

GENERAL NOTES:

- 1. ALL MATERIALS AND WORK SHALL CONFORM TO THE LATEST EDITION OF THE C.M.C., C.P.C. AND N.E.C. AS WELL AS TO THE STATE AND LOCAL BUILDING CODES, ORDINANCES AND REGULATIONS AND OTHER GOVERNING LOCAL AGENCIES AS REQUIRED. ONE (1) COPY OF THESE CODES AND REGULATIONS SHALL BE MADE AVAILABLE AT THE CONTRACTOR'S FIELD OFFICE DURING CONSTRUCTION.
2. OWNER OR CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
3. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN AND ANY OTHER UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK.
4. ALL GYPSUM WALL BOARD SHALL CONFORM TO THE CBC
5. INTERIOR FINISHES AND FLAMEPROOFING MUST CONFORM TO THE CBC
6. BATT INSULATION SHALL BE INSTALLED IN WALL AND CEILINGS. EXTERIOR WALLS SHALL HAVE R-13 CEILING / ATTIC SHALL HAVE R-30
7. ROOFING SHALL BE CLASS A OR B MINIMUM WITH 2 LAYERS OF #15 FELT WITH 90# CAP SHEET WILL FOR LOW SLOPED ROOFS
8. BEDROOM WINDOW SHALL HAVE MAX. SILL HEIGHT OF 44" ABOVE THE FLOOR. REFER TO 2001 UBC SEC. 310.4 FOR ADDITIONAL REQUIREMENTS ALL EAST & WEST FACING WINDOWS SHALL HAVE A MAX. SHADING COEFFICIENT OF .40. INSTALL WINDOWS LABELED BY THE WINDOW MFG. TO HAVE A MAX. 40 SHADING COEFFICIENT SUCH AS DUAL PANE LOW E WINDOWS.
9. ALL BATT INSULATION SHALL BE INSTALLED TO MEET CALIFORNIA ENERGY COMMISSION QUALITY STANDARDS. ALL EXTERIOR WALLS SHALL HAVE R-13 BATT INSULATION AND CEILING INSULATION SHALL BE R-30
10. PROVIDE TWO LAYERS OF GRAD "D" PAPER AS THE WEATHER RESISTIVE BARRIER FOR PORTLAND CEMENT PLASTER (STUCCO) WHEN APPLIED OVER WOOD SHEATHING SUCH AS PLYWOOD.
11. WEATHER PROTECTION SHALL COMPLY TO SECTION 1402 OF THE 2016 CBC. WEATHER RESISTIVE BARRIERS, FLASHING AND COUNTERFLASHING SHALL BE PROVIDED.
12. CORROSION RESISTANT WEEP SCREED SHALL BE A MIN. OF 4" ABOVE EARTH AND 2" ABOVE PAVED AREAS PER SEC. 2306.5
13. TEMPERED GLAZING SHALL BE PROVIDED PER CBC 2406. TEMPERED GLAZING SHALL INCLUDE SHOWER DOORS AND GLAZING IN DOORS AND WITHIN 24" INCH.
14. ENCLOSED ATTIC AND ENCLOSED RAFTER SPACES SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE. THE NET FREE VENTING AREA SHALL BE NOT LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED. THE OPENING SHALL BE 1/300 OF THE AREA PROVIDED 50% OF THE OPENING AREA IS PROVIDED WITH VENTILATORS IN THE UPPER PORTION AT LEAST 3" ABOVE THE EAVE OR CORNICE WITH THE BALANCE OF THE VENTILATORS PROVIDED BY EAVE OR CORNICE VENTS. REFER TO CBC SECTION 1503.3 FOR ADDITIONAL INFORMATION.
15. ALL WINDOWS SHALL BE DUAL GLAZED WITH A MAX. SHADING COEFFICIENT SUCH AS DUAL PANE, LOW E WINDOWS. MAXIMUM U FACTOR OF .75
16. WALL COVERING SHALL BE PLASTER, TILE OR APPROVED EQUAL TO 70" ABOVE DRAIN INLET AT SHOWERS OR TUB WITH SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTER RESISTANT (CBC 807.1.3 AND 2512)
17. ALL WATER CLOSETS SHALL BE RETROFITTED TO COMPLY W/ WATER SAVING 1.2 GAL PER FLUSH

GENERAL REQUIREMENTS:

- WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:
1. GENERAL NOTES UNLESS OTHERWISE NOTED ON PLANS OR SPECIFICATIONS.
2. BUILDING CODE, APPLICABLE EDITION.
3. ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES, LAWS, REGULATIONS AND PROTECTIVE COVENANTS GOVERNING THE SITE OF WORK.
4. STANDARD SPECIFICATIONS OF ASTM.
5. IN CASE OF CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN.
6. "OR EQUAL" THE CONTRACTOR SHALL BE SUBMITTED FOR THE ARCHITECT'S APPROVAL FOR ALL MATERIALS OR EQUIPMENT WHICH IS CONSIDERED
7. NOTED DIMENSIONS TAKE PRECEDENT OVER SCALE. EACH CONTRACTOR OR SUB-CONTRACTOR SHALL REPORT TO PROJECT SUPERINTENDENT ALL CONDITIONS GENERAL REQUIREMENTS.
8. "OR EQUAL" TO THAT SPECIFIED IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS, WHICH PREVENT THE PROPER EXECUTION

FLASHING AND COUNTER FLASHING:

- EXTERIOR OPENINGS EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF. FLASHING AND COUNTERFLASHING SHALL BE PROVIDED AT THE JUNCTION OF THE ROOF AND VERTICAL SURFACES ROOF VALLEY FLASHINGS SHALL BE PROVIDED FOR SHINGLES AS FOLLOWS:
1. FOR WOOD SHINGLES OR SHALL BE OF LACED ASPHALT SHINGLES APPLIED IN AN APPROVED MANNER WITH AN UNDERLAMENT OF NOT LESS THAN TYPE 15 FELT EXTENDING 10 INCHES FROM THE CENTER LINE EACH WAY OR SHALL BE OF TWO LAYERS OF 80-POUND MINERAL SURFACED CAP SHEET CEMENTED TOGETHER WITH THE BOTTOM LAYER NOT LESS THAN 12 INCHES WIDE LAID FACE DOWN AND THE TOP LAYER NOT LESS THAN 24 INCHES WIDE LAID FACE UP. ASPHALT SHINGLES: THE ROOF VALLEY FLASHING SHALL BE THE SAME AS REQUIRED

ASPHALT COMPOSITION SHINGLES:

- ASPHALT COMPOSITION SHINGLES TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS AND C.R.C. R905.2. WEIGHT, COLOR, AND MATERIAL TO BE APPROVED BY ARCHITECT AND/OR OWNER. FLASH AND COUNTERFLASH SHALL BE APPLIED AT ALL EXTERIOR WALLS AND ROOF TO WALL CONDITIONS. I.E. FLASH, CALK WOOD BEAMS, AND OUTLOOKERS EXTERIOR FINISH, EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, PROJECTED THROUGH EXTERIOR WALLS BALCONIES, LANDINGS, EXTERIOR STAIRWAYS, AND SURFACES EXPOSED TO WEATHER. FLASHING SHALL BE REQUIRED AT ALL HORIZONTAL WOOD TRIM BUTTING TO BETWEEN WALL PANELS, AND SURFACES EXPOSED TO WEATHER.

