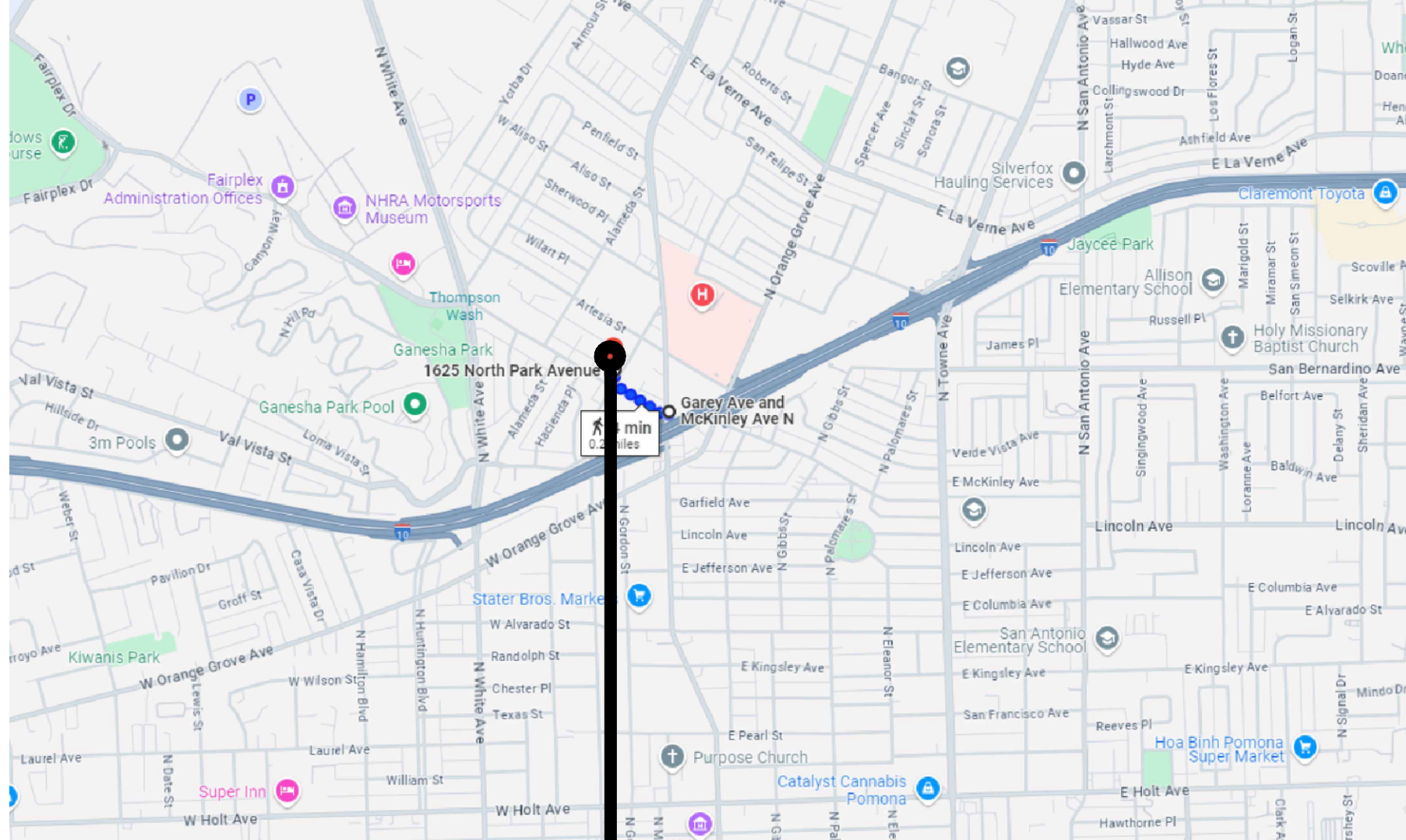


NEW ADU 2 BED 2 BATH PROJECT

1627 N PARK AVE POMONA CA 91768-1825

ABBREVIATIONS				GENERAL NOTES		PROJECT DATA		SHEET INDEX		APPLICABLE CODES																																																																																	
<div><div><div>AC.T. ACOUSTIC TILE</div><div>A. C. ASPHALT CONCRETE</div><div>A. D. AREA DRAIN</div><div>A.DJ. ADJUSTABLE</div><div>AFF. ABOVE FINISH FLOOR</div><div>ALT. ALTERNATE</div><div>ALUM. ALUMINUM</div><div>ANCH. ANCHOR</div><div>APPROX. APPROXIMATELY</div><div>ARCH. ARCHITECT / ARCHITECTURE</div><div>ASB. ASBESTOS</div><div>BD. BOARD</div><div>BR. CS. BRICK COURSE</div><div>BLDG. BUILDING</div><div>BLK. BLOCK</div><div>BLKG. BLOCKING</div><div>B. M. BENCH MARK</div><div>BM. BEAM</div><div>B. N. BULL NOSE</div><div>BNT. BENT</div><div>BMT. BOTTOM</div><div>C. B. CATCH BASIN</div><div>C. I. CAST IRON</div><div>CEM. CEMENT</div><div>CER. CERAMIC</div><div>CER. T. CERAMIC TILE</div><div>C. J. CONTROL JOINT</div><div>CLR. CLEAR</div><div>CLG. CEILING</div><div>CLO. CLOSET</div><div>CMU. CONCRETE MASONRY UNIT</div><div>C. O. CASE OPENING</div><div>COL. COLUMN</div><div>COMP. COMPOSITION</div><div>CONC. CONCRETE</div><div>CONN. CONNECTION</div><div>CONSTR. CONSTRUCTION</div><div>CONT. CONTINUOUS</div><div>CONTR. CONTRACTOR</div><div>CORR. CORRIDOR</div><div>CNTR. COUNTER</div><div>CTR. CENTER</div><div>DBL. DOUBLE</div><div>DEPT. DEPARTMENT</div><div>DET. DETAIL</div><div>D. F. DRINKING FOUNTAIN</div><div>DIA. DIAMETER</div><div>DIM. DIMENSION</div><div>DISP. DISPENSER</div><div>DN. DOWN</div><div>D. O. DOOR OPENING</div><div>DS. DOWN SPOUT</div><div>DWG. DRAWING</div><div>EA. EACH</div><div>EIFS. EXT. INSULATION & FINISH SYSTEM</div><div>EL. ELEVATION</div><div>ELECT. ELECTRICAL</div><div>ELEV. ELEVATION / ELEVATOR</div><div>EMER. EMERGENCY</div><div>ENCL. ENCLOSURE</div><div>EQ. EQUAL</div><div>EQPT. EQUIPMENT</div><div>EXST. EXISTING</div><div>EXP. EXPANSION</div><div>E. J. EXPANSION JOINT</div><div>EXT. EXTERIOR</div><div>F. A. FIRE ALARM</div><div>F. D. FLOOD DRAIN</div><div>F. E. FIRE EXTINGUISHER</div><div>FIN. FINISH</div><div>FLASH. FLASHING</div><div>FLR. FLOOR</div><div>FLUOR. FLUORESCENT</div><div>FDN. FOUNDATION</div><div>F. O. F. FACE OF FINISH</div><div>FPHB. FROST PROOF HOSE BIBB</div><div>F. S. FULL SIZE OR FLOOR SINK</div><div>FTG. FOOTING</div><div>FURR. FURRING</div><div>FVC. FIRE VALVE CABINET</div><div>GA. GAUGE</div><div>GALV. GALVANIZED</div><div>GEN. GENERAL</div><div>GR. GRADE</div><div>GRFC. GLASS FIBER REINFORCED CONCRETE</div><div>GRFG. GLASS FIBER REINFORCED GPYSUM</div><div>GLS. GLASS / GLAZING</div><div>G. S. GRAVEL STOP</div><div>GYP. BD. GYPSUM BOARD</div><div>HDWE. HARDWARE</div><div>HB. HOSE BIBB</div><div>H. C. HOLLOW CORE</div><div>HGT. HEIGHT</div><div>HORIZ. HORIZONTAL</div><div>H. M. HOLLOW METAL</div><div>HR. HOUR</div><div>HYD. HYDRANT</div><div>I. D. INSIDE DIAMETER</div><div>INSUL. INSULATION</div><div>INT. INTERIOR</div><div>JAN. JANITOR</div><div>JT. JOINT</div><div>KIT. KITCHEN</div><div>LAB. LABORATORY</div><div>LAM. LAMINATE</div><div>LAV. LAVATORY</div><div>LT. LIGHT</div><div>MAX. MAXIMUM</div><div>M. C. MEDICINE CABINET</div><div>MECH. MECHANICAL</div><div>MH. MANHOLE</div><div>MIN. MINIMUM</div><div>MIR. MIRROR</div><div>MISC. MISCELLANEOUS</div><div>M. O. MASONRY OPENING</div><div>MTD. MOUNTED</div><div>MTL. METAL</div><div>N. I. C. NOT IN CONTRACT</div><div>N. T. S. NOT TO SCALE</div><div>O/A. OVERALL</div><div>OBS. OBSURE</div><div>O/C. ON CENTER</div><div>O. D. OUTSIDE DIAMETER</div><div>OFF. OFFICE</div><div>OH. OVERHEAD</div><div>OIO. OUT TO OUT</div><div>OPNG. OPENING</div><div>OPP. OPPOSITE</div><div>PC. PIECE</div><div>P. LAM. PLASTIC LAMINATE</div><div>PL. PLATE</div><div>PLAS. PLASTER</div><div>PLBG. PLUMBING NUMBER</div><div>PLYWD. PLYWOOD</div><div>POL. POLISHED</div><div>PROJ. PROJECT</div><div>PT. POINT</div><div>PTD. PAINTED</div><div>Q. T. QUARRY TILE</div><div>R. RISER</div><div>RAD. RADIUS</div><div>R. D. ROOD DRAIN</div><div>REF. REFRIGERATOR</div><div>REINF. REINFORCEMENT / REINFORCED</div><div>REQD. REQUIRED</div><div>RM. ROOM</div><div>R. O. ROUGH OPENING</div><div>S. SINK</div><div>SHT. SHEET</div><div>S. M. SHEET METAL</div><div>SQ. SQUARE</div><div>S. S. SLOP / SERVICE SINK</div><div>S. STL. STAINLESS STEEL</div><div>STD. STANDARD</div><div>STRUCT. STRUCTURAL</div><div>SUSP. SUSPENDED</div><div>T. TOP OF</div><div>T. D. TRENCH DRAIN</div><div>TERR. TERRAZZO</div><div>TYP. TYPICAL</div><div>UNF. UNFINISHED</div><div>U. N. O. UNLESS NOTED OTHERWISE</div><div>VCT. VINYL COMPOSITION TILE</div><div>W. C. WATER CLOSET</div><div>WD. WOOD</div><div>WT. WEIGHT</div><div>WWF. WELDED WIRE FABRIC</div></div></div>				<div><div>THE OWNER OF THE PROPERTY HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE COPIED REPRODUCED OR CHANGED IN ANY FORM OR MATTER WHAT SO EVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN CONSENT AND PERMISSION OF OWNER.</div><div><div>1. SUBCONTRACTOR SHALL PROMPTLY NOTIFY CONTRACTOR, AND CONTRACTOR SHALL NOTIFY THE OWNER, OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES IN THE PLANS OR ON THE SPECIFICATION, SO THE OWNER CAN RECTIFY CORRECTIONS OR OMISSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE PRIOR TO COMMENCING WORK. ALL WORK SHALL BE DONE IN COMPLIANCE WITH LOCAL CODES. DO NOT SCALE DRAWINGS.</div><div>2. ALL SUBCONTRACTOR WORKMANSHIP WILL BE OF QUALITY TO PASS INSPECTIONS BY APPLICABLE LOCAL AUTHORITIES, LENDING INSTITUTIONS, OWNER, AND THE BUILDER. AND ONE, OR ALL MENTIONED PARTIES MAY INSPECT WORKMANSHIP AT ANY TIME, AND ANY CORRECTIONS NEEDED TO ENHANCE THE QUALITY OF BUILDING WILL BE DONE IMMEDIATELY.</div><div>3. EACH SUBCONTRACTOR SHALL START HIS WORK PROMPTLY, PURSUE IT DILIGENTLY AND COMPLETE IT IN ACCORDANCE WITH CONTRACTORS BUILDING SCHEDULE. IT IS MUTUALLY UNDERSTOOD THAT SCHEDULE COULD CHANGE WITHOUT NOTICE AS CIRCUMSTANCE WARRANT.</div><div>4. ALL MATERIALS, MACHINERY AND EQUIPMENT SHALL BE STORED IN A MANNER APPROVED BY BY THE CONTRACTOR, IN A PLACE DESIGNED BY THE CONTRACTOR. FIRE HAZARD SHALL BE PROMPTLY VACATED UPON REQUEST BY CONTRACTOR AND LEFT IN A BROOM CLEAN CONDITIONS.</div><div>5. ALL MATERIALS SUPPLIED BY SUBCONTRACTORS SHALL BE OF A GRADE AND QUALITY ACCEPTABLE TO THE CONTRACTORS; IN EVERY CASE THEY SHALL BE, IN THE OPINION OF THE CONTRACTOR, SUITABLE FOR THE PROPOSED.</div><div>6. EACH, SUBCONTRACTOR, UNLESS SPECIFICALLY EXEMPTED BY THE TERMS OF HIS SUBCONTRACTOR AGREEMENT, SHALL BE RESPONSIBLE FOR CLEANING UP AND REMOVING FROM THE JOB SITE ALL TRASH AND DEBRIS NOT LEFT BY THE OWNER CONTRACTOR. BUILDER WILL DETERMINE HOW SOON AFTER SUBCONTRACTOR COMPLETES EACH PHASE OF HIS WORK THAT TRASH AND DEBRIS WILL BE REMOVED FROM THE SITE.</div><div>7. WHILE IT IS THE RESPONSIBILITY OF EACH SUBCONTRACTOR TO COOPERATE FULL WITH THE JOB SUPERINTENDENT IN PROTECTING ALL WORK THROUGH THE ENTIRE COURSE OF CONSTRUCTION, SPECIAL ATTENTION MUST BE GIVEN TO PROTECTION OF ALL FINISH WORK PERFORMED AFTER COMPLETION OR PLASTERING, STUCCOING, OR DRYWALL. ALL SUBCONTRACTORS SHALL FULLY COOPERATE WITH JOB SUPERINTENDENT IN PROTECTING THE GOOD CONDITION OF ALL FINISH FLOORS, WALLS, CABINET WORK AND COUNTERTOPS THROUGHOUT THE PROJECT. NO TOOLS OR MATERIAL, COFFEE CUPS OR LIGHTED CIGARETTES SHALL NEVER BE PLACED ON ANY MARBLE OR FORMICA COUNTER-TOP, EXCEPT THAT TOOL AND MATERIALS IMMEDIATELY BEING WORKED WITH MAY BE SO PLACED THAT THEY ARE NOT PLACED UPON AN UNPROTECTED FINISH SURFACE. SUBCONTRACTOR SHALL BE BACK CHARGED FOR ANY DAMAGE WHICH MAY BE ASCRIBED TO THEM; FOR THIS REASON, EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PROMPTLY NOTIFYING THE JOB SUPERINTENDENT FOR ANY DAMAGE EXISTING PRIOR TO THE START OF THE WORK.</div><div><div>8. DRAWINGS AND SPECIFICATION, ERRORS, AND OMISSIONS:</div><div>A. THE CONTRACTOR SHALL NOTIFY OWNER IN WRITING, OF ANY ERRORS, DISCREPANCIES OR OMISSION IN THE CONTRACT DRAWINGS PRIOR TO THE COMMENCEMENT OF WORK.</div><div>B. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES OR OMISSION WHICH THE CONTRACTOR FAILED TO NOTIFY THE PROPERTY'S OWNER OF BEFORE CONSTRUCTION AND FABRICATION OF WORK.</div><div>9. SPECIFICATIONS AND DRAWING EXPLANATIONS: FOR CONVENIENCE OR REFERENCE AND TO FACILITATE THE LETTING OR CONTRACTORS AND SUBCONTRACTORS, THESE SPECIFICATIONS ARE SEPARATE IN TITLE SECTIONS. SUCH SEPARATION SHALL NOT, HOWEVER, OPERATE TO MAKE THE OWNER AN ARBITER TO ESTABLISH LIMITS TO CONTACTS BETWEEN THE CONTRACTOR AND SUBCONTRACTORS.</div><div>10.EXISTING DIMENSION AS SHOWN ON PLANS ARE PROVIDED BY OWNER, G.C. SHALL VERIFY EXISTING CONDITION BEFORE CONSTRUCTION, NOTIFY OWNER/ DESIGNER IF AND CONFLICT AS REQUIRED.</div><div>11.“OR EQUAL”: THE CONTRACTOR SHALL SUBMIT FOR THE PROPERTY'S OWNER AND BUILDERS APPROVAL OF ALL MATERIALS OR EQUIPMENT WHICH IS CONSIDERED “OR EQUAL” TO THAT SPECIFIED ON THE DRAWINGS.</div><div>12.THE STRUCTURAL DESIGN AND DETAILS FULLY CONFORM TO ALL APPROPRIATE REQUIREMENTS OF THIS CODE, THE CALIFORNIA RESIDENTIAL CODE, SHOULD A PORTION OR ALL OF THE STRUCTURAL DESIGN CONFORM TO THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE, AS ALLOWED IN THE CRC, THE STATEMENT SHALL CLEARLY IDENTIFY WHICH PORTION OF THE STRUCTURAL DESIGN CONFORM TO THE CBC OR THAT THE FULL STRUCTURAL DESIGN IS IN CONFORMANCE WITH THE STRUCTURAL REQUIREMENTS OF THE CALIFORNIA BUILDING CODE. (R301.1.3 CRC)</div></div></div></div>	<div><div>OWNER NAME: CLOVER LEAF INVESTMENT LLC</div><div>ADDRESS: 2423 BROOKHAVEN DR, CHINO HILLS CA 91709-1739</div><div>PHONE NUMBER: (626) 677-7101</div><div>PRIMARY ADDRESS: 1625 N. PARK AVE POMONA</div><div>ADU ADDRESS: 1627 N. PARK AVE POMONA</div><div>OCCUPANCY CATEGORY: R-3/U</div><div>APN: 8359-016-044</div><div>CONSTRUCTION TYPE: V-B</div><div>TOTAL LOT AREA: 7,000 SQ.FT.</div><div>YEAR BUILT: 1924</div><div>ZONE: NED1-H</div><div>STRING: [LM2-G1-CX1]</div><div>LEGAL DESCRIPTION: PALOMARES TRACT SW 50 FT OF NE 170 FT OF SE 81.8 FT OF LOT 8 AND SW 50 FT OF NE 170 FT OF NW 58.2 FT OF LOT 9 BLK G</div><div>PRIMARY DWELLING: 13'-3"</div><div>HISTORIC DISTRICT: HACIENDA PARK HISTORIC DISTRICT</div><div>ARCHITECTURAL STYLE: CALIFORNIA BUNGALOW, SIMPLE VERNACULAR</div></div> <div><div>SCOPE OF WORK</div><div>NEW DETACHED ADU 800 SQ.FT.</div><div>NEW PORCH 15 SQ.FT.</div></div> <div><div>AREA TABULATION</div><div><table><tr><td>EXISTING BUILDING</td><td>STORIES: 1</td></tr><tr><td>SINGLE FAMILY DWELLING</td><td>602 SQ.FT.</td></tr><tr><td>PORCH</td><td>71SQ.FT.</td></tr><tr><td>SHED</td><td>214 SQ.FT.</td></tr><tr><td>GARAGE</td><td>445 SQ.FT.</td></tr><tr><td>TOTAL (E) FLOOR AREA TO REMAIN</td><td>1332 SQ.FT.</td></tr><tr><td>PROPOSED BUILDING</td><td>STORIES: 1</td></tr><tr><td>(N) ADU</td><td>800 SQ.FT.</td></tr><tr><td>(N) PORCH</td><td>15 SQ.FT.</td></tr><tr><td>FLOOR AREA RATIO / HABITABLE SPACE</td><td></td></tr><tr><td>(E) SINGLE FAMILY DWELLING</td><td>602 SQ.FT.</td></tr><tr><td>(P) ACCESSORYDWELLING UNIT</td><td>800 SQ.FT.</td></tr><tr><td>TOTAL HABITABLE SPACE</td><td>1402 SQ.FT.</td></tr><tr><td>FAR</td><td>20.0%</td></tr><tr><td>FLOOR AREA RATIO/ TOTAL BUILDING AREA</td><td></td></tr><tr><td>TOTAL BUILDING FOOT PRINT</td><td>2147 SQ.FT.</td></tr><tr><td>LOT AREA</td><td>7000 SQ.FT.</td></tr><tr><td>BUILDING COVERAGE</td><td>30.7%</td></tr></table></div><div>IMPERVIOUS COVERAGE CALCULATION: (71+490+602+214+114+445+961+800+15)=3712/7000=53% LANDSCAPING CALCULATIONS FOR ENTIRE SITE (MINIMUM 20%): (1538+71+103+81+1495)=3288/7000=47%</div><div><div>SPRINKLERS FOR SFD: NO EXISTING SPRINKLERS</div><div>SPRINKLERS FOR ADU: NOT REQUIRED U.N.O</div><div>VERY HIGH FIRE HAZARD SEVERITY ZONE:NO</div><div>SOLAR PV SYSTEM: UNDER SEPARATE PERMIT</div></div></div>	EXISTING BUILDING	STORIES: 1	SINGLE FAMILY DWELLING	602 SQ.FT.	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BUILDING COVERAGE	30.7%	<div><div>C-1 COVER SHEET</div><div>A-1.1 NOTE</div><div>A-1.2 EXISTING PRIMARY DWELLING PHOTOS</div><div>A-1 SITE PLAN</div><div>A-2 FLOOR / ROOF PLANS</div><div>A-3 ELEVATIONS/ SCHEDULES</div><div>A-3.1 COLOR AND MATERIAL SAMPLE BOARD</div><div>A-3.2 ADU RENDERING</div><div>A-4 SECTIONS</div><div>D-1 DETAILS</div><div>D-2 DETAILS</div><div>D-3 DETAILS</div><div>S1.0 STRUCTURAL NOTES</div><div>S2.0 FOUNDATION PLAN</div><div>S2.1 ROOF FRAMING PLAN</div><div>S3.0 STRUCTURAL DETAIL</div><div>S3.1 STRUCTURAL DETAIL</div><div>S3.2 STRUCTURAL DETAIL</div><div>S4.0 STRUCTURAL DETAIL</div><div>M-1 MECHANICAL/ PLUMBING PLANS</div><div>E-1 LIGHTING PLAN/POWER PLAN</div><div>T-1 TITLE 24 REPORT</div><div>T-2 TITLE 24 REPORT</div><div>GB-1 CA GREEN BUILDING STANDARDS CODE</div><div>GB-2 CA GREEN BUILDING STANDARDS CODE</div></div>	<div><div>THE PROJECT SHALL COMPLY WITH ANY AND ALL REQUIREMENTS OF THE LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION INCLUDING THE FOLLOWING.</div><div>2022 CALIFORNIA BUILDING CODE (CBC)</div><div>2022 CALIFORNIA RESIDENTIAL CODE (CRC)</div><div>2022 CALIFORNIA MECHANICAL CODE (CMC)</div><div>2022 CALIFORNIA ELECTRICAL CODE (CEC)</div><div>2022 CALIFORNIA PLUMBING CODE (CPC)</div><div>2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBS)</div><div>2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS (CEES)</div><div>2022 CALIFORNIA FIRE CODE(CFC)</div><div>POMONA CITY CODE</div><div>1.APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITHIN 180 DAYS FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE.</div><div>2.EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED COMMENCES WITHIN 180 DAYS AFTER ITS ISSUANCE OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS. A SUCCESSFUL INSPECTION MUST BE OBTAINED WITHIN 180 DAYS.</div></div>	<div><div>VICINITY MAP</div><div></div><div><div>PROJECT LOCATION</div><div>NEAREST BUS STOP: 0.2 MILES</div></div></div>	<div><div>Location</div><div>1627 N PARK AVE, POMONA, CA 91768</div><div>NOTES: THE DESIGNS AND DRAWINGS REMAIN THE PROPERTY OF ALL CONSTRUCTION AND MAY NOT BE ALTERED, ISSUED OR REPRODUCED WITHOUT THE SPECIFIC WRITTEN CONSENT OF ALL CONSTRUCTION THE CONTRACTOR MUST CHECK AND VERIFY ALL DETAILS AND DIMENSIONS OF THE JOB AND REPORT ANY DISCREPANCIES TO ALL CONSTRUCTION BEFORE COMMENCING WORK. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.</div></div>	<table><tr><td>4</td><td></td><td></td></tr><tr><td>3</td><td>PC CORRECTION Δ</td><td>04/24/2025</td></tr><tr><td>2</td><td>PC CORRECTION Δ</td><td>02/20/2025</td></tr><tr><td>1</td><td>PC CORRECTION Δ</td><td>12/19/2024</td></tr><tr><td>No.</td><td>Revisions</td><td>Date OK</td></tr><tr><td colspan="3">DESIGNER: MICHAEL ZHANG TEL: (626)505-6888</td></tr><tr><td colspan="3">Drawing title</td></tr><tr><td colspan="3">COVER SHEET</td></tr><tr><td>Date: 06-06-2025</td><td colspan="2">Drawing no.</td></tr><tr><td>Scale: NOTED</td><td colspan="2"></td></tr><tr><td>CSR:--</td><td colspan="2"></td></tr><tr><td>Drawn by: HD</td><td colspan="2">C-1</td></tr><tr><td>Checked by: JJ</td><td colspan="2"></td></tr><tr><td colspan="3">File name: 1625 N PARK AVE, POMONA</td></tr><tr><td colspan="3">ALIGCUS</td></tr></table>	4			3	PC CORRECTION Δ	04/24/2025	2	PC CORRECTION Δ	02/20/2025	1	PC CORRECTION Δ	12/19/2024	No.	Revisions	Date OK	DESIGNER: MICHAEL ZHANG TEL: (626)505-6888			Drawing title			COVER SHEET			Date: 06-06-2025	Drawing no.		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ALL CONSTRUCTION
ARCHITECTURAL DESIGN SERVICES
1841 S. SAN GABRIEL BLVD. SUITE D
SAN GABRIEL, CA. 91776
TEL: (626)505-6888



