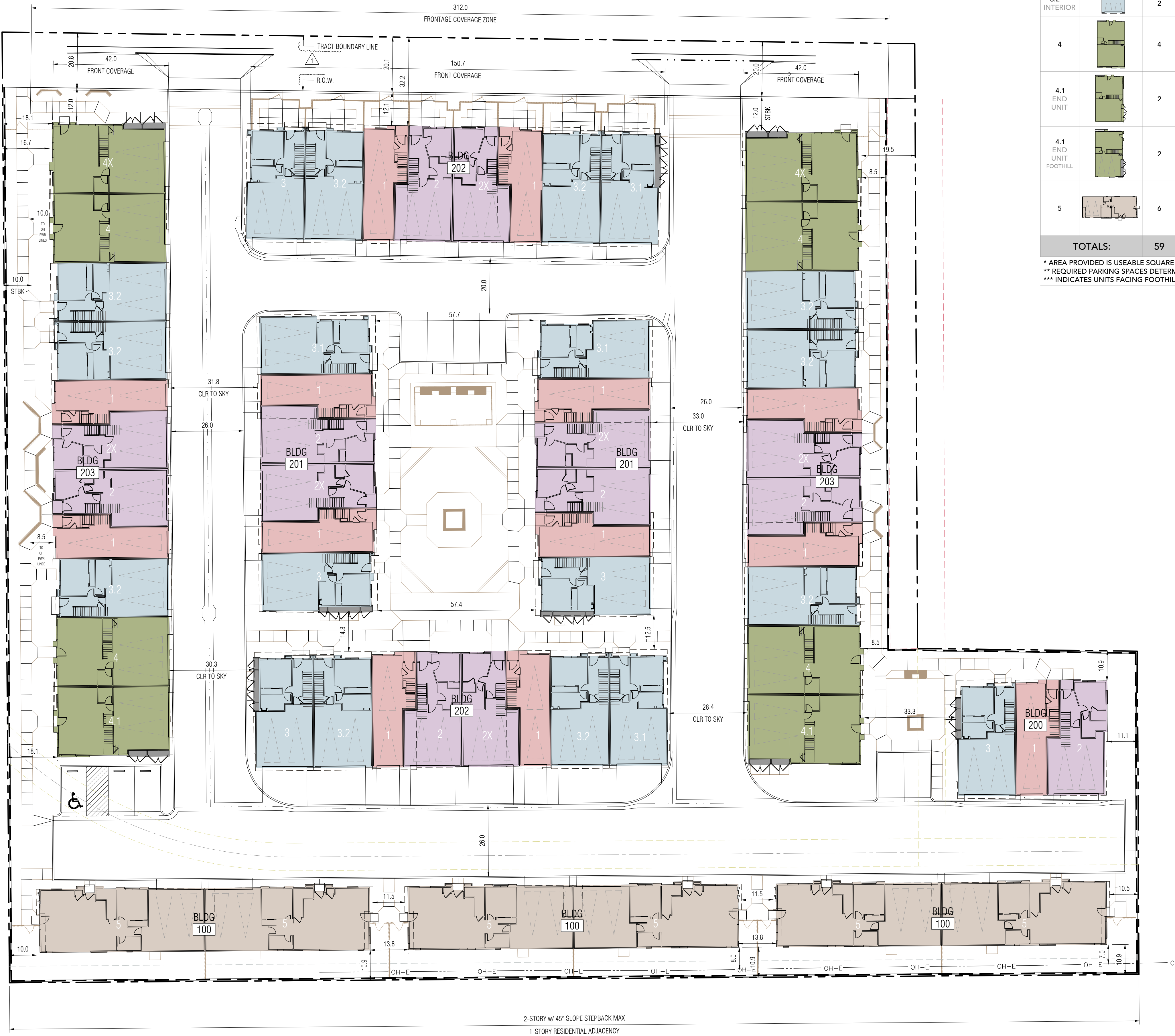




CONCEPTUAL ARCHITECTURAL SITE PLAN

DWELLING UNIT INFORMATION														
PLAN	UNIT COUNT	CONDITIONED AREA (S.F.)	COND. AREA SUBTOTAL	GROSS AREA (S.F.)	GROSS AREA SUBTOTAL	LOT COV. AREA	LOT COV. SUBTOTAL	BR / BA	PRIVATE OPEN SPACE AREA*	PRIVATE OPEN SPACE SUBTOTAL	ENCLOSED PARKING COUNT	ENCLOSED PRKG SUBTOTAL	REQ. PRKG SPACES**	REQ. PRKG SUBTOTAL
1	11	1,299	14,289	1,905	20,955	686	7,546	2/2.5	74	814	2	22	1.5	20
	2		2,598						220	440		4		
2	5	1,529	7,645	2,087	10,435	687	3,435	3/3.5	60	300	2	10	1.5	11
	2		3,058						193	386		4		
2X ACCESS	6	1,534	9,204	2,087	12,522	687	4,122	3/3.5	60	360	2	12	1.5	9
3	4	2,048	8,192	2,616	10,464	912	3,648	4/3.5	62	248	2	8	2.5	13
	1		2,048						258	258		2		
3.1 NO MTR CABS	3	2,048	6,144	2,586	7,758	912	2,736	4/3.5	62	186	2	6	2.5	10
	1		2,048						258	258		2		
3.2 INTERIOR	8	2,076	16,608	2,648	21,184	905	7,240	4/3.5	62	496	2	16	2.5	25
	2		4,152						258	516		4		
3.2*** INTERIOR	4	1,510	6,040	2,023	8,092	1,025	4,100	3/2.5	0	0	2	8	1.5	6
4.1 END UNIT	2	1,514	3,028	2,034	4,068	1,033	2,066	3/2.5	0	0	2	4	1.5	3
4.1 END UNIT FOOTHILL	2	1,515	3,030	2,035	4,070	1,034	2,068	3/2.5	0	0	2	4	1.5	3
5	6	2,128	12,768	2,624	15,744	1,384	8,304	4/3	694	4164	2	12	2.5	15
TOTALS:	59		100,852		133,774		51,645			8,426		118		114

* AREA PROVIDED IS USEABLE SQUARE FOOTAGE, NOT CONSTRUCTION AREA SQUARE FOOTAGE. FOR PLAN 5, AREA PROVIDED IS THE AVERAGE OF THE SUM OF ALL 6 PRIVATE YARDS.
** REQUIRED PARKING SPACES DETERMINED BY STATE DENSITY BONUS LAW AT 1.5 SPACES FOR 2 & 3 BR DUs AND 2.5 SPACES FOR 4 & MORE BEDROOM DUs INCLUSIVE OR GUEST AND DISABLED PARKING.
*** INDICATES UNITS FACING FOOTHILL WITH PRIVATE ENTRY PATIOS

PROJECT SUMMARY

ADDRESS: 700 & 704 EAST FOOTHILL BOULEVARD, POMONA, CALIFORNIA
SITE AREA: 123,042 SF / 2.82 AC
AHL: CITY OF POMONA, CALIFORNIA
COUNTY: LOS ANGELES
FIRE DEPT: LOS ANGELES COUNTY
ZONING: POMONA CORRIDORS SPECIFIC PLAN / CITY GATEWAY SEGMENT (PCSP)
OF DUs: 59

CONSTRUCTION TYPE: TYPE V-B
OCCUPANCY TYPE: R2
SPRINKLER TYPE: NFPA 13
PROPOSED BLDG HEIGHT: <30' & >30'

MIXED MULTI-USE DEVELOPMENT STANDARDS
DENSITY: 40 DU/AC MAX
20.9 DU/AC PROPOSED

MAX. BLDG HEIGHT: 2 & 3 STORIES
HOUSING ADJACENCY (PCSP 2.3.2.C)
EASTERN ADJACENCY TO 2-STORY DWELLING: 3-STORY BUILDING PROPOSED
SOUTHERN ADJACENCY TO 1-STORY DWELLING: 2-STORY BUILDINGS PROPOSED

FRONTAGE COVERAGE: 50% REQUIRED
75% PROPOSED

SETBACKS:
FRONT: 12' MIN FROM BACK OF WALK
12' FT PROPOSED
SIDE: 10 FT
10 FT PROPOSED
REAR: 10 FT
10 FT PROPOSED

BUILDING MASSING: RANGE: 2L/3H (0.67) TO 5L/2H (2.5). ALSO REFER TO ELEVATION SHEETS
BUILDING 100: 0.26 TO 2.23 (L/H RATIO)
BUILDING 200: 0.42 TO 1.46 (L/H RATIO)
BUILDING 201: 0.36 TO 2.87 (L/H RATIO)
BUILDING 202: 0.35 TO 4.10 (L/H RATIO)
BUILDING 203: 0.22 TO 1.46 (L/H RATIO)

BUILDING SEPARATION: 20' MIN.
18' MIN. PROPOSED
11' MIN. AT 2-STORY DUPLEX AT SOUTHERN BOUNDARY

PARKING REQUIRED: PER STATE DENSITY BONUS LAW (SDBL):
1.5 PARKING SPACES FOR 2-3 BEDROOM DUs: 34 DUs x 1.5 = 51 SPACES
2.5 PARKING SPACES FOR 4 OR MORE BR DUs: 25 DUs x 2.5 = 62.5 SPACES
114 SPACES REQUIRED INCLUSIVE OF GUEST AND DISABLED PARKING

PARKING PROVIDED: DU: 118 SPACES
GUEST: 9 SPACES (INCLUDES 1 VAN ACCESSIBLE)
TOTAL: 127 SPACES

PRIVATE OPEN SPACE: MIN. 60 SF/DU - 3,540 SF TOT. REQUIRED
8,426 TOT S.F. PROVIDED. REFER TO DWELLING UNIT INFORMATION TABLE FOR INDIVIDUAL DU S.F.

COMMON OPEN SPACE: 150 SF / DU - 8,850 SF REQUIRED
14,740 SF PROVIDED

TRASH STORAGE/COLLECTION: TRASH ENCLOSURES REQUIRED
TRASH BINS w/IN DUs PROPOSED

Revisions:

PLANNING RESPONSE 1	
241218	

PROPERTY:
700 & 704 FOOTHILL BLVD., POMONA, CA.
APN: 8367-003-024 & 8367-003-023

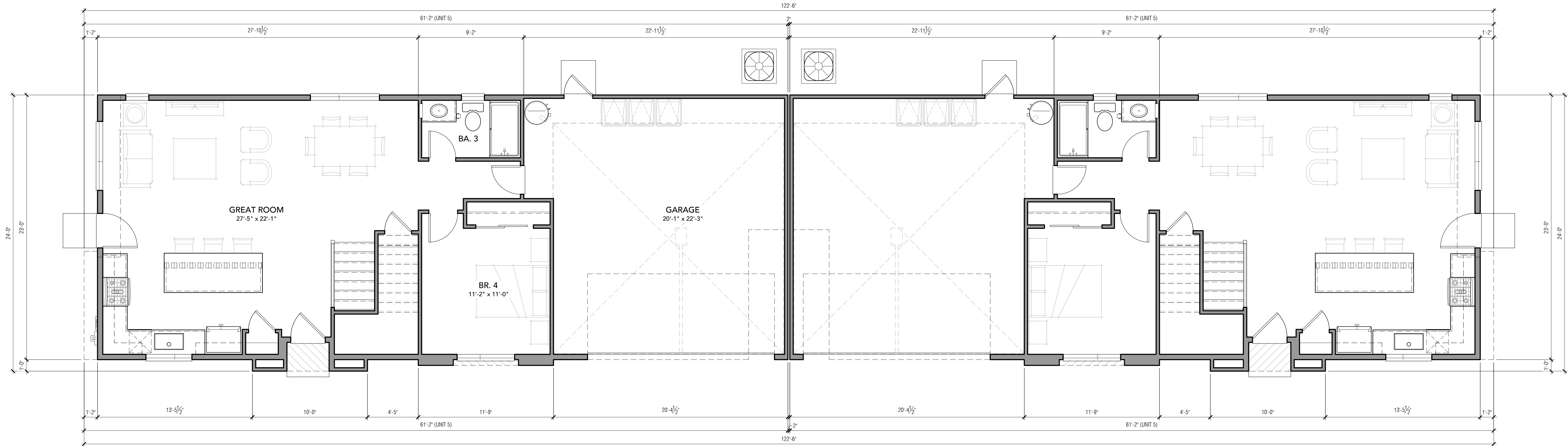
APPLICANT:
G3 URBAN
15235 S. WESTERN AVE., GARDENA, CA 90249
925.876.9985

PREPARER:
ARCHITEYK - EVERITT KANG
29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354
949.939.1310

JOB NO.	GU-24-02
SHEET NO.	A0.0.1
DATE	250617



SITE KEY



LEVEL ONE - PLAN 5

BUILDING 100 AREA TABULATION	
LEVEL ONE:	2,796 SF
LEVEL TWO:	2,872 SF
GROSS CONSTRUCT. AREA:	5,467 SF
LOT COVERAGE AREA:	2,818 SF

Revisions:	
△	
△	
△	
△	

PROPERTY:
700 & 704 FOOTHILL BLVD., POMONA, CA.
APN: 8367-003-024 & 8367-003-023

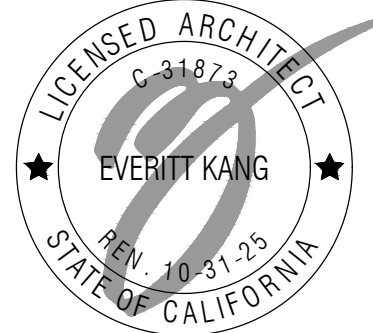
APPLICANT:
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925.876.9985

PREPARED BY:
ARCHITEYK - EVERITT KANG
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949.939.1310

JOB NO.	GU-24-02
SHEET NO.	A1.0.1
DATE	250617



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PROJECT

FOOTHILL 59

700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

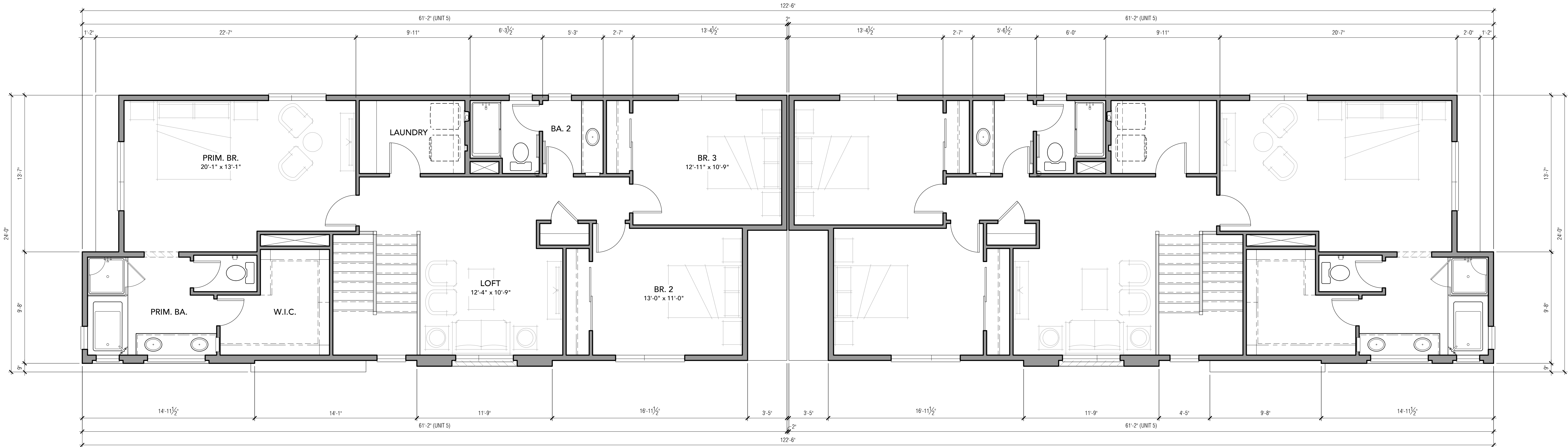
DRAWINGS

BUILDING 100

BUILDING FLOOR PLANS



SITE KEY

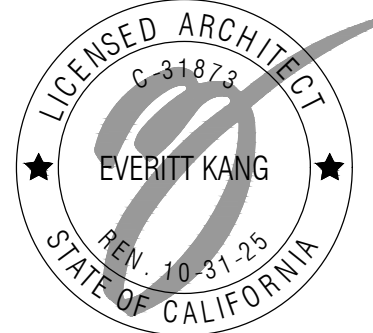


LEVEL TWO - PLAN 5

Revisions:	
△	
△	
△	
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PROPERTY: 700 & 704 FOOTHILL BLVD., POMONA, CA. APN: 8367-003-024 & 8367-003-023	
APPLICANT: G3 URBAN 15235 S. WESTERN AVE., GARDENA, CA 90249 925.876.9985	
PREPARER: ARCHITEYK - EVERITT KANG 29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354 949.939.1310	
JOB NO.	GU-24-02
SHEET NO.	A1.0.2
DATE	250617



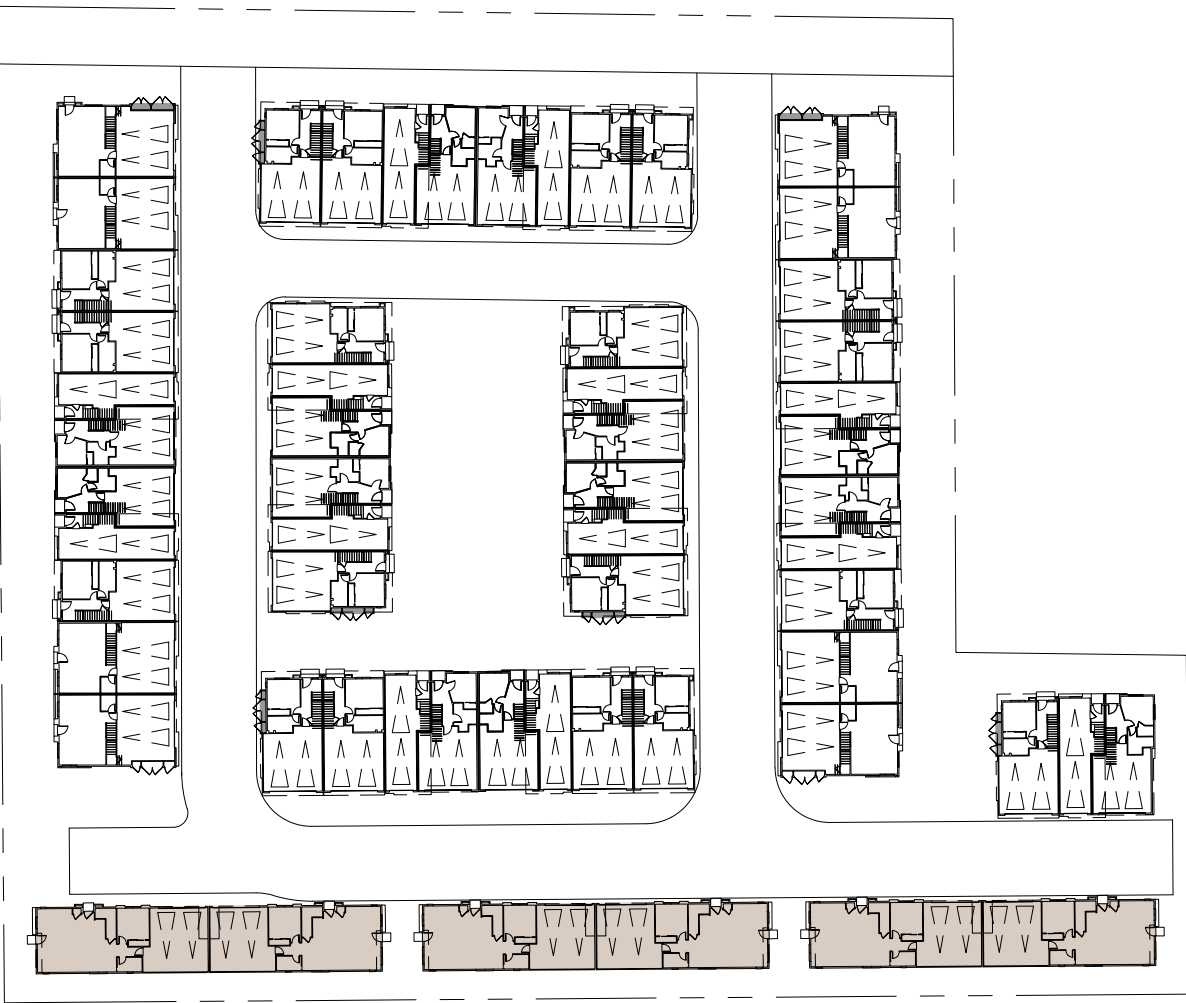
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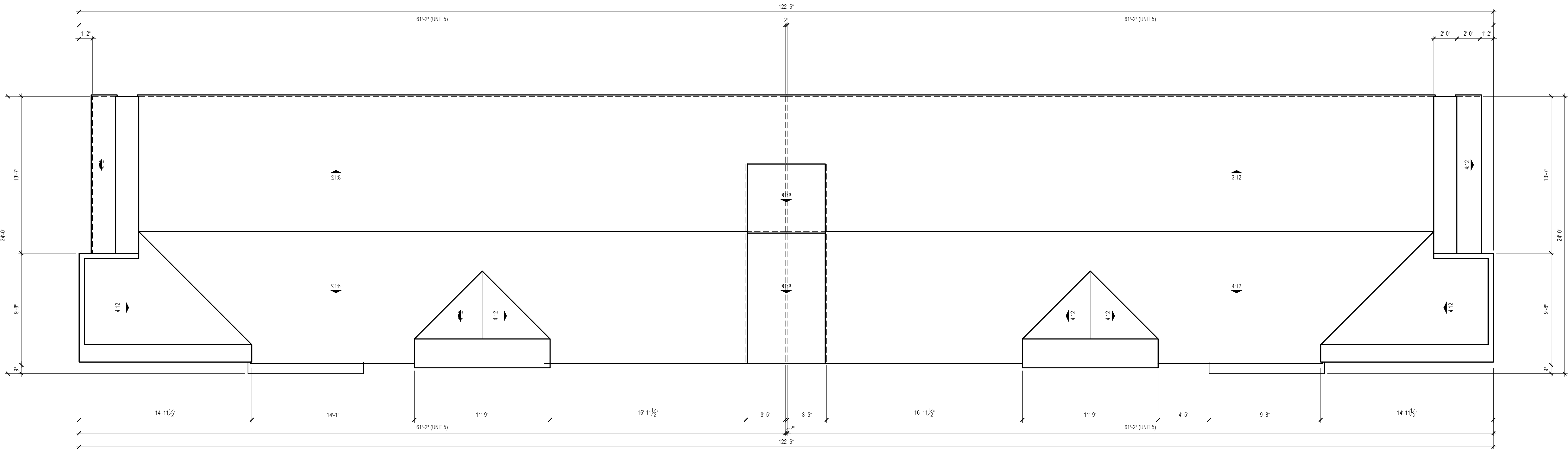
APPLICANT
urban
15235 S. WESTERN AVENUE
GARDENA, CA 90249

PROJECT
FOOTHILL 59
700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

DRAWINGS
BUILDING 100
BUILDING FLOOR PLANS



SITE KEY

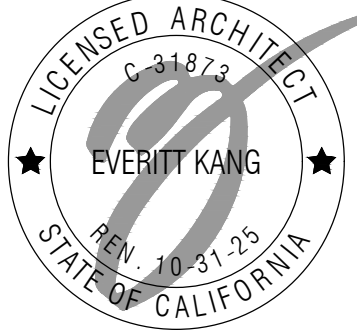


ROOF LEVEL

Revisions:	
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PROPERTY: 700 & 704 FOOTHILL BLVD., POMONA, CA. APN: 8367-003-024 & 8367-003-023	
APPLICANT: G3 URBAN 15235 S. WESTERN AVE., GARDENA, CA 90249 925.876.9985	
PREPARER: ARCHITEYK - EVERITT KANG 29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354 949.939.1310	
JOB NO.	GU-24-02
SHEET NO.	A1.0.3
DATE	250617



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APPLICANT



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GARDENA, CA 90249

PROJECT

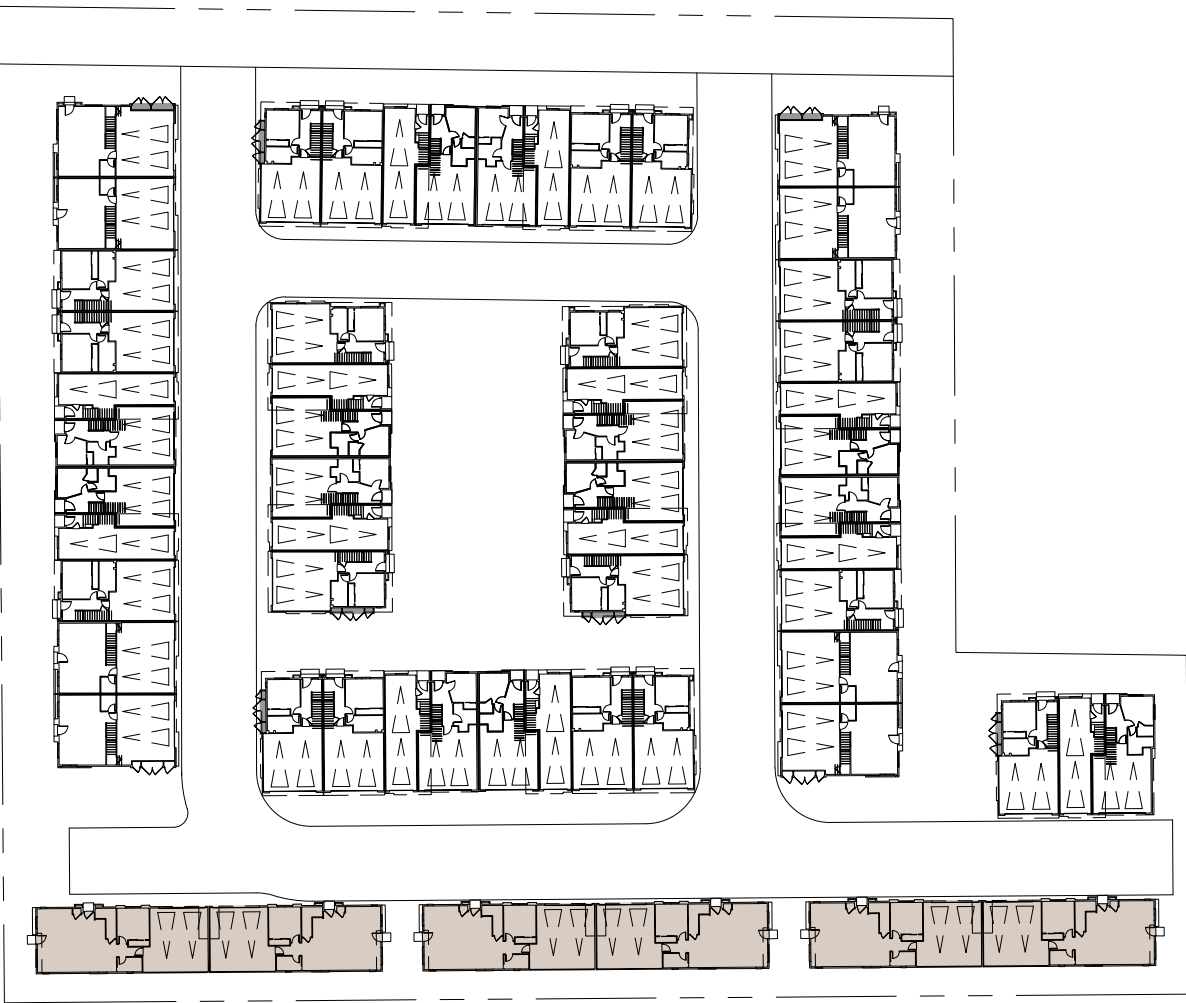
FOOTHILL 59

700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

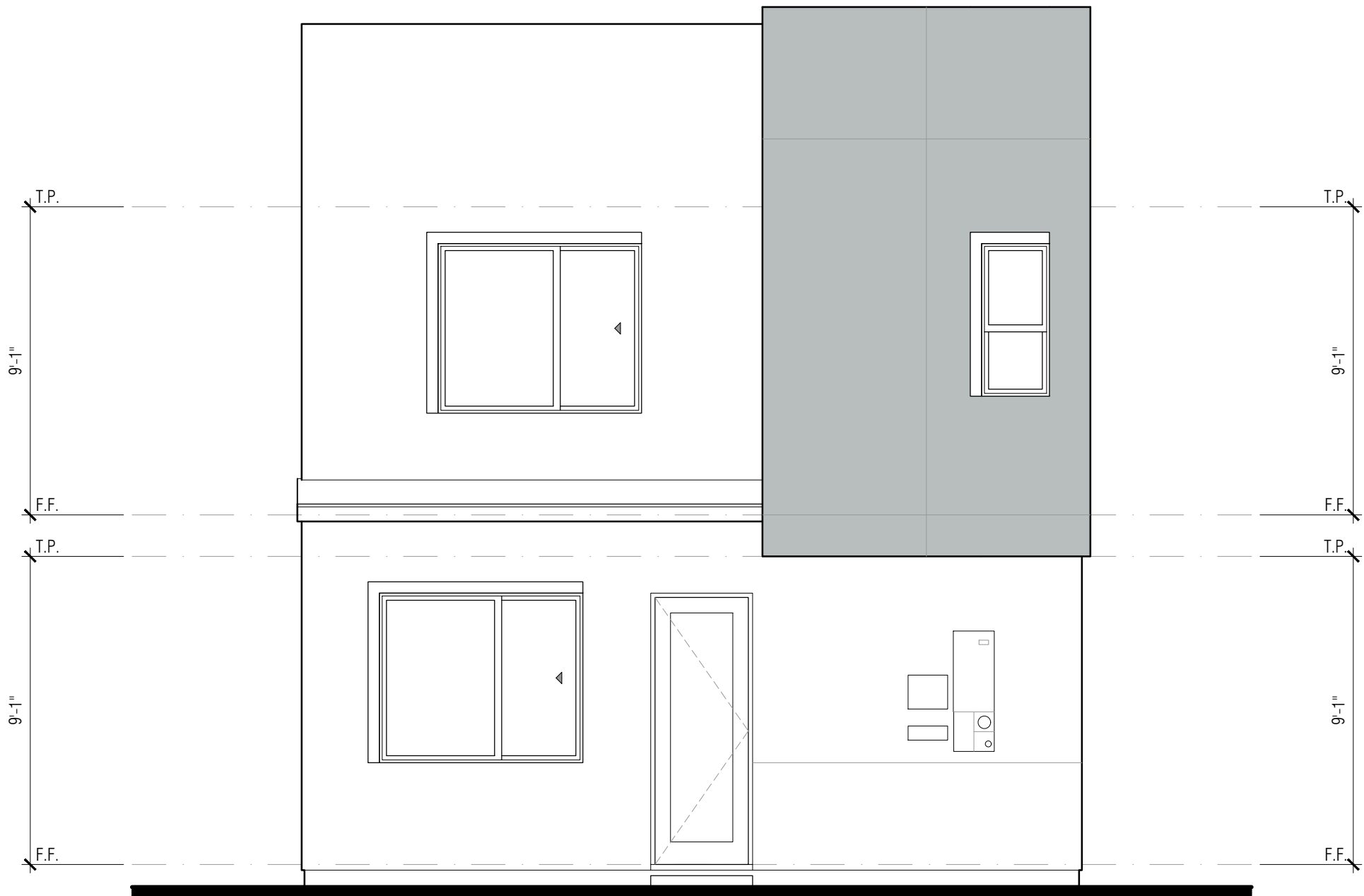
DRAWINGS

BUILDING 100

BUILDING ROOF PLAN

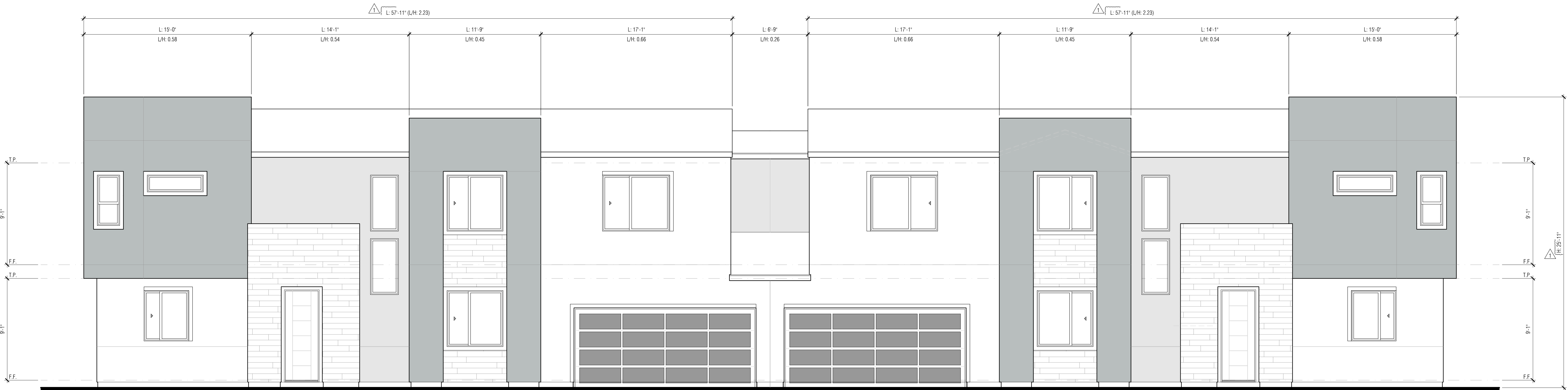


SITE KEY



LEFT BUILDING ELEVATION

EXTERIOR ELEVATION KEYNOTES	
[100]	ASPHALT COMPOSITION ROOF SHINGLES
[101]	STUCCO EAVE
[102]	PARAPET WALL
[105]	PAINTED METAL SCUPPER / GUTTER / DOWNSPOUT
[106]	EXTERIOR LIGHT FIXTURE
[110]	FIBERGLASS ENTRY DOOR
[111]	FIBERGLASS SLIDING PATIO DOOR
[112]	METAL/GLASS SECTIONAL GARAGE DOOR
[113]	UTILITY CLOSET DOOR
[114]	VINYL WINDOW
[120]	HORIZONTAL METAL GUARDRAIL
[200]	PRIMARY STUCCO FINISH (20/30)
[201]	SECONDARY STUCCO FINISH (20/30)
[202]	ACCENT STUCCO FINISH (20/30)
[203]	METAL STUCCO EXPANSION JOINT
[204]	SMOOTH STUCCO w/ FOAM TRIM
[205]	HORIZONTAL CRAFT BOARD FORM
[206]	VERTICAL CRAFT BOARD FORM
[207]	CREATIVE MINES

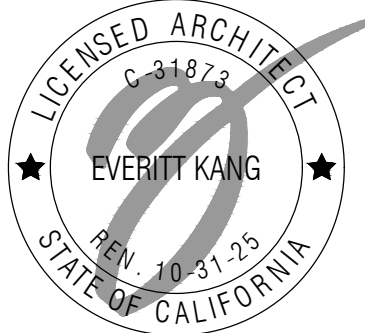


FRONT BUILDING ELEVATION

Revisions:	
△	PLANNING RESPONSE 1
△	241218
△	
△	
PROPERTY:	
700 & 704 FOOTHILL BLVD., POMONA, CA.	
APN: 8367-003-024 & 8367-003-023	
APPLICANT:	
G3 URBAN	
15235 S. WESTERN AVE., GARDENA, CA 90249	
925.876.9985	
PREPARER:	
ARCHITEYK - EVERITT KANG	
29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354	
949.939.1310	
JOB NO.	GU-24-02
SHEET NO.	A1.0.4
DATE	250617



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PROJECT

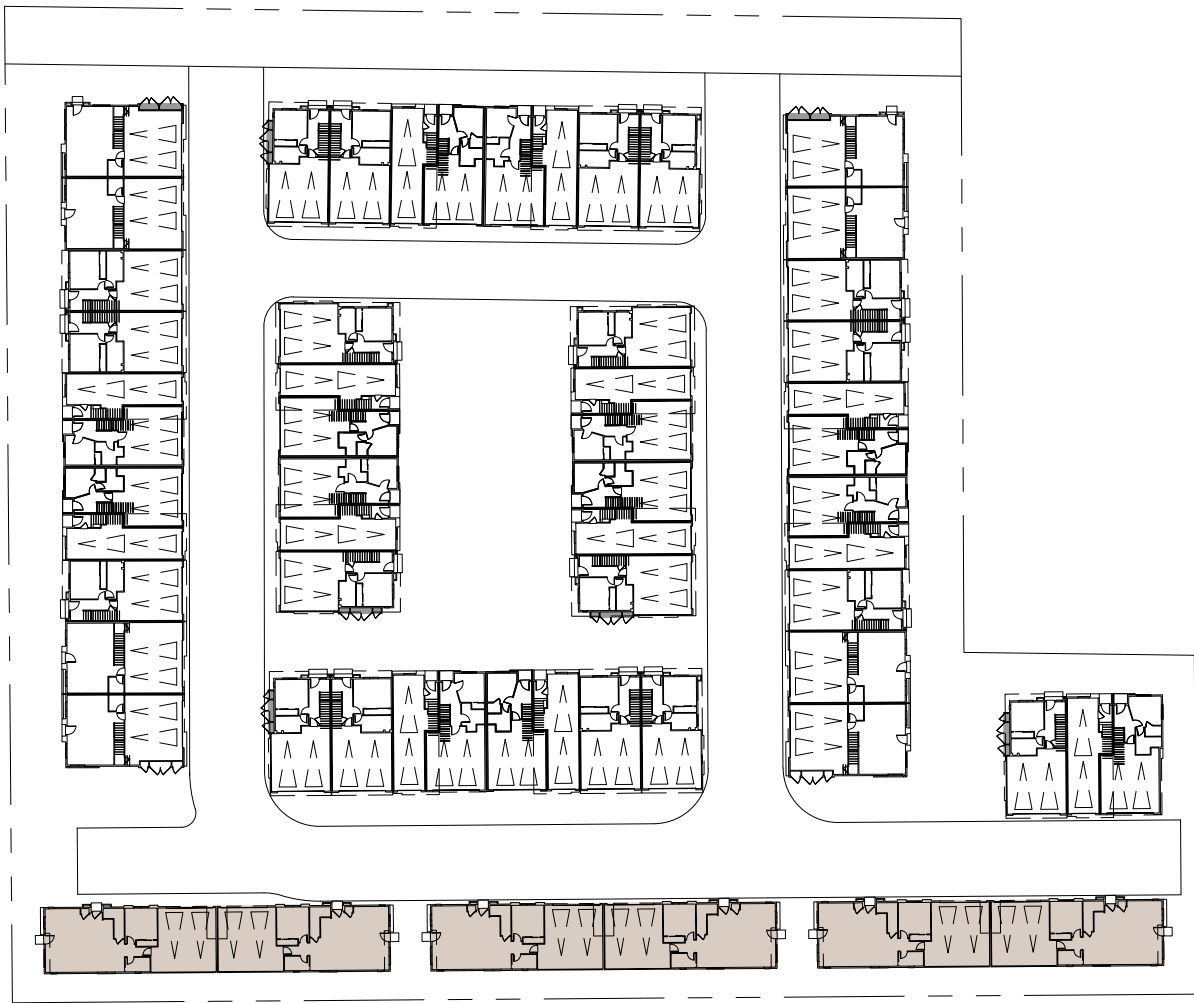
FOOTHILL 59

700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

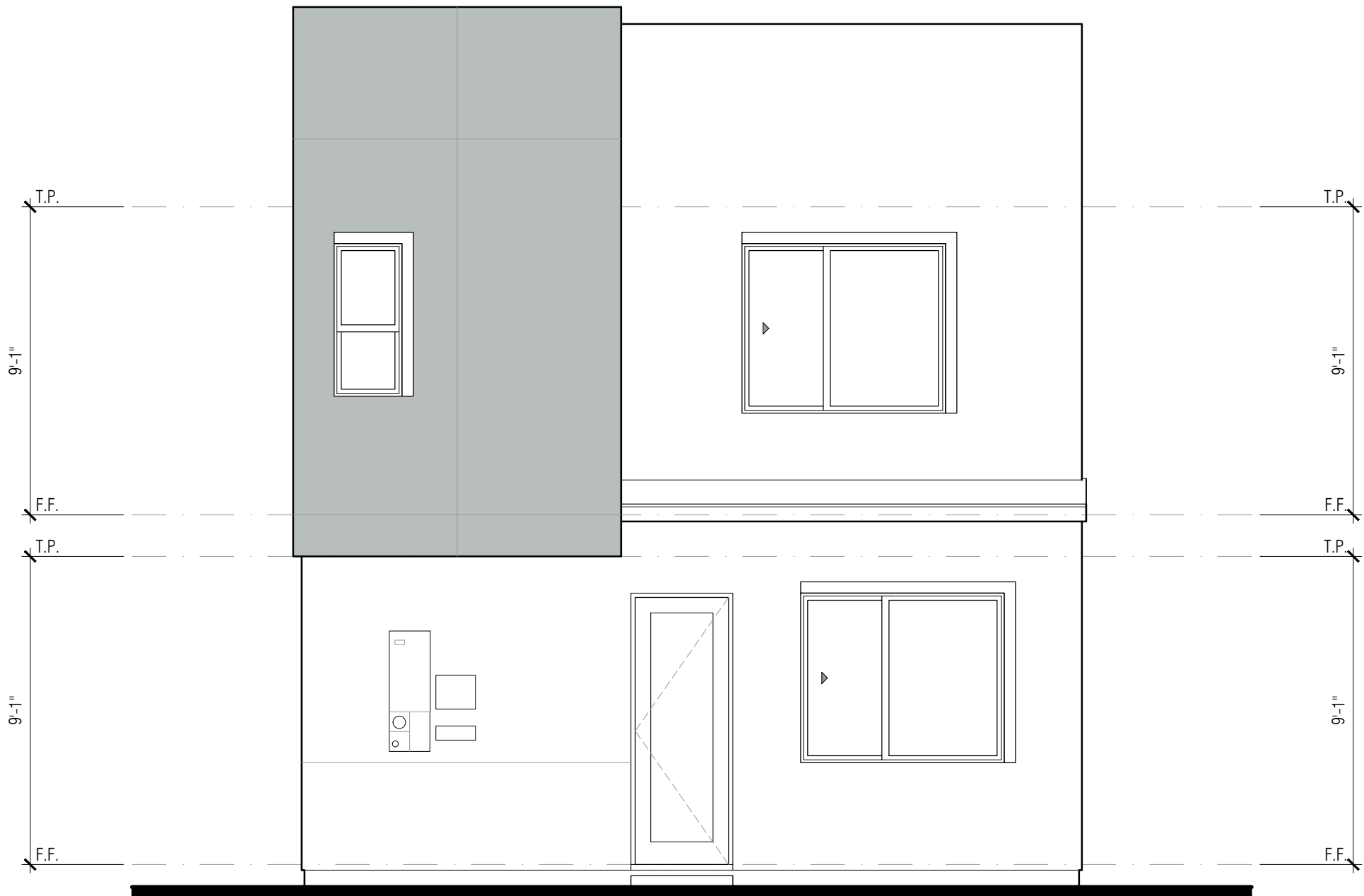
DRAWINGS

BUILDING 100

BUILDING EXTERIOR ELEVATIONS

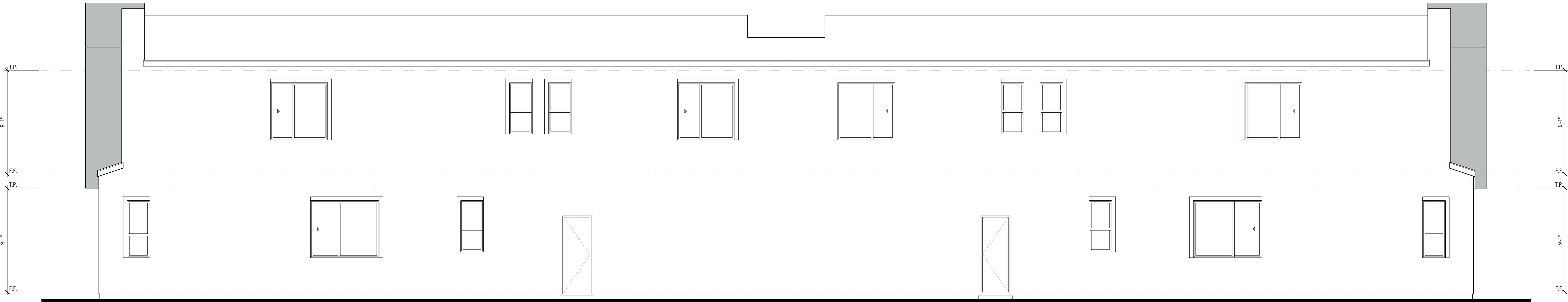


SITE KEY



RIGHT BUILDING ELEVATION

EXTERIOR ELEVATION KEYNOTES	
[100]	ASPHALT COMPOSITION ROOF SHINGLES
[101]	STUCCO EAVE
[102]	PARAPET WALL
[105]	PAINTED METAL SCUPPER / GUTTER / DOWNSPOUT
[106]	EXTERIOR LIGHT FIXTURE
[110]	FIBERGLASS ENTRY DOOR
[111]	FIBERGLASS SLIDING PATIO DOOR
[112]	METAL/GLASS SECTIONAL GARAGE DOOR
[113]	UTILITY CLOSET DOOR
[114]	VINYL WINDOW
[120]	HORIZONTAL METAL GUARDRAIL
[200]	PRIMARY STUCCO FINISH (20/30)
[201]	SECONDARY STUCCO FINISH (20/30)
[202]	ACCENT STUCCO FINISH (20/30)
[203]	METAL STUCCO EXPANSION JOINT
[204]	SMOOTH STUCCO w/ FOAM TRIM
[205]	HORIZONTAL CRAFT BOARD FORM CREATIVE MINES
[206]	VERTICAL CRAFT BOARD FORM CREATIVE MINES

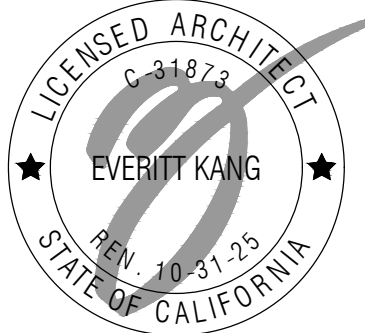


REAR BUILDING ELEVATION

Revisions:	
△	
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△	
PROPERTY: 700 & 704 FOOTHILL BLVD., POMONA, CA. APN: 8367-003-024 & 8367-003-023	
APPLICANT: G3 URBAN 15235 S. WESTERN AVE., GARDENA, CA 90249 925.876.9985	
PREPARER: ARCHITEYK - EVERITT KANG 29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354 949.939.1310	
JOB NO.	GU-24-02
SHEET NO.	A1.0.5
DATE	250617



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APPLICANT



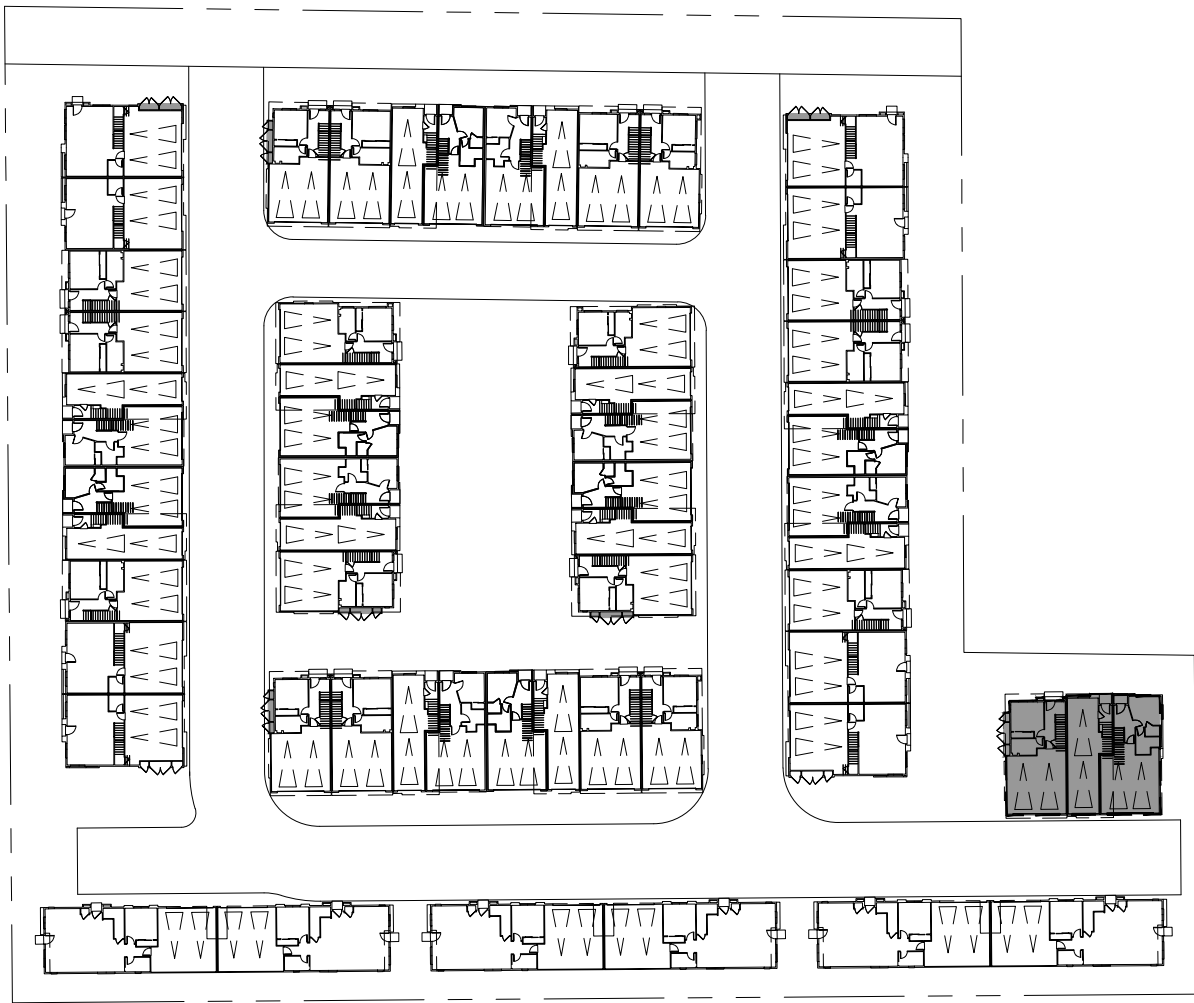
15235 S. WESTERN AVENUE
GARDENA, CA 90249

