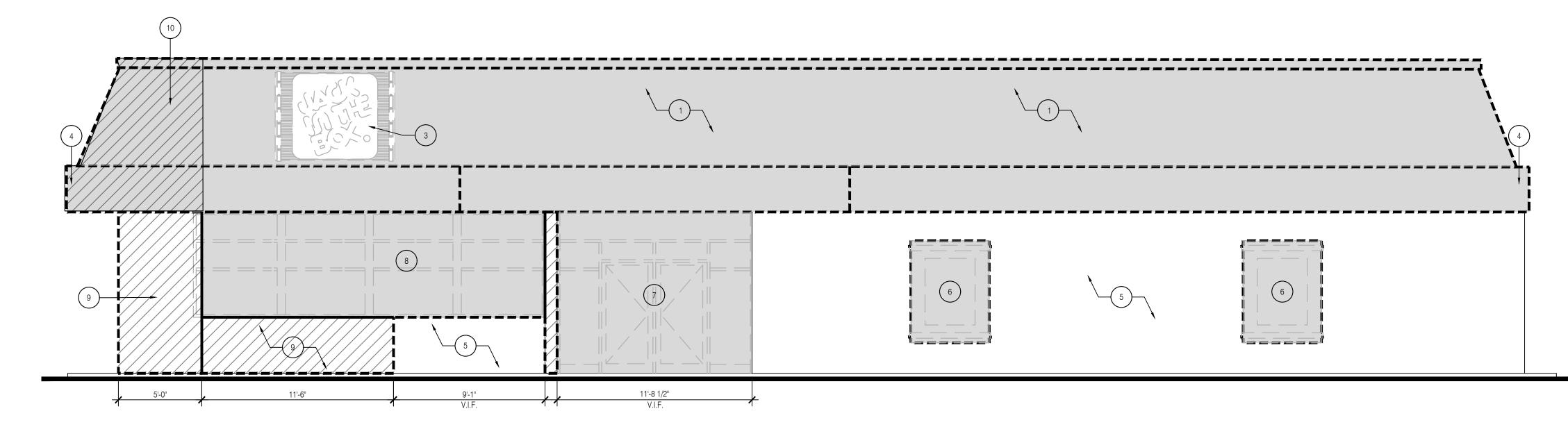


SOUTH ELEVATION

SCALE: 1/4"=1'-0"

EAST ELEVATION

SCALE: 1/4"=1'-0"



WEST ELEVATION





HATCH INDICATES ELEMENT TO BE REMOVED

HATCH INDICATES PORTION OF BUILDING TO BE DEMOLISHED

KEY NOTES

- REMOVE EXISTING SLOPED ROOF. PATCH AND REPAIR ADJACENT SURFACES AS NECESSARY TO RECEIVE NEW FINISHES. SEE STRUCTURAL DWG'S. WALL SECTIONS AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- 2 EXISTING DRIVE-THRU STOREFRONT SYSTEM AND TOWER WALLS TO BE DEMOLISHED.
- REMOVE EXISTING SIGN, MAINTAIN ELECTRICAL WHIP FOR FUTURE SIGNAGE BY OTHERS.
- (4) REMOVE ENTIRELY (E) ALUMINUM FASCIA AROUND BUILDING.
- PREPARE EXISTING EXTERIOR WALLS FOR NEW EXTERIOR PAINT AND FINISHES.

 PATCH AND/OR REPAIR/REPLACE ROUGH AREAS, DUE TO DEMOLITION. SEE TO EXTERIOR ELEVATIONS AND FINISH SCHEDULE FOR ADDITIONAL INFO.
- REMOVE DECORATIVE GRAPHIC PANELS. PATCH AND REPAIR ANY DAMAGE AND PREP FOR NEW FINISHES.
- 7 EXISTING STOREFRONT DOOR AND WINDOW SYSTEM TO BE DEMOLISHED.
- EXISTING STOREFRONT WINDOW TO BE DEMOLISHED. KEEP AND PROTECT BLOCK LOW WALL FOR FUTURE FULL HEIGHT WALL CONSTRUCTION. REFER TO A1.0 FOR MORE INFORMATION
- 9 PORTION OF BUILDING WALLS TO BE DEMOLISHED. REFER TO DEMOLITION FLOOR PLAN FOR REFERENCE.
- PORTION OF ROOF STRUCTURE TO BE DEMOLISHED.



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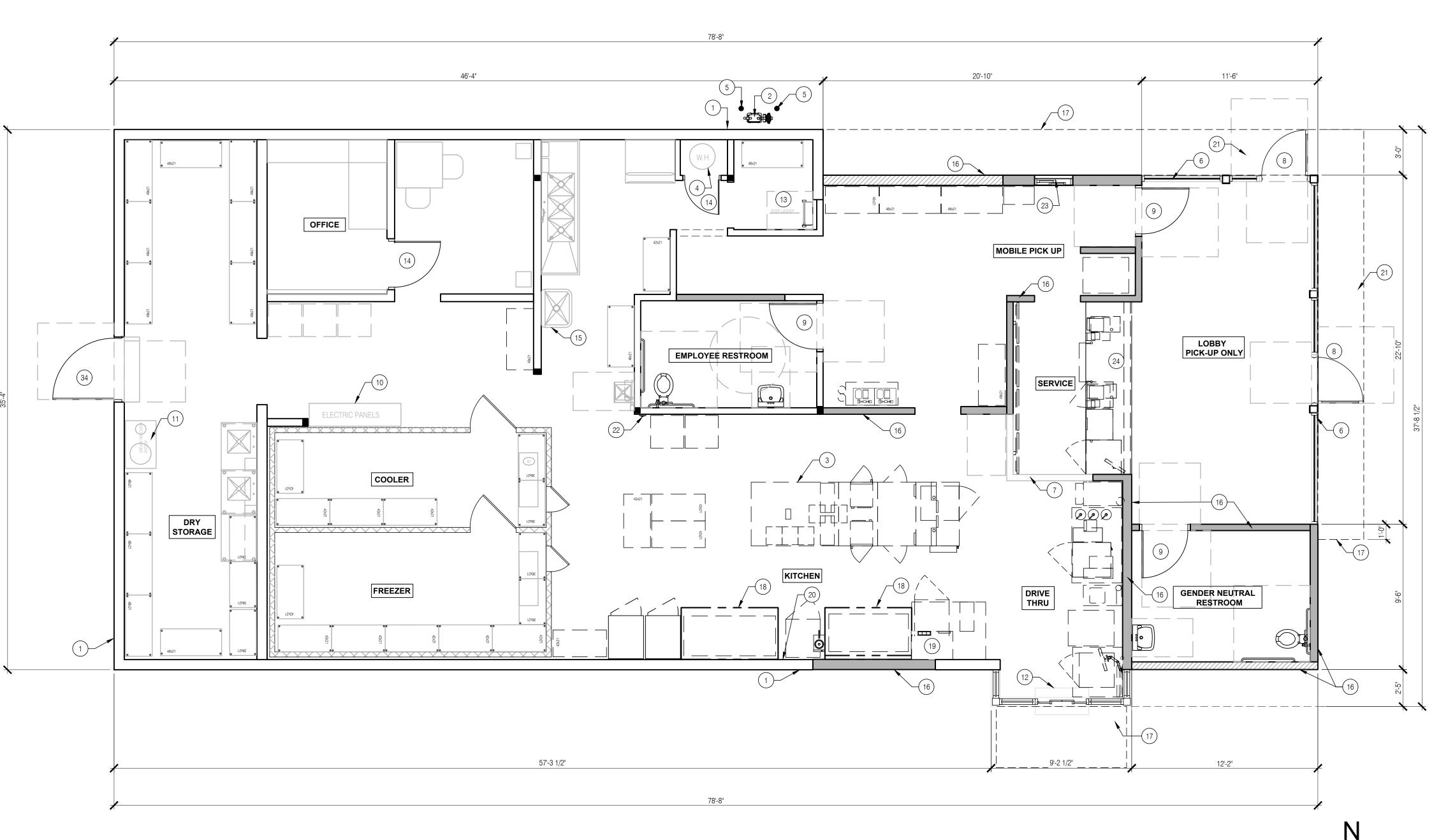


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AS NOTED

DEMO ELEVATIONS

A0.4



FLOOR PLAN

KEYNOTES (#)

- 1. (E) EXTERIOR DOWNSPOUTS LOCATION.
- 2. (E) GAS METER.
- 3. LINE OF FOOD SERVICE EQUIPMENT, SEE KITCHEN DRAWINGS.
- 4. (E) WATER HEATER.
- 6. NEW STOREFRONT WINDOW.

