NEW ADU 2 BED 2 BATH PROJECT

1627 N PARK AVE POMONA CA 91768-1825

ABBREVIATIONS			
AC.T.	ACOUSTIC TILE		
A. C.	ASPHALT CONCRETE	HDWE	HARDWARE
A. D.	AREA DRAIN	HB	HOSE BIBB
ADJ	ADJUSTABLE	H. C.	HOLLOW CORE
AFF	ABOVE FINISH FLOOR	HGT	HEIGHT
ALT	ALTERNATE	HORIZ	HORIZONTAL
ALUM ANCH	ALUMINUM ANCHOR	H. M. HR	HOLLOW METAL HOUR
APPROX	APPROXIMATELY	HYD	HYDRANT
ARCH	ARCHITECT / ARCHITECTURE	1115	777 570 411
ASB	ASBESTOS	I. D.	INSIDE DIAMETER
		INSUL	INSULATION
BD BR. CS.	BOARD	INT	INTERIOR
BR. CS. BLDG	BRICK COURSE BUILDING	JAN	JANITOR
BLK	BLOCK	JT	JOINT
BLKG	BLOCKING		
B. M.	BENCH MARK	KIT	KITCHEN
BM	BEAM	LAD	LABORATORY
B. N. BNT	BULL NOSE BENT	LAB LAM	LABORATORY LAMINATE
BMT	BOTTOM	LAV	LAVATORY
DIVIT	BOTTOM	LT	LIGHT
C. B.	CATCH BASIN		
C. I.	CAST IRON	MAX	MAXIMUM
CEM	CEMENT	M. C.	MEDICINE CABINET
CER CER. T.	CERAMIC CERAMIC TILE	MECH MH	MECHANICAL MANHOLE
CER. 1. C. J.	CONTROL JOINT	MIN	MINIMUM
CLR.	CLEAR	MIR	MIRROR
CLG	CEILING	MISC	MISCELLANEOUS
CLO	CLOSET	M. O.	
CMU	CONCRETE MASONRY UNIT	MTD	MOUNTED
C. O. COL	CASE OPENING COLUMN	MTL	METAL
COL	COMPOSITION	N. I. C.	NOT IN CONTRACT
CONC.	CONCRETE	N. T. S.	
CONN.	CONNECTION		
CONSTR		O/A	OVERALL
CONT.		OBS O/C	OBSCURE ON CENTER
CONTR. CORR	CONTRACTOR CORRIDOR	0/C 0. D.	OUTSIDE DIAMETER
CNTR	COUNTER	OFF	OFFICE
CTR	CENTER	OH	OVERHEAD
		O/O	OUT TO OUT
DBL	DOUBLE	OPNG	OPENING
DEPT DET.	DEPARTMENT DETAIL	OPP	OPPOSITE
DE1. D. F.		PC	PIECE
DIA	DIAMETER	P. LAM	
DIM	DIMENSION	PL	
DISP	DISPENSER	PLAS	
DN	DOWN BOOD ODENING	PLBG PLYWD	
D. O. DS	DOOR OPENING DOWN SPOUT	POL	
DWG	DRAWING	PROJ	PROJECT
		PT	POINT
EA	EACH	PTD	PAINTED
EIFS		O T	OLIA DDV TIL E
EL ELECT	ELEVATION ELECTRICAL	Q. T.	QUARRY TILE
ELEV		R	RISER
EMER	EMERGENCY	RAD	RADIUS
ENCL	ENCLOSURE	R. D.	ROOD DRAIN
EQ	EQUAL	REF	REFRIGERATOR
EQPT	EQUIPMENT	REINF.	REINFORCEMENT / REINFORCED
EXST	EXISTING	REQD. RM	REQUIRED ROOM
EXP E. J.	EXPANSION EXPANSION JOINT	R. O.	ROUGH OPENING
EXT	EXTERIOR		
		S	SINK
F. A.	FIRE ALARM	SHT.	SHEET
F. D. F. E.	FLOOD DRAIN FIRE EXTINGUISHER	S. M. SQ.	SHEET METAL SQUARE
F. E. FIN	FIRE EXTINGUISHER FINISH	SQ. S. S.	SLOP / SERVICE SINK
FLASH	FLASHING	S. STL	STAINLESS STEEL
FLR	FLOOR	STD	STANDARD
FLUOR	FLUORESCENT	STRUCT.	
FDN	FOUNDATION	SUSP	SUSPENDED
F. O. F.	FACE OF FINISH	T/	TOP OF
FPHB F. S.	FROST PROOF HOSE BIBB FULL SIZE OR FLOOR SINK	1/ T. D.	
r. S. FTG	FOOTING	TERR	TERRAZZO
FURR	FURRING	TYP	TYPICAL
FVC	FIRE VALVE CABINET		
0.4	OALIOE	UNF	UNFINISHED
GA GALV	GAUGE GALVANIZED	U. N. O.	UNLESS NOTED OTHERWISE
GALV GEN	GENERAL	VCT	VINYL COMPOSITION TILE
GR	GRADE		
0050		\// C	WATER OLOGET

GLASS FIBER REINFORCED CONCRETE

GLASS FIBER REINFORCED GPYSUM

GRAVEL STOP

GYP. BD. GYPSUM BOARD

GRFG

THE OWNER OF THE PROPERTY HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE COPIED REPRODUCED OR CHANGED IN ANY FORM OR MATTER WHAT SO EVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN CONSENT AND PERMISSION OF OWNER.

GENERAL NOTES

- 1. SUBCONTRACTOR SHALL PROMPTLY NOTIFY CONTRACTOR, AND CONTRACTOR SHALL NOTIFY THE OWNER, OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES IN THE PLANS OR ON THE SPECIFICATION, SO THE OWNER CAN RECTIFY CORRECTIONS OR OMISSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE PRIOR TO COMMENCING WORK, ALL WORK SHALL BE DONE IN COMPLIANCE WITH LOCAL CODES. DO NOT SCALE DRAWINGS.
- 2. ALL SUBCONTRACTOR WORKMANSHIP WILL BE OF QUALITY TO PASS INSPECTIONS BY APPLICABLE LOCAL AUTHORITIES, LENDING INSTITUTIONS, OWNER, AND THE BUILDER. AND ONE, OR ALL MENTIONED PARTIES MAY INSPECT WORKMANSHIP AT ANY TIME, AND ANY CORRECTIONS NEEDED TO ENHANCE THE QUALITY OF BUILDING WILL BE DONE IMMEDIATELY.
- 3. EACH SUBCONTRACTOR SHALL START HIS WORK PROMPTLY, PURSUE IT DILIGENTLY AND COMPLETE IT IN ACCORDANCE WITH CONTRACTORS BUILDING SCHEDULE. IT IS MUTUALLY UNDERSTOOD THAT SCHEDULE COULD CHANGE WITHOUT NOTICE AS CIRCUMSTANCE WARRANT.
- 4. ALL MATERIALS, MACHINERY AND EQUIPMENT SHALL BE STORED IN A MANNER APPROVED BY BY THE CONTRACTOR, IN A PLACE DESIGNED BY THE CONTRACTOR. FIRE HAZARD SHALL BE PROMPTLY VACATED UPON REQUEST BY CONTRACTOR AND LEFT IN A BROOM CLEAN CONDITIONS.
- 5. ALL MATERIALS SUPPLIED BY SUBCONTRACTORS SHALL BE OF A GRADE AND QUALITY ACCEPTABLE TO THE CONTRACTORS; IN EVERY CASE THEY SHALL BE, IN THE OPINION OF THE CONTRACTOR, SUITABLE FOR THE PROPOSED.
- 6. EACH, SUBCONTRACTOR, UNLESS SPECIFICALLY EXEMPTED BY THE TERMS OF HIS SUBCONTRACTOR AGREEMENT, SHALL BE RESPONSIBLE FOR CLEANING UP AND REMOVING FROM THE JOB SITE ALL TRASH AND DEBRIS NOT LEFT BY THE OWNER CONTRACTOR. BUILDER WILL DETERMINE HOW SOON AFTER SUBCONTRACTOR COMPLETES EACH PHASE OF HIS WORK THAT TRASH AND DEBRIS WILL BE REMOVED FROM THE SITE.
- 7. WHILE IT IS THE RESPONSIBILITY OF EACH SUBCONTRACTOR TO COOPERATE FULL WITH THE JOB SUPERINTENDENT IN PROTECTING ALL WORK THROUGH THE ENTIRE COURSE OF CONSTRUCTION, SPECIAL ATTENTION MUST BE GIVEN TO PROTECTION OF ALL FINISH WORK PERFORMED AFTER COMPLETION OR PLASTERING, STUCCOING, OR DRYWALL. ALL SUBCONTRACTORS SHALL FULLY COOPERATE WITH JOB SUPERINTENDENT IN PROTECTING THE GOOD CONDITION OF ALL FINISH FLOORS, WALLS, CABINET WORK AND COUNTERTOPS THROUGHOUT THE PROJECT. NO TOOLS OR MATERIAL, COFFEE CUPS OR LIGHTED CIGARETTES SHALL NEVER BE PLACED ON ANY MARBLE OR FORMICA COUNTER-TOP, EXCEPT THAT TOOL AND MATERIALS IMMEDIATELY BEING WORKED WITH MAY BE SO PLACED THAT THEY ARE NOT PLACED UPON AN UNPROTECTED FINISH SURFACE. SUBCONTRACTOR SHALL BE BACK CHARGED FOR ANY DAMAGE WHICH MAY BE ASCRIBED TO THEM; FOR THIS REASON, EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PROMPTLY NOTIFYING THE JOB SUPERINTENDENT FOR ANY DAMAGE EXISTING PRIOR TO THE START OF THE WORK.
- 8. DRAWINGS AND SPECIFICATION, ERRORS, AND OMISSIONS:
- A. THE CONTRACTOR SHALL NOTIFY OWNER IN WRITING, OF ANY ERRORS, DISCREPANCIES OR OMISSION IN THE CONTRACT DRAWINGS PRIOR COMMENCEMENT OF WORK.
- B. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES OR OMISSION WHICH THE CONTRACTOR FAILED TO NOTIFY THE PROPERTY'S OWNER OF BEFORE CONSTRUCTION AND FABRICATION OF WORK.
- 9. SPECIFICATIONS AND DRAWING EXPLANATIONS

FOR CONVENIENCE OR REFERENCE AND TO FACILITATE THE LETTING OR CONTRACTORS AND SUBCONTRACTORS, THESE SPECIFICATIONS ARE SEPARATE IN TITLE SECTIONS. SUCH SEPARATION SHALL NOT, HOWEVER, OPERATE TO MAKE THE OWNER AN ARBITER TO ESTABLISH LIMITS TO CONTACTS BETWEEN THE CONTRACTOR AND SUBCONTRACTORS.

10.EXISTING DIMENSION AS SHOWN ON PLANS ARE PROVIDED BY OWNER, G.C. SHALL VERIFY EXISTING CONDITION BEFORE CONSTRUCTION, NOTIFY OWNER/ DESIGNER IF AND CONFLICT AS REQUIRED.

- 11. "OR EQUAL": THE CONTRACTOR SHALL SUBMIT FOR THE PROPERTY'S OWNER AND BUILDERS APPROVAL OF ALL MATERIALS OR EQUIPMENT WHICH IS CONSIDERED "OR EQUAL" TO THAT SPECIFIED ON THE DRAWINGS.
- 12. THE STRUCTURAL DESIGN AND DETAILS FULLY CONFORM TO ALL APPROPRIATE REQUIREMENTS OF THIS CODE, THE CALIFORNIA RESIDENTIAL CODE, SHOULD A PORTION OR ALL OF THE STRUCTURAL DESIGN CONFORM TO THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE, AS ALLOWED IN THE CRC, THE STATEMENT SHALL CLEARLY IDENTIFY WHICH PORTION OF THE STRUCTURAL DESIGN CONFORM TO THE CBC OR THAT THE FULL STRUCTURAL DESIGN IS IN CONFORMANCE WITH THE STRUCTURAL REQUIREMENTS OF THE CALIFORNIA BUILDING CODE. (R301.1.3 CRC)

PROJECT DATA

OWNER NAME: CLOVER LEAF INVESTMENT LLC ADDRESS: 2423 BROOKHAVEN DR, CHINO HILLS CA 91709-1739

PHONE NUMBER: (626) 677-7101 1625 N. PARK AVE POMONA PRIMARY ADDRESS 1627 N. PARK AVE POMONA ADU ADDIRESS:

APN: 8359-016-044 **CONSTRUCTION TYPE:** TOTAL LOT AREA: 7,000 SQ.FT. YEAR BUILT

OCCUPANCY CATEGORY: R-3/U

ZONE NED1-H STRING [LM2-G1-CX1] LEGAL DESCRIPTION: PALOMARES TRACT SW 50 FT OF NE 170

OF NE 170 FT OF NW 58.2 FT OF LOT 9

PRIMARY DWELLING: 13'-3" HACIENDA PARK HISTORIC DISTRICT HISTORIC DISTRICT: ARCHITECTURAL STYLE: CALIFORNIA BUNGALOW, SIMPLE VERNACULAR

FT OF SE 81.8 FT OF LOT 8 AND SW 50 FT

SCOPE OF WORK

NEW DETACHED ADU 800 SQ.FT. NEW PORCH 15 SQ.FT.