1627 N PARK AVE, POMONA,
CA 91768

DPR 523A (1/95) *Required Information

ALIGCUS



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SAN GABRIEL, CA, 91776
TEL: (626)505-6888



1627 N PARK AVE, POMONA,
CA 91768

Location

NOTES:
THE DESIGNS AND DRAWINGS REMAIN THE
PROPERTY OF ALL CONSTRUCTION AND MAY NOT
BE REPRODUCED OR COPIED WITHOUT
THE SPECIFIC WRITTEN CONSENT OF ALL
CONSTRUCTION
THE CONTRACTOR MUST CHECK AND VERIFY ALL
DETAILS AND DIMENSIONS OF THE JOB AND BE
DISCREPANCIES TO ALL CONSTRUCTION BEFORE
COMMENCING WORK.
WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE
OVER SCALED DIMENSIONS.

4		
3	PC CORRECTION/3	04/24/2025
2	PC CORRECTION/2	02/20/2025
1	PC CORRECTION/1	12/19/2024

DESIGNER:
MICHAEL ZHANG
TEL: (626)505-6888

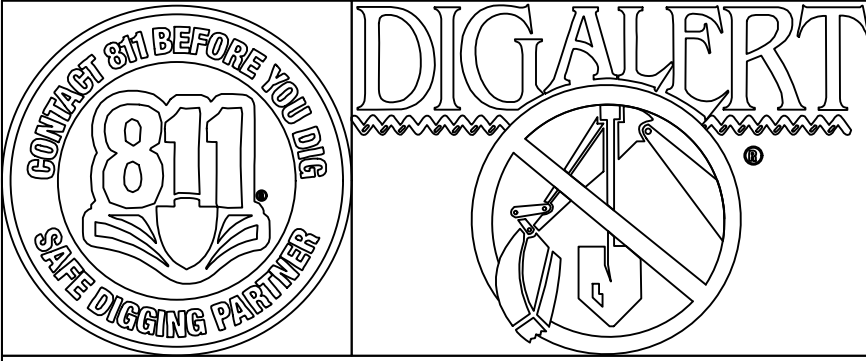
Drawing title

EXISTING PRIMARY
DWELLING PHOTOS

Date: 06-06-2025	A-1.2
Scale: NOTED	
CSR:--	
Drawn by: HD	
Checked by: JJ	

File name: 1625 N PARK AVE, POMONA

ALLIGUS



Low Impact Development Standards Manual

3.2 Stormwater Management Requirements for Small-Scale Non-Designated Projects

Residential development and redevelopment of four units or less are required to implement at least two of the following simple BMPs into the site design:

- Porous pavement: Install porous pavement to allow stormwater runoff to infiltrate through it. Porous pavement includes, but is not limited to, porous asphalt, porous concrete, ungrouted paving blocks, and gravel. At least 50 percent of the pavement at the site must be porous.
- Downspout routing: Each roof downspout must be directed to one of the following simple BMPs, which must have a total capacity of at least 200 gallons:
 - Rain barrel/cistern: Stored stormwater runoff can be used for irrigation or other non-potable uses as permitted under the Los Angeles County Building/Plumbing Code.
 - Rain garden/planter box: Stormwater runoff can be retained or treated by these stormwater quality control measures.
- Disconnect impervious surfaces: Slope driveways and other impervious surfaces to drain toward pervious surfaces. If possible, stormwater runoff should be directed toward vegetated areas or stormwater quality control measures. One-third of the lot must be pervious areas such as landscaping, gravel, or porous pavement. Limit the total area not directed toward vegetated areas or stormwater quality control measures to 10 percent or less of the area of the site.
- Dry well: Install a dry well to infiltrate stormwater runoff. The dry well must be sized to contain and infiltrate at least 200 gallons of stormwater runoff in a 96-hour period.
- Landscaping and landscape irrigation: Plant trees near impervious surfaces to intercept precipitation in their leaves. Trees planted adjacent to impervious surfaces can intercept water that would otherwise become stormwater runoff. A minimum of two 15-gallon trees must be planted a maximum of 10 feet from impervious surfaces. Install irrigation systems that utilize a weather-based smart irrigation controller to minimize water usage and reduce dry weather urban runoff.
- Green roof: Install a green roof to retain and treat stormwater runoff on the rooftop. A green roof must cover at least 50 percent of the total rooftop area.

The project applicant is required to submit a geotechnical report, prepared by a geotechnical engineer, when proposing use of porous pavement or dry wells.

GRADE MOVEMENT (IN CUBIC YARDS)

CUT: ≈8.6 CUBIC YARDS

FILL: 0 CUBIC YARDS

OVER EXCAVATION: 0 CUBIC YARDS

GRADE TO BE RE-USED ON-SITE

PERIMETER X FOOTING WIDTH X FOOTING HEIGHT = CUBIC INCHES

1,394" X 12" X 24" = 401,472 CUBIC INCHES

CUBIC INCHES CONVERT TO CUBIC YARDS

401,472 CUBIC INCHES = 8.6 CUBIC YARDS

EARTHWORK CUT CALCULATON

EX. GRADE

24"

12"

FOOTING @ 288 SQ.IN.

X

= CUT TO BE

8.6 CUBIC YARDS

NOTE AND COMPLY:
UNDER GROUNDING OF ALL EXISTING AND PROPOSED UTILITY LINES IS REQUIRED AS PER CITY OF POMONA MUNICIPAL CODE SECTION 62-31(B)(1).

THE PARKWAY LANDSCAPING SHALL BE MAINTAINED BY THE PROPERTY OWNER PER CITY OF POMONA MUNICIPAL CODE SECTION 46-496.

THE PROPERTY ABUTTING SIDEWALK, PARKWAY AND ALLEY, AS APPLICABLE, SHALL BE MAINTAINED FREE OF WEEDS, RUBBISH AND REFUSE BY THE PROPERTY OWNER, AS REQUIRED BY THE CITY'S MUNICIPAL CODE SECTION 18-261.

NOTE:
NO SHEET FLOW OVER THE DRIVEWAY APPROACH IS ALLOWED. THE RAIN WATER SHALL BE CAPTURED VIA CATCH BASINS/TRENCH DRAINS AND DIRECTED TO THE STREET GUTTER VIA PARWAY DRAINS/CULVERTS CONSTRUCTED UNDER THE SIDEWALK, PER CITY STANDARDS A-29-10/A-30-10

NOTE:
IT IS THE OWNER'S AND THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ALL DAMAGE TO THE EXISTING PUBLIC IMPROVEMENTS DUE TO THE PROPOSED CONSTRUCTION ACTIVITIES AND TO ADDRESS ALL REPAIRS REQUESTED BY THE PUBLIC WORKS INSPECTOR BASED ON THE INSPECTOR'S REVIEW OF THE CURRENT CONDITION OF THE SAID PUBLIC IMPROVEMENTS.

HATCHED PATTERNS LEGEND

LANDSCAPING

HARD-SCAPE.

PIPELINE LEGEND

(N)GAS

(N)WATER

(N)SEWER

DASHED LINE LEGEND

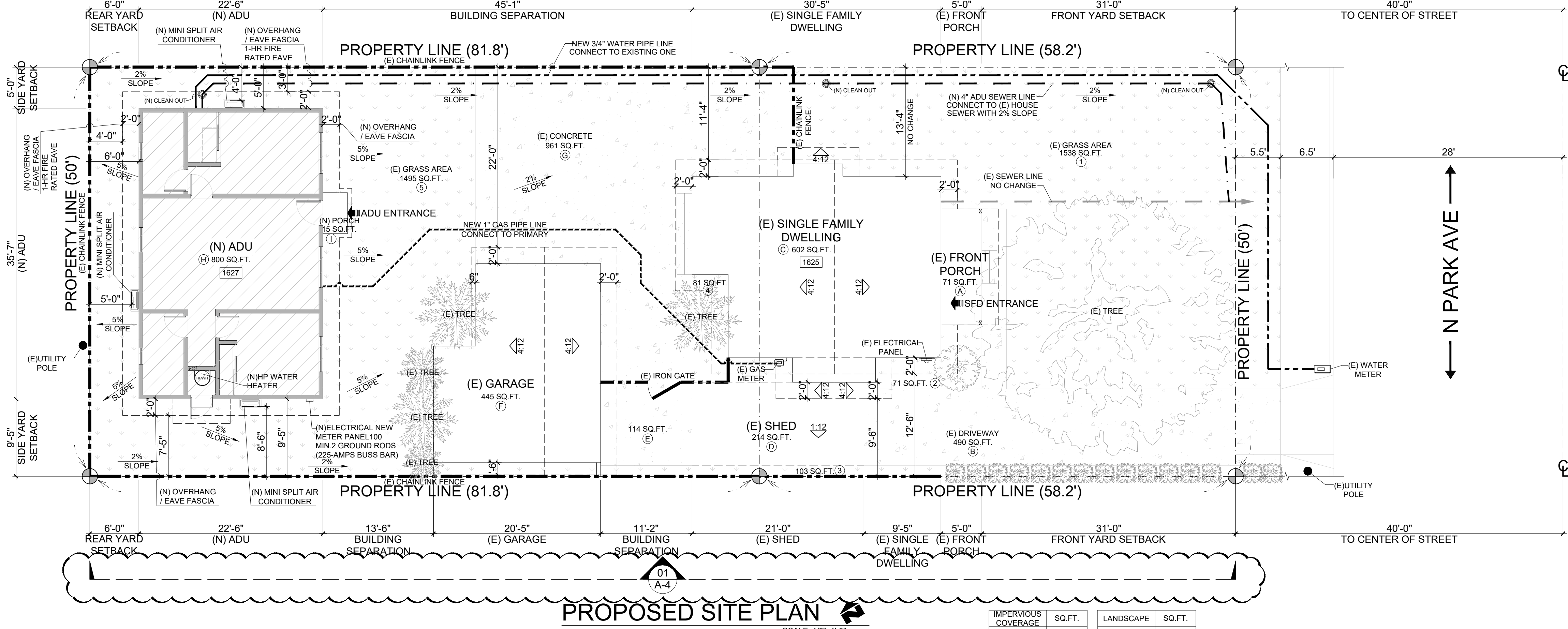
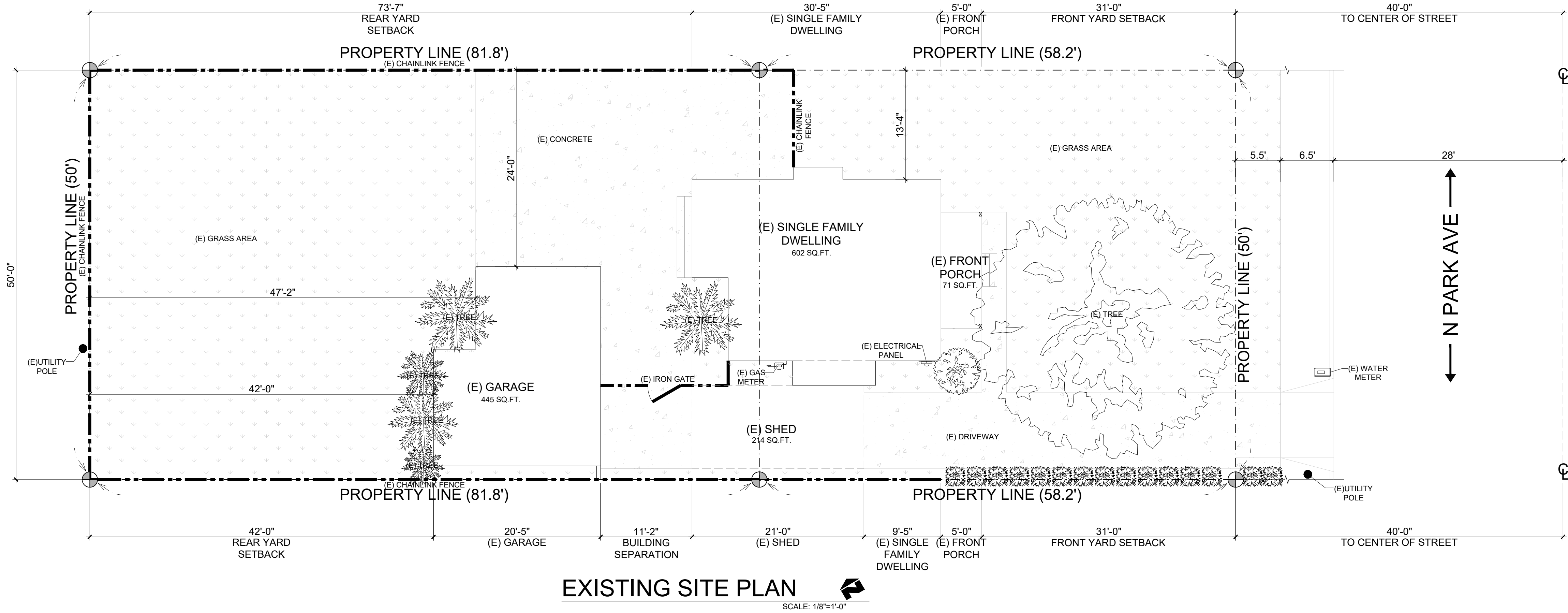
----- EAVES LINE

----- PROPERTY LINE

----- CHAINLINK FENCE

SYMBOL LENGEN

4:12 ROOF PITCH



IMPERVIOUS COVERAGE	SQ.FT.	LANDSCAPE	SQ.FT.
(A)	71	(1)	1538
(B)	490	(2)	71
(C)	602	(3)	103
(D)	214	(4)	81
(E)	114	(5)	1495
(F)	445	TOTAL	3288
(G)	961		
(H)	800		
(I)	15		
TOTAL	3712		

IMPERVIOUS COVERAGE CALCULATION:
(71+490+602+214+114+445+961+800+15)=3712/7000=53%
LANDSCAPING CALCULATIONS FOR ENTIRE SITE (MINIMUM 20%):
(1538+71+103+81+1495)=3288/7000=47%

Location

1627 N PARK AVE, POMONA, CA 91768

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WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

4

3

2

1

No. Revisions Date CK

DESIGNER:
MICHAEL ZHANG
TEL: (626)505-6888

Drawing title

SITE PLAN

Date: 06-06-2025

Scale: NOTED

CSR:--

Drawn by: HD

Checked by: JJ

File name: 1625 N PARK AVE, POMONA

A-1

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ALL CONSTRUCTION
ARCHITECTURAL DESIGN SERVICES

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SAN GABRIEL, CA, 91776
TEL: (626)505-6888

WALL LEGEND

(N) STUD WALL

GENERAL NOTES

SMOKE ALARMS SHALL BE HARDWIRED WITH BATTERY BACKUP AND INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OTHER ALARMS IN THE DWELLING UNIT. RETROFIT ALARMS MAY BE BATTERY OPERATED IN ROOMS WHERE CONSTRUCTION IS NOT PROPOSED.

CARBON MONOXIDE ALARMS SHALL BE HARDWIRED WITH BATTERY BACKUP AND INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OTHER ALARMS IN THE DWELLING UNIT. RETROFIT ALARMS MAY BE BATTERY OPERATED IN ROOMS WHERE ALTERATIONS/REPAIRS DO NOT RESULT IN THE REMOVAL OF WALLS OR CEILING FINISHES.