5. BARRIER POST, TYP., SEE "SD" SHEETS & CIVIL DRAWINGS.

- 7. LINE OF BULKHEAD/HEADER ABOVE, SEE 13/A9.5 (BULKHEAD ONLY).
- 8. NEW EXTERIOR DOOR.
- NEW INTERIOR DOOR.
- 10. (E) ELECTRIC CABINET.
- 11. (E) GREASE TANK/ BULK OIL FILL BOX. 12. INTEGRAL COUNTER BY WINDOW MANUFACTURER, SEE A8.1.
- 13. (E) LADDER TO ROOF.
- 14. (E) DOOR TO REMAIN. 15. (E) MOP SINK.
- 16. NEW WALL. SEE LEGEND.
- 17. LINE OF CANOPY. REFER TO A2.0, A5.0 & A6.0 SERIES SHEETS FOR EXTENTS.
- 18. LINE OF KITCHEN HOOD ABOVE, SEE RCP, KITCHEN, & HOOD SHEETS.
- 19. EQUIPMENT SHELF BOX HEADER TO BE (2) 12" 18GA STUDS/ W/ 20GA 5-1/2" TRACT T&B. REFER TO K2.0 FOR MOUNTING HEIGHT.
- INSTALL F.R.P. AT THIS LOCATION. SEE GENERAL NOTES ON THIS SHEET & STRUCTURAL DRAWINGS. 21. LANDING TO SLOPE MAX. 2% AWAY FROM BUILDING. REFER TO DETAIL ON PLAN, CIVIL
- & SITE DESIGN DRAWINGS.

20. EXTENTS OF STEEL STUD FRAMING (NON-COMBUSTIBLE CONSTRUCTION). DO NOT

- 22. WALL-MOUNTED ANSUL PULL LOCATION INSTALLD @ 48"MAX TO TOP OF CONTROLS, SEE K1.0 FOR DETAILS.
- 23. WALL-MOUNTED WINDOW BELL GC-EQ15.
- 24. SERVICE COUNTER REFER TO ID3.0 FOR MORE INFORMATION.

GENERAL NOTES

- A. ALL DIMENSIONS SHOWN ARE FACE OF SUBSTRATE TO FACE OF SUBSTRATE, UNLESS OTHER WISE NOTED. DRIVE-THRU WINDOWS AND FOOD PICK-UP LOCKER ARE DIMENSIONED FROM CENTERLINE TO FACE OF SUBSTRATE.
- B. PROVIDE 2x SOLID BLOCKING IN WOOD FRAMED WALLS AS REQUIRED FOR REINFORCEMENT OF ALL GRAB BARS, RESTROOM FIXTURES, PLUMBING LINES, WALL BUMPERS, KITCHEN SHELVING, AND MILLWORK ATTACHMENT, ETC. SEE SHEET A7 SERIES FOR RESTROOMS AND SHEETS K2.0, K2.1, AND K2.2 FOR KITCHEN, EMPLOYEE, AND WORKSTATION AREAS.
- C. NON-COMBUSTIBLE BLOCKING MUST BE USED BEHIND KITCHEN EQUIPMENT, I.E. HOODS, TACO STATION WHERE METAL STUD FRAMING IS DESIGNATED ON FLOOR
- D. FOR EXTERIOR WALL TREATMENT, SEE EXTERIOR ELEVATIONS.
- E. GENERAL CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE WORK OF THE FOOD SERVICE CONTRACTOR.
- F. FOR ITEMS FURNISHED BY OTHERS & INSTALLED BY GENERAL CONTRACTOR SEE KITCHEN AND INTERIOR DRAWINGS.
- G. CONSULT CONSTRUCTION MANAGER FOR REQUIREMENTS FOR AIR CURTAINS AT DRIVE THRU AND CASHIER WINDOWS AND AT DINING ENTRIES. PROVIDE DOOR SWITCHES AS NECESSARY. REFER TO KITCHEN, MECHANICAL, & ELECTRICAL DWGS.
- H. ALL DOORS TO BE 4" FROM ADJACENT WALL (2"+2" FRAME), U.O.N.

WALL LEGEND

SCALE:

- (NOT ALL WALL TYPES MAY BE USED.)
- ALL EXTERIOR WALLS SHALL BE 2x6 WOOD STUDS AT 16" O.C. WITH MIN. R-21 BATT INSULATION & 5/8" WATER RESISTANT GYPSUM BOARD ON THE INTERIOR FACE, U.O.N. BELOW. SEE STRUCTURAL DRAWINGS FOR EXTERIOR SHEATHING.
- ALL INTERIOR WALLS SHALL BE 2x4 WOOD STUDS AT 24" O.C. WITH 5/8" WATER RESISTANT GYPSUM BOARD ON BOTH SIDES, U.O.N. BELOW.
- FOR TYPICAL SUBSTRATE AT WALL BASE, SEE DETAILS 12, 14, 18, & 19/A9.2.

WOOD STUD WALL CONSTRUCTION, SEE NOTES ABOVE.

NEW WOOD STUD WALL. MASONRY WALL.

NEW WOOD STUD WALL CONSTRUCTION OVER EXISTING

(E) FREEZER AND COOLER PANEL WALL. (E) INTERIOR AND EXTERIOR WALL.

FLOOR PLAN

in the box



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KEY NOTES

- (1) (E) CRICKET. MAINTAIN EXISTING SLOPE AT ROOF.
- (N) 32" WIDE ROOF WALKWAY. HOLD 32" MIN. FROM EQUIPMENT WHERE SHOWN.
- PRE FABRICATED CANOPY PER JIB. SEE REFLECTED CEILING PLAN FOR EXTENTS, EXTERIOR ELEVATIONS & SECTIONS FOR HEIGHT ABOVE SLAB.
- (4) (E) OVERFLOW DRAINS AT ROOF, VERIFY ON FIELD FOR EXACT LOCATION.
- PARAPET RETURN WALL & BACKSIDE WRAP EXTERIOR CUBE TILE AROUND RETURN WALL. BACKSIDE TO BE EIFS AT TOP PORTION OF PARAPET, ALL OTHER FINISHES ARE AS NOTED. SEE EXTERIOR ELEVATIONS FOR FINISH
- NEW OUTDOOR LIGHT FIXTURE, REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- 7A NOT USED.
- BEVARIETY ICE MAKER CONDENSER ON ROOF EQUIPMENT PLATFORM BY G.C. FOR ROOF PENETRATION.
- 8 HOOD BELOW. SE MECHANICAL & HOOD DRAWINGS.