AREA TABULATION

EXISTING BUILDING	STORIES: 1		
SINGLE FAMILY DWELLING	602 SQ.FT.		
PORCH	71SQ.FT.		
SHED	214 SQ.FT.		
GARAGE	445 SQ.FT.		
TOTAL (E) FLOOR AREA TO REMAIN	1332 SQ.FT.		

PROPOSED BUILDING

STORIES: 1 800 SQ.FT (N) PORCH 15 SQ.FT.

FLOOR AREA RATIO / HABITABLE SPACE

(E) SINGLE FAMILY DWELLING 602 SQ.FT. (P) ACCESSORYDWELLING UNIT 800 SQ.FT.

TOTAL HABITABLE SPACE 1402 SQ.FT. 20.0%

FLOOR AREA RATIO/ TOTAL BUILDING AREA TOTAL BUILDING FOOT PRINT

2147 SQ.FT. 7000 SQ.FT. **BUILDING COVERAGE**

IMPERVIOUS COVERAGE CALCULATION: (71+490+602+214+114+445+961+800+15)=3712/7000=53% LANDSCAPING CALCULATIONS FOR ENTIRE SITE (MINIMUM 20%): (1538+71+103+81+1495)=3288/7000=47%

SPRINKLERS FOR SFD: NO EXISTING SPRINKLERS SPRINKLERS FOR ADU: NOT REQUIRED U.N.O VERY HIGH FIRE HAZARD SEVERITY ZONE:NO SOLAR PV SYSTEM: UNDER SEPARATE PERMIT

APPLICABLE CODES

THE PROJECT SHALL COMPLY WITH ANY AND ALL REQUIREMENTS

OF THE LEGALLY CONSTITUTED AUTHORITIES

HAVING JURISDICTION INCLUDING THE FOLLOWING.

2022 CALIFORNIA BUILDING CODE (CBC)

2022 CALIFORNIA RESIDENTIAL CODE (CRC)

2022 CALIFORNIA MECHANICAL CODE (CMC)

INSPECTION MUST BE OBTAINED WITHIN 180 DAYS.

2022 CALIFORNIA ELECTRICAL CODE (CEC)

2022 CALIFORNIA PLUMBING CODE (CPC)

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBS)

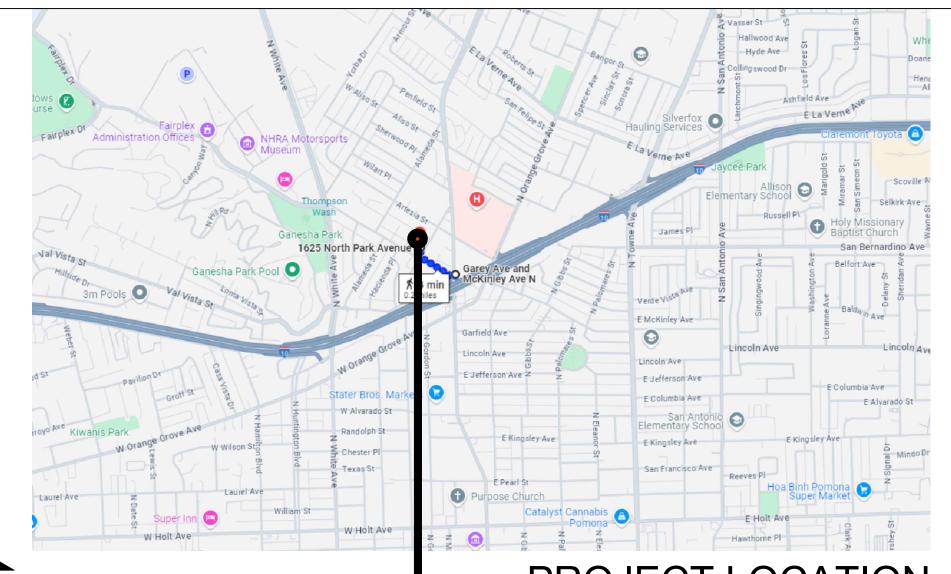
2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS (CEES)

2022 CALIFORNIA FIRE CODE(CFC)

POMONA CITY CODE

1.APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITHIN 180 DAYS FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE. 2.EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED COMMENCES WITHIN 180 DAYS AFTER ITS ISSUANCE OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS. A SUCCESSFUL

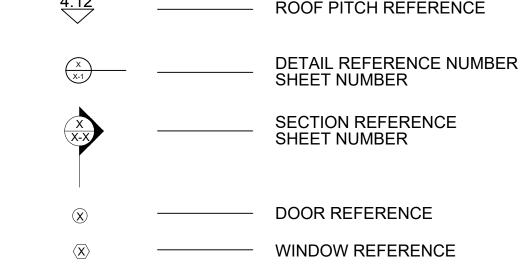
VICINTY MAP



PROJECT LOCATION NEAREST BUS STOP: 0.2 MILES

REFERENCE SYMBOLS CONSULTANTS

ENERGY ENGINEER: TITLE 24 GUYS GILBERTO CARRILLO 10964 MEMORY PARK AVE MISSION HILLS, CA, 91345 TEL: 818-850-3385 EMAIL: GILBERTO@TITLE24GUYS.COM



SHEET INDEX

A-1.2 EXISTING PRIMARY DWELLING PHOTOS

A-3.1 COLOR AND MATERIAL SAMPLE BOARD

C-1 COVER SHEET

SITE PLAN

FLOOR / ROOF PLANS

ADU RENDERING

STRUCTURAL NOTES

ROOF FRAMING PLAN

STRUCTURAL DETAIL

STRUCTURAL DETAIL

STRUCTURAL DETAIL

STRUCTURAL DETAIL

TITLE 24 REPORT

TITLE 24 REPORT

MECHANICAL/ PLUMBING PLANS

LIGHTING PLAN/POWER PLAN

CA GREEN BUILDING STANDARDS CODE

CA GREEN BUILDING STANDARDS CODE

FOUNDATION PLAN

SECTIONS

DETAILS

DETAILS

DETAILS

ELEVATIONS/ SCHEDULES

Ω_ AP

AR

DESIGNER: MICHAEL ZHANG TEL: (626)505-6888

COVER SHEET

Date: 06-06-2025	Drawing no.
Scale: NOTED	
CSR:	
Drawn by: HD	C-1
Checked by: JJ	

File name: 1625 N PARK AVE, POMONA ALIGCUS

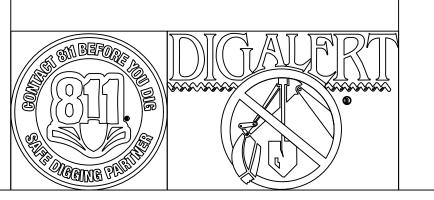
NO FIRE SPRINKLERS REQUIRED

WATER CLOSET

WELDED WIRE FABRIC

WOOD

WEIGHT



ALI CONSTRUCTION ARCHITECTURAL DESIGN SERVICES 1841 S. SAN GABRIEL BLVD, SUITE D SAN GABRIEL, CA, 91776 TEL: (626)505-6888



1627 N PARK AVE, POMONA CA 91768

ocation

THE DESIGNS AND DRAWINGS REMAIN THE
PROPERTY OF ALI CONSTRUCTION AND MAY NOT
BE ALTERED, ISSUED,OR REPRODUCED WITHOUT
THE SPECIFIC WRITTEN CONSENT OF ALI
CONSTRUCTION
THE CONTRACTOR MUST CHECK AND VERIFY ALL
DETAILS AND DIMENSIONS OF THE JOB AND BE
DISCREPANCIES TO ALI CONSTRUCTION BEFORE
COMMENCING WORK.

2 PC CORRECTION/2 02/20/2025
1 PC CORRECTION/1 12/19/2024
No. Revisions Date C
DESIGNER:
MICHAEL ZHANG
TEL: (626)505-6888

Drawing title

Date: 06-06-2025

NOTE

Scale: NOTED

CSR:-
Drawn by: HD

Checked by: JJ

File name: 1625 N PARK AVE, POMONA

ALIGCUS



Location

THE DESIGNS AND DRAWINGS REMAIN THE
PROPERTY OF ALI CONSTRUCTION AND MAY NOT
BE ALTERED, ISSUED,OR REPRODUCED WITHOUT
THE SPECIFIC WRITTEN CONSENT OF ALI
CONSTRUCTION
THE CONTRACTOR MUST CHECK AND VERIFY ALL
DETAILS AND DIMENSIONS OF THE JOB AND BE
DISCREPANCIES TO ALI CONSTRUCTION BEFORE
COMMENCING WORK.

C CORRECTION/3\ 04/24/2025
C CORRECTION/2\ 02/20/2025
C CORRECTION/1\ 12/19/2024
evisions
Date
C

1 PC CORRECTION 12/19/2024

No. Revisions Date CORRECTION 12/19/2024

DESIGNER:
MICHAEL ZHANG
TEL: (626)505-6888

Drawing title

EXISTING PRIMARY DWELLING PHOTOS

Date: 06-06-2025	Drawing no.
Scale: NOTED	
CSR:	
Drawn by: HD	A-1.:
Checked by: JJ	

File name: 1625 N PARK AVE, POMONA

ALIGCUS

sized to contain and infiltrate at least 200 gallons of stormwater runoff in a

Landscaping and landscape irrigation: Plant trees near impervious surfaces to

two 15-gallon trees must be planted a maximum of 10 feet from impervious surfaces. Install irrigation systems that utilize a weather-based smart irrigation controller to minimize water usage and reduce dry weather urban runoff. Green roof: Install a green roof to retain and treat stormwater runoff on the

rooftop. A green roof must cover at least 50 percent of the total rooftop

The project applicant is required to submit a geotechnical report, prepared by a geotechnical engineer, when proposing use of porous pavement or dry wells.

intercept precipitation in their leaves. Trees planted adjacent to impervious surfaces can intercept water that would otherwise become stormwater runoff. A minimum of

96-hour period.

GRADE MOVEMENT (IN CUBIC YARDS) ≈8.6 CUBIC YARDS

GRADE TO BE RE-USED ON-SITE

OVER EXCAVATION: 0 CUBIC YARDS

PERIMETER X FOOTING WIDTH X FOOTING HEIGHT = CUBIC INCHES 1,394" X 12" X 24" = 401,472 CUBIC INCHES CUBIC INCHES CONVERT TO CUBIC YARDS 401,472 CUBIC INCHES = 8.6 CUBIC YARDS

0 CUBIC YARDS

EARTHWORK CUT CALCULATON

EX. GRADE CUT TO BE 8.6 CUBIC YARDS FOOTING @ 288 SQ.IN. @ 1,394 LINEAL INCHES

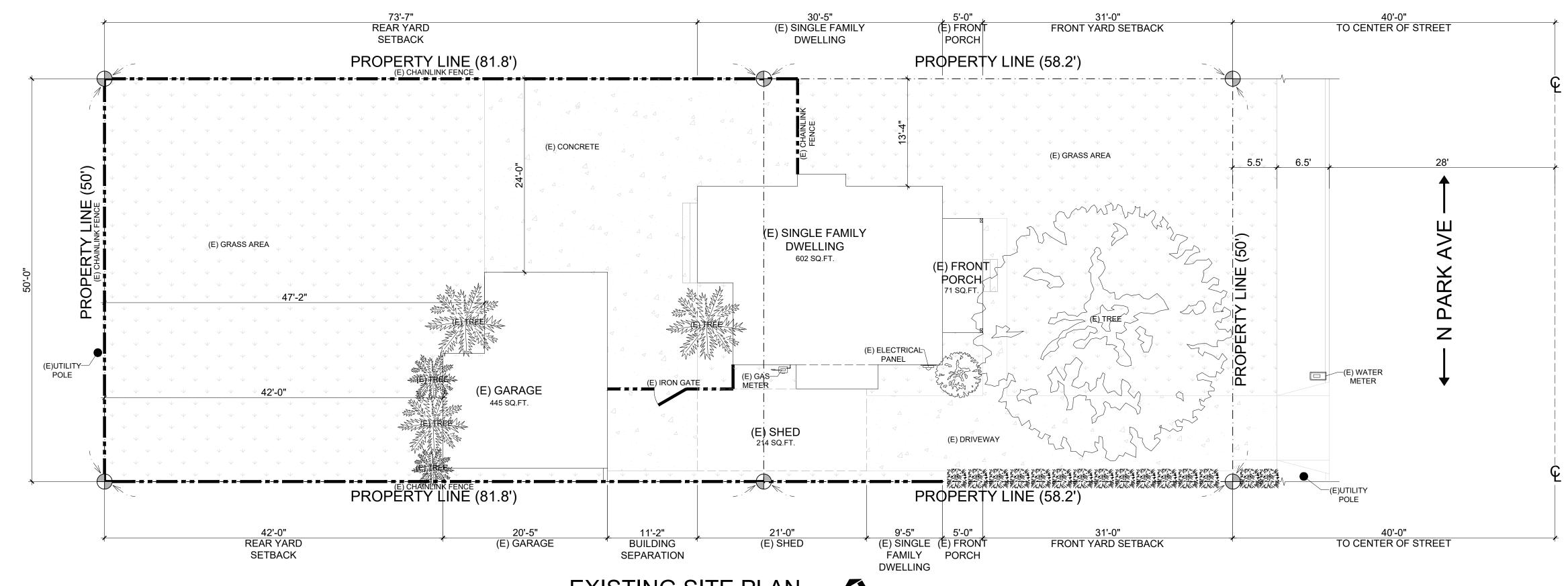
NOTE AND COMPLY: UNDER GROUNDING OF ALL EXISTING AND PROPOSED UTILITY LINES IS REQUIRED AS PER CITY OF POMONA MUNICIPAL CODE SECTION 62-31(B)(1).