WATERPROOFING WEATHER EXPOSED AREAS:

- OPENINGS FOR PLUMBING, ELECTRICAL AND GAS LINES IN EXTERIOR AND INTERIOR UNDERNEATH SHALL BE WATERPROOFED AND SLOPED A MINIMUM OF OCCUPIED ROOFS AND SIMILAR SURFACES EXPOSED TO THE WEATHER AND SEALED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2% SLOPE) FOR DRAINAGE.

INSULATION:

- SEE ENERGY COMPLIANCE SHEET FOR CALIFORNIA ENERGY TITLE 24 REQUIREMENTS THE FOLLOWING OPENINGS IN THE BUILDING ENVELOPE MUST BE CAULKED, SEALED CAULKED, SEALED OR WEATHERSTRIPPED:
- WALL SOLE PLATES AND FLOORS
- WALLS, CEILINGS AND FLOORS

EXTERIOR WALL COVERINGS:

- WEATHER RESISTIVE BARRIER - PROVIDE ONE (1) LAYER 60 MINUTE GR. D' PAPER MINIMUM UNDER ALL EXTERIOR FINISHES. (2 LAYERS OVER WOOD BASE SHEATHING BEHIND EXTERIOR PLASTER).

LATH AND PLASTER:

- 1. ALL LATH AND PLASTER SHALL CONFORM TO LOCAL CODES AND C.B.C. (CHAPTER 25), APPLICABLE EDITION, STATE AND LOCAL CODES AND REQUIREMENTS.
2. COLOR AND FINISH TO BE APPROVED BY OWNER.

RESAWN AND ROUGHSAWN LUMBER:

- 1. ALL ROUGHSAWN AND RESAWN SURFACES TO RECEIVE PRIME AND PAINT. COLOR AND FINISH TO BE APPROVED BY CONTRACTOR
2. ALL WOOD EXPOSED TO WEATHER TO BE PRIMED PRIOR TO ASSEMBLY.

INTERIOR FINISHES:

- 1. INTERIOR COVERINGS AND WALL FINISHES SHALL COMPLY WITH SECTION R702.1
2. INTERIOR FINISHES AND FLAMEPROOFING MUST CONFORM TO CBC
3. CEILING FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS FOR INTERIOR WALL FINISHES. (R805.1)
4. BATT INSULATION SHALL BE INSTALLED IN FLOOR, WALL AND CEILINGS PER T24 CALCS ALL BATT INSULATION SHALL BE INSTALLED TO MEET CALIFORNIA ENERGY COMMISSION QUALITY STANDARDS. ROOFING SHALL BE CLASS A OR B MINIMUM WITH 2 LAYERS OF #15 FELT WITH 90# CAP SHEET WILL FOR LOW SLOPED ROOFS
5. EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTANCE EXTERIOR WALL ENVELOPE. (R703.1)
6. PROVIDE TWO LAYERS OF GRADE "D" PAPER AS THE WEATHER RESISTIVE BARRIER FOR PORTLAND CEMENT PLASTER (STUCCO) WHEN APPLIED OVER WOOD SHEATHING SUCH AS PLYWOOD
7. WEATHER PROTECTION SHALL COMPLY TO SECTION 1402 OF THE CBC. WEATHER RESISTIVE BARRIERS, FLASHING AND COUNTERFLASHING SHALL BE PROVIDED.
8. CORROSION-RESISTANT WEEP SCREED SHALL BE A MIN. OF 8" ABOVE EARTH AND 4" ABOVE PAVED AREAS PER SEC. R308.1
9. ENCLOSED ATTIC AND ENCLOSED RAFTER SPACES SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE. THE NET FREE VENTING AREA SHALL BE NOT LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED. THE OPENING SHALL BE 1/300 OF THE AREA PROVIDED 50% OF THE OPENING AREA IS PROVIDED WITH VENTILATORS IN THE UPPER PORTION AT LEAST 3" ABOVE THE EAVE OR CORNICE WITH THE BALANCE OF THE VENTILATORS PROVIDED BY EAVE OR CORNICE VENTS. REFER TO CBC SECTION 1503.3 FOR ADDITIONAL INFORMATION.

KITCHEN:

- 1. PROVIDE LOCAL EXHAUST SYSTEM VENTED TO OUTDOORS WITH RATE = 100CFM, CEC 150(a), ASHRAE STD. 62.2
2. FAUCETS AT KITCHENS SHALL NOT EXCEED A WATER SUPPLY FLOW RATED OF 1.8 GALLONS PER MINUTE MEASURED AT 60 PSI. CBC 403.6

BATHROOMS:

- 1. ROOMS CONTAINING BATHTUBS, SHOWERS, SPAS AND SIMILAR FIXTURES SHALL BE PROVIDED WITH AN EXHAUST FAN WITH A MINIMUM CAPACITY OF 50 CFM, WITH HUMIDITY CONTROL, TO EXHAUST MOISTURE TO THE EXTERIOR OF BUILDING. EXHAUST OUTLET MUST BE 30" FROM ANY OPENING INTO BUILDING AND 36" FROM PROPERTY LINE. CRC R303.3, CBC 1203.4.2.1, CMC T-4.4
2. CLEARANCE FOR WATER CLOSET TO BE A MINIMUM OF 24-INCHES IN FRONT, AND 15-INCHES FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION. CPC 402.5
3. WATER CLOSET SHALL HAVE AN AVERAGE CONSUMPTION OF A MAXIMUM OF 1.28 GALLONS OF WATER PER FLUSH. CPC 403.2.1
4. RESIDENTIAL FAUCETS SHALL NOT EXCEED A WATER SUPPLY FLOW RATE OF 47.0 G.P.S.I. AND 0.8 GALLONS PER MINUTES AT 20 PSI.
5. SHOWER HEADS SHALL NOT EXCEED A WATER SUPPLY FLOW RATE CPC 403.7 OF 2.0 GALLONS OF WATER PER MINUTE AT 80 PSI. CPC 408.2
6. WALL COVERING OF SHOWERS OR TUBS WITH SHOWERS SHALL BE OF SMOOTH, NONABSORBENT SURFACE EXTENDED TO A HEIGHT NOT LESS THAN 6 FEET ABOVE DRAIN ENCLOSURE MUST BE APPROVED SAFETY GLAZING AND DOORS 22" MIN WIDTH MUST BE SWING OUT OF SHOWERS
7. THE NET AREA OF THE SHOWER ENCLOSURE SHALL BE 1.024 SQ. INCHES (7.1 SQ. FEET) OR MORE IN CLEAR FLOOR AREA, & SHALL BE CAPABLE OF ENCOMPASSING A 30-INCH DIA. CIRCLE. CPC 408.6
8. MECHANICAL VENTILATION FOR TOILET COMPARTMENTS AND BATHROOMS SHALL BE CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR
9. SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE-BALANCE OR THERMOSTATIC MIXING VALVE TYPE