(E) CONDENSER TO REMAIN.

(E) PLUMBING VENT.

13 LINE OF W.I.B. BELOW

- PARAPET WITH METAL COPING SLOPE TOWARDS ROOF 1/8" PER 9 GREASE EXHAUST FAN UNIT FOOT, SE EXTERIOR ELEVATIONS.
 - ILLUMINATED BUILDING SIGNAGE. SEE EXTERIOR ELEVATIONS & ELECTRICAL DRAWINGS.
- (E) RESTROOM EXHAUST FAN TO REMAIN. CONTINUOUS ROOF MEMBRANE OVER ROOF SHEATING ON DIAGONAL BRACING TO T.O. PARAPET.

SCALE:

- LED ROPE LIGHTING AT PARAPET.
- NEW RESTROOM EXHAUST FAN.
- NOT USED.

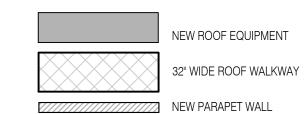
(E) ROOF ACCESS.

- (16) CLASS 'A' PVC ROOFING MEMBRANE, SEE SPECIFICATIONS.
- (17) (E) HVAC UNIT TO REMAIN.
- (18) (E) MAKE UP UNIT TO REMAIN.

GENERAL NOTES

- 1. FOR ROOF FRAMING AND PLYWOOD LAYOUT INFORMATION, SEE STRUCTURAL DRAWINGS.
- 2. FOR MECHANICAL EQUIPMENT AND INSTALLATION, SEE MECHANICAL DRAWINGS AND
- 3. CURBS AND BASES FOR HVAC UNITS AND EXHAUST FANS SHALL BE INSTALLED LEVEL BY G.C. HVAC UNITS AND EXHAUST FANS SHALL BE HOISTED, SET IN PLACE, AND SECURED TO ROOF CURBS OR BASES BY G.C. AND PER MANUFACTURER'S INSTRUCTIONS.

HATCH LEGEND



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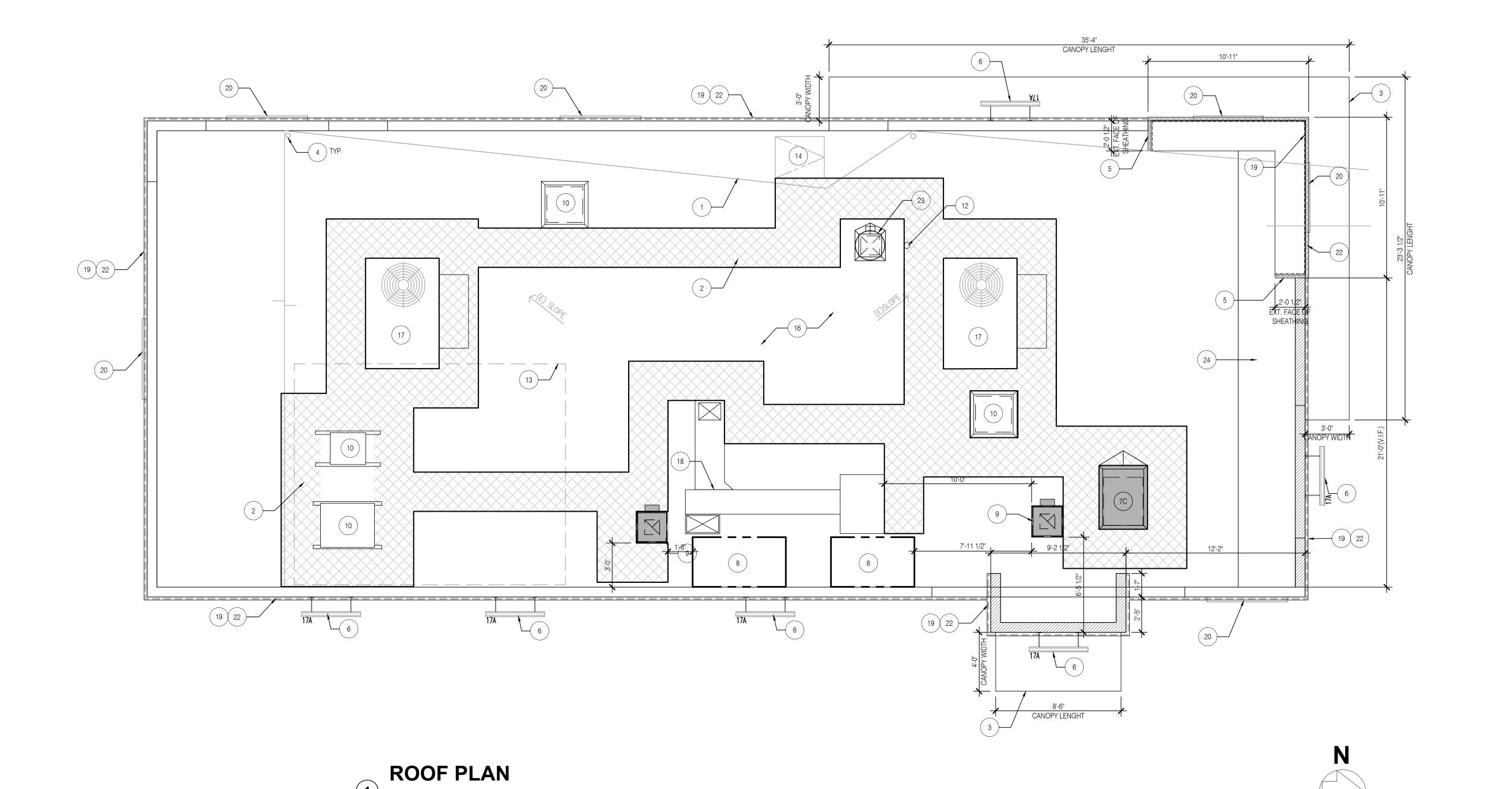
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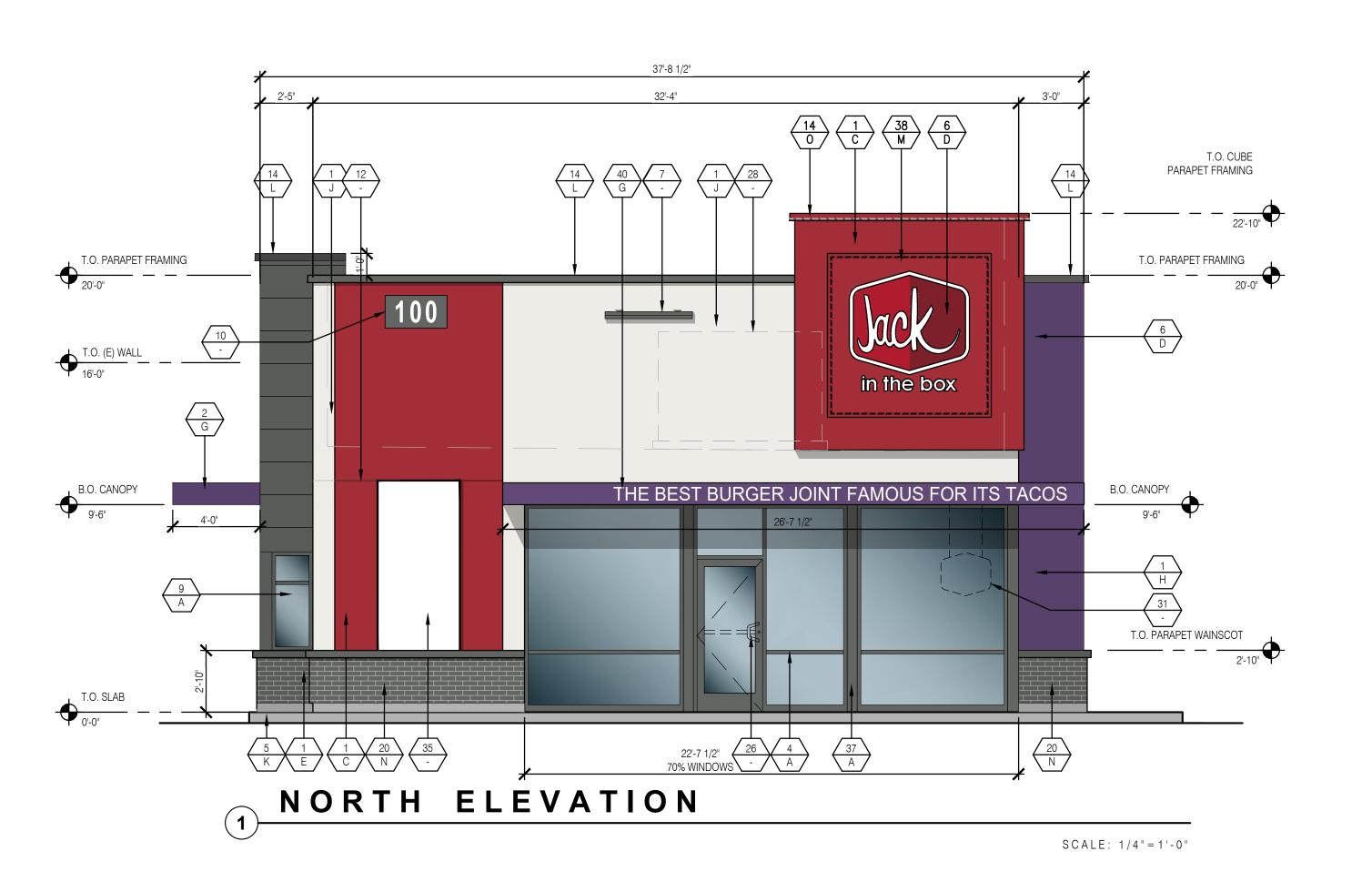