THE PARKWAY LANDSCAPING SHALL BE MAINTAINED BY THE PROPERTY OWNER PER CITY OF POMONA MUNICIPAL CODE SECTION 46-496.

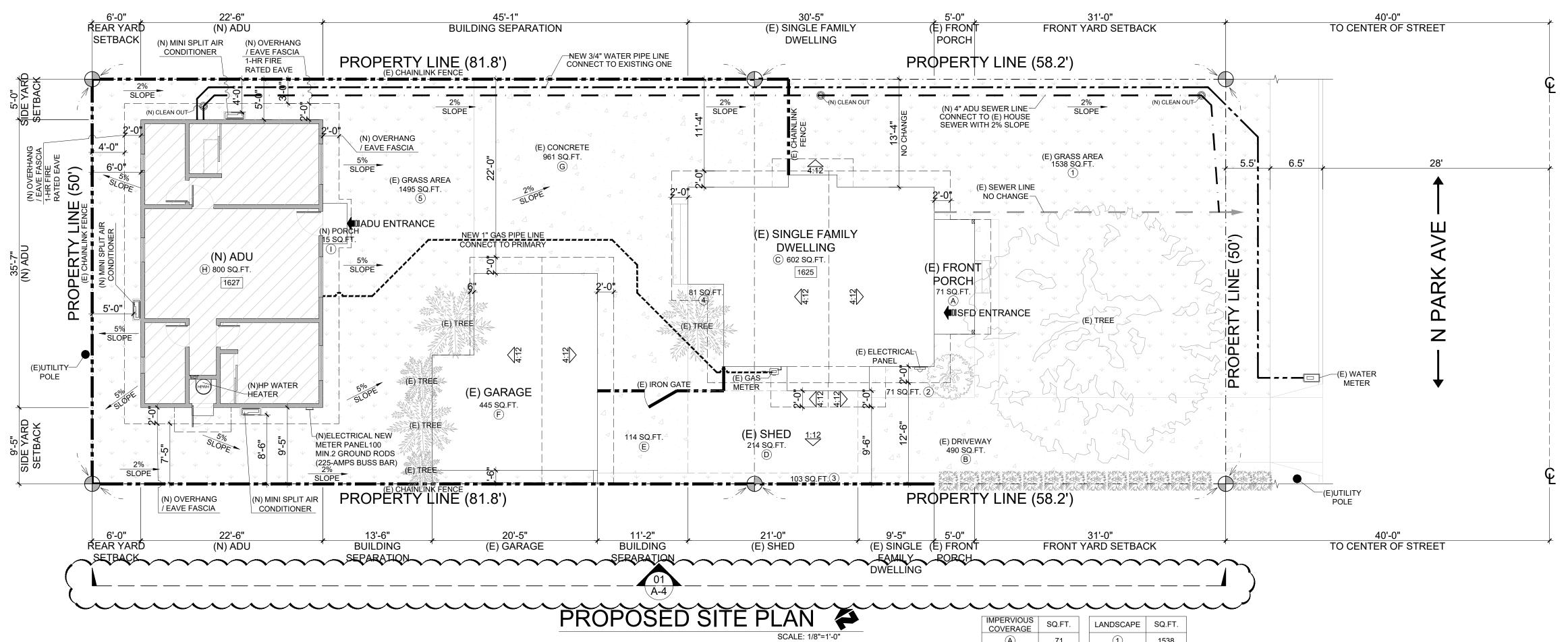
THE PROPERTY ABUTTING SIDEWALK, PARKWAY AND ALLEY, AS APPLICABLE, SHALL BE MAINTAINED FREE OF WEEDS, RUBBISH AND REFUSE BY THE PROPERTY OWNER, AS REQUIRED BY THE CITY'S MUNICIPAL CODE SECTION 18-261.

NO SHEET FLOW OVER THE DRIVEWAY APPROACH IS ALLOWED. THE RAIN WATER SHALL BE CAPTURED VIA CATCH BASINS/TRENCH DRAINS AND DIRECTED TO THE STREET GUTTER VIA PARWAY DRAINS/CULVERTS CONSTRUCTED UNDER THE SIDEWALK, PER CITY STANDARDS A-29-10/A-30-10

IT IS THE OWNER'S AND THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ALL DAMAGE TO THE EXISTING PUBLIC IMPROVEMENTS DUE TO THE PROPOSED CONSTRUCTION ACTIVITIES AND TO ADDRESS ALL REPAIRS REQUESTED BY THE PUBLIC WORKS INSPECTOR BASED ON THE INSPECTOR'S REVIEW OF THE CURRENT CONDITION OF THE SAID PUBLIC IMPROVEMENTS



EXISTING SITE PLAN



HATCHED PATTERNS LEGEND

LANDSCAPING	
HARD-SCAPE.	

PIPELINE LEGEND	DASHED LINE LEGEND	SYMBOL LENGEN
(N)GAS	EAVES LINE	
(N)WATER		4:12 ROOF PITCH
(N)SEWER	CHAINLINK FENCE	

(A)	''		1556	
B	490	2	71	IMPERVIOUS COVERAGE CALCULATION:
<u>©</u>	602	3	103	(71+490+602+214+114+445+961+800+15)=3712/7000=53%
D	214	4	81	LANDSCAPING CALCULATIONS FOR ENTIRE SITE (MINIMUM 20%):
E	114	5	1495	(1538+71+103+81+1495)=3288/7000=47%
F	445	TOTAL	3288	
(G)	961			

15

3712

TOTAL



S REMAIN THE TION AND MAY I RODUCED WITH

PC CORRECTION_2 02/20/202 **DESIGNER:** MICHAEL ZHANG TEL: (626)505-6888

3 PC CORRECTION 3 04/24/2025

Drawing title

SITE PLAN

Date: 06-06-2025 Scale: NOTED CSR:--A-1Drawn by: HD Checked by: JJ File name: 1625 N PARK AVE, POMONA

WHERE CONSTRUCTION IS NOT PROPOSED.

FRONTING THE PROPERTY CRC.R319.1.

GENERAL NOTES

FINISHES.

APPROVED.

PERMIT(S) FOR:

A. ELECTRICAL WORK

B. MECHANICAL WORK

C. PLUMBING WORK

SMOKE ALARMS SHALL BE HARDWIRED WITH BATTERY BACKUP

ALARM SHALL ACTIVATE ALL OTHER ALARMS IN THE DWELLING

UNIT. RETROFIT ALARMS MAY BE BATTERY OPERATED IN ROOMS

AND INTERCONNECTED SO THAT THE ACTIVATION OF ONE

CARBON MONOXIDE ALARMS SHALL BE HARDWIRED WITH

BATTERY BACKUP AND INTERCONNECTED SO THAT THE

ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OTHER

DO NOT RESULT IN THE REMOVAL OF WALLS OR CEILING

ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED

BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS

PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD

BUILDING IDENTIFICATION: BUILDINGS SHALL HAVE APPROVED

WALL COVERINGS IN SHOWERS AND TUBS WITH SHOWERHEADS

SHOWERS. WINDOWS IN ENCLOSURE WALLS SHALL BE LABELED

SHALL BE CEMENT PLASTER, TILE, OR EQUAL TO 6-FEET (72")

ABOVE DRAIN. ENCLOSURES MUST BE APPROVED SAFETY

SAFETY GLAZING WHEN LESS THAN 60" ABOVE THE DRAIN.

LOW IMPACT DEVELOPMENT (LID): COMPLIANCE WITH LOW

MANAGEMENT PRACTICES (LID-BMP) AS SPECIFIED ON THE

PLANS AND SCHEDULE FINAL INSPECTION WITH THE CITY

ENGINEERING DIVISION AT (626)813-5255. FINAL INSPECTION

APPROVAL AND CERTIFICATE OF OCCUPANCY WILL NOT BE

ISSUED UNTIL THE APPROVED LID-BMP'S ARE INSTALLED AND

SUBMIT SEPARATE APPLICATION(S) AND SECURE SEPARATE

ADDITIONAL PERMITS: CONTRACTORS/SUBCONTRACTORS SHALL

STORMWATER RUN-OFFS IS REQUIRED. INSTALL THE LID BEST

IMPACT DEVELOPMENT (LID) STANDARDS TO MITIGATE

GLAZING AND DOORS (22" MIN. WIDTH) MUST SWING OUT OF

WALL LEGEND

(N)HP WATER HEATER

(N)ELECTRICAL NEW METER PANEL100 AMP MIN.2 GROUND RODS (225-AMPS BUSS BAR)

LEGEND

(N) MINI SPLIT AIR CONDITIONER

(N) AIR-CONDITIONING (INDOOR)

"ENERGY STAR" EXHAUST FAN - 50 CFM MIN. VENTED TO OUTSIDE AIR.WITH HUMIDITY CONTROL REQUIRED WITH SEPARATE SWITCH

THE BEDROOM SHALL HAVE AN EMERGENCY EGRESS MEETS THE FOLLOWING REQUIREMENTS: 1.EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET 2.MIN HORIZ OPENING 20" ALARMS IN THE DWELLING UNIT. RETROFIT ALARMS MAY BE 3.MIN VERTICAL OPENING 24" BATTERY OPERATED IN ROOMS WHERE ALTERATIONS/REPAIRS 4.SILL IS NO MORE THAN 44" FROM FINISHED FLOOR.

NOTE:AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH REINFORCEMENT INSTALLED IN ACCORDANCE WITH THIS SECTION.

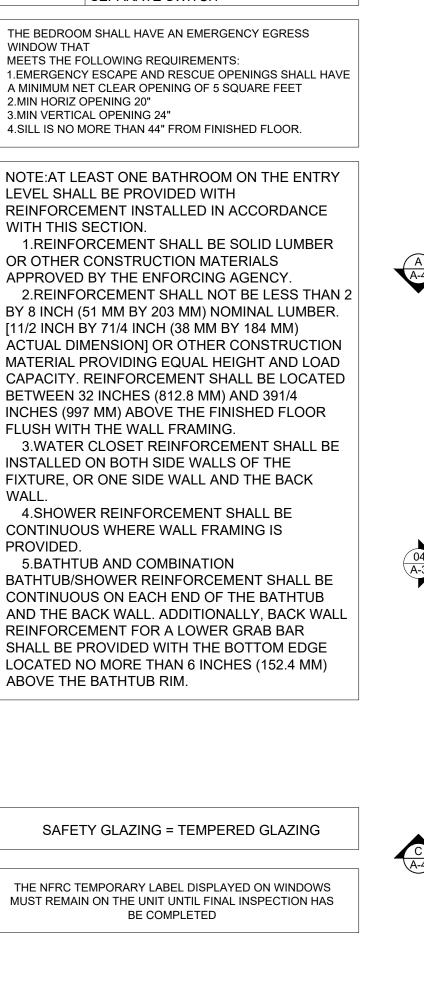
1.REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.

[11/2 INCH BY 71/4 INCH (38 MM BY 184 MM) ACTUAL DIMENSION] OR OTHER CONSTRUCTION MATERIAL PROVIDING EQUAL HEIGHT AND LOAD CAPACITY. REINFORCEMENT SHALL BE LOCATED BETWEEN 32 INCHES (812.8 MM) AND 391/4 INCHES (997 MM) ABOVE THE FINISHED FLOOR FLUSH WITH THE WALL FRAMING.

3.WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE, OR ONE SIDE WALL AND THE BACK WALL.

4.SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.

5.BATHTUB AND COMBINATION BATHTUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHTUB AND THE BACK WALL. ADDITIONALLY, BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 6 INCHES (152.4 MM) ABOVE THE BATHTUB RIM.