PROJECT

FOOTHILL 59
700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

DRAWINGS

BUILDING 100
BUILDING EXTERIOR ELEVATIONS



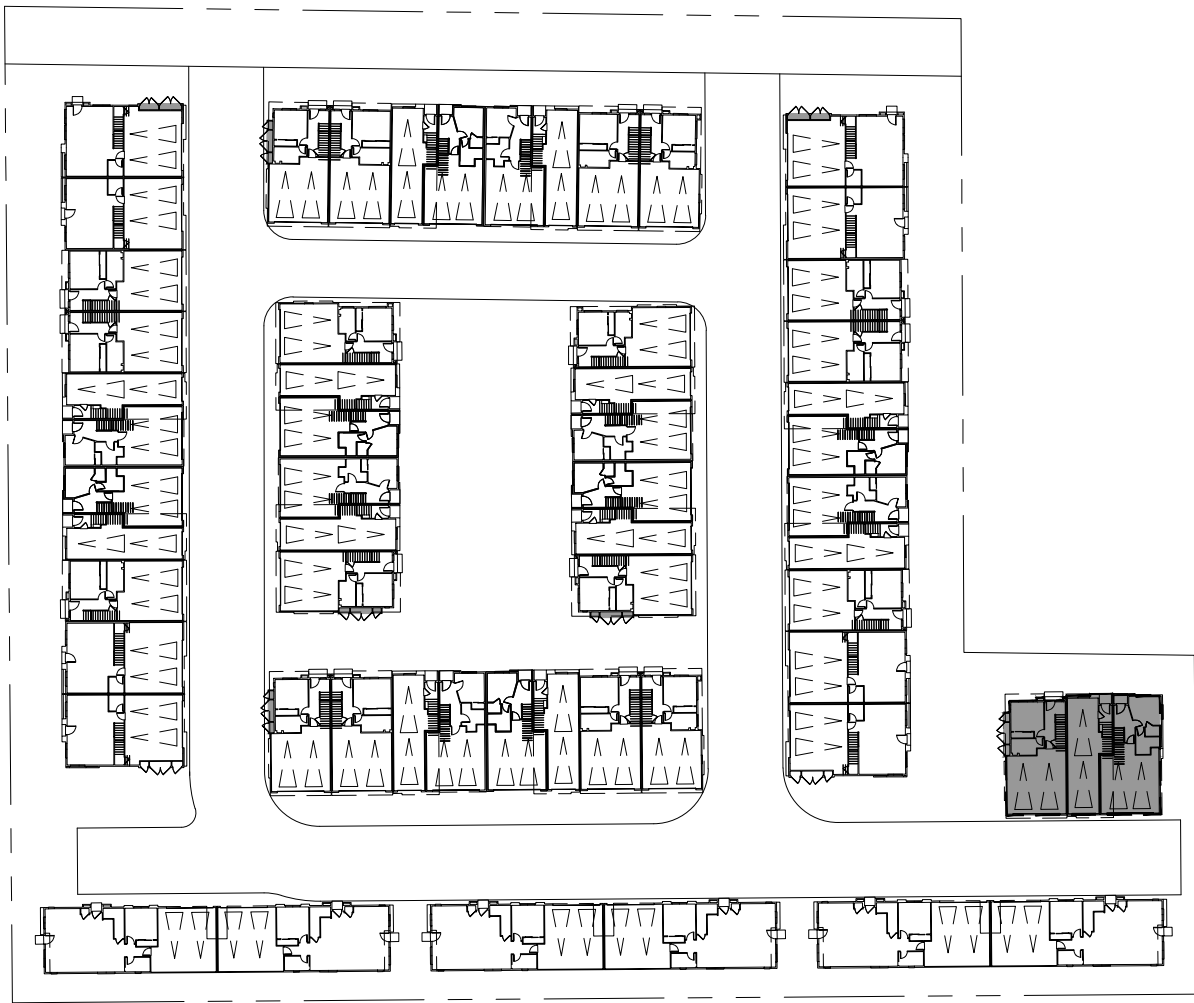
SITE KEY



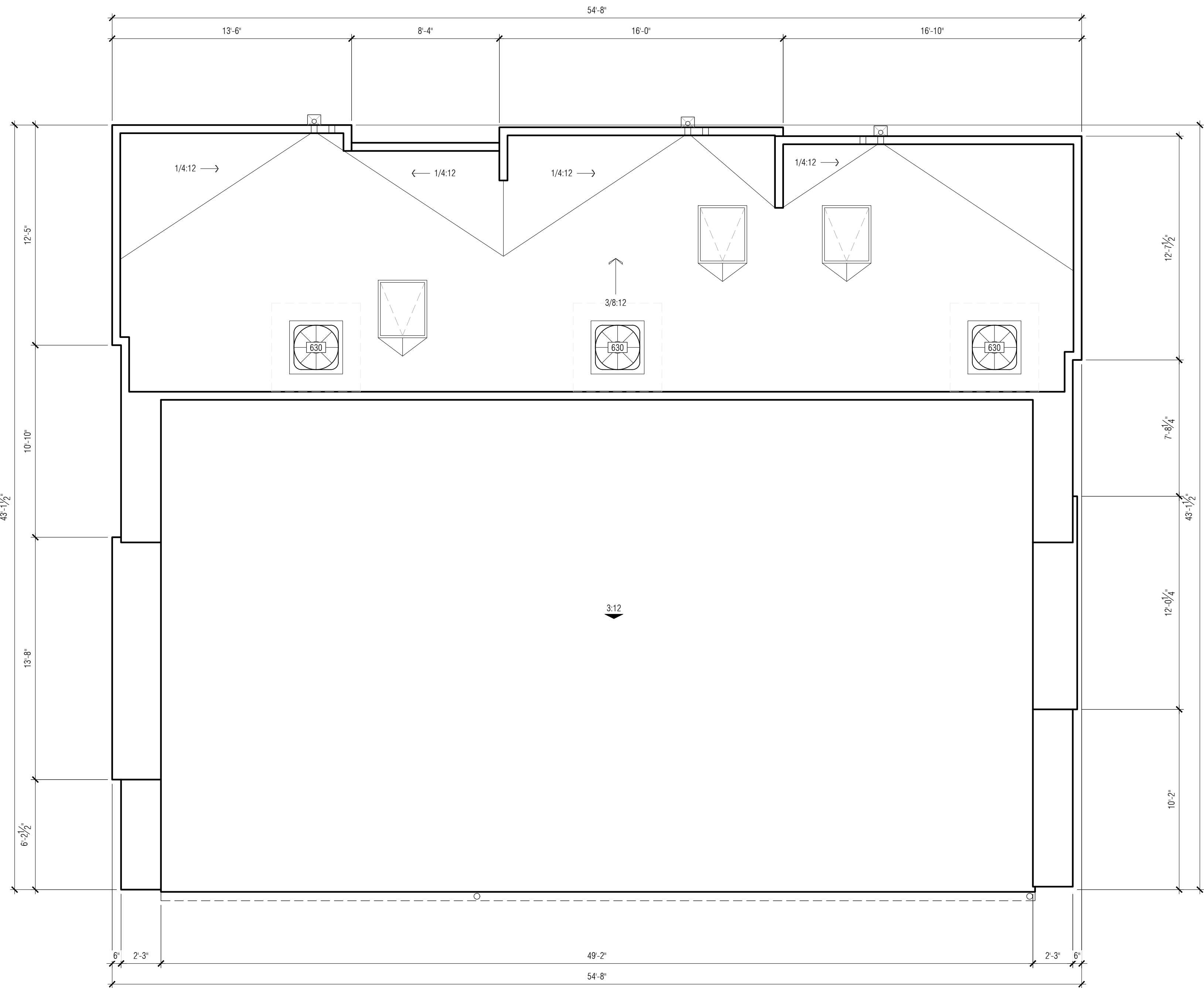
BUILDING 200 AREA TABULATION	
LEVEL ONE:	2,217 SF
LEVEL TWO:	2,298 SF
LEVEL THREE:	2,298 SF
GROSS CONSTRUCT. AREA:	6,814 SF
LOT COVERAGE AREA:	2,343 SF

Revisions:	
△	
△	
△	
△	
PROPERTY: 700 & 704 FOOTHILL BLVD., POMONA, CA. APN: 8367-003-024 & 8367-003-023	
APPLICANT: G3 URBAN 15235 S. WESTERN AVE., GARDENA, CA 90249 925.876.9985	
PREPARED BY: ARCHITEYK - EVERITT KANG 29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354 949.939.1310	

JOB NO.	GU-24-02
SHEET NO.	A1.1.1
DATE	250617



SITE KEY



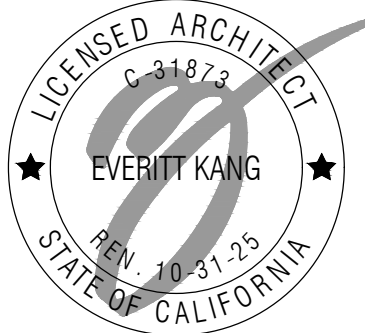
ROOF LEVEL



LEVEL THREE



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PROJECT

FOOTHILL 59

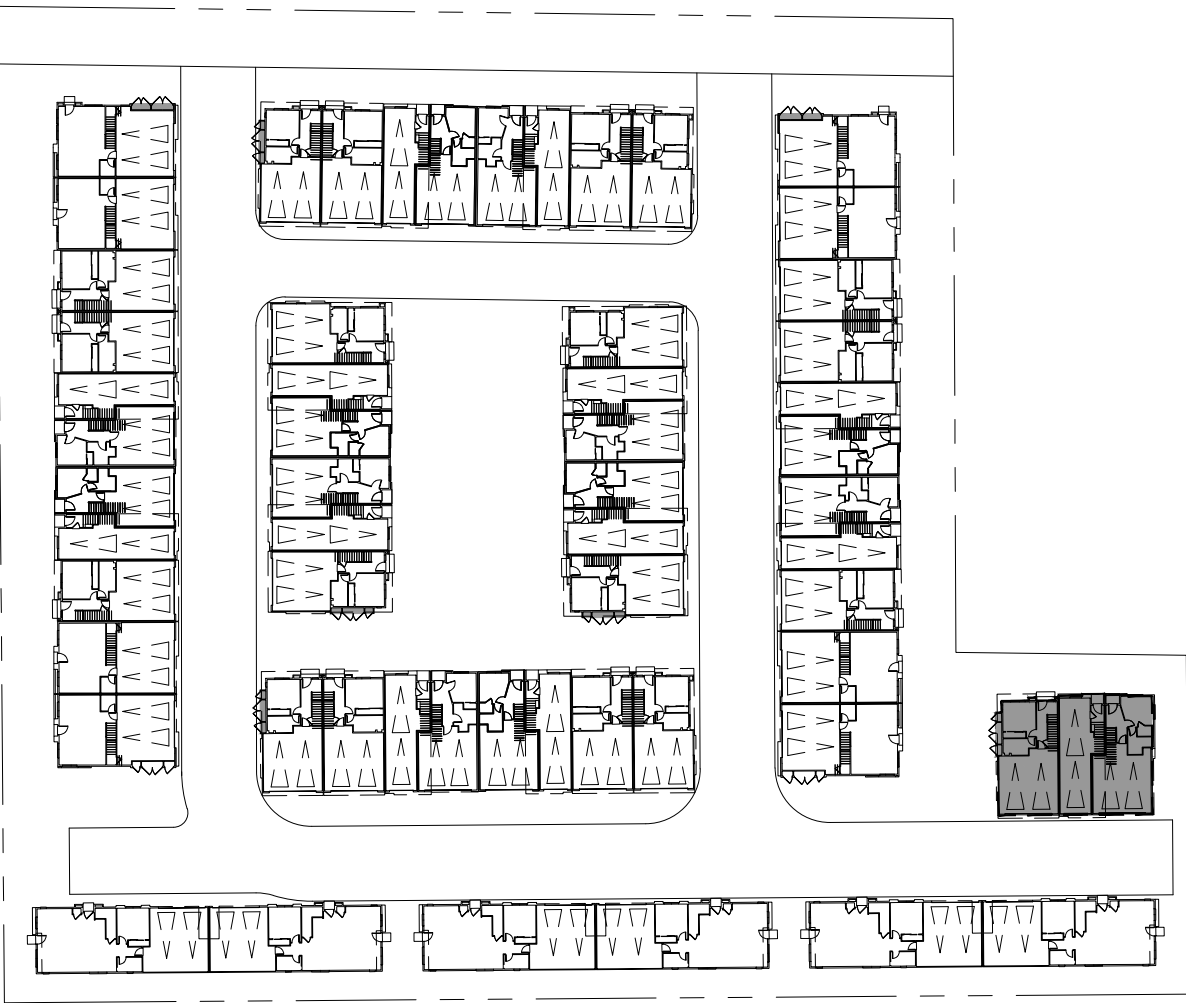
700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

DRAWINGS

BUILDING 200

BUILDING FLOOR PLAN / ROOF PLAN

Revisions:	
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△	
PROPERTY: 700 & 704 FOOTHILL BLVD., POMONA, CA. APN: 8367-003-024 & 8367-003-023	
APPLICANT: G3 URBAN 15235 S. WESTERN AVE., GARDENA, CA 90249 925.876.9985	
PREPARED BY: ARCHITEYK - EVERITT KANG 29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354 949.939.1310	
JOB NO.	GU-24-02
SHEET NO.	A1.1.2
DATE	250617



SITE KEY



SIDE BUILDING ELEVATION
(UNIT PLAN 2 SIDE)

- EXTERIOR ELEVATION KEYNOTES
- [100] ASPHALT COMPOSITION ROOF SHINGLES
 - [101] STUCCO EAVE
 - [102] PARAPET WALL
 - [105] PAINTED METAL SCUPPER / GUTTER / DOWNSPOUT
 - [106] EXTERIOR LIGHT FIXTURE
 - [110] FIBERGLASS ENTRY DOOR
 - [111] FIBERGLASS SLIDING PATIO DOOR
 - [112] METAL/GLASS SECTIONAL GARAGE DOOR
 - [113] UTILITY CLOSET DOOR
 - [114] VINYL WINDOW
 - [120] HORIZONTAL METAL GUARDRAIL
 - [200] PRIMARY STUCCO FINISH (20/30)
 - [201] SECONDARY STUCCO FINISH (20/30)
 - [202] ACCENT STUCCO FINISH (20/30)
 - [203] METAL STUCCO EXPANSION JOINT
 - [204] SMOOTH STUCCO w/ FOAM TRIM
 - [205] HORIZONTAL CRAFT BOARD FORM CREATIVE MINES
 - [206] VERTICAL CRAFT BOARD FORM CREATIVE MINES



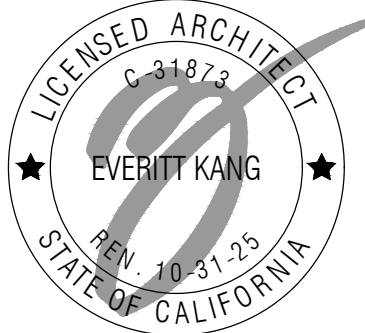
ENTRY SIDE BUILDING ELEVATION

Revisions:	
△ PLANNING RESPONSE 1	
△ 241218	
△	
△	
△	
PROPERTY:	
700 & 704 FOOTHILL BLVD., POMONA, CA.	
APN: 8367-003-024 & 8367-003-023	
APPLICANT:	
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JOB NO.	GU-24-02
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PROJECT

FOOTHILL 59

700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

DRAWINGS

BUILDING 200

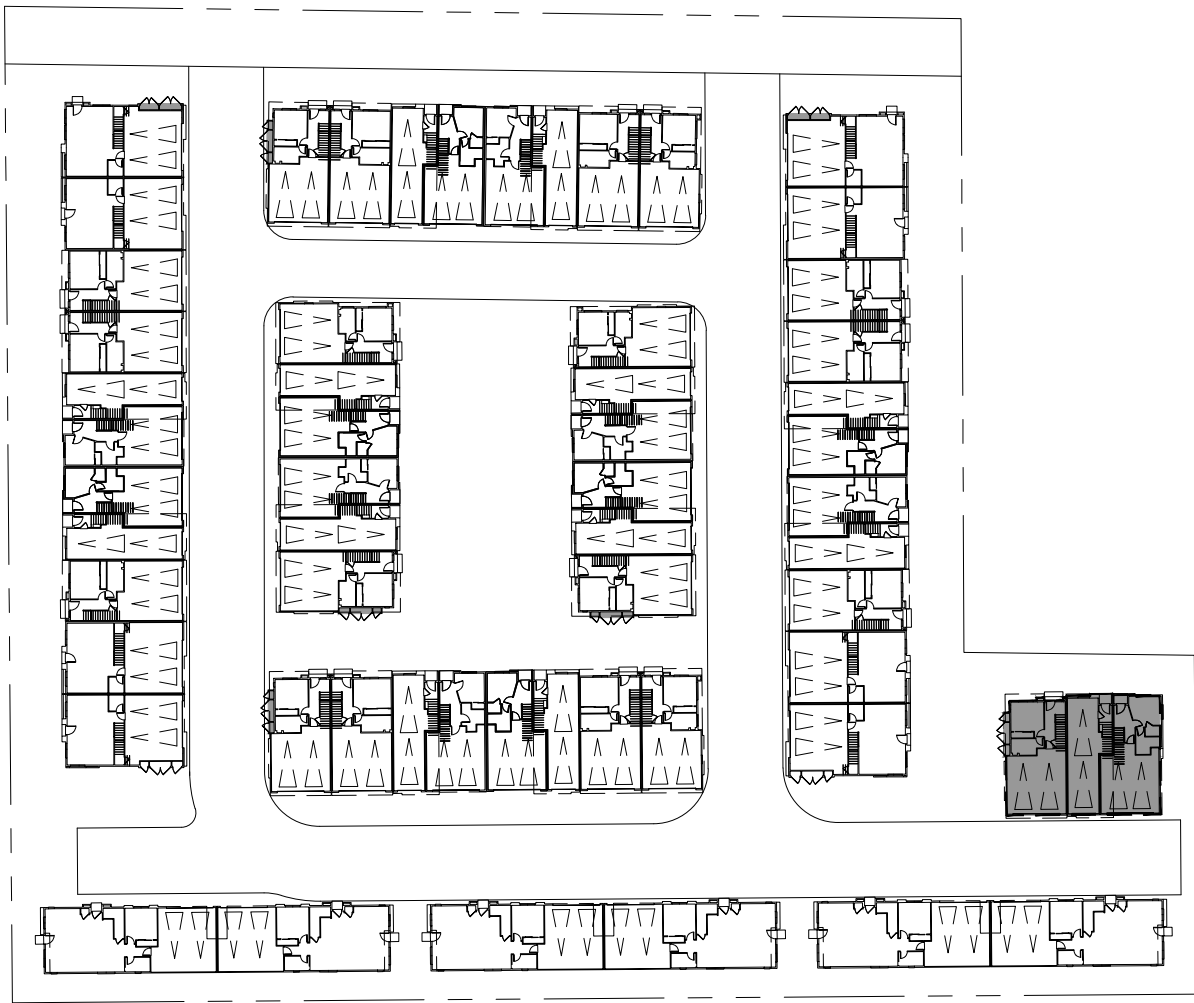
BUILDING EXTERIOR ELEVATIONS



SIDE BUILDING ELEVATION
(UNIT PLAN 3 SIDE)



DRIVE ALLEY ELEVATION



SITE KEY

EXTERIOR ELEVATION KEYNOTES	
[100]	ASPHALT COMPOSITION ROOF SHINGLES
[101]	STUCCO EAVE
[102]	PARAPET WALL
[105]	PAINTED METAL SCUPPER / GUTTER / DOWNSPOUT
[106]	EXTERIOR LIGHT FIXTURE
[110]	FIBERGLASS ENTRY DOOR
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Revisions:	
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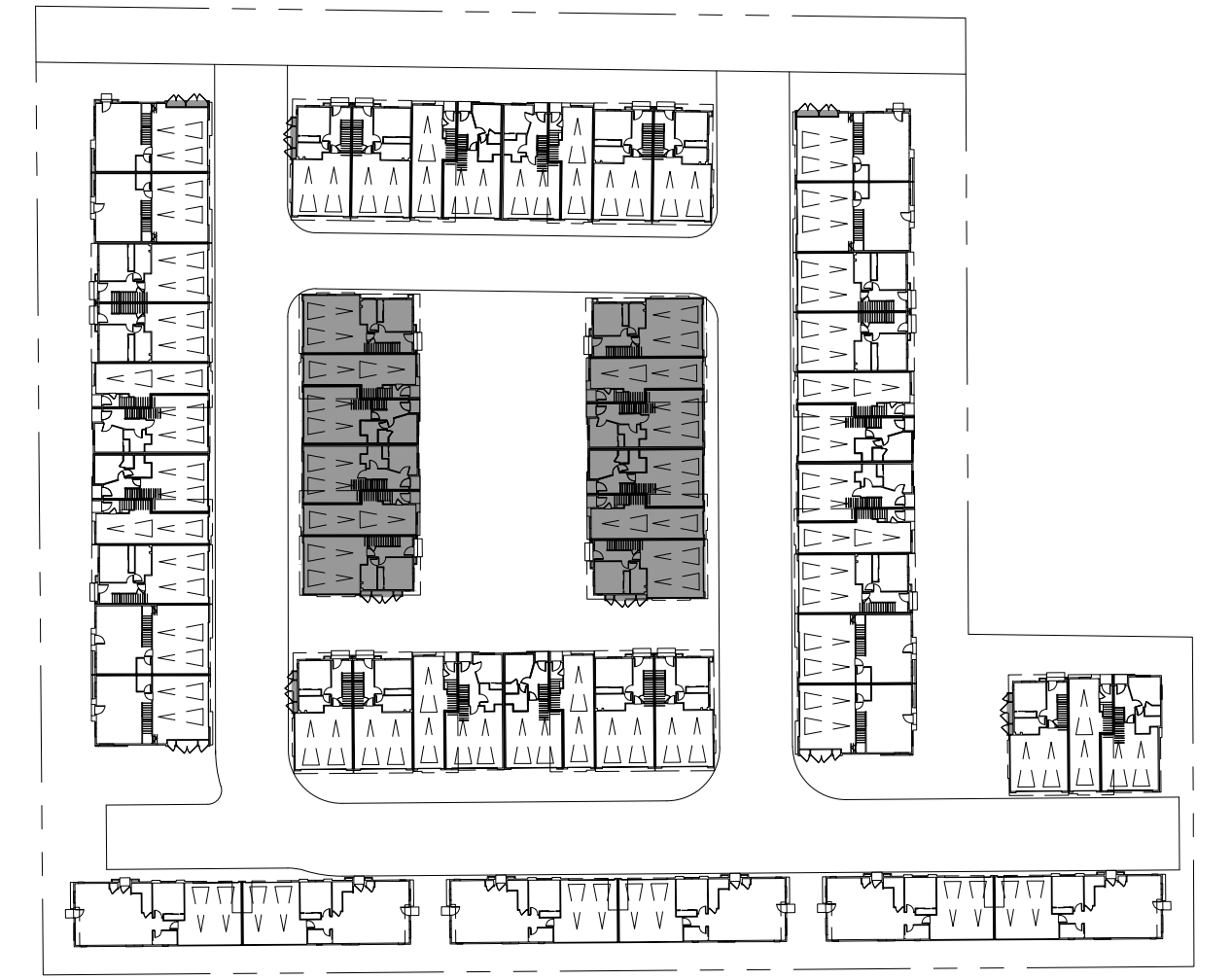
15235 S. WESTERN AVENUE
GARDENA, CA 90249

PROJECT

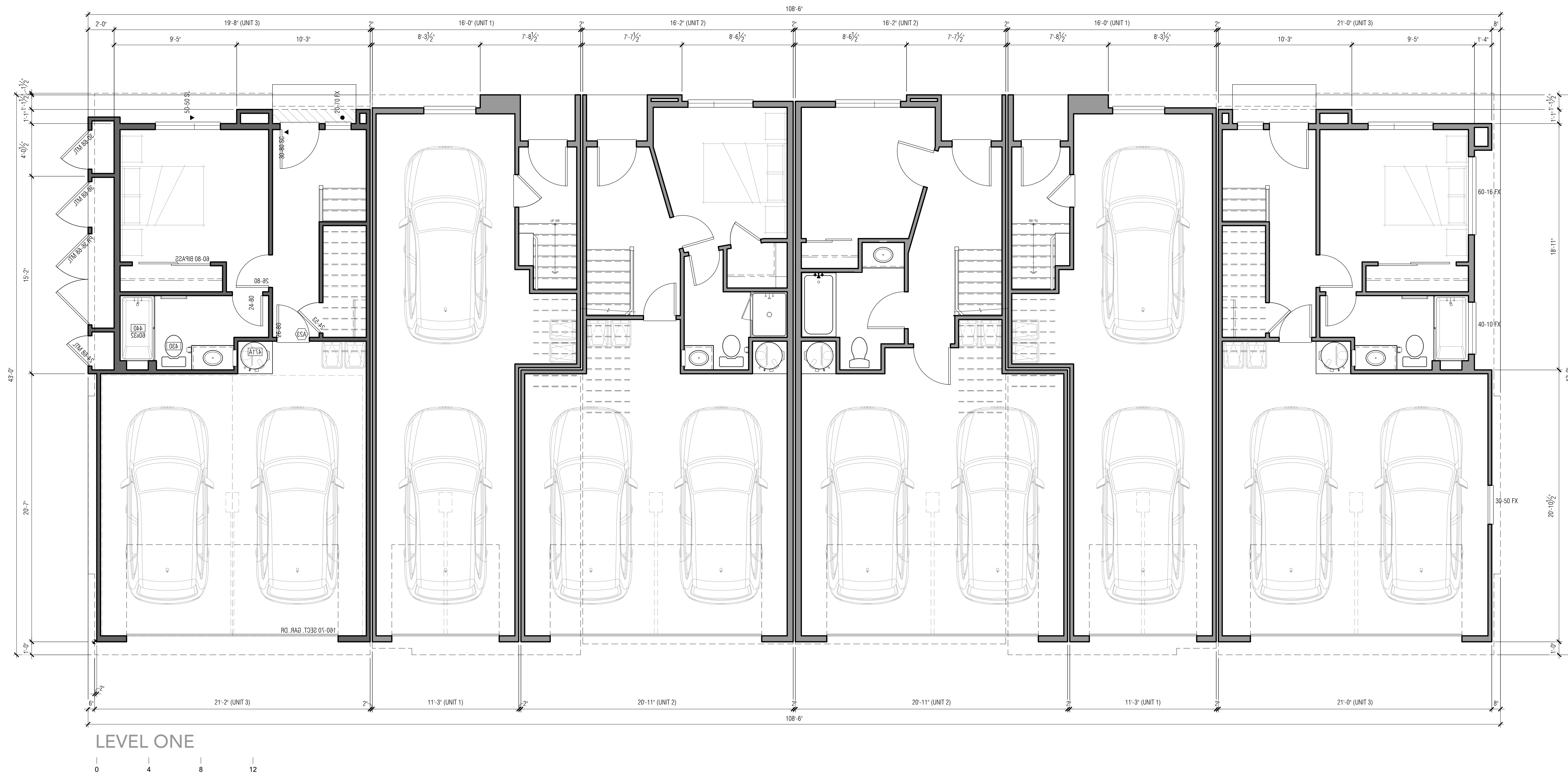
FOOTHILL 59
700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

DRAWINGS

BUILDING 200
BUILDING EXTERIOR ELEVATIONS



SITE KEY



LEVEL ONE

Revisions:	
△	
△	
△	
△	

PROPERTY:
700 & 704 FOOTHILL BLVD., POMONA, CA.
APN: 8367-003-024 & 8367-003-023

APPLICANT:
G3 URBAN
15235 S. WESTERN AVE., GARDENA, CA 90249
925.876.9985

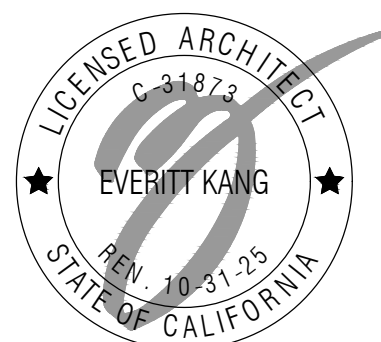
PREPARED BY:
ARCHITEYK - EVERITT KANG
29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354
949.939.1310

JOB NO.	GU-24-02
SHEET NO.	A1.2.1
DATE	250617

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VALENCIA CALIFORNIA 91354
949 939 1310
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EVERITT KANG
C 31673
EXPI. 10-31-25
STATE OF CALIFORNIA



15235 S. WESTERN AVENUE
GARDENA, CA 90249

PROJECT

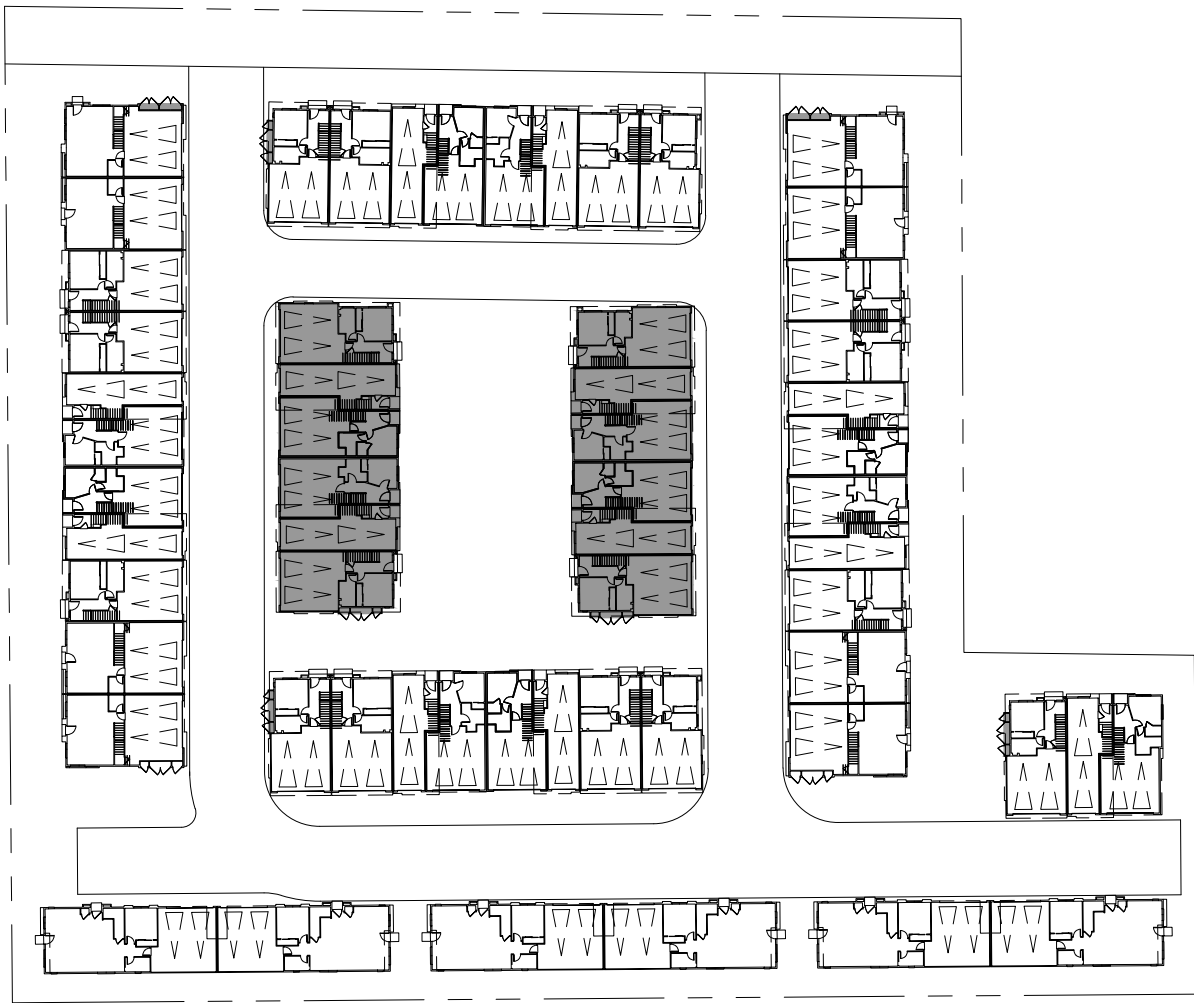
FOOTHILL 59

700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

DRAWINGS

BUILDING 201

BUILDING FLOOR PLAN



SITE KEY



LEVEL ONE

Revisions:

▲

▲

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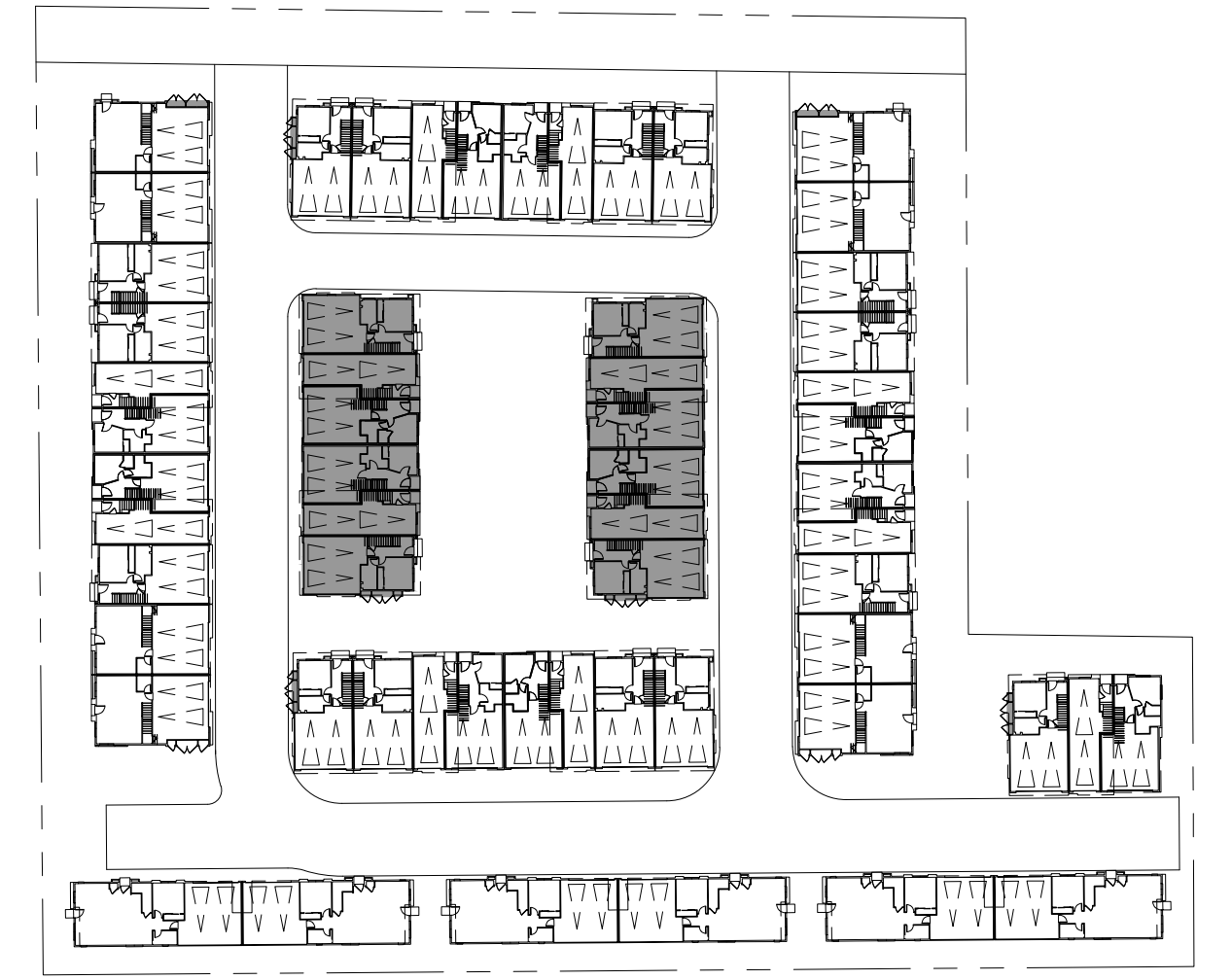
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PROPERTY:
700 & 704 FOOTHILL BLVD., POMONA, CA.
APN: 8367-003-024 & 8367-003-023

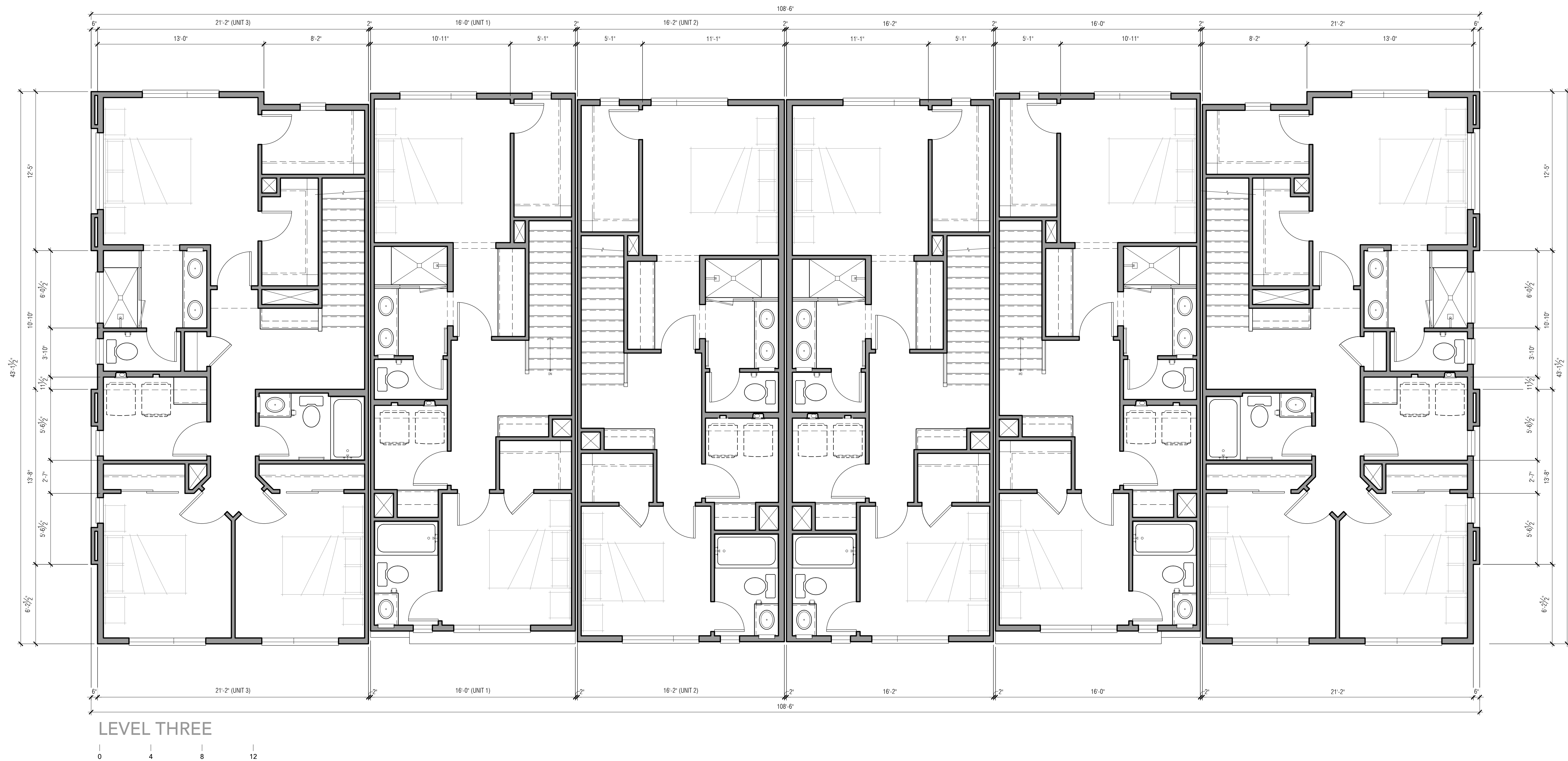
APPLICANT:
G3 URBAN
15235 S. WESTERN AVE., GARDENA, CA 90249
925.876.9985

PREPARED BY:
ARCHITEYK - EVERITT KANG
29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354
949.939.1310

JOB NO.	GU-24-02
SHEET NO.	A1.2.2
DATE	250617



SITE KEY



LEVEL THREE

Revisions:	
△	
△	
△	
△	

PROPERTY:
700 & 704 FOOTHILL BLVD., POMONA, CA.
APN: 8367-003-024 & 8367-003-023

APPLICANT:
G3 URBAN
15235 S. WESTERN AVE., GARDENA, CA 90249
925.876.9985

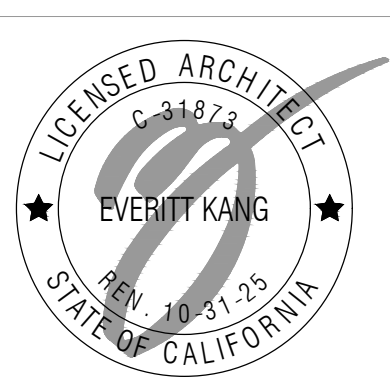
PREPARED BY:
ARCHITEYK - EVERITT KANG
29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354
949.939.1310

JOB NO.	GU-24-02
SHEET NO.	A1.2.3
DATE	250617

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ARCHITECT
STATE OF CALIFORNIA
C 31873
EXPI. 10-31-25



15235 S. WESTERN AVENUE
GARDENA, CA 90249

PROJECT

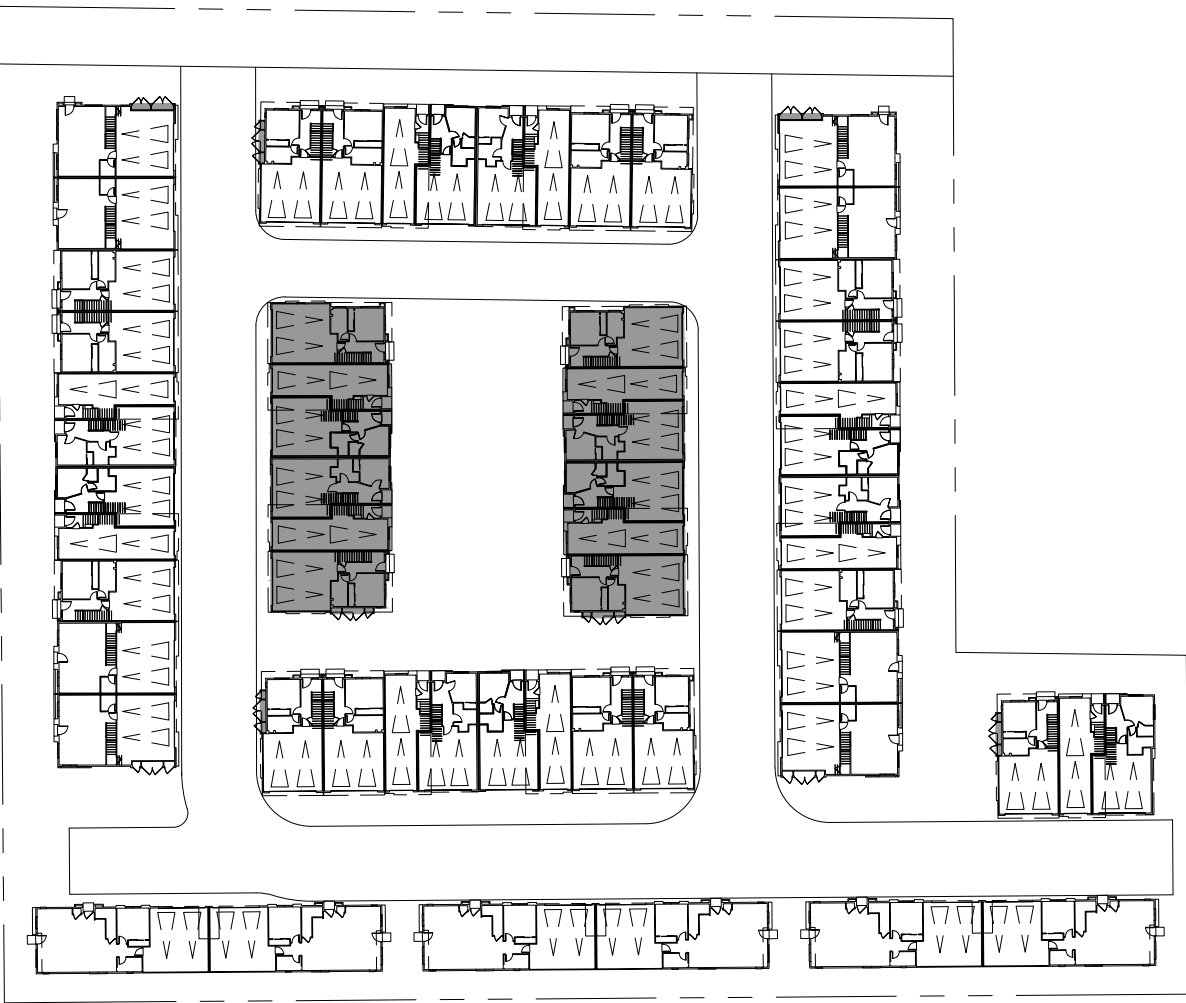
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700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

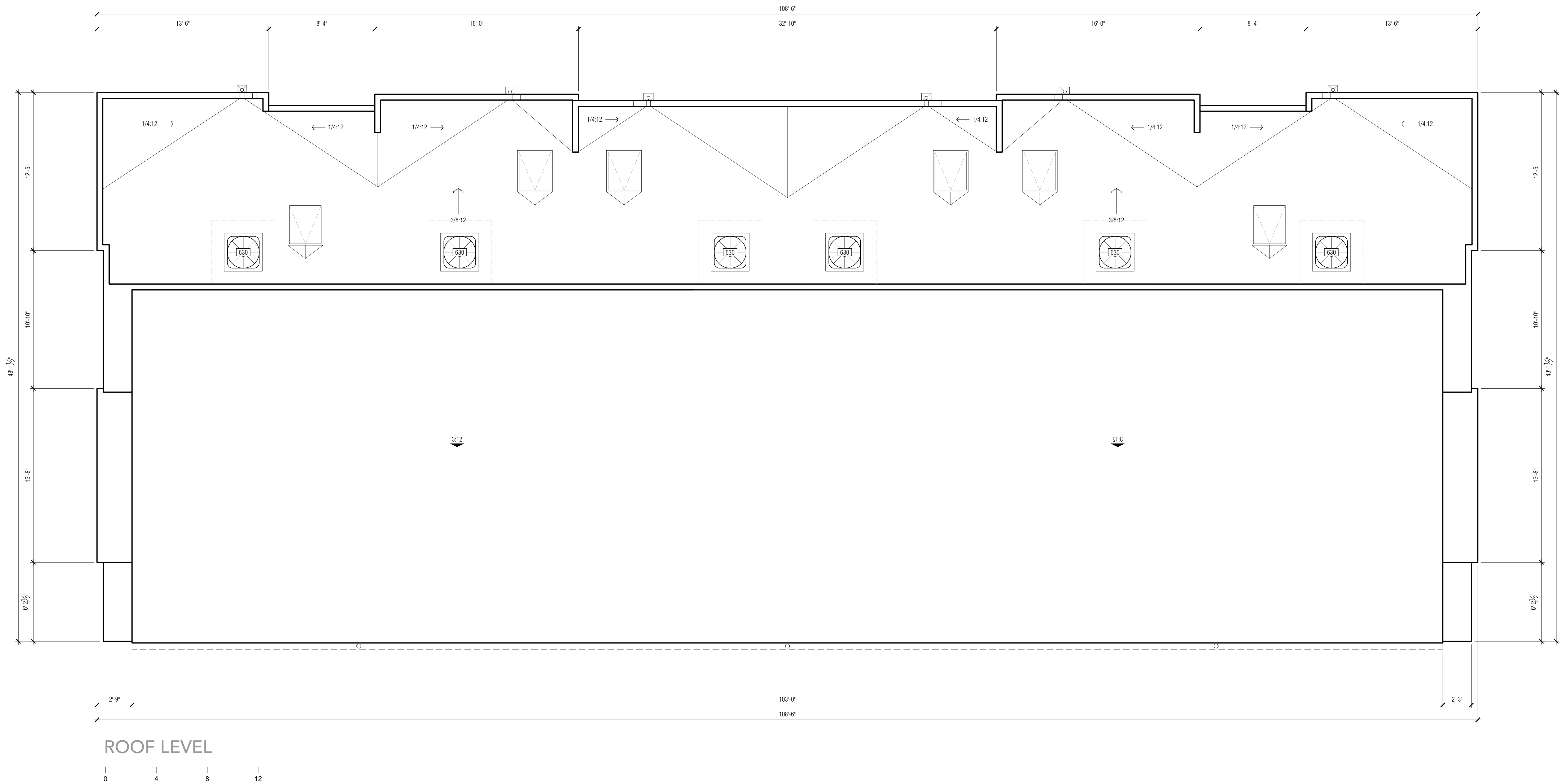
DRAWINGS

BUILDING 201

BUILDING FLOOR PLAN



SITE KEY



ROOF LEVEL

Revisions:	
△	
△	
△	
△	

PROPERTY:
700 & 704 FOOTHILL BLVD., POMONA, CA.
APN: 8367-003-024 & 8367-003-023

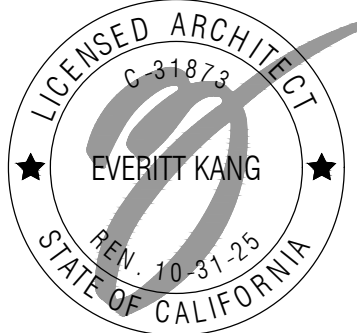
APPLICANT:
G3 URBAN
15235 S. WESTERN AVE., GARDENA, CA 90249
925.876.9985

PREPARER: ARCHITEYK - EVERITT KANG 29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354 949.939.1310	
JOB NO.	GU-24-02
SHEET NO.	A1.2.4
DATE	250617