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ROOF PLAN





GENERAL NOTES

- A. REFER TO A1.0 FOR DOOR & WINDOW TAGS & A8.0 SHEET SERIES FOR DOOR & WINDOW TYPES & SCHEDULES.
- ALL SIGNAGE IS UNDER SEPARATE SUBMITTAL AND PERMIT (N.I.C)
- ALL PLASTER ACCESSORIES, FLASHING, ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES (U.O.N)
- ALL EXTERIOR WALL OPENINGS FOR RECEPTACLES, HOSE BIBS, ETC. SHALL BE SEALED. SEE FLOOR PLAN, GENERAL NOTES, AND SPECIFICATIONS FOR ADDITIONAL NOTES.

SW 6832 "IMPULSIVE PURPLE"

ALL FINISHES, LIGHTING, & EQUIPMENT ARE TO SUBMITED TO ARCHITECT FOR REVIEW & APPROVAL.

COLORS

- A. DARK BRONZE ANODIZED ALUMINUM
- B. COLOR/ FINISH TO MATCH ADJACENT SURFACE
- SW 7588 "SHOW STOPPER" C. SHERWIN WILLIAMS:
- WHITE TEXT RED BACKGROUND JIB LOGOS:
- SHERWIN WILLIAMS: SW 7068 "GRIZZLE GRAY"
- THIN-BRICK VENEER: WIRE CUT, "ICEBERG"
- G. CANOPY: SW 6832 "IMPULSIVE PURPLE"
- NOT USED.

SHERWIN WILLIAMS:

- SHERWIN WILLIAMS: SW 7005 "PURE WHITE"
- NATURAL/ GRAY K. CONCRETE:
- SW 7068 "GRIZZLE GRAY" COPING:
- ACM PANELS: "CLASSIC RED"
- THIN-BRICK VENEER: "MIDNIGHT SKY"
- O. COPING: DUROLAST "BRITE RED"

EXTERIOR ELEVATION LEGEND

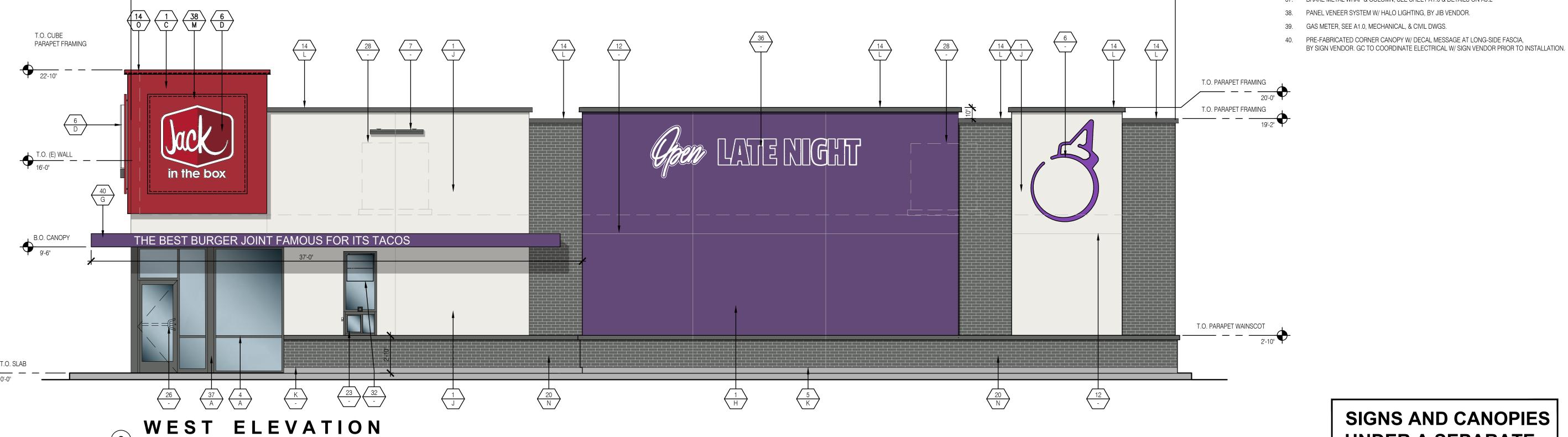


----- LED ROPE LIGHT FACE MOUNTED BY JIB VENDOR. SEE EXTERIOR

ELEVATIONS, DETAILS, & ELECTRICAL DWGS.

LED ROPE LIGHT IN COPING COVE BY JIB VENDOR. SEE EXTERIOR ELEVATIONS, DETAILS, & ELECTRICAL DWGS.

SCALE: 1/4"=1'-0"



EXTERIOR FINISH SCHEDULE

- EXTERIOR CEMENT PLASTER-AND FLOAT FINISH.
- 2. PRE-FAB CANOPY BY JIB VENDOR, SEE DETAIL <u>7/A9.5</u> (O.F.O.I).
- MOUNT LIGHTING FIXTURE WITHIN CANOPY, COORDINATE WITH VENDOR MOUNTING REQUIREMENTS.
- GC PROVIDED ALUMINUM STOREFRONT SYSTEM, WITH 3" MIN. RECESSED WINDOWS. SEE WINDOW TYPES & SPECIFICATIONS.

1" CLEAR INSULATED GLASS. 1" CLEAR INSULATED GLASS W/ SOLARBAN 70XL COATING.