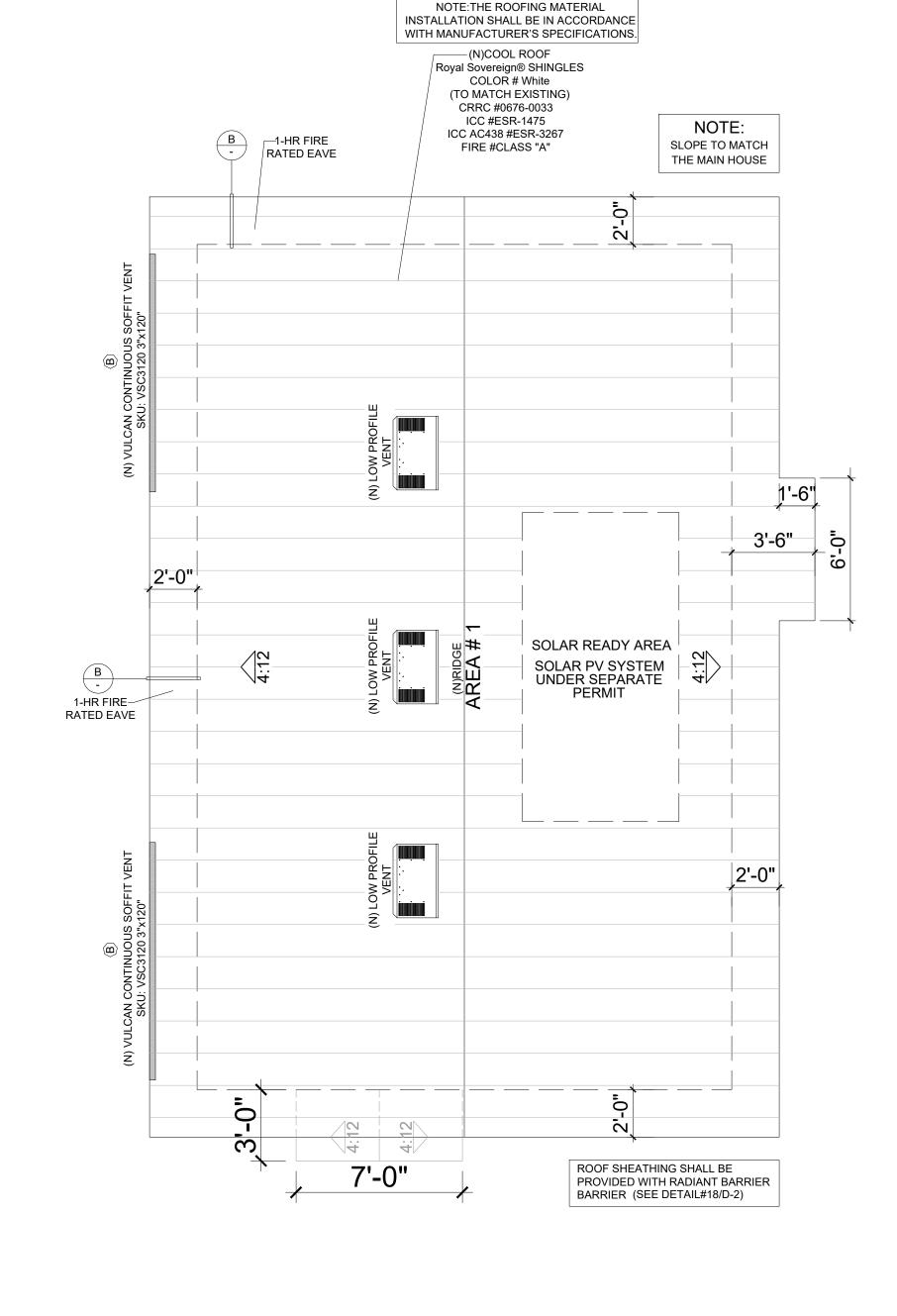
22'-6" 3'-0" (N) BEDROOM (N)DOOR (N) PORCH ■ ENTRANCE S 21'-6" \((N)EXTERIOR LIGHT 13'-7 (N) KITCHEN (N) LIVING -COOKING RANGE IS GAS. KITCHEN HOOD 280 CFM MINIMUM EXHAUST RATE CO SD (N) BEDROOM ROOM VENTING THRU ROOF— 2'-8" 13'-6" 12'-2"

22'-6"

FLOOR PLAN ADU

HEIGHT NOT EXCEEDING 48 INCHES (1219.2 MM) ABOVE EXTERIOR FLOOR OR

LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON OR CONTROL



ROOF PLAN ADU

SCALE: 1/4"=1'-0"

(N) LOW PROFILE (N) VULCAN CONTINUOUS SOFFIT VENT SKU: VSC2120 2"x120" (N) TURBINE VENT (N) VULCAN CONTINUOUS SOFFIT VENT SKU: VSC3120 3"x120" (N) GABLE VENT (N) VULCAN CONTINUOUS SOFFIT VENT SKU: VSC4120 4"x120" (N) DORMER VENT (N) EAVE VENT

ATTIC VENTILATION CALCULATION SQ.FT. $x \frac{1}{300} x 144 = SQ.IN.$

300				
AREA	AREA #1	AREA #2	AREA #3	AREA #4
FLOOR AREA (UNIT:SQ.FT.)	800			
CALCULATED REQUIRED NET FREE VENTING AREA: (UNIT:SQ.IN.)	384			
NET FREE VENTING A	REA CALCU	JLATION		

NET FREE VENTING AREA CALCULATION INTAKE NFVA (50% OF REQ. VENTILATION)

EAVE VENTS (48.9 SQ.IN. / VENT)		
CONTINUOUS SOFFIT VENT (96 SQ.IN. / VENT)		
CONTINUOUS SOFFIT VENT (144 SQ.IN. / VENT)	2	

TOTAL NFVA PROVIDED	288	
EXHAUST NFVA (50% OF REQ. V	ENTILATION)	
TURBINE VENTS 14" (132 SQ.IN. / VENT)		

CONTINUOUS SOFFIT VENT

TOTAL NFVA PROVIDED

TOTAL ATTIC VENTS

(192 SQ.IN. / VENT)

TURBINE VENTS 14" (132 SQ.IN. / VENT)			
DORMER VENTS (100 SQ.IN. / VENT)			
TURBINE VENTS 12" (96 SQ.IN. / VENT)			
O'HAGIN LOW PROFILE VENT (72 SQ.IN. / VENT)	3		
STATIC ROOF VENTS (60 SQ.IN. / VENT)			
ROOF RIDGE VENT (18 SQ.IN. / FT.)			

216

SAFETY GLAZING = TEMPERED GLAZING

THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BE COMPLETED

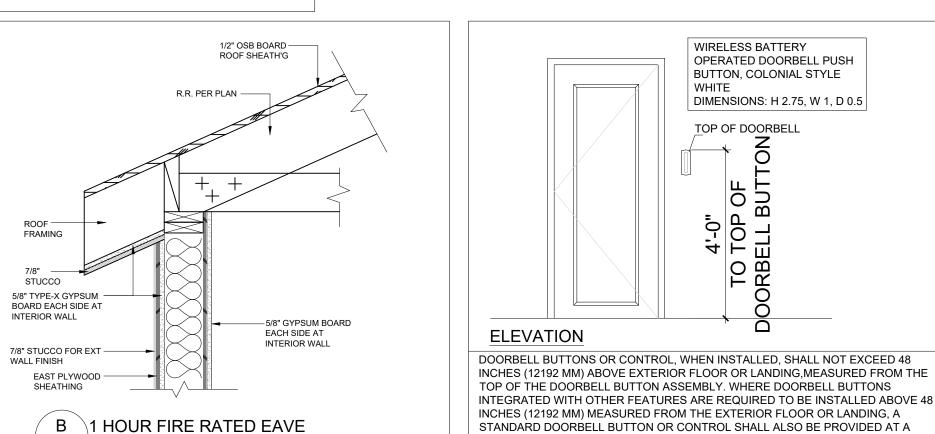
SPECIFIC NOTES

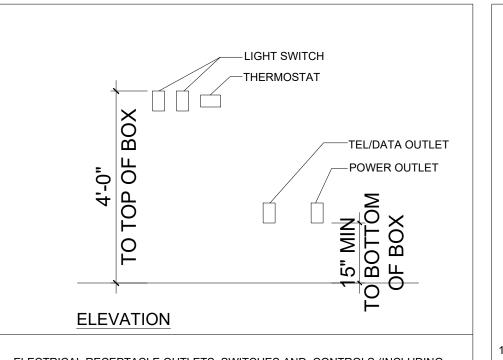
1) SEPERATE SUBMITTAL FOR PV SYSTEM SHALL BE SUBMITTED TO THE BUILDING DIVISION FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION

3) A MIN OF 1" OF SPACE SHALL BE PROVIDED BETWEEN THE UNSULATION AND THE ROOF SHEATING AND AT THE LOCATION OF VENTS CRC R806.3.3

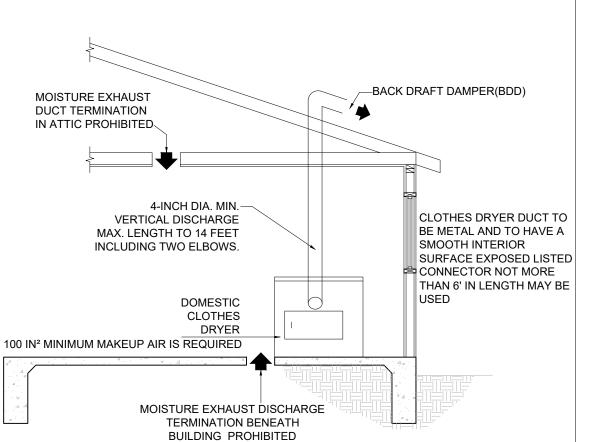
- / SCALE:1/4"=1'-0"

2) THE SMOKE ALARMS AND CARBON MINOXIDE ALARMS SHALL BE COMPLIANT WITH CRC R314 AND





ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING INTENDED TO BE USED BY OCCUPANTS SHALL BE LOCATED NO MORE THAN 48 INCHES (1219 2 MM) MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES (381 MM) MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR.





AVE, 191768

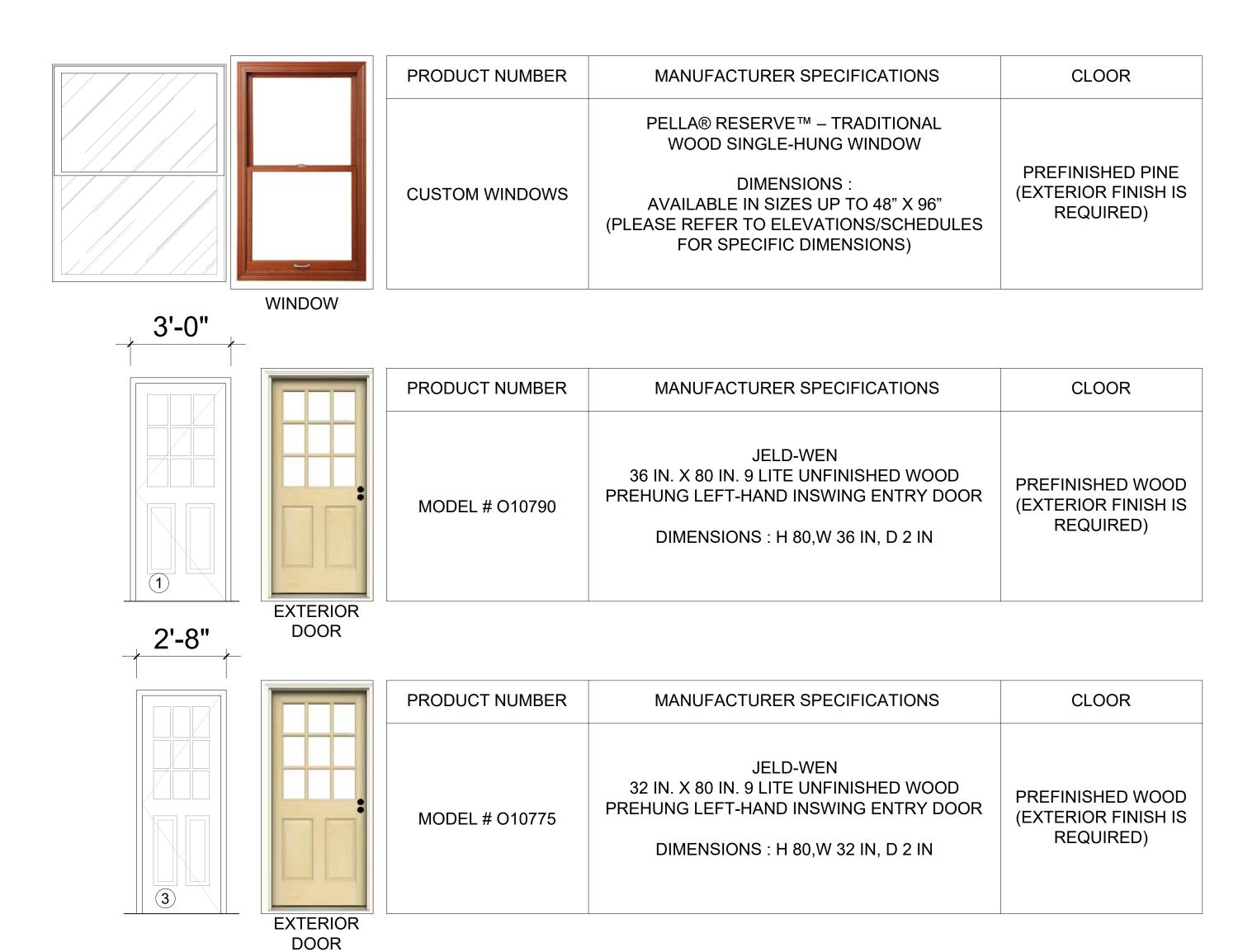
PC CORRECTION 2 02/20/202 **DESIGNER:** MICHAEL ZHANG TEL: (626)505-6888