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APPLICANT

urban

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GARDENA, CA 90249

PROJECT

FOOTHILL 59

700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

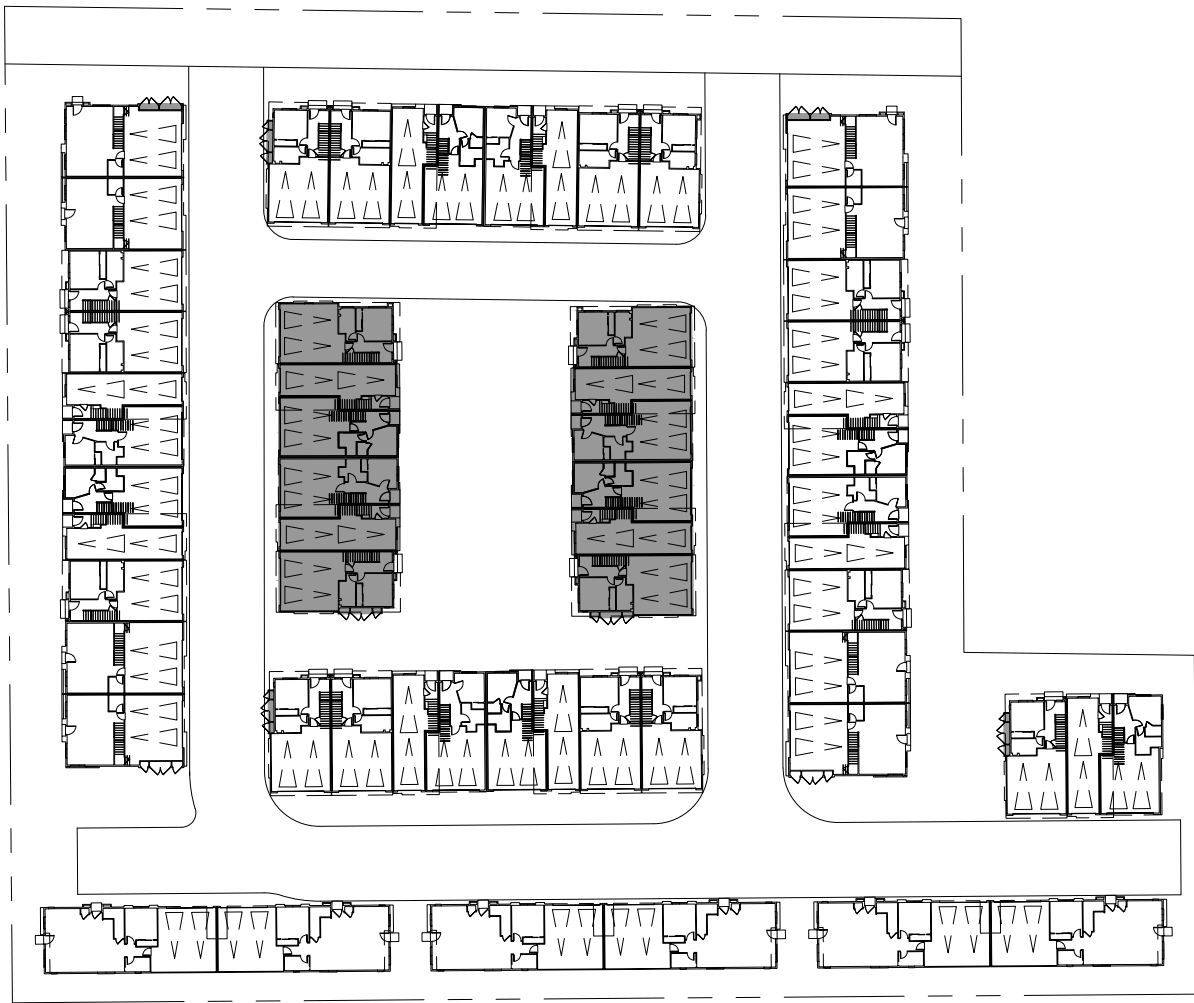
DRAWINGS

BUILDING 201

BUILDING ROOF PLAN



RIGHT ELEVATION
(UNIT PLAN 3 SIDE)



SITE KEY

EXTERIOR ELEVATION KEYNOTES	
[100]	ASPHALT COMPOSITION ROOF SHINGLES
[101]	STUCCO EAVE
[102]	PARAPET WALL
[105]	PAINTED METAL SCUPPER / GUTTER / DOWNSPOUT
[106]	EXTERIOR LIGHT FIXTURE
[110]	FIBERGLASS ENTRY DOOR
[111]	FIBERGLASS SLIDING PATIO DOOR
[112]	METAL/GLASS SECTIONAL GARAGE DOOR
[113]	UTILITY CLOSET DOOR
[114]	VINYL WINDOW
[120]	HORIZONTAL METAL GUARDRAIL
[200]	PRIMARY STUCCO FINISH (20/30)
[201]	SECONDARY STUCCO FINISH (20/30)
[202]	ACCENT STUCCO FINISH (20/30)
[203]	METAL STUCCO EXPANSION JOINT
[204]	SMOOTH STUCCO w/ FOAM TRIM
[205]	HORIZONTAL CRAFT BOARD FORM
[206]	VERTICAL CRAFT BOARD FORM
[206]	CREATIVE MINES

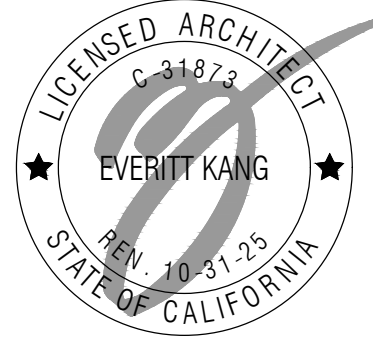


ENTRY SIDE BUILDING ELEVATION

Revisions:	
△	PLANNING RESPONSE 1
△	241218
△	
△	
PROPERTY:	
700 & 704 FOOTHILL BLVD., POMONA, CA.	
APN: 8367-003-024 & 8367-003-023	
APPLICANT:	
G3 URBAN	
15235 S. WESTERN AVE., GARDENA, CA 90249	
925.876.9985	
PREPARER:	
ARCHITEYK - EVERITT KANG	
29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354	
949.939.1310	
JOB NO.	GU-24-02
SHEET NO.	A1.2.5
DATE	250617



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15235 S. WESTERN AVENUE
GARDENA, CA 90249

PROJECT

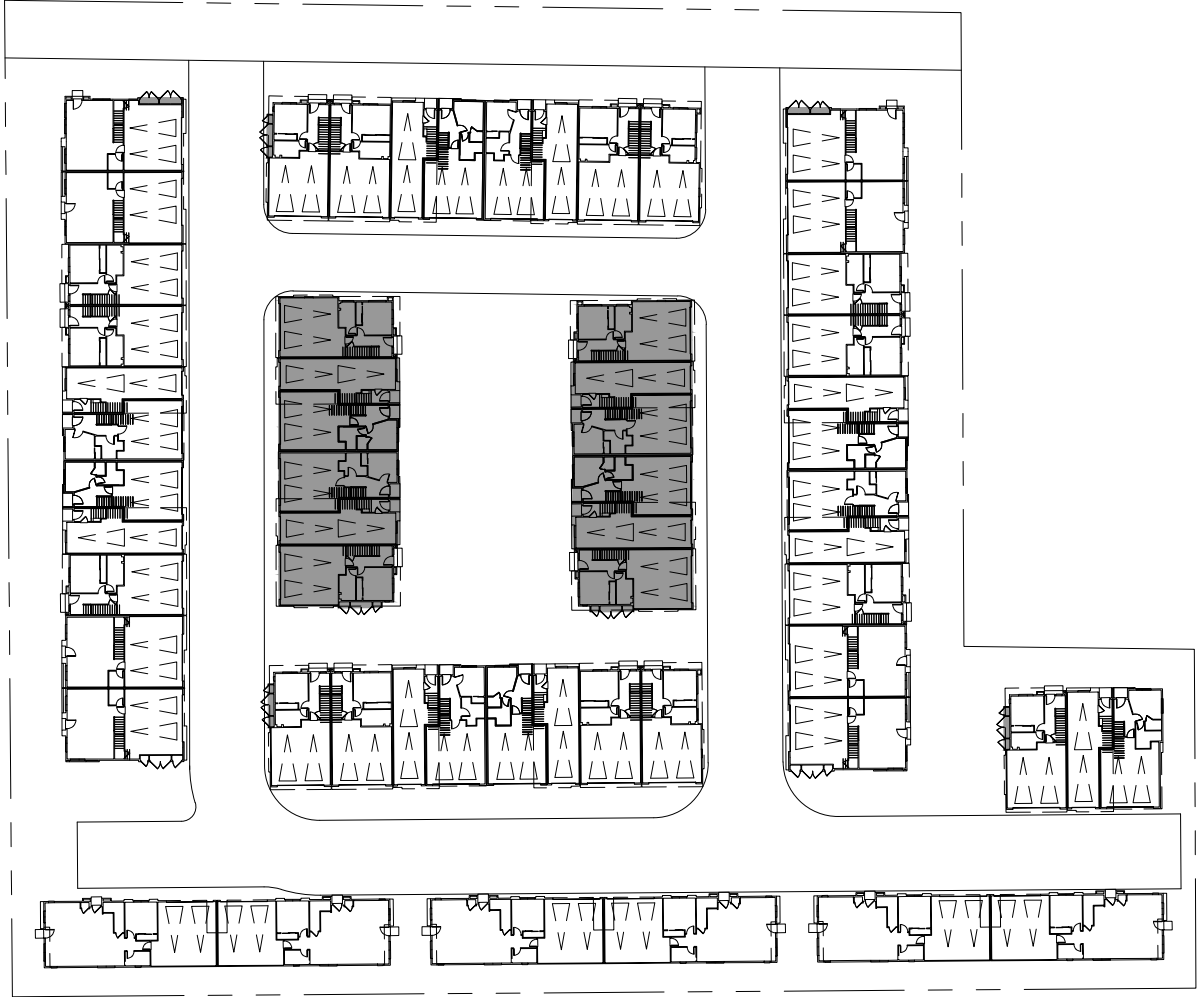
FOOTHILL 59
700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

DRAWINGS

BUILDING 201
BUILDING EXTERIOR ELEVATIONS



LEFT ELEVATION
(UNIT PLAN 3 SIDE)



SITE KEY

EXTERIOR ELEVATION KEYNOTES	
[100]	ASPHALT COMPOSITION ROOF SHINGLES
[101]	STUCCO EAVE
[102]	PARAPET WALL
[105]	PAINTED METAL SCUPPER / GUTTER / DOWNSPOUT
[106]	EXTERIOR LIGHT FIXTURE
[110]	FIBERGLASS ENTRY DOOR
[111]	FIBERGLASS SLIDING PATIO DOOR
[112]	METAL/GLASS SECTIONAL GARAGE DOOR
[113]	UTILITY CLOSET DOOR
[114]	VINYL WINDOW
[120]	HORIZONTAL METAL GUARDRAIL
[200]	PRIMARY STUCCO FINISH (20/30)
[201]	SECONDARY STUCCO FINISH (20/30)
[202]	ACCENT STUCCO FINISH (20/30)
[203]	METAL STUCCO EXPANSION JOINT
[204]	SMOOTH STUCCO w/ FOAM TRIM
[205]	HORIZONTAL CRAFT BOARD FORM CREATIVE MINES
[206]	VERTICAL CRAFT BOARD FORM CREATIVE MINES



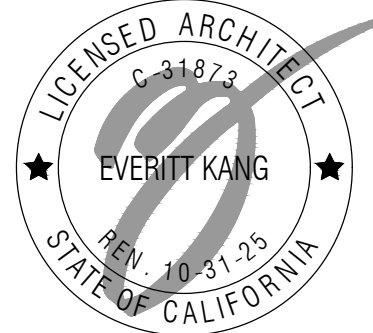
DRIVE ALLEY ELEVATION

0 4 8 12

Revisions:	
△	
△	
△	
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PROPERTY: 700 & 704 FOOTHILL BLVD., POMONA, CA. APN: 8367-003-024 & 8367-003-023	
APPLICANT: G3 URBAN 15235 S. WESTERN AVE., GARDENA, CA 90249 925.876.9985	
PREPARED BY: ARCHITTEYK - EVERITT KANG 29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354 949.939.1310	
JOB NO.	GU-24-02
SHEET NO.	A1.2.6
DATE	250617



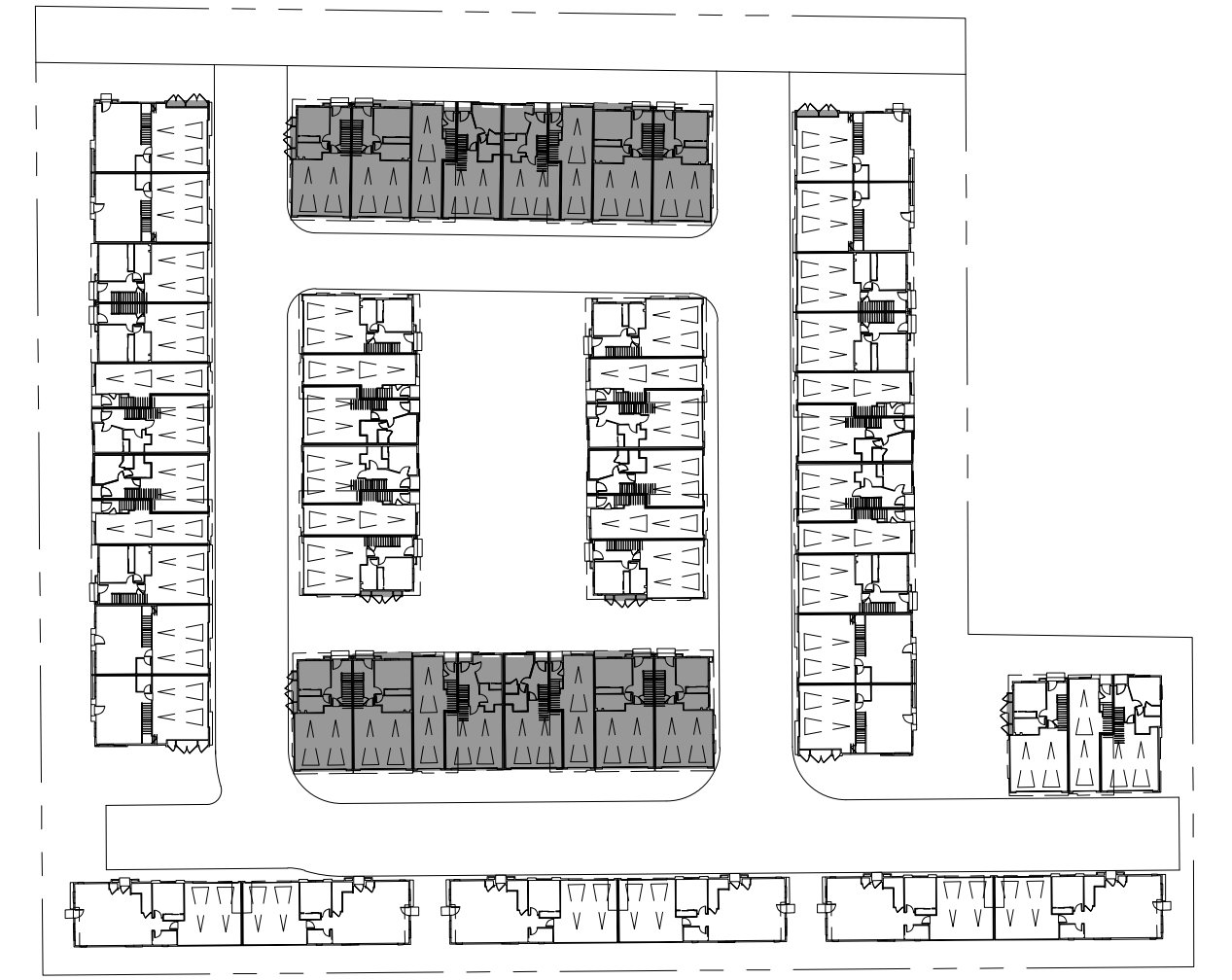
ARCHITTEYK
29222 DAKOTA DRIVE
VALENCIA CALIFORNIA 91354
949 939 1310
www.archittek.com



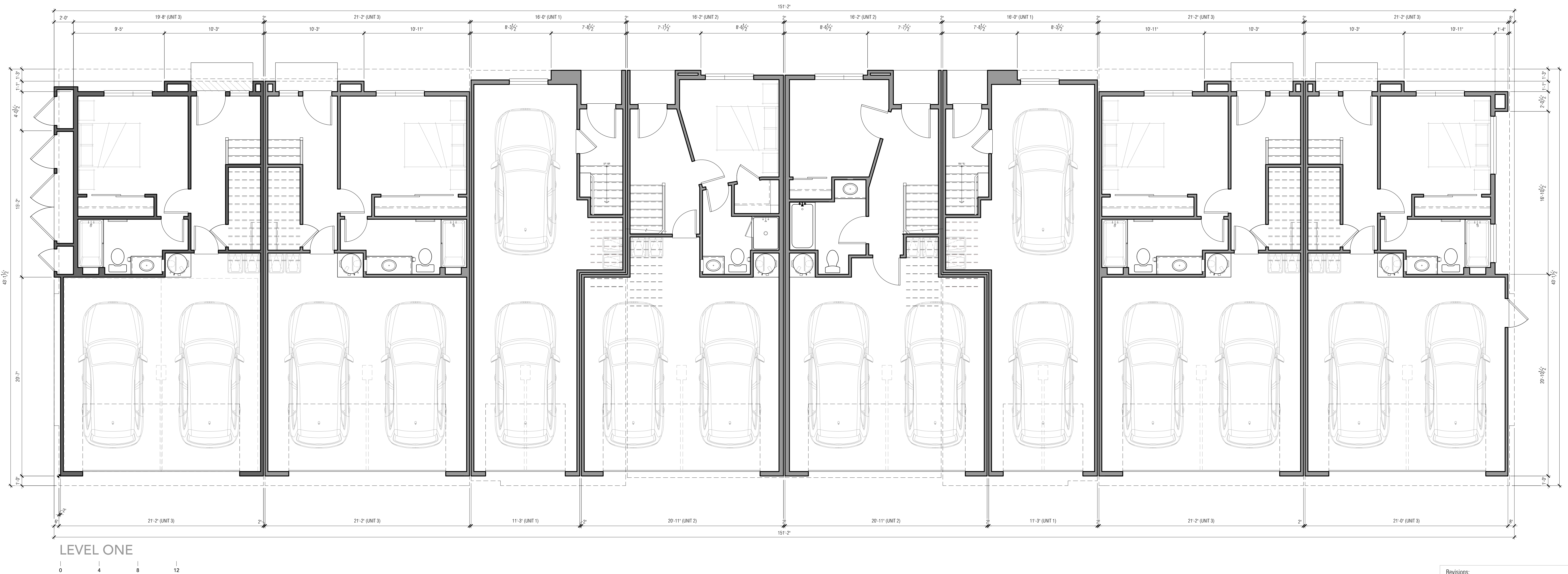
APPLICANT
G3
urban
15235 S. WESTERN AVENUE
GARDENA, CA 90249

PROJECT
FOOTHILL 59
700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

DRAWINGS
BUILDING 201
BUILDING EXTERIOR ELEVATIONS



SITE KEY



Revisions:	
△	
△	
△	
△	

PROPERTY:
700 & 704 FOOTHILL BLVD., POMONA, CA
APN: 8367-003-024 & 8367-003-023

APPLICANT:
G3 URBAN
15235 S. WESTERN AVE., GARDENA, CA 90249
925.876.9985

PREPARED BY:
ARCHITEYK - EVERITT KANG
29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354
949.939.1310

JOB NO.	GU-24-02
SHEET NO.	A1.3.1
DATE	250617



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APPLICANT



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GARDENA, CA 90249

PROJECT

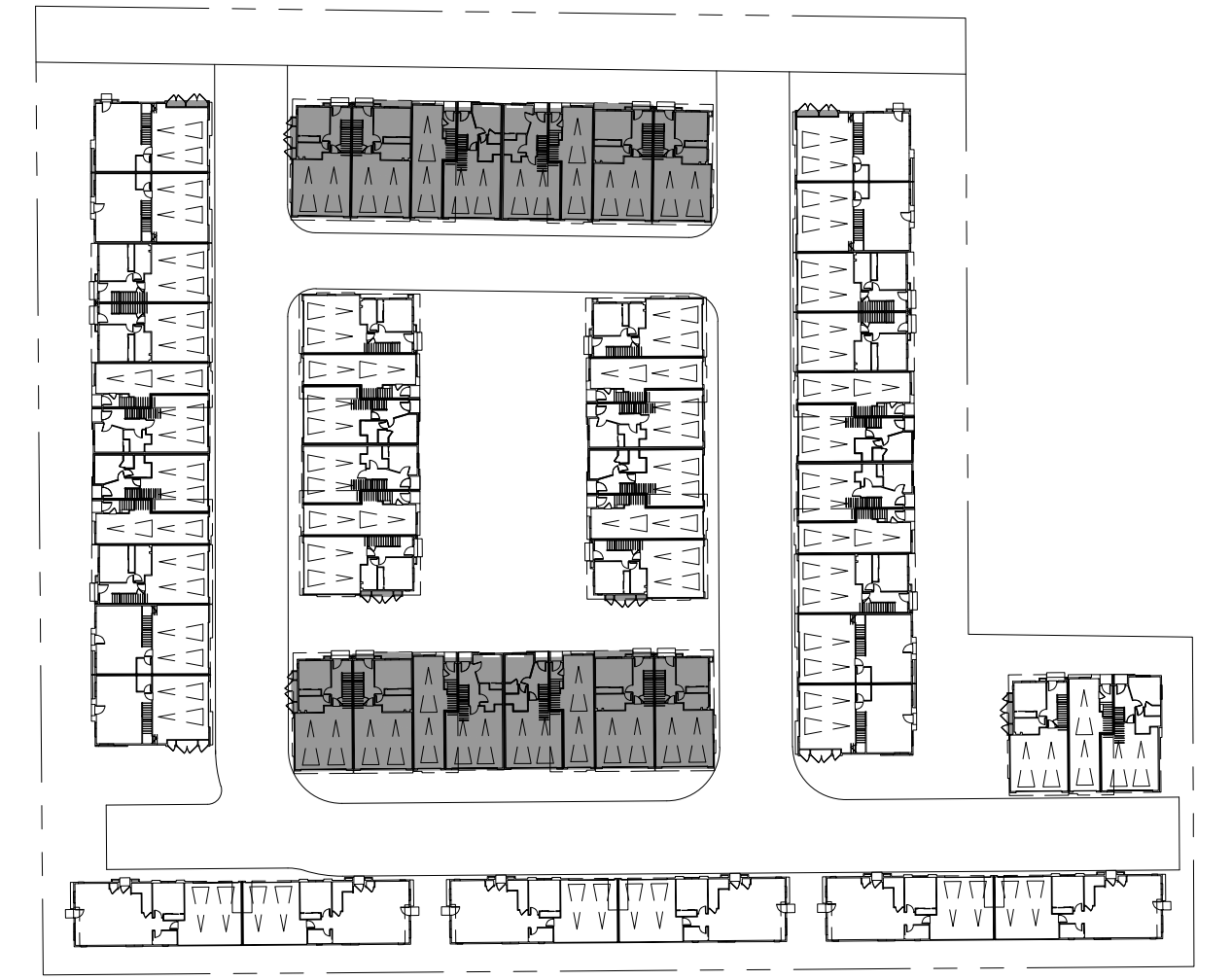
FOOTHILL 59

700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

DRAWINGS

BUILDING 202

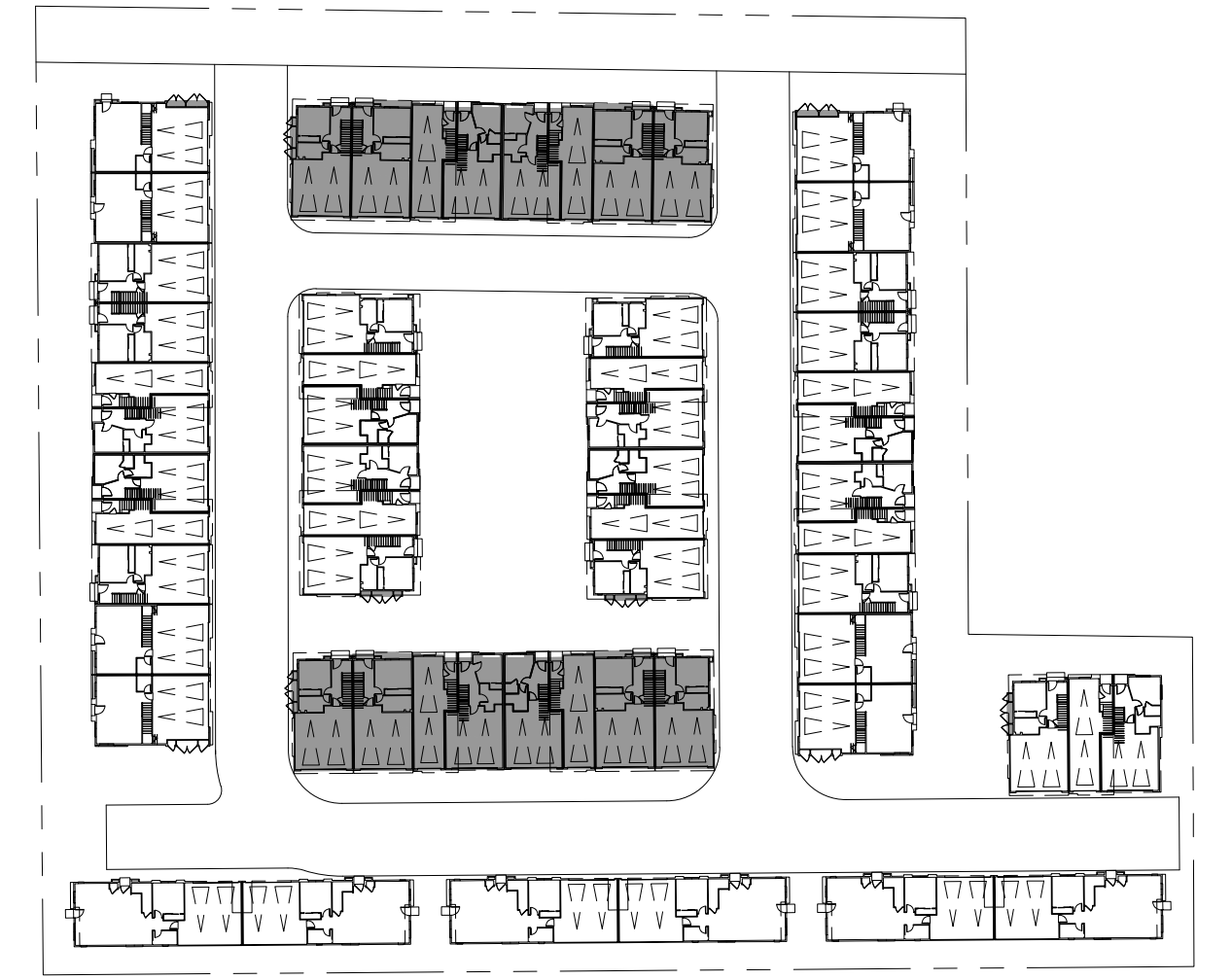
BUILDING FLOOR PLAN



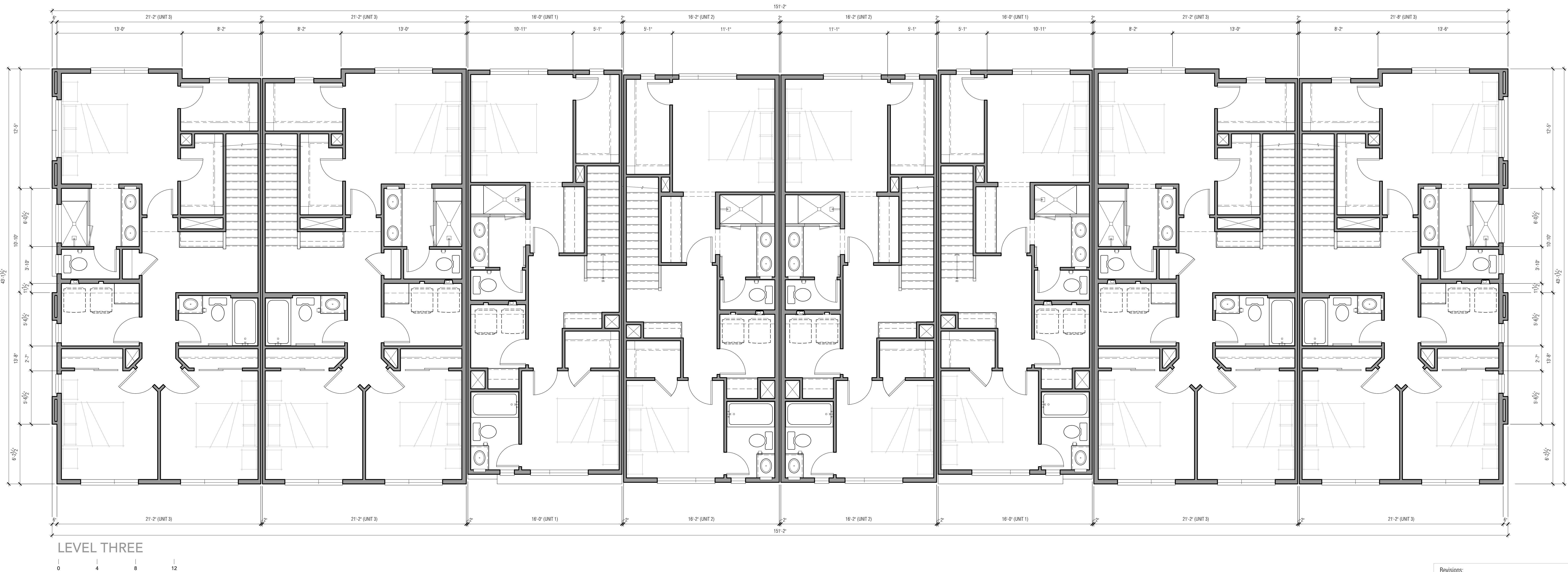
SITE KEY



Revisions:	
△	
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PROPERTY:	
700 & 704 FOOTHILL BLVD., POMONA, CA.	
APN: 8367-003-024 & 8367-003-023	
APPLICANT:	
G3 URBAN	
15235 S. WESTERN AVE., GARDENA, CA 90249	
925.876.9985	
PREPARER:	
ARCHITEYK - EVERITT KANG	
29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354	
949.939.1310	
JOB NO.	GU-24-02
SHEET NO.	A1.3.2
DATE	250617



SITE KEY



LEVEL THREE

Revisions:	
△	
△	
△	
△	

PROPERTY:
700 & 704 FOOTHILL BLVD., POMONA, CA.
APN: 8367-003-024 & 8367-003-023

APPLICANT:
G3 URBAN
15235 S. WESTERN AVE., GARDENA, CA 90249
925.876.9985

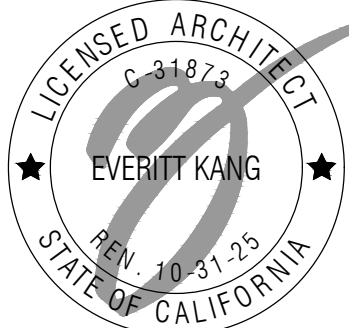
PREPARED BY:
ARCHITEYK - EVERITT KANG
29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354
949.939.1310

JOB NO.	GU-24-02
SHEET NO.	A1.3.3
DATE	250617



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GARDENA, CA 90249

PROJECT

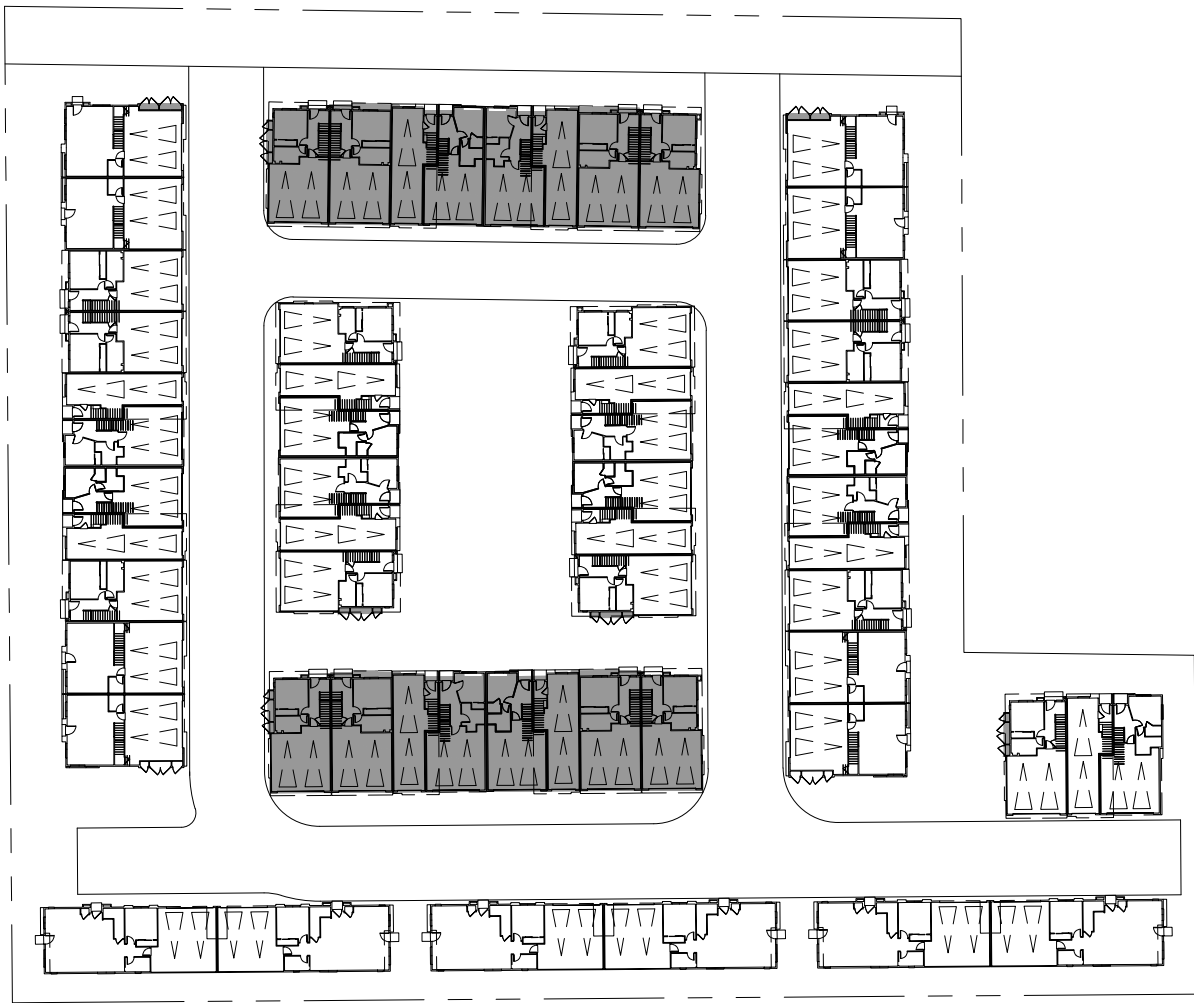
FOOTHILL 59

700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

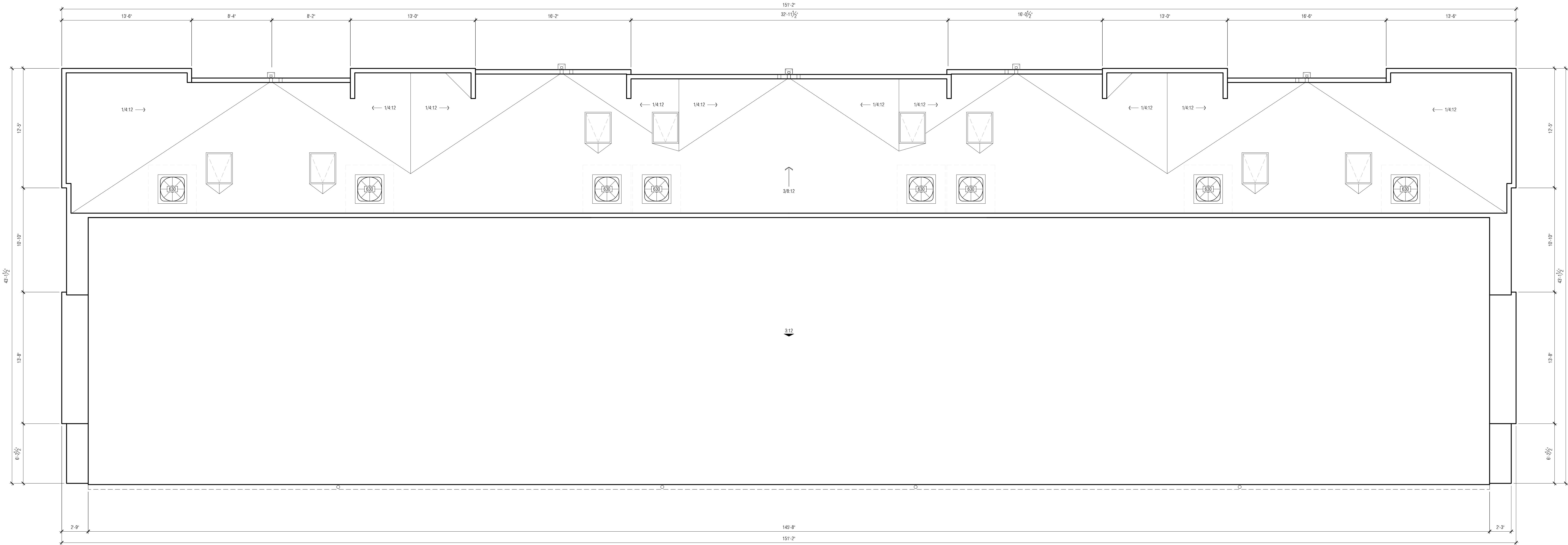
DRAWINGS

BUILDING 202

BUILDING FLOOR PLAN



SITE KEY

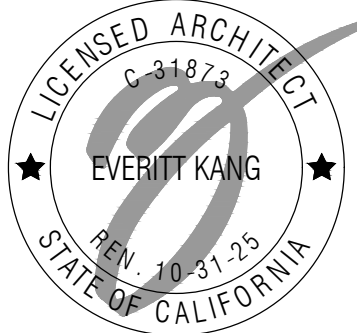


ROOF LEVEL

Revisions:	
△	
△	
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△	
PROPERTY: 700 & 704 FOOTHILL BLVD., POMONA, CA. APN: 8367-003-024 & 8367-003-023	
APPLICANT: G3 URBAN 15235 S. WESTERN AVE., GARDENA, CA 90249 925.876.9985	
PREPARER: ARCHITEYK - EVERITT KANG 29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354 949.939.1310	
JOB NO.	GU-24-02
SHEET NO.	A1.3.4
DATE	250617



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PROJECT

FOOTHILL 59

700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

DRAWINGS

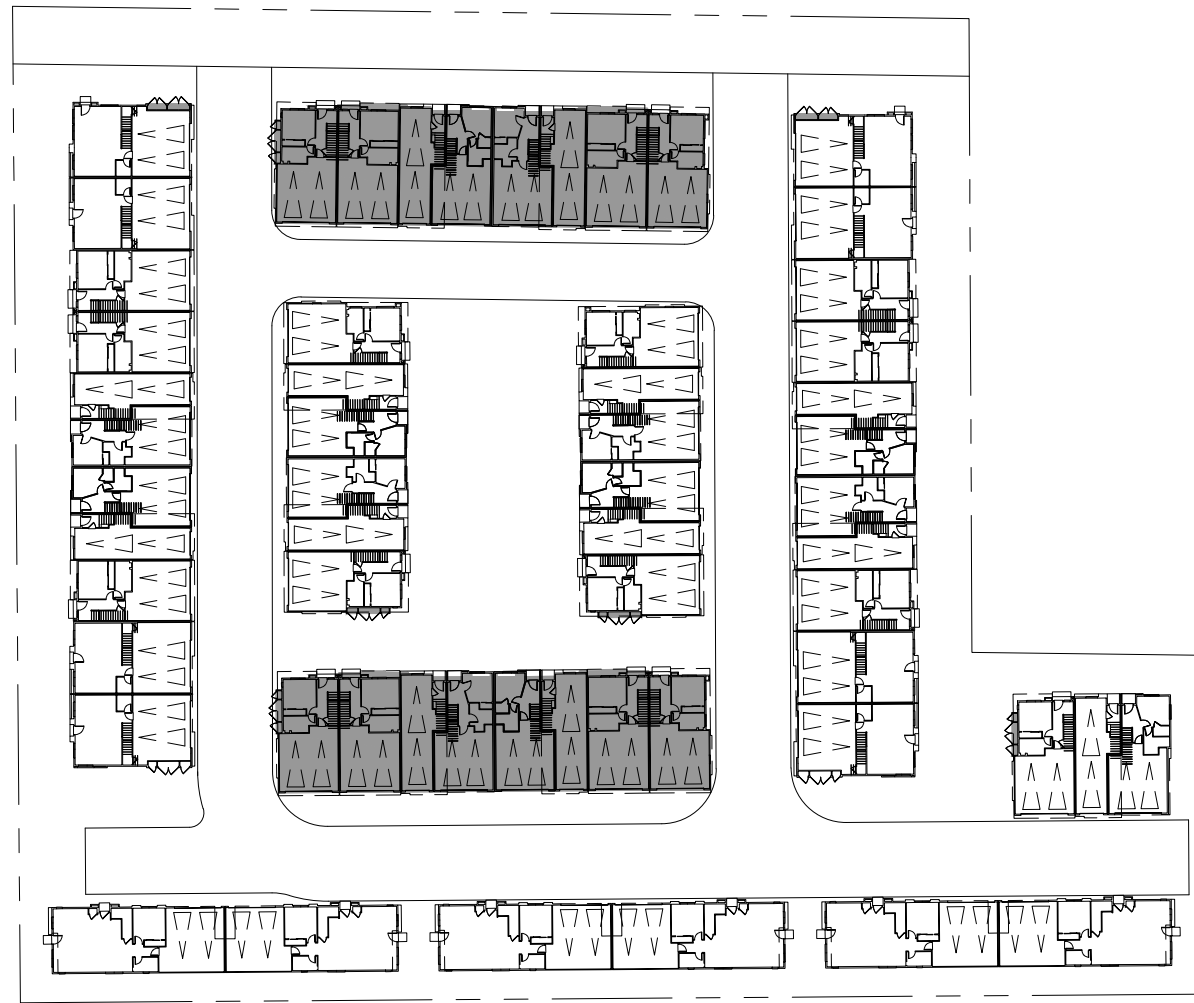
BUILDING 202

BUILDING ROOF PLAN



ENTRY SIDE BUILDING ELEVATION
(LEFT PARTIAL)

0 4 8 12



SITE KEY

EXTERIOR ELEVATION KEYNOTES

- [100] ASPHALT COMPOSITION ROOF SHINGLES
- [101] STUCCO EAVE
- [102] PARAPET WALL
- [105] PAINTED METAL SCUPPER / GUTTER / DOWNSPOUT
- [106] EXTERIOR LIGHT FIXTURE
- [110] FIBERGLASS ENTRY DOOR
- [111] FIBERGLASS SLIDING PATIO DOOR
- [112] METAL/GLASS SECTIONAL GARAGE DOOR
- [113] UTILITY CLOSET DOOR
- [114] VINYL WINDOW
- [120] HORIZONTAL METAL GUARDRAIL
- [200] PRIMARY STUCCO FINISH (20/30)
- [201] SECONDARY STUCCO FINISH (20/30)
- [202] ACCENT STUCCO FINISH (20/30)
- [203] METAL STUCCO EXPANSION JOINT
- [204] SMOOTH STUCCO w/ FOAM TRIM
- [205] HORIZONTAL CRAFT BOARD FORM CREATIVE MINES
- [206] VERTICAL CRAFT BOARD FORM CREATIVE MINES



ENTRY SIDE BUILDING ELEVATION
(RIGHT PARTIAL)

Revisions:

- PLANNING RESPONSE 1
241218

PROPERTY:
700 & 704 FOOTHILL BLVD., POMONA, CA.
APN: 8367-003-024 & 8367-003-023

APPLICANT:
G3 URBAN
15235 S. WESTERN AVE., GARDENA, CA 90249
925.876.9985

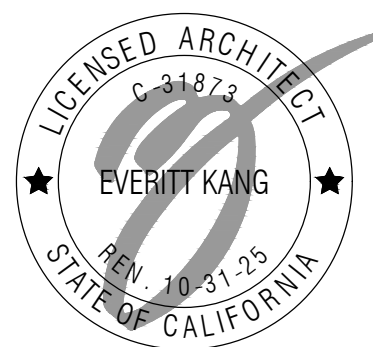
PREPARER:
ARCHITEYK - EVERITT KANG
29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354
949.939.1310

JOB NO.	GU-24-02
SHEET NO.	A1.3.5
DATE	250617

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APPLICANT



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PROJECT

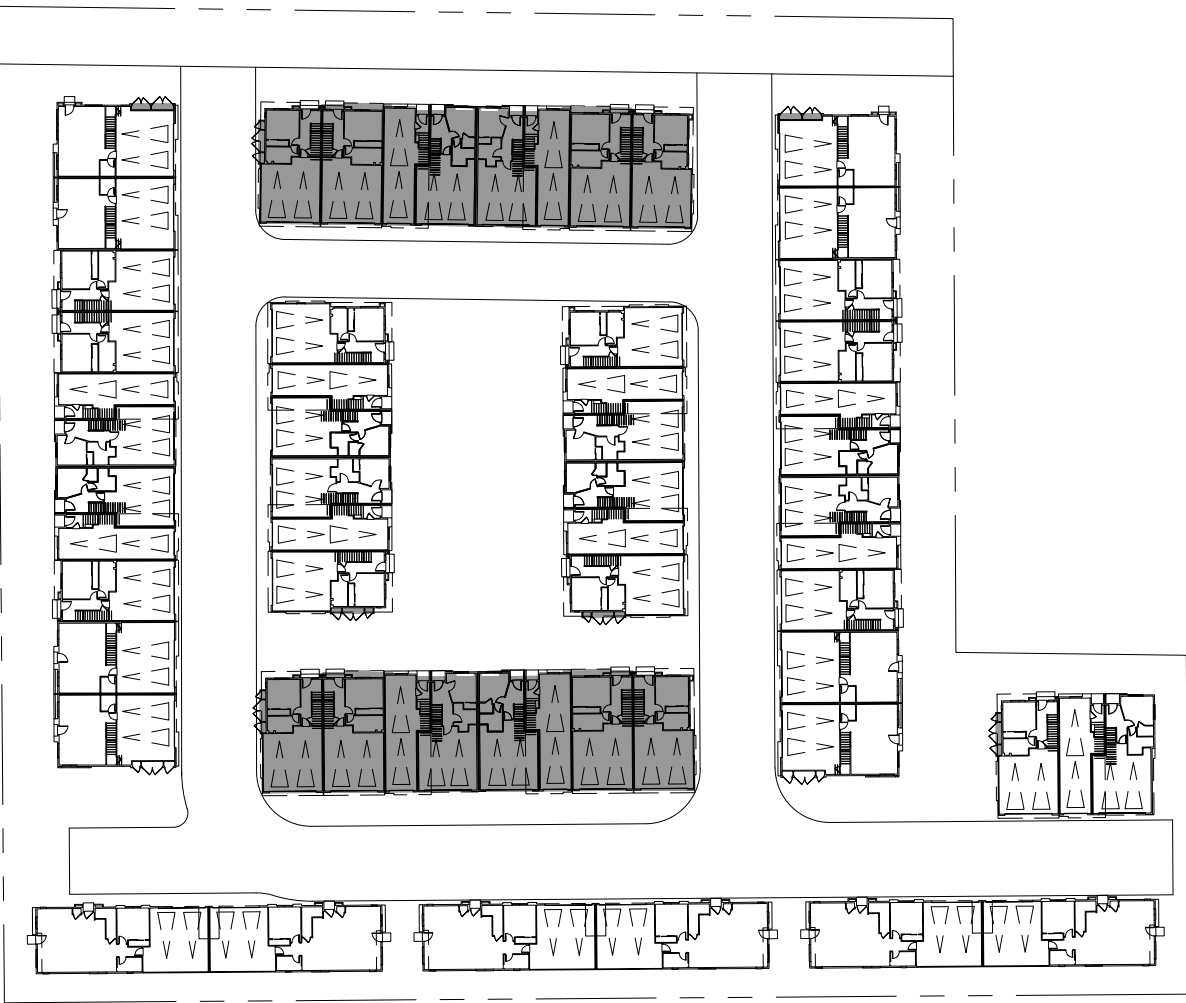
FOOTHILL 59

700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

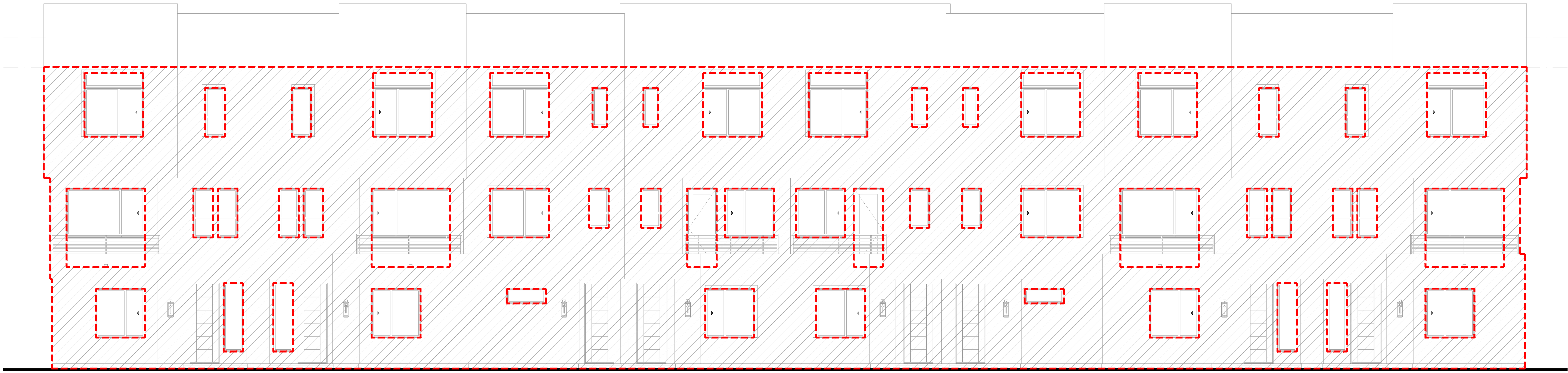
DRAWINGS

BUILDING 202

BUILDING EXTERIOR ELEVATIONS

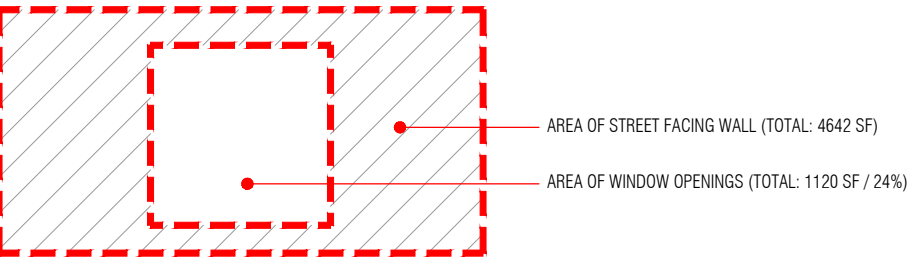


SITE KEY



STREET FACING ELEVATION

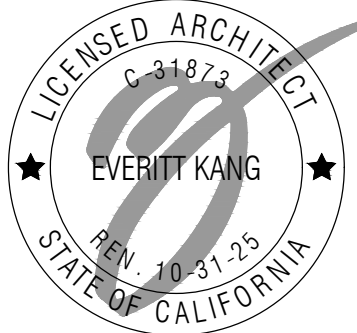
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Revisions:	
△	PLANNING RESPONSE 1
△	241218
△	
△	
△	
PROPERTY:	
700 & 704 FOOTHILL BLVD., POMONA, CA.	
APN: 8367-003-024 & 8367-003-023	
APPLICANT:	
G3 URBAN	
15235 S. WESTERN AVE., GARDENA, CA 90249	
925.876.9985	
PREPARED BY:	
ARCHITEYK - EVERITT KANG	
29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354	
949.939.1310	
JOB NO.	GU-24-02
SHEET NO.	A1.3.5A
DATE	250617