BUILDING IDENTIFICATION: BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY CRC.R319.1.

WALL COVERINGS IN SHOWERS AND TUBS WITH SHOWERHEADS SHALL BE CEMENT PLASTER, TILE, OR EQUAL TO 6-FEET (72") ABOVE DRAIN. ENCLOSURES MUST BE APPROVED SAFETY GLAZING AND DOORS (22" MIN. WIDTH) MUST SWING OUT OF SHOWERS. WINDOWS IN ENCLOSURE WALLS SHALL BE LABELED SAFETY GLAZING WHEN LESS THAN 60" ABOVE THE DRAIN.

LOW IMPACT DEVELOPMENT (LID): COMPLIANCE WITH LOW IMPACT DEVELOPMENT (LID) STANDARDS TO MITIGATE STORMWATER RUN-OFFS IS REQUIRED. INSTALL THE LID BEST MANAGEMENT PRACTICES (LID-BMP) AS SPECIFIED ON THE PLANS AND SCHEDULE FINAL INSPECTION WITH THE CITY ENGINEERING DIVISION AT (626)813-5255. FINAL INSPECTION APPROVAL AND CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE APPROVED LID-BMP'S ARE INSTALLED AND APPROVED.

ADDITIONAL PERMITS: CONTRACTORS/SUBCONTRACTORS SHALL SUBMIT SEPARATE APPLICATION(S) AND SECURE SEPARATE PERMIT(S) FOR:

A. ELECTRICAL WORK

B. MECHANICAL WORK

C. PLUMBING WORK

LEGEND

HPWH

(N)HP WATER HEATER

(N)ELECTRICAL NEW METER PANEL.100 AMP MIN.2 GROUND RODS (225-AMPS BUSS BAR)

(N) MINI SPLIT AIR CONDITIONER

(N) AIR-CONDITIONING (INDOOR)

"ENERGY STAR" EXHAUST FAN - 50 CFM MIN. VENTED TO OUTSIDE AIR WITH HUMIDITY CONTROL REQUIRED WITH SEPARATE SWITCH

THE BEDROOM SHALL HAVE AN EMERGENCY EGRESS WINDOW THAT MEETS THE FOLLOWING REQUIREMENTS:

1.EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET

2.MIN HORIZ OPENING 20"

3.MIN VERTICAL OPENING 24"

4.SILL IS NO MORE THAN 44" FROM FINISHED FLOOR.

NOTE:AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH REINFORCEMENT INSTALLED IN ACCORDANCE WITH THIS SECTION.

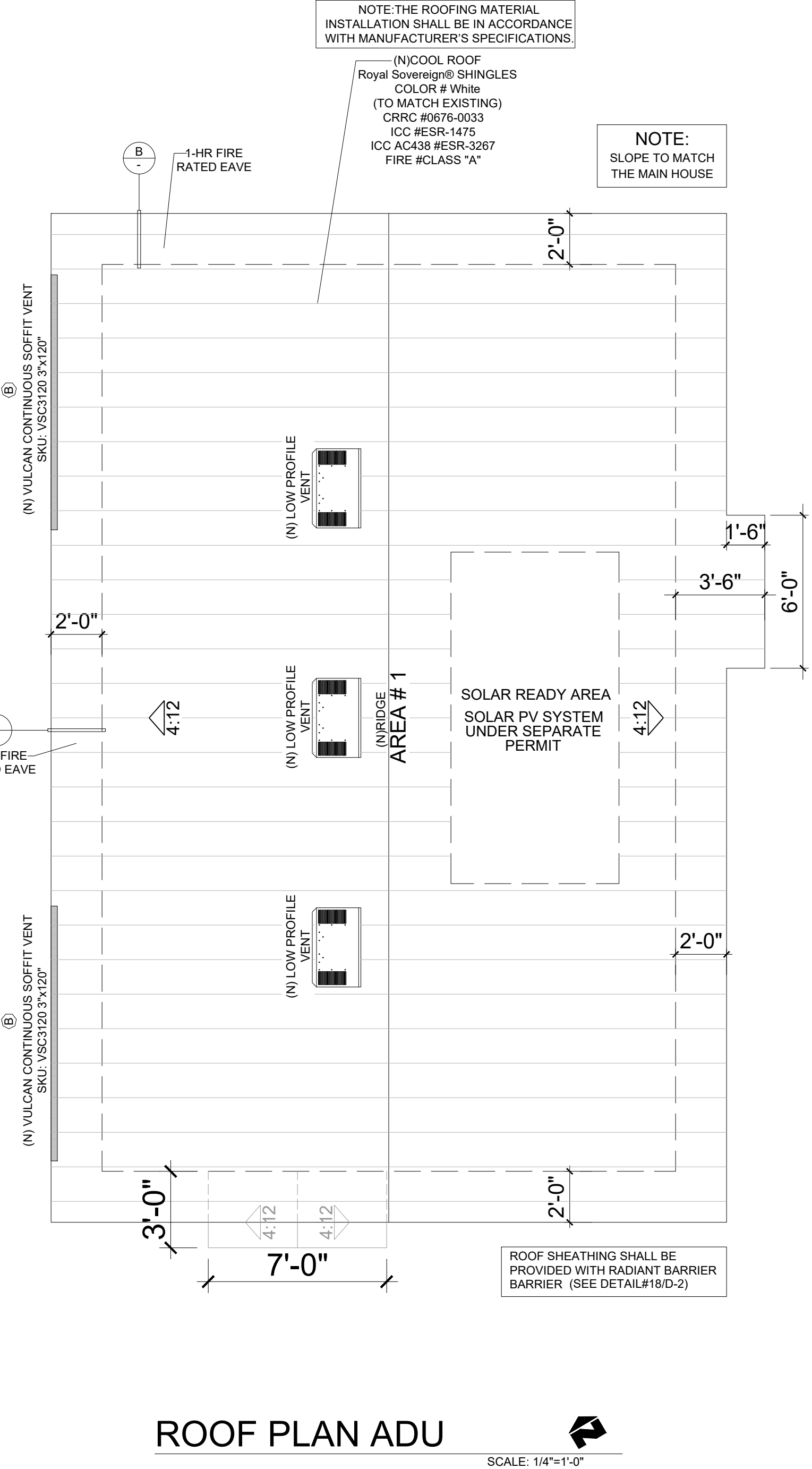
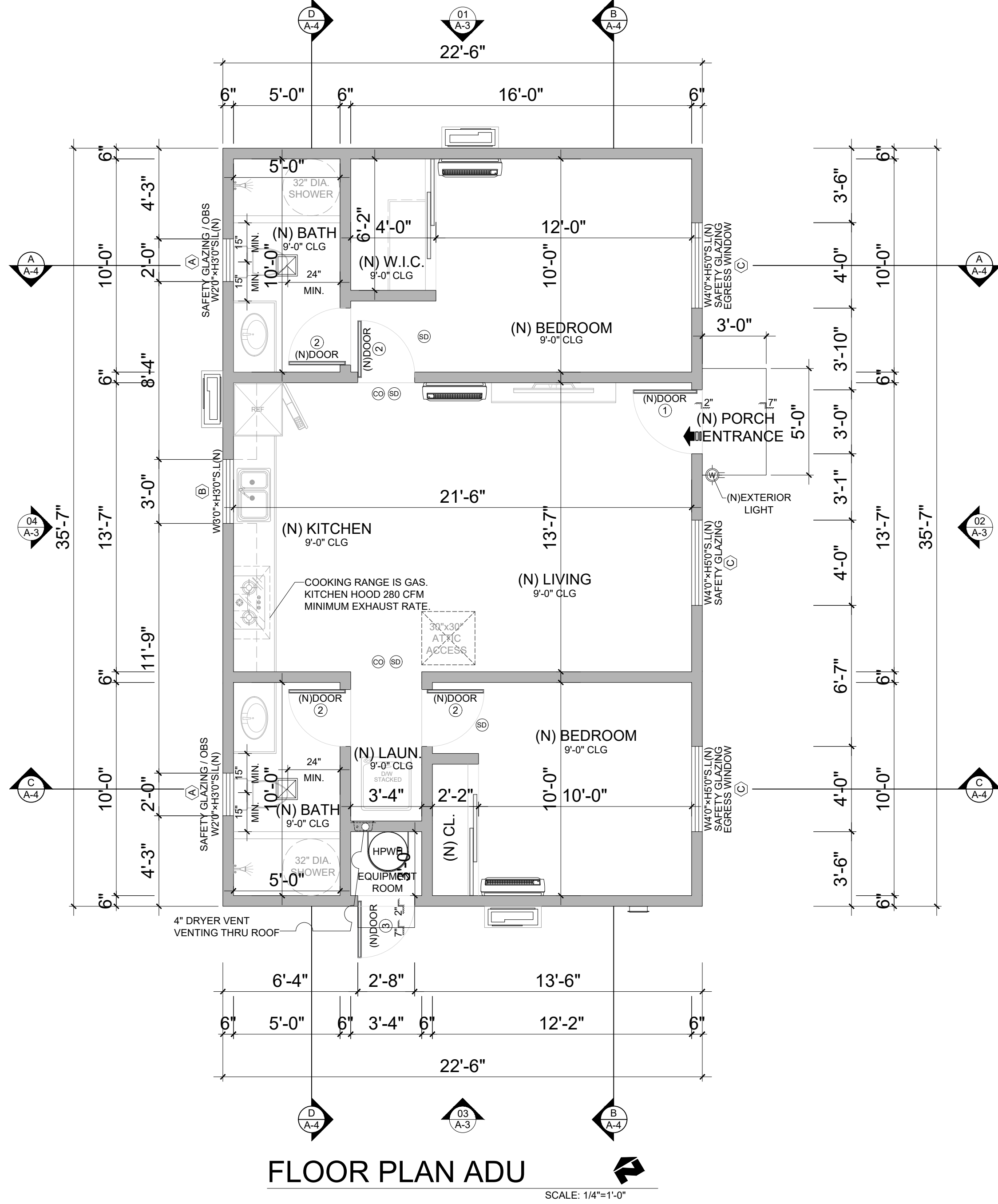
1.REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.

2.REINFORCEMENT SHALL NOT BE LESS THAN 2 BY 8 INCH (51 MM BY 203 MM) NOMINAL LUMBER. [11/2 INCH BY 71/4 INCH (38 MM BY 184 MM) ACTUAL DIMENSION] OR OTHER CONSTRUCTION MATERIAL PROVIDING EQUAL HEIGHT AND LOAD CAPACITY. REINFORCEMENT SHALL BE LOCATED BETWEEN 32 INCHES (812.8 MM) AND 391/4 INCHES (997 MM) ABOVE THE FINISHED FLOOR FLUSH WITH THE WALL FRAMING.

3.WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE, OR ONE SIDE WALL AND THE BACK WALL.

4.SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.

5.BATHTUB AND COMBINATION BATHTUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHTUB AND THE BACK WALL. ADDITIONALLY, BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 6 INCHES (152.4 MM) ABOVE THE BATHTUB RIM.



ATTIC VENTILATION CALCULATION

SQ.FT. x $\frac{1}{300}$ x 144 = SQ.IN.

AREA	AREA #1	AREA #2	AREA #3	AREA #4
FLOOR AREA (UNIT:SQ.FT.)	800			
CALCULATED REQUIRED NET FREE VENTING AREA (UNIT:SQ.IN.)	384			

NET FREE VENTING AREA CALCULATION

INTAKE NFVA (50% OF REQ. VENTILATION)

EAVE VENTS (48.9 SQ.IN. / VENT)			
CONTINUOUS SOFFIT VENT (96 SQ.IN. / VENT)	(A)		
CONTINUOUS SOFFIT VENT (144 SQ.IN. / VENT)	(B)	2	
CONTINUOUS SOFFIT VENT (192 SQ.IN. / VENT)	(C)		
TOTAL NFVA PROVIDED	288		

EXHAUST NFVA (50% OF REQ. VENTILATION)

TURBINE VENTS 14" (132 SQ.IN. / VENT)			
DORMER VENTS (100 SQ.IN. / VENT) <td></td> <td></td> <td></td>			
TURBINE VENTS 12" (80 SQ.IN. / VENT) <td></td> <td></td> <td></td>			
OHAGIN LOW PROFILE VENT (72 SQ.IN. / VENT)	3		
STATIC ROOF VENTS (60 SQ.IN. / VENT)			
ROOF Fridge VENT (18 SQ.IN. / FT.)			
TOTAL NFVA PROVIDED	216		
TOTAL ATTIC VENTS	5		

SAFETY GLAZING = TEMPERED GLAZING

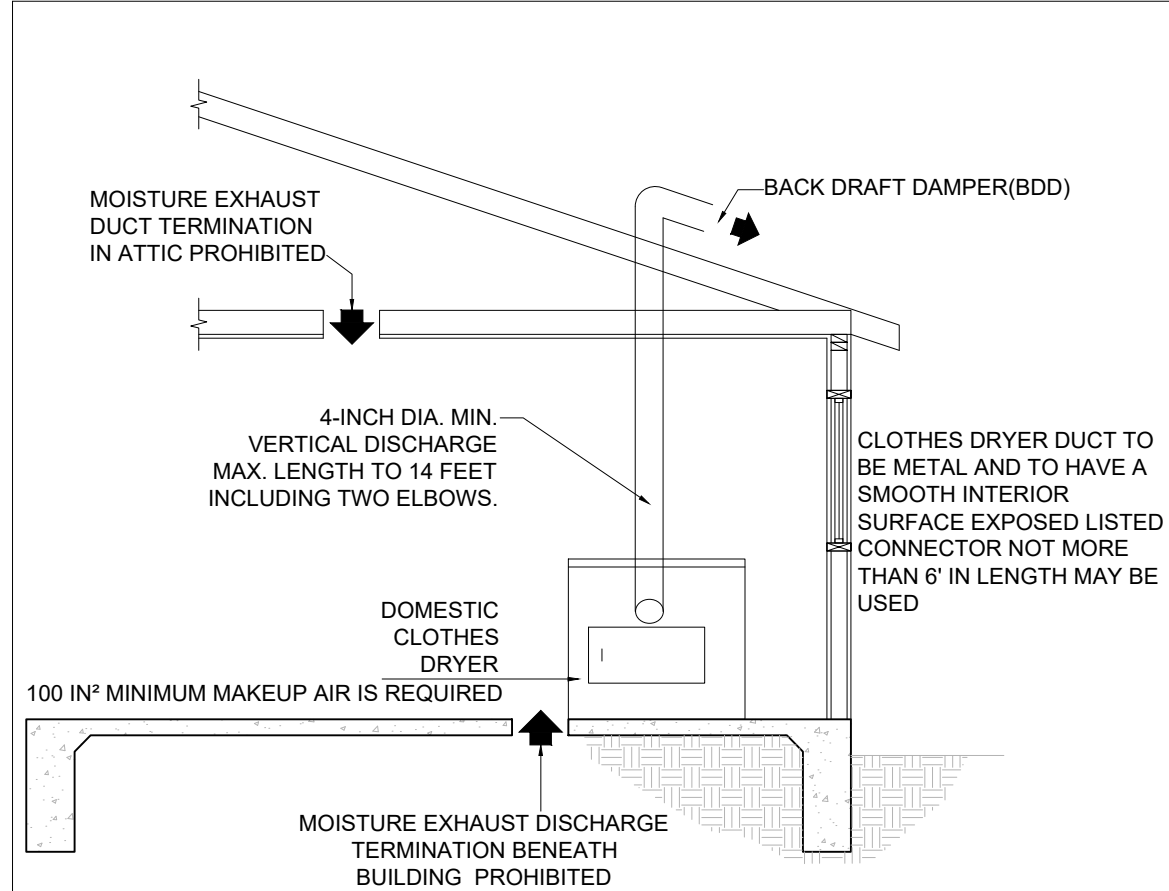
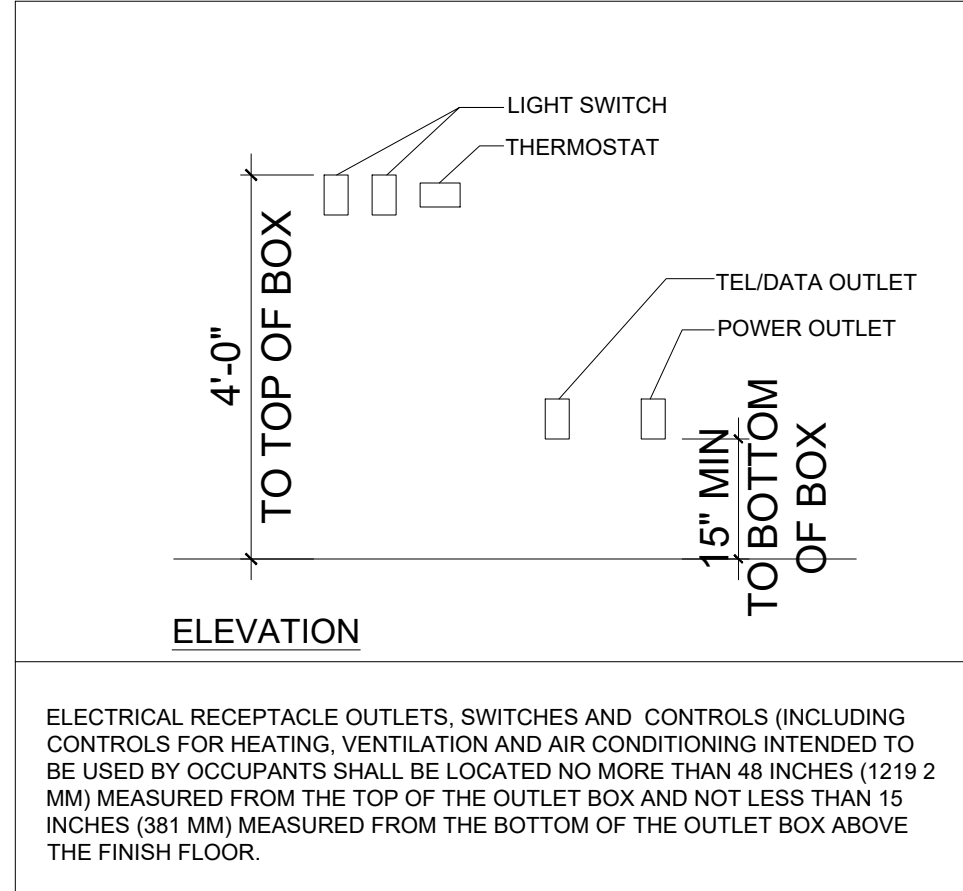
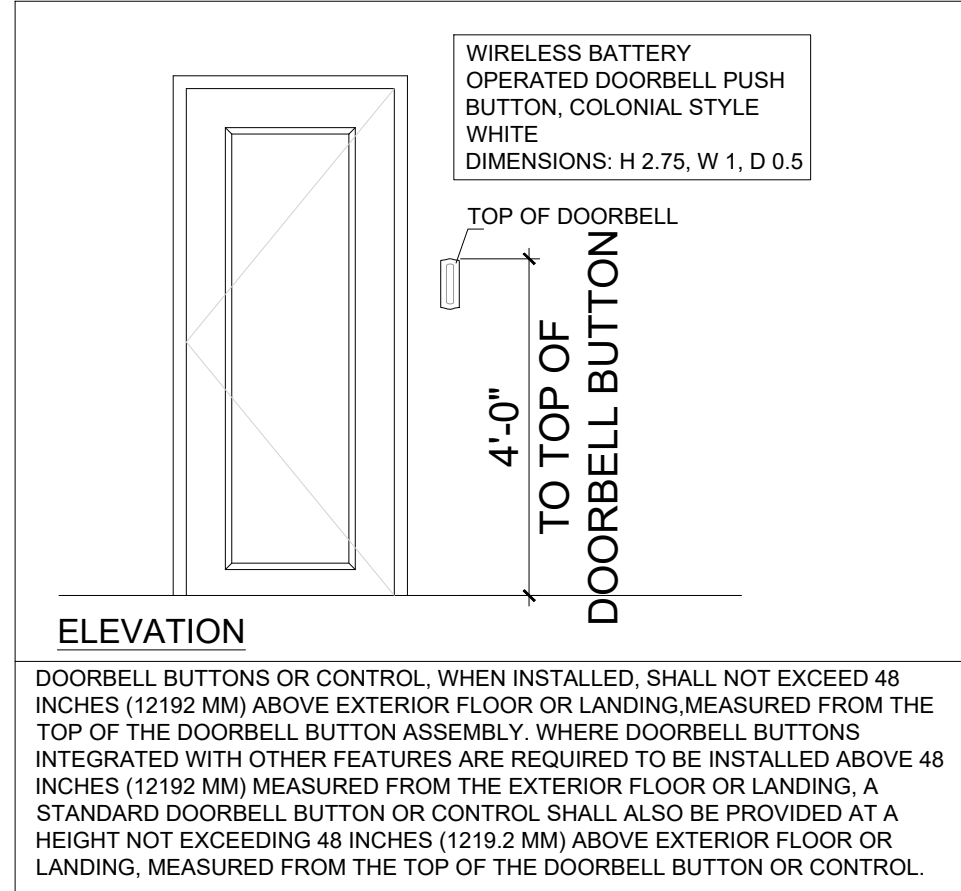
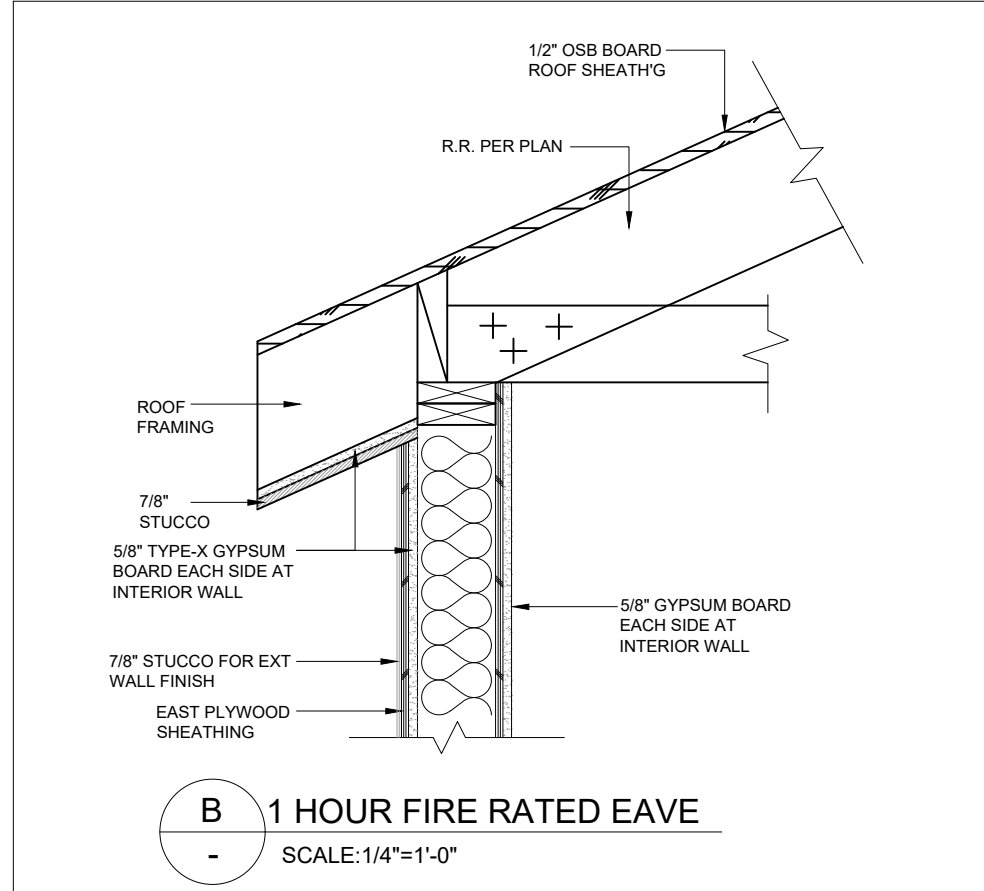
THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BE COMPLETED