Drawing title FLOOR / ROOF **PLANS**

Date: 06-06-2025 Scale: NOTED A-2 Drawn by: HD Checked by: JJ File name: 1625 N PARK AVE, POMONA

COLOR AND MATERIAL SAMPLE BOARD

NOTE: TO MATCH PRIMARY DWELLING

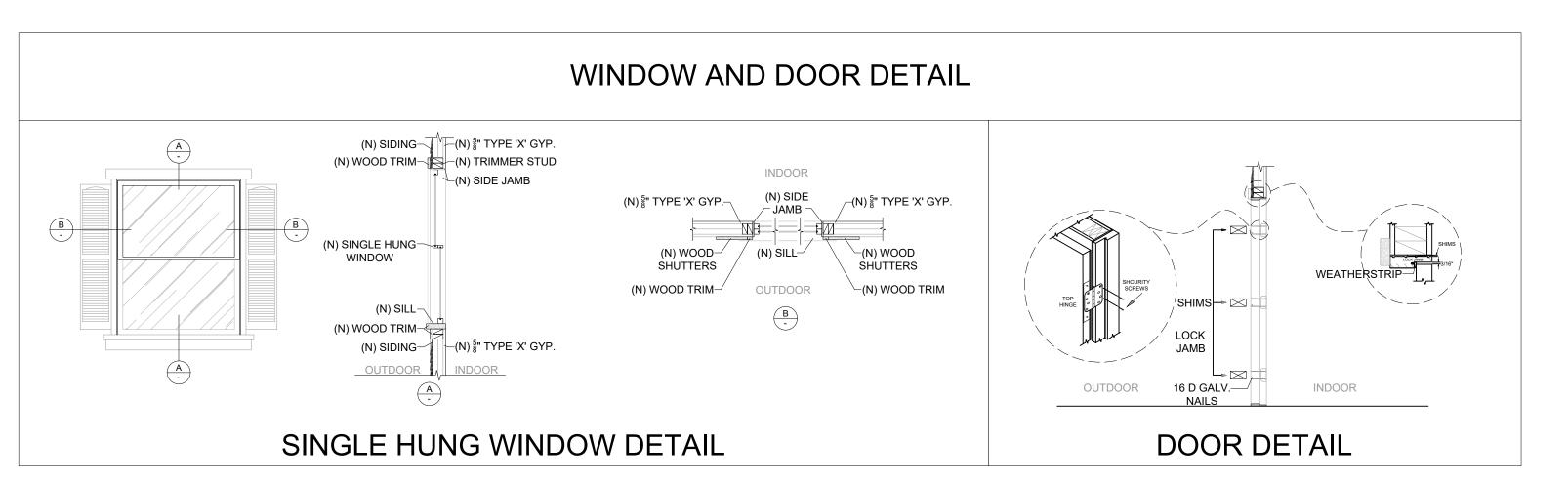


PRODUCT NUMBER	MANUFACTURER SPECIFICATIONS	CLOOR
MODEL # SHL39	PINECROFT PINE LOUVERED SHUTTERS PAIR UNFINISHED DIMENSIONS : W 15 IN, D 1.125 IN,H PENDING	PREFINISHED PINE (EXTERIOR FINISH IS REQUIRED)

	PRODUCT NUMBER	MANUFACTURER SPECIFICATIONS	CLOOR
	DEA180 RL#469	DUNN-EDWARDS PAINTS	DEEP PINE
WINDOW / DOOR / LOUVERED			

SHUTTERS EXTERIOR FINISH

PRODUCT NUMBER	MANUFACTURER SPECIFICATIONS	CLOOR	1	
MODEL # 4250 RT	SAN RAFAEL 1-LIGHT RUST COACH OUTDOOR WALL LIGHT FIXTURE WITH CLEAR GLASS DIMENSIONS : H 22 IN, W 9.5 IN, D 10 IN	BLACK		
			EXTERIOR LIGHT	EXTERIOR LIGHT
PRODUCT NUMBER	MANUFACTURER SPECIFICATIONS	CLOOR		
MODEL # 60150735PAL	MAGNOLIA HOME HARDIE PLANK HZ5 6.25 IN. X 144 IN. FIBER CEMENT SMOOTH LAP SIDING BIRCH TREE DIMENSIONS: COVER AREA (SQ.FT.) 5 SQ.FT.	WHITE		
	PRODUCT THICKNESS (IN.) 0.312 IN PRODUCT LENGTH (IN.) 144 IN PRODUCT WINDTH (IN.) 6.25 IN			
			SIDING	SIDING
PRODUCT NUMBER	MANUFACTURER SPECIFICATIONS	CLOOR		
	ROYAL SOVEREIGN WHITE ALGAE RESISTANT 3-TAB ROOFING SHINGLES			
MODEL # 0202920	DIMENSIONS : COVER AREA (SQ.FT.) 33.33 SQ.FT. PRODUCT THICKNESS (IN.) 2.4 IN	WHITE		



PRODUCT LENGTH (IN.) 36 IN PRODUCT WINDTH (IN.) 26 IN



ROOF MATERIAL ROOF MATERIAL

DESIGNER: MICHAEL ZHANG TEL: (626)505-6888

Drawing title COLOR AND MATERIAL SAMPLE BOARD

Date: 06-06-2025 A-3.1 Drawn by: HD

File name: 1625 N PARK AVE, POMONA **ALIGCUS**







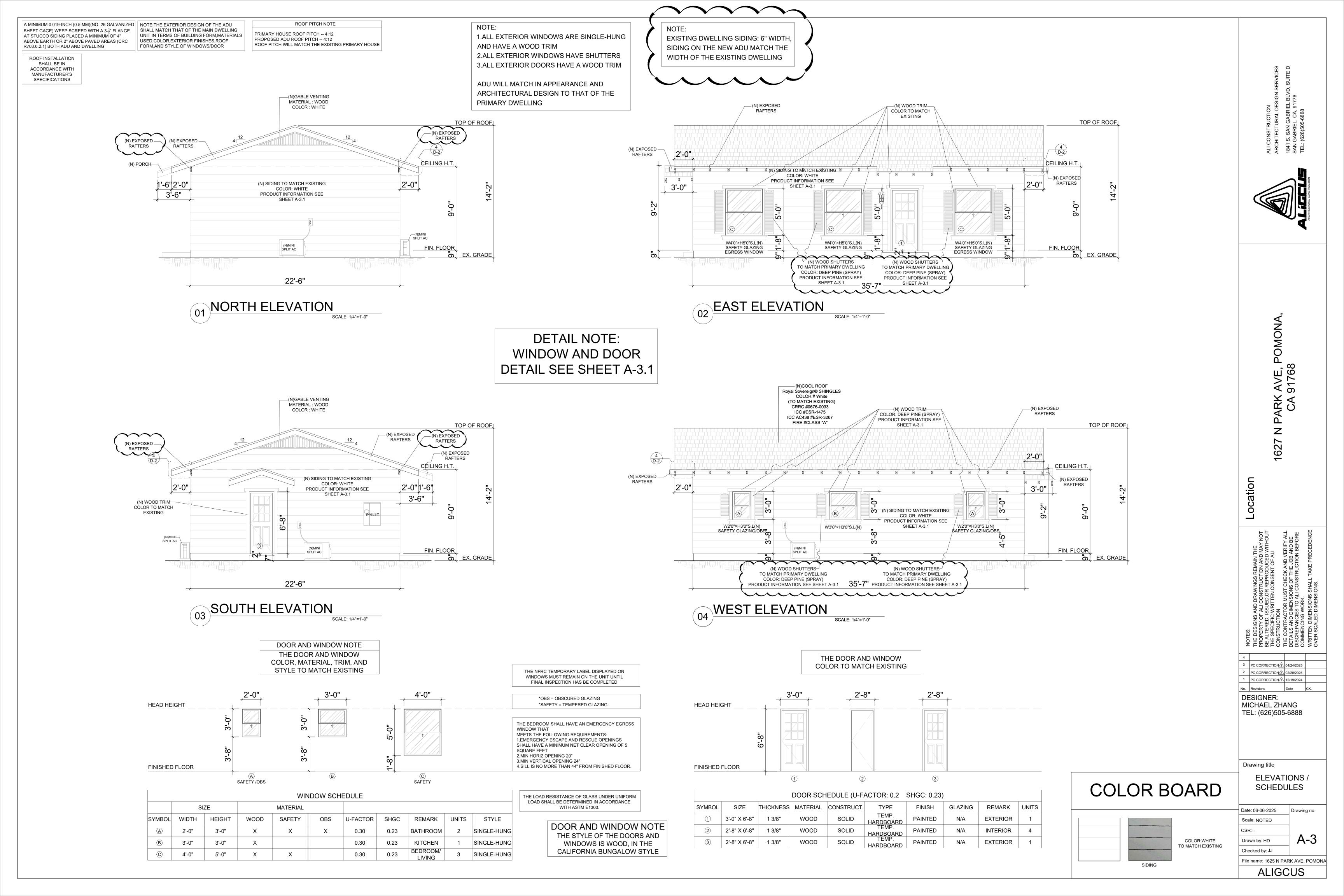
DESIGNER: MICHAEL ZHANG TEL: (626)505-6888