DOORS AND WINDOWS:

- 1. DIMENSIONS SHOW ARE CLEAR OPENING SIZES. WINDOW OR DOOR FRAME IS 1/2" BIGGER IN BOTH DIRECTIONS.
2. CONTRACTOR TO VERIFY EGRESS WINDOW LOCATIONS & VERIFY CLEAR DIMENSIONS PRIOR TO FABRICATION.
3. GLAZING WITHIN A 24" ARC OF THE DOORWAY GLAZING IN SHOWER AND BATHTUB DOORS AND ENCLOSURES SHALL BE TEMPERED.
4. GLAZING IN RAILING REGARDLESS OF HEIGHT ABOVE A WALKWAY SURFACE SHALL BE TEMPERED
5. WINDOW AREA SHALL NOT BE LESS THAN 1/10 OF THE FLOOR AREA OF THE ROOM WITH A MINIMUM OF 10 SQ. FT. NOT LESS THAN HALF THE REQUIRED WINDOW AREA SHALL BE OPEN
6. GLAZING IN DOORS AND WINDOWS SHALL BE TEMPERED AS REQUIRED BY CBC.
7. ALL WINDOWS SHALL BE DUAL GLAZED WITH A MAX. SHADING COEFFICIENT SUCH AS DUAL PANE, LOW E WINDOWS.
8. EMERGENCY ESCAPE WINDOWS SHALL HAVE A 20" MIN. WIDTH, 24" MIN. CLEAR HEIGHT AND A 5.7 S.F. MIN. AREA (5.0 S.F. MIN AREA FOR GRADE FLOOR OPENINGS) PER CBC SEC. 310.4
9. EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. (TITLE 24 1004.3)
10. WIDTH AND HEIGHT OF REQUIRED EXIT DOORWAYS TO COMPLY WITH TITLE 24
11. COMPLY WITH TITLE 24, 310.4 REGARDING ACCESS.

ELECTRICAL:

- 1. ALL RECEPTACLE OUTLETS IN BATHROOMS, ABOVE KITCHEN COUNTERTOP, CRAWL SPACES, GARAGE, ROOFTOPS, OUTDOOR OUTLETS, WITHIN 6- FEET OF WET BAR SINK/LAUNDRY SINK TO BE PROTECTED BY GROUND FAULT CIRCUIT INTERRUPTER (GFCI), CEC 210.8.
2. ALL RECEPTACLE OUTLETS ARE REQUIRED TO BE LISTED TAMPER RESISTANT.
3. COMBINATION TYPE AFCI CIRCUIT BREAKERS ARE REQUIRED FOR ALL 120 VOLT SINGLE PHASE 15/20 AMP BRANCH CIRCUITS, EXCEPT FOR BATHROOMS, KITCHENS, GARAGES, OUTDOORS, AND LAUNDRY ROOMS. (CEC 210.12(B))
4. AT A MINIMUM, ONE DEDICATED 20 AMP CIRCUIT IS REQUIRED FOR A BATHROOM
5. A GFCI PROTECTED RECEPTACLE IS REQUIRED WITHIN 3 FEET OF THE EDGE OF EACH BASIN IN A BATHROOM. (CEC 210.52(D))
6. RECEPTACLE OUTLETS ARE NOT ALLOWED WITHIN OR OVER A BATHTUB
7. SUBPANELS ARE NOT ALLOWED TO BE LOCATED IN BATHROOMS OR CLOTHES CLOSETS. (CEC 240.24(D) AND 240.25(E))
8. CIRCUITS SHARING A GROUNDED CONDUCTOR (NEUTRAL) WITH TWO UNGROUNDED (HOT) CONDUCTORS MUST USE A TWO POLE CIRCUIT BREAKER OR AN IDENTIFIED HANDLE TIE. (CEC 210.4(B)) GROUP NON-CABLE CIRCUITS IN PANEL 210.4(D)
9. KITCHEN COUNTER TOP RECEPTACLES MUST HAVE A MIN. OF 2 DEDICATED 20 AMP CIRCUITS. (CEC 210.52(B))
10. THE RECEPTACLES IN THE DINING AREA, PANTRY, OR BREAKFAST NOOK MUST BE SUPPLIED BY DEDICATED 20 AMP CIRCUITS. (CEC 210.52(B))
11. KITCHEN COUNTER TOPS 12 INCHES OR WIDER MUST HAVE A RECEPTACLE
12. KITCHEN COUNTER TOPS MUST HAVE RECEPTACLE OUTLETS SO NO POINT ALONG THE COUNTER WALLS IS MORE THAN 24 INCHES FROM A RECEPTACLE OUTLET. (CEC 210.52(C))
13. ISLAND AND PENINSULAR COUNTER TOPS MUST HAVE AT LEAST ONE RECEPTACLE. (CEC 210.52(C)(1) & (2))
14. KITCHEN COUNTERTOP RECEPTACLES SHALL BE READILY ACCESSIBLE, AND LOCATED NO MORE THAN 20 INCHES ON OR ABOVE, OR MORE THAN 12 INCHES BELOW THE COUNTERTOP SURFACE. (CEC 210.52(C)(5))
15. THE SPACING FOR GENERAL RECEPTACLE OUTLETS MUST BE LOCATED SO THAT NO POINT ON ANY WALL OR FIXED GLASS IS OVER 6 FEET FROM A RECEPTACLE OUTLET. (CEC 210.52(A))
16. LAUNDRY ROOMS MUST HAVE AT LEAST ONE DEDICATED 20 AMP RECEPTACLE CIRCUIT. (CEC 210.11(C)(2))
17. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED
18. OPENINGS AND PENETRATIONS THROUGH THE WALLS AND CEILING SEPARATING THE DWELLING FROM GARAGE SHALL BE IN ACCORDANCE WITH R302.5.2 THROUGH R302.5.3
19. DUCTS PENETRATING SEPARATIONS SHALL BE MINIMUM 0.019-INCH SHEET STEEL AND SHALL HAVE NO OPENINGS IN THE GARAGE. R302.5.2
20. PROVIDE DUCTING FOR RANGE HOOD TO OUTSIDE WITH MIN. VENTILATION OF 100CFM. DUCTING SHALL BE SIZED IN ACCORDANCE TO ASHRAE STANDARDS TABLE 62.2 TABLE 7.1 THIS LOCAL EXHAUST MAY OPERATE CONTINUOUSLY OR INTERMITTENTLY
21. PROVIDE HEATING FACILITY CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF 68 DEGREES F AT 37" ABOVE THE FLOOR IN ALL HABITABLE ROOMS.
22. THIS PROJECT MUST COMPLY WITH CGBS 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING. SEE WEBSITE FOR INFORMATION.
23. ALL DUCT OPENINGS & OTHER AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE PROTECTED DURING STORAGE ON THE CONSTRUCTION SITE UNTIL FINAL START-UP WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF DUST & DEBRIS. CGBC 4.504.
24. SPECIFY EXTERIOR LUMINAIRES TO BE HIGH EFFICIENCY
25. ALL OUTDOOR OUTLETS SHALL BE GFCI WATERPROOF & WATER RESISTANT.
26. UFER GEC IS REQUIRED AND A MAIN BONDING JUMPER SHALL NOT BE INSTALLED IN THE SUB PANEL.
27. DISHWASHER OUTLET TO BE GFCI AND TO BE NEXT TO THE DISHWASHER, NOT BEHIND IT.