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15235 S. WESTERN AVENUE
GARDENA, CA 90249

PROJECT

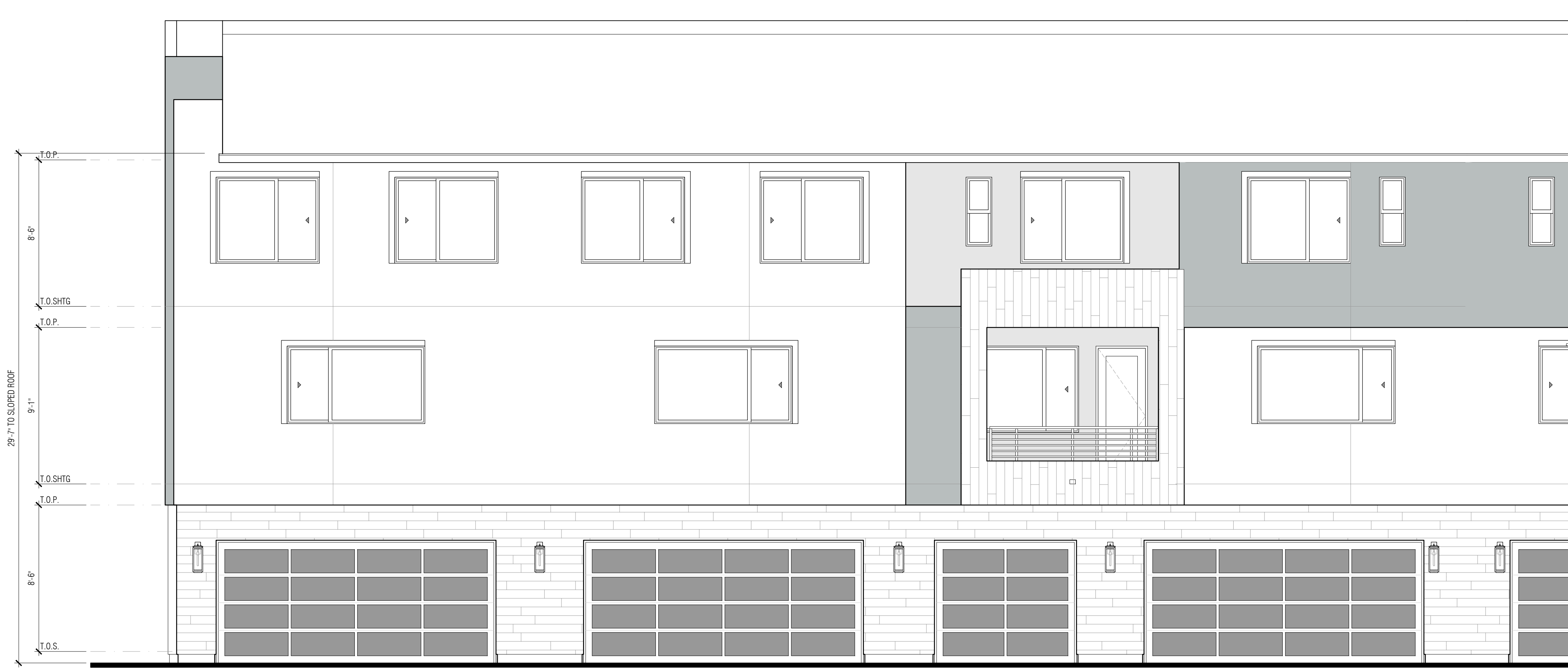
FOOTHILL 59

700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

DRAWINGS

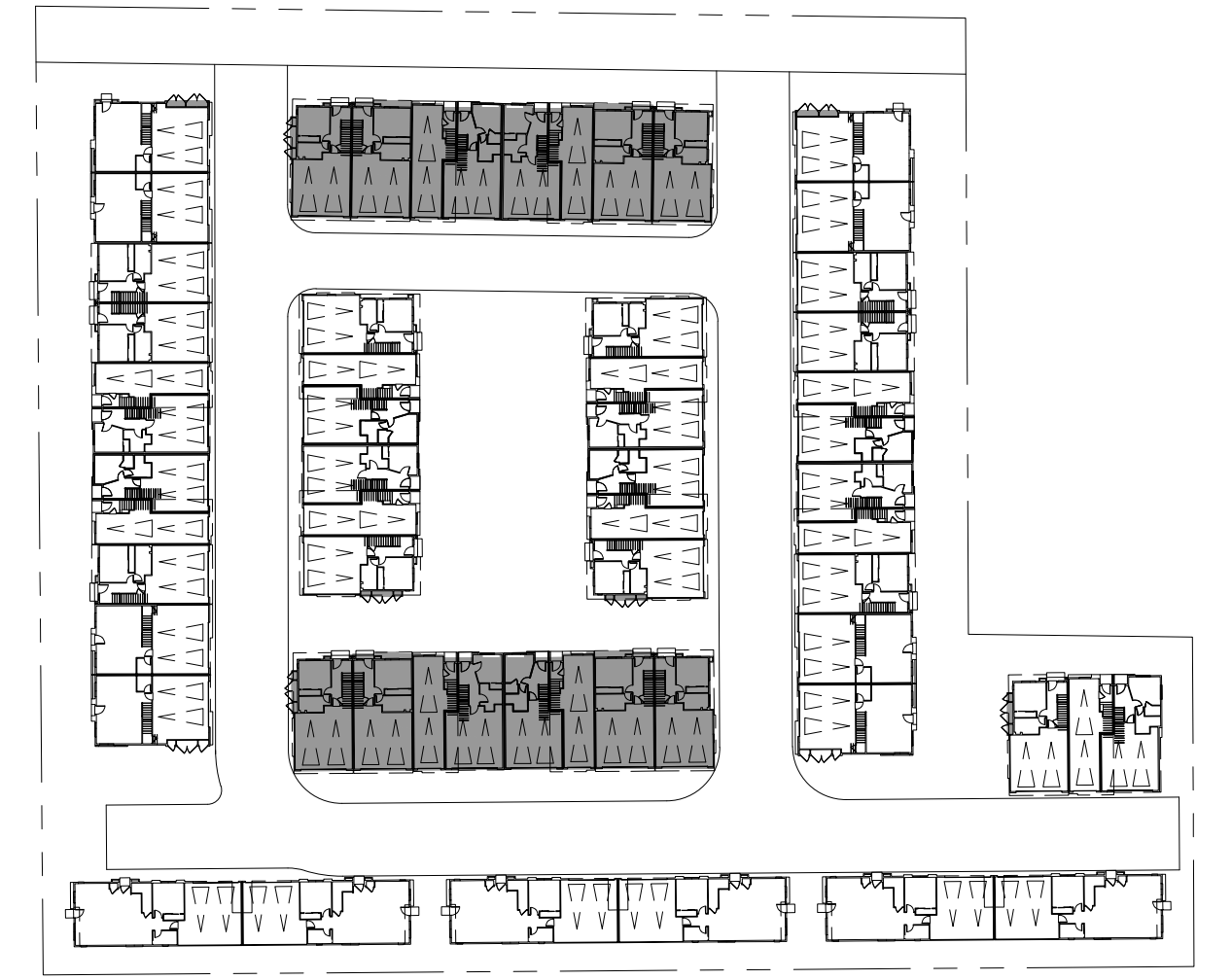
BUILDING 202

STREET FACADE WALL COMPOSITION
DIAGRAM



DRIVE ALLEY ELEVATION
(LEFT PARTIAL)

0 4 8 12



SITE KEY

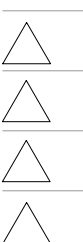
EXTERIOR ELEVATION KEYNOTES

- [100] ASPHALT COMPOSITION ROOF SHINGLES
- [101] STUCCO EAVE
- [102] PARAPET WALL
- [105] PAINTED METAL SCUPPER / GUTTER / DOWNSPOUT
- [106] EXTERIOR LIGHT FIXTURE
- [110] FIBERGLASS ENTRY DOOR
- [111] FIBERGLASS SLIDING PATIO DOOR
- [112] METAL/GLASS SECTIONAL GARAGE DOOR
- [113] UTILITY CLOSET DOOR
- [114] VINYL WINDOW
- [120] HORIZONTAL METAL GUARDRAIL
- [200] PRIMARY STUCCO FINISH (20/30)
- [201] SECONDARY STUCCO FINISH (20/30)
- [202] ACCENT STUCCO FINISH (20/30)
- [203] METAL STUCCO EXPANSION JOINT
- [204] SMOOTH STUCCO w/ FOAM TRIM
- [205] HORIZONTAL CRAFT BOARD FORM CREATIVE MINES
- [206] VERTICAL CRAFT BOARD FORM CREATIVE MINES



DRIVE ALLEY ELEVATION
(LEFT PARTIAL)

Revisions:



PROPERTY:
700 & 704 FOOTHILL BLVD., POMONA, CA.
APN: 8367-003-024 & 8367-003-023

APPLICANT:
G3 URBAN
15235 S. WESTERN AVE., GARDENA, CA 90249
925.876.9985

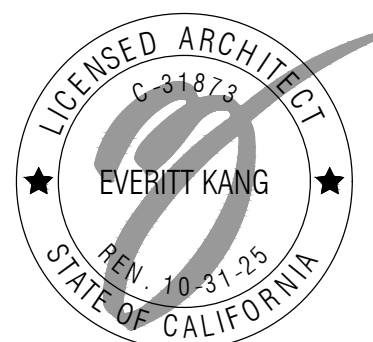
PREPARER:
ARCHITEYK - EVERITT KANG
29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354
949.939.1310

JOB NO.	GU-24-02
SHEET NO.	A1.3.6
DATE	250617

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15235 S. WESTERN AVENUE
GARDENA, CA 90249

PROJECT

FOOTHILL 59

700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

DRAWINGS

BUILDING 202

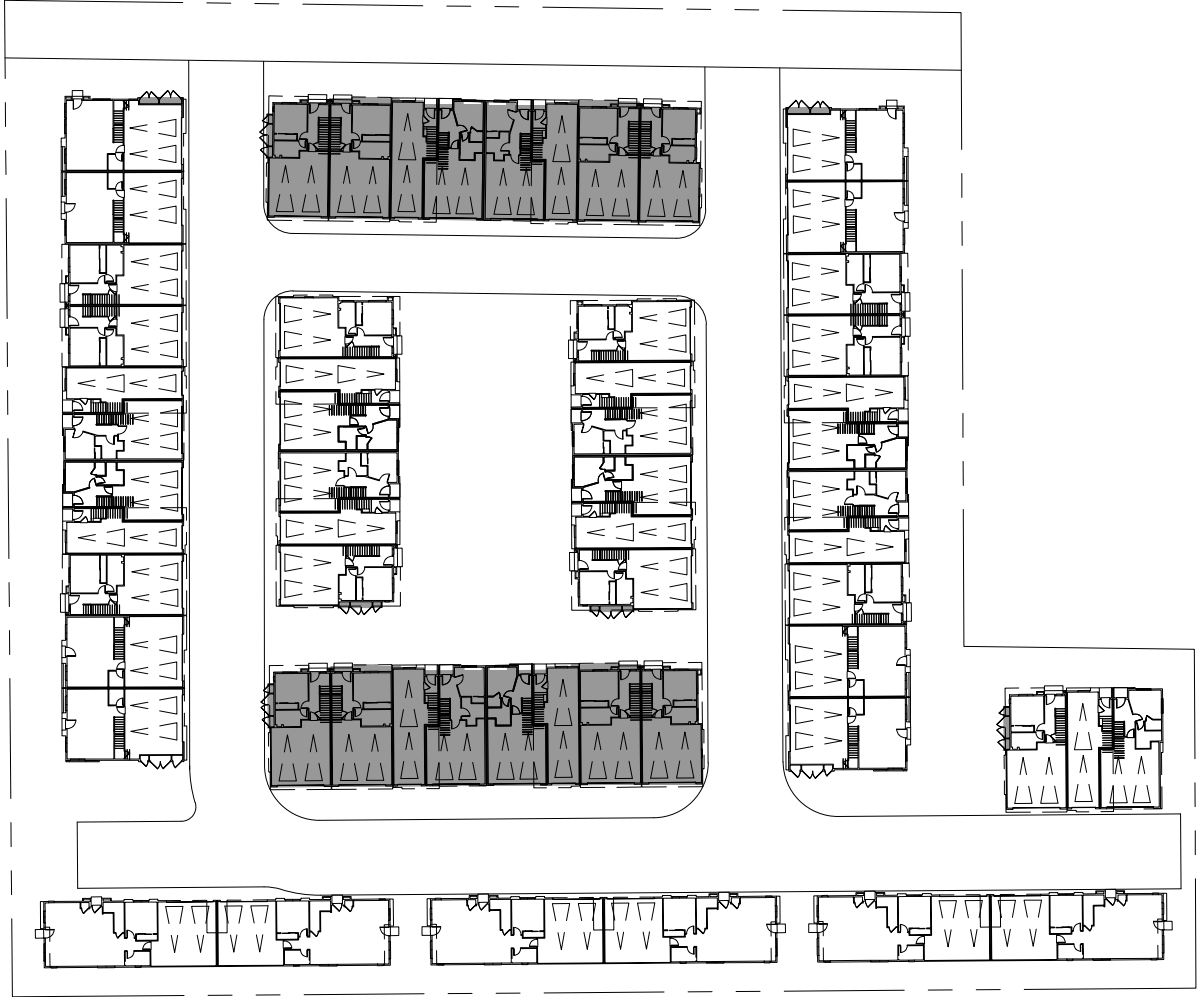
BUILDING EXTERIOR ELEVATIONS



RIGHT ELEVATION
(UNIT PLAN 3 SIDE)



LEFT ELEVATION
(UNIT PLAN 3 SIDE)



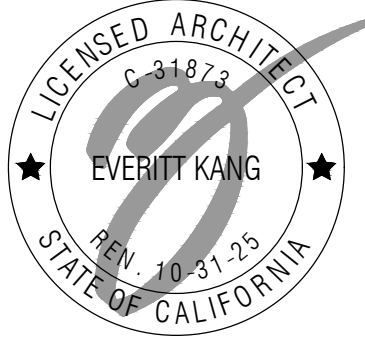
SITE KEY

EXTERIOR ELEVATION KEYNOTES	
[100]	ASPHALT COMPOSITION ROOF SHINGLES
[101]	STUCCO EAVE
[102]	PARAPET WALL
[105]	PAINTED METAL SCUPPER / GUTTER / DOWNSPOUT
[106]	EXTERIOR LIGHT FIXTURE
[110]	FIBERGLASS ENTRY DOOR
[111]	FIBERGLASS SLIDING PATIO DOOR
[112]	METAL/GLASS SECTIONAL GARAGE DOOR
[113]	UTILITY CLOSET DOOR
[114]	VINYL WINDOW
[120]	HORIZONTAL METAL GUARDRAIL
[200]	PRIMARY STUCCO FINISH (20/30)
[201]	SECONDARY STUCCO FINISH (20/30)
[202]	ACCENT STUCCO FINISH (20/30)
[203]	METAL STUCCO EXPANSION JOINT
[204]	SMOOTH STUCCO w/ FOAM TRIM
[205]	HORIZONTAL CRAFT BOARD FORM CREATIVE MINES
[206]	VERTICAL CRAFT BOARD FORM CREATIVE MINES

Revisions:	
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PROPERTY: 700 & 704 FOOTHILL BLVD., POMONA, CA. APN: 8367-003-024 & 8367-003-023	
APPLICANT: G3 URBAN 15235 S. WESTERN AVE., GARDENA, CA 90249 925.876.9985	
PREPARER: ARCHITEYK - EVERITT KANG 29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354 949.939.1310	
JOB NO.	GU-24-02
SHEET NO.	A1.3.7
DATE	250617



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GARDENA, CA 90249

PROJECT

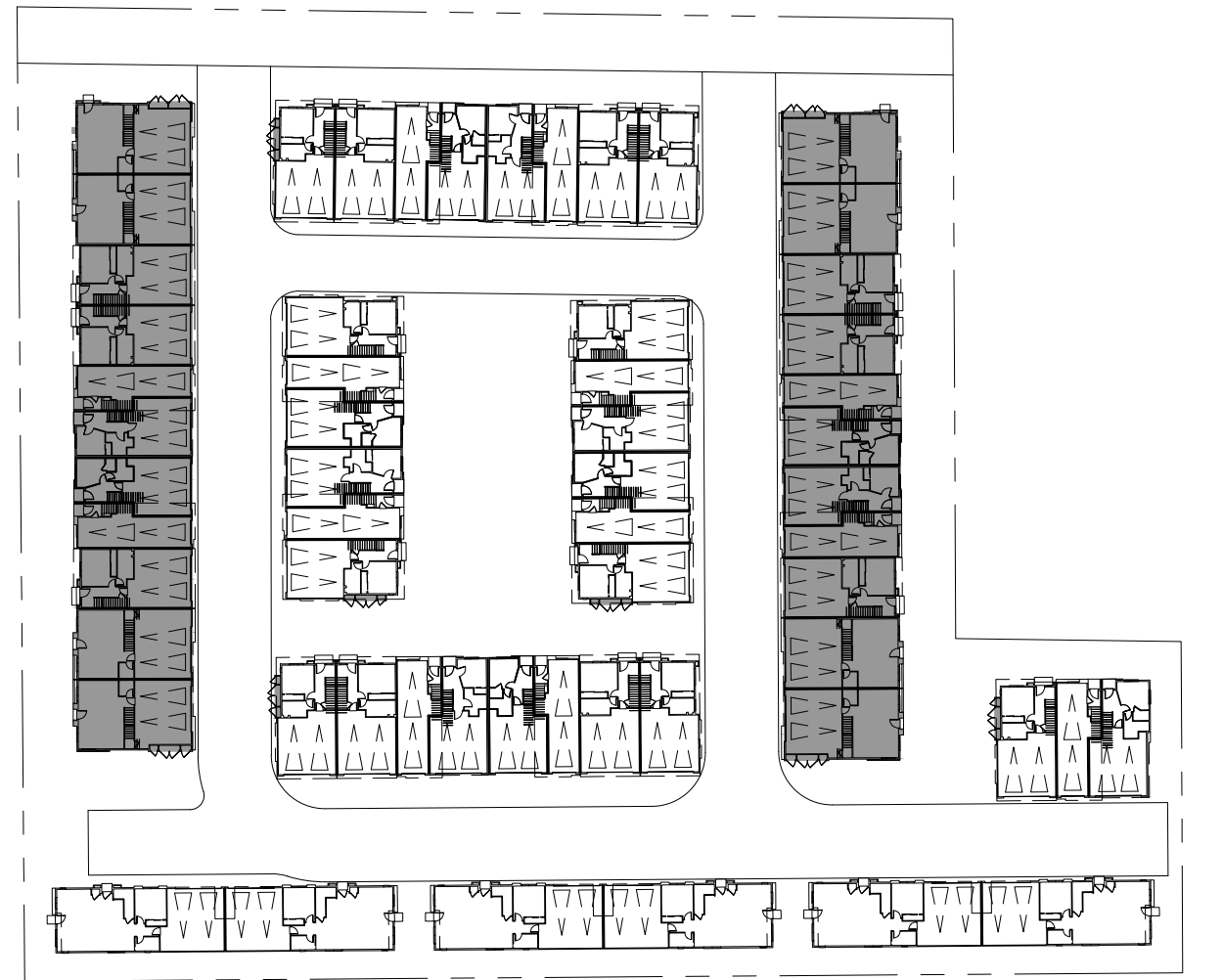
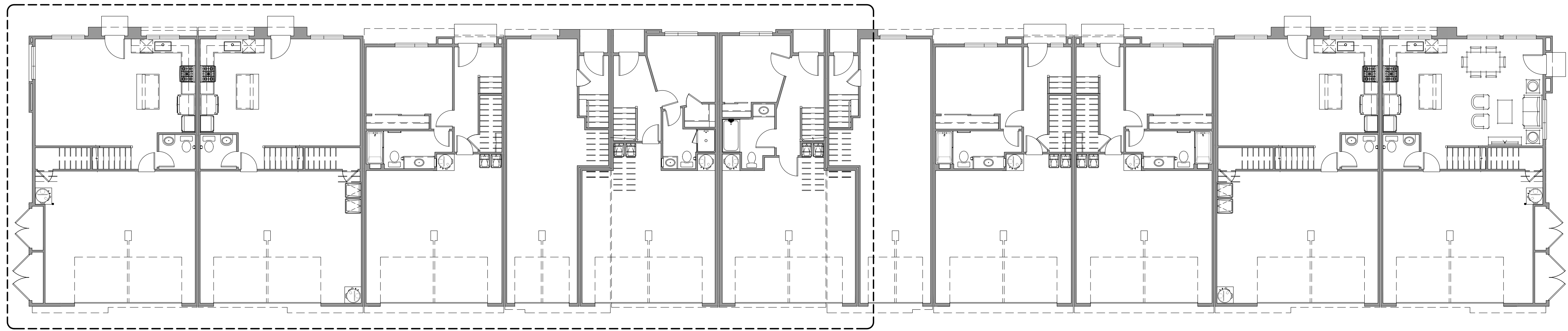
FOOTHILL 59

700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

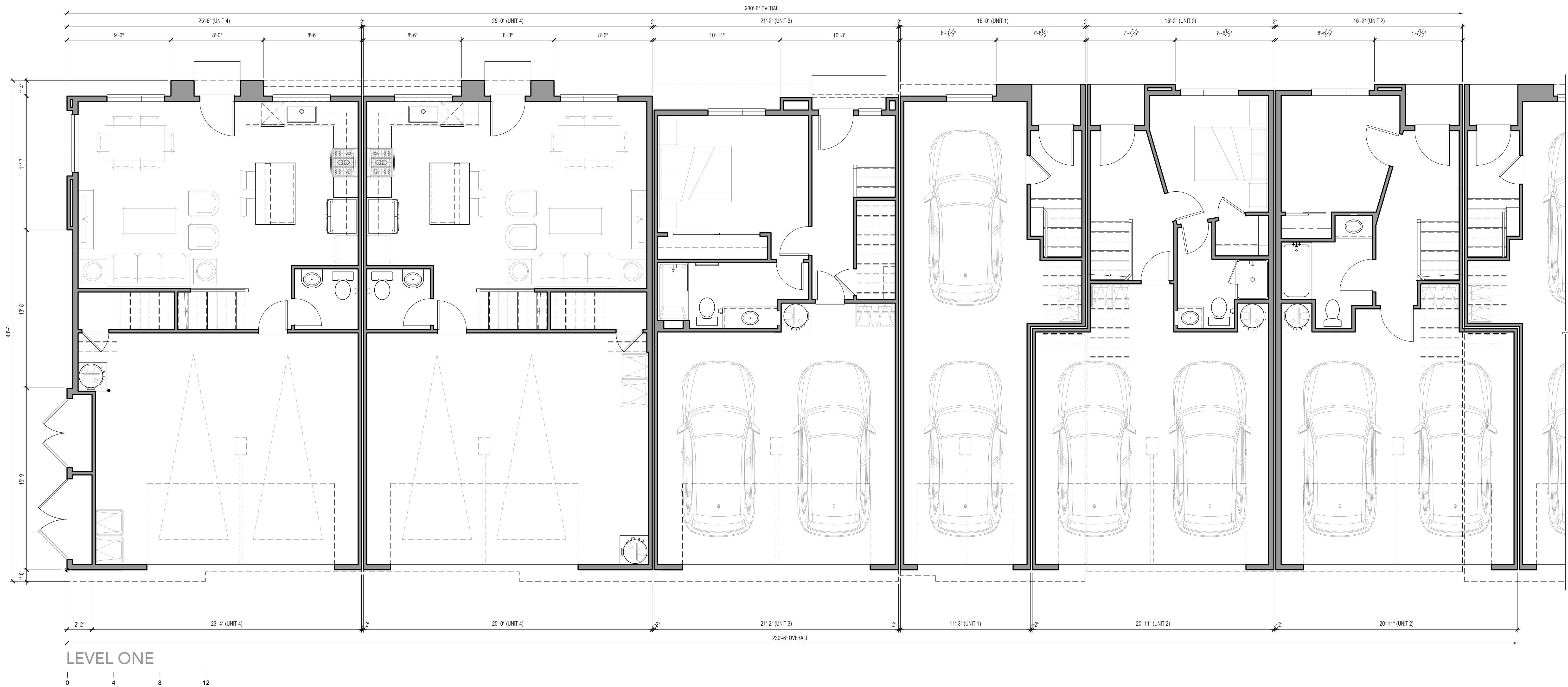
DRAWINGS

BUILDING 202

BUILDING EXTERIOR ELEVATIONS



SITE KEY



LEVEL ONE

Revisions:	
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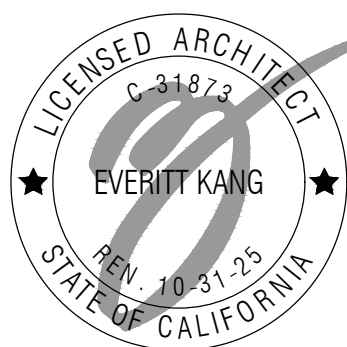
PROPERTY:
700 & 704 FOOTHILL BLVD., POMONA, CA.
APN: 8367-003-024 & 8367-003-023

APPLICANT:
G3 URBAN
15235 S. WESTERN AVE., GARDENA, CA 90249
925.876.9985

PREPARER:
ARCHITEYK - EVERITT KANG
29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354
949.939.1310

JOB NO.	GU-24-02
SHEET NO.	A1.4.1
DATE	250617

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15235 S. WESTERN AVENUE
GARDENA, CA 90249

PROJECT

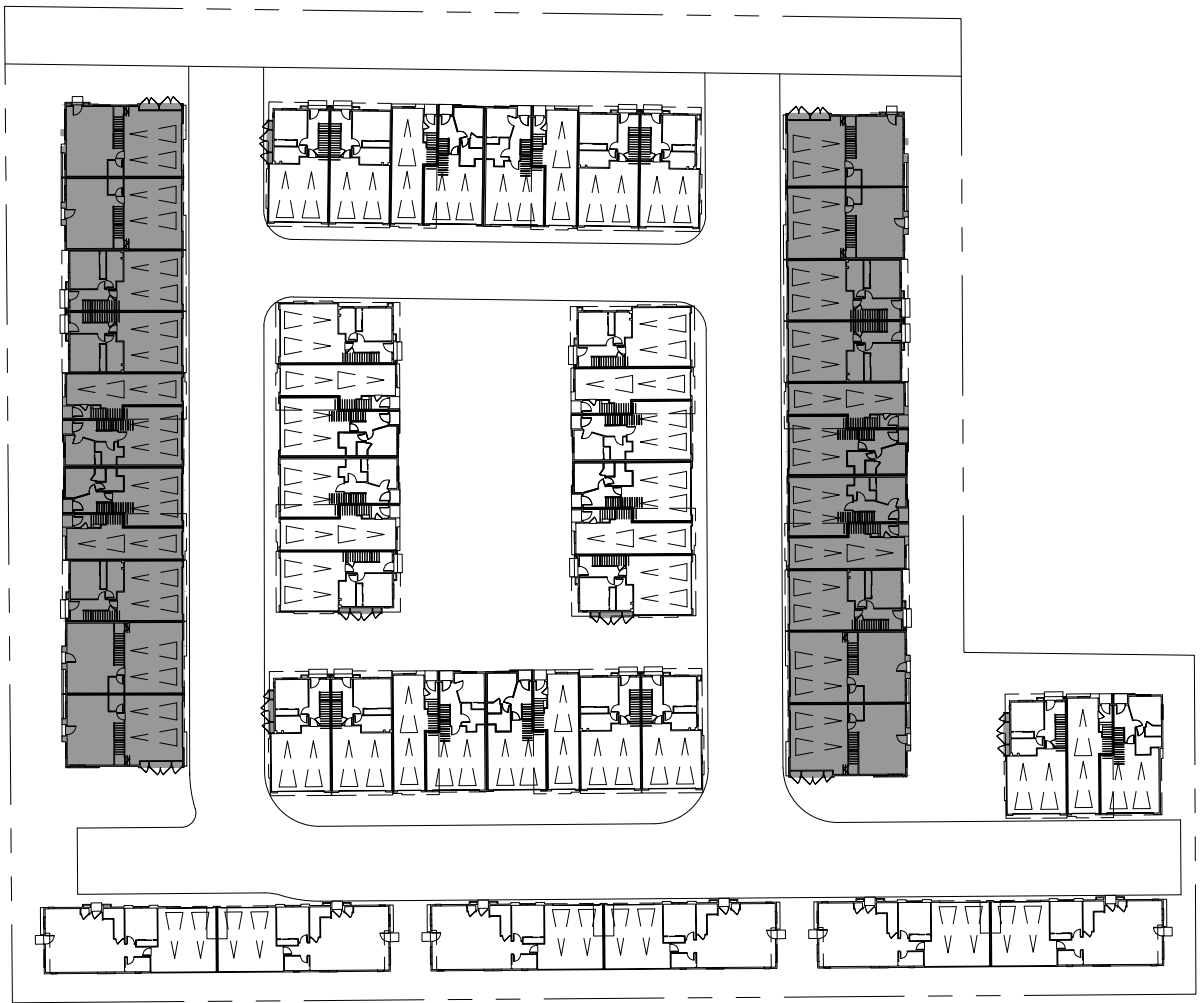
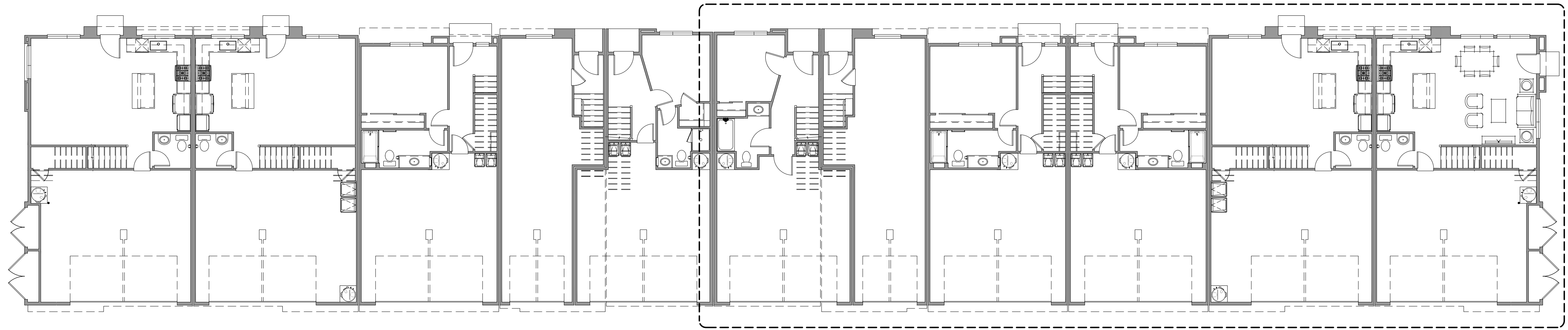
FOOTHILL 59

700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

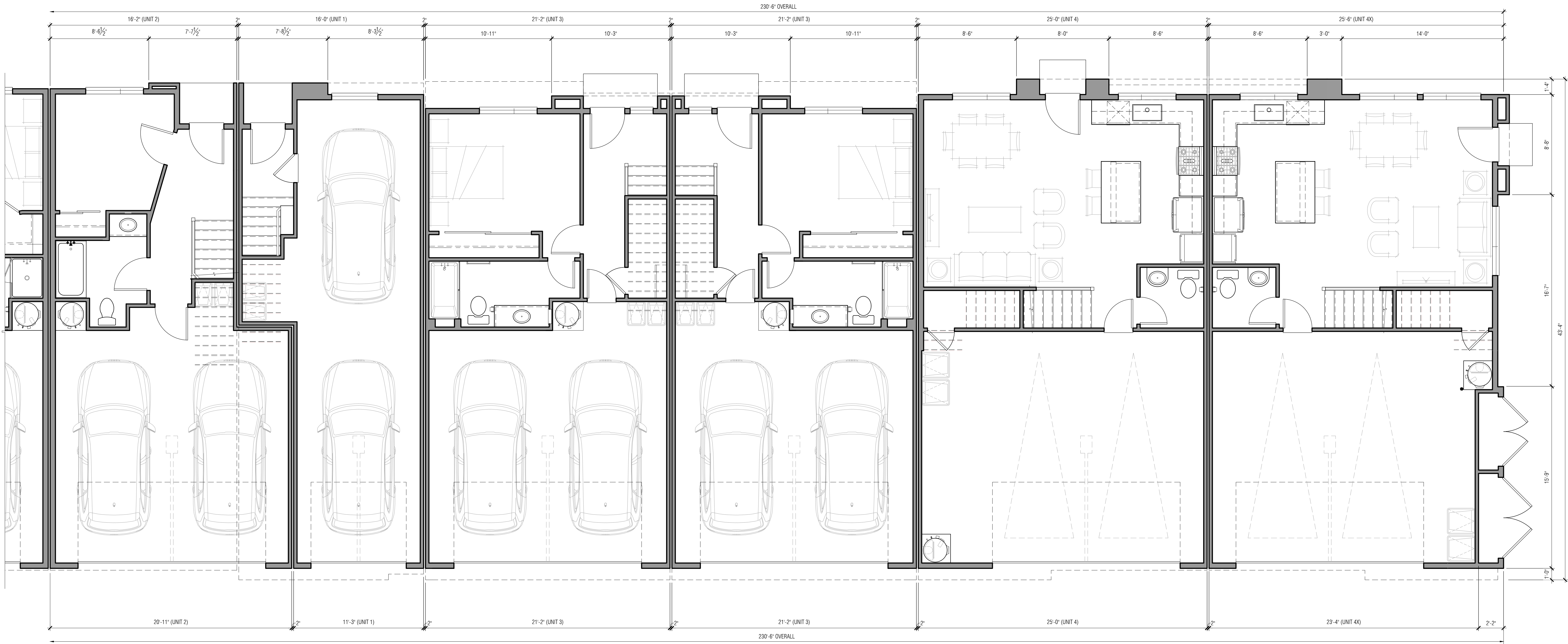
DRAWINGS

BUILDING 203

BUILDING FIRST FLOOR PLAN



SITE KEY

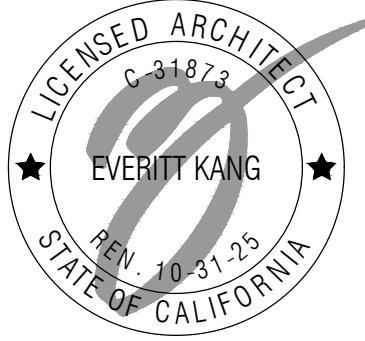


LEVEL ONE

0 4 8 12



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GARDENA, CA 90249

PROJECT

FOOTHILL 59

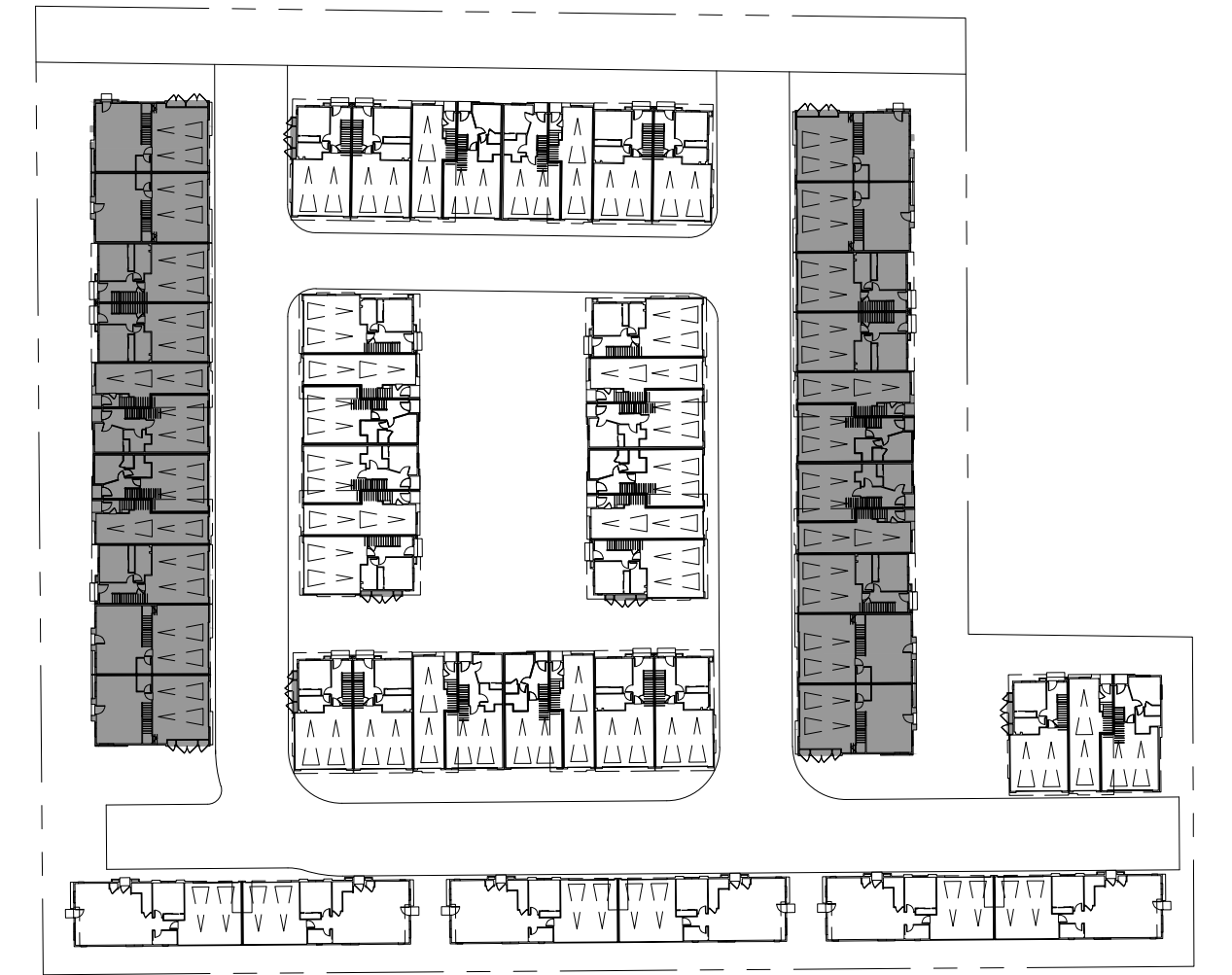
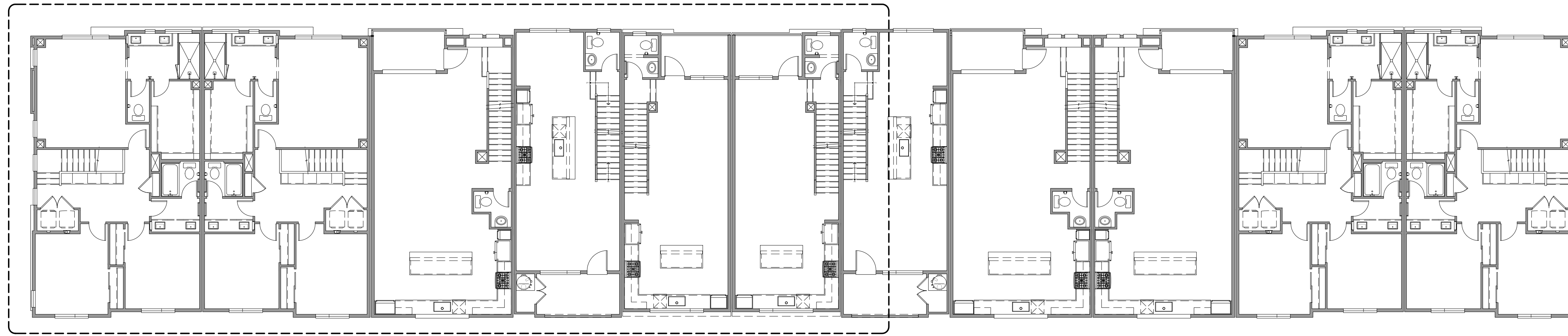
700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

DRAWINGS

BUILDING 203

BUILDING FIRST FLOOR PLAN

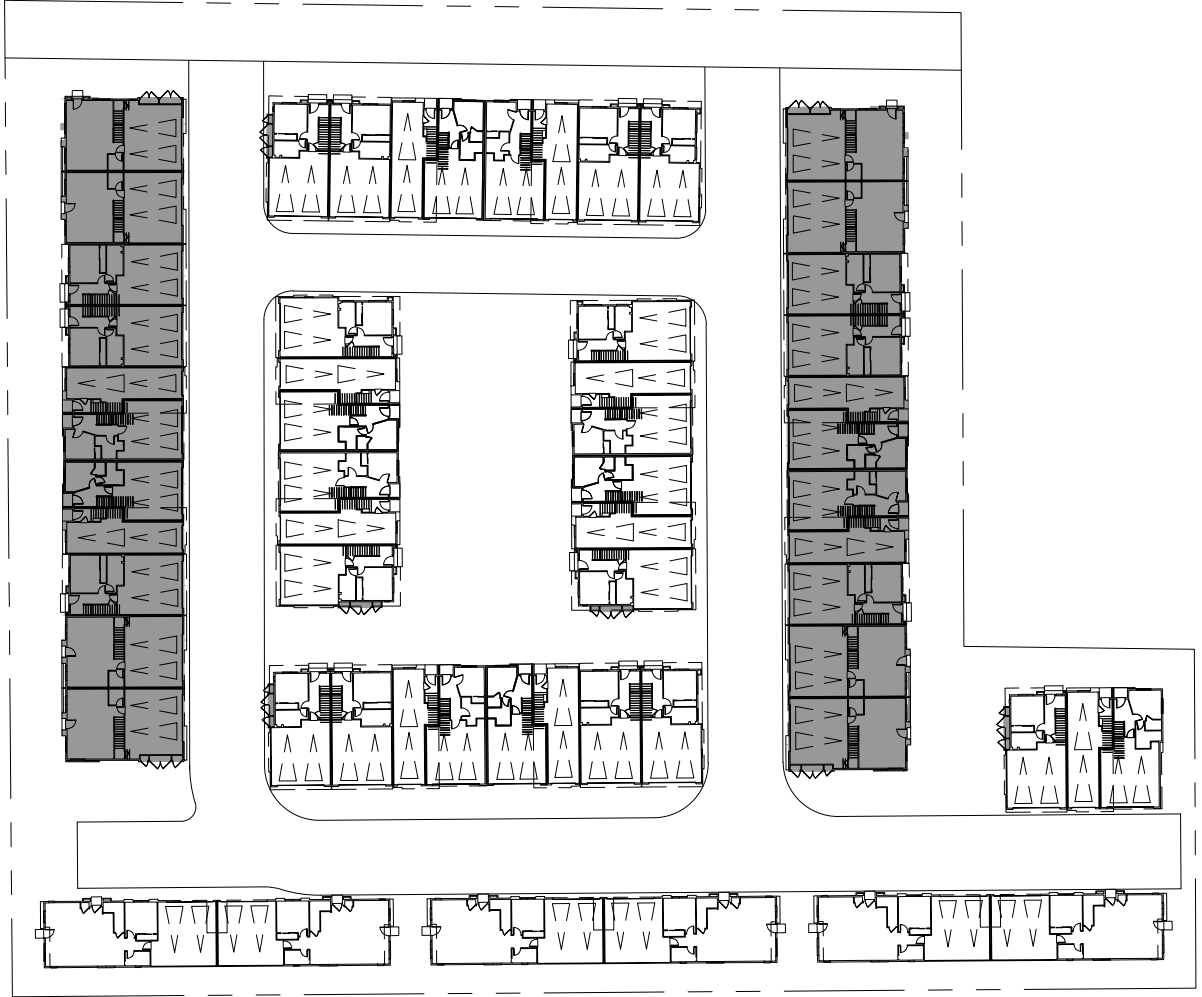
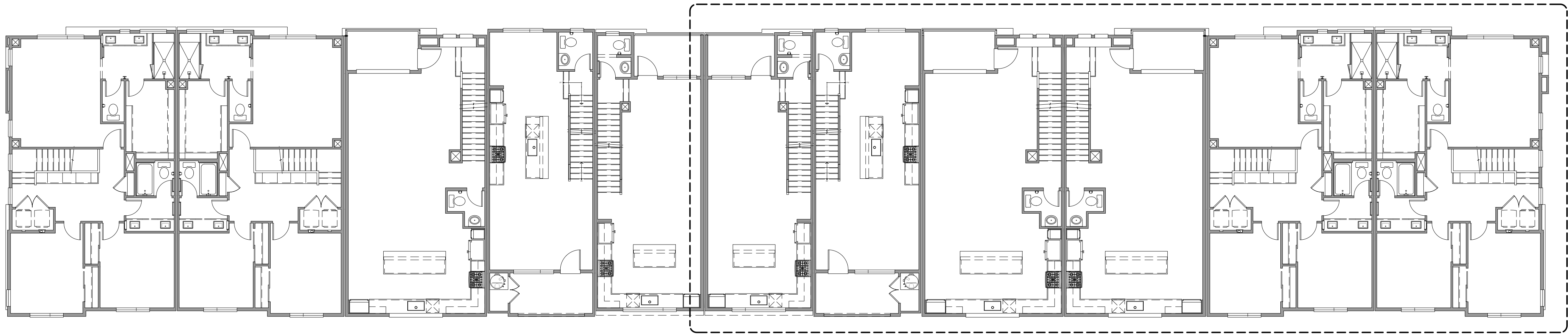
Revisions:	
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PROPERTY: 700 & 704 FOOTHILL BLVD., POMONA, CA. APN: 8367-003-024 & 8367-003-023	
APPLICANT: G3 URBAN 15235 S. WESTERN AVE., GARDENA, CA 90249 925.876.9985	
PREPARED BY: ARCHITEYK - EVERITT KANG 29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354 949.939.1310	
JOB NO.	GU-24-02
SHEET NO.	A1.4.2
DATE	250617



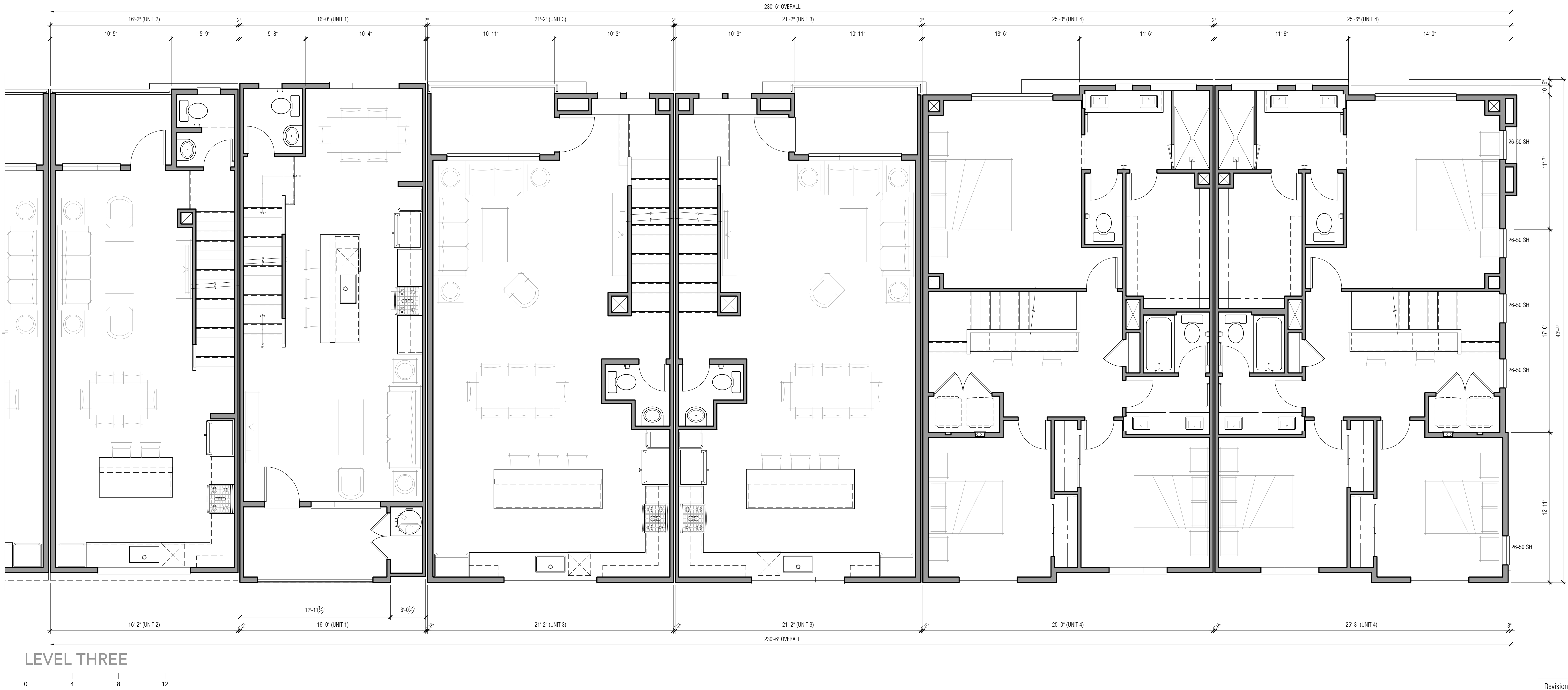
SITE KEY



Revisions:	
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PROPERTY: 700 & 704 FOOTHILL BLVD., POMONA, CA. APN: 8367-003-024 & 8367-003-023	
APPLICANT: G3 URBAN 15235 S. WESTERN AVE., GARDENA, CA 90249 925.876.9985	
PREPARED BY: ARCHITEYK - EVERITT KANG 29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354 949.939.1310	
JOB NO.	GU-24-02
SHEET NO.	A1.4.3
DATE	250617