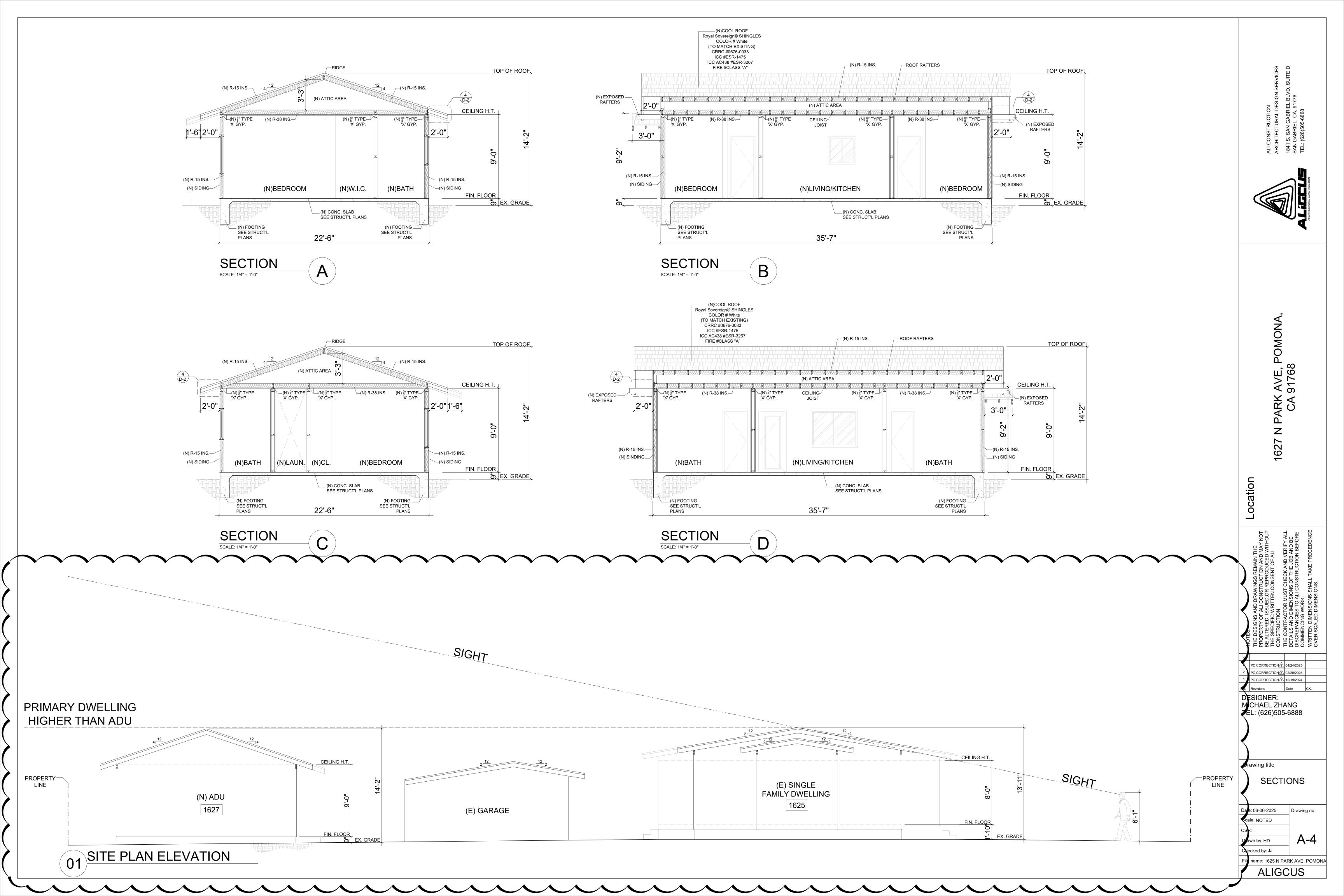
ADU RENDERING

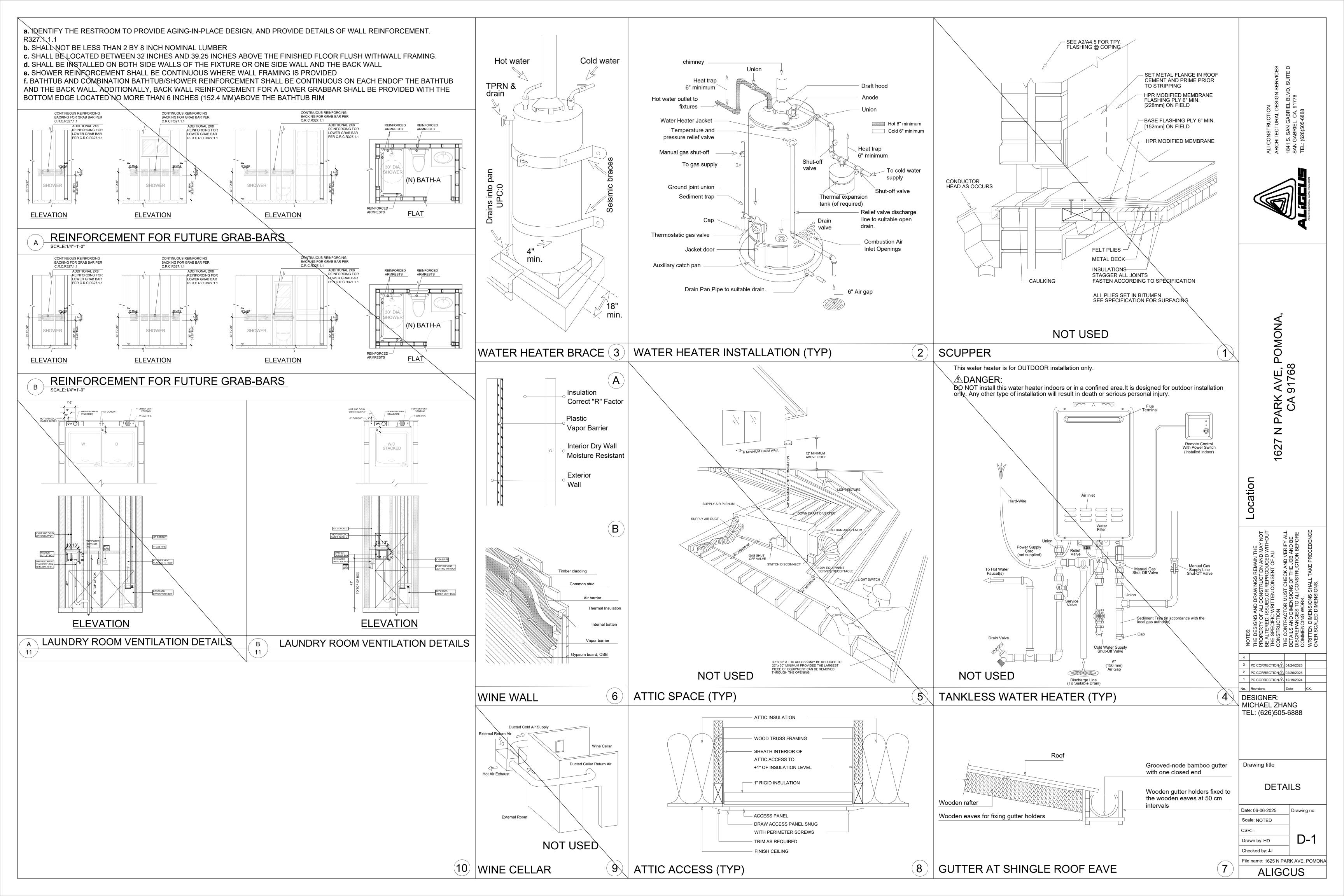
Date: 06-06-2025 rawn by: HD

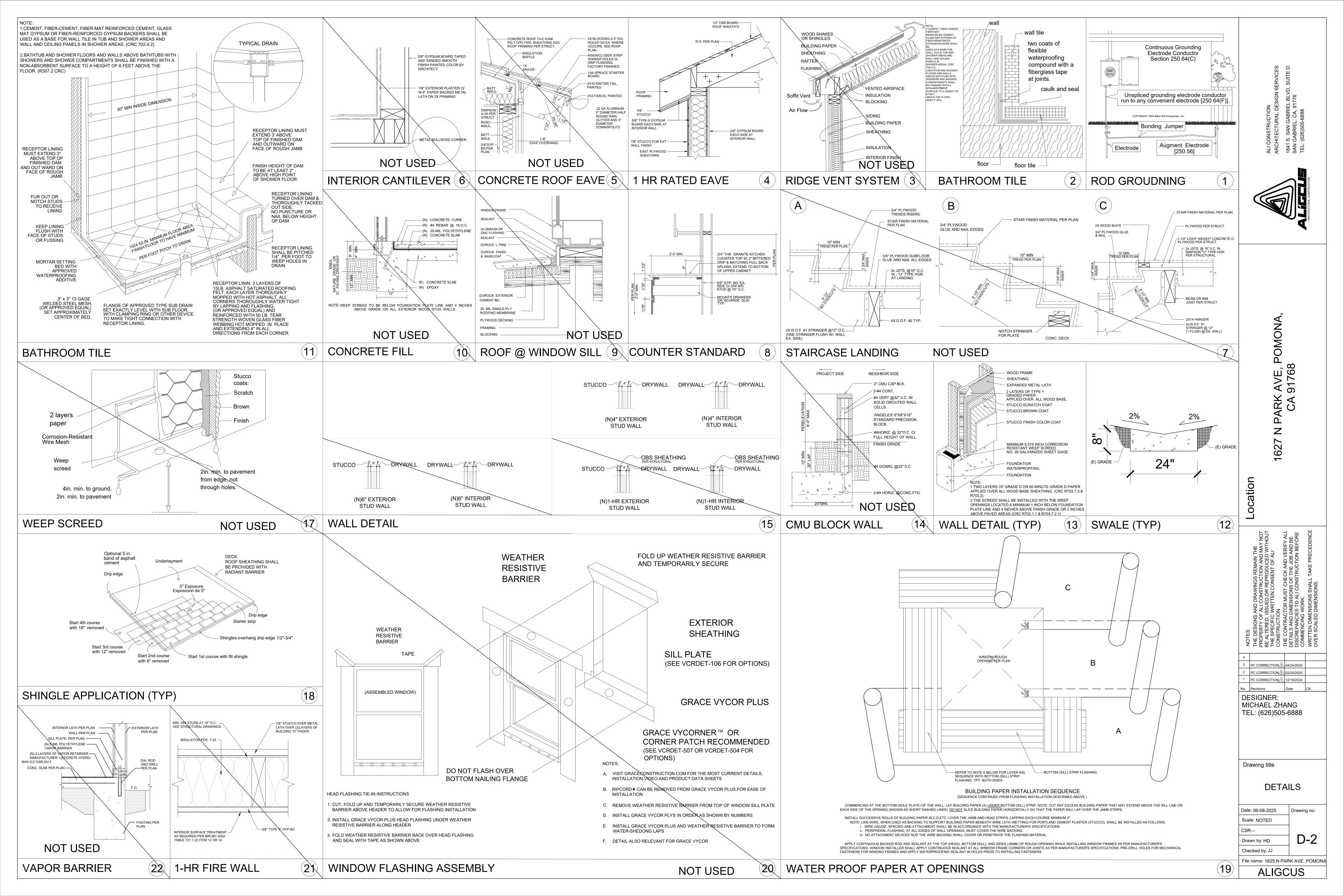
ALIGCUS

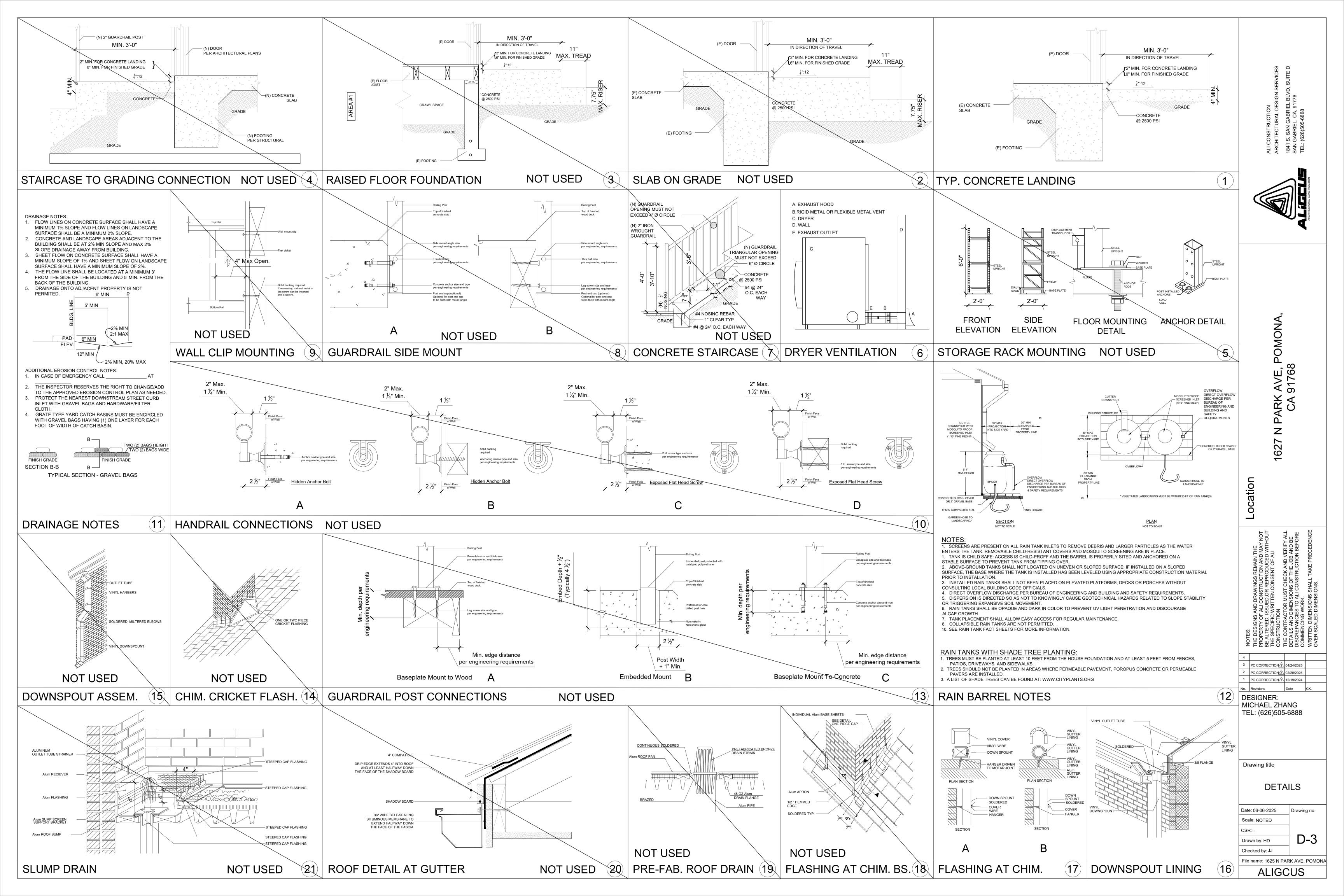
File name: 1625 N PARK AVE, POMONA











THE FLOW RATES FOR ALL PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATES SPECIFIED IN SECTION 4.303.1.

MULTI-FAMILY DWELLINGS NOT EXCEEDING THREE STORIES AND CONTAINING 50 UNITS OR LESS SHALL INSTALL A SEPARATED METER OR SUBMETER WITHIN COMMON AREAS AND WITHIN EACH INDIVIDUAL DWELLING UNIT.

FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.

ADDITION NOTES:

a. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBS. (4.304.4)

- b. FOR ONE- AND TWO-FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COVER HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM. FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100 PERCENT OF THE POOL DUE TO ITS IRREGULAR SHAPE, A MINIMUM OF 80 PERCENT OF THE POOL SHALL BE COVERED. (4.304.5)
- c. FOR SITES WITH OVER 500 SQUARE FEET OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHES WASHER, BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAY WATER IRRIGATION SYSTEM. (4.305.1)
- d. WATER USED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY LINE. (4.305.2)
- e. BUILDING NOT EXCEEDING 25 STORIES SHALL HAVE COOLING TOWERS WITH MINIMUM OF 6 CYCLES OF CONCENTRATION (BLOW DOWN) OR HAVE A MINIMUM OF 50% OF MAKEUP WATER SUPPLY TO COOLING TOWERS COME FROM NON-POTABLE WATER SOURCES. (4.305.3.1)
- f. BUILDING EXCEEDING 25 STORIES SHALL HAVE COOLING TOWERS WITH MINIMUM OF 6 CYCLES OF CONCENTRATION (BLOW DOWN) AND HAVE A MINIMUM OF 100% OF MAKEUP WATER SUPPLY TO COOLING TOWERS COME FROM NON-POTABLE WATER SOURCES. (4.305.3.2)
- g. WHERE GROUNDWATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND CONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGED TO THE SEWER. (4.305.4)
- h. THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL COMPLY WITH EITHER LOS ANGELES PLUMBING CODE SECTION 610.4.1.2 OR 610.4.1.3.

MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE.

FORM GRN16 AND AN OPERATION AND MAINTENANCE MANUAL, INCLUDING, AT A MINIMUM, THE ITEMS LISTED IN SECTION 4.410.1, SHALL BE COMPLETED AND PLACED IN THE BUILDING AT THE TIME OF FINAL INSPECTION.

WOOD BURNING FIREPLACES AND OTHER WOOD BURNING DEVICES ARE PROHIBITED.

ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT.

ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLES 4.504.1- 4.504.3.

- a. THE VOC CONTENT VERIFICATION CHECKLIST, FORM GRN 2, SHALL BE COMPLETED AND VERIFIED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING VOC CONTENT FOR ALL APPLICABLE PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION. (4.504.2.4)
- b. ALL NEW CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:
- i. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM
- ii. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION 01350
- iii. NSF/ANSI 140 AT THE GOLD LEVEL
- iv. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE™ GOLD (4.504.3)
- c. ALL NEW CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM. (4.504.3.1)
- d. 80% OF THE TOTAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
- CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE CHPS HIGH PERFORMANCE PRODUCTS
- DATABASE
- ii. CERTIFIED UNDER UL GREEN GUARD GOLD
- iii. CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOOR SCORE PROGRAM iv. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION 01350
- e. NEW HARDWOOD PLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED IN THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE FORMALDEHYDE LIMITS LISTED IN TABLE 4.504.5. (4.504.5)
- THE FORMALDEHYDE EMISSIONS VERIFICATION CHECKLIST, FORM GRN 3, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING FORMALDEHYDE CONTENT FOR ALL APPLICABLE WOOD PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION.(4.504.5)
- g. NEW MECHANICALLY VENTILATED BUILDINGS WITHIN 1,000 FEET OF A FREEWAY SHALL PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH A MERV 13 FILTER FOR OUTSIDE AND RETURN AIR. FILTERS SHALL BE INSTALLED PRIOR TO OCCUPANCY AND RECOMMENDATIONS FOR MAINTENANCE WITH FILTERS OF THE SAME VALUE SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE MANUAL
- (4.504.6)h. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED UNTIL IT IS INSPECTED AND FOUND TO BE
- SATISFACTORY BY THE BUILDING INSPECTOR. (4.505.3) THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J2011, ANSI/ACCA 29-D-2014 OR ASHRAE HANDBOOKS AND HAVE THEIR EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 3 MANUAL S-2014.

(4.507.2)

- 33. A 4-INCH THICK BASE OF ½ INCH OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED FOR THE PROPOSED SLAB ON GRADE CONSTRUCTION. SHOW ON DETAILS. (4.505.2.1)
- 34. A VAPOR BARRIER SHALL BE PROVIDED IN DIRECT CONTACT WITH CONCRETE FOR THE
- PROPOSED SLAB ON GRADE CONSTRUCTION. SHOW ON DETAILS. (4.505.2.1) 35. SHOW LOCATION OF EXHAUST FANS ON PLANS FOR BATHROOMS CONTAINING BATHTUBS,
- SHOWERS, OR TUB/SHOWER COMBINATIONS. PLANS SHALL STATE THAT THE BATHROOM EXHAUST FANS COMPLY WITH THE FOLLOWING:
- FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF
- ii. FANS. NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM. MUST BE CONTROLLED BY A HUMIDITY CONTROL.

GAS PIPE (1" YELLOW POLYETHYLENE PIPE) COLD WATER (1" TYPE L) ■■■■■■ HOT WATER (1" TYPE L) SEWER LINE(4" ACRYLONITRILE BUTADIENE STYRENE)

LEGEND

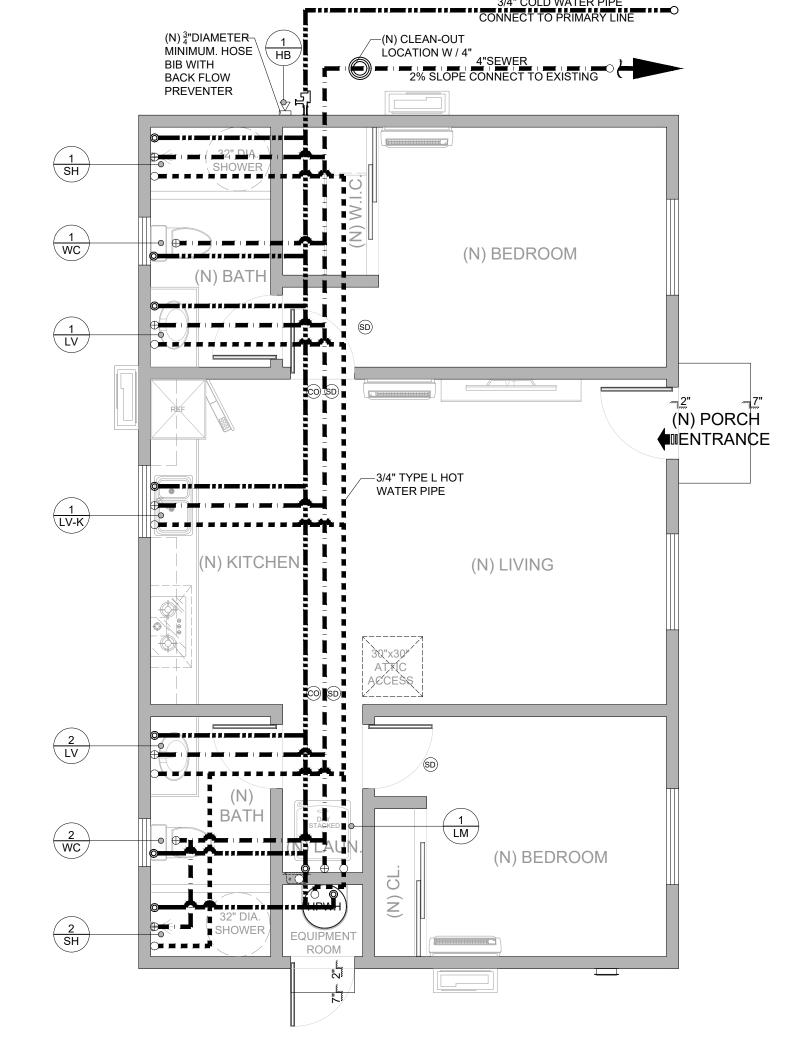
SHOWER HEADS (RESIDENTIAL)- 1.8 GMP @ 80 PSI 2. LAVATORY FAUCETS (RESIDENTIAL) - MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20PSI

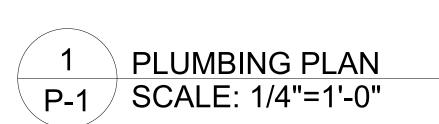
3. LAVATORY FAUCETS IN COMMON & PUBLIC USE

AREAS - 0.5 GPM @ 60 PSI

4. KITCHEN FAUCETS - 1.8 GPM @ 60 PSI

5. METERING FAUCETS - 0.2 GAL/CYCLE 6. WATER CLOSET - 1.28 GAL/FLUSH URINALS - 0.125 GAL/FLUSH





NOTE:LAUNDRY ROOMS REQUIRE PERMANENT NATURAL VENTILATION TO THE OUTSIDE OR EQUIVALENT MECHANICAL VENTILATION CAPABLE OF 50 CU.FT. PER MINUTE FOR INTERMITTENT VENTILATION OR 20 CU.FT. PER MINUTE FOR CONTINUOUS VENTILATION. EXHAUST DIRECTLY TO THE OUTDOORS AT POINT OF DISCHARGE. PROVIDE AN EXHAUST FAN IN LAUNDRY ROOM. (R303.3 CRC, 402.2.2, 504.4.1 CMC)

(N) MINI SPLIT AIR CONDITIONER-

(N) BEDROOM

(N) LIVING

(N) BEDROOM

(N) PORCH

■ ENTRANCE

- (N)ELECTRICAL NEW METER

(225-AMPS BUSS BAR)

PANEL100 AMP MIN.2 GROUND RODS

CONNECT TO PRIMARY

N) EMERGENCY SHUT-OFF VALVES

(N) EXTERIOR SHUT-OFF VALVE.

EMERGENCY SHUTOFF VALVES MUST BE PLAINLY MARKED AS SUCH AND THEIR LOCATIONS

POSTED [1210.9.3]

MODEL #: LIVS12HP115V1B 12,000 BTU

(ON A 3"PREFABRICATED OR CONCRETE PAD)

32" DIA

EXHAUST FAN-

EXHAUST FAN-

- 50 CFM MIN.

4" DRYER VENT-

VENTING THRU ROOF

MAKEUP AIR BE PROVIDED FOR TYPE I CLOTHES DRYERS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

(N) HP WATER HEATER

50 TANK VOL. (GAL) (SEE T24 FOR DEAILS)

NOTE: SYSTEMS USING GAS OR PROPANE WATER HEATERS

TO SERVE INDIVIDUAL DWELLING UNITS MUST INCLUDE THE

RECEPTACLE SHALL BE CONNECTED TO THE ELECTRIC PANEL

CIRCUIT, 3 FEET WITHIN WATER HEATER AND ACCESSIBLE TO

VOLT 3 CONDUCTOR, 10 AWG COPPER BRANCH

THE WATER HEATER WITH NO OBSTRUCTIONS.

I. BOTH ENDS OF THE UNUSED CONDUCTOR MUST BE

LABELED WITH THE WORD "SPARE" AND BE ELECTRICALLY

THE BRANCH CIRCUIT IN A ABOVE AN LABELED WITH THE

STRAIGHT PIPE BETWEEN THE OUTSIDE TERMINATION AND

THE SPACE WHERE THE WATER HEATER IS INSTALLED.

A CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES

HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER.

A GAS SUPPLY LINE WITH A CAPACITY OF AT LEAST 200,000

A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH

AND ALLOWS NATURAL DRAINING WITHOUT PUMP

II. A RESERVED SINGLE POLE CIRCUIT BREAKER SPACE IN THE

ELECTRICAL PANEL ADJACENT TO THE CIRCUIT BREAKER FOR

FOLLOWING COMPONENTS.

WORDS "FUTURE 240V USE"

BTU/HR. (SEE MECHANICAL PLAN)

WITH A 120

IN ADDITION:

ISOLATED.

ASSISTANCE

- 50 CFM MIN.