SPECIFIC NOTES

1) SEPERATE SUBMITTAL FOR PV SYSTEM SHALL BE SUBMITTED TO THE BUILDING DIVISION FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION

2) THE SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE COMPLIANT WITH CRC R314 AND R315

3) A MIN OF 1" OF SPACE SHALL BE PROVIDED BETWEEN THE UNSULATION AND THE ROOF SHEATING AND AT THE LOCATION OF VENTS CRC R806.3.3



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SAN GABRIEL, CA 91776
TEL: (626)505-6888



1627 N PARK AVE, POMONA,
CA 91768

Location

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4		
3	PC CORRECTION/3	04/24/2025
2	PC CORRECTION/2	02/20/2025
1	PC CORRECTION/1	12/19/2024

No. Revisions Date CK

DESIGNER:
MICHAEL ZHANG
TEL: (626)505-6888

Drawing title

FLOOR / ROOF
PLANS

Date: 06-06-2025

Scale: NOTED

CSR:--

Drawn by: HD

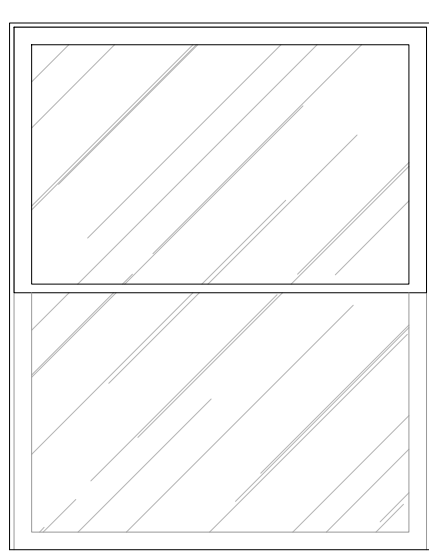
Checked by: JJ

File name: 1625 N PARK AVE, POMONA

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COLOR AND MATERIAL SAMPLE BOARD

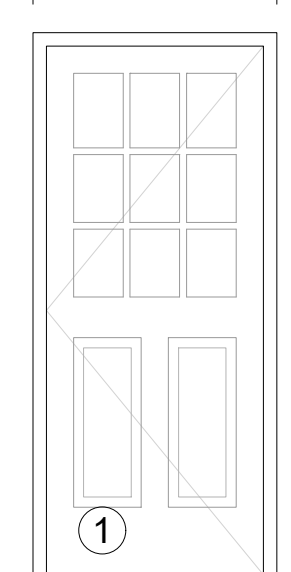
NOTE: TO MATCH PRIMARY DWELLING



WINDOW

PRODUCT NUMBER	MANUFACTURER SPECIFICATIONS	CLOOR
CUSTOM WINDOWS	PELLA® RESERVE™ – TRADITIONAL WOOD SINGLE-HUNG WINDOW DIMENSIONS : AVAILABLE IN SIZES UP TO 48" X 96" (PLEASE REFER TO ELEVATIONS/SCHEDULES FOR SPECIFIC DIMENSIONS)	PREFINISHED PINE (EXTERIOR FINISH IS REQUIRED)

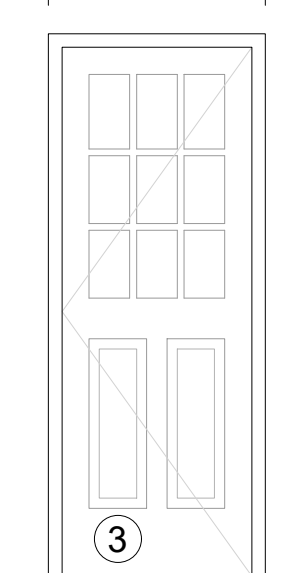
3'-0"



EXTERIOR DOOR

PRODUCT NUMBER	MANUFACTURER SPECIFICATIONS	CLOOR
MODEL # O10790	JELD-WEN 36 IN. X 80 IN. 9 LITE UNFINISHED WOOD PREHUNG LEFT-HAND INSWING ENTRY DOOR DIMENSIONS : H 80,W 36 IN, D 2 IN	PREFINISHED WOOD (EXTERIOR FINISH IS REQUIRED)

2'-8"



EXTERIOR DOOR

PRODUCT NUMBER	MANUFACTURER SPECIFICATIONS	CLOOR
MODEL # O10775	JELD-WEN 32 IN. X 80 IN. 9 LITE UNFINISHED WOOD PREHUNG LEFT-HAND INSWING ENTRY DOOR DIMENSIONS : H 80,W 32 IN, D 2 IN	PREFINISHED WOOD (EXTERIOR FINISH IS REQUIRED)



PRODUCT NUMBER	MANUFACTURER SPECIFICATIONS	CLOOR
MODEL # SHL39	PINECROFT PINE LOUVERED SHUTTERS PAIR UNFINISHED DIMENSIONS : W 15 IN, D 1.125 IN,H PENDING	PREFINISHED PINE (EXTERIOR FINISH IS REQUIRED)



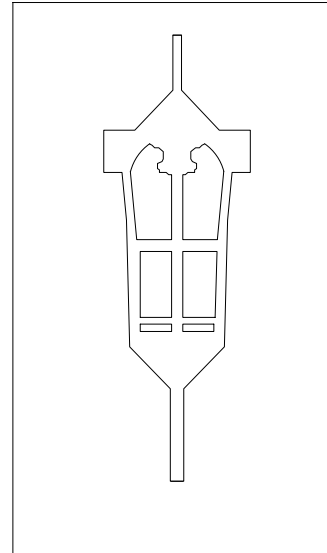
WINDOW / DOOR / LOUVERED SHUTTERS EXTERIOR FINISH

PRODUCT NUMBER	MANUFACTURER SPECIFICATIONS	CLOOR
DEA180 RL#469	DUNN-EDWARDS PAINTS	DEEP PINE

PRODUCT NUMBER	MANUFACTURER SPECIFICATIONS	CLOOR
MODEL # 4250 RT	SAN RAFAEL 1-LIGHT RUST COACH OUTDOOR WALL LIGHT FIXTURE WITH CLEAR GLASS DIMENSIONS : H 22 IN, W 9.5 IN, D 10 IN	BLACK



EXTERIOR LIGHT



EXTERIOR LIGHT

PRODUCT NUMBER	MANUFACTURER SPECIFICATIONS	CLOOR
MODEL # 60150735PAL	MAGNOLIA HOME HARDIE PLANK HZ5 6.25 IN. X 144 IN. FIBER CEMENT SMOOTH LAP SIDING BIRCH TREE DIMENSIONS : COVER AREA (SQ.FT.) 5 SQ.FT. PRODUCT THICKNESS (IN.) 0.312 IN PRODUCT LENGTH (IN.) 144 IN PRODUCT WINDTH (IN.) 6.25 IN	WHITE

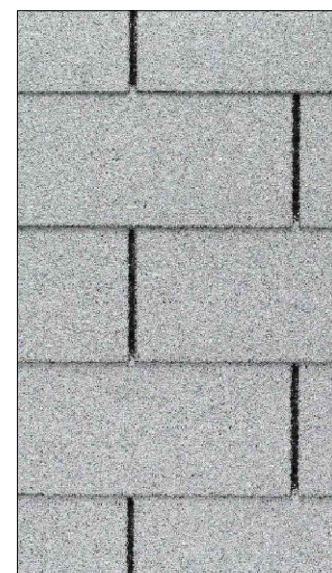


SIDING

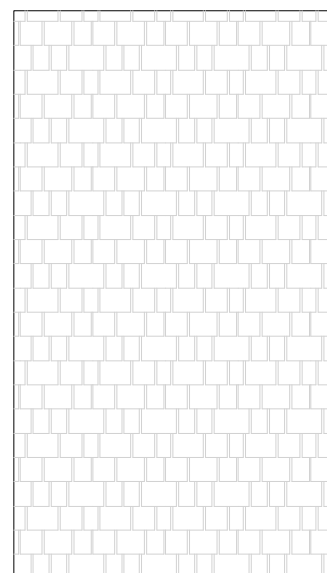


SIDING

PRODUCT NUMBER	MANUFACTURER SPECIFICATIONS	CLOOR
MODEL # 0202920	ROYAL SOVEREIGN WHITE ALGAE RESISTANT 3-TAB ROOFING SHINGLES DIMENSIONS : COVER AREA (SQ.FT.) 33.33 SQ.FT. PRODUCT THICKNESS (IN.) 2.4 IN PRODUCT LENGTH (IN.) 36 IN PRODUCT WINDTH (IN.) 26 IN	WHITE

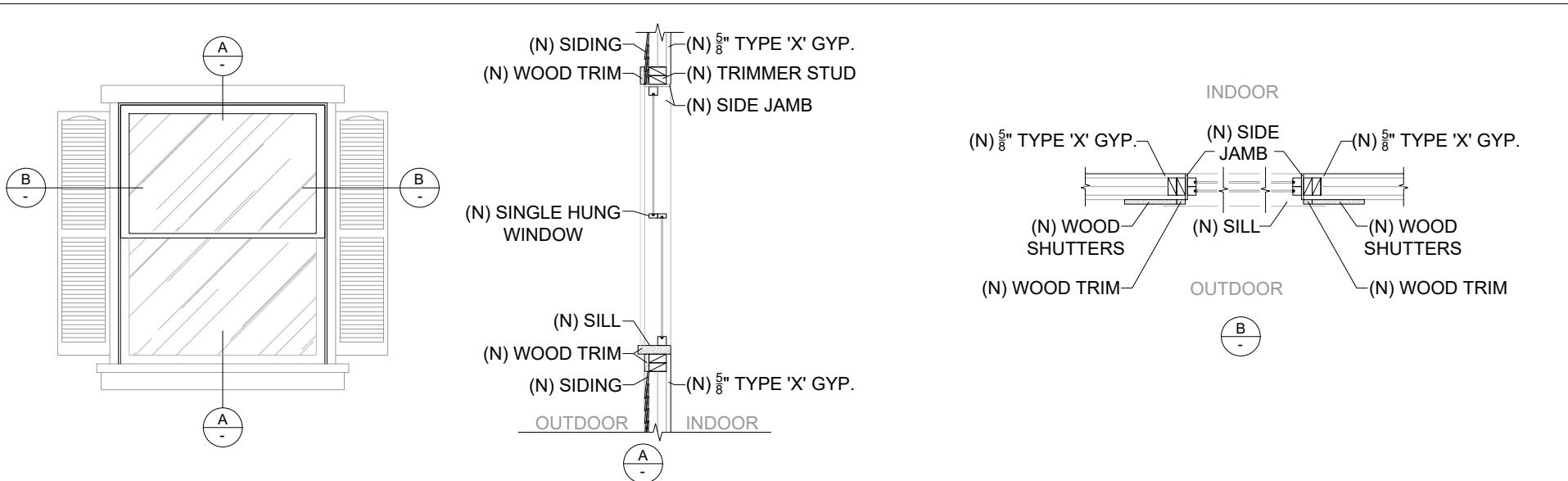


ROOF MATERIAL

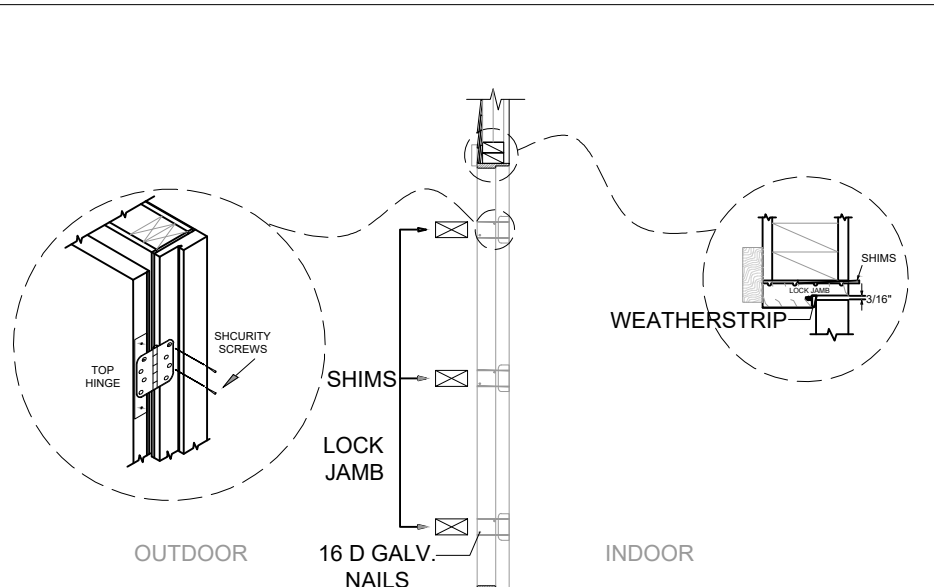


ROOF MATERIAL

WINDOW AND DOOR DETAIL

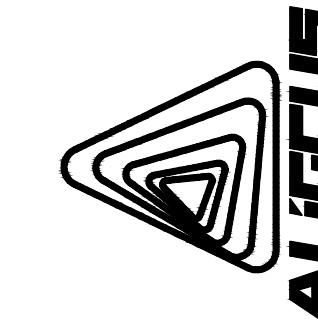


SINGLE HUNG WINDOW DETAIL



DOOR DETAIL

ALI CONSTRUCTION
ARCHITECTURAL DESIGN SERVICES
1841 S. SAN GABRIEL BLVD., SUITE D
SAN GABRIEL, CA. 91776
TEL: (626)505-6888



1627 N PARK AVE, POMONA,
CA 91768

Location

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4		
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1	PC CORRECTION/1	12/19/2024

No. Revisions Date CK

DESIGNER:
MICHAEL ZHANG
TEL: (626)505-6888

Drawing title
COLOR AND MATERIAL
SAMPLE BOARD

Date: 06-06-2025	Drawing no. A-3.1
Scale: NOTED	
CSR:--	
Drawn by: HD	
Checked by: JJ	
File name: 1625 N PARK AVE, POMONA	

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2	PC CORRECTION/2	02/20/2025	
3	PC CORRECTION/3	04/24/2025	

DESIGNER:
MICHAEL ZHANG
TEL: (626)505-6888

Drawing title
ADU
RENDERING

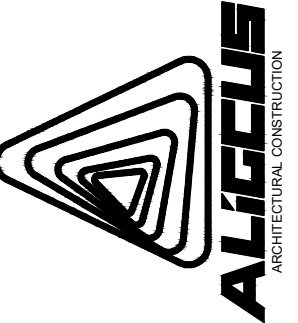
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Scale: NOTED	A-3.2
SR:--	
Drawn by: HD	
Checked by: JJ	

File name: 1625 N PARK AVE, POMONA

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Location

1627 N PARK AVE, POMONA,
CA 91768



ALL CONSTRUCTION
ARCHITECTURAL DESIGN SERVICES
1841 S. SAN GABRIEL BLVD, SUITE D
SAN GABRIEL, CA, 91776
TEL: (626)505-6888

A MINIMUM 0.019-INCH (0.5 MM)(NO. 26 GALVANIZED SHEET GAGE) WEEP SCREED WITH A 3-3/4" FLANGE AT STUCCO SIDING PLACED A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS (CRC R703.6.2.1) BOTH ADU AND DWELLING

NOTE:THE EXTERIOR DESIGN OF THE ADU SHALL MATCH THAT OF THE MAIN DWELLING UNIT IN TERMS OF BUILDING FORM,MATERIALS USED,COLOR,EXTERIOR FINISHES,ROOF FORM,AND STYLE OF WINDOWS/DOOR

ROOF INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

ROOF PITCH NOTE

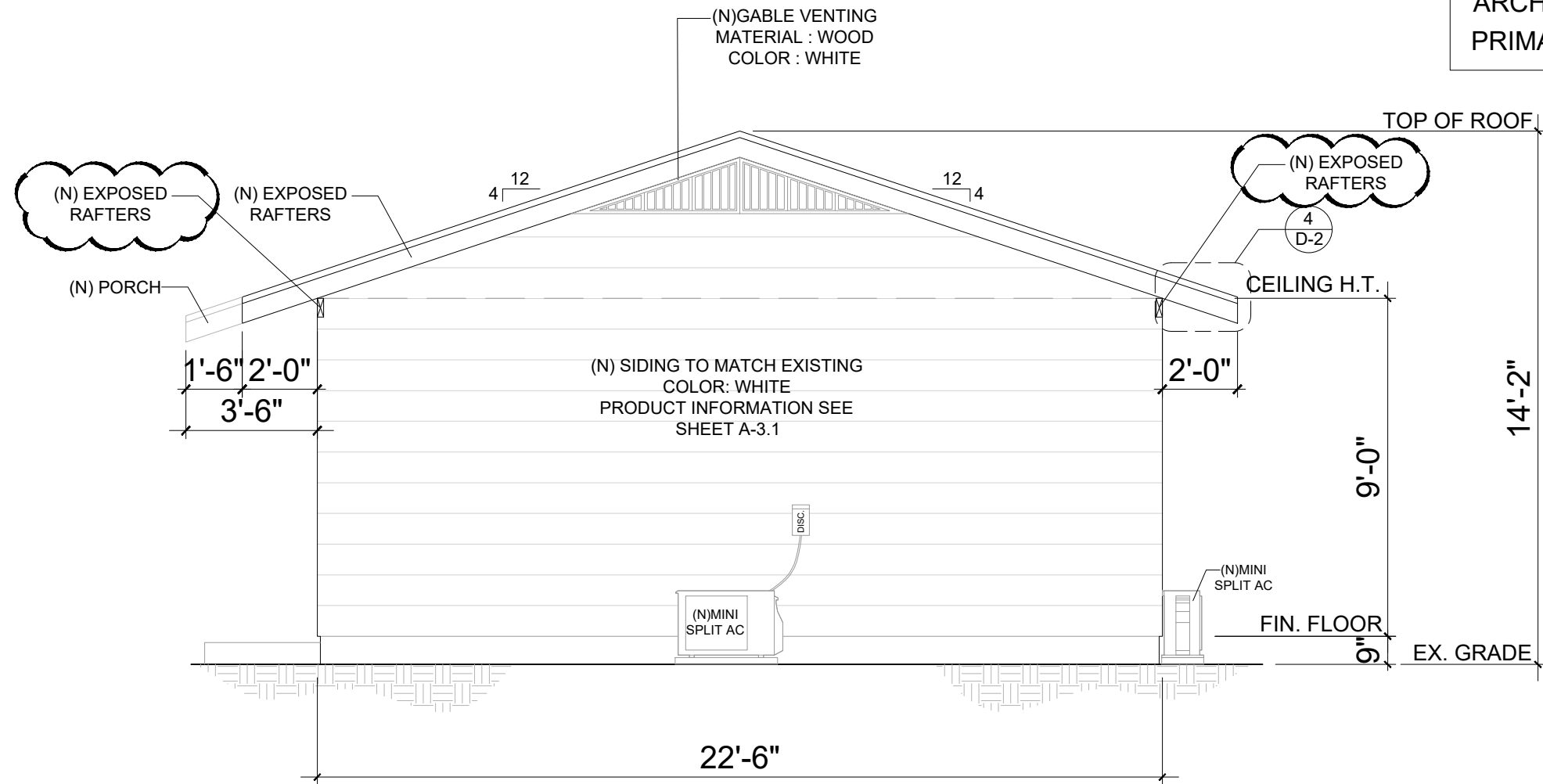
PRIMARY HOUSE ROOF PITCH ~ 4:12
PROPOSED ADU ROOF PITCH ~ 4:12
ROOF PITCH WILL MATCH THE EXISTING PRIMARY HOUSE