1" CLEAR INSULATED ANTI GRAFFITI FILM

PER LOCAL AHJ REQUIREMENTS. W/ SOLARBAN 60 COATING. 5. EXPOSED CONCRETE CURB/ STEM WALL.

INTERNALLY ILLUMINATED SIGNAGE BY SIGN VENDOR (O.F.O.I, UNDER SEPARATE SUBMITTAL). GC TO COORDINATE ELECTRICAL W/ SIGN VENDOR PRIOR TO INSTALLATION.

7. WALL MOUNTED LIGHT FIXTURE, SEE DETAIL <u>6/A9.5</u> FOR FIXTURE ATTACHMENT.

NOT USED.

9. DRIVE-THRU SLIDING WINDOW.

10. INTERNALLY ILLUMINATED ADDRESS, MIN. 12"H, WHITE LETTERS OF-EQ8, OR AS REQUIRED PER LOCAL JURISDICTION (O.F.O.I, UNDER SEPRATE SUBMITTAL). GC TO COORDINATE ELECTRICAL W/ VENDOR PRIOR TO INSTALLATION.

NOT USED.

12. CONTROL JOINT, SEE DETAIL 11/A9.3.

13. HOLLOW METAL DOORS & FRAMES, MISCELLANEOUS TRIM.

ALUMINUM COPING WITH FACTORY APPLIED FINISH, VERIFY W/ ROOF PLAN COPING AT LED ROPE

LIGHTING LOCATION, SEE DETAILS 6, 7, & 8/A9.6. NOT USED.

NOT USED.

NOT USED.

18. NOT USED. 19. NOT USED.

20. THIN-BRICK VENEER OVER STUCCO OVER (E) MASONRY WALL (WHERE OCCURS), SEE SPECIFICATIONS.

21. DISPLAY POSTER PANEL & SURROUND, SEE DETAIL 9/A9.3

22. EXTERIOR WALL PACK LIGHT FIXTURE.

23. WALK-UP FOOD SLIDING WINDOW, BELL PUSH BUTTON GC-EQ15 8 INTERCOM OF-EL2 / OF-EL3). SEE A8.1 & ELECTRICAL DWGS FOR ADDITIONAL INFORMATION.

24. NOT USED.

25. (E) DOWNSPOUT.

26. JIB CUSTOM STOREFRONT DOOR PULL, SEE HARDWARE SCHEDULES OF-EQ13.

27. NOT USED.

28. (E) ROOF TOP MECHANICAL EQUIPMENT BEYOND.

29. NOT USED.

30. GUTTER, DOWNSPOUT & OVERFLOW SCUPPER, SEE DETAIL <u>5/A9.4</u> & <u>12/A9.4</u>.

31. ILLUMINATED WINDOW SIGN OF-EQ12, SEE ID2.0 & ELEC. DWGS.

32. ILLUMINATED WINDOW SIGN OF-EQ14, SEE KITCHEN ELEVATIONS & ELEC. DWGS.

33. NOT USED.

34. NOT USED.

35. GRAPHIC PANEL BY JIB SIGN VENDOR (O.F.O.I, UNDER SEPARATE SUBMITTAL).

36. INTERNALLY ILLUMINATED SIGN WITH WHITE LETTERS WITH "PURPLE" BACKGROUND PROVIDED BY SIGN VENDOR (O.F.O.I, UNDER SEPARATE SUBMITTAL). GC TO COORDINATE ELECTRICAL W/ SIGN

VENDOR PRIOR TO INSTALLATION. 37. BRAKE METAL WRAP & COLUMN, SEE SHEET A1.0 & DETAILS ON A9.2

38. PANEL VENEER SYSTEM W/ HALO LIGHTING, BY JIB VENDOR.

GAS METER, SEE A1.0, MECHANICAL, & CIVIL DWGS.

SIGNS AND CANOPIES **UNDER A SEPARATE** PERMIT. BY SIGN VENDOR.



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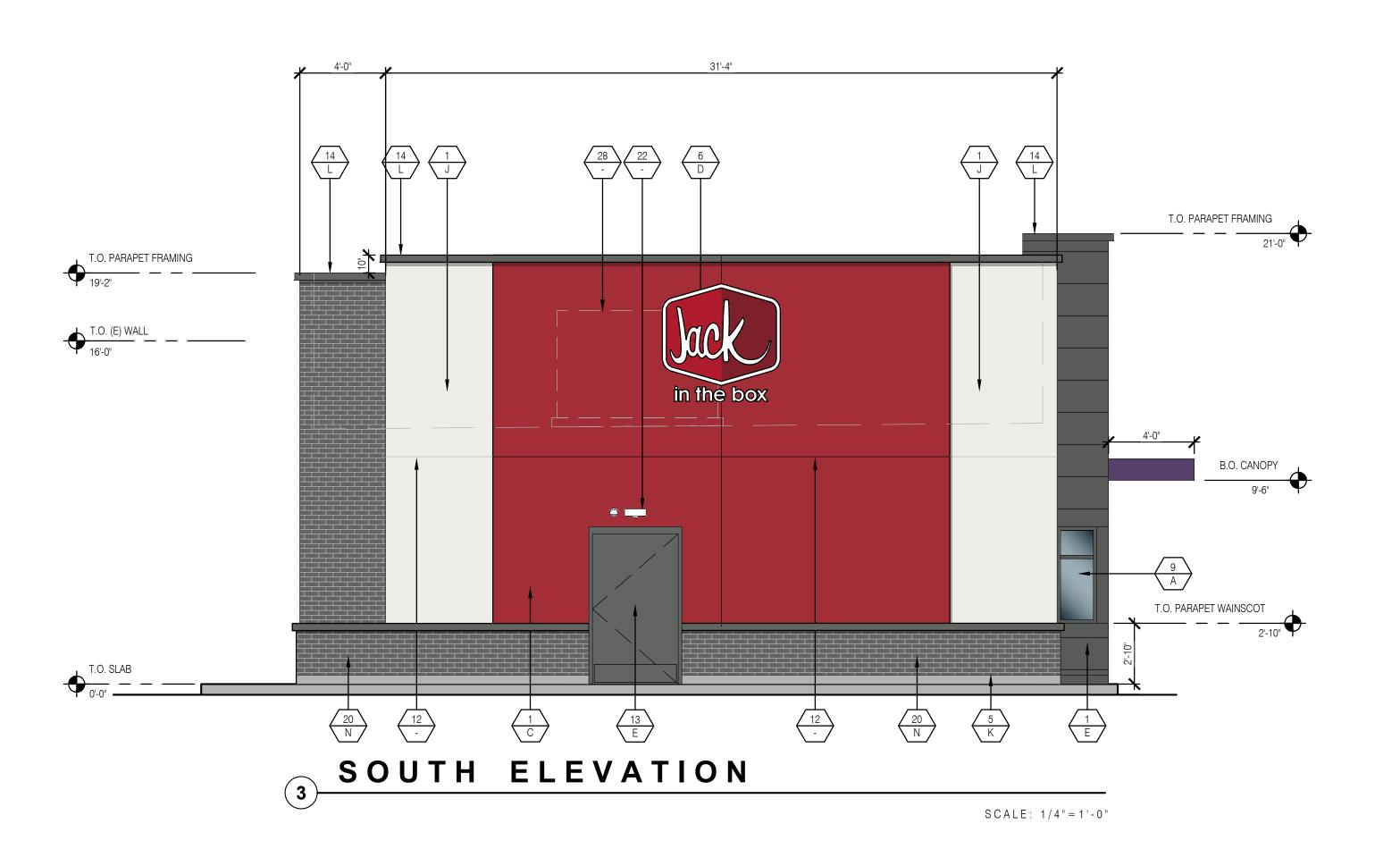


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EXTERIOR ELEVATIONS



EAST ELEVATION

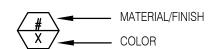
GENERAL NOTES

- A. REFER TO A1.0 FOR DOOR & WINDOW TAGS & A8.0 SHEET SERIES FOR DOOR & WINDOW TYPES & SCHEDULES.
- B. ALL SIGNAGE IS UNDER SEPARATE SUBMITTAL AND PERMIT (N.I.C)
- C. ALL PLASTER ACCESSORIES, FLASHING, ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES (U.O.N)
- D. ALL EXTERIOR WALL OPENINGS FOR RECEPTACLES, HOSE BIBS, ETC. SHALL BE SEALED. SEE FLOOR PLAN, GENERAL NOTES, AND SPECIFICATIONS FOR ADDITIONAL NOTES.
- E. ALL FINISHES, LIGHTING, & EQUIPMENT ARE TO SUBMITED TO ARCHITECT FOR REVIEW & APPROVAL.