SMOKE ALARMS:

- 1. POWER SOURCE: IN NEW CONSTRUCTION, REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. SMOKE ALARMS WITH INTEGRAL STROBES THAT ARE NOT EQUIPPED WITH BATTERY BACKUP SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THEN THOSE REQUIRED FOR OVERCURRENT PROTECTION. CRC R314.4.
2. A SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM AND ON THE CEILING OR WALL OUTSIDE EACH SEPARATE SLEEPING AREA, IMMEDIATE VICINITY OF BEDROOMS.
3. SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARMS SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.
4. WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITH AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE UNIT. CRC R314.4
5. ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL217 AND INSTALLED IN ACCORDANCE WITH THE GOVERNING CRC AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SYSTEMS AND COMPONENTS SHALL BE CALIFORNIA STATE FIRE MARSHALL LISTED AND APPROVED IN ACCORDANCE WITH CCR, TITLE 19, DIVISION 1 FOR THE PURPOSE FOR WHICH THEY ARE INSTALLED. CRC R314.1

CARBON MONOXIDE ALARMS:

- 1. A CARBON MONOXIDE ALARM COMPLYING WITH UL 2034 AND FOR CARBON MONOXIDE DETECTORS COMPLYING WITH UL2075 SHALL BE INSTALLED PER NFPA720 (REQUIRED IN DWELLING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND/OR WITH AT ATTACHED GARAGES), OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS PER CRC R315.3.
2. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP AND EMIT A SIGNAL WHEN THE BATTERY IS LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVER CURRENT PROTECTION PER CRC R315.1.1.

SPECIAL INSPECTION:

- 1. EXPANSION/ EPOXY ANCHORS
2. PLYWOOD SHEARWALL
3. SHEAR PANELS
4. DIAPHRAGMS
5. INCLUDING NAILING, BOLTING, ANCHORING, AND OTHER FASTENING OF COMPONENTS OF THE SEISMIC FORCE RESISTING SYSTEM.

DUTIES OF THE SPECIAL INSPECTORS FOR THE WORK LISTED ABOVE:

- A. INSPECT METHODOLOGY AND QUALITY OF WORK FOR COMPLIANCE WITH CITY APPROVED PLANS AND BUILDING CODE PROVISIONS.
B. PROVIDE REPORT CERTIFYING COMPLIANCE OF WORK & SUBMIT COPIES TO THE CITY, CONTRACTOR & OWNER.
SPECIAL INSPECTOR SHALL CHECK WITH THE CITY AND PRESENT THEIR CREDENTIALS FOR APPROVAL PRIOR TO BEGINNING WORK ON THE JOB SITE.
I, AS THE OWNER, OR AGENT OF THE OWNER (CONTRACTOR MAY NOT EMPLOY THE SPECIAL INSPECTOR), CERTIFY THAT I WILL BE RESPONSIBLE FOR EMPLOYING THE SPECIAL INSPECTOR(S), AS REQUIRED BY CALIFORNIA BUILDING CODE (CBC) SECTION 1704.1 FOR THE PROJECT LOCATED AT THE SUBJECT SITE.

SIGNED

DATE

AREA ANALYSIS:

GROSS FLOOR AREA (GFA):

- TOTAL AREA MEASURED TO OUTSIDE OF EXTERIOR WALLS
900 SF (E) EXISTING PRIMARY DWELLING FLOOR AREA
80 SF (E) EXISTING PORCH
440 SF (N) LEGALIZE UNPERMITTED - TO BE JR ADU
372 SF (N) NEW ADU CONSTRUCTION
556 SF (E) GARAGE FLOOR AREA - TO BE CONVERTED TO ADU.
2,348 SF (N) TOTAL GROSS FLOOR AREA

FLOOR AREA RATIO (FAR):

- DIVIDING GFA BY THE LOT AREA
2,348 SF 6.098 (E) LOT AREA

38.40% (2,348 SF / 6,098 SF) (N) GROSS FLOOR AREA TO LOT RATIO (F.A.R.)