NOTE:

- 1.ALL EXTERIOR WINDOWS ARE SINGLE-HUNG AND HAVE A WOOD TRIM
- 2.ALL EXTERIOR WINDOWS HAVE SHUTTERS
- 3.ALL EXTERIOR DOORS HAVE A WOOD TRIM

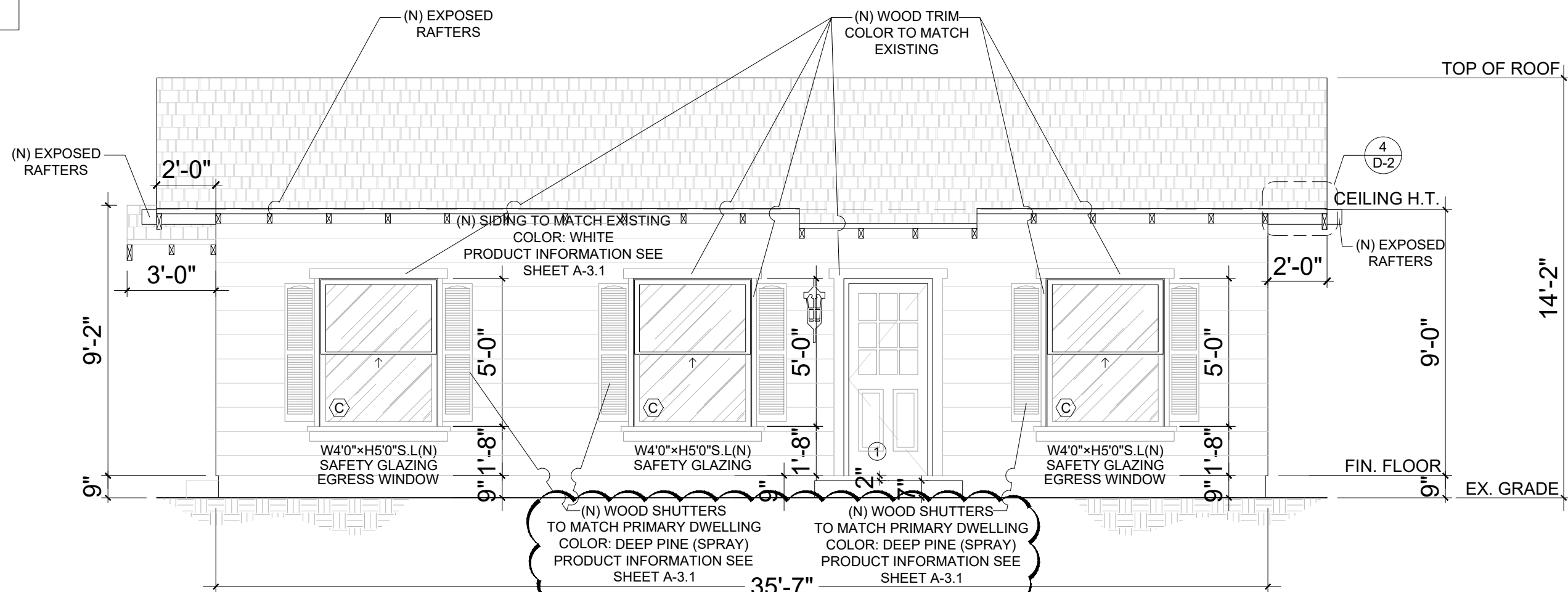
ADU WILL MATCH IN APPEARANCE AND ARCHITECTURAL DESIGN TO THAT OF THE PRIMARY DWELLING

NOTE:
EXISTING DWELLING SIDING: 6" WIDTH,
SIDING ON THE NEW ADU MATCH THE
WIDTH OF THE EXISTING DWELLING



01 NORTH ELEVATION

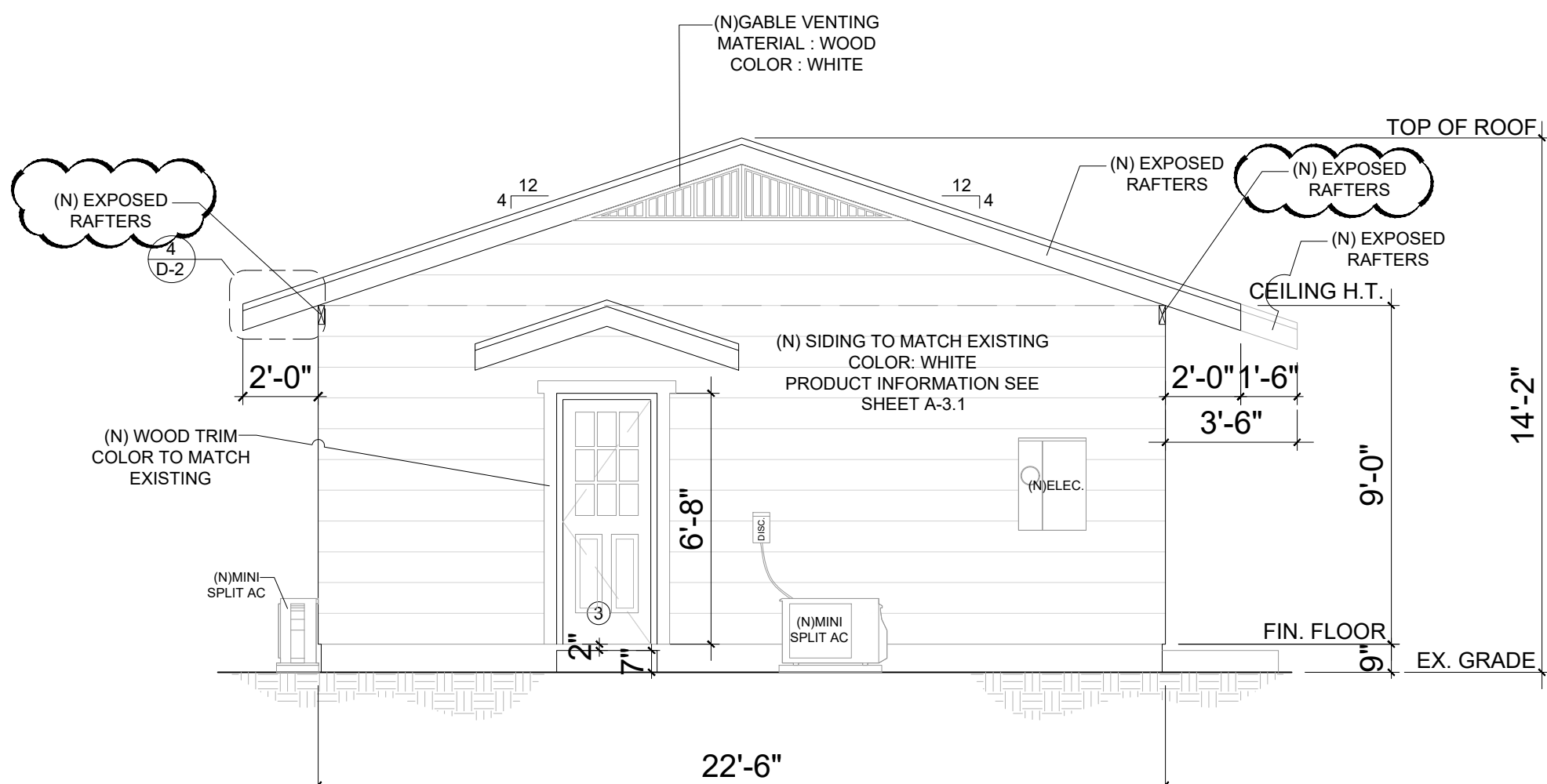
SCALE: 1/4"=1'-0"



02 EAST ELEVATION

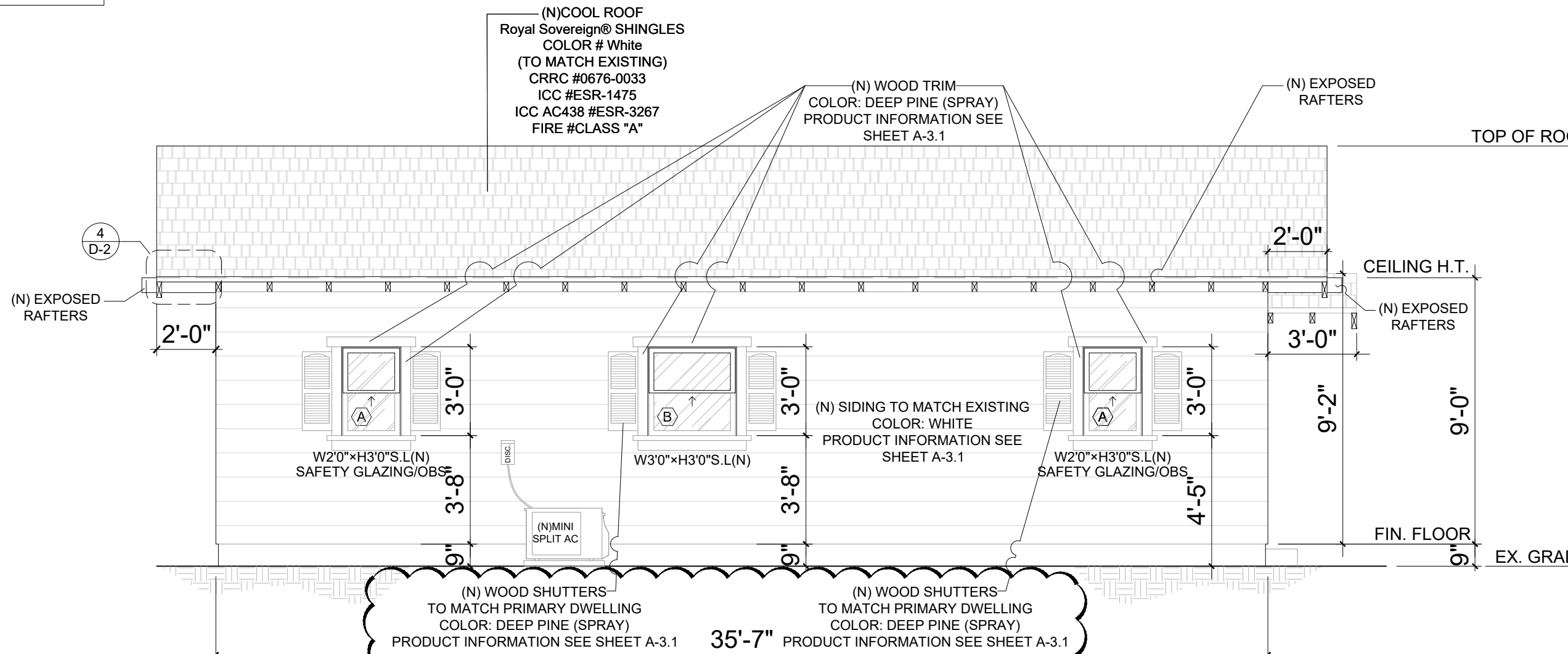
SCALE: 1/4"=1'-0"

DETAIL NOTE:
WINDOW AND DOOR
DETAIL SEE SHEET A-3.1



03 SOUTH ELEVATION

SCALE: 1/4"=1'-0"



04 WEST ELEVATION

SCALE: 1/4"=1'-0"

DOOR AND WINDOW NOTE
THE DOOR AND WINDOW
COLOR, MATERIAL, TRIM, AND
STYLE TO MATCH EXISTING

THE NFRC TEMPORARY LABEL DISPLAYED ON
WINDOWS MUST REMAIN ON THE UNIT UNTIL
FINAL INSPECTION HAS BE COMPLETED

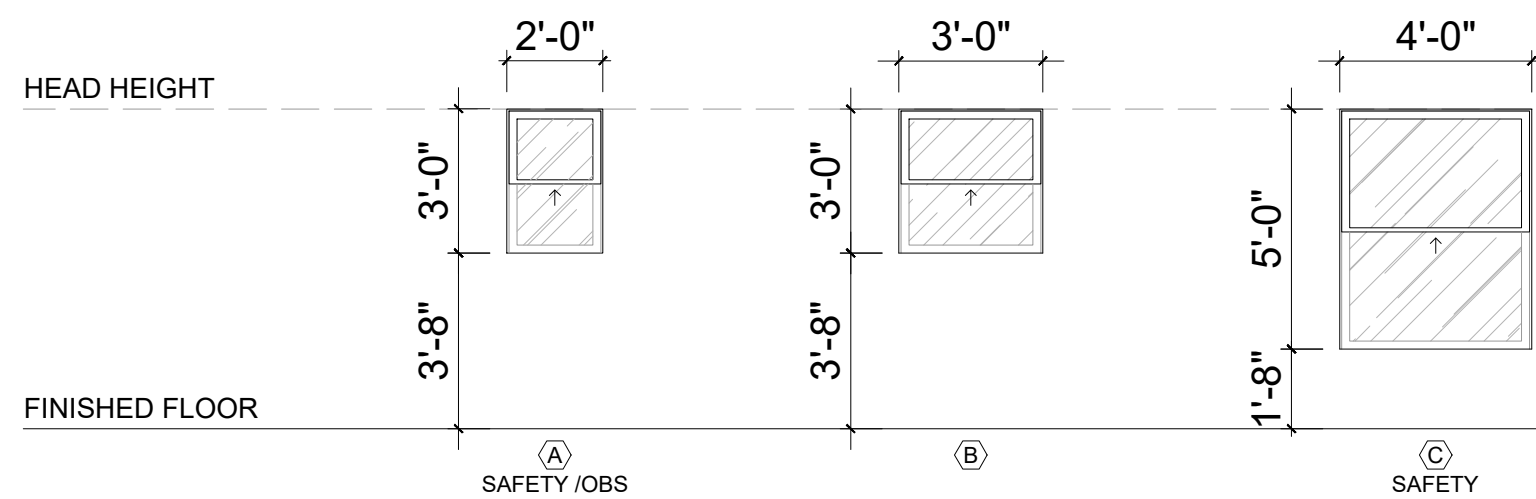
*OBS = OBSCURED GLAZING
*SAFETY = TEMPERED GLAZING

THE BEDROOM SHALL HAVE AN EMERGENCY EGRESS
WINDOW THAT
MEETS THE FOLLOWING REQUIREMENTS:
1.EMERGENCY ESCAPE AND RESCUE OPENINGS
SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5
SQUARE FEET
2.MIN HORIZ OPENING 20"
3.MIN VERTICAL OPENING 24"
4.SILL IS NO MORE THAN 44" FROM FINISHED FLOOR.

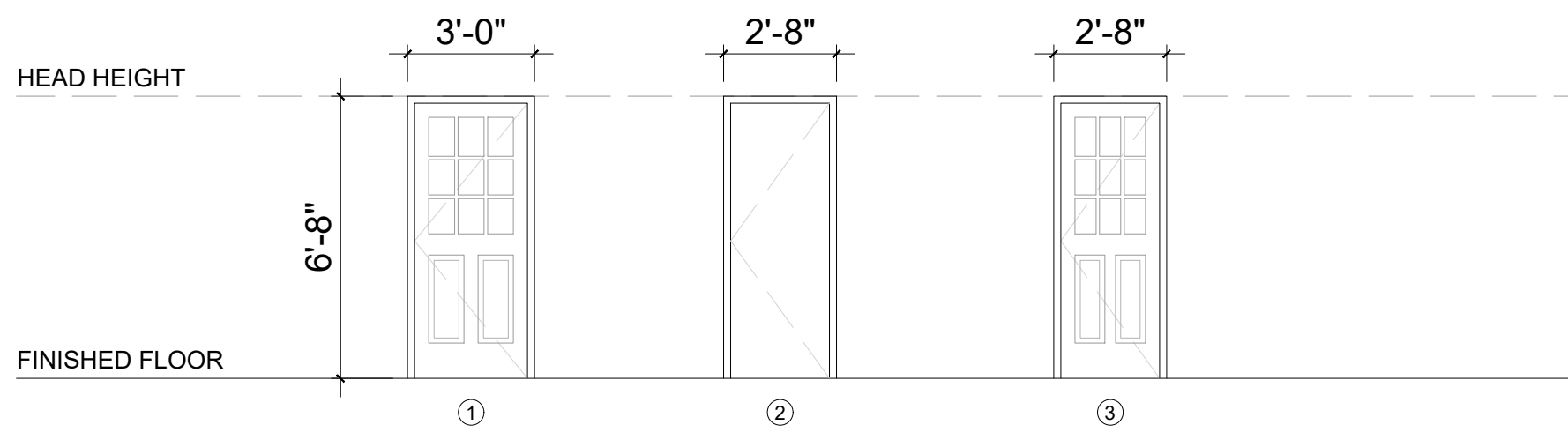
THE LOAD RESISTANCE OF GLASS UNDER UNIFORM
LOAD SHALL BE DETERMINED IN ACCORDANCE
WITH ASTM E1300.

DOOR AND WINDOW NOTE
THE STYLE OF THE DOORS AND
WINDOWS IS WOOD, IN THE
CALIFORNIA BUNGALOW STYLE

THE DOOR AND WINDOW
COLOR TO MATCH EXISTING

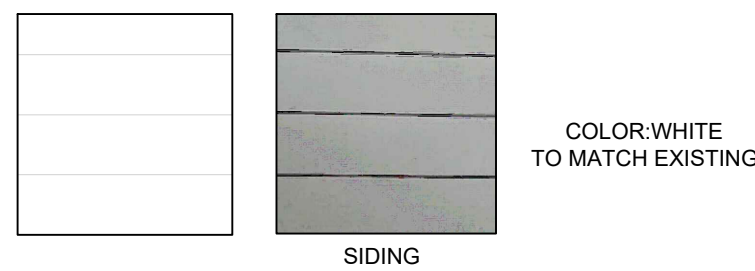


WINDOW SCHEDULE										
SIZE			MATERIAL							
SYMBOL	WIDTH	HEIGHT	WOOD	SAFETY	OBS	U-FACTOR	SHGC	REMARK	UNITS	STYLE
(A)	2'-0"	3'-0"	X	X	X	0.30	0.23	BATHROOM	2	SINGLE-HUNG
(B)	3'-0"	3'-0"	X			0.30	0.23	KITCHEN	1	SINGLE-HUNG
(C)	4'-0"	5'-0"	X	X		0.30	0.23	BEDROOM/ LIVING	3	SINGLE-HUNG



DOOR SCHEDULE (U-FACTOR: 0.2 SHGC: 0.23)										
SYMBOL	SIZE	THICKNESS	MATERIAL	CONSTRUCT.	TYPE	FINISH	GLAZING	REMARK	UNITS	
①	3'-0" X 6'-8"	1 3/8"	WOOD	SOLID	TEMP. HARDBOARD	PAINTED	N/A	EXTERIOR	1	
②	2'-8" X 6'-8"	1 3/8"	WOOD	SOLID	TEMP. HARDBOARD	PAINTED	N/A	INTERIOR	4	
③	2'-8" X 6'-8"	1 3/8"	WOOD	SOLID	TEMP. HARDBOARD	PAINTED	N/A	EXTERIOR	1	

COLOR BOARD



Location

1627 N PARK AVE, POMONA,
CA 91768

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OVER SCALED DIMENSIONS.