<u>COLORS</u>

- A. DARK BRONZE ANODIZED ALUMINUM
- COLOR/ FINISH TO MATCH ADJACENT SURFACE
- C. SHERWIN WILLIAMS: SW 7588 "SHOW STOPPER"
- D. JIB LOGOS: WHITE TEXT RED BACKGROUND
- E. SHERWIN WILLIAMS: SW 7068 "GRIZZLE GRAY"
- F. THIN-BRICK VENEER: WIRE CUT, "ICEBERG"
- G. CANOPY: SW 6832 "IMPULSIVE PURPLE"
- H. SHERWIN WILLIAMS: SW 6832 "IMPULSIVE PURPLE"I. NOT USED.
- J. SHERWIN WILLIAMS: SW 7005 "PURE WHITE"
- K. CONCRETE: NATURAL/ GRAY
- L. COPING: SW 7068 "GRIZZLE GRAY"
- M. ACM PANELS: "CLASSIC RED"N. THIN-BRICK VENEER: "MIDNIGHT SKY"
- O. COPING: DUROLAST "BRITE RED"

EXTERIOR ELEVATION LEGEND



---- LED ROPE LIGHT FACE MOUNTED BY JIB VENDOR. SEE EXTERIOR ELEVATIONS, DETAILS, & ELECTRICAL DWGS.

---- LED ROPE LIGHT IN COPING COVE BY JIB VENDOR. SEE EXTERIOR ELEVATIONS, DETAILS, & ELECTRICAL DWGS.

EXTERIOR FINISH SCHEDULE

- 1. EXTERIOR CEMENT PLASTER-AND FLOAT FINISH.
- 2. PRE-FAB CANOPY BY JIB VENDOR, SEE DETAIL <u>7/A9.5</u> (O.F.O.I).
- MOUNT LIGHTING FIXTURE WITHIN CANOPY, COORDINATE WITH VENDOR MOUNTING REQUIREMENTS.
 GC PROVIDED ALUMINUM STOREFRONT SYSTEM, WITH 3" MIN. RECESSED WINDOWS. SEE WINDOW

TYPES & SPECIFICATIONS.

1" CLEAR INSULATED GLASS.

1" CLEAR INSULATED GLASS

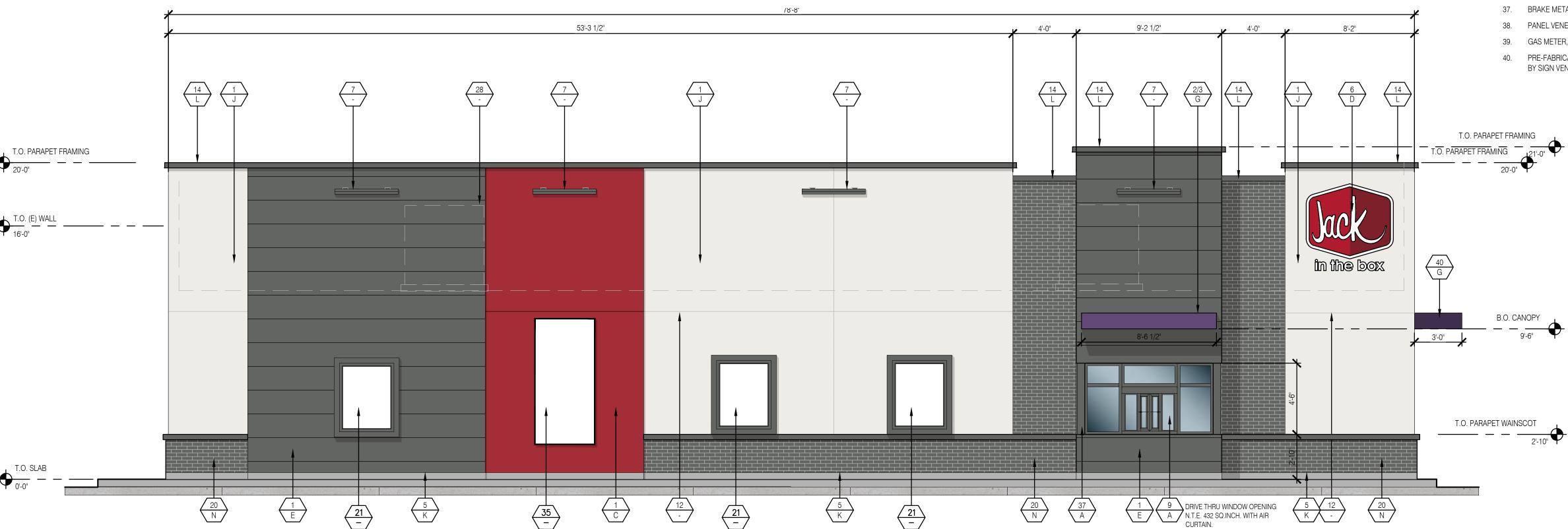
W/ SOLARBAN 70XL COATING.

1" CLEAR INSULATED ANTI GRAFFITI FILM

PER LOCAL AHJ REQUIREMENTS. W/ SOLARBAN 60 COATING.

EXPOSED CONCRETE CURB/ STEM WALL.