LOT COVERAGE: PERCENTAGE OF AREA THAT IS COVERED BY A BUILDING + ACC. STRUCTURES

- 270 SF (E) EXISTING ACC STRUCTURE #2 - SUNROOM
140 SF (E) EXISTING ACC STRUCTURE #3 - SHED
410 SF ACC STRUCTURE SF

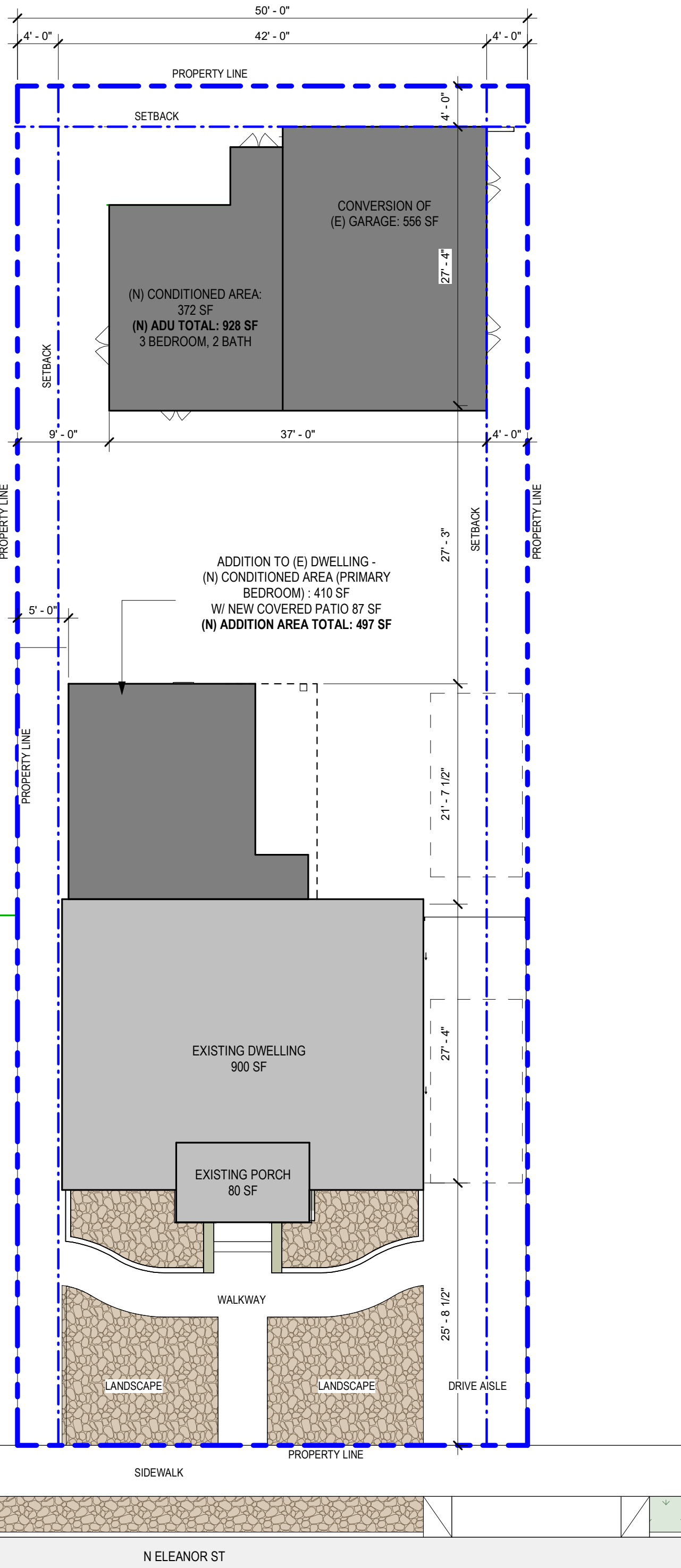
45.22 % (2,348 SF + 410 SF) / 6,098 SF

USABLE OPEN SPACE: ANY SPACE NOT ENCLOSED WITHIN A BUILDING

6,098 SF (LOT AREA) - (2,348 SF (GFA) + 410 SF (ACC. STRUCTURES)) = 3,340 SF / 6,098 SF = 54.78%

SITE PLAN LEGEND:

- PROPERTY LINE
SETBACK LINE
EXISTING AREA
NEW AREA
LANDSCAPE AREA
HARDSCAPE AREA
DRAINAGE - 2% SLOPE MIN. SURFACE WATER IS TO DRAIN AWAY FROM BUILDING. GRADE SHALL FALL A MIN OF 6" WITHIN THE FIRST 10 FEET
ELEC PANEL
WATER METER
GAS METER
GAS LINE
WATER LINE
SEWER LINE
WATER HEATER
HOSE BIB
MINI SPLIT CONDENSING UNIT



1 AREA ANALYSIS PLAN SCALE: 1" = 10'-0"

SHEET INDEX table with columns SHEET NUMBER, ADDRESS PLAN, and DESCRIPTION. Lists sheets A1.0 through A4.0 including General Site Plan, Enlargement, Floor Plans, and Foundation details.

BUILDING DESIGN CRITERIA:

- ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES:
2022 CALIFORNIA BUILDING CODE (CBC)
2022 CALIFORNIA RESIDENTIAL CODE (CRC)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA ENERGY CODE (CEC)
2022 CALIFORNIA GREEN BUILDING STANDARDS (CALGreen)
2022 CALIFORNIA EXISTING BUILDING CODE (CEBC)
2022 CALIFORNIA FIRE CODE (CFC)
2022 POMONA MUNICIPAL CODE

SITE INFO:

- ACCESSOR'S PARCEL NUMBER: 8337-003-029
LEGAL DESCRIPTION: LOT 29 GREENLAWN ADDITION
ZONING: POR4*
BUILDING OCCUPANCY: SINGLE FAMILY RESIDENTIAL
CONSTRUCTION TYPE: V-B
LOT AREA: 6,711 SF
OF STORIES: 1 - STORY
FIRE SPRINKLERS: NO
FLOOD ZONE: -
HISTORIC PROPERTY: YES
HISTORIC DISTRICT: LINCOLN PARK HISTORIC DISTRICT
YEAR BUILT: 1910

PROJECT DIRECTORY:

- OWNER: PABLO & ANA GONZALEZ
ARCHITECT: BRENDA GUTIERREZ 714-306-5409
STRUCTURAL ENGINEER: MIGUEL DESIGN ENGINEERING / JUAN MIGUEL
ENERGY CONSULTANT: TBD

POMONA ADU DEVELOPMENT STANDARDS:

- REQUIRING MINISTERIAL ADU PERMIT:
MIN SIZE: DETACHED
MAX SIZE: 2,200 SF
MAXIMUM LOT COVERAGE: 35%
MAXIMUM HEIGHT: 2 STORIES OF 35 FT (NO TALLER THAN PRIMARY BUILDING)
MIN. DISTANCE BTWN BLDG: BETWEEN ADU & PRIMARY DWELLING: 10'
MINIMUM SIDE YARD SETBACK: 4 FT
MINIMUM REAR YARD SETBACK: 4 FT
ROOF EAVES: MIN. 2' FROM PL, MAX 1' PROJECTION
LANDSCAPING: 20% MIN OF ENTIRE PARCEL
PARKING: NONE
ARCHITECTURE: ARCHITECTURE ELEMENTS TO MATCH PRIMARY BLDG
EXTERIOR ACCESS: REQUIRED
UTILITY CONNECTIONS: NOT REQUIRED TO INSTALL NEW OR SEPARATE UTILITY
OWNER OCCUPANCY: NOT REQUIRED UNTIL 1/1/2025
RENTAL PERIOD: 30 DAYS MIN
DEED RESTRICTIONS: REQUIRED