No.	Revisions	Date	CK
4			
3	PC CORRECTION/3	04/24/2025	
2	PC CORRECTION/2	02/20/2025	
1	PC CORRECTION/1	12/19/2024	

DESIGNER:
MICHAEL ZHANG
TEL: (626)505-6888

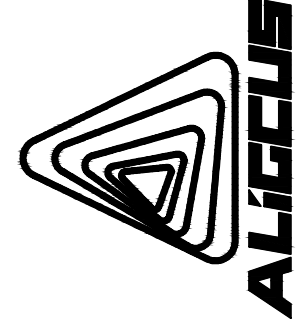
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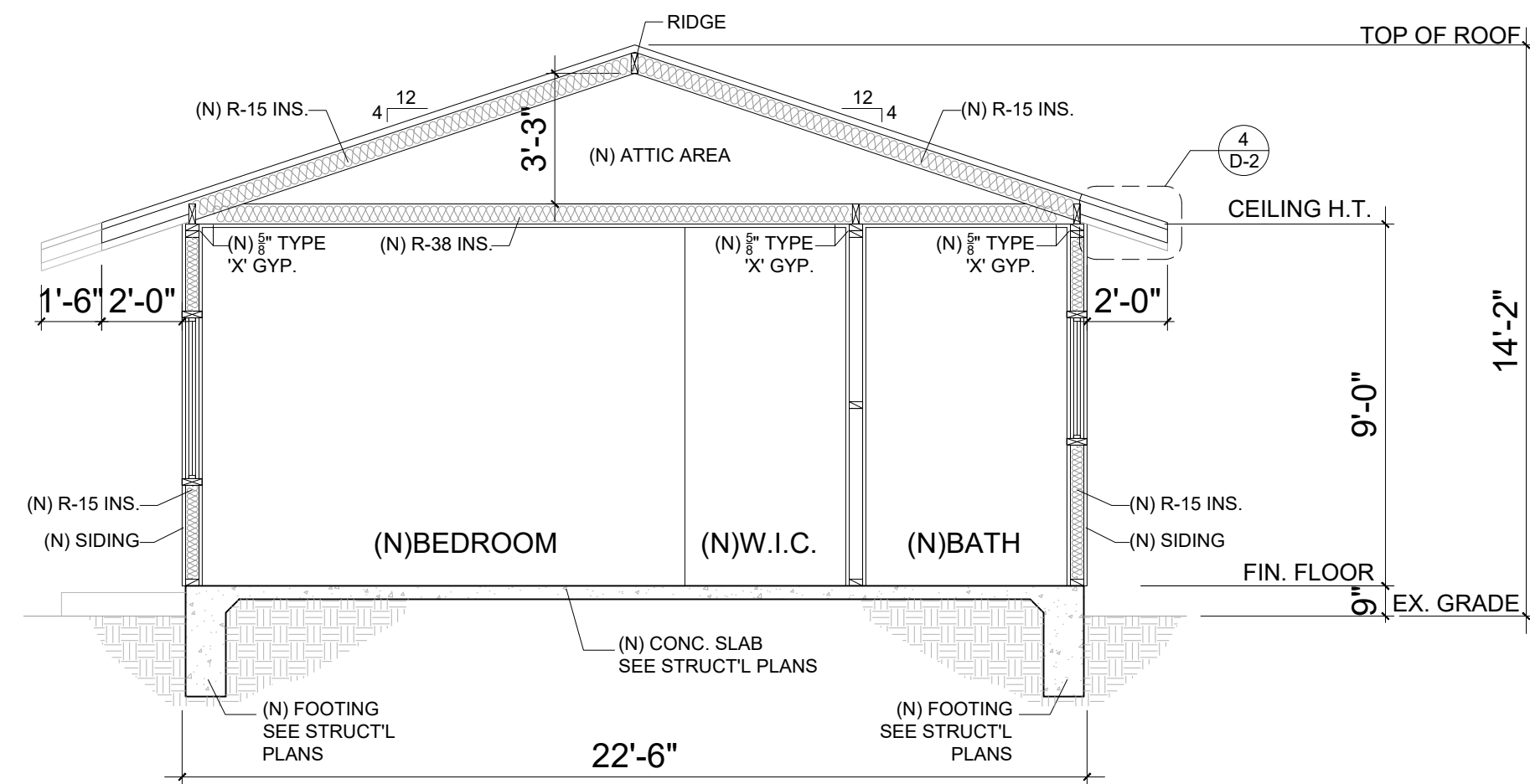
ELEVATIONS /
SCHEDULES

Date: 06-06-2025	Drawing no. A-3
Scale: NOTED	
CSR:--	
Drawn by: HD	
Checked by: JJ	
File name: 1625 N PARK AVE, POM	

ALIGCUS

ALL CONSTRUCTION
ARCHITECTURAL DESIGN SERVICES
1841 S SAN GABRIEL BLVD, SUITE D
SAN GABRIEL, CA, 91776
TEL: (626)505-6888

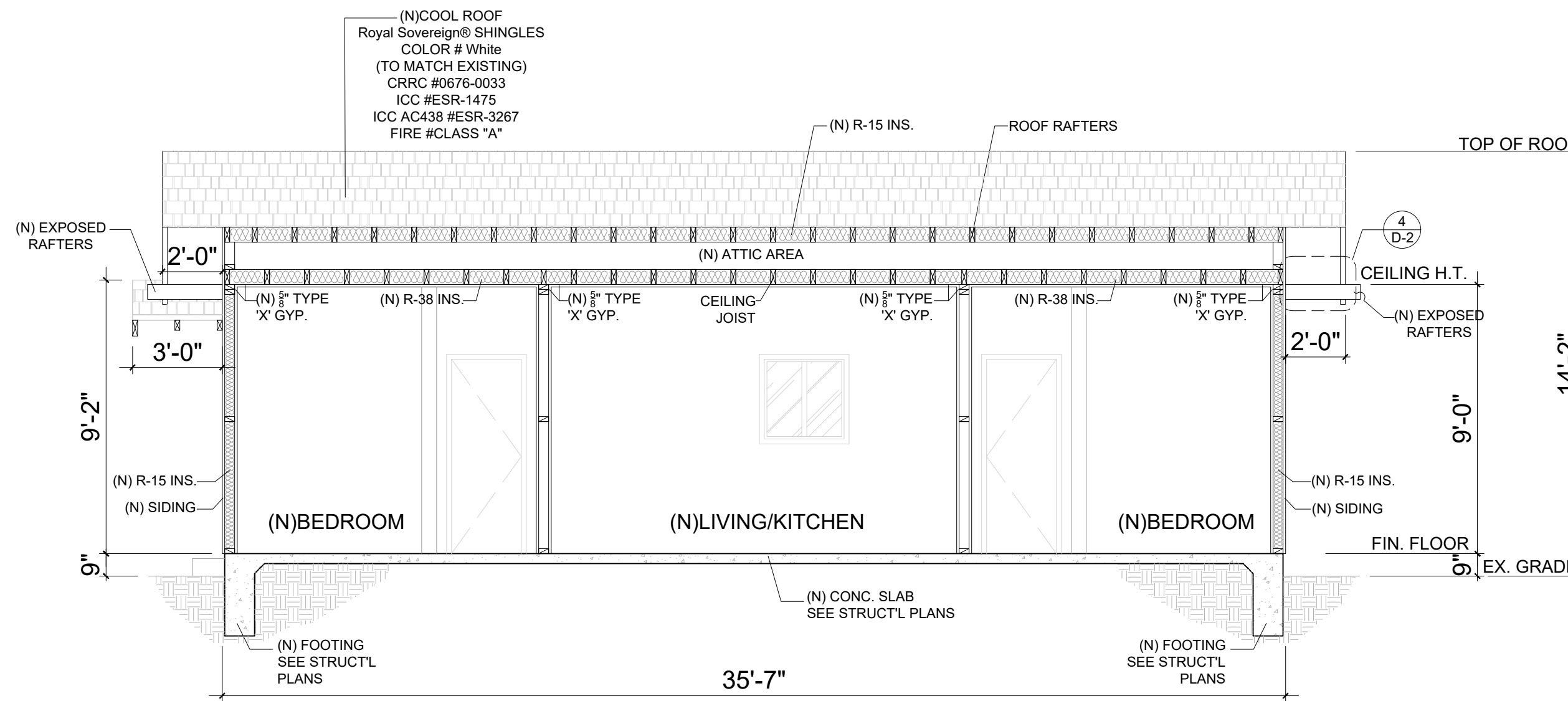




SECTION A

SCALE: 1/4" = 1'-0"

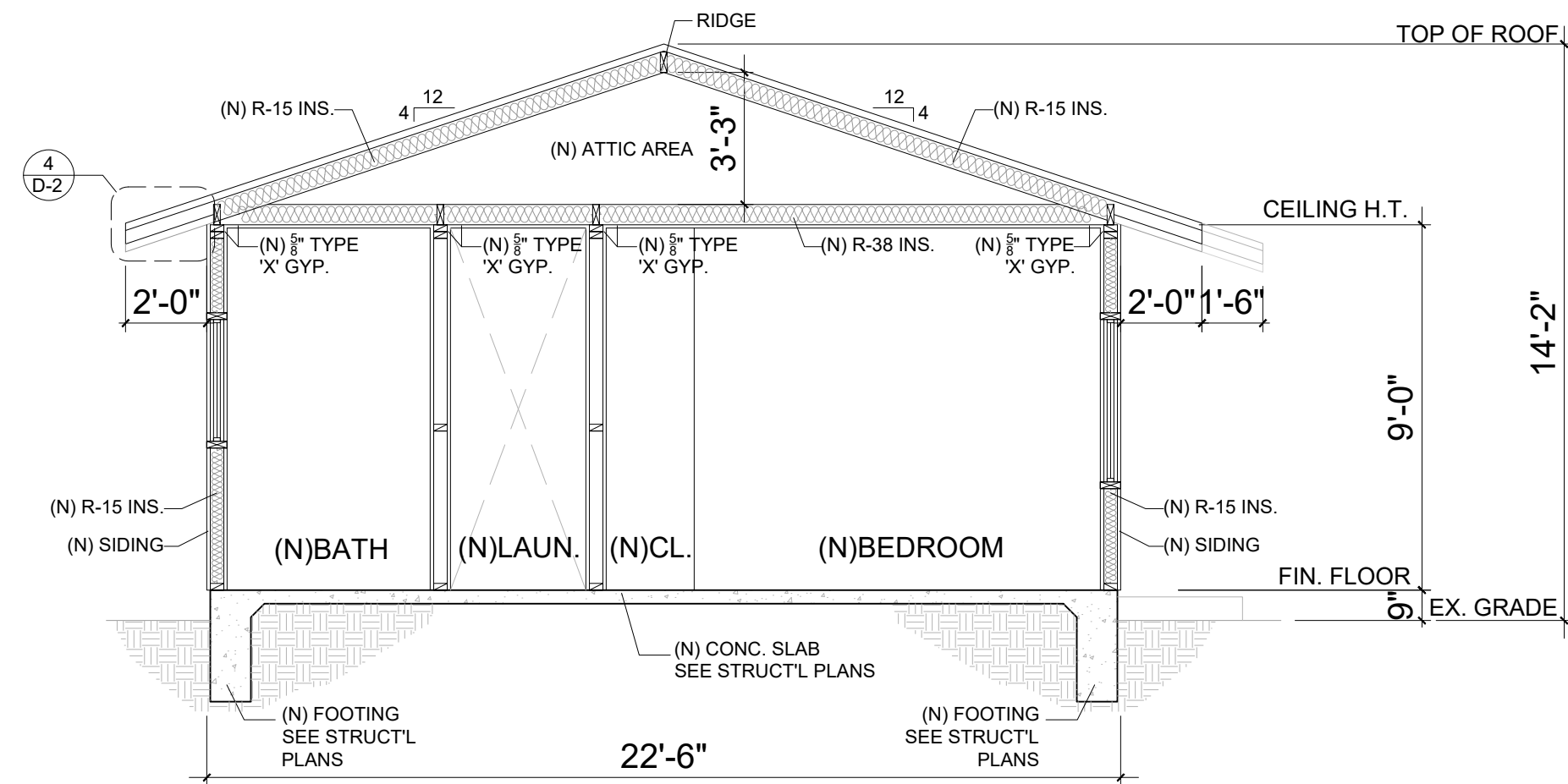
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SECTION B

SCALE: 1/4" = 1'-0"

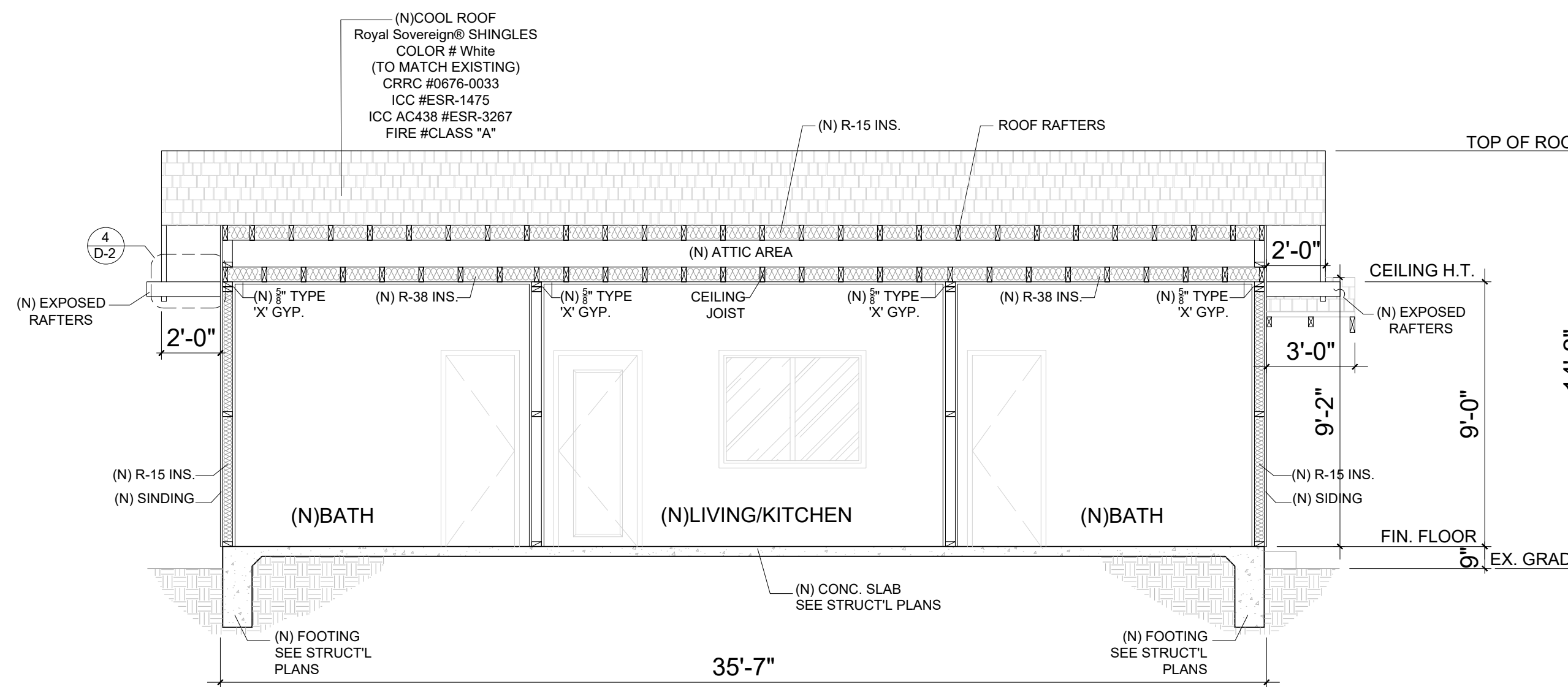
B



SECTION C

SCALE: 1/4" = 1'-0"

C

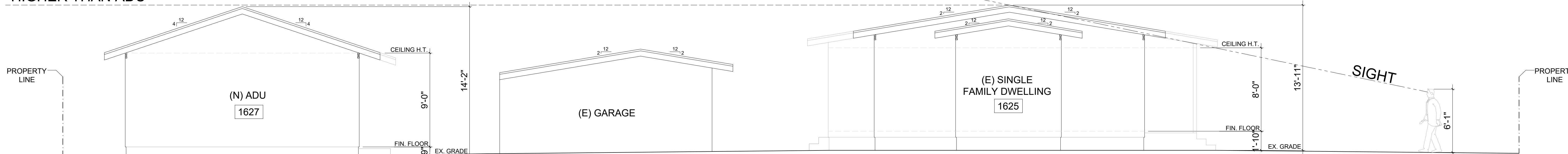


SECTION D

SCALE: 1/4" = 1'-0"

D

PRIMARY DWELLING
HIGHER THAN ADU



01

SITE PLAN ELEVATION

Location

1627 N PARK AVE, POMONA,
CA 91768

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1	PC CORRECTION/1	12/19/2024	Revisions	Date	CK
2	PC CORRECTION/2	02/20/2025			
3	PC CORRECTION/3	04/24/2025			

DESIGNER:
MICHAEL ZHANG
TEL: (626)505-6888

Drawing title
SECTIONS

Date: 06-06-2025

Scale: NOTED

CSR:--

Drawn by: HD

Checked by: JJ

File name: 1625 N PARK AVE, POMONA

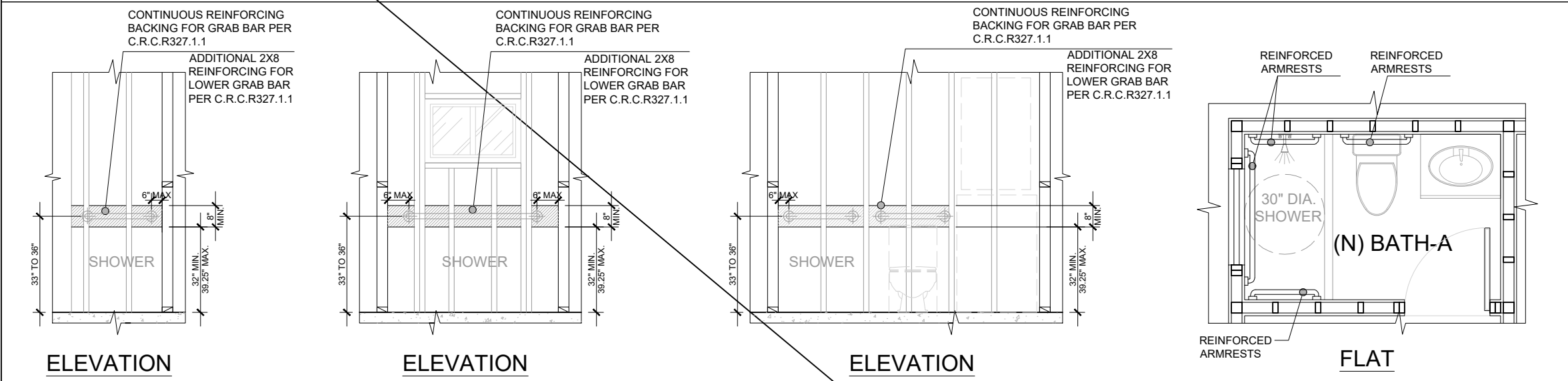
ALIGCUS

01

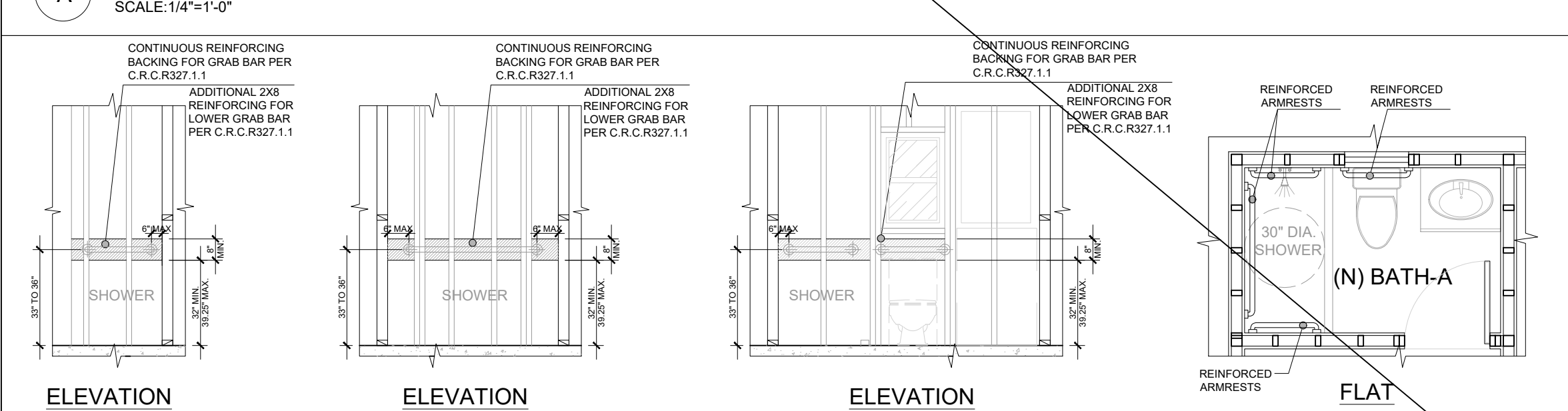
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01