(N) MINI SPLIT AIR CONDITIONER—

MODEL #: LIVS12HP115V1B 12,000 BTU (ON A 3"PREFABRICATED OR CONCRETE PAD) SHOWER

(N) KITCHEN

KITCHEN HOOD 280 CFM

MINIMUM EXHAUST RATE

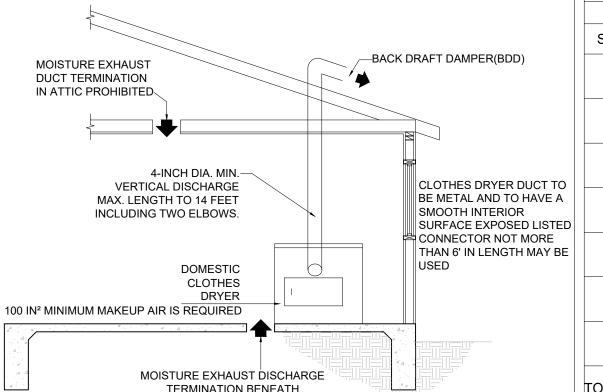
(N) MIN SPLIT AIR CONDITIONER -

MECHANICAL PLAN

SCALE: 1/4"=1'-0"

MODEL #: LIVS12HP115V1B 12,000 BTU

(ON A 3"PREFABRICATED OR CONCRETE PAD)



BUILDING PROHIBITED

	•	.,		0			
FIX	TURE		WATER FU		SEWI	ER FU	a.
SYMBOL	FIXTURE TYPE	QTY	EACH	TOTAL	EACH	TOTAL	
1 WC	WATER CLOSET	2	2.50	5.0	2	4	
1 LV	LAVATORY	2	1	2.0	1	2	
1 SH	SHOWER	2	2	4.0	2	4	
1 LM	LAUNDRY	1	4	4.0	2	2	b.
1 LB	BATH TUB	0	4	0.0	2	0	
1 HB	HOSE BIBB	1	2.5	2.5			
1 LV-K	KITCHEN SINK	1	1.5	1.5	1	1] c.
TOTAL				19.0		13	

FIXTURE UNIT SCHEDULE

GENERAL NOTES

WATER PIPING MATERIALS WITHIN A BUILDING SHALL BE IN ACCORDANCE WITH SEC. 604.1 OF THE CALIFORNIA PLUMBING CODE. PEX, CPVC AND OTHER PLASTIC WATER PIPING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SEC. 604 OF THE CPC INSTALLATION STANDARDS OF APPENDIX 1 OF THE

CPC AND MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS. SPVC WATER PIPING REQUIRES A CERTIFICATION OF COMPLIANCE AS SPECIFIED IN SEC 604.1.1(d) OF THE CPC PRIOR TO 1.27 GALLONS/FLUSH < 1.28 PERMIT ISSUANCE. PIPING MATERIAL TO BE COPPER GALLONS/FLUSH

DOMESTIC DISHWASHERS REQUIRE AN APPROVED DISHWASHER AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHER. LISTED AIR GAPS SHALL BE INSTALLED WITH THE FLOOD-LEVEL (FL) MARKING AT OR ABOVE THE FLOODLEVEL OF THE SINK OR DRAINBOARD, WHICHEVER IS HIGHER. (CPC AT 80PS)

ALL HOSE BIBS MUST HAVE AN APPROVED ANTI-SIPHON DEVICE

WATER CONSERVATION NOTES:

SHOWER HEAD: GLACIER BAY-BUILDERS SINGLE-HANDLE 1 SPRAY PRESSURE BALANCE SHOWER FAUCET. WATER SENSE CERTIFIED WITH 1.8 GPM FLOW RATE FLUSH VOLUME: 1.8 GALLONS/FLUSH < 2.0 GALLONS/FLUSH

WATER CLOSETS: GLACIER BAY2-PIECE 1.1 GPF/1.6 GPF HIGH EFFICIENCY DUAL FLUSH COMPLETE ELONGATED TOILET FLUSH VOLUME:

LAVATORY FAUCETS: GLACIER BAY CONSTRUCTOR 4 IN. CENTER SET 2-HANDLE MID-ARC BATHROOM FAUCET

CLICK INSTALL POP UP FLOW RATE(MAX)=1.2 GALLONS/MINUTE

KITCHEN FAUCETS:DELTA FOUNDATIONS 2-HANDLE BAR

FLOW RATE(MAX)=1.8 GALLONS/MINUTE AT 60PSI



S REMAIN THE STION AND MAY I RODUCED WITH

3 PC CORRECTION 3 04/24/2025 PC CORRECTION/2 02/20/2025 1 PC CORRECTION 12/19/2024

DESIGNER: MICHAEL ZHANG

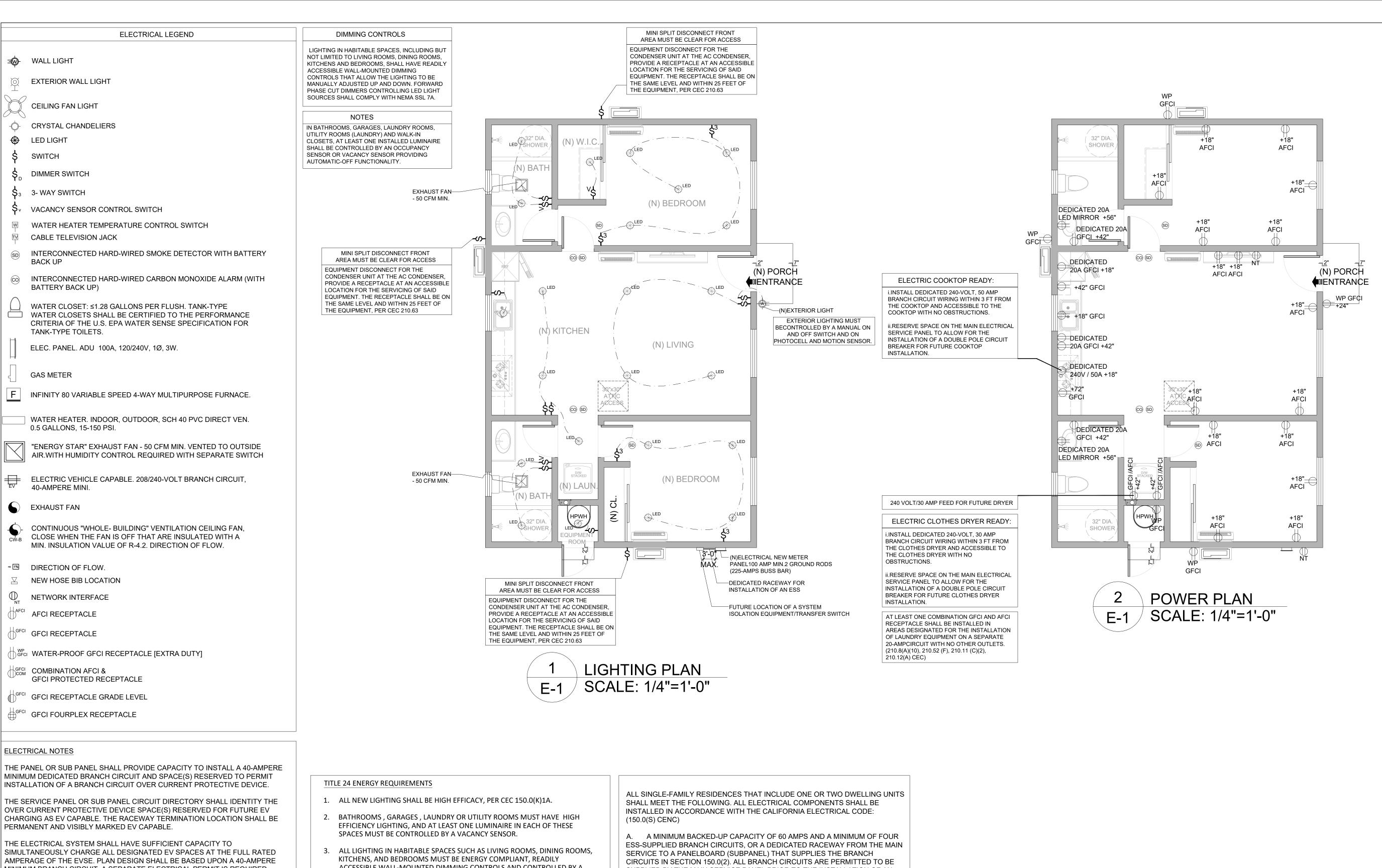
TEL: (626)505-6888

Drawing title

MECHANICAL& PLUMBING

PLANS Date: 06-06-2025 Drawing no. Scale: NOTED CSR:--

Drawn by: HD Checked by: JJ File name: 1625 N PARK AVE, POMONA



THE PANEL OR SUB PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT

PERMANENT AND VISIBLY MARKED EV CAPABLE.

THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.

THE SERVICE PANEL OR SUB PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVER CURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.

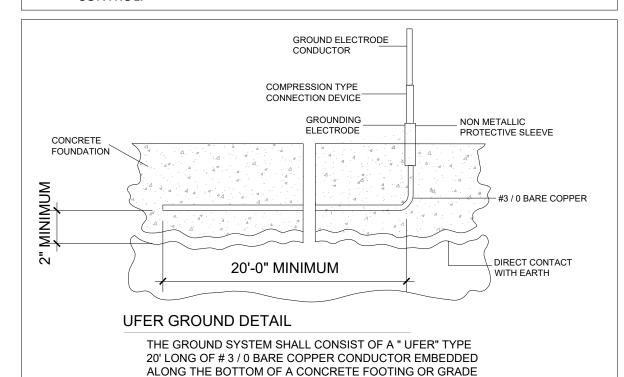
THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRICAL INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC".

A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTION 110.10 (B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT.

NOTE: SMOKE ALARM SHALL BE INTERCONNECTED HARDWIRED WITH BATTERY BACK-UP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72 CARBON MONOXIDE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP

ALL OUTDOOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON AND ONE OF THE FOLLOWING: CONTROLLED BY PHOTOCELL AND MOTION SENSOR, PHOTO CONTROL AND AUTOMATIC SWITCH CONTROL, ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM.

- ACCESSIBLE WALL-MOUNTED DIMMING CONTROLS AND CONTROLLED BY A VACANCY SENSOR.
- 4. ALL EXTERIOR LIGHTING MUST BE ENERGY COMPLIANT AND BE EQUIPMENT WITH A PHOTO CONTROL OR MOTION SENSOR OR AUTOMATIC TIME SWITCH

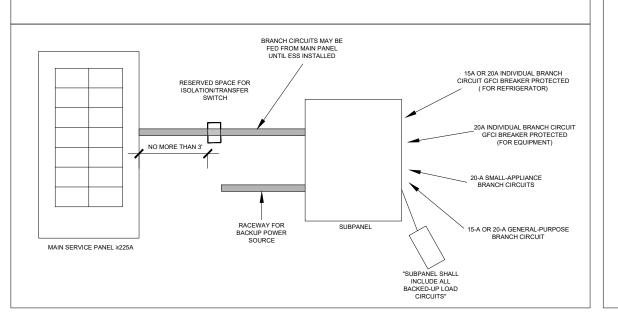


BEAM THAT IS IN DIRECT CONTACT WITH THE EARTH.

SUPPLIED BY THE MAIN SERVICE PANEL PRIOR TO THE INSTALLATION OF AN ESS. THE TRADE SIZE OF THE RACEWAY SHALL BE NOT LESS THAN 1 INCH. THE PANELBOARD THAT SUPPLIES THE BRANCH CIRCUITS (SUBPANEL) MUST BE LABELED "SUBPANEL SHALL INCLUDE ALL BACKED UP LOAD CIRCUITS."

B. A MINIMUM OF FOUR BRANCH CIRCUITS SHALL BE IDENTIFIED AND HAVE THEIR SOURCE OF SUPPLY COLLOCATED AT A SINGLE PANELBOARD SUITABLE TO BE SUPPLIED BY THE ESS. AT LEAST ONE CIRCUIT SHALL SUPPLY THE REFRIGERATOR, ONE LIGHTING CIRCUIT SHALL BE LOCATED NEAR THE PRIMARY EGRESS AND AT LEAST ONE CIRCUIT SHALL SUPPLY A SLEEPING ROOM RECEPTACLE OUTLET.

C. THE MAIN PANELBOARD SHALL HAVE A MINIMUM BUSBAR RATING OF 225 AMPS.



1) ALL PERMANENTLY INSTALLED OUTDOOR LIGHTING MUST BE HIGH EFFICACY AS PER CALIFORNIA ENERGY

EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND SHALL

3) LOCATION OF ELECTRICAL SERVICE PANEL MUST BE APPROVED FROM

4) IN KITCHEN ROOMS RECEPTACLE SHALL BE PROVIDED FOR EACH WALL **COUNTERTOP SPACE WIDER THAM 12** INCHES SO THAT NO POINT IS MORE THAN 24 INCHES FROM AN OUTLET CEC

5) WALL 2 FEET WIDE OR GREATER SHALL HAVE AN OUTLET. OUTLETS SHALL SPACE NO MORE THAN 12 FEET APART

OF WALLS OR OPENING.

SPECIFIC NOTES

CODE 150.0(K)3 AND TABLE 150.0-A

2) CLOTHES DRYER MOISTURE COMPLY WITH CMC 504.2,504.4.2.1,504.4.4

210.52(C)

AND A MAXIMUM OF 5 FEET FROM END



S REMAIN THE STION AND MAY I RODUCED WITH

3 PC CORRECTION/3\ 04/24/2025 2 PC CORRECTION 2 02/20/2025 1 PC CORRECTION 1 12/19/2024 **DESIGNER:** MICHAEL ZHANG TEL: (626)505-6888

Drawing title

LIGHTING PLAN/ POWER PLAN

Date: 06-06-2025 Drawing no. Scale: NOTED CSR:--Drawn by: HD

File name: 1625 N PARK AVE, POMONA