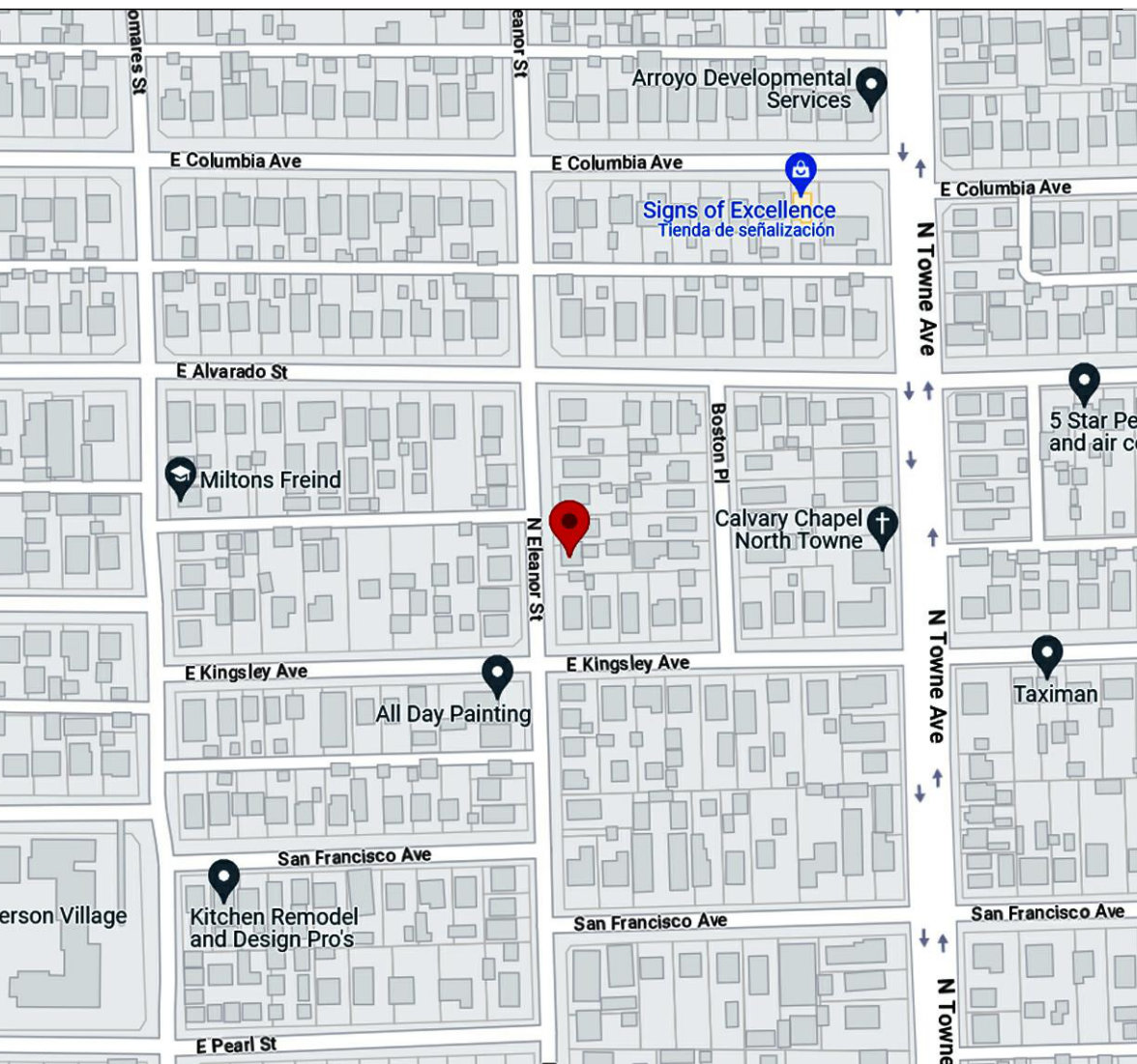
REQUIRING BUILDING PERMIT:

- MIN SIZE: 220 SF
MAX SIZE: 800 SF
HEIGHT: 16 SF
SIDE YARD: 4'
REAR YARD: 4'
EXTERIOR ACCESS: REQUIRED
UTILITY CONNECTIONS: NOT REQUIRED
OWNER OCCUPANCY: NOT REQUIRED UNTIL 1/1/2025
RENTAL PERIOD: 30 DAYS MIN
DEED RESTRICTION: REQUIRED

SCOPE OF WORK:

- 410 SF (N) ADDITION TO PRIMARY DWELLING + 87 SF COVERED PATIO
372 SF (N) NEW ADU CONSTRUCTION
556 SF (E) GARAGE FLOOR AREA - TO BE CONVERTED TO ADU

VICINITY MAP



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ENGINEER:

REVISIONS

Table with 2 columns: Revision number and description. Shows a list of revisions with triangle symbols.

OWNER

PABLO & ANA GONZALEZ

920 N ELEANOR ST
POMONA, CA 91767

PROJECT: PABLO & ANA GONZALEZ
920 N ELEANOR ST
POMONA, CA 91767

JOB NO. 2023-001

DATE: 2023-001

SHEET TITLE: GENERAL SITE PLAN - AREA ANALYSIS

SHEET NO.

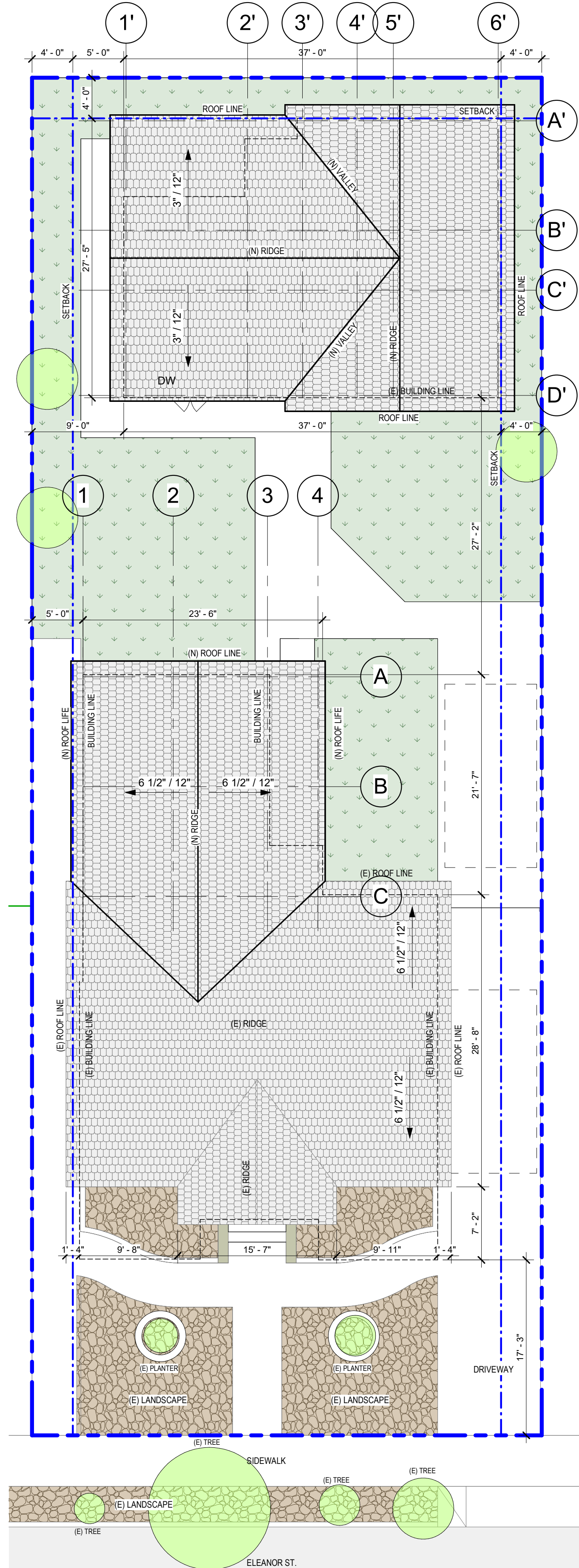
A1.0

FILE NAME: C:\Users\benedag\OneDrive - ADO\Desktop\TEMP\Pomona - 920 N Eleanor\920 N Eleanor St - 11/10/2023.rvt