- 5. INTERNALLY ILLUMINATED SIGNAGE BY SIGN VENDOR (O.F.O.I, UNDER SEPARATE SUBMITTAL). GC TO COORDINATE ELECTRICAL W/ SIGN VENDOR PRIOR TO INSTALLATION.
- 7. WALL MOUNTED LIGHT FIXTURE, SEE DETAIL <u>6/A9.5</u> FOR FIXTURE ATTACHMENT.
- 8. NOT USED.
- 9. DRIVE-THRU SLIDING WINDOW.
- 10. INTERNALLY ILLUMINATED ADDRESS, MIN. 12"H, WHITE LETTERS OF-EQ8, OR AS REQUIRED PER LOCAL JURISDICTION (O.F.O.I, UNDER SEPRATE SUBMITTAL). GC TO COORDINATE ELECTRICAL W/VENDOR PRIOR TO INSTALLATION.
- 11. NOT USED.
- 12. CONTROL JOINT, SEE DETAIL 11/A9.3.
- 13. HOLLOW METAL DOORS & FRAMES, MISCELLANEOUS TRIM.
- 14. ALUMINUM COPING WITH FACTORY APPLIED FINISH, VERIFY W/ ROOF PLAN COPING AT LED ROPE LIGHTING LOCATION, SEE DETAILS <u>6</u>, <u>7</u>, <u>8</u>, <u>8</u>/49.6.
- 15. NOT USED.
- 16. NOT USED.
- 17. NOT USED.
- 18. NOT USED.19. NOT USED.
- 20. THIN-BRICK VENEER OVER STUCCO OVER (E) MASONRY WALL (WHERE OCCURS), SEE SPECIFICATIONS.
- 21. DISPLAY POSTER PANEL & SURROUND, SEE DETAIL <u>9/A9.3</u> .
- 22. EXTERIOR WALL PACK LIGHT FIXTURE.23. WALK-LIP FOOD SLIDING WINDOW BEL
- 23. WALK-UP FOOD SLIDING WINDOW, BELL PUSH BUTTON GC-EQ15 INTERCOM OF-EL2 / OF-EL3). SEE A8.1 & ELECTRICAL DWGS FOR ADDITIONAL INFORMATION.
- 24. NOT USED.
- 25. (E) DOWNSPOUT.
- 26. JIB CUSTOM STOREFRONT DOOR PULL, SEE HARDWARE SCHEDULE (OF-EQ13.)
- 27. NOT USED.
- 28. (E) ROOF TOP MECHANICAL EQUIPMENT BEYOND.
- 29. NOT US
- 30. GUTTER, DOWNSPOUT & OVERFLOW SCUPPER, SEE DETAIL <u>5/A9.4</u> & <u>12/A9.4</u>.
- 31. ILLUMINATED WINDOW SIGN OF-EQ12, SEE ID2.0 & ELEC. DWGS.
- 32. ILLUMINATED WINDOW SIGN OF-EQ14, SEE KITCHEN ELEVATIONS & ELEC. DWGS.
- 33. NOT USED.
- 34. NOT USED.
- 35. GRAPHIC PANEL BY JIB SIGN VENDOR (O.F.O.I, UNDER SEPARATE SUBMITTAL).
- 36. INTERNALLY ILLUMINATED SIGN WITH WHITE LETTERS WITH "PURPLE" BACKGROUND PROVIDED BY SIGN VENDOR (O.F.O.I, UNDER SEPARATE SUBMITTAL). GC TO COORDINATE ELECTRICAL W/ SIGN VENDOR PRIOR TO INSTALLATION.
- 37. BRAKE METAL WRAP & COLUMN, SEE SHEET A1.0 & DETAILS ON A9.2
- 8. PANEL VENEER SYSTEM W/ HALO LIGHTING, BY JIB VENDOR.
- 39. GAS METER, SEE A1.0, MECHANICAL, & CIVIL DWGS.
- 40. PRE-FABRICATED CORNER CANOPY W/ DECAL MESSAGE AT LONG-SIDE FASCIA,
 BY SIGN VENDOR. GC TO COORDINATE ELECTRICAL W/ SIGN VENDOR PRIOR TO INSTALLATION.



SCALE: 1/4"=1'-0"

SIGNS AND CANOPIES UNDER A SEPARATE PERMIT. BY SIGN VENDOR.

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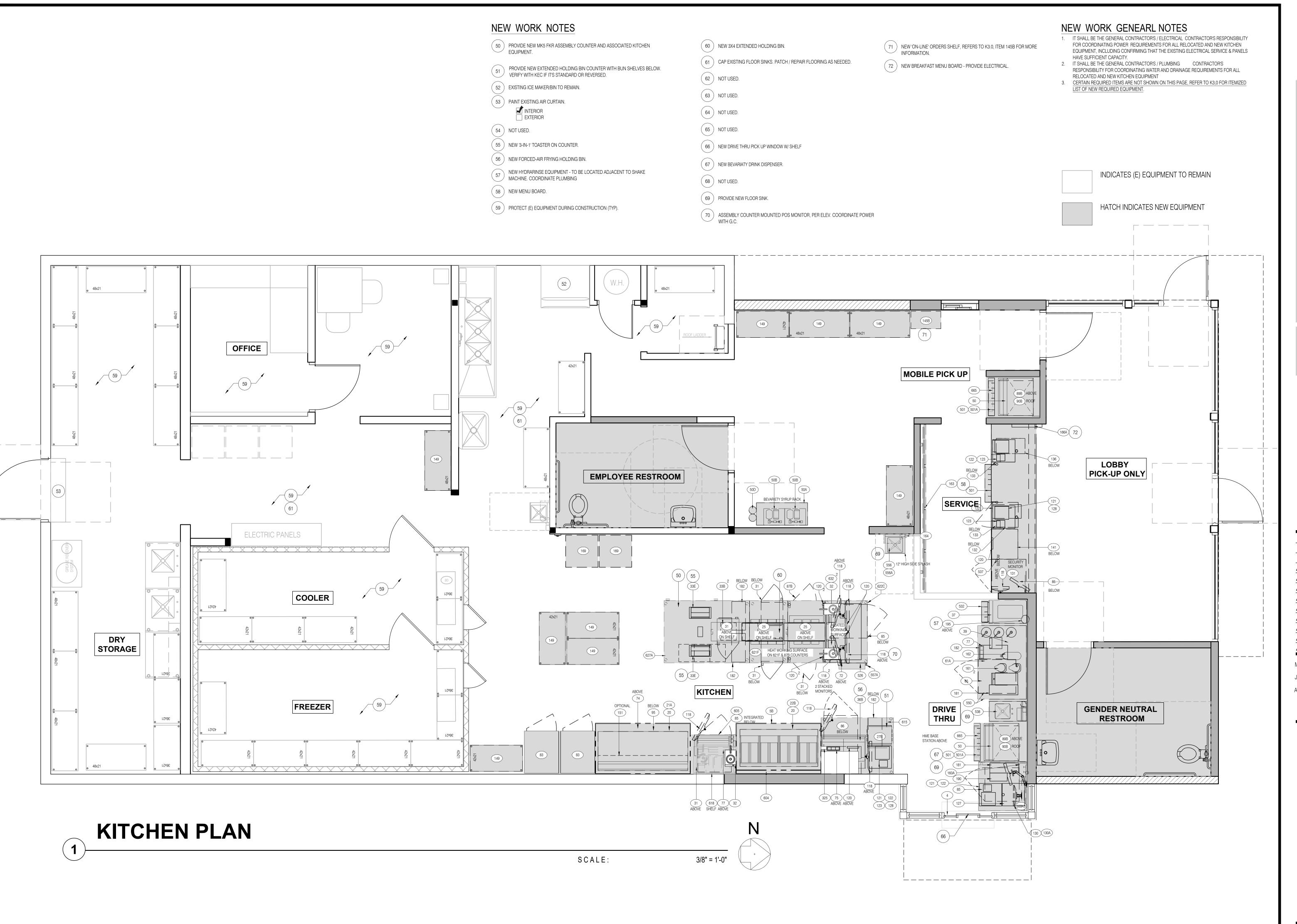
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EXTERIOR ELEVATIONS