SITE KEY

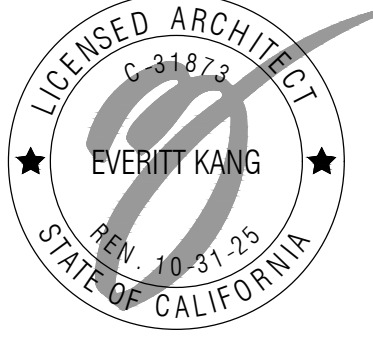


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PROPERTY: 700 & 704 FOOTHILL BLVD., POMONA, CA. APN: 8367-003-024 & 8367-003-023	
APPLICANT: G3 URBAN 15235 S. WESTERN AVE., GARDENA, CA 90249 925.876.9985	
PREPARED BY: ARCHITEYK - EVERITT KANG 29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354 949.939.1310	
JOB NO.	GU-24-02
SHEET NO.	A1.4.4
DATE	250617

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APPLICANT
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GARDENA, CA 90249



urban

PROJECT

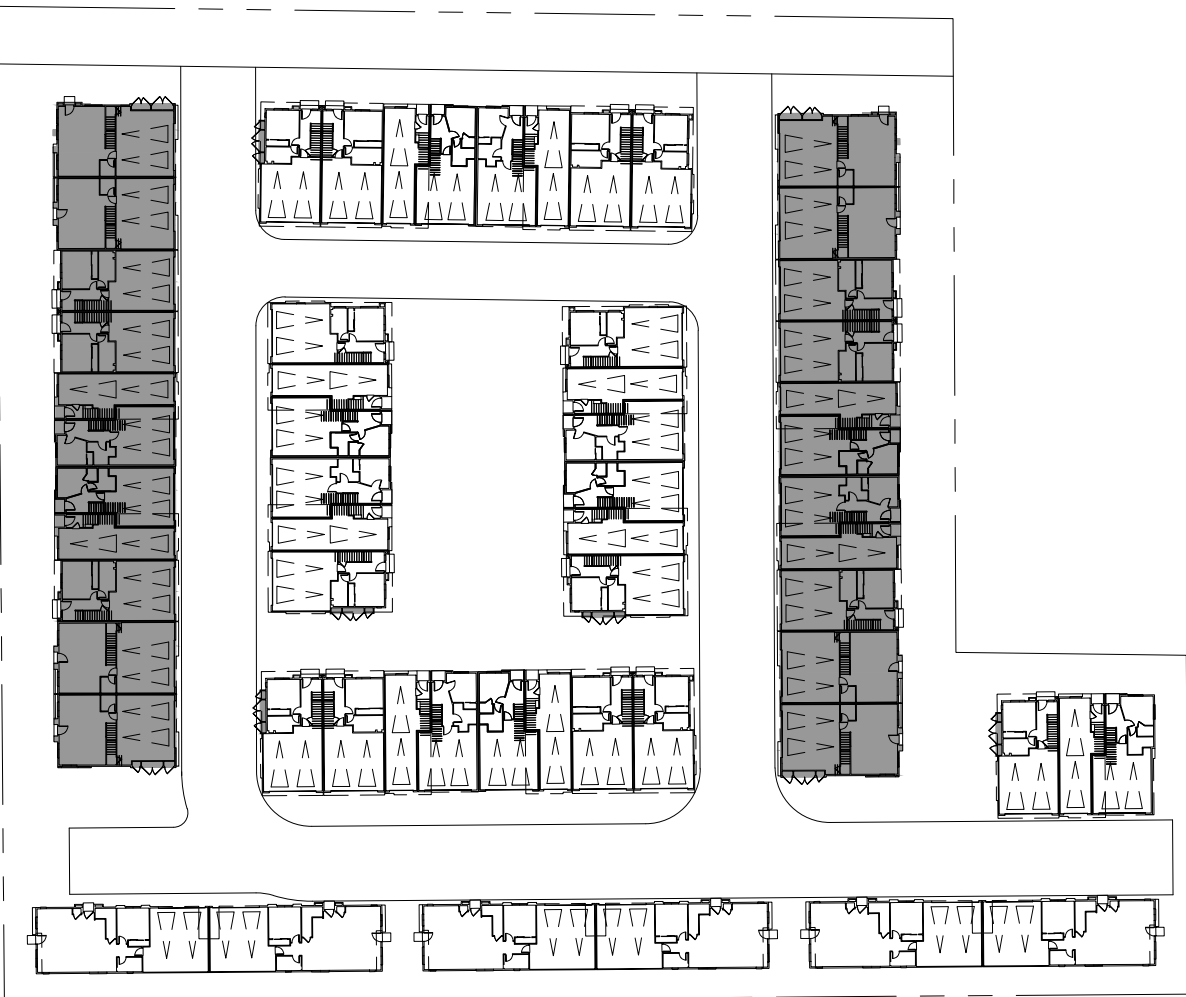
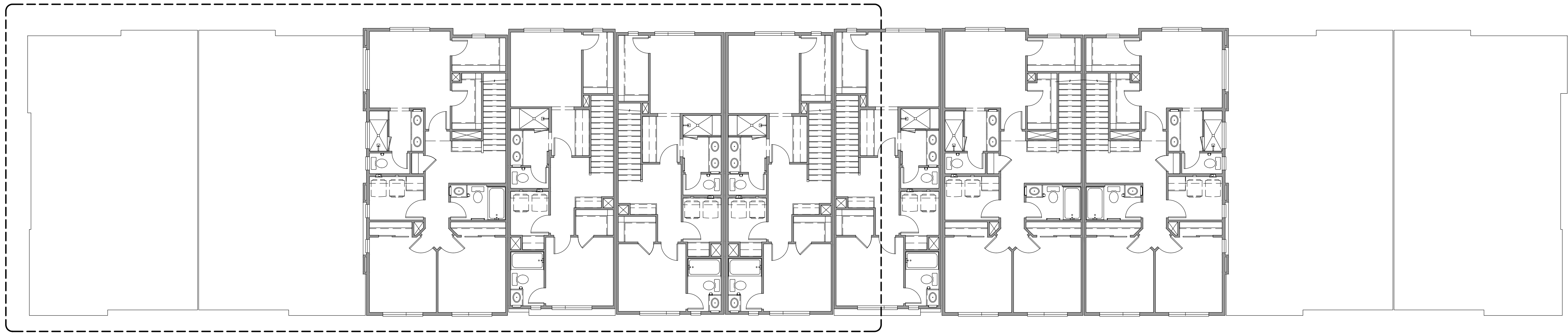
FOOTHILL 59

700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

DRAWINGS

BUILDING 203

BUILDING SECOND FLOOR PLAN

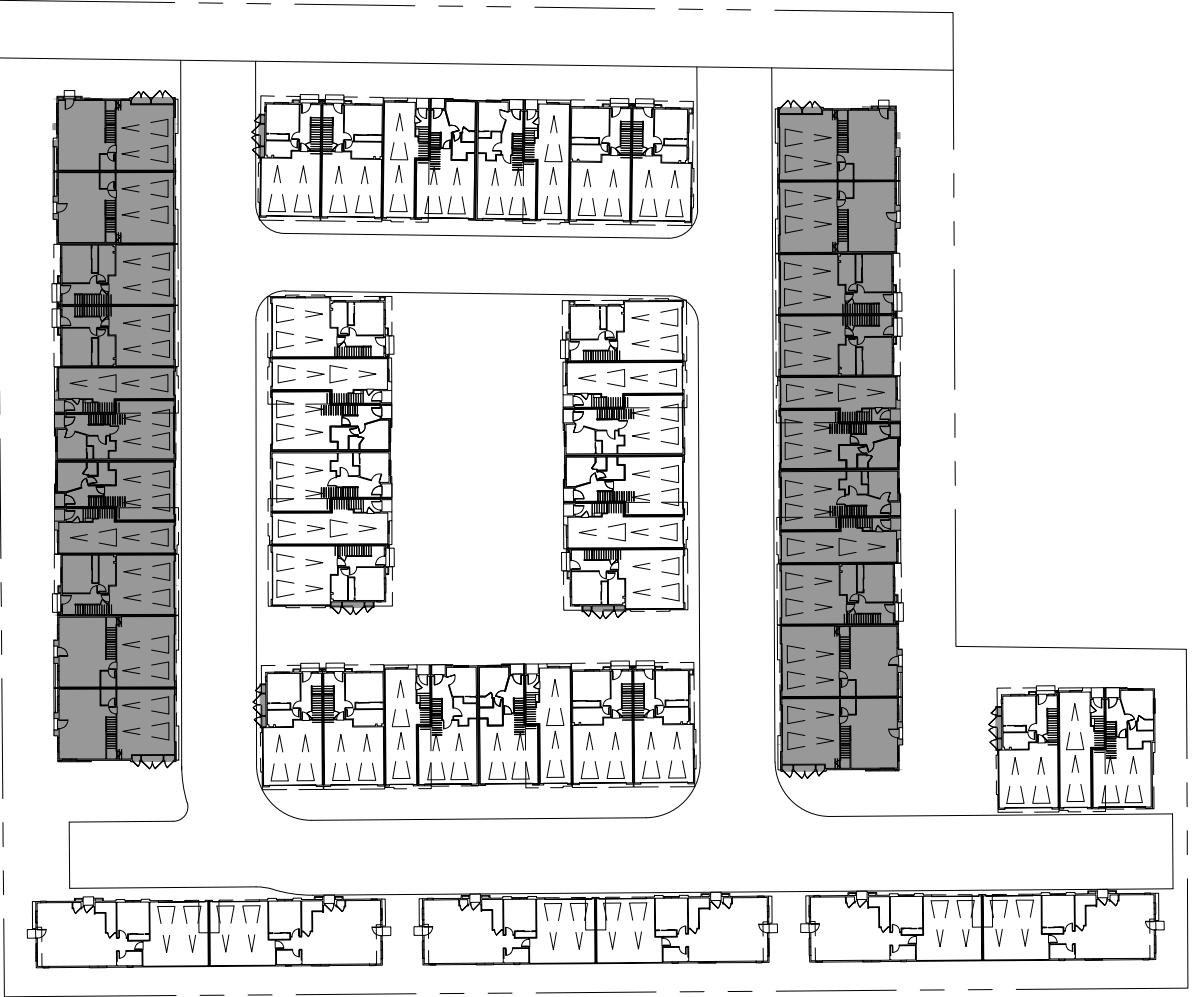
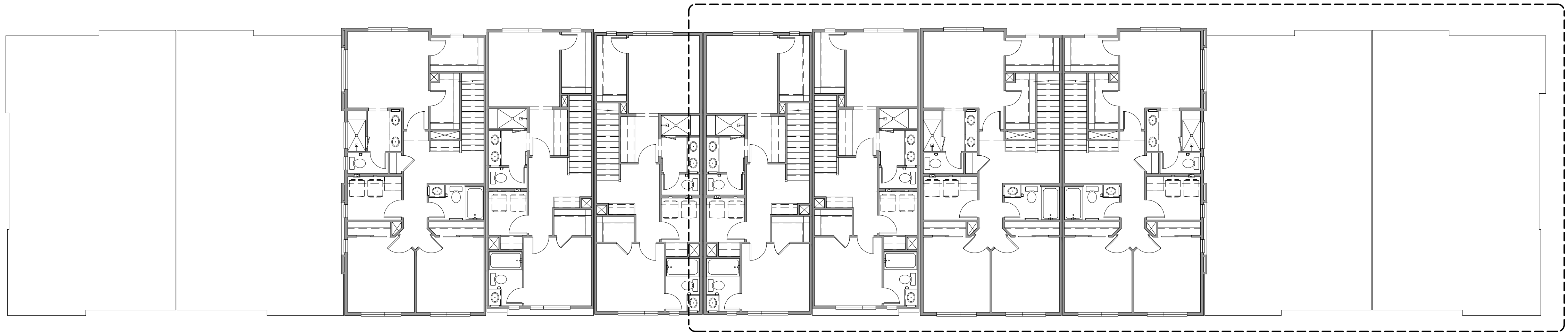


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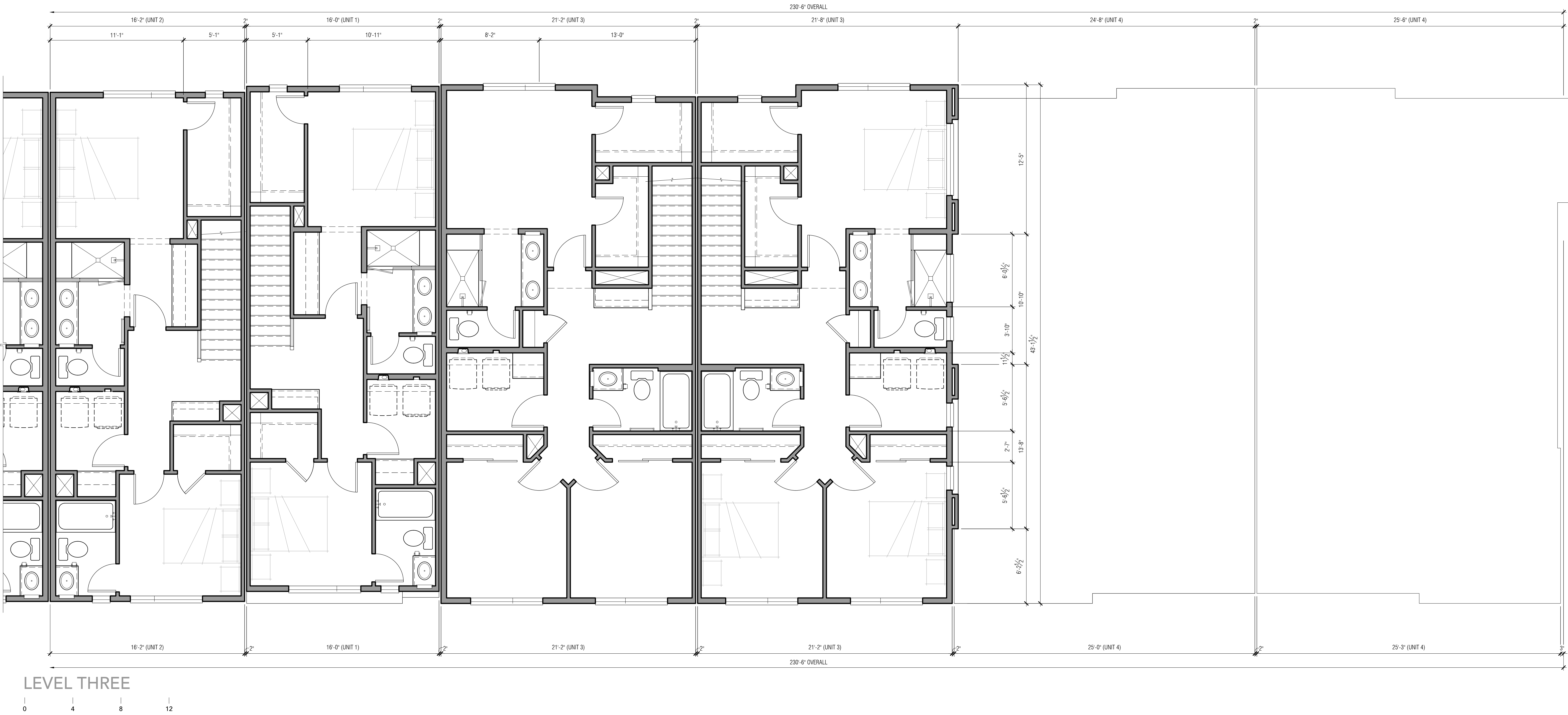


LEVEL THREE

Revisions:	
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PROPERTY: 700 & 704 FOOTHILL BLVD., POMONA, CA. APN: 8367-003-024 & 8367-003-023	
APPLICANT: G3 URBAN 15235 S. WESTERN AVE., GARDENA, CA 90249 925.876.9985	
PREPARED BY: ARCHITEYK - EVERITT KANG 29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354 949.939.1310	
JOB NO.	GU-24-02
SHEET NO.	A1.4.5
DATE	250617



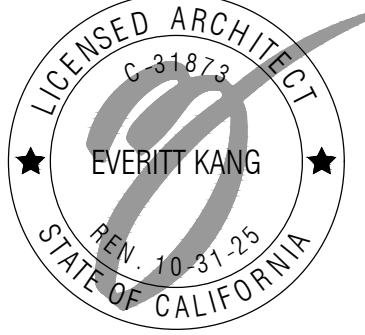
SITE KEY



Revisions:	
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PROPERTY: 700 & 704 FOOTHILL BLVD., POMONA, CA. APN: 8367-003-024 & 8367-003-023	
APPLICANT: G3 URBAN 15235 S. WESTERN AVE., GARDENA, CA 90249 925.876.9985	
PREPARED BY: ARCHITEYK - EVERITT KANG 29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354 949.939.1310	
JOB NO.	GU-24-02
SHEET NO.	A1.4.6
DATE	250617



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PROJECT

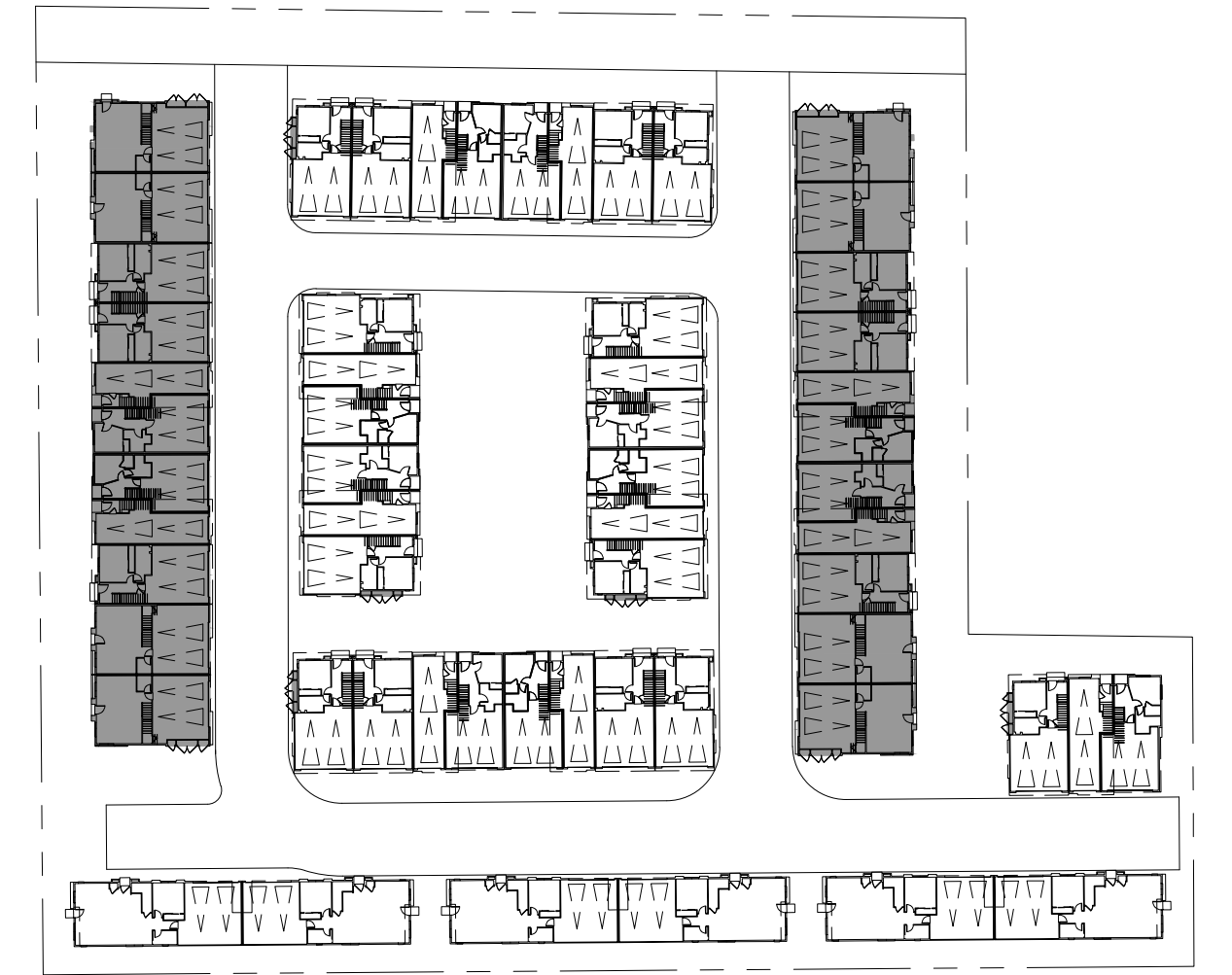
FOOTHILL 59

700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

DRAWINGS

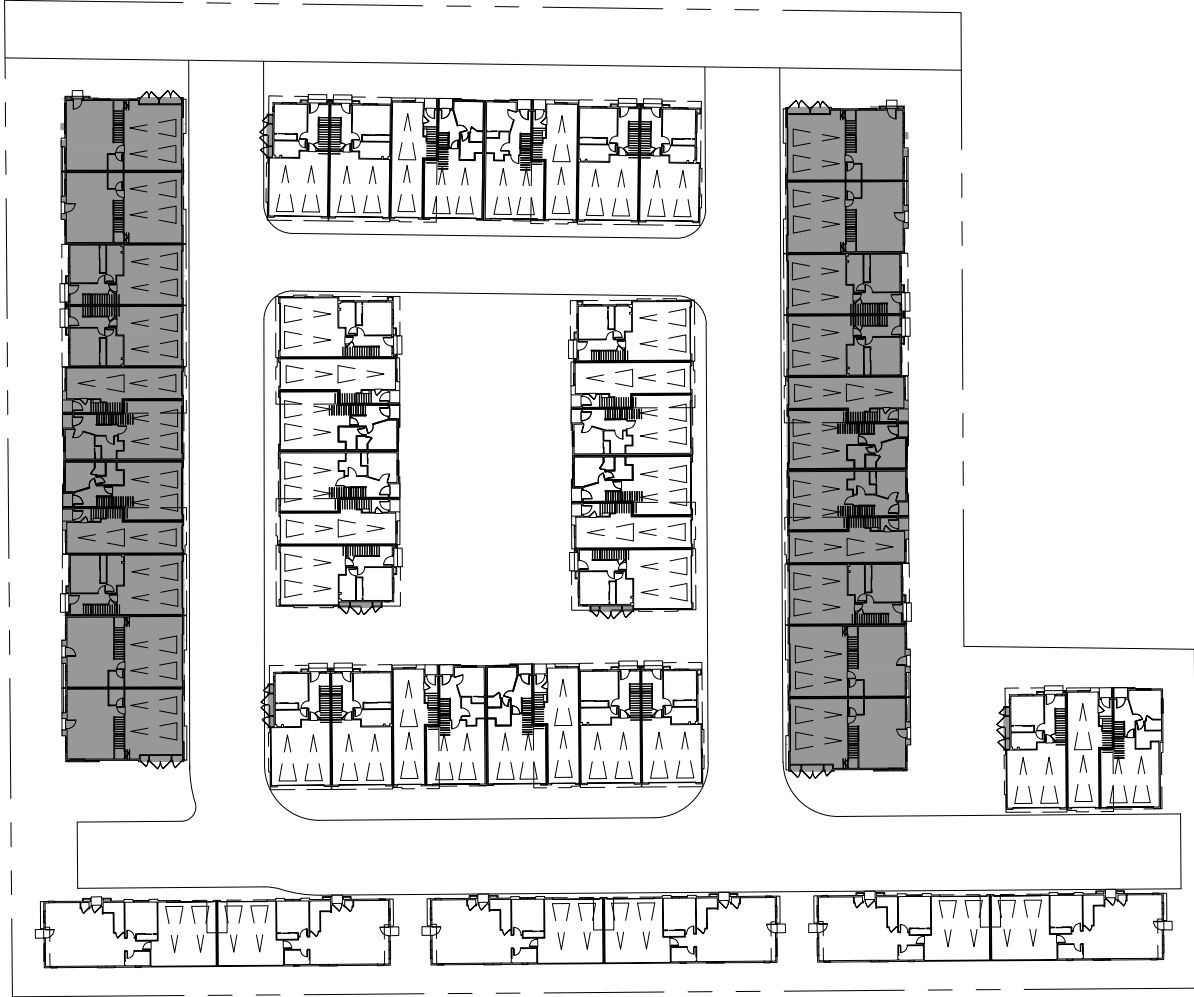
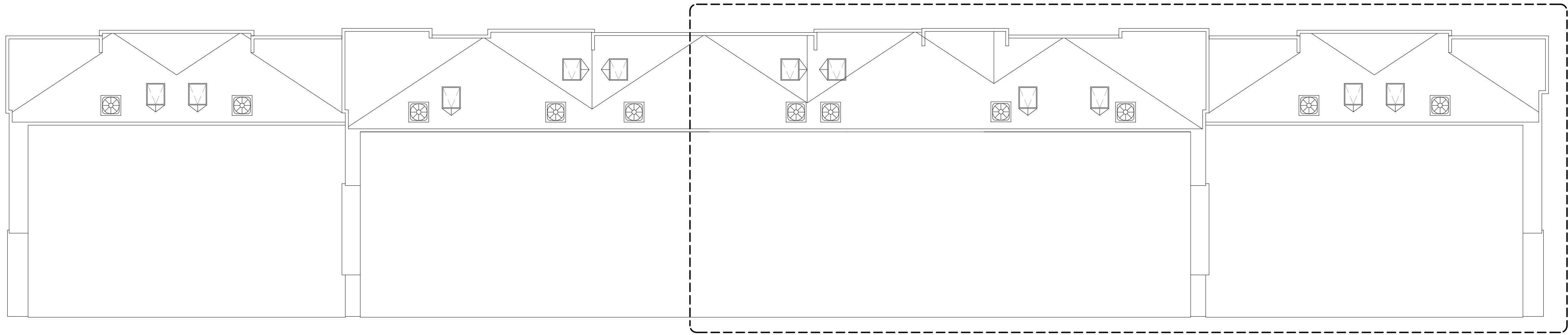
BUILDING 203

BUILDING FLOOR PLAN

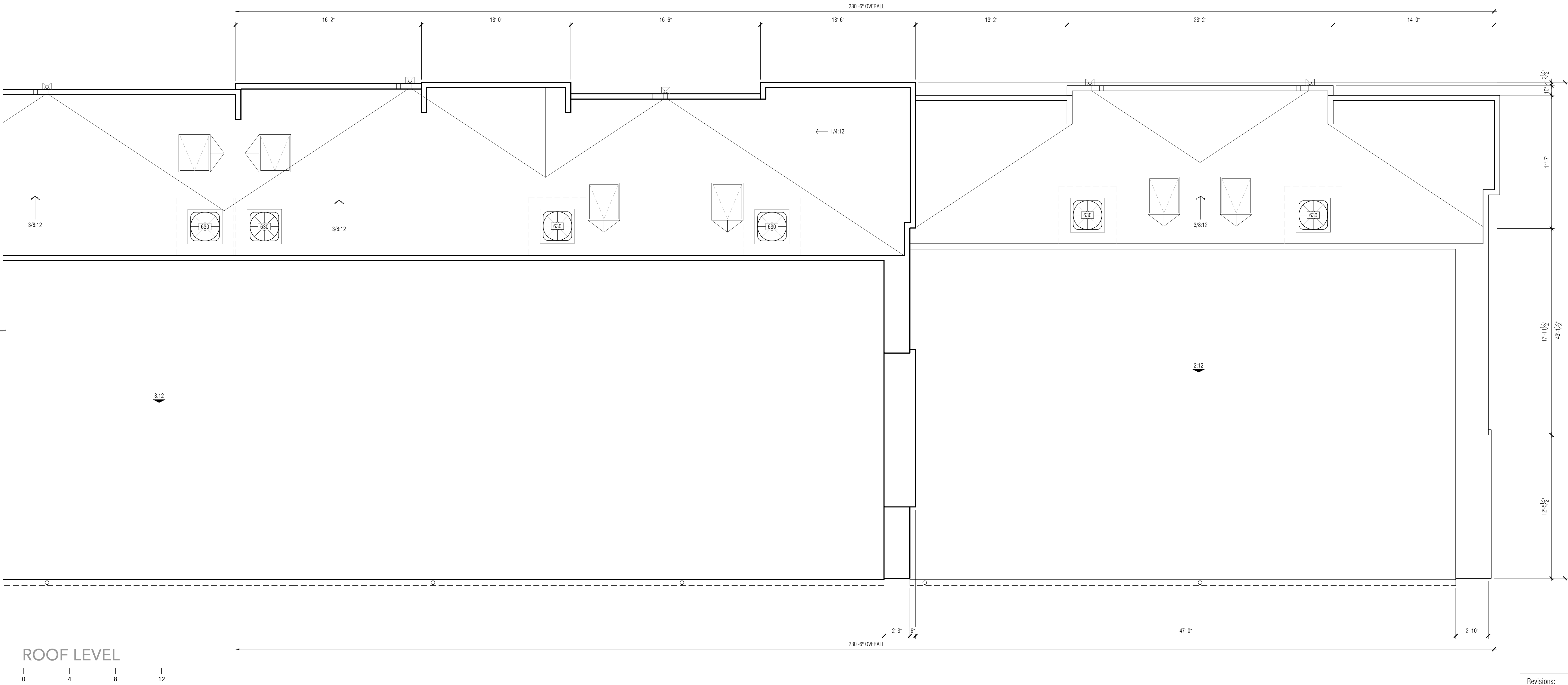


Architectural drawing of a roof level, showing two gabled roof sections. The drawing includes dimensions for overall length (230'-6" OVERALL) and width (43'-1 1/2"). The roof sections are defined by various pitches and slopes, including 1/4:12, 3/8:12, 2:12, and 3:12. The drawing also shows ventilation details, including circular fans and rectangular vents, and a dashed line indicating a boundary or transition.

JOB NO.	GU-24-02
SHEET NO.	A1.4.7
DATE	250617



SITE KEY



ROOF LEVEL

0 4 8 12

Revisions:	
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PROPERTY:
700 & 704 FOOTHILL BLVD., POMONA, CA.
APN: 8367-003-024 & 8367-003-023

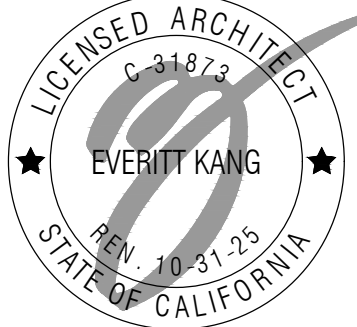
APPLICANT:
G3 URBAN
15235 S. WESTERN AVE., GARDENA, CA 90249
925.876.9985

PREPARED BY:
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JOB NO.	GU-24-02
SHEET NO.	A1.4.8
DATE	250617



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PROJECT

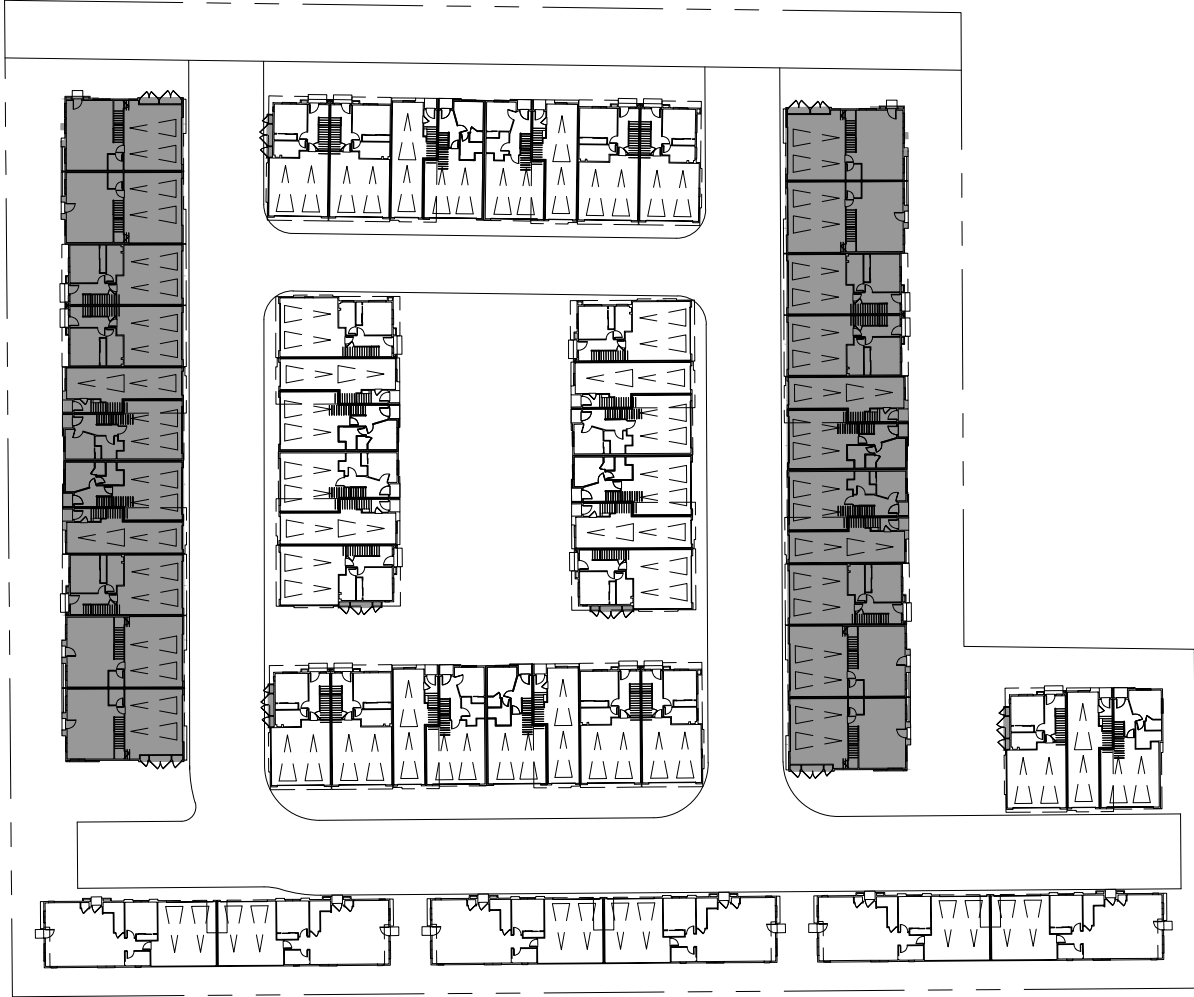
FOOTHILL 59

700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

DRAWINGS

BUILDING 203

BUILDING FLOOR PLAN



SITE KEY

- EXTERIOR ELEVATION KEYNOTES
- [100] ASPHALT COMPOSITION ROOF SHINGLES
 - [101] STUCCO EAVE
 - [102] PARAPET WALL
 - [105] PAINTED METAL SCUPPER / GUTTER / DOWNSPOUT
 - [106] EXTERIOR LIGHT FIXTURE
 - [110] FIBERGLASS ENTRY DOOR
 - [111] FIBERGLASS SLIDING PATIO DOOR
 - [112] METAL/GLASS SECTIONAL GARAGE DOOR
 - [113] UTILITY CLOSET DOOR
 - [114] VINYL WINDOW
 - [120] HORIZONTAL METAL GUARDRAIL
 - [200] PRIMARY STUCCO FINISH (20/30)
 - [201] SECONDARY STUCCO FINISH (20/30)
 - [202] ACCENT STUCCO FINISH (20/30)
 - [203] METAL STUCCO EXPANSION JOINT
 - [204] SMOOTH STUCCO w/ FOAM TRIM
 - [205] HORIZONTAL CRAFT BOARD FORM CREATIVE MINES
 - [206] VERTICAL CRAFT BOARD FORM CREATIVE MINES



ENTRY SIDE BUILDING ELEVATION
(LEFT PARTIAL)

Revisions:

PLANNING RESPONSE 1
241218

PROPERTY:
700 & 704 FOOTHILL BLVD., POMONA, CA.
APN: 8367-003-024 & 8367-003-023

APPLICANT:
G3 URBAN
15235 S. WESTERN AVE., GARDENA, CA 90249
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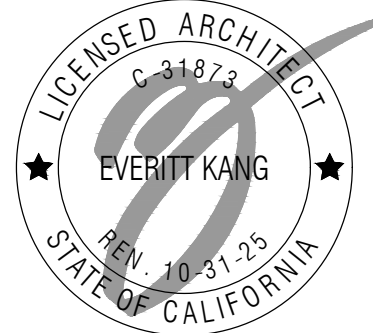
PREPARER:
ARCHITEYK - EVERITT KANG
29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354
949.939.1310

JOB NO.	GU-24-02
SHEET NO.	A1.4.9
DATE	250617

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APPLICANT



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PROJECT

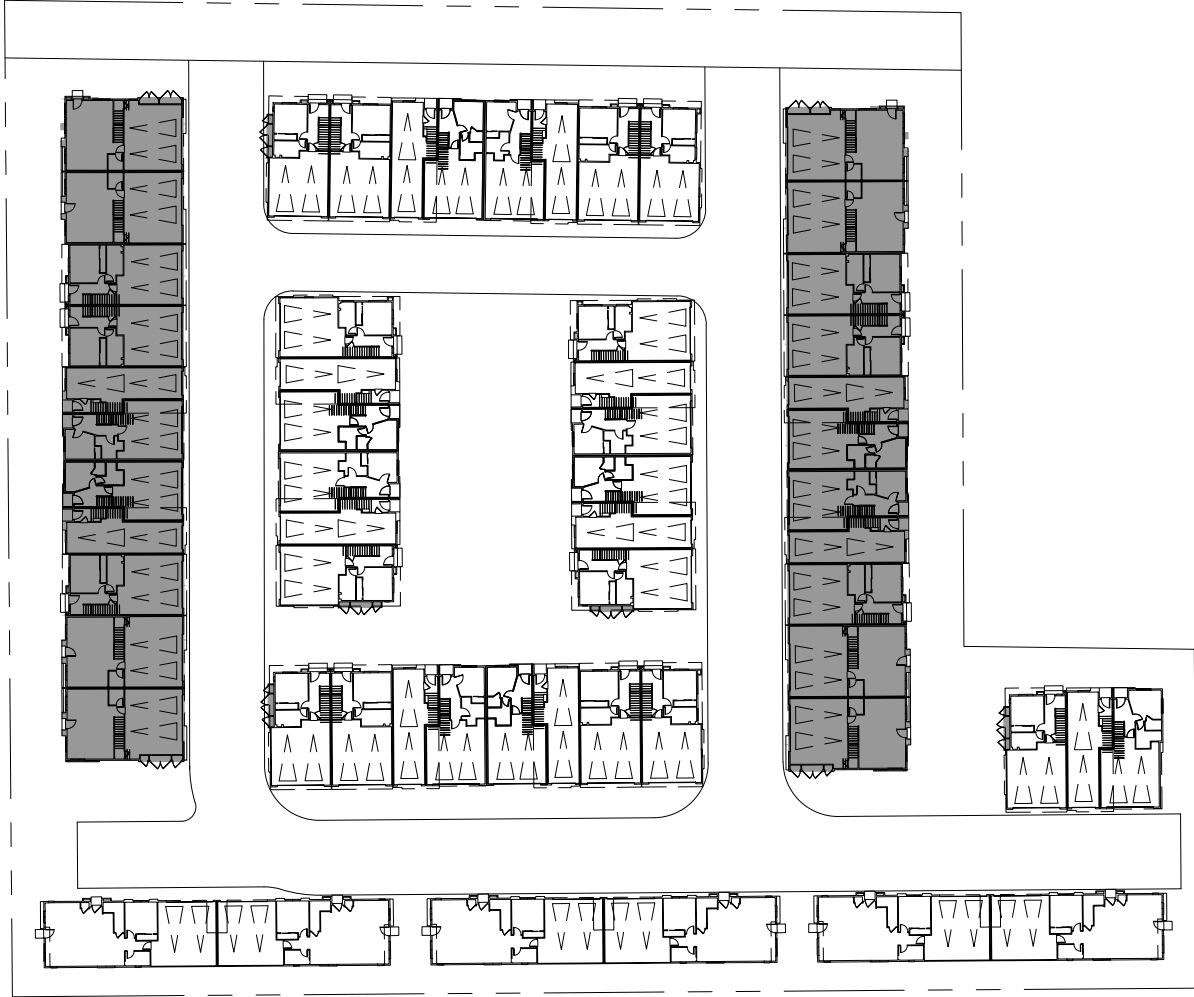
FOOTHILL 59

700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

DRAWINGS

BUILDING 203

BUILDING EXTERIOR ELEVATIONS



SITE KEY

- EXTERIOR ELEVATION KEYNOTES
- [100] ASPHALT COMPOSITION ROOF SHINGLES
 - [101] STUCCO EAVE
 - [102] PARAPET WALL
 - [105] PAINTED METAL SCUPPER / GUTTER / DOWNSPOUT
 - [106] EXTERIOR LIGHT FIXTURE
 - [110] FIBERGLASS ENTRY DOOR
 - [111] FIBERGLASS SLIDING PATIO DOOR
 - [112] METAL/GLASS SECTIONAL GARAGE DOOR
 - [113] UTILITY CLOSET DOOR
 - [114] VINYL WINDOW
 - [120] HORIZONTAL METAL GUARDRAIL
 - [200] PRIMARY STUCCO FINISH (20/30)
 - [201] SECONDARY STUCCO FINISH (20/30)
 - [202] ACCENT STUCCO FINISH (20/30)
 - [203] METAL STUCCO EXPANSION JOINT
 - [204] SMOOTH STUCCO w/ FOAM TRIM
 - [205] HORIZONTAL CRAFT BOARD FORM CREATIVE MINES
 - [206] VERTICAL CRAFT BOARD FORM CREATIVE MINES

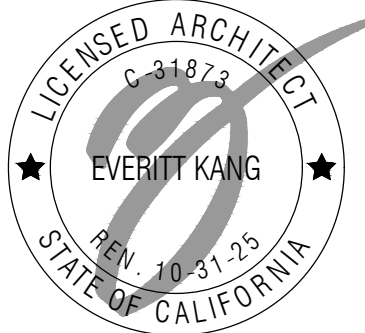


ENTRY SIDE BUILDING ELEVATION
(RIGHT PARTIAL)

Revisions:	
△	PLANNING RESPONSE 1 241218
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PROPERTY: 700 & 704 FOOTHILL BLVD., POMONA, CA. APN: 8367-003-024 & 8367-003-023	
APPLICANT: G3 URBAN 15235 S. WESTERN AVE., GARDENA, CA 90249 925.876.9985	
PREPARER: ARCHITEYK - EVERITT KANG 29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354 949.939.1310	
JOB NO.	GU-24-02
SHEET NO.	A1.4.10
DATE	250617



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PROJECT

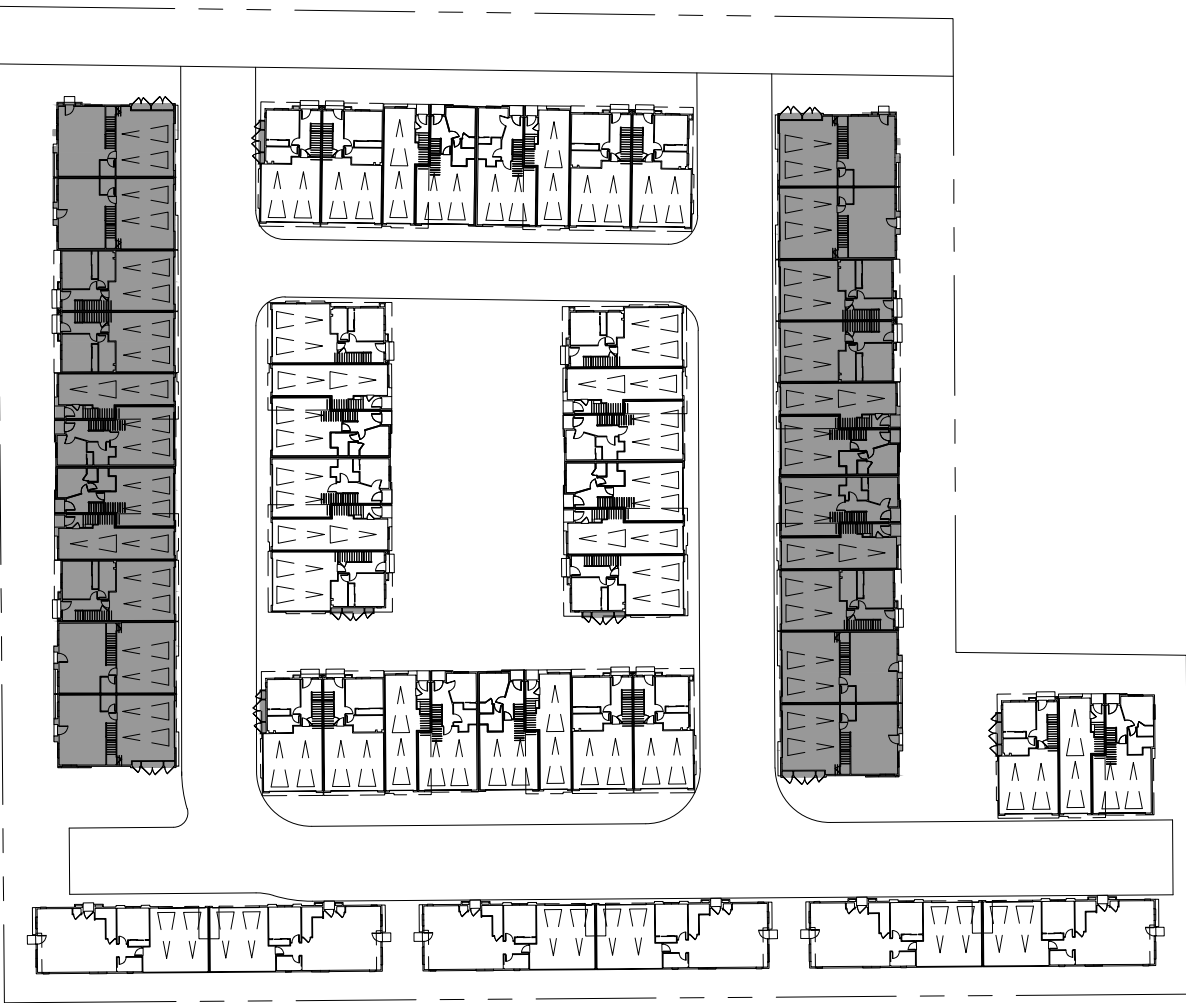
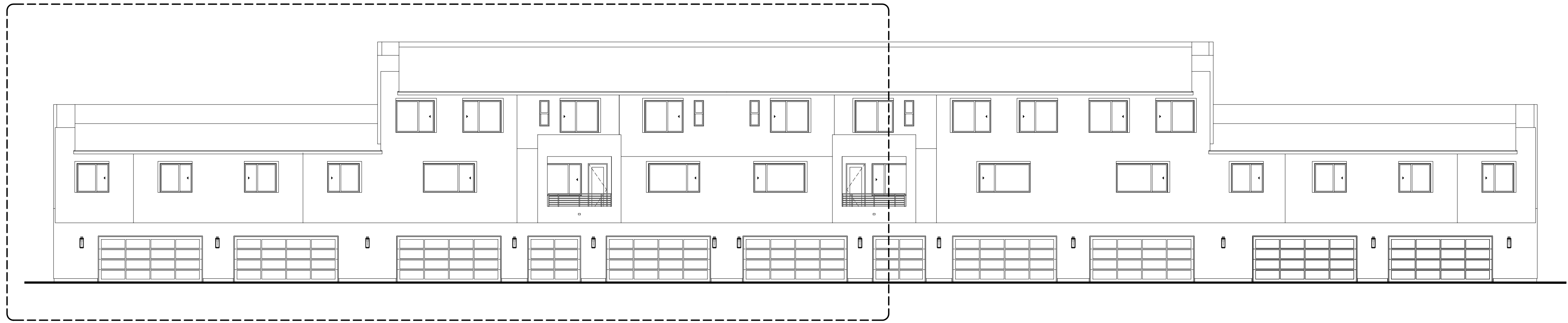
FOOTHILL 59

700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

DRAWINGS

BUILDING 203

BUILDING EXTERIOR ELEVATIONS



SITE KEY

EXTERIOR ELEVATION KEYNOTES	
[100]	ASPHALT COMPOSITION ROOF SHINGLES
[101]	STUCCO EAVE
[102]	PARAPET WALL
[105]	PAINTED METAL SCUPPER / GUTTER / DOWNSPOUT
[106]	EXTERIOR LIGHT FIXTURE
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[120]	HORIZONTAL METAL GUARDRAIL
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[202]	ACCENT STUCCO FINISH (20/30)
[203]	METAL STUCCO EXPANSION JOINT
[204]	SMOOTH STUCCO w/ FOAM TRIM
[205]	HORIZONTAL CRAFT BOARD FORM CREATIVE MINES
[206]	VERTICAL CRAFT BOARD FORM CREATIVE MINES



DRIVE ALLEY ELEVATION
(LEFT PARTIAL)

0 4 8 12

Revisions:	
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PROPERTY:
700 & 704 FOOTHILL BLVD., POMONA, CA.
APN: 8367-003-024 & 8367-003-023

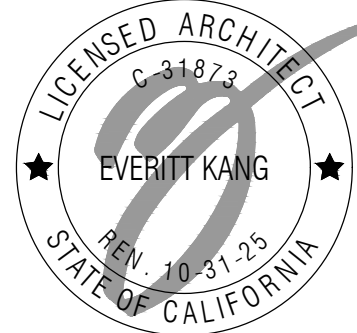
APPLICANT:
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15235 S. WESTERN AVE., GARDENA, CA 90249
925.876.9985

PREPARED BY:
ARCHITEYK - EVERITT KANG
29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354
949.939.1310