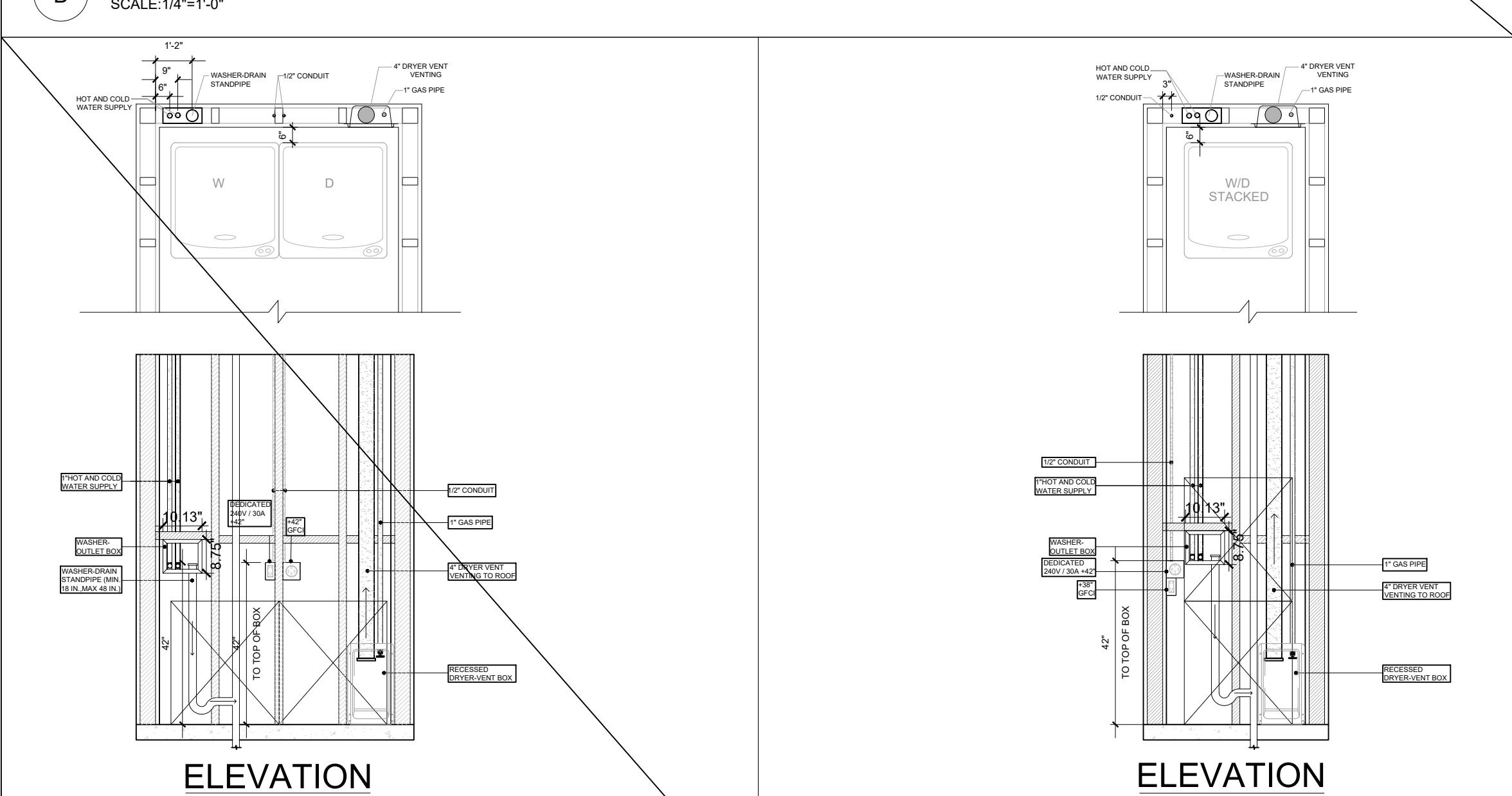
a. IDENTIFY THE RESTROOM TO PROVIDE AGING-IN-PLACE DESIGN, AND PROVIDE DETAILS OF WALL REINFORCEMENT. R327.1.1.1
b. SHALL NOT BE LESS THAN 2 BY 8 INCH NOMINAL LUMBER
c. SHALL BE LOCATED BETWEEN 32 INCHES AND 39.25 INCHES ABOVE THE FINISHED FLOOR FLUSH WITH WALL FRAMING.
d. SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE OR ONE SIDE WALL AND THE BACK WALL
e. SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED
f. BATHTUB AND COMBINATION BATHTUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHTUB AND THE BACK WALL. ADDITIONALLY, BACK WALL REINFORCEMENT FOR A LOWER GRABBAR SHALL BE PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 6 INCHES (152.4 MM) ABOVE THE BATHTUB RIM



A REINFORCEMENT FOR FUTURE GRAB-BARS

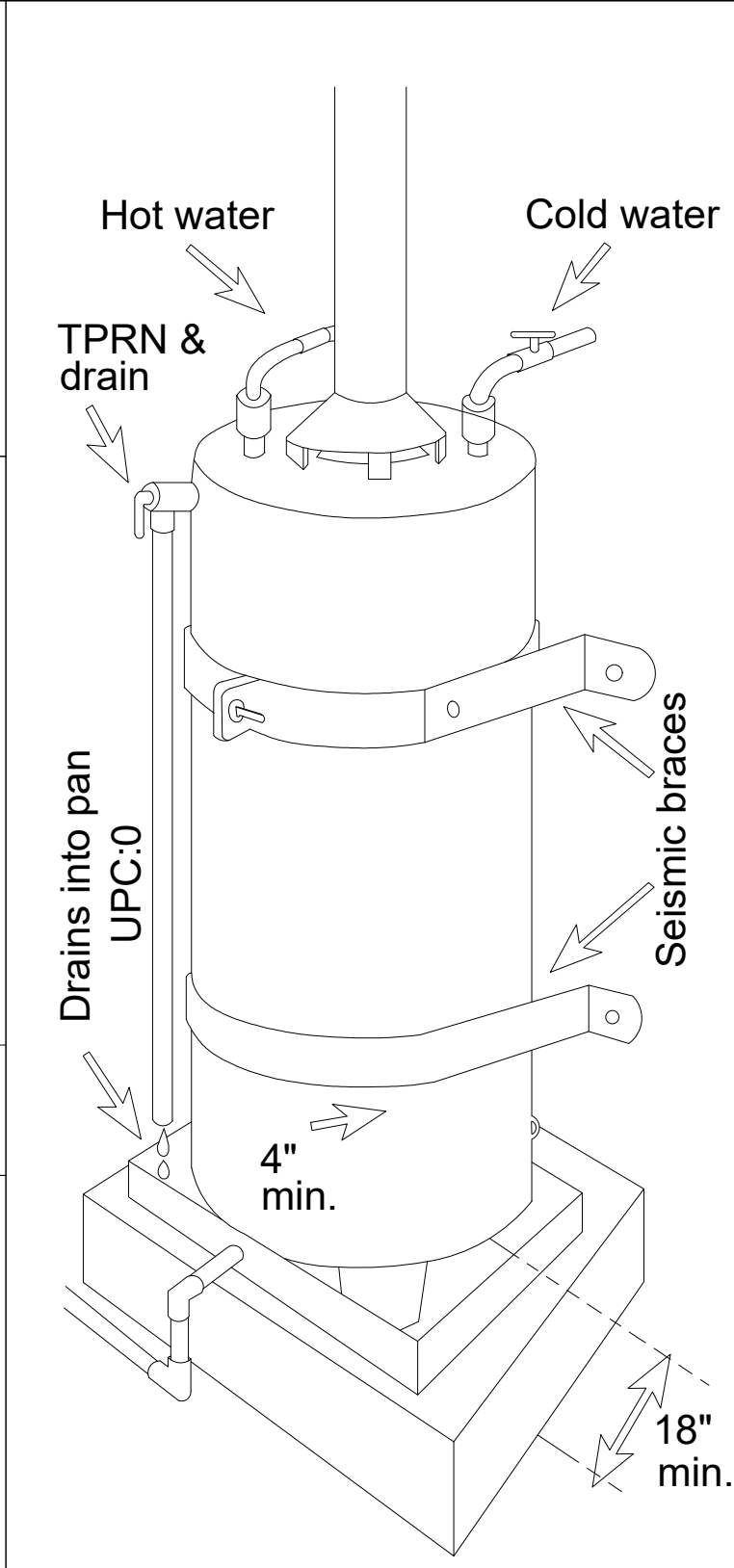


B REINFORCEMENT FOR FUTURE GRAB-BARS

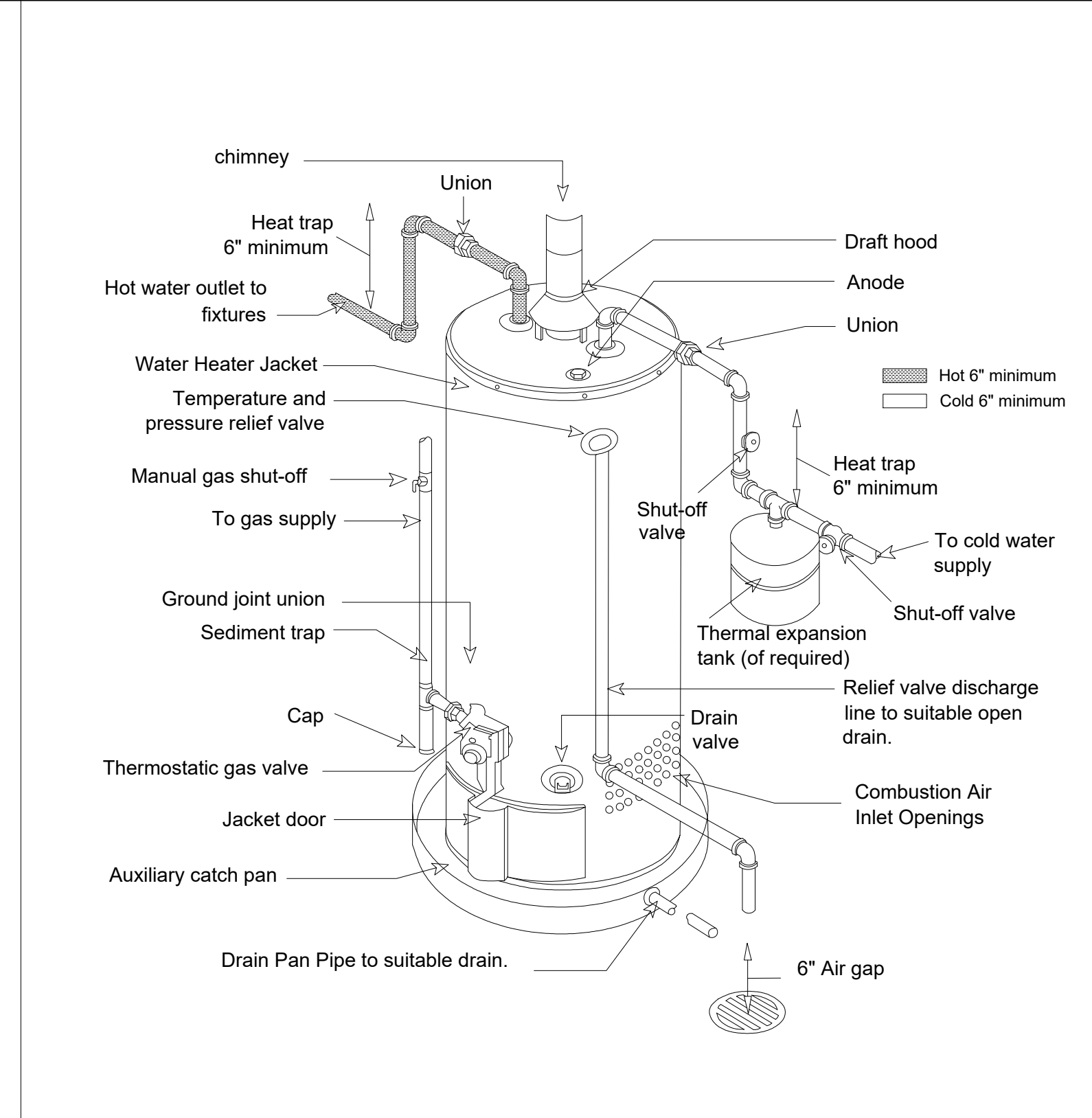


A LAUNDRY ROOM VENTILATION DETAILS

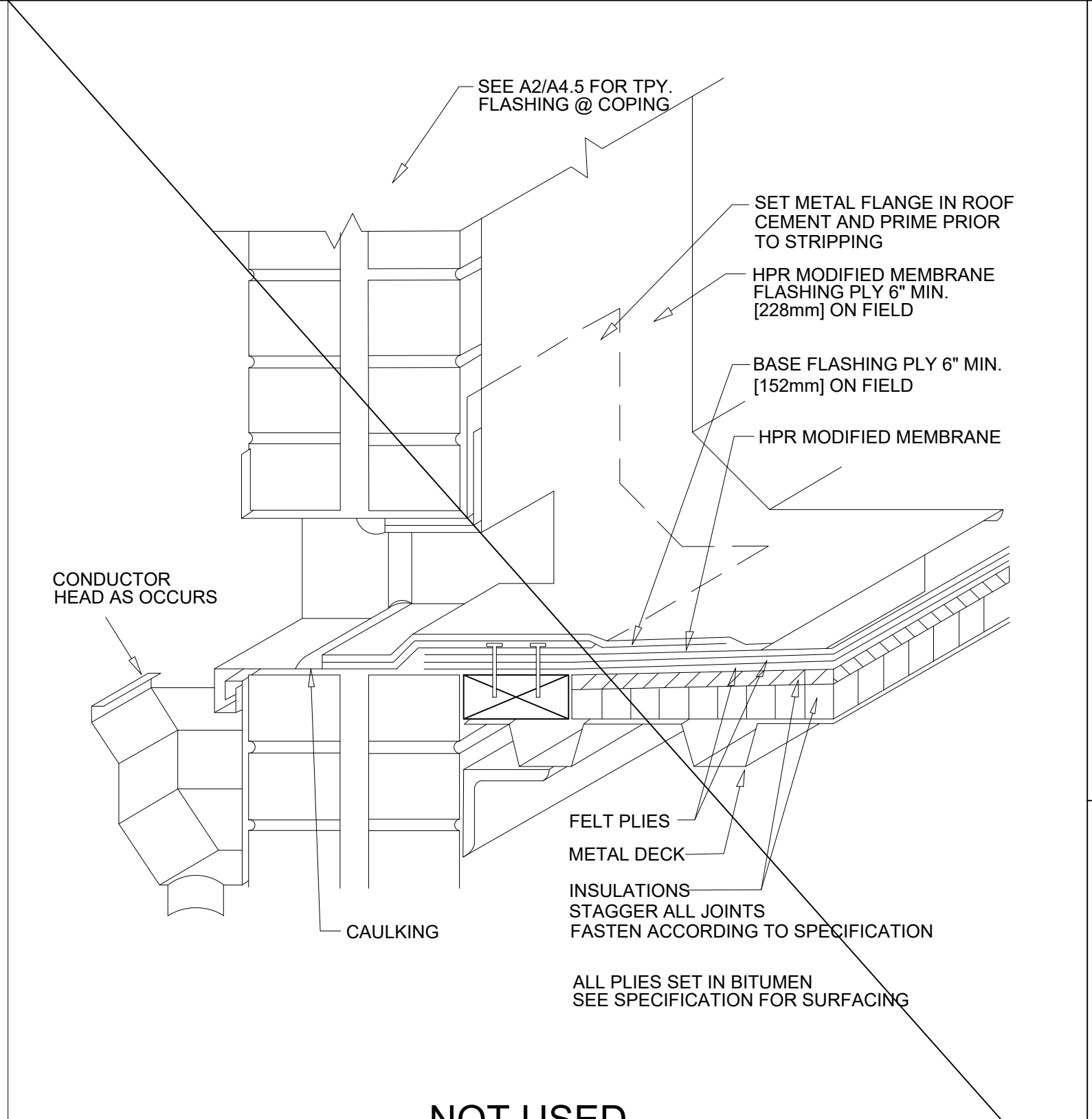
B LAUNDRY ROOM VENTILATION DETAILS



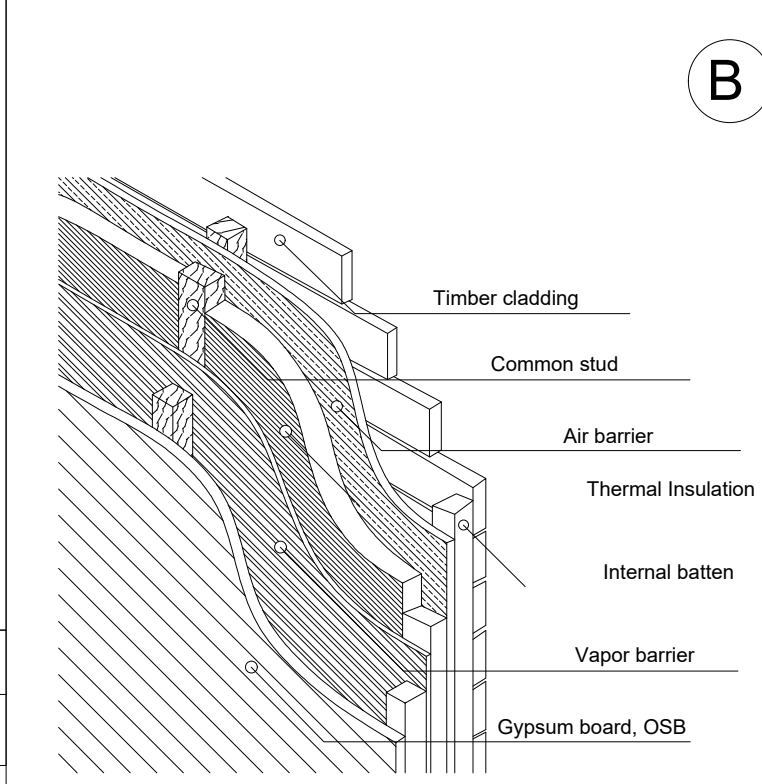
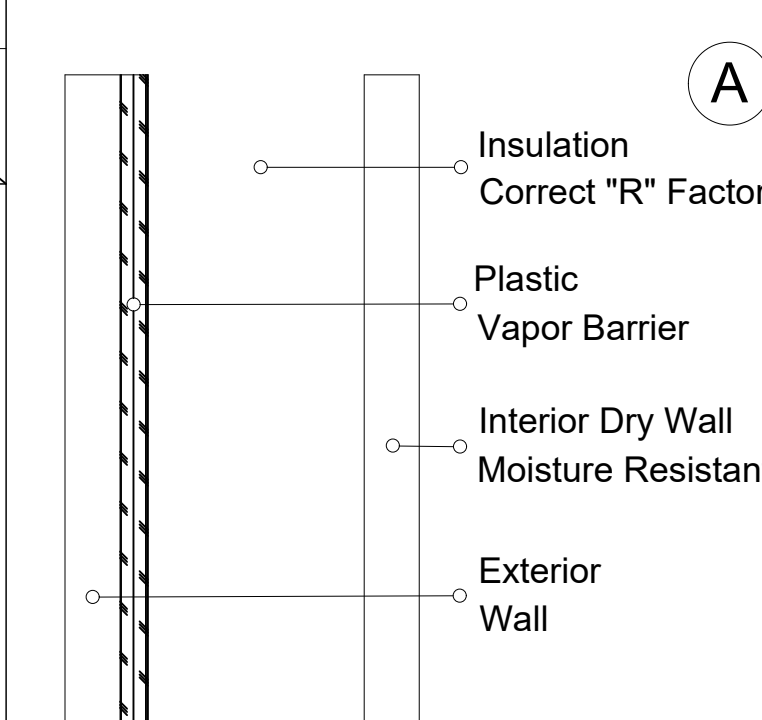
WATER HEATER BRACE 3