FILE NAME: C:\Users\benedag\OneDrive - ADO\Desktop\TEMP\Pomona - 920 N Eleanor\920 N Eleanor St - 11/10/2023.rvt

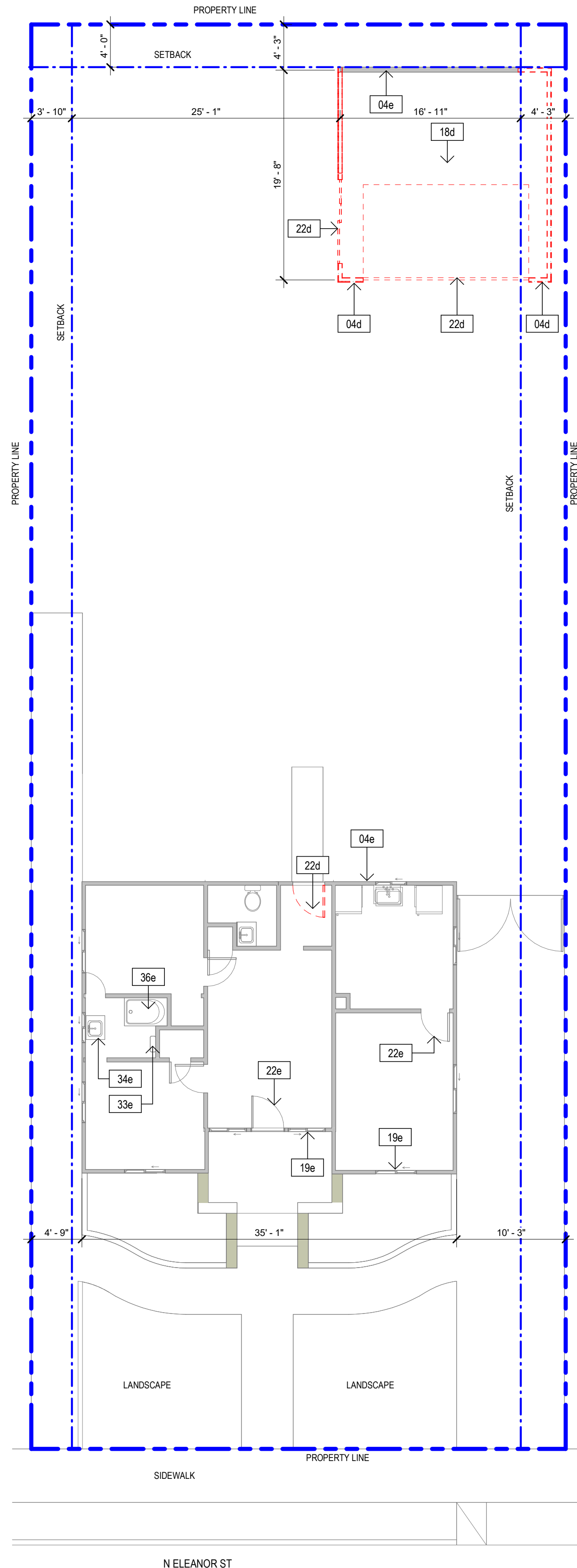
LANDSCAPE LEGEND

- TREE OR SHRUB
 - (E) GROUND COVER / WOOD CHIPPINGS
 - GRASS (NATURAL LAWN)
 - HARDSCAPE / CONCRETE
- ALL TREES IN THE PROJECT ARE EXISTING AND WILL BE PRESERVED AND PROTECTED DURING CONSTRUCTION



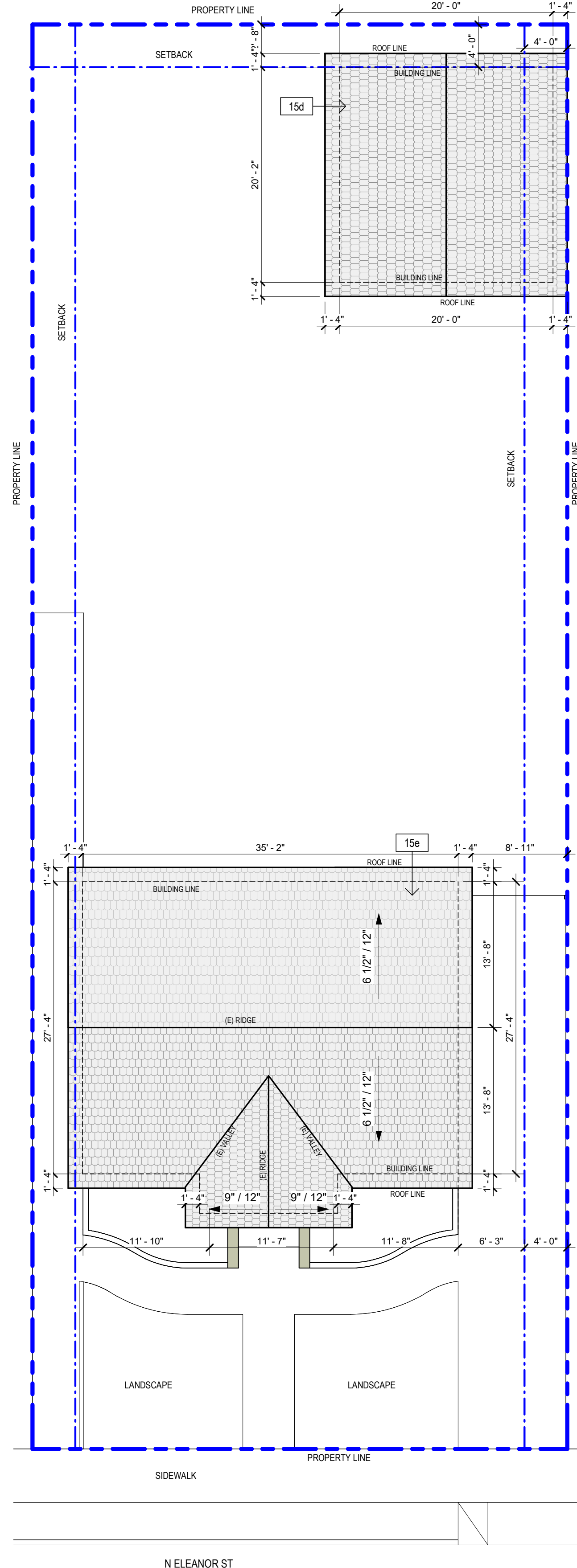
3 SITE PLAN - PROPOSED

SCALE: 1/8" = 1'-0"