JOB NO.	GU-24-02
SHEET NO.	A1.4.11
DATE	250617



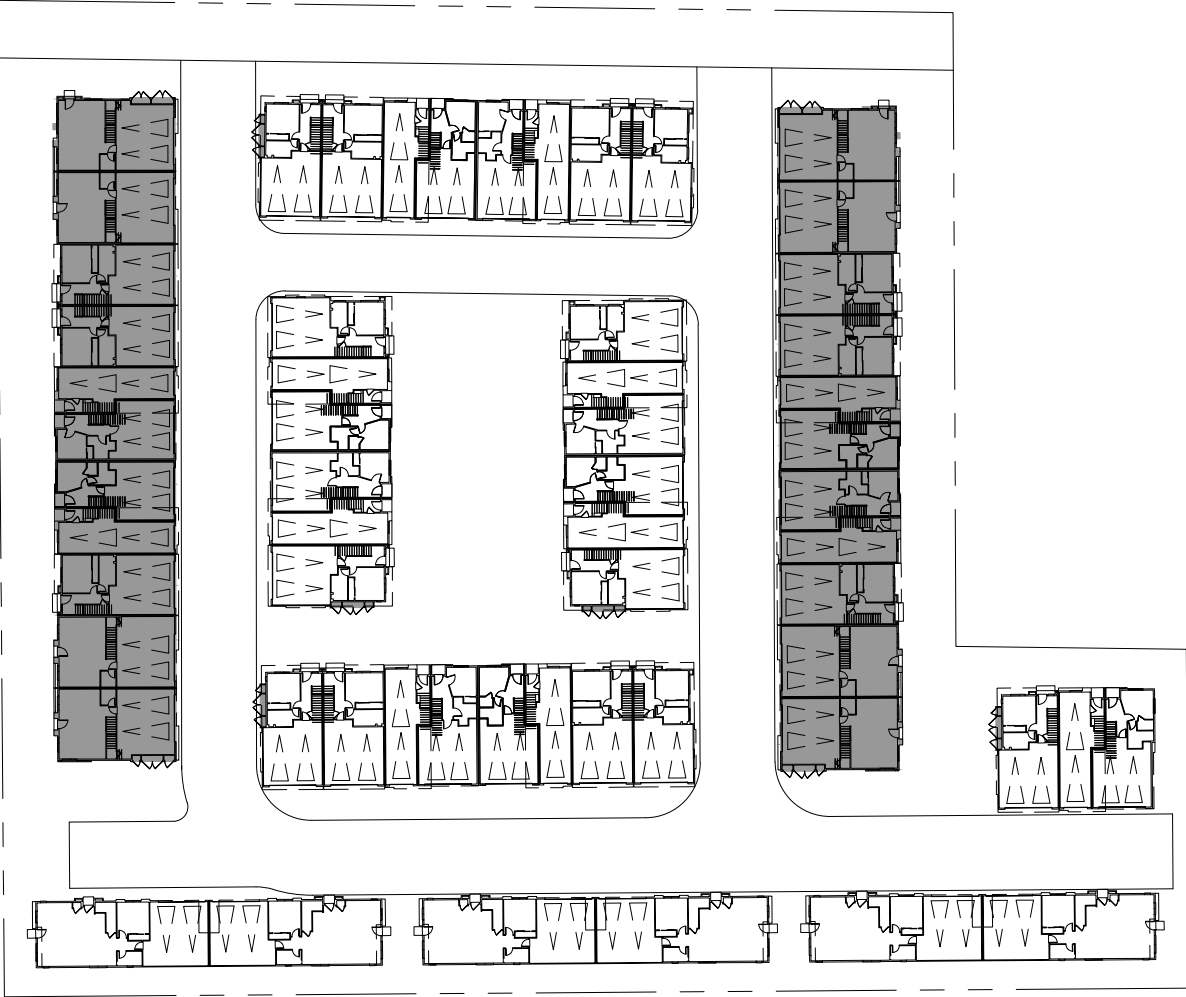
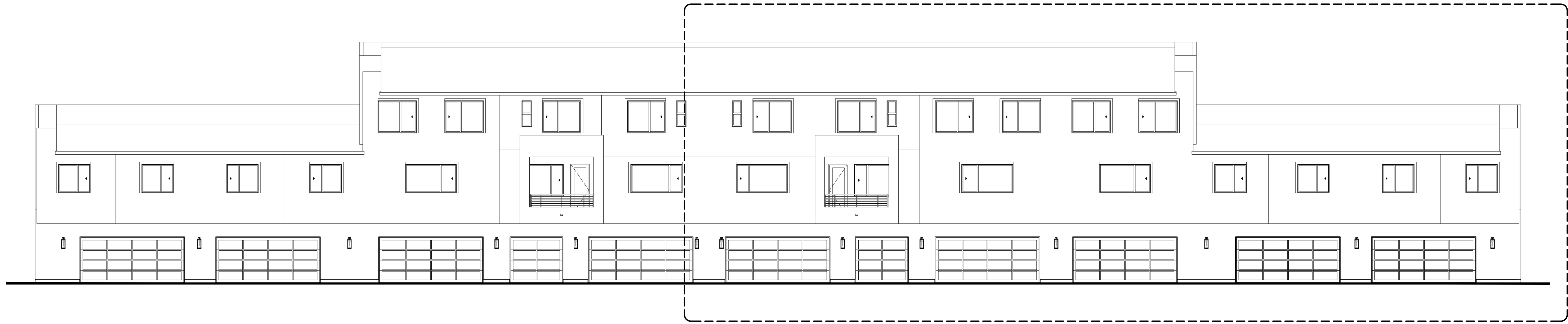
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GARDENA, CA 90249

PROJECT
FOOTHILL 59
700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

DRAWINGS
BUILDING 203
BUILDING EXTERIOR ELEVATIONS



SITE KEY

EXTERIOR ELEVATION KEYNOTES	
[100]	ASPHALT COMPOSITION ROOF SHINGLES
[101]	STUCCO EAVE
[102]	PARAPET WALL
[105]	PAINTED METAL SCUPPER / GUTTER / DOWNSPOUT
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[201]	SECONDARY STUCCO FINISH (20/30)
[202]	ACCENT STUCCO FINISH (20/30)
[203]	METAL STUCCO EXPANSION JOINT
[204]	SMOOTH STUCCO w/ FOAM TRIM
[205]	HORIZONTAL CRAFT BOARD FORM CREATIVE MINES
[206]	VERTICAL CRAFT BOARD FORM CREATIVE MINES



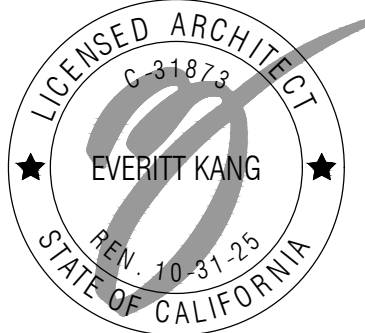
ENTRY SIDE BUILDING ELEVATION
(LEFT PARTIAL)

0 4 8 12

Revisions:	
△	
△	
△	
△	
PROPERTY: 700 & 704 FOOTHILL BLVD., POMONA, CA. APN: 8367-003-024 & 8367-003-023	
APPLICANT: G3 URBAN 15235 S. WESTERN AVE., GARDENA, CA 90249 925.876.9985	
PREPARER: ARCHITEYK - EVERITT KANG 29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354 949.939.1310	
JOB NO.	GU-24-02
SHEET NO.	A1.4.12
DATE	250617



ARCHITEYK
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VALENCIA CALIFORNIA 91354
949 939 1310
www.architeyk.com



15235 S. WESTERN AVENUE
GARDENA, CA 90249

PROJECT

FOOTHILL 59
700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

DRAWINGS

BUILDING 203
BUILDING EXTERIOR ELEVATIONS



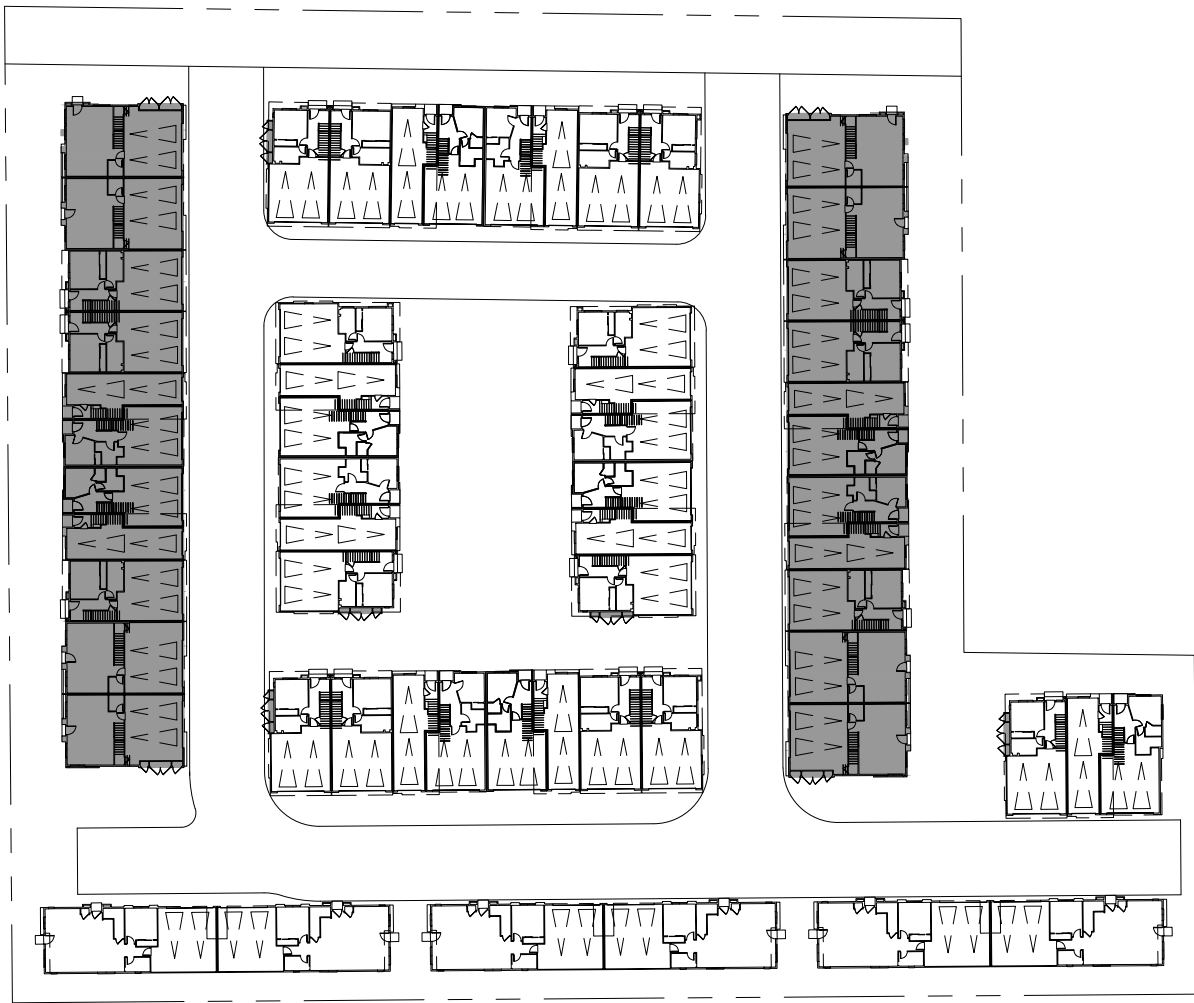
PROJECT

700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

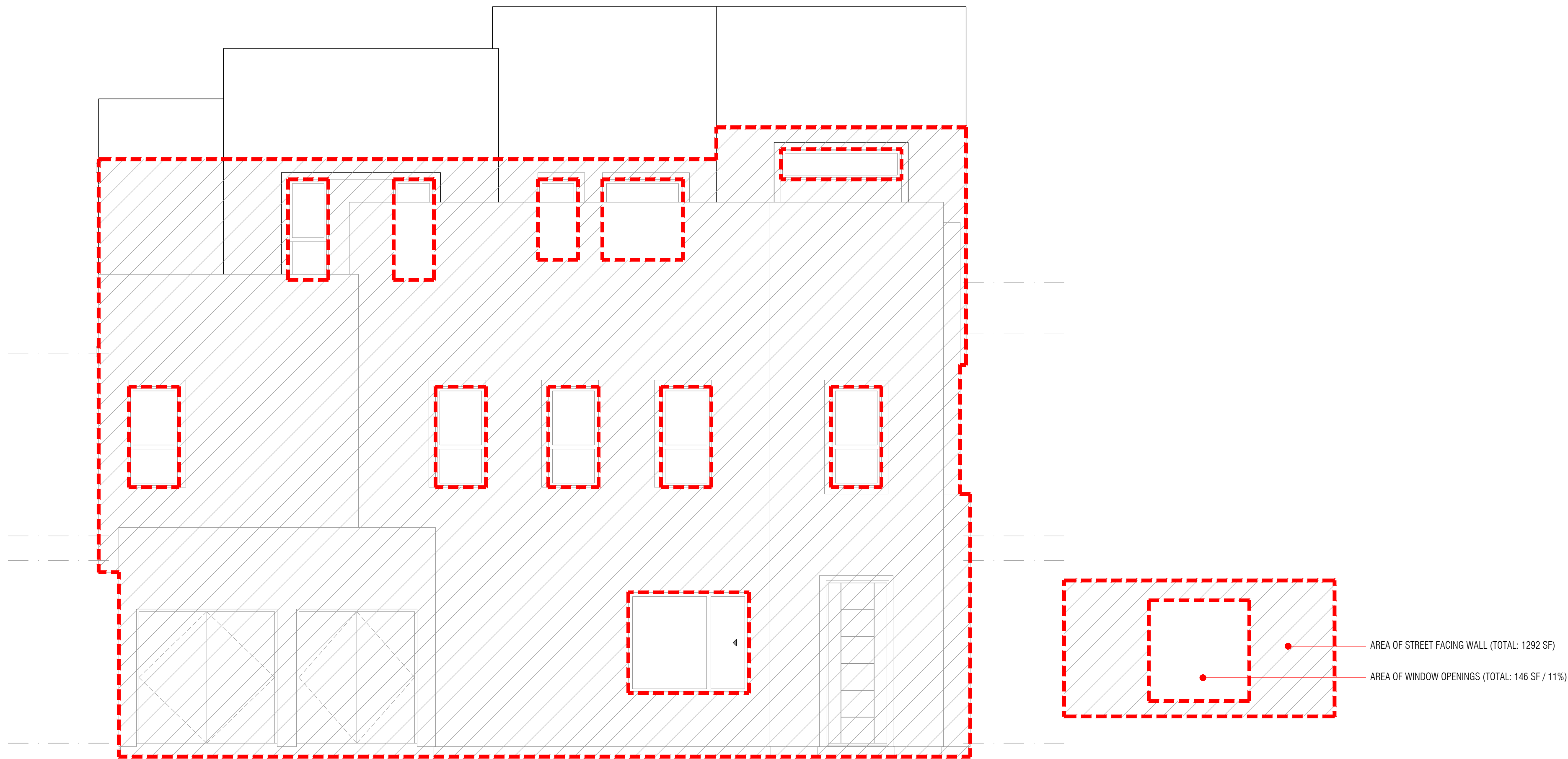


EXTERIOR ELEVATION KEYNOTES	
100	ASPHALT COMPOSITION ROOF SHINGLES
101	STUCCO EAVE
102	PARAPET WALL
103	PAINTED METAL SCUPPER / GUTTER / DOWNSPOUT
106	EXTERIOR LIGHT FIXTURE
110	FIBERGLASS ENTRY DOOR
111	FIBERGLASS SLIDING PATIO DOOR
112	METAL/GLASS SECTIONAL GARAGE DOOR
113	UTILITY CLOSET DOOR
114	VINYL WINDOW
120	HORIZONTAL METAL GUARDRAIL
190	PRIMARY STUCCO FINISH (20/30)
201	SECONDARY STUCCO FINISH (20/30)
202	ACCENT STUCCO FINISH (20/30)
203	STUCCO STUCCO EXPANSION JOINT
204	SMOOTH STUCCO w/ FOAM TRIM
205	HORIZONTAL CRAFT BOARD FORM CREATIVE MIXES
206	VERTICAL CRAFT BOARD FORM CREATIVE MIXES

JOB NO.	GU-24-02
SHEET NO.	A1.4.13
DATE	250617



SITE KEY



STREET FACING ELEVATION

0 4 8 12

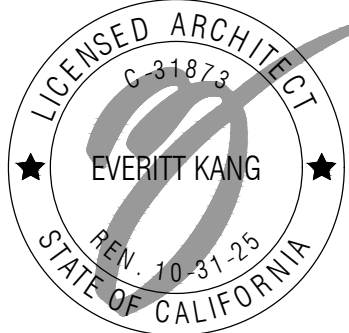
PROJECT

DRAWINGS

Revisions:	
△	PLANNING RESPONSE 1
△	241218
△	
△	
△	
PROPERTY:	
700 & 704 FOOTHILL BLVD., POMONA, CA.	
APN: 8367-003-024 & 8367-003-023	
APPLICANT:	
G3 URBAN	
15235 S. WESTERN AVE., GARDENA, CA 90249	
925.876.9985	
PREPARER:	
ARCHITEYK - EVERITT KANG	
29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354	
949.939.1310	
JOB NO.	GU-24-02
SHEET NO.	A1.4.14
DATE	250617



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15235 S. WESTERN AVENUE
GARDENA, CA 90249

FOOTHILL 59

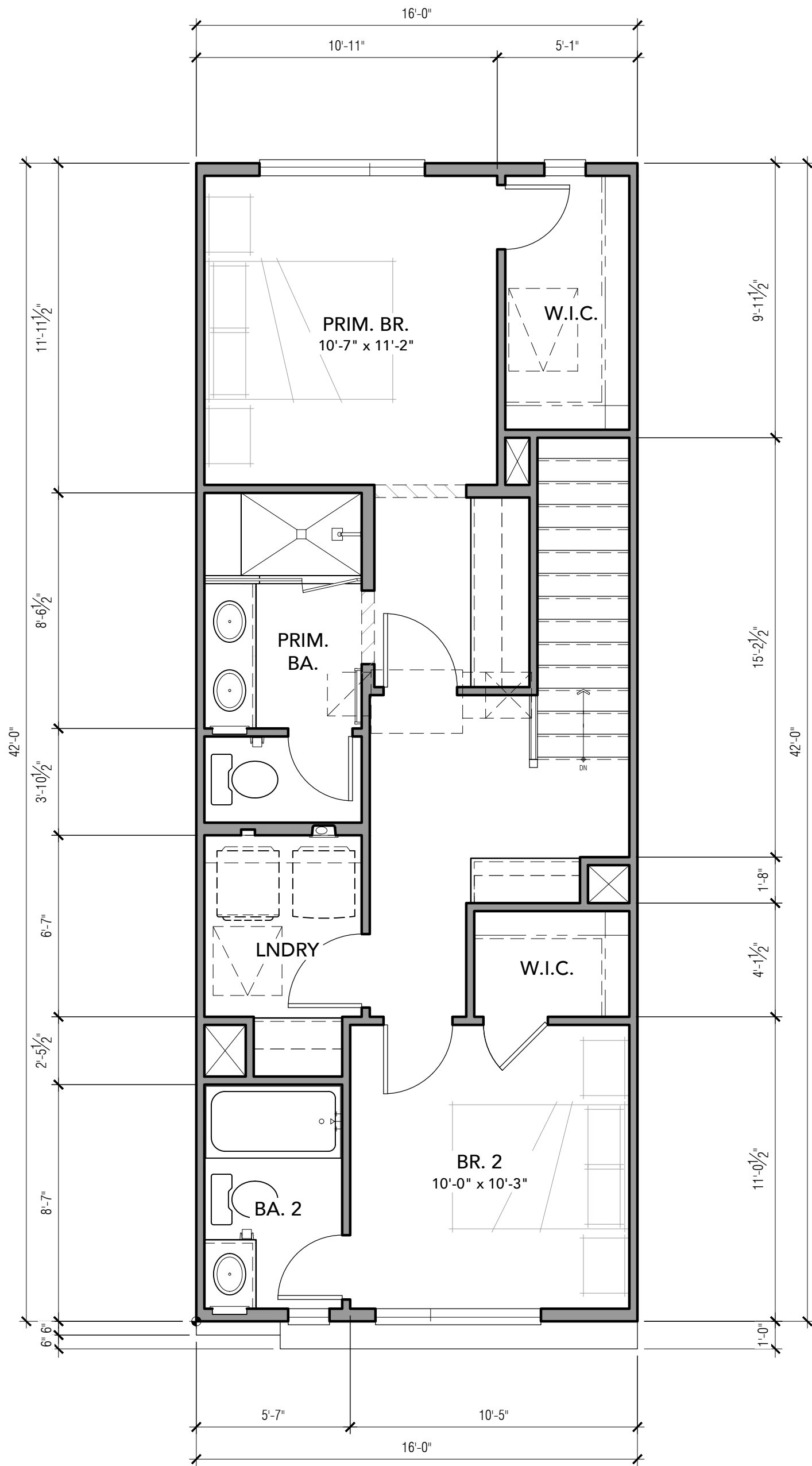
700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

BUILDING 203

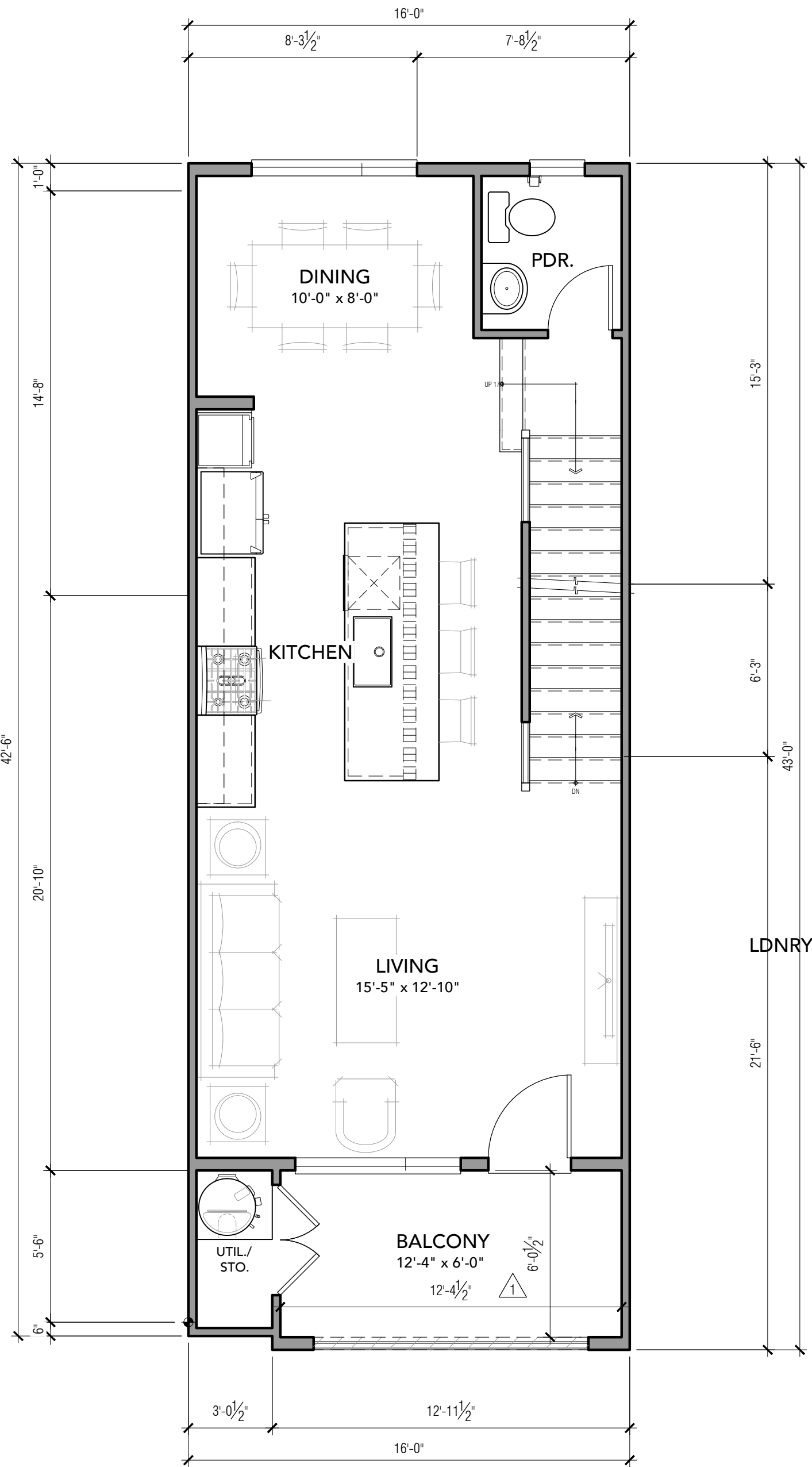
STREET FACADE WALL COMPOSITION
DIAGRAM



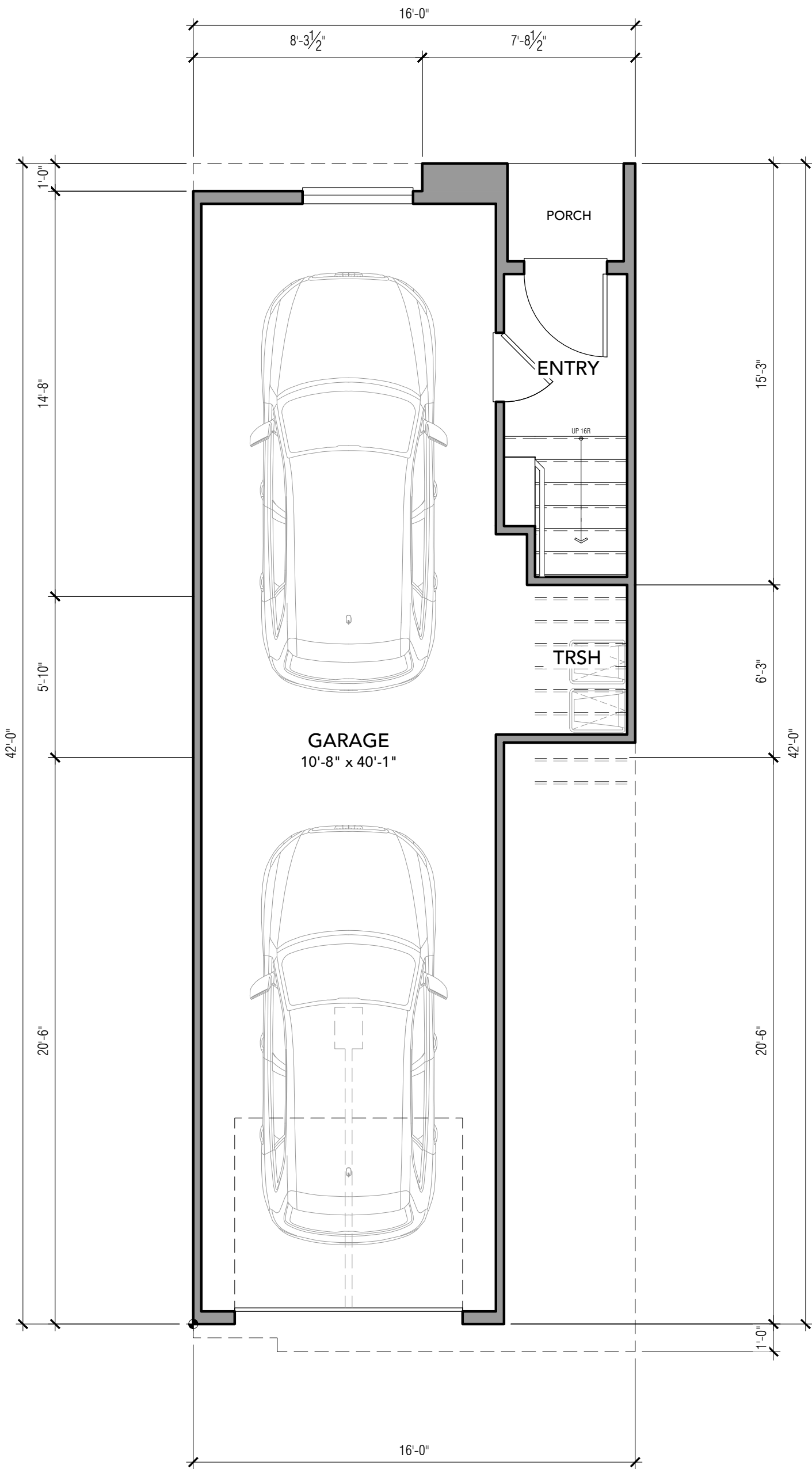
SITE KEY



LEVEL THREE



LEVEL TWO



LEVEL ONE

UNIT ONE AREA TABULATION	
CONDITIONED SPACE	
FIRST FLOOR:	85 SF
SECOND FLOOR:	584 SF
THRD FLOOR:	630 SF
TOTAL CONDITIONED:	1,299 SF
UNCONDITIONED SPACE	
GARAGE:	487 SF
COVERED PORCH:	16 SF
COVERED BALCONY:	82 SF
UTILITY CLOSET:	20 SF
TOTAL UNCONDITIONED:	605 SF
GROSS CONSTRUCT. AREA:	1,905 SF
LOT COVERAGE AREA:	686 SF

Revisions:	
△	PLANNING RESPONSE 1
△	241218
△	
△	
△	
PROPERTY:	
700 & 704 FOOTHILL BLVD., POMONA, CA.	
APN: 8367-003-024 & 8367-003-023	
APPLICANT:	
G3 URBAN	
15235 S. WESTERN AVE., GARDENA, CA 90249	
925.876.9985	
PREPARED:	
ARCHITEYK - EVERITT KANG	
29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354	
949.939.1310	
JOB NO.	GU-24-02
SHEET NO.	A2.1.1
DATE	250617



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15235 S. WESTERN AVENUE
GARDENA, CA 90249

PROJECT

FOOTHILL 59

700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

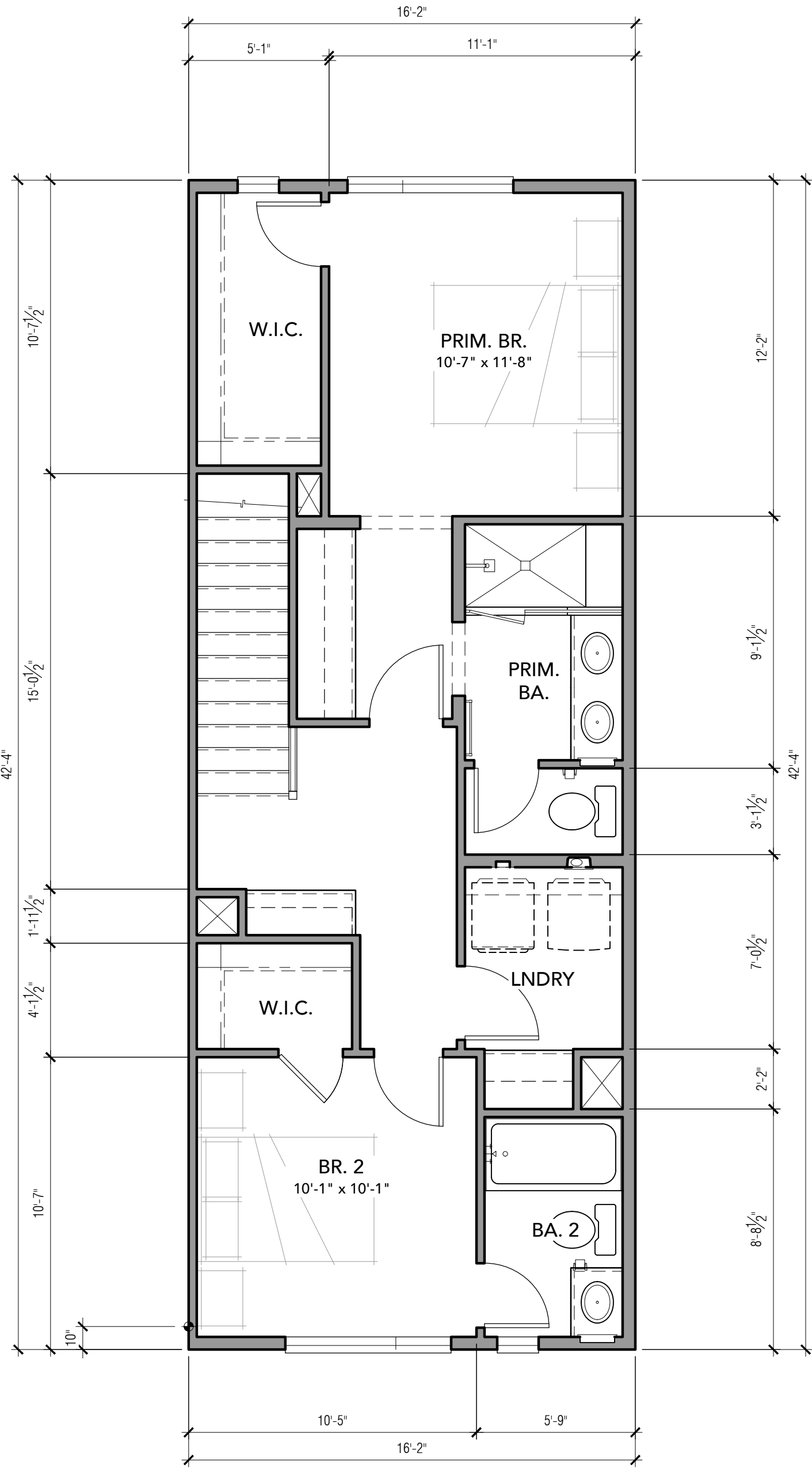
DRAWINGS

UNIT ONE

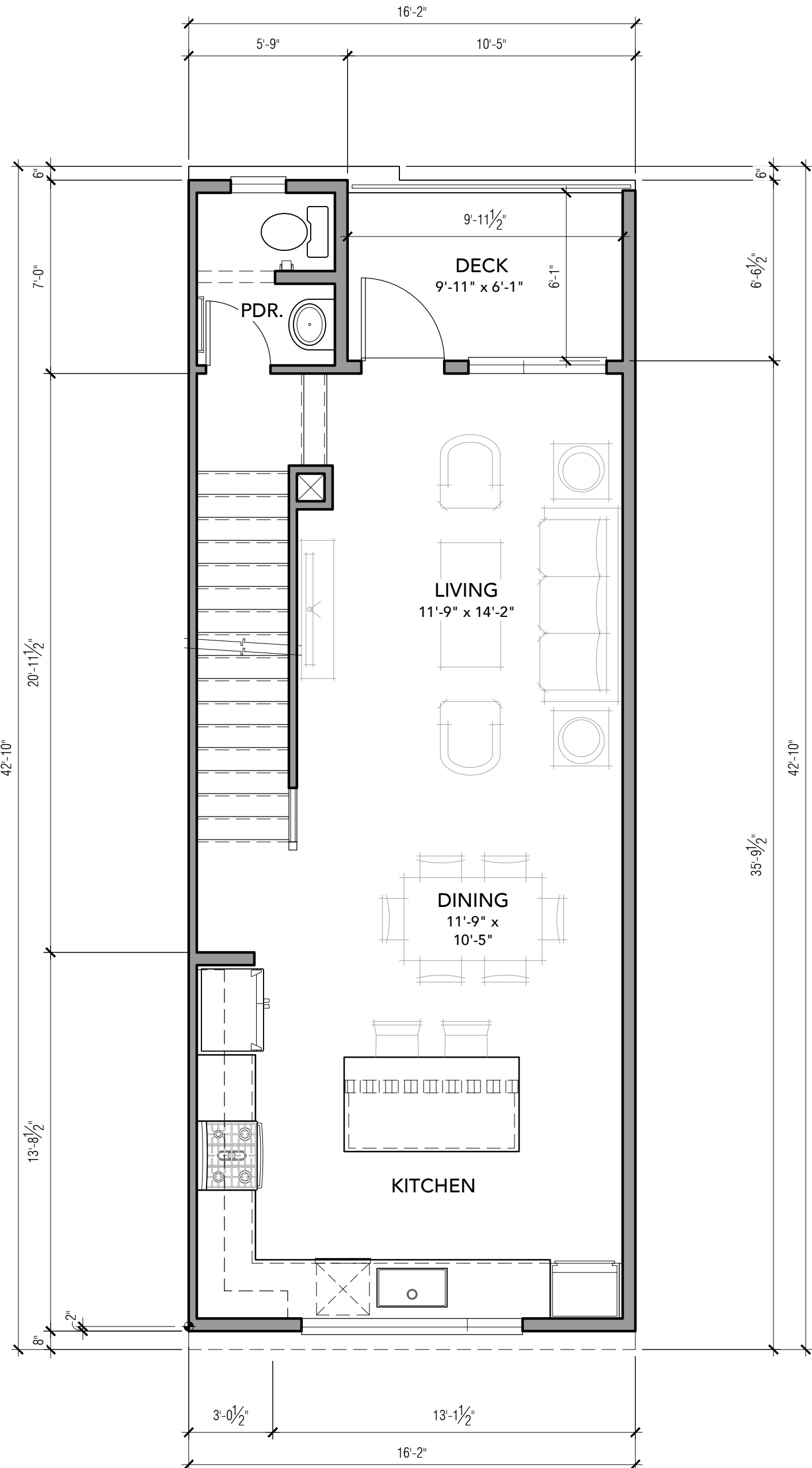
FLOOR PLANS



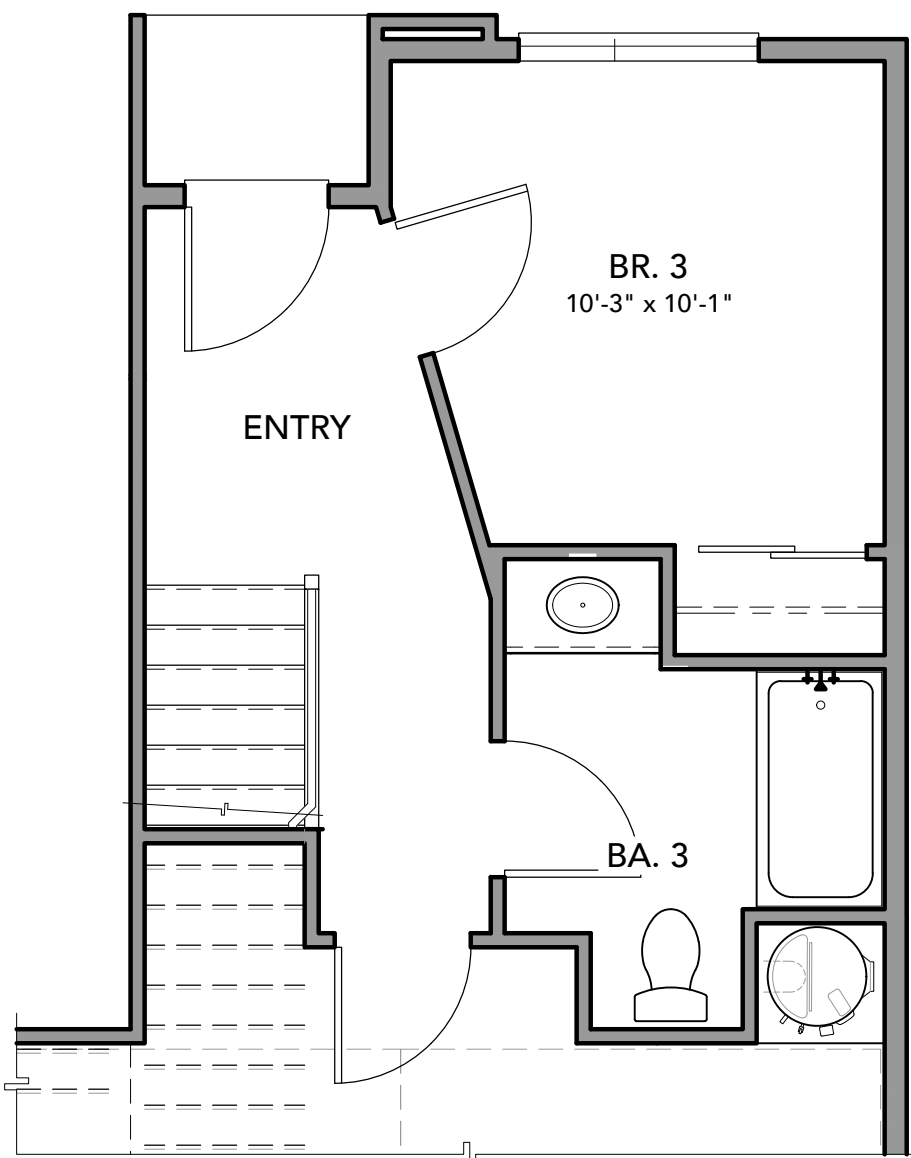
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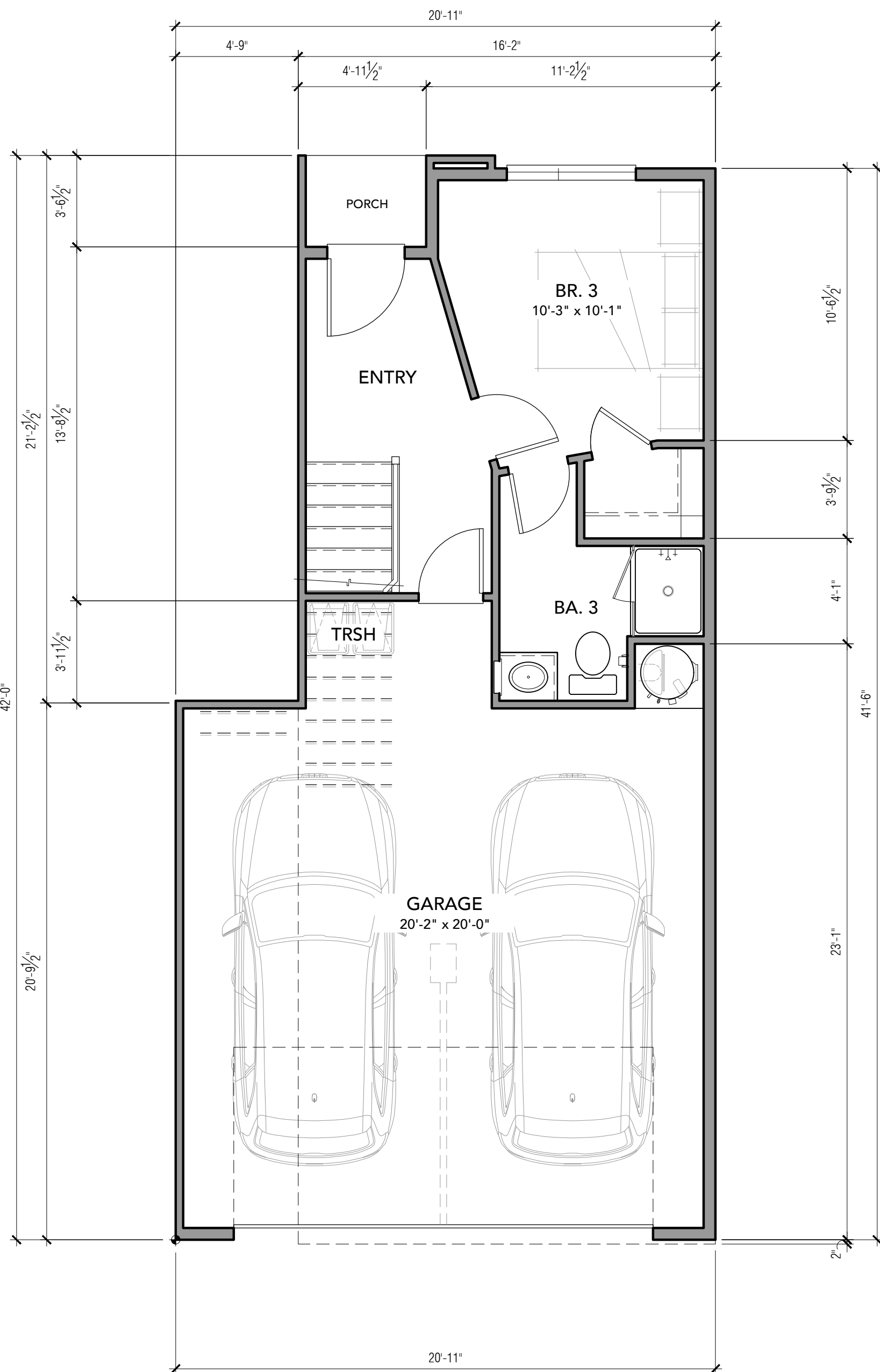
LEVEL THREE



LEVEL TWO



LEVEL ONE
(ACCESSIBLE)



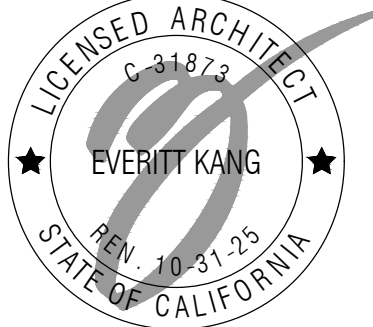
LEVEL ONE

UNIT TWO AREA TABULATION	
CONDITIONED SPACE	
FIRST FLOOR:	284 SF
SECOND FLOOR:	605 SF
THIRD FLOOR:	642 SF
TOTAL CONDITIONED:	1,532 SF
UNCONDITIONED SPACE	
GARAGE:	471 SF
COVERED PORCH:	19 SF
COVERED BALCONY:	68 SF
TOTAL UNCONDITIONED:	558 SF
GROSS CONSTRUCT. AREA:	2,090 SF
LOT COVERAGE AREA:	687 SF

Revisions:	
△	
△	
△	
△	
PROPERTY: 700 & 704 FOOTHILL BLVD., POMONA, CA. APN: 8367-003-024 & 8367-003-023	
APPLICANT: G3 URBAN 15235 S. WESTERN AVE., GARDENA, CA 90249 925.876.9985	
PREPARER: ARCHITEYK - EVERITT KANG 29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354 949.939.1310	
JOB NO.	GU-24-02
SHEET NO.	A3.1.1
DATE	250617



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15235 S. WESTERN AVENUE
GARDENA, CA 90249