A4.1





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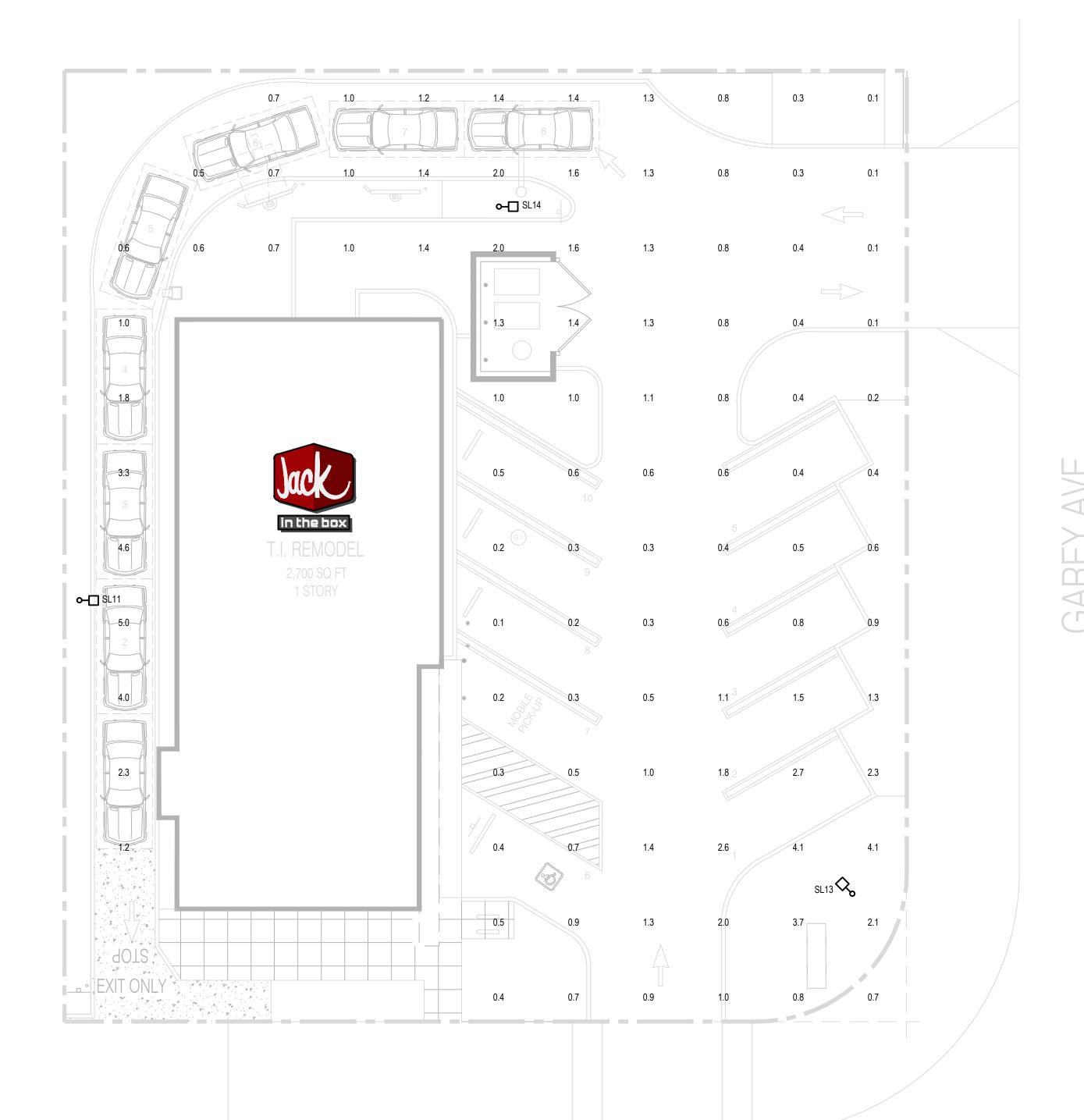


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PROPOSED



GENERAL
PHOTOMETRIC
SCHEDULE

AVERAGE FOOT-CANDLES 1.14

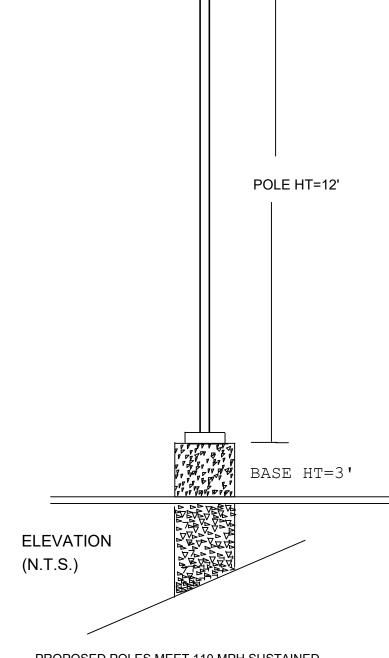
MAXIMUM FOOT-CANDLES 5.0

MINIMUM FOOT-CANDLES 0.1

MINIMUM TO MAXIMUM FC RATIO 0.02

MAXIMUM TO MINIMUM FC RATIO 50.18

AVERAGE TO MINIMUM FC RATIO 11.39



-PROPOSED POLES MEET 110 MPH SUSTAINED WINDS WITH FIXTURE TYPE AND CONFIGURATION SPECIFIED HERE.

-POLE BASE DESIGN BY OTHERS

-PROPOSED POLES ARE EXISTING TO BE REUSED

2 POLE MOUNTING HEIGHT
SCALE: NTS

LUMINAIRE SCHEDULE															
CALLOUT	SYMBOL	DESCRIPTION	LAMP		EGRESS LUMENS		CRI	MANUFACTURER	MODEL	MOUNTING	NOTES	INPUT WATTS	VOLTS	DIMMING	QTY.
SL11	ا ت	12' POLE MOUNT LED FIXTURE. CAST ALUMINUM HOUSING WITH INTEGRAL WEATHERTIGHT LED DRIVER COMPARTMENT, (2M) TYPE II.	(1) 56W LED	6000	0	4000K	70	SOLAIS LIGHTING	GL1 SERIES	POLE		56	120V 1P 2W	0-10V	1
SL13	ا ت	12' POLE MOUNT LED FIXTURE. CAST ALUMINUM HOUSING WITH INTEGRAL WEATHERTIGHT LED DRIVER COMPARTMENT, (4S) TYPE IV.	(1) 56W LED	6000	0	4000K	70	SOLAIS LIGHTING	GL1 SERIES	POLE		56	120V 1P 2W	0-10V	1
SL14	↔ □	12' POLE MOUNT LED FIXTURE. CAST ALUMINUM HOUSING WITH INTEGRAL WEATHERTIGHT LED DRIVER COMPARTMENT, (5Q) TYPE V.	(1) 56W LED	6000	0	4000K	70	SOLAIS LIGHTING	GL1 SERIES	POLE		56	120V 1P 2W	0-10V	1

QUANTITY COLUMN SHOWN IS FOR REFERENCE ONLY. CONTRACTOR TO CONFIRM COUNTS PRIOR TO ORDER.
 CONTRACTOR TO VERIFY DIMMING COMPATIBILTY OF ALL FIXTURE TYPES WITH OWNER SELECTED DIMMING CONTROLS.

2. CONTRACTOR TO VERIFY DIMMING COMPATIBILITY OF ALL FIXTURE TYPES WITH OWNER SELECTED DIMMING CONTROLS.

3. CONTRACTOR TO PROVIDE ALL REMOTE POWER SUPPLIES AND MOUNTING ACCESSORIES REQUIRED TO INSTALL A COMPLETE AND OPERATIONAL SYSTEM.

4. VERIFY ALL MOUNTING HEIGHTS AND FIXTURE LENGTHS WITH ARCHITECTURAL ELEVATIONS PRIOR TO ORDERING.
5. ALL LINEAR FIXTURES TO BE SEAMLESS WITH FULLY ILLUMINATED SECTIONS AND MATCH PATTTERN PER ARCHITECTURAL PLANS.

ALL LINEAR FIXTURES TO BE SEAMLESS WITH FULLY ILLUMINATED SECTIONS A
 BATTERY PACKS IN EMERGENCY LIGHT FIXTURES TO BE TITLE 20 COMPLIANT.



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SITE GENERAL PHOTOMETRICS

ES11