WATER HEATER INSTALLATION (TYP) 2

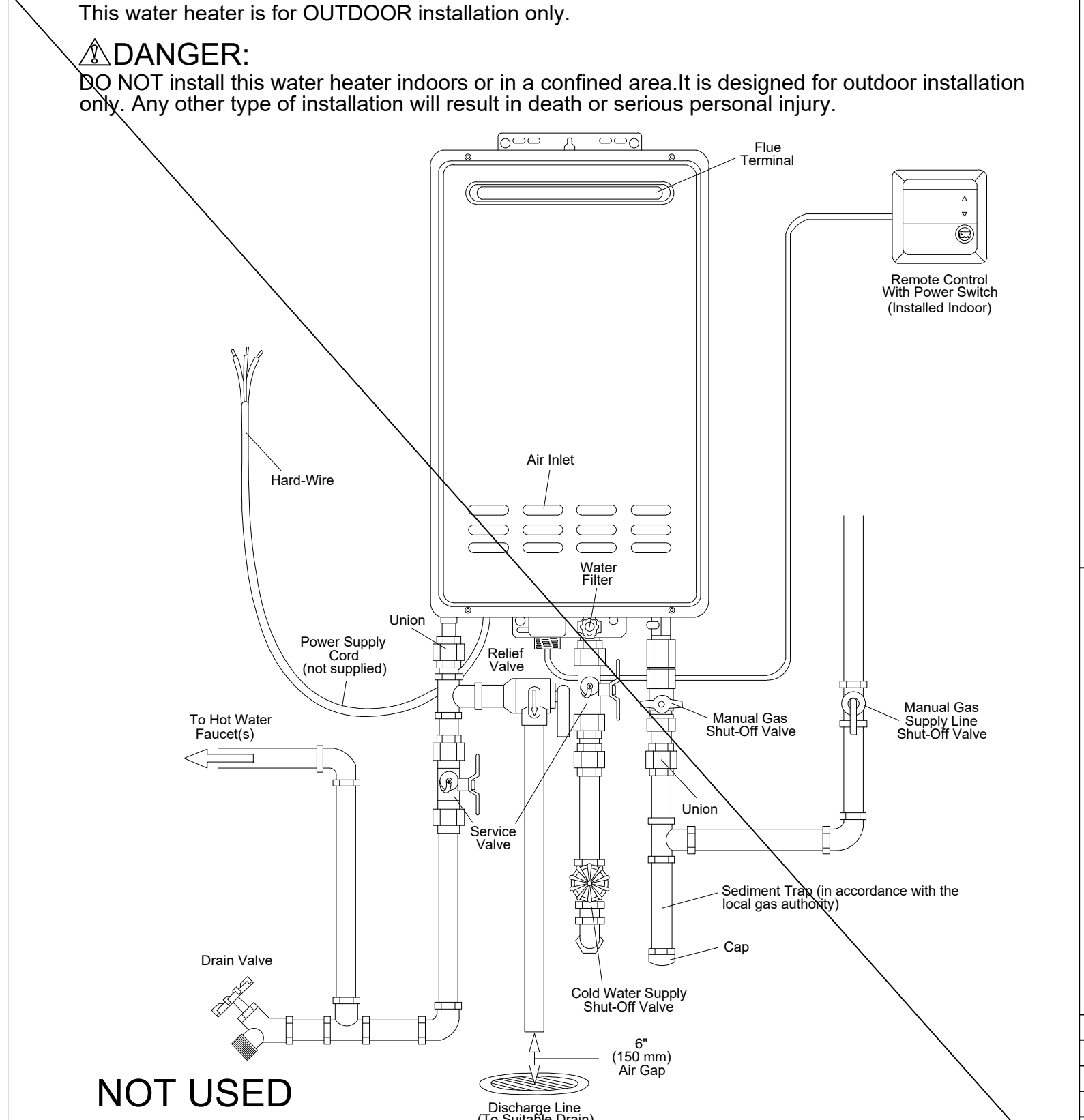


SCUPPER 1

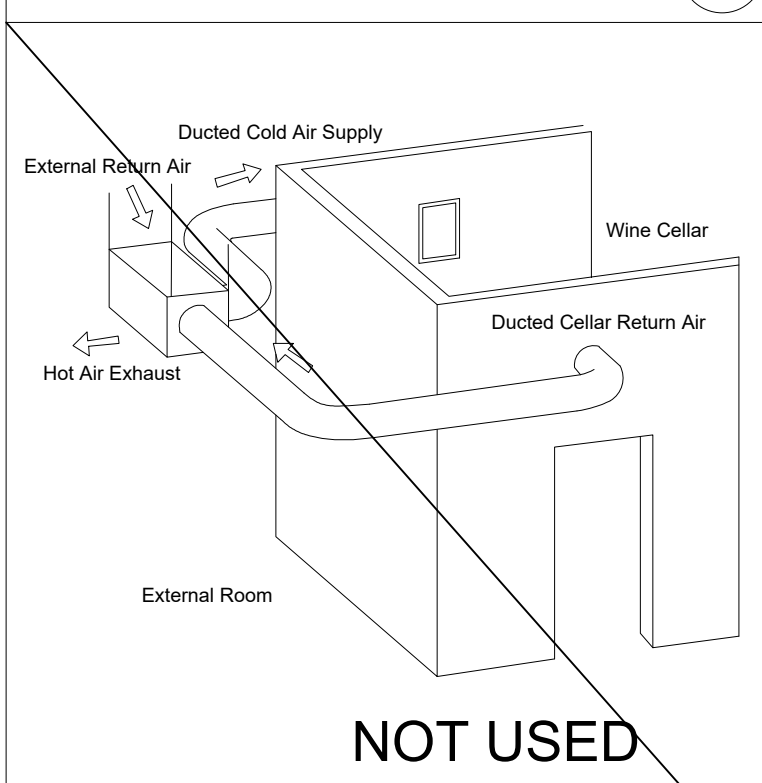


WINE WALL 6

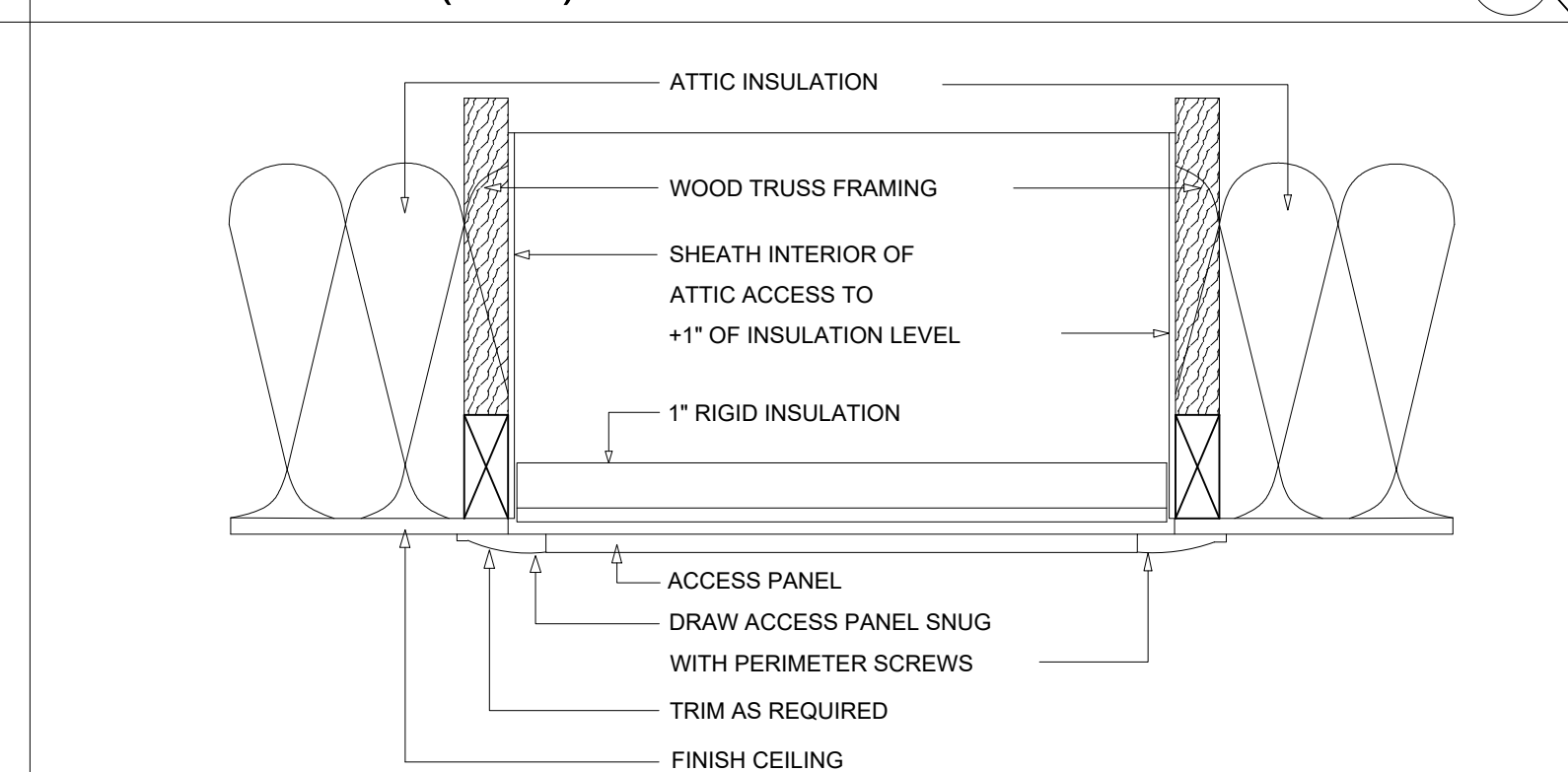
ATTIC SPACE (TYP) 5



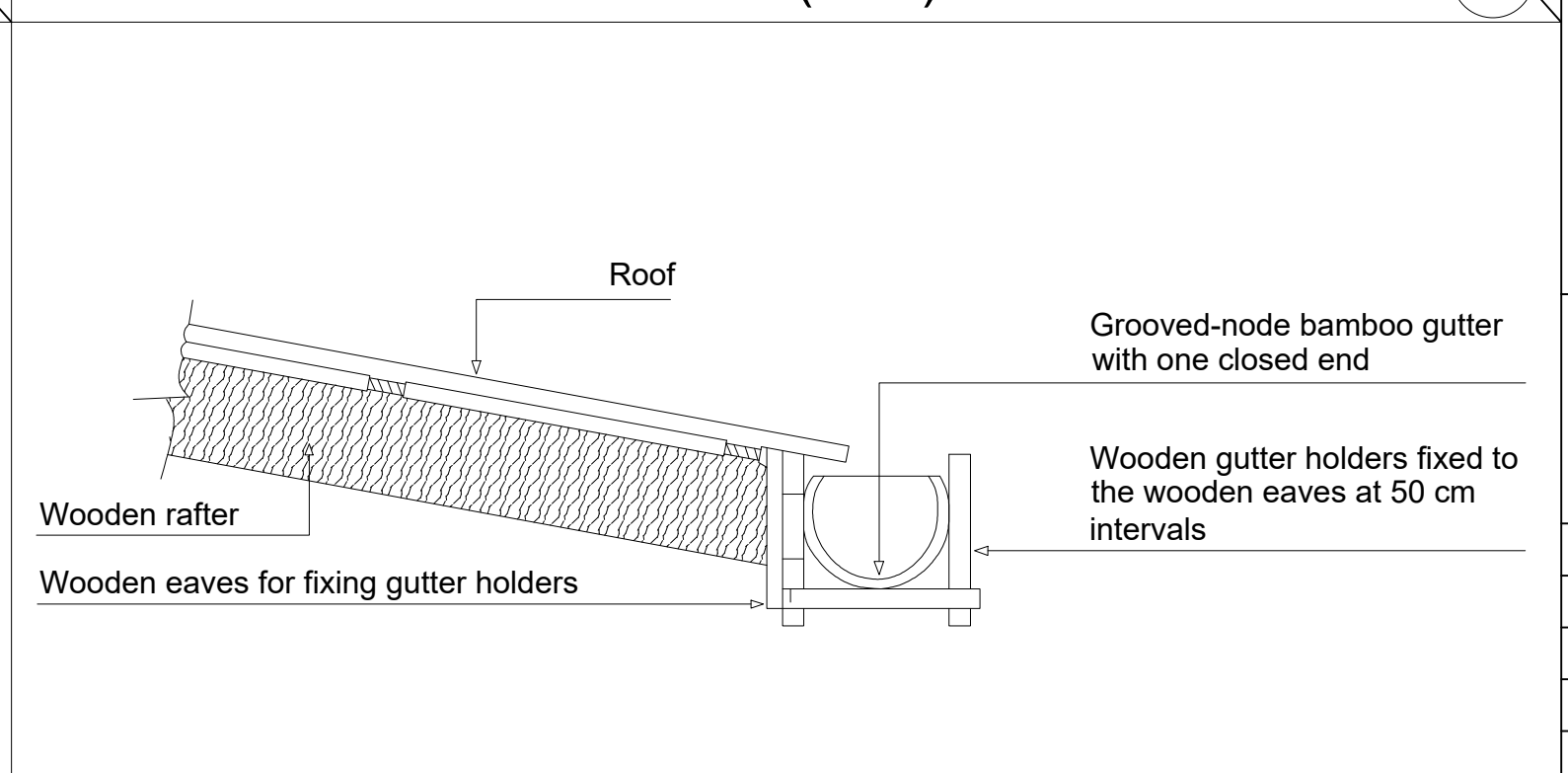
TANKLESS WATER HEATER (TYP) 4



WINE CELLAR 10



ATTIC ACCESS (TYP) 9



GUTTER AT SHINGLE ROOF EAVE 7

ALL CONSTRUCTION ARCHITECTURAL DESIGN SERVICES 1041 S. SAN GABRIEL BLVD., SUITE D SAN GABRIEL, CA. 91776 TEL: (626)505-6888

1627 N PARK AVE, POMONA, CA 91768

Location

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4			
3	PC CORRECTION/3	04/24/2025	
2	PC CORRECTION/2	02/20/2025	
1	PC CORRECTION/1	12/19/2024	

DESIGNER:
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TEL: (626)505-6888

Drawing title

DETAILS

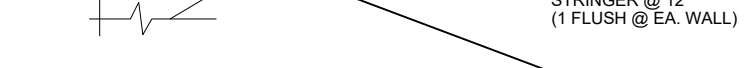
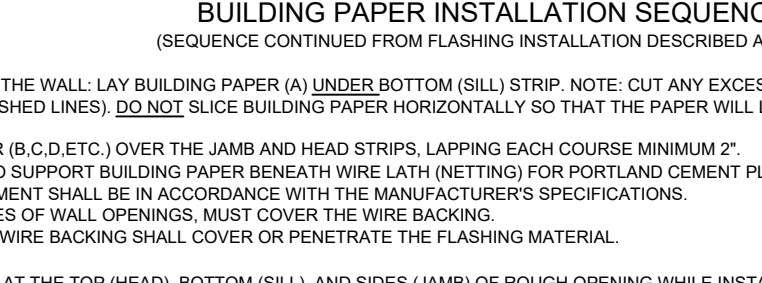
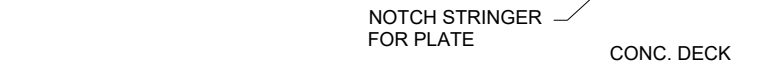
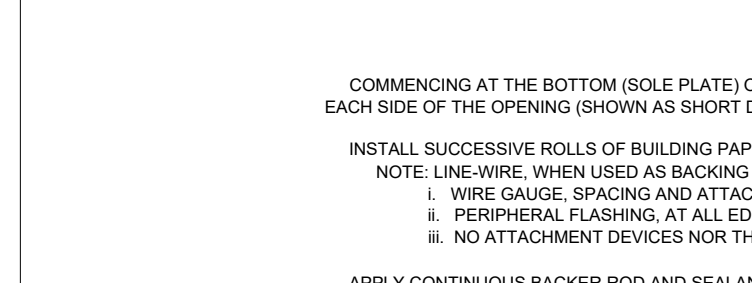
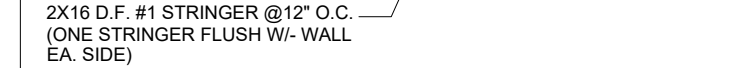
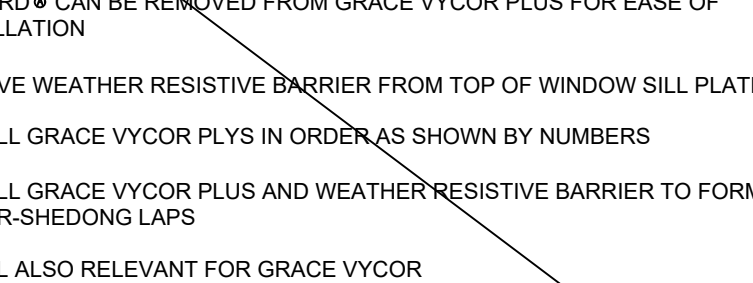
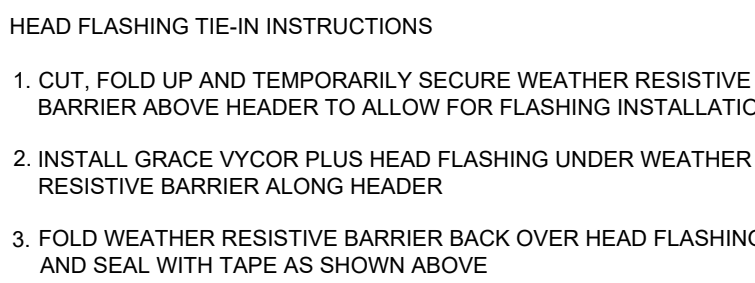
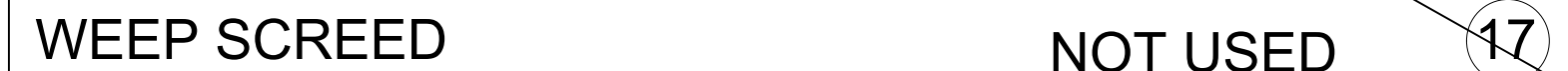
Date: 06-06-2025
Scale: NOTED
CSR:--
Drawn by: HD
Checked by: JJ

Drawing no.
D-1

File name: 1625 N PARK AVE, POMONA

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2. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH SHOWERS AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A HEIGHT OF 6 FEET ABOVE THE FLOOR. (R307.2 CRC)



Location

4			
3	PC CORRECTION ³	04/24/2025	
2	PC CORRECTION ²	02/20/2025	
1	PC CORRECTION ¹	12/19/2024	
b.	Revisions	Date	CK.

DESIGNER:
MICHAEL ZHANG
TEL: (626)505-6888

Drawing title

DETAILS

Date: 06-06-2025	Drawing no.
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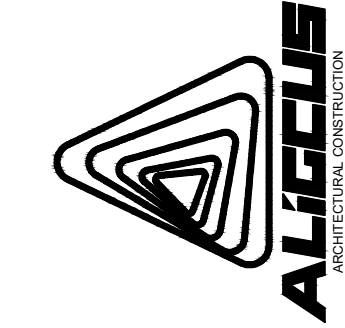
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CSR:--	D 2

Drawn by: HD

File name: 1625 N PARK AVE, POMONA

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1627 N PARK AVE, POMONA,
CA 91768

Location

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4			
3	PC CORRECTION ⁽³⁾	04/24/2025	
2	PC CORRECTION ⁽²⁾	02/20/2025	
1	PC CORRECTION ⁽¹⁾	12/19/2024	
b.	Revisions	Date	CK.

DESIGNER:
MICHAEL ZHANG
TEL: (626)505-6888

Drawing title

DETAILS	
Date: 06-06-2025	Drawn by: 
Scale: NOTED	
CSR:--	
Drawn by: HD	
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File name: 1625 N PARK AVE, POMONA

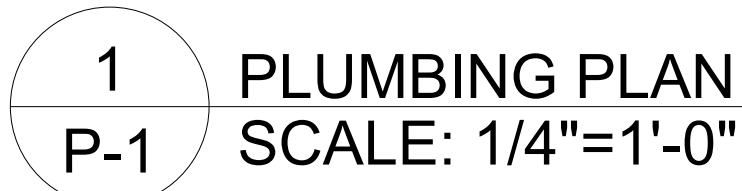
AI IGCUS

THE FLOW RATES FOR ALL PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATES SPECIFIED IN SECTION 4.303.1.

FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12 SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.

a. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBS (4.304.4)

- i. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- ii. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.



KITCHEN FAUCETS: DELTA FOUNDATIONS 2-HANDLE BAR FAUCET.
FLOW RATE (MAX) = 1.8 GALLONS/MINUTE AT 60PSI

A GAS SUPPLY LINE WITH A CAPACITY OF AT LEAST 200,000 BTU/HR. (SEE MECHANICAL PLAN)