PROJECT

FOOTHILL 59

700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

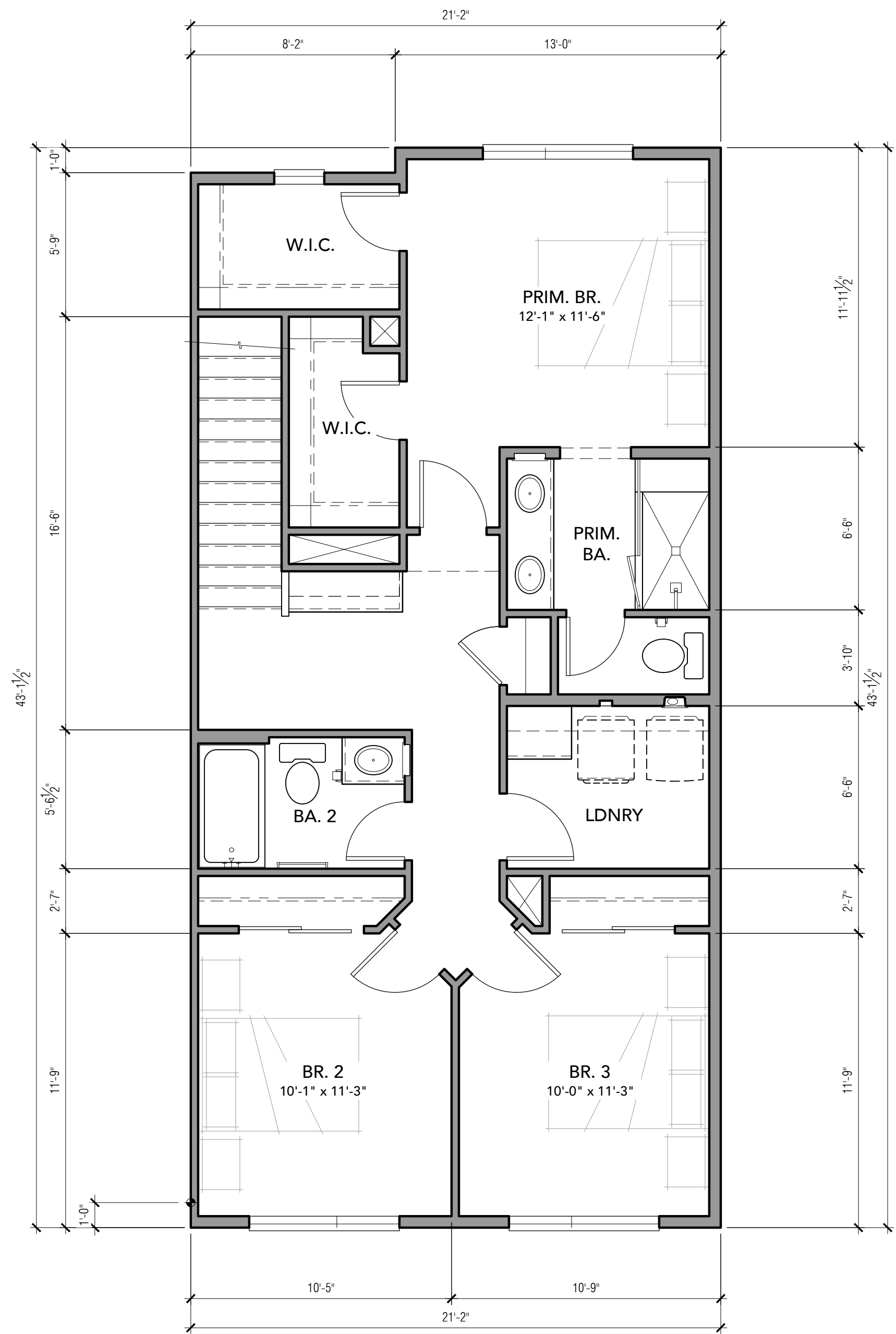
DRAWINGS

UNIT TWO

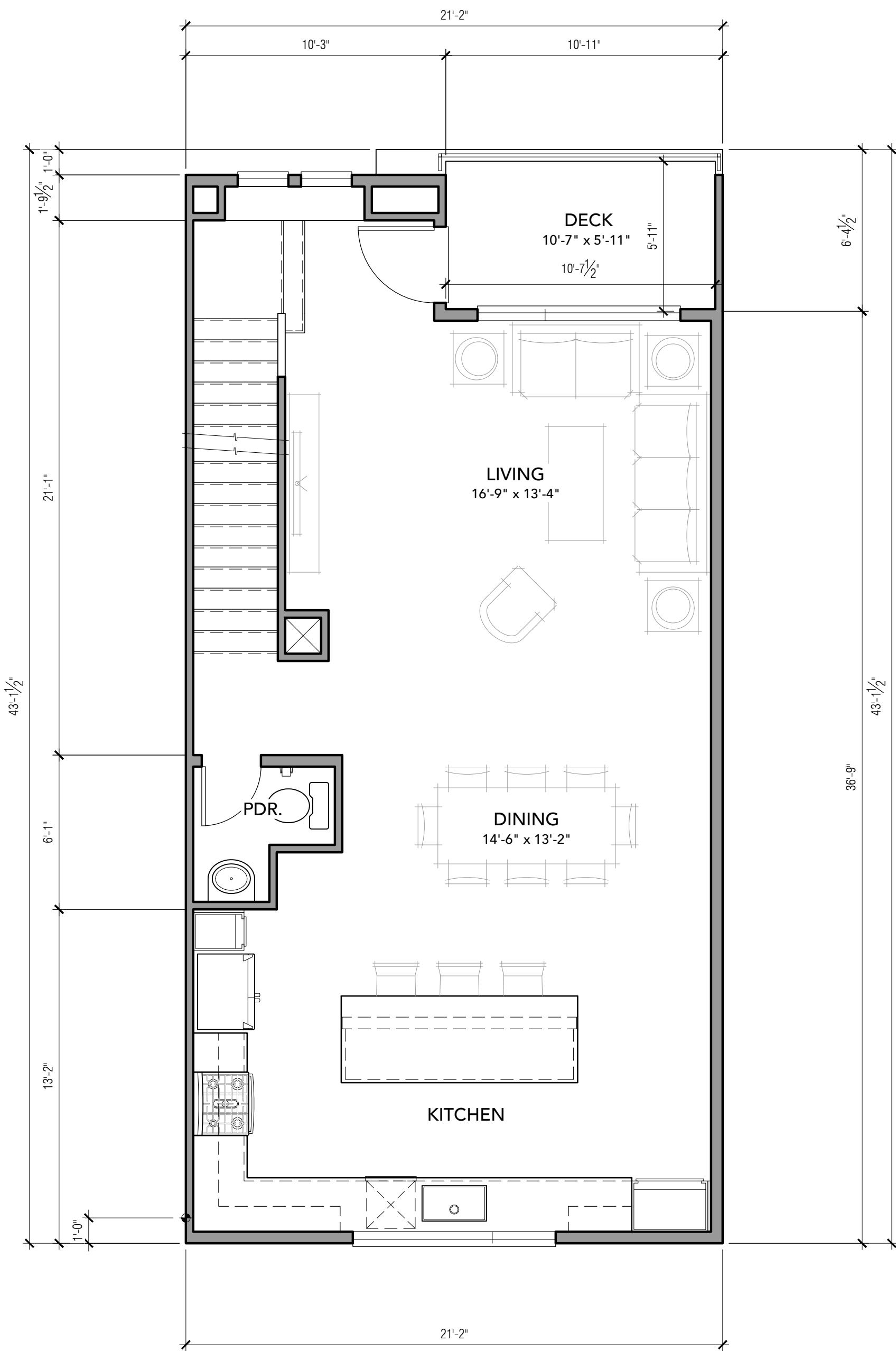
FLOOR PLANS



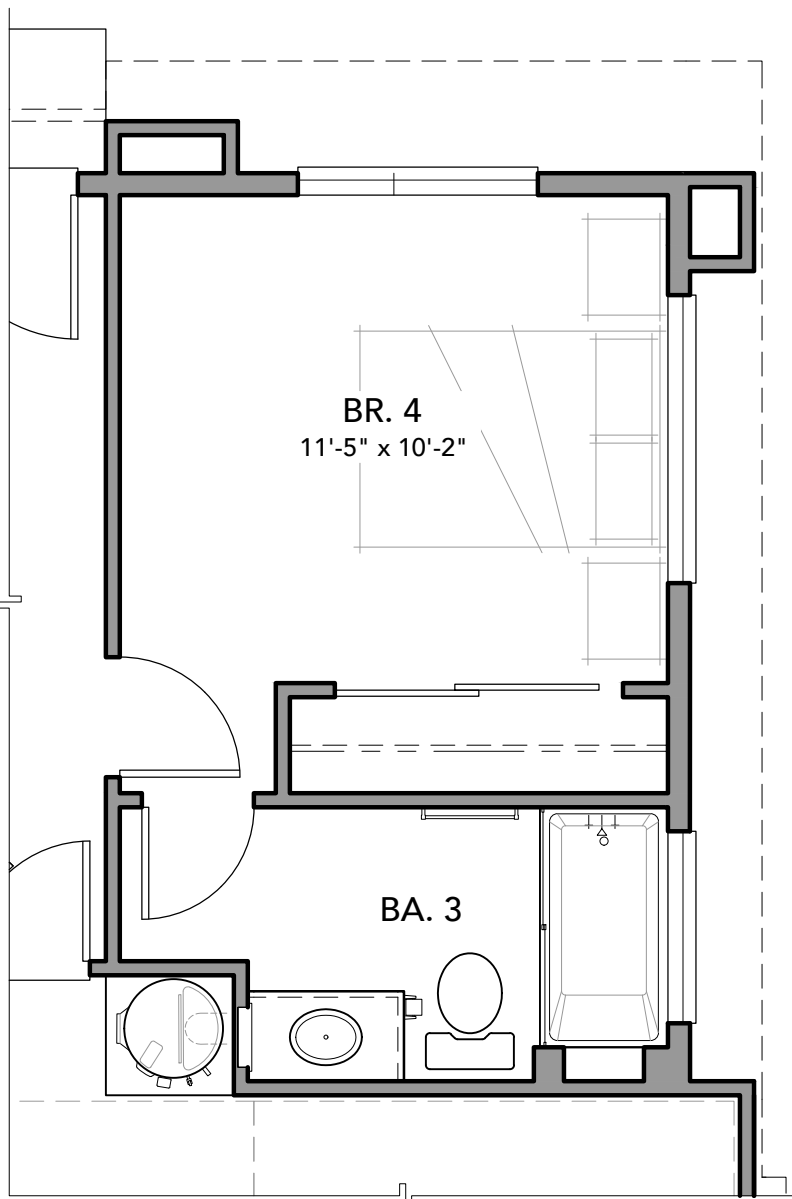
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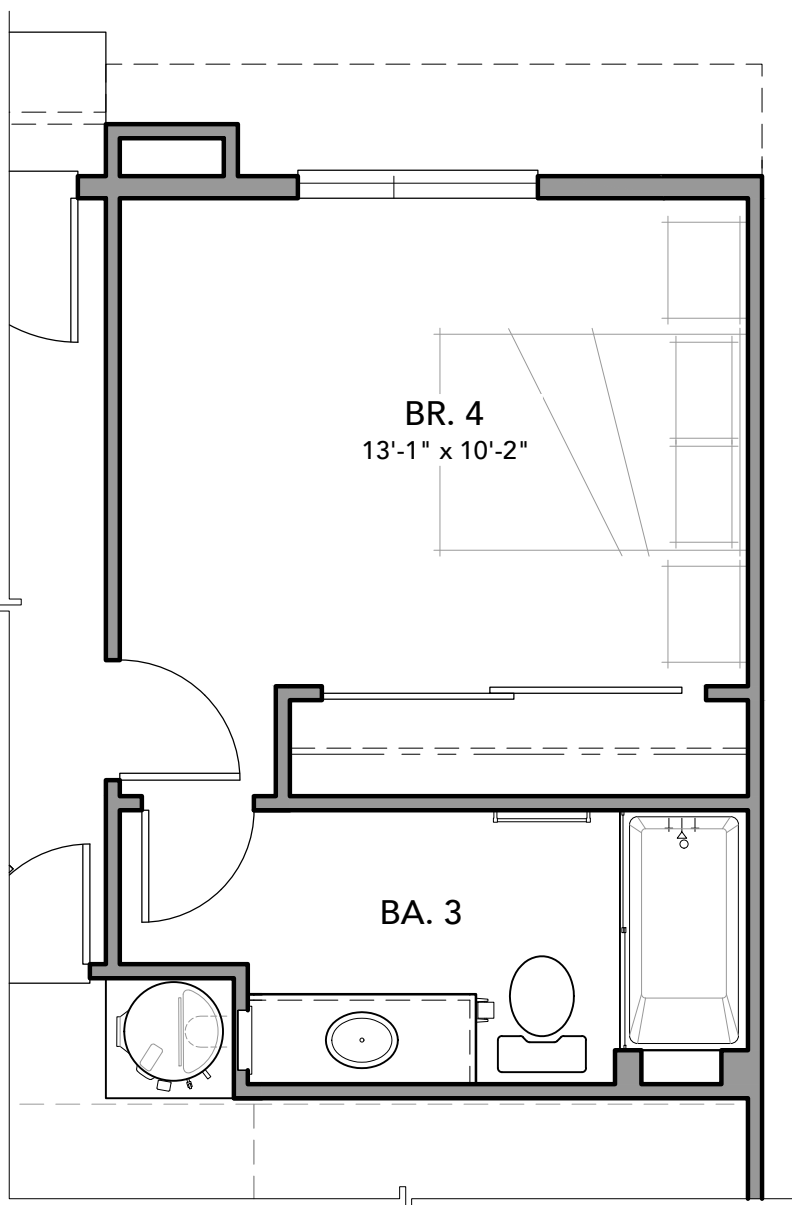
LEVEL THREE



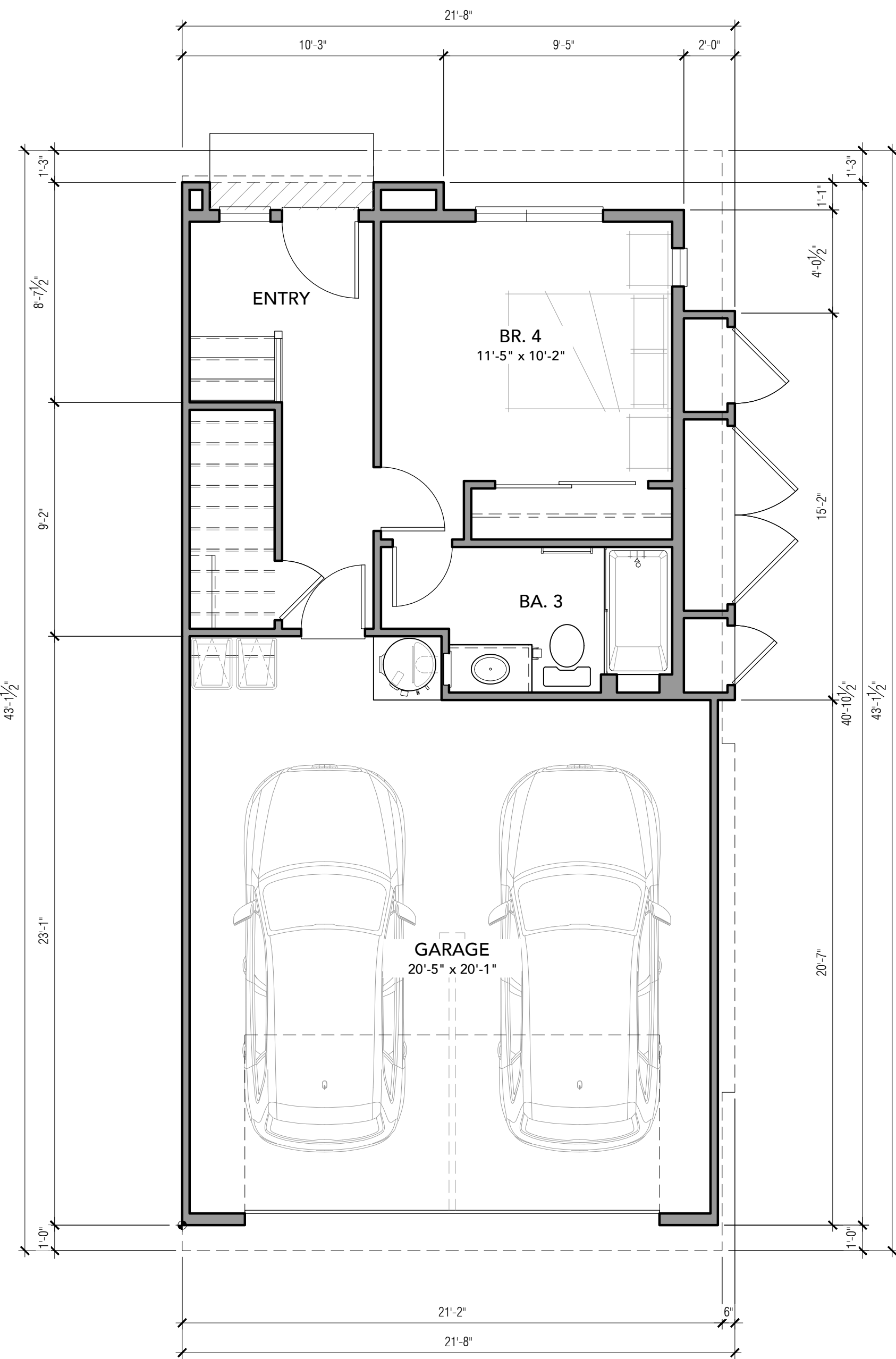
LEVEL TWO



LEVEL ONE
(SANS METER CLOSET)



LEVEL ONE
(INTERIOR UNIT)



LEVEL ONE

PLAN THREE AREA TABULATION	
CONDITIONED SPACE	
FIRST FLOOR:	352 SF
SECOND FLOOR:	833 SF
THRD FLOOR:	862 SF
TOTAL CONDITIONED:	2,048 SF
UNCONDITIONED SPACE	
GARAGE:	458 SF
COVERED PORCH:	11 SF
COVERED BALCONY:	70 SF
TOTAL UNCONDITIONED:	539 SF
METER CABINET:	30 SF
GROSS CONSTRUCT. AREA:	2,616 SF
LOT COVERAGE AREA:	912 SF

Revisions:
△
△
△
△

PROPERTY:
700 & 704 FOOTHILL BLVD., POMONA, CA.
APN: 8367-003-024 & 8367-003-023

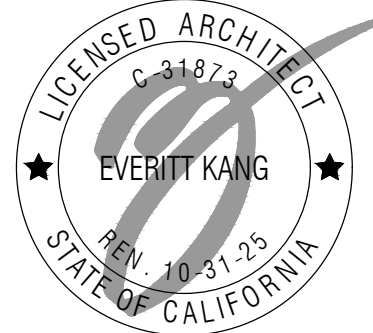
APPLICANT:
G3 URBAN
15235 S. WESTERN AVE., GARDENA, CA 90249
925.876.9985

PREPARED BY:
ARCHITEYK - EVERITT KANG
29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354
949.939.1310

JOB NO.	GU-24-02
SHEET NO.	A4.1.1
DATE	250617



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15235 S. WESTERN AVENUE
GARDENA, CA 90249

PROJECT

FOOTHILL 59

700 & 704 FOOTHILL BOULEVARD, POMONA, CALIFORNIA

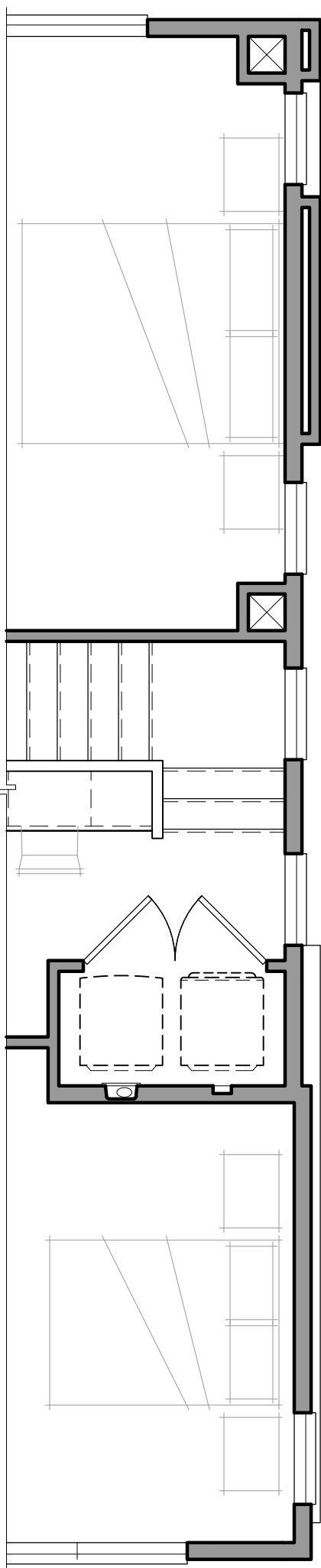
DRAWINGS

UNIT THREE

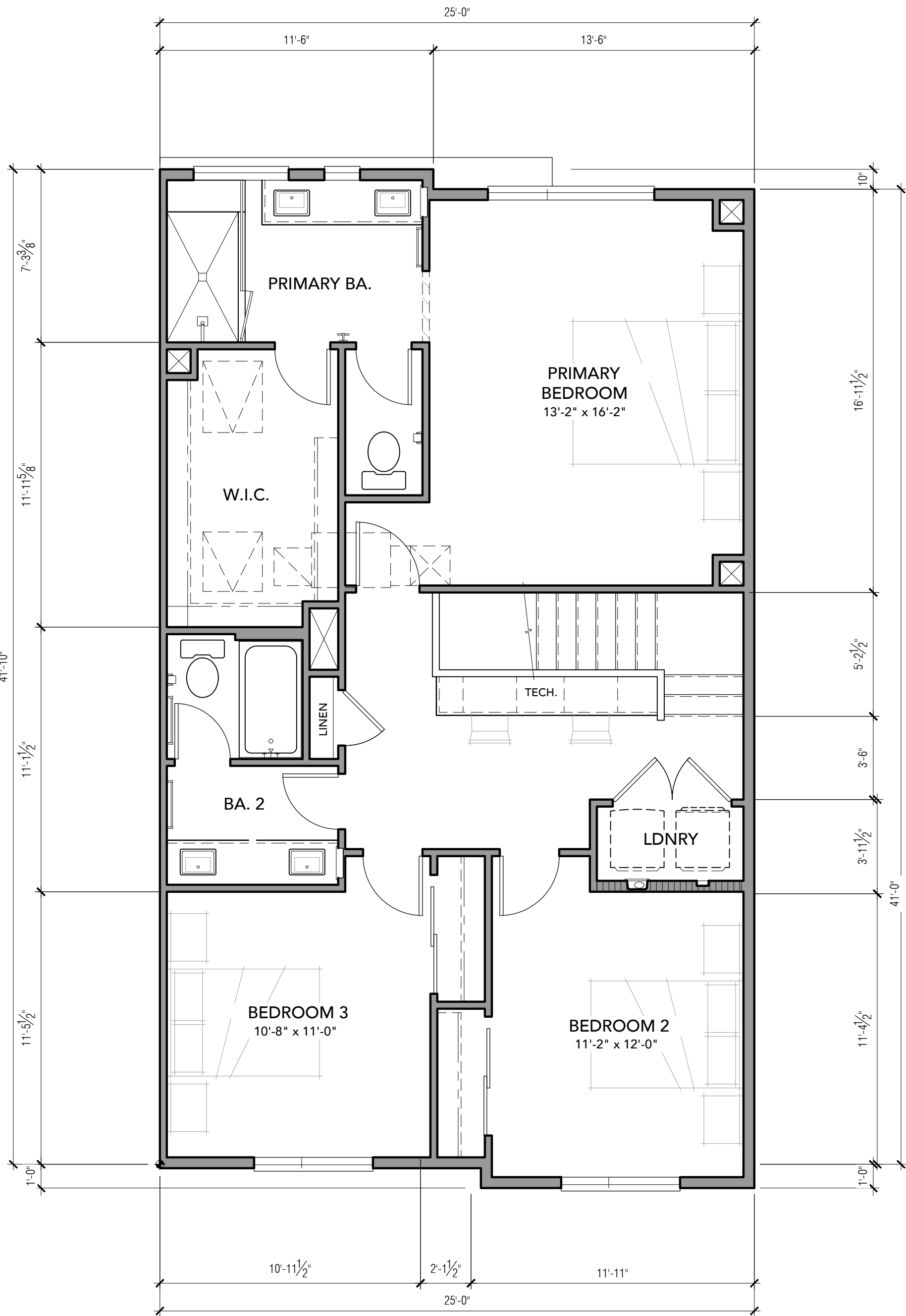
FLOOR PLANS



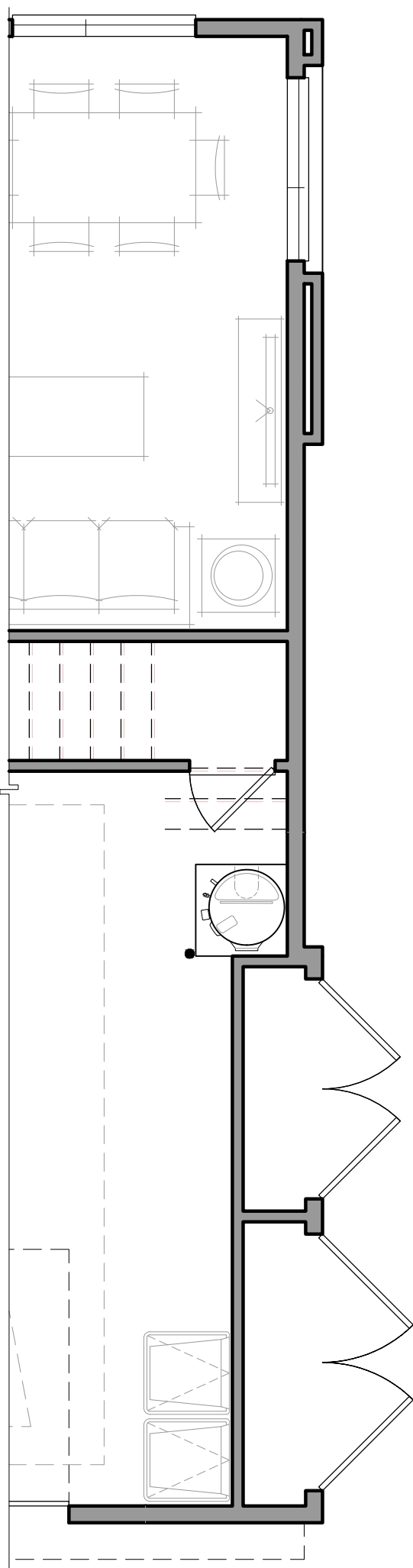
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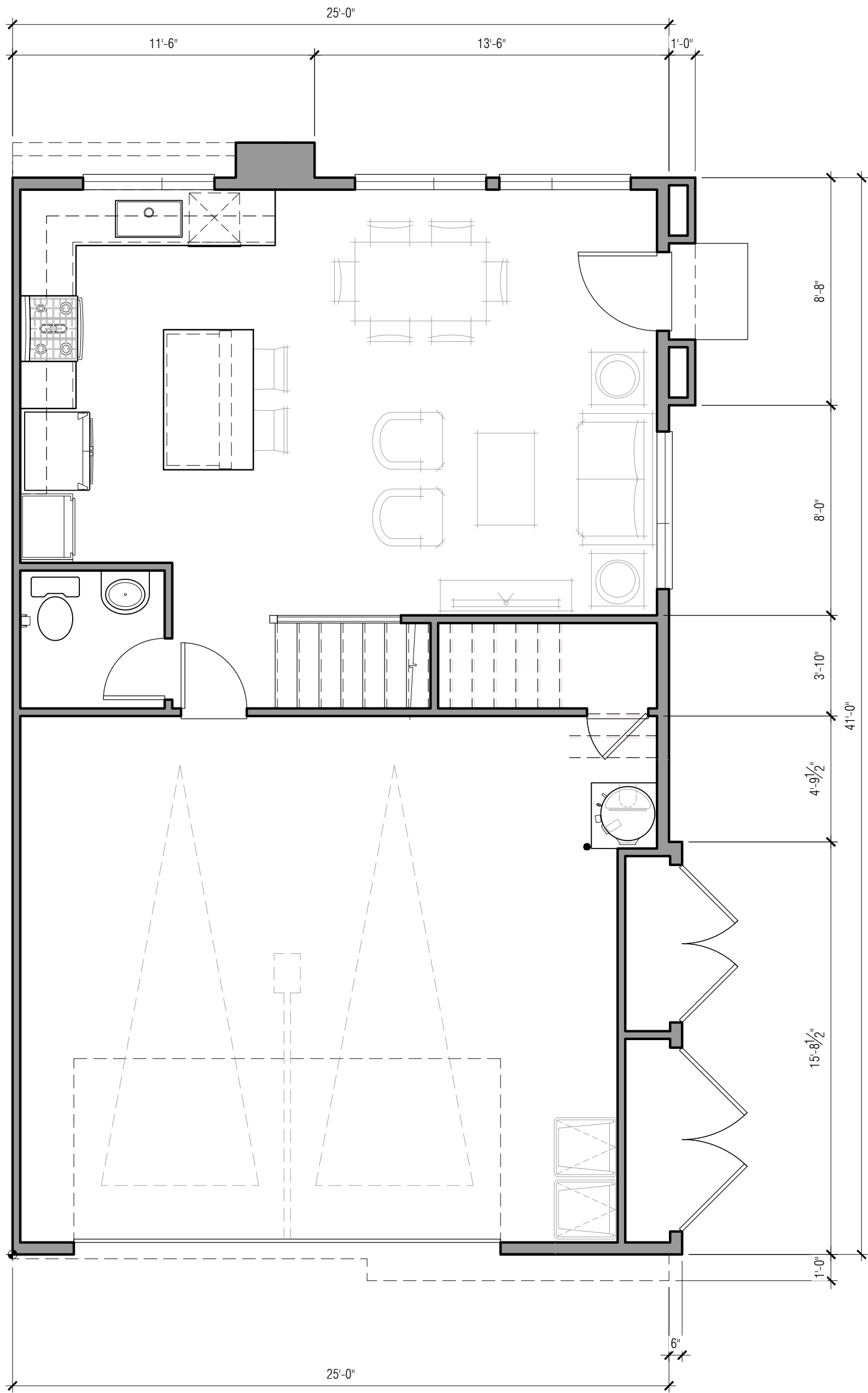
LEVEL TWO
END UNIT



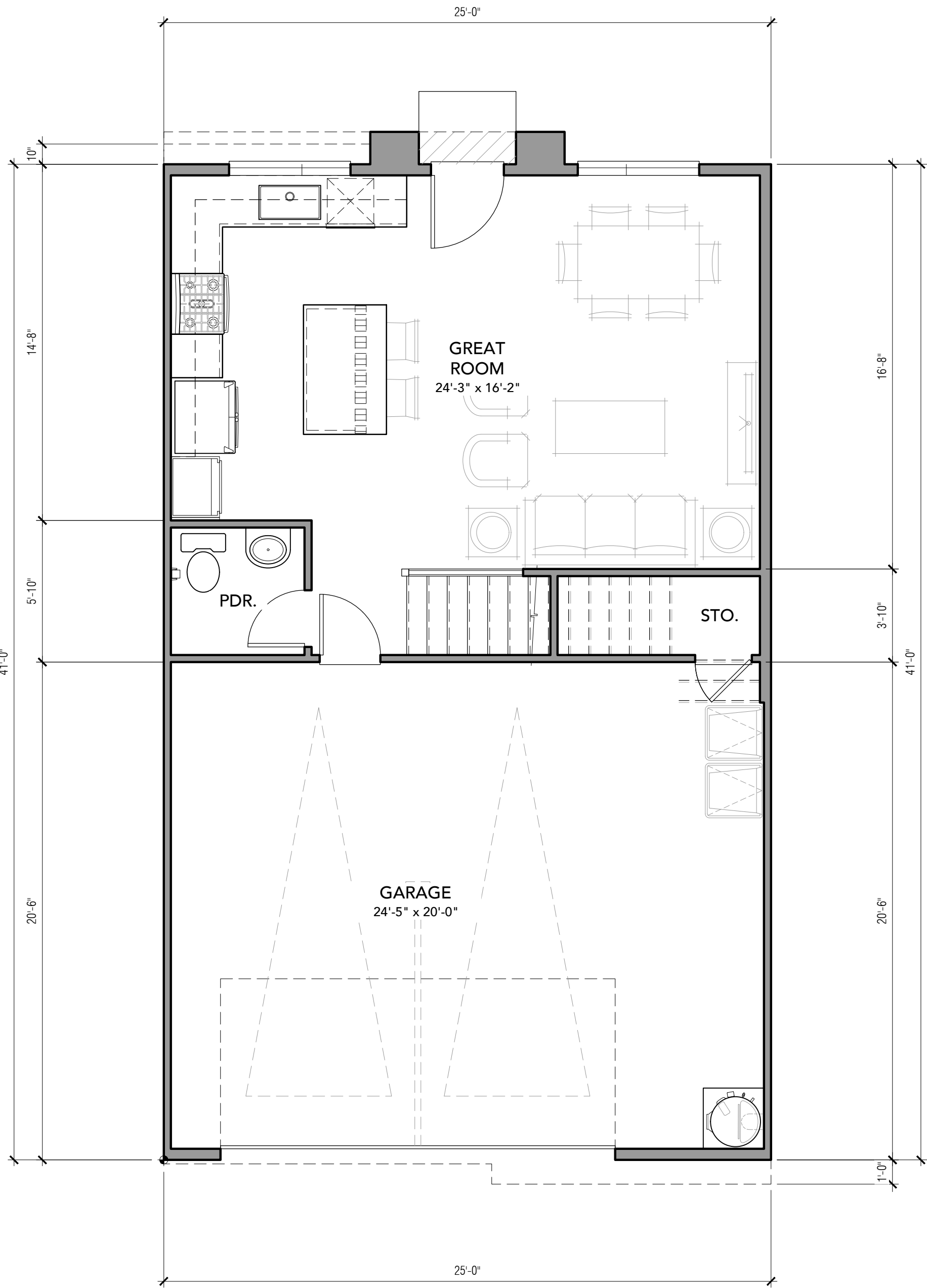
LEVEL TWO
INTERIOR UNIT



LEVEL ONE
END UNIT



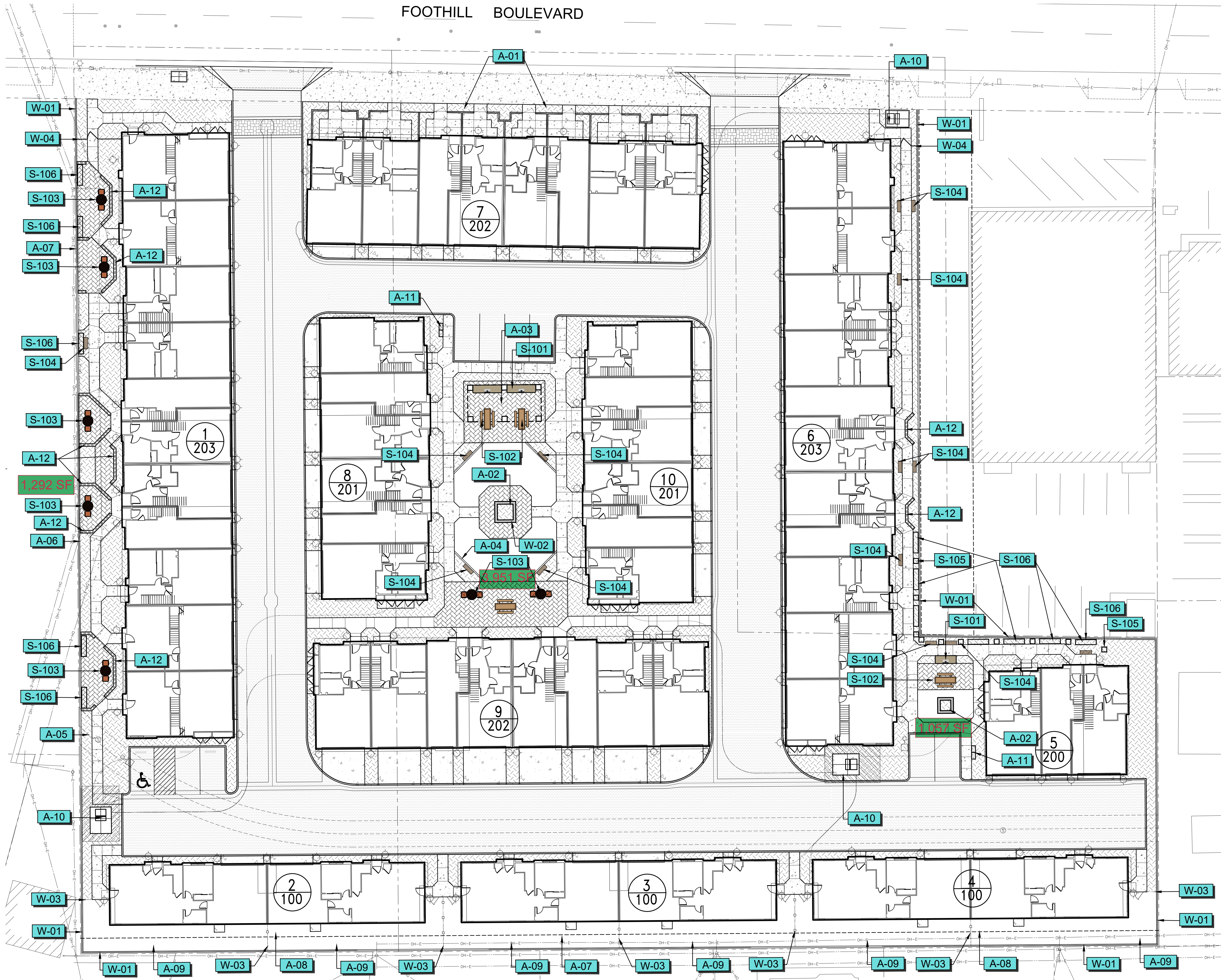
LEVEL ONE
END UNIT - FOOTHILL INTERFACE



LEVEL ONE
INTERIOR UNIT

PLAN FOUR AREA TABULATION	
CONDITIONED SPACE	
FIRST FLOOR	513 SF
SECOND FLOOR	1,001 SF
TOTAL CONDITIONED	1,514 SF
UNCONDITIONED SPACE	
GARAGE	487 SF
TOTAL UNCONDITIONED	487 SF
METER CLOSET	33 SF
GROSS CONSTRUCTION	2,034 SF
LOT COVERAGE	1,033 SF

Revisions:	
△	
△	
△	
△	
PROPERTY: 700 & 704 FOOTHILL BLVD., POMONA, CA. APN: 8367-003-024 & 8367-003-023	
APPLICANT: G3 URBAN 15235 S. WESTERN AVE., GARDENA, CA 90249 925.876.9985	
PREPARER: ARCHITEYK - EVERITT KANG 29222 DAKOTA DR., VALENCIA, CALIFORNIA 91354 949.939.1310	
JOB NO.	GU-24-02
SHEET NO.	A3.4.1
DATE	250617



REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
A-01	ENTRY WALKS JOINED WHEN DOORS ARE ADJACENT-TYPICAL
A-02	18" HIGH- RAISED PLANTER WITH 12" WIDE SEAT CAP-SIZES VARY
A-03	14'X28' SHADE ARBOR PER ARCHITECT
A-04	6" WIDE CONCRETE CURB BETWEEN LAWN AND SHRUB BEDS-TYPICAL
A-05	SEWER EASEMENT PER CIVIL PLANS
A-06	OVERHEAD UTILITY WIRES PER CIVIL PLANS
A-07	EDISON EASEMENT PER CIVIL PLANS
A-08	AIR CONDITIONER UNIT-TYPICAL
A-09	PRIVATE YARD AREA
A-10	TRANSFORMER PAD PER UTILITY PLANS
A-11	MAILBOX CLUSTER UNITS BY OTHERS-VERIFY FINAL LOCATION IN THE FIELD-FOUR 16 UNIT CLUSTERS TOTAL
A-12	24" HIGH SPLITFACE SEATING WALL WITH 12" WIDE CAPS-TYPICAL

PAVING

	ACCENT PAVING AT MAIN ENTRIES
	ACCENT PAVING AT PLAZA AREAS
	CONCRETE WALKWAYS WITH MEDIUM BROOM FINISH
	ROADWAYS
	CONCRETE PAVING PER ARCHITECT

SITE FURNISHINGS

S-101	BBQ UNIT WITH COUNTER TOP-TYPICAL 3 PLACES CONSTRUCT/PROVIDE SHOP DRAWINGS PER DETAIL B SHEET LCD-1
S-102	ADA 8' PICNIC TABLE-EQUAL TO DUMOR #464-68VS-Forest Green-Surface Mount PER MANUFACTURERS RECOMMENDATIONS-CONFIRM LOCATION WITH OWNER
S-103	TWO SEAT GAME TOP TABLE EQUAL TO DUMOR NO. 78-32-S4-FRAME COLOR FOREST GREEN-SURFACE MOUNT ON CONCRETE AREAS-FOOTING MOUNT PER MANUFACTURERS RECOMMENDATIONS IN DG AREAS-CONFIRM LOCATION WITH OWNER
S-104	6' BENCH-EQUAL TO DUMOR 119-60-FOREST GREEN. INSTALL PER MANUFACTURERS RECOMMENDATIONS. WITH MIN. 12" DIA X 18" DEEP FOOTINGS IN D.G. AREAS AND SURFACE MOUNT ON CONCRETE AREAS-CONFIRM LOCATION WITH OWNER PRIOR TO FINAL INSTALLATION.
S-105	TOURNESOL SITEWORKS PLANTER #URT-2400- LXWXH - 24" X 24" X 48" H-COLOR PER OWNER-TYPICAL
S-106	TOURNESOL SITEWORKS PLANTER WITH TRELLIS #WX2-962436-86-X- 96" X 24" X 36"H-COLOR PER OWNER-TYPICAL

WALL

W-01	DECORATIVE BLOCK WALL PER CIVIL PLANS
W-02	SPLIT FACE BLOCK PLANTER PER NOTE A-02
W-03	6' HIGH WHITE VINYL FENCING WITH MATCHING GATES-TYPICAL
W-04	48" HIGH TUBULAR STEEL FENCE WITH MATCHING GATES

COMMON AREA CALCULATION

DESCRIPTION	QTY
COMMON OPEN SPACE AREAS	6,300 SF

MAWA AND ETWU CALCULATION

California Water Efficient Landscape Worksheet						
Reference Evapotranspiration (ET _a)	47.5	Project Type	Residential			0.55
Hydrozone #/Planting Description ¹	Plant Factor (PF)	Irrigation Method ²	Irrigation Efficiency (IE) ³	ETAF (PF/IE)	Landscape Area (Sq. Ft.)	ETAF x Area (ETWU) ⁴
Regular Landscape Areas						
TREES & SHRUBS	0.4	Drip	0.81	0.49	21,321	10528
SOD	0.7	Overhead	0.75	0.93	1,557	1453
	0	Drip	0.81	0.00	0	0
		Drip	0.75	0.00	0	0
		Drip	0.81	0.00	0	0
		Totals			22878	11982
Special Landscape Areas						
					1	0
					Totals	0
						ETWU Total
						352873
						Maximum Allowed Water Allowance (MAWA) ⁵
						370566

ETAF Calculations	
Regular Landscape Areas	
Total ETAF x Area	11982
Total Area	22878
Average ETAF	0.52

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas	
Total ETAF x Area	11982
Total Area	22878
Average ETAF	0.52



CONCEPTUAL AMENITIES AND HARDSCAPE PLAN

FOOTHILL 59
RESIDENTIAL PROJECT
700 & 704 FOOTHILL BLVD.
POMONA, CALIFORNIA

REVISIONS

DRAWN BY

CAD

DESIGNED BY

S.T.B.

CHECKED BY

C.R.

DATE

7/30/25

JOB NO.

24-25

SCALE

1"=20'

SHEET

L-1

OF 2 SHEETS

LEGAL DESCRIPTION:

REAL PROPERTY IN THE CITY OF POMONA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LD PARCEL 1: (APN: 8367-003-023)

THAT PORTION OF LOT 2 OF SECTION 8, TOWNSHIP 1 SOUTH, RANGE 8 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF POMONA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE CENTER LINE OF FOOTHILL BOULEVARD (100.00 FEET WIDE) AS SHOWN ON RECORD OF SURVEY FILED IN BOOK 82, PAGE 27 OF RECORD OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, WITH THE NORTHERLY PROLONGATION OF THE WESTERLY LINE OF PARCEL 3 OF SAID RECORD OF SURVEY; THENCE ALONG SAID PROLONGATION SOUTH 0° 20' 15" EAST 30.00 FEET TO THE TRUE POINT OF BEGINNING; THENCE PARALLEL WITH SAID CENTER LINE OF FOOTHILL BOULEVARD NORTH 89° 09' 25" WEST TO THE NORTHERLY PROLONGATION OF A CERTAIN COURSE IN THE EASTERLY LINE OF TRACT 22678, AS PER MAP RECORDED IN BOOK 602, PAGES 62 TO 65 INCLUSIVE OF MAPS, SAID CERTAIN COURSE HAVING A BEARING LENGTH OF NORTH 0° 20' 15" WEST 75.90 FEET THENCE SOUTH 0° 20' 15" EAST ALONG SAID LAST MENTIONED PROLONGATION AND ALONG SAID CERTAIN COURSE TO THE MOST SOUTHERLY TERMINUS OF SAID CERTAIN COURSE; THENCE NORTH 89° 41' 30" EAST ALONG THE NORTHERLY LINE OF SAID TRACT 22678 TO THE SOUTHWESTERLY CORNER OF SAID PARCEL 3; THENCE NORTH 0° 20' 15" WEST ALONG SAID WESTERLY LINE OF SAID PARCEL 3 AND ITS NORTHERLY PROLONGATION TO THE TRUE POINT OF BEGINNING.

LD PARCEL 2: (APN: 8367-003-024)

PARCELS 2 AND 3, IN THE CITY OF POMONA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON RECORD OF SURVEY MAP FILED IN BOOK 82, PAGE 27 OF RECORD OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID

LD PARCEL 2A:

AN EASEMENT FOR INGRESS, EGRESS, PUBLIC UTILITIES AND SEWER PURPOSES OVER THE WEST 10.00 FEET OF PARCEL 1, IN THE CITY OF POMONA, AS SHOWN ON RECORD OF SURVEY MAP FILED IN BOOK 82, PAGE 27 OF RECORD OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

VESTED OWNER:

FOOTHILL AND TOWNE, L.L.C., A CALIFORNIA LIMITED LIABILITY COMPANY

SITE ADDRESS:

700 & 704 EAST FOOTHILL BOULEVARD
POMONA, CA 91767

BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING N44°1'05.9"E BETWEEN CALIFORNIA SPATIAL REFERENCE CENTER, CGSR, CONTINUOUSLY OPERATING REFERENCE STATIONS, CORs, "CLAR" AND "SPMS"

BENCHMARK STATEMENT:

LOS ANGELES COUNTY BENCHMARK NO. JG5143

ELEV: 1182.170 (NAVD88)

DESCRIBED AS: L & PK NAIL IN S CB OF FOOTHILL BLVD 36FT S/O CL & 18FT W/O C/L PROD LYNOAK DR

DATUM STATEMENT

ALL COORDINATES SHOWN HEREON ARE GRID VALUES BASED ON THE CALIFORNIA COORDINATE SYSTEM OF 1983, CCS83, ZONE 5, (2017.50 EPOCH), IN ACCORDANCE WITH THE CALIFORNIA PUBLIC RESOURCE CODE SECTIONS 8801-8819. ALL DISTANCES SHOWN HEREON ARE GROUND VALUES IN THE U.S. SURVEY FEET UNLESS OTHERWISE NOTED. A COMBINATION SCALE FACTOR OF 0.9999334340 WAS USED FOR THIS PROJECT AT NORTHING 1861352.426, EASTING 6640653.994 TO OBTAIN GRID DISTANCES, MULTIPLY GROUND DISTANCE BY SCALE FACTOR.

NORTHING EASTING:

CLAR 1862514.265 6649814.826
SPMS 1819739.972 6607508.342

FLOOD NOTE:

THE SUBJECT PROPERTY FALLS WITHIN "ZONE X, AREA OF MINIMAL FLOOD HAZARD" PER FEMA MAP NO. 06037C1750F, A PRINTED PANEL, EFFECTIVE SEPTEMBER 26, 2008

LAND USE SUMMARY:

GROSS AREA: 2.825
NET AREA: 2.672
TOTAL PROPOSED LOTS: 1
TOTAL PROPOSED DWELLING UNITS: 60

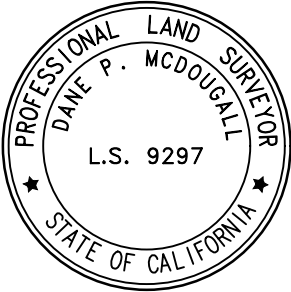
UTILITY PURVEYORS:

TELEPHONE: WATER:
VERIZON CITY OF POMONA PUBLIC WORKS DEPT.
PHONE: (909) 469-6347 PHONE: (909) 620-2281
CABLE TV SEWER:
COMCAST CITY OF POMONA PUBLIC WORKS DEPT.
PHONE: (323) 993-8130 PHONE: (909) 620-2281
GAS ELECTRICITY:
THE GAS COMPANY SOUTHERN CALIFORNIA EDISON
PHONE: (626) 815-4009 PHONE: (417) 973-5616

SURVEYOR'S STATEMENT:

THE SURVEY ON WHICH THIS VESTING TENTATIVE MAP IS BASED WAS DONE BY ME, OR UNDER MY DIRECTION. FIELDWORK WAS COMPLETED ON FEBRUARY 23, 2023.

DANE P. MCDUGALL, L.S. 9297



ENGINEER'S STATEMENT:

THIS VESTING TENTATIVE MAP WAS PREPARED BY ME, OR UNDER MY DIRECTION ON JULY 19, 2024.

RYAN J. BITTENER, R.C.E. 68167

SHEET INDEX:

SHEET NO.
SHEET 1
SHEET 2
SHEET 3
SHEET 4
SHEET 5
TENTATIVE TRACT MAP
EXISTING SITE PLAN
PRELIMINARY GRADING PLAN
PRELIMINARY UTILITY PLAN
PRELIMINARY FIRE ACCESS & HYDRANT LOCATION PLAN

PREPARED BY:



C&V
CONSULTING, INC.
CIVIL ENGINEERING
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PREPARED FOR:



G3 URBAN
15235 S WESTERN AVE.
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CITY OF POMONA
[DEPARTMENT OF PLANNING AND DEVELOPMENT]

TENTATIVE TRACT MAP NO. 84565
TENTATIVE TRACT MAP
700 & 704 EAST FOOTHILL BOULEVARD
POMONA, CA 91767

PROJECT NO.

GTHR-011

SHEET

1

OF

5

TENTATIVE TRACT MAP NO. 84565

FOR CONDOMINIUM PURPOSES

IN THE CITY OF POMONA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

County of Los Angeles
Fire Department
Fire Prevention Division
Land Development Unit

APPROVED

12/19/2024



VICINITY MAP
N.T.S.

CIVIL ENGINEER:

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PHONE: (949) 445-1833

SUBDIVIDER:

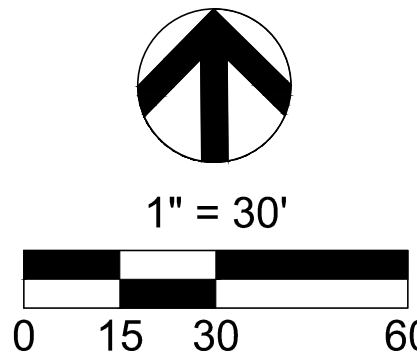
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CONTACT: JORDAN GARDNER

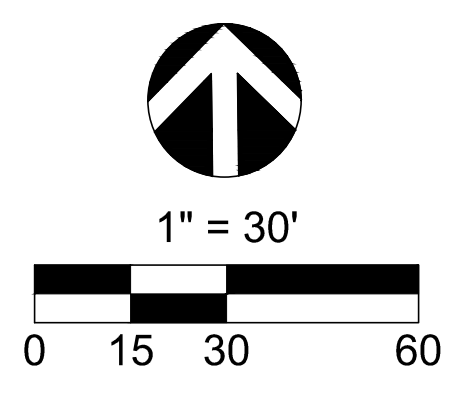
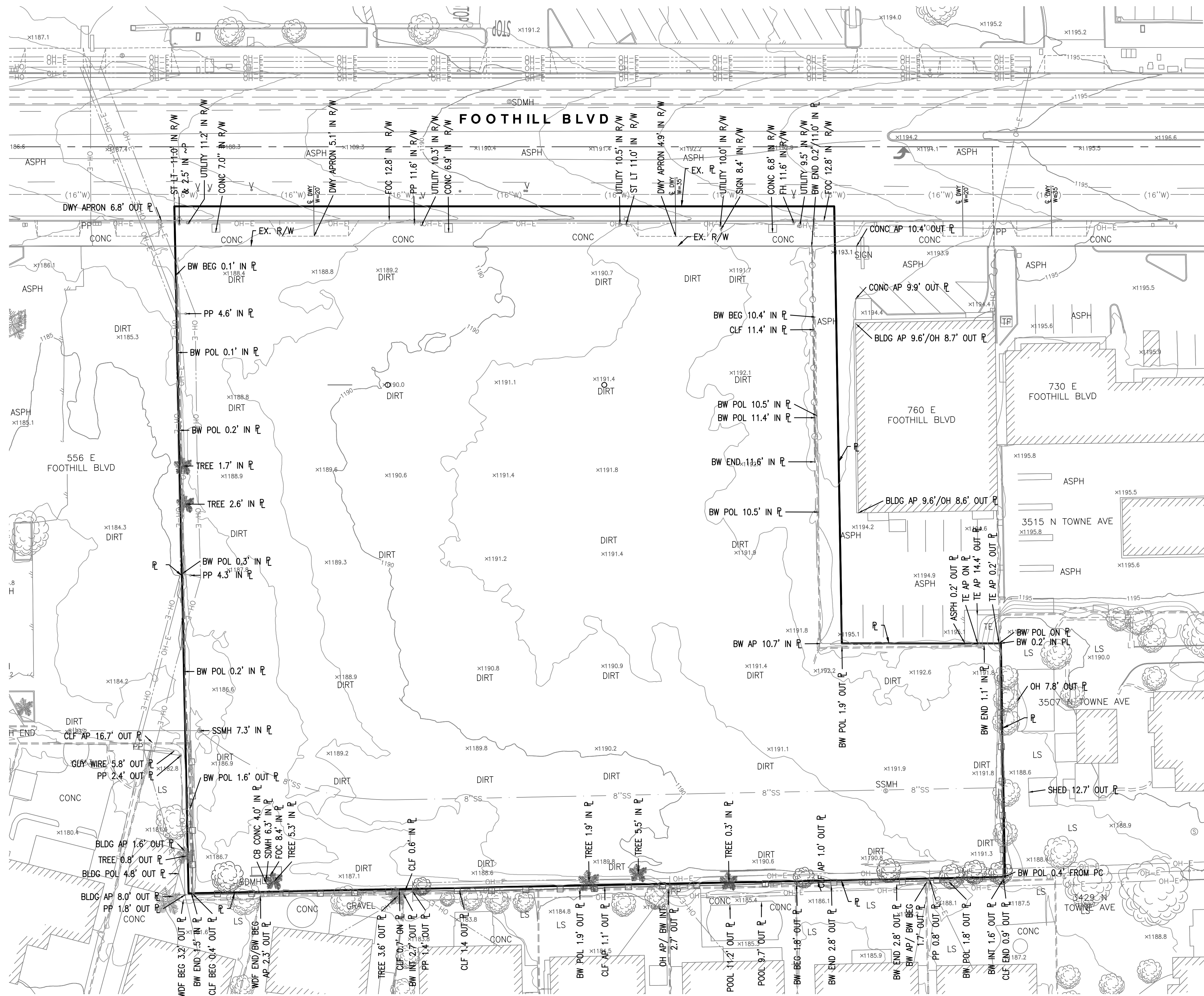
EXISTING EASEMENT:

- # DENOTES PLOTTED ITEM
- 5 AN EASEMENT FOR STATE HIGHWAY AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED AS BOOK 7257, PAGE 246 OF OFFICIAL RECORDS.
- 6 AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED AS BOOK 53050, PAGE 397 OF OFFICIAL RECORDS.
- 7 AN EASEMENT FOR INGRESS AND EGRESS AND PUBLIC UTILITIES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED JANUARY 29, 1965 AS INSTRUMENT NO. 327 OF OFFICIAL RECORDS.
- 8 AN EASEMENT FOR SEWER AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED JUNE 04, 1965 AS INSTRUMENT NO. 3370 OF OFFICIAL RECORDS.
- 9 "COVENANTS, CONDITIONS AND RESTRICTIONS IN THE DOCUMENT RECORDED JUNE 04, 1965 AS INSTRUMENT NO. 3370 OF OFFICIAL RECORDS, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION, IF ANY, INDICATING A PREFERENCE, LIMITATION, OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, GENDER, GENDER IDENTITY, GENDER EXPRESSION, SEXUAL ORIENTATION, FAMILY STATUS, MARITAL STATUS, DISABILITY, HANDICAP, VETERAN OR MILITARY STATUS, GENETIC INFORMATION, NATIONAL ORIGIN, SOURCE OF INCOME AS DEFINED IN SUBDIVISION (P) OF SECTION 2955, OR ANCESTRY, TO THE EXTENT THAT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE APPLICABLE STATE OR FEDERAL LAWS. LAWFUL RESTRICTIONS UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING OR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSTRUED AS RESTRICTIONS BASED ON FAMILIAL STATUS." BLANKET IN NATURE, AGREEMENT FOR ITEM 8 SEWER LATERAL
- 10 AN EASEMENT FOR SANITARY SEWERS AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED AUGUST 12, 1965 AS INSTRUMENT NO. 3049 OF OFFICIAL RECORDS.
- 11 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "RESTRICTIVE COVENANT" RECORDED MAY 24, 1974 AS INSTRUMENT NO. 3566 OF OFFICIAL RECORDS. CREATES A 60' "OPEN AREA" SETBACK WHICH IS INDETERMINATE FROM RECORD
- 12 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "NOTICE OF LOT LINE ADJUSTMENT" RECORDED MARCH 02, 1984 AS INSTRUMENT NO. 84-262506 OF OFFICIAL RECORDS.