2 SITE PLAN - DEMO

SCALE: 1/8" = 1'-0"



1 SITE PLAN - EXISTING

SCALE: 1/8" = 1'-0"

KEYNOTES

Key Value	Keynote Text
04d	DEMO EXTERIOR 2X STUD WALL
04e	EXISTING EXTERIOR 2X STUD WALL TO REMAIN
15d	DEMO EXISTING ROOFING
15e	EXISTING ASPHALT SHINGLE ROOFING. VERIFY CLASS "A" MIN. ROOF PER MFG RECOMMENDATIONS AND ICC #ESR-1017
18d	DEMO CONCRETE SLAB
19e	EXISTING WINDOW TO REMAIN
22d	DEMO EXISTING DOORS
22e	EXISTING DOORS TO REMAIN
33e	EXISTING TOILET FIXTURE. VERIFY LOW FLUSH 1.28 GAL MAX
34e	EXISTING VANITY COUNTER/SINK/FAUCET
36e	EXISTING TUB/SHOWER

PROJECT DOOR SCHEDULE		
MARK	TYPE	QTY
A	EXTERIOR DOOR 36 x 84 (SWING DOOR)	3
B	INTERIOR DOOR 32" x 80" (SWING DOOR)	5
C	INTERIOR DOOR 30" x 80" (SWING DOOR)	9
D	CLOSET DOOR (DOUBLE SLIDING DOOR)	2
E	CLOSET DOOR (DOUBLE SLIDING DOOR)	2
G	DOBLE DOOR (SLIDING - TO BE DEMO)	1
H	GARAGE DOOR (TO BE DEMO)	1
K	CLOSET DOOR (DOUBLE SLIDING DOOR)	1
M	INTERIOR DOOR 24" x 80" (SWING DOOR)	2
N	EXTERIOR DOOR 36 x 80 (TO BE DEMO)	1
R	EXTERIOR DOBLE GATE	1

THE FOLLOWING SCHEDULE IDENTIFIES ALL PROJECT DOORS, INCLUDING NEW AND EXISTING. REFER TO THE DOOR SCHEDULE FOR EACH UNIT FOR DOOR DIMENSIONS, CONSTRUCTION PHASE, AND ADDITIONAL INFORMATION.

PROPOSED DOORS SHALL BE SIMILAR TO THE EXISTING DOORS IN MATERIAL, OPERATION, AND COLOR IN ORDER TO MAINTAIN THE ARCHITECTURAL UNITY OF THE PROJECT.

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ENGINEER:

REVISIONS	
△	
△	
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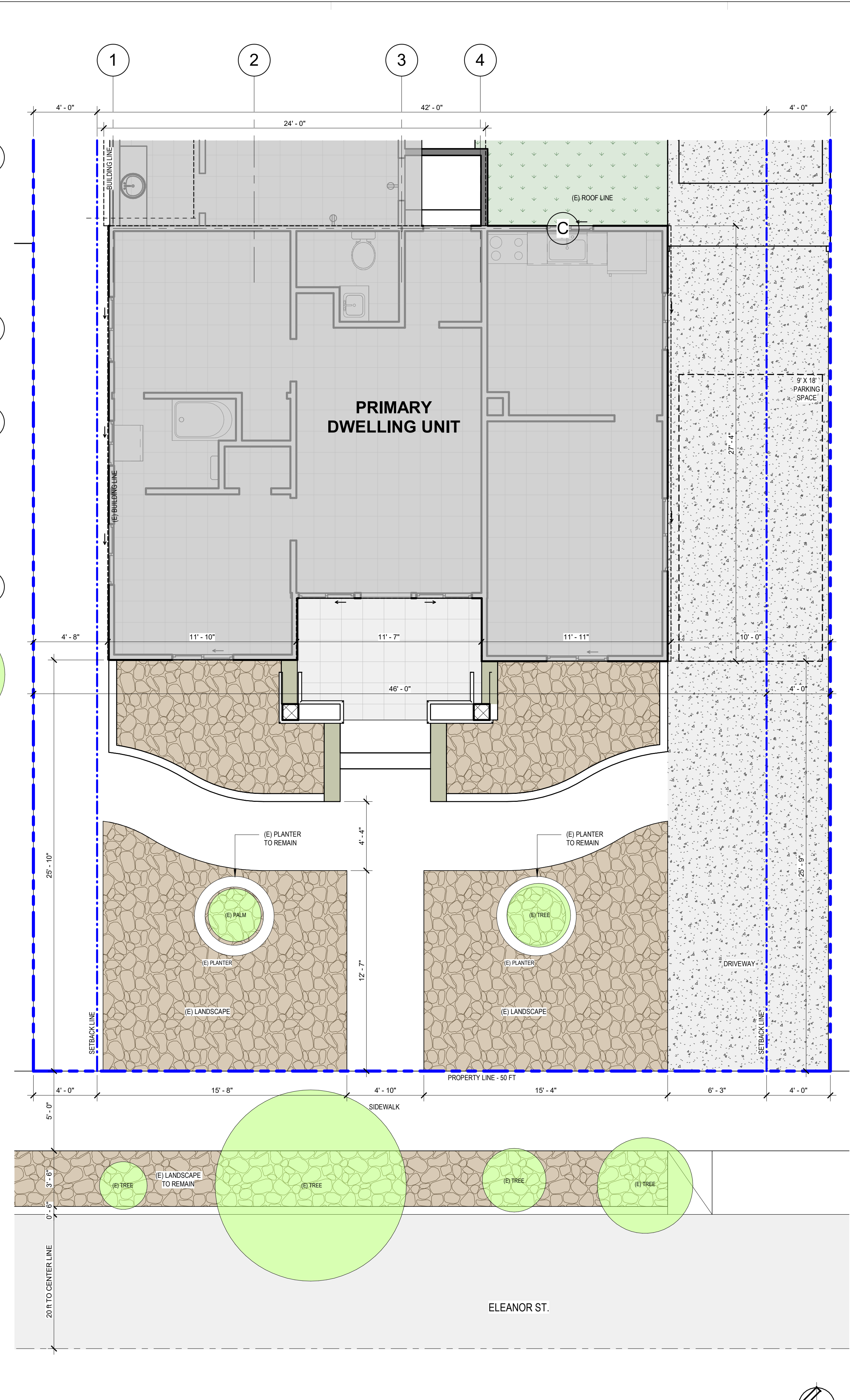