PROPOSED EASEMENT:

- A INDICATES AN EASEMENT FOR INGRESS AND EGRESS FOR EMERGENCY AND PUBLIC SECURITY VEHICLE PURPOSES DEDICATED TO THE CITY OF POMONA
- B INDICATES AN EASEMENT FOR PUBLIC UTILITY PURPOSES DEDICATED TO THE CITY OF POMONA





- LEGEND:**
- AC ASPHALT CONCRETE
 - AP ANGLE POINT
 - ASPH ASPHALT PAVEMENT
 - BC BUILDING CORNER
 - BEG BEGIN
 - BO BLOW-OFF VALVE
 - BLDG BUILDING
 - BW BLOCK WALL
 - C&G CURB AND GUTTER
 - CB CATCH BASIN
 - CF CURB FACE
 - CLF CHAIN LINK FENCE
 - CMF CORRUGATED METAL FENCE
 - CONC CONCRETE PAVEMENT
 - DI DRAIN INLET
 - DW DOMESTIC WATER
 - DWY DRIVEWAY
 - ESMT EASEMENT
 - FH FIRE HYDRANT
 - FW FIRE WATER
 - GM GAS METER
 - LAT LATERAL
 - LS LANDSCAPING
 - MH MANHOLE
 - PC PROPERTY CORNER
 - PKWY PARKWAY
 - P PROPERTY LINE
 - PP POWER POLE
 - PUB PUBLIC
 - PVT PRIVATE
 - RET RETAINING
 - ROW RIGHT-OF-WAY
 - SD STORM DRAIN
 - SDMH STORM DRAIN MANHOLE
 - SFH SINGLE-FAMILY HOME
 - SS SANITARY SEWER
 - SSMH SANITARY SEWER MANHOLE
 - ST LT STREET LIGHT
 - TE TRASH ENCLOSURE
 - TEMP TEMPORARY
 - TF TRANSFORMER
 - WF WOOD FENCE
 - WL WALL
 - WM WATER METER
 - V VALVE
- IN R INSIDE OF PROPERTY LINE
OUT R OUTSIDE OF PROPERTY LINE
IN R/W INSIDE OF ROW (OFF SITE)
OUT R/W OUTSIDE OF ROW (ON SITE)
- N/F NORTH FACE
S/F SOUTH FACE
E/F EAST FACE
W/F WEST FACE

- SYMBOLS:**
- BO BLOW-OFF VALVE
 - DI DRAIN INLET
 - FH FIRE HYDRANT
 - LS LIGHT STANDARD
 - SDMH STORM DRAIN MANHOLE
 - SSMH SANITARY SEWER MANHOLE
 - SP SIGN POST
 - GM GAS METER
 - WM WATER METER
 - V UTILITY VALVE
 - UPP UTILITY/POWER POLE
 - BSR BLOCK/RETAINING SCREEN WALL
 - BLW BLOCK/RETAINING LOW WALL
 - PDW PLANTER/DECORATIVE WALL
 - OW OVERHEAD WIRE
 - EAP EDGE OF ASPHALT PAVEMENT
 - WIF WOOD/WROUGHT IRON FENCE
 - CLF CHAIN LINK FENCE
 - DF DIRECTION OF FLOW
 - 93 MINOR CONTOUR (1' INTERVAL)
 - 100 MAJOR CONTOUR (5' INTERVAL)
 - 91.5 SPOT ELEVATION

BUILDING OVERHANG NOTE:
ALL BUILDING LINES SHOWN HEREON ARE REFLECTIVE OF THE BUILDING ROOF LINES AND OVERHANGS AS OBSERVED FROM AERIAL PHOTOGRAMMETRY AND MAY NOT REPRESENT A BUILDING LOCATION AT GROUND LEVEL.

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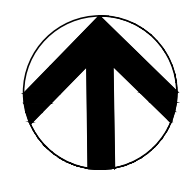
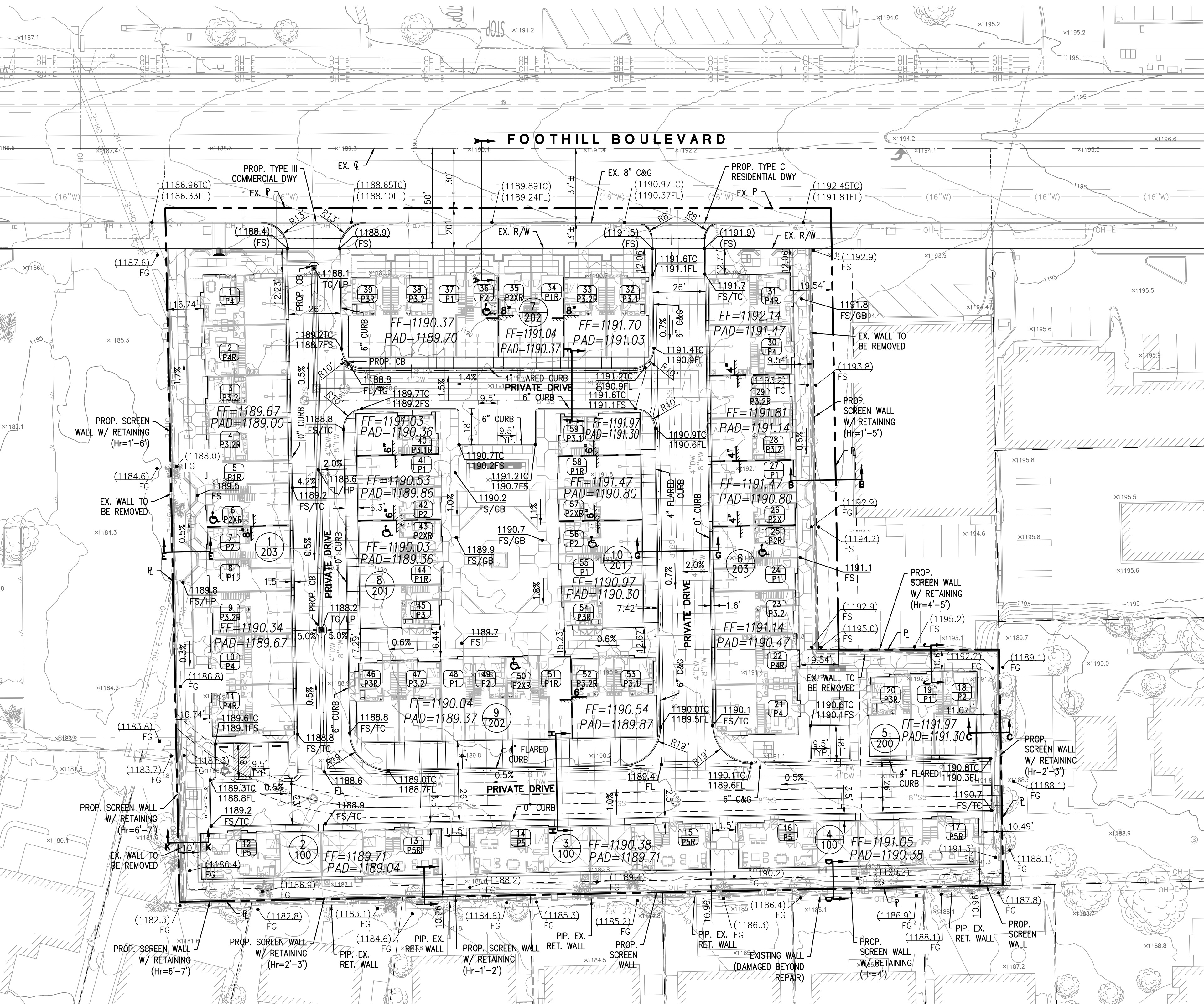
CITY OF POMONA
[DEPARTMENT OF PLANNING AND DEVELOPMENT]

TENTATIVE TRACT MAP NO. 84566
EXISTING SITE PLAN
700 & 704 EAST FOOTHILL BOULEVARD
POMONA, CA 91767

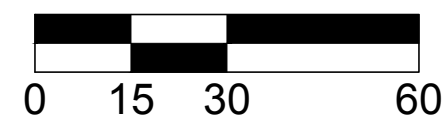
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SHEET
OF
2
5

PLAN SET: 9/3/2024
DATE: 9/3/2024
BY: DAVID AGUIAR



1" = 30'



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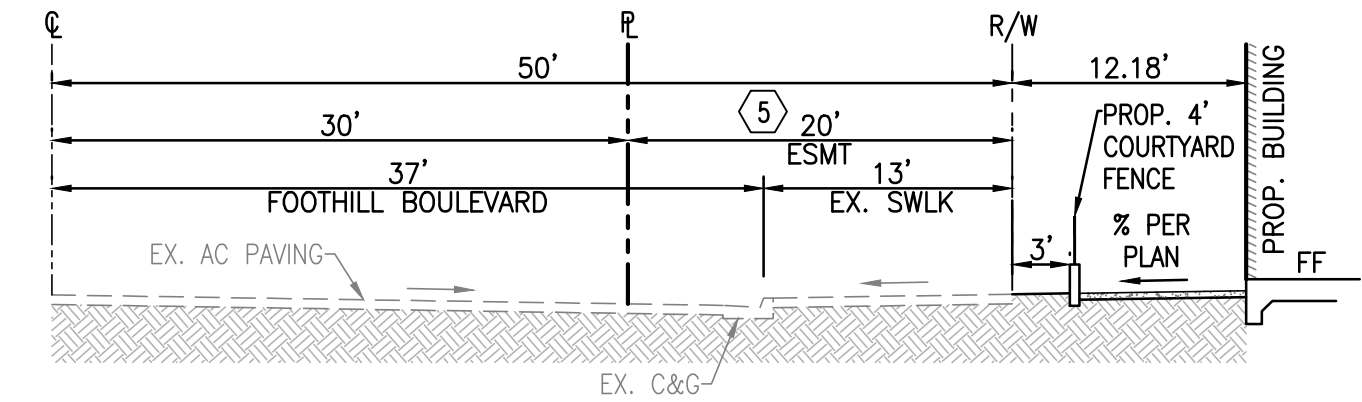
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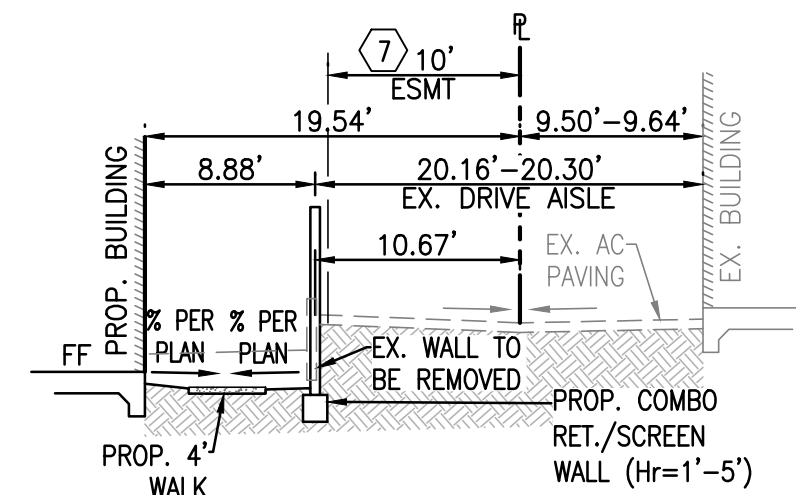
TENTATIVE TRACT MAP NO. 84565
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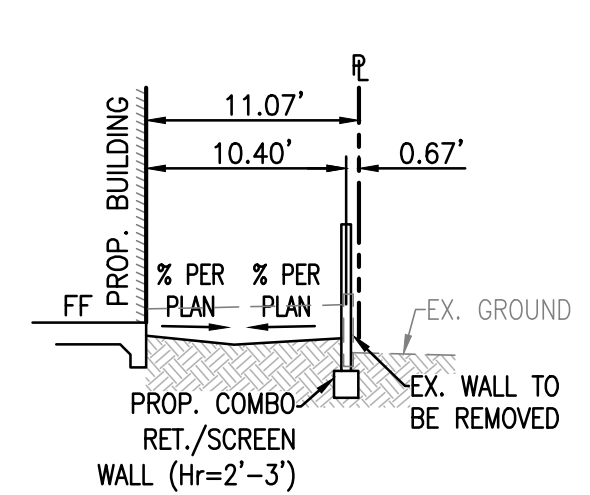
SHEET
3
OF
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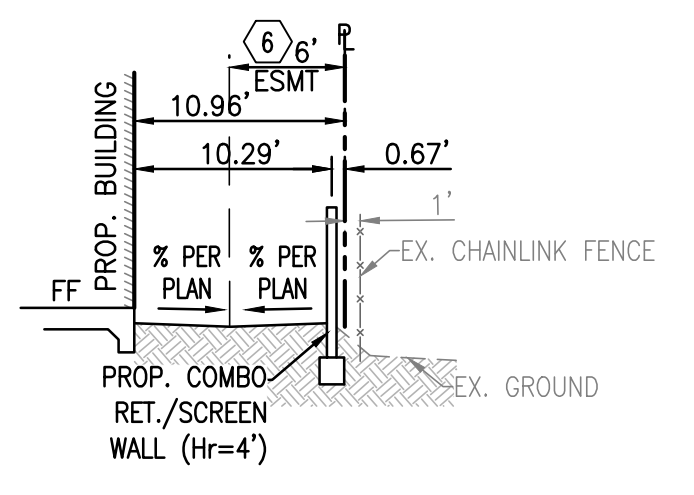
SECTION A-A
WEST AMERICAN AVENUE
SOUTHERN PROPERTY LINE
NOT TO SCALE



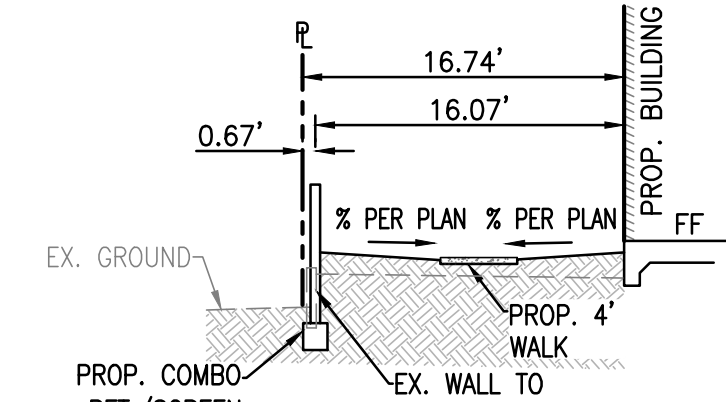
SECTION B-B
EASTERN PROPERTY LINE
NOT TO SCALE



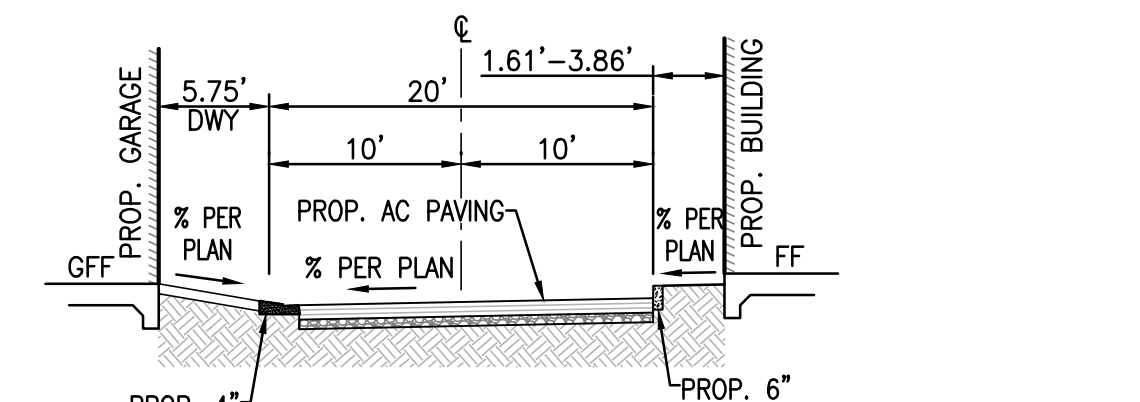
SECTION C-C
EASTERN PROPERTY LINE
NOT TO SCALE



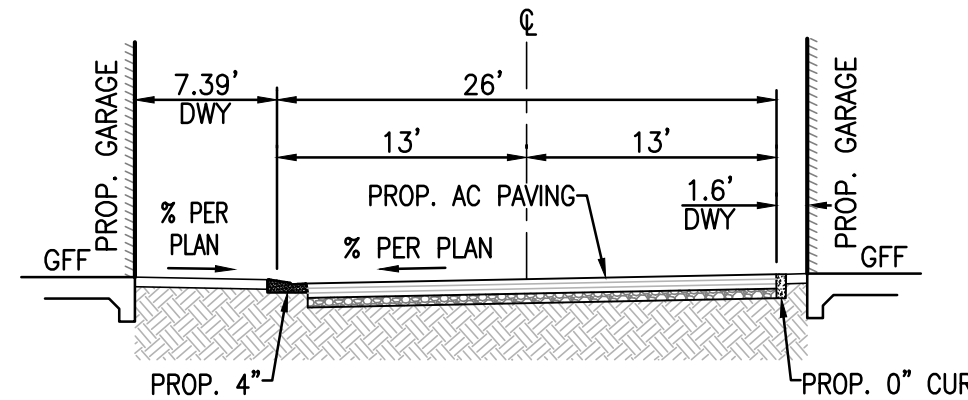
SECTION D-D
SOUTHERN PROPERTY LINE
NOT TO SCALE



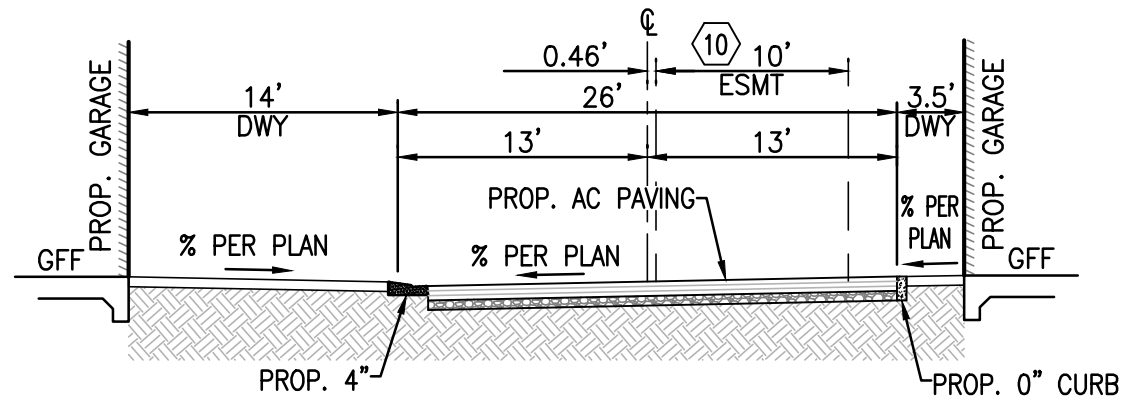
SECTION E-E
WESTERN PROPERTY LINE
NOT TO SCALE



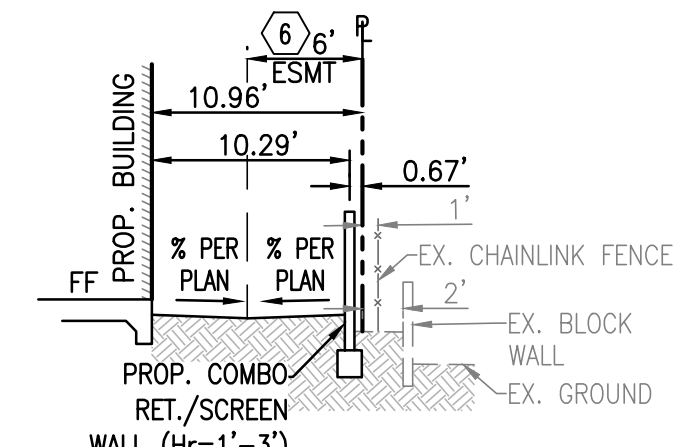
SECTION F-F
20' PRIVATE DRIVE
NOT TO SCALE



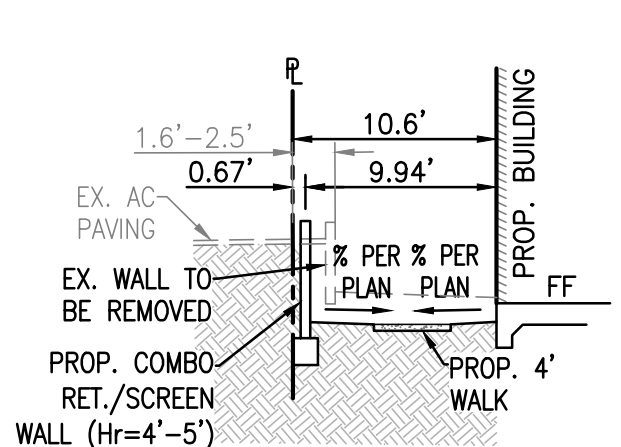
SECTION G-G
26' PRIVATE DRIVE
NOT TO SCALE



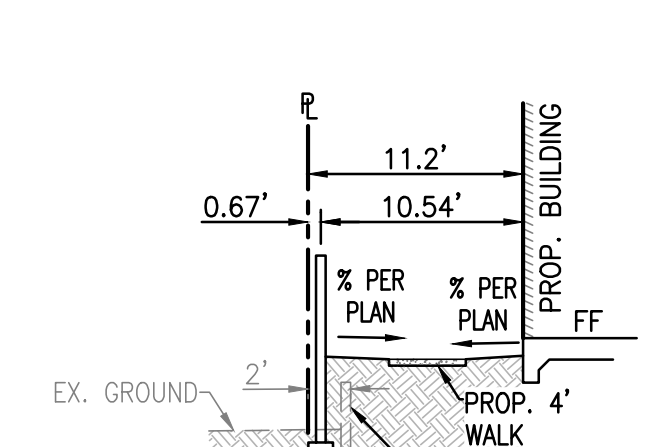
SECTION H-H
26' PRIVATE DRIVE
NOT TO SCALE



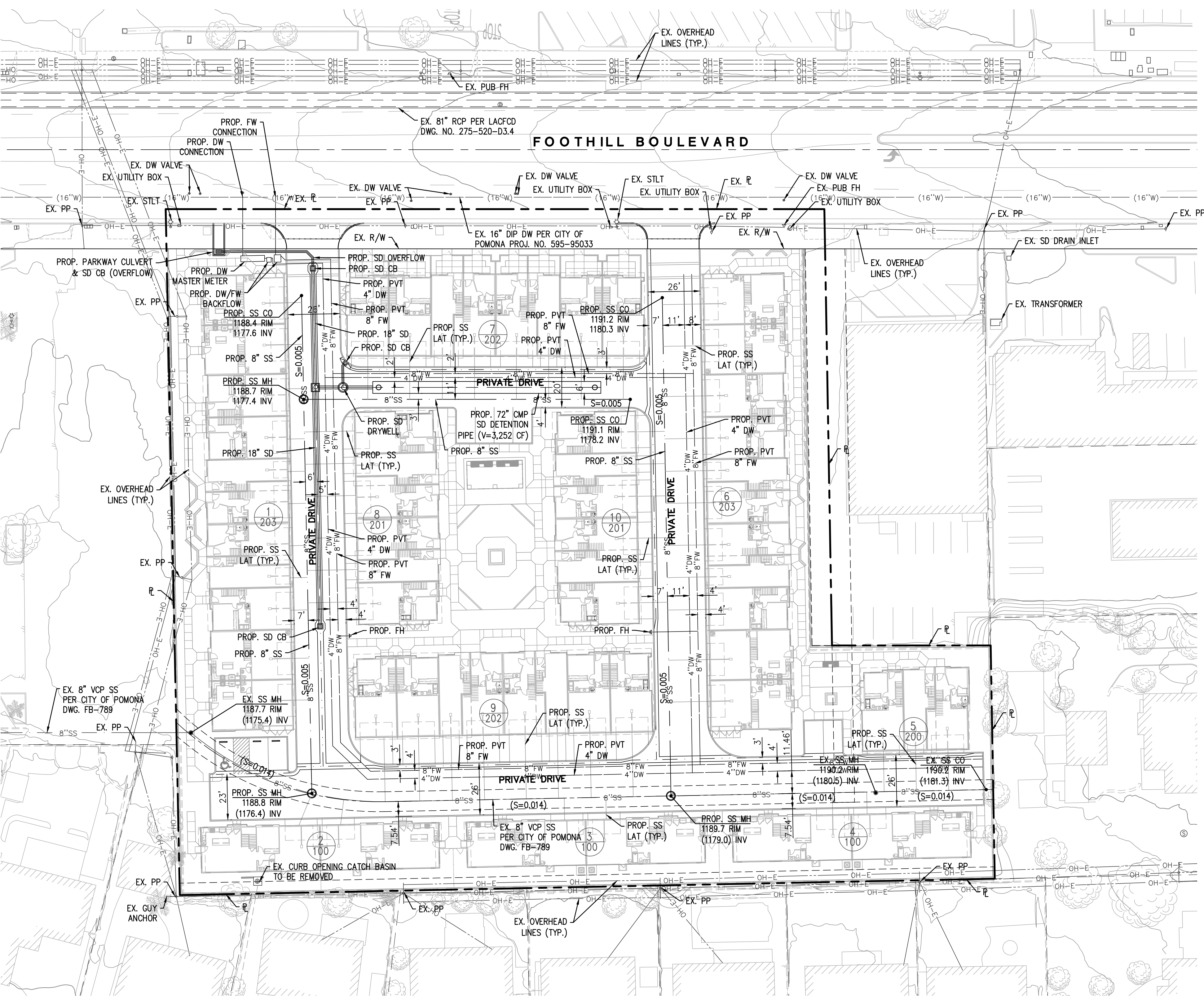
SECTION I-I
SOUTHERN PROPERTY LINE
NOT TO SCALE



SECTION J-J
EASTERN PROPERTY LINE
NOT TO SCALE

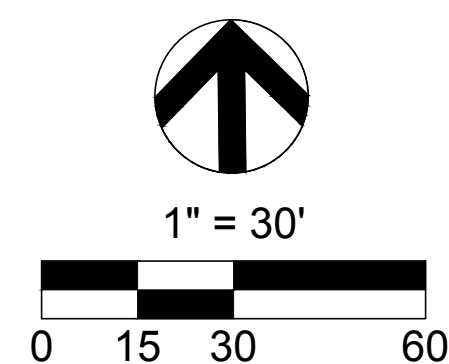


SECTION K-K
WESTERN PROPERTY LINE
NOT TO SCALE



LEGEND:

- | | | | |
|------------|------------------------|---|---------------------|
| — | CENTERLINE | ⊗ | PROP. WATER METER |
| — (16"W) — | EX. WATER LINE | ⊗ | PROP. WATER VALVE |
| — (16"W) — | PROP. WATER LINE | ⊗ | PROP. SEWER MANHOLE |
| — (16"W) — | PROP. FIRE WATER LINE | ⊗ | PROP. CLEANOUT |
| — (16"W) — | EX. SEWER LINE | ⊗ | PROP. FIRE HYDRANT |
| — (16"W) — | PROP. SEWER LINE | ⊗ | EX. POWER POLE |
| — (16"W) — | PROP. STORM DRAIN LINE | ⊗ | EX. STREET LIGHT |
| — (16"W) — | EX. FENCE | ⊗ | EX. SEWER MANHOLE |
| — (16"W) — | EX. WALL | ⊗ | EX. FIRE HYDRANT |
| — (16"W) — | PROP. WALL | ⊗ | |
| — (16"W) — | EX. CONTOUR LINE | ⊗ | |



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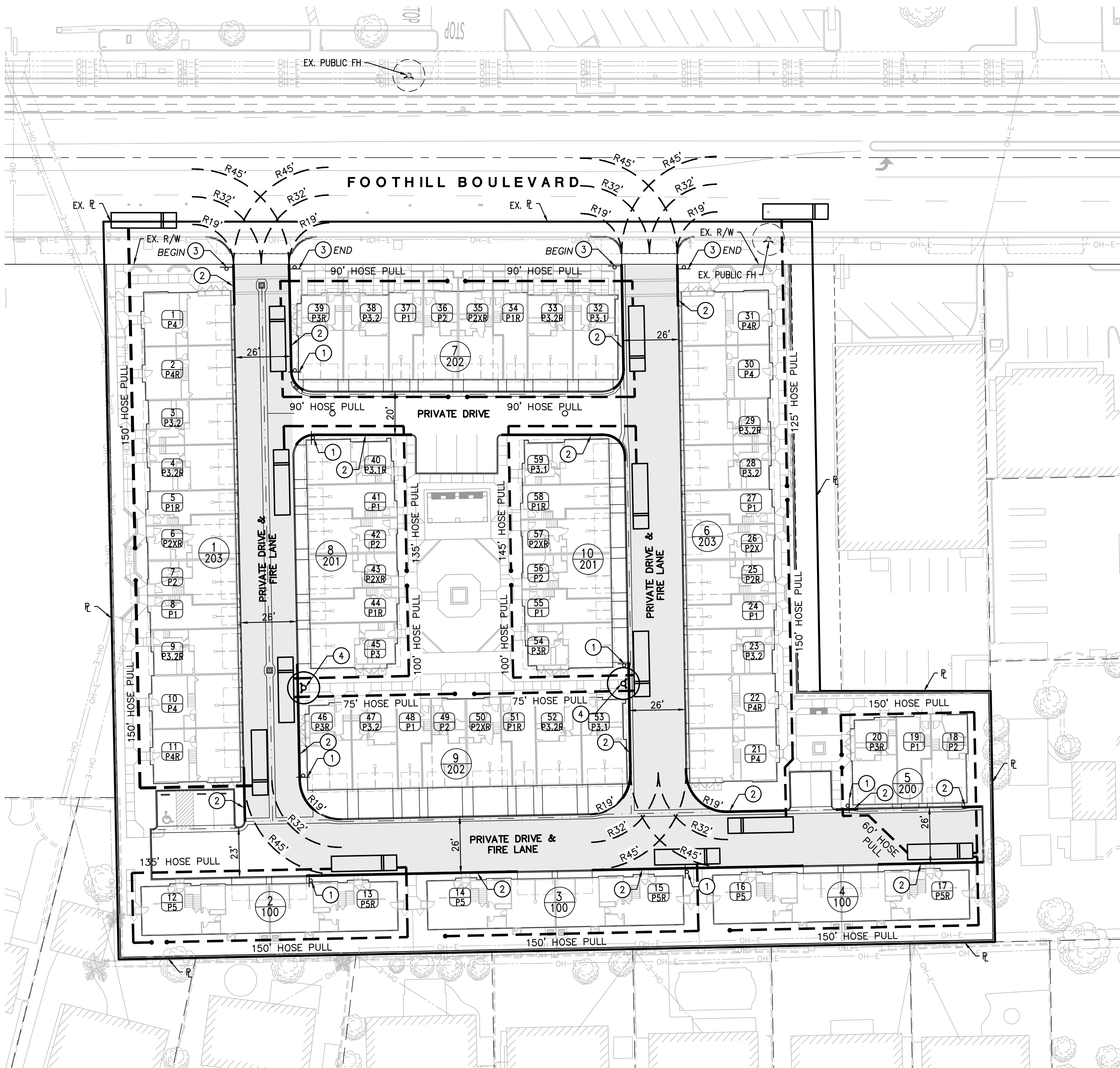
CITY OF POMONA
[DEPARTMENT OF PLANNING AND DEVELOPMENT]

TENTATIVE TRACT MAP NO. 84565
PRELIMINARY UTILITY PLAN
700 & 704 EAST FOOTHILL BOULEVARD
POMONA, CA 91767

PROJECT NO.
GTHR-011

SHEET
4
OF
5

PLAN, SET: 1/3/2024 DATE: 1/3/2024



SITE INFORMATION
1. LARGEST BLDG SQ. FOOTAGE (11-PLEX BLDG) = 24,020 SQ. FT.
2. CONSTRUCTION TYPE: V-B
3. FIRE SPRINKLER SYSTEM TYPE: NFPA 13

PROJECT GENERAL NOTES:

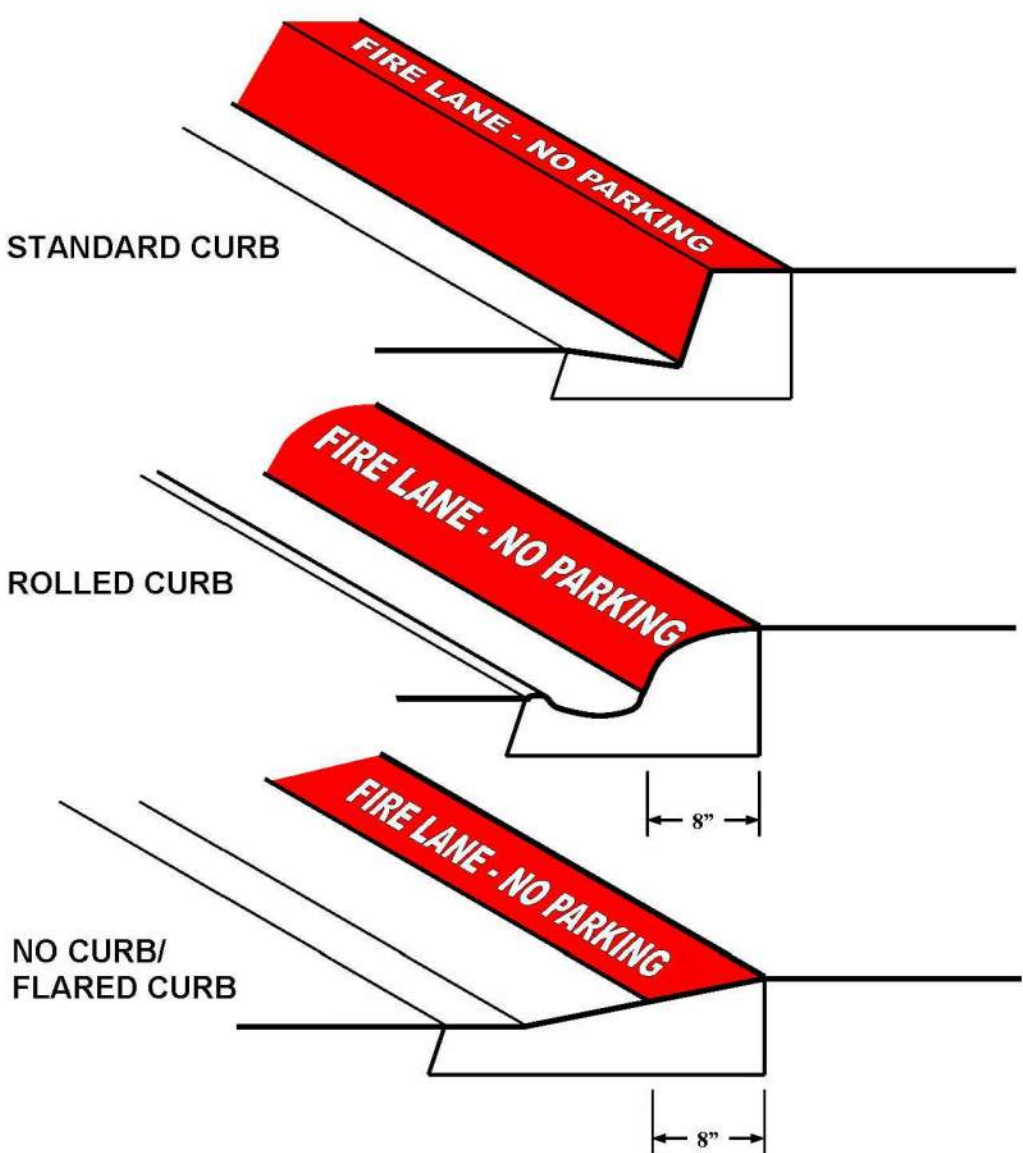
- ALL FIRE ACCESS LANES MEET LACoFD MINIMUM REQUIREMENTS 19' & 45' RADII.
- THIS PROJECT DOES NOT HAVE ANY FUEL MODIFICATION OR WILD LAND EXPOSURES AND IS NOT IN A VERY HIGH FIRE HAZARD ZONE.
- THIS PROJECT IS DESIGNED IN CONFORMANCE WITH THE CBC, 2022 EDITION.
- ALL FIRE ACCESS ROADS SHALL BE ALL WEATHER, MEET THE CRITERIA OF AN ALL WEATHER DRIVING SURFACE AND COMPLY WITH LACoFD GUIDELINE FOR FIRE APPARATUS ROADS.
- THE BUILDING HEIGHTS ARE APPROXIMATELY _____ FEET MAX.
- ALL BUILDINGS ON THE SITE WILL BE SPRINKLERED PER NFPA 13.
- APPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMBERS OR ALPHABET LETTERS, AND BE A MINIMUM OF 4 INCHES HIGH AND A MINIMUM STROKE WIDTH OF 0.5 INCH. FIRE CODE 505.1 A KEY BOX SHALL BE PROVIDED AT THE MAIN ENTRANCE, IN ACCORDANCE WITH FIRE CODE 902.4, AND AS SET FORTH IN FIRE DEPARTMENT REGULATION 5.
- THE REQUIRED FIRE FLOW FOR THE FIRE HYDRANTS AT THIS LOCATION IS _____ GALLONS PER MINUTE, AT _____ PSI RESIDUAL PRESSURE, FOR A DURATION OF _____ HOURS OVER AND ABOVE MAXIMUM DAILY DOMESTIC DEMAND. FIRE CODE 507.3 AND APPENDIX B105.1 APPENDIX B.
- ALL FIRE HYDRANTS SHALL MEASURE 6"x4"x2-1/12", BRASS OR BRONZE, CONFORMING TO AMERICAN WATER WORKS ASSOCIATION STANDARD C503, OR APPROVED EQUAL; AND SHALL BE INSTALLED IN COMPLIANCE WITH FIRE DEPARTMENT REGULATION 8. FIRE CODE 903.2.1.
- ALL ON-SITE FIRE HYDRANTS SHALL BE INSTALLED, TESTED AND APPROVED PRIOR TO BUILDING OCCUPANCY. FIRE CODE 1001.4
- THE INSPECTION, HYDROSTATIC TEST AND FLUSHING OF THE UNDERGROUND FIRE PROTECTION PIPING SHALL BE WITNESSED BY AN AUTHORIZED FIRE DEPARTMENT REPRESENTATIVE, AND NO UNDERGROUND PIPING OR THRUST BLOCKS SHALL BE COVERED WITH EARTH OR HIDDEN FROM VIEW UNTIL THE FIRE DEPARTMENT REPRESENTATIVE HAS BEEN NOTIFIED AND GIVEN NOT LESS THAN 48 HOURS IN WHICH TO INSPECT SUCH INSTALLATIONS. FIRE CODE 1001.4

FIRE ACCESS PLAN NOTES:

- FIRE DEPARTMENT VEHICULAR ACCESS ROADS MUST BE INSTALLED AND MAINTAINED IN A SERVICEABLE MANNER THROUGHOUT CONSTRUCTION TO ALL FIRE HYDRANTS. ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED, TESTED, AND ACCEPTED PRIOR TO CONSTRUCTION.
- PROVIDE APPROVED SIGNS OR OTHER APPROVED NOTICES OR MARKINGS THAT INCLUDE THE WORDS "NO PARKING - FIRE LANE". SIGNS SHALL HAVE A MINIMUM DIMENSION OF 12 INCHES WIDE BY 18 INCHES HIGH AND HAVE RED LETTERS ON A WHITE REFLECTIVE BACKGROUND. SIGNS SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS, TO CLEARLY INDICATE THE ENTRANCE TO SUCH ROAD, OR PROHIBIT THE OBSTRUCTION THEREOF AND AT INTERVALS, AS REQUIRED BY THE FIRE INSPECTOR.
- WHEN SECURITY GATES ARE PROVIDED, MAINTAIN A MINIMUM ACCESS WIDTH OF 26 FEET. THE SECURITY GATE SHALL BE PROVIDED WITH AN APPROVED MEANS OF EMERGENCY OPERATION, AND SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES AND REPLACED OR REPAIRED WHEN DEFECTIVE. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F220. GATES SHALL BE SWINGING OR SLIDING TYPE. CONSTRUCTION OF GATES SHALL BE OF MATERIALS THAT ALLOW MANUAL OPERATION BY ONE PERSON. FIRE CODE 503.6. (NO ENTRY GATE PROPOSED ON THIS PROJECT.)
- ALL FIRE HYDRANTS SHALL MEASURE 6"x4"x2-1/12", BRASS OR BRONZE, CONFORMING TO AMERICAN WATER WORKS ASSOCIATION STANDARD C503, OR APPROVED EQUAL; AND SHALL BE INSTALLED IN COMPLIANCE WITH THE COUNTY OF LOS ANGELES FIRE DEPARTMENT REGULATION 8. FIRE CODE 903.2.1.
- PROVIDE AN AUTOMATIC FIRE SPRINKLER SYSTEM AS SET FORTH BY BUILDING CODE 903 AND FIRE CODE 903. PLANS SHALL BE SUBMITTED TO THE SPRINKLER PLAN CHECK UNIT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. TYPE OF FIRE SPRINKLER SYSTEM: 903.3.1.3.
- DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CUBIC YARDS OR MORE SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVES, UNLESS AREAS CONTAINING DUMPSTERS OR CONTAINERS ARE PROTECTED BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM. FIRE CODE 304.3.3.
- FIRE APPARATUS ACCESS ROADS SHALL BE IDENTIFIED WITH APPROVED SIGNS. TEMPORARY SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT AND BE MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS. FIRE CODE 505.2.

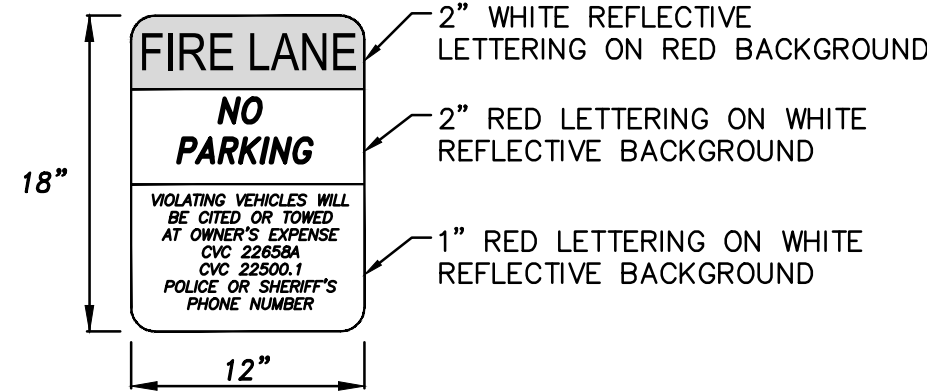
ATTACHMENT 9

Fire Lane Identification - Red Curbs



- Fire lane entrance sign(s) shall also be provided per Attachment 10 or 11.
- Curbs shall be painted red.
- "FIRE LANE - NO PARKING" shall be painted on top of curb in 3" white lettering at a spacing of 30' on center or portion thereof.

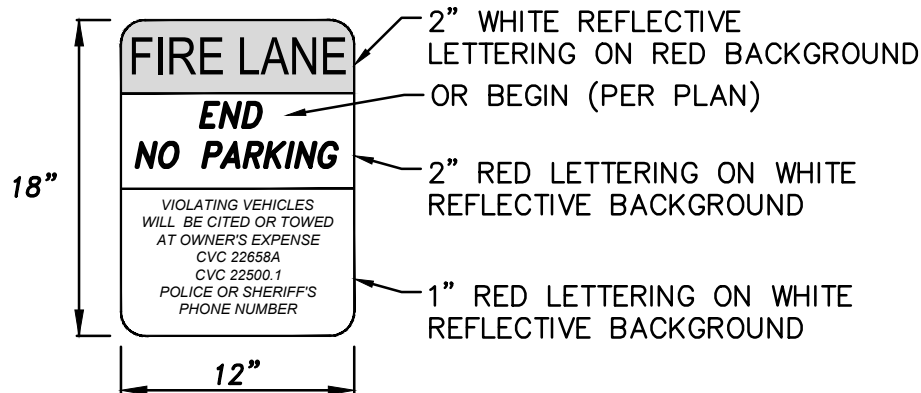
2 RED CURB PAVEMENT MARKING
NOT TO SCALE



ALL SIGN AND LETTERING DIMENSIONS ARE MINIMUMS.

SIGNS SHALL BE SECURELY MOUNTED FACING THE DIRECTION OF TRAVEL AND CLEARLY VISIBLE TO ONCOMING TRAFFIC ENTERING THE DESIGNATED AREA. SIGNS SHALL BE MADE OF DURABLE MATERIAL.

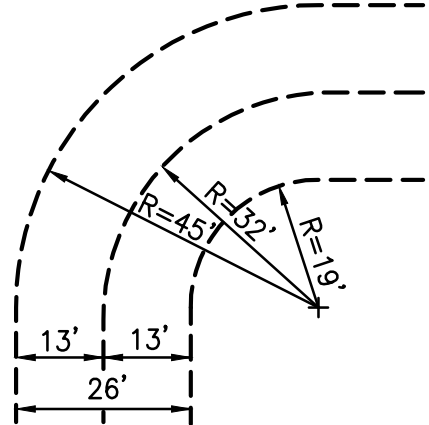
1 NO PARKING SIGN
NOT TO SCALE



ALL SIGN AND LETTERING DIMENSIONS ARE MINIMUMS.

SIGNS SHALL BE SECURELY MOUNTED FACING THE DIRECTION OF TRAVEL AND CLEARLY VISIBLE TO ONCOMING TRAFFIC ENTERING THE DESIGNATED AREA. SIGNS SHALL BE MADE OF DURABLE MATERIAL.

3 BEGIN & END NO PARKING SIGN OR BEGIN (PER PLAN)
NOT TO SCALE



FIRE LANE TURNING RADIUS TYPICAL DETAIL
NOT TO SCALE

CONSTRUCTION NOTES:

- INSTALL "FIRE LANE" SIGN PER DETAIL 1 HEREON.
- FIRE LANE IDENTIFICATION-RED CURBS PER DETAIL 2 HEREON.
- INSTALL "FIRE LANE" SIGN BEGIN OR END PER DETAIL 3 HEREON.
- INSTALL PROPOSED FIRE HYDRANT.

PROPOSED EASEMENTS:

- [A] INDICATES AN EASEMENT FOR INGRESS AND EGRESS FOR EMERGENCY AND PUBLIC SERVICE VEHICLES

LEGEND

- EXISTING STREET LIGHT
- PROPOSED FIRE TRUCK ACCESS
- EX. POWER POLE
- PROPOSED SIGN
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- FIRE TRUCK
- HOSE PULL
- PROPERTY LINE
- RED CURB STRIPING

ABRIEVIATIONS

- FH FIRE HYDRANT
- PR. PROPOSED
- EX EXISTING
- PL PROPERTY LINE
- R/W RIGHT OF WAY
- TYP. TYPICAL
- BLDG BUILDING

NOTE
PROPOSED DEVELOPMENT WILL BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM, WHICH SHALL BE IN COMPLIANCE WITH CURRENT LA COUNTY FIRE AND BUILDING CODES, TO RECEIVE APPLICABLE FIRE FLOW REDUCTIONS. THIS INFORMATION IS REQUIRED IN ORDER TO APPLY ALLOWABLE REDUCTIONS IN THE REQUIRED FIRE FLOW PER THE COUNTY OF LOS ANGELES FIRE CODE APPENDIX B. FIRE CODE 507.3 & APPENDIX B105.1

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5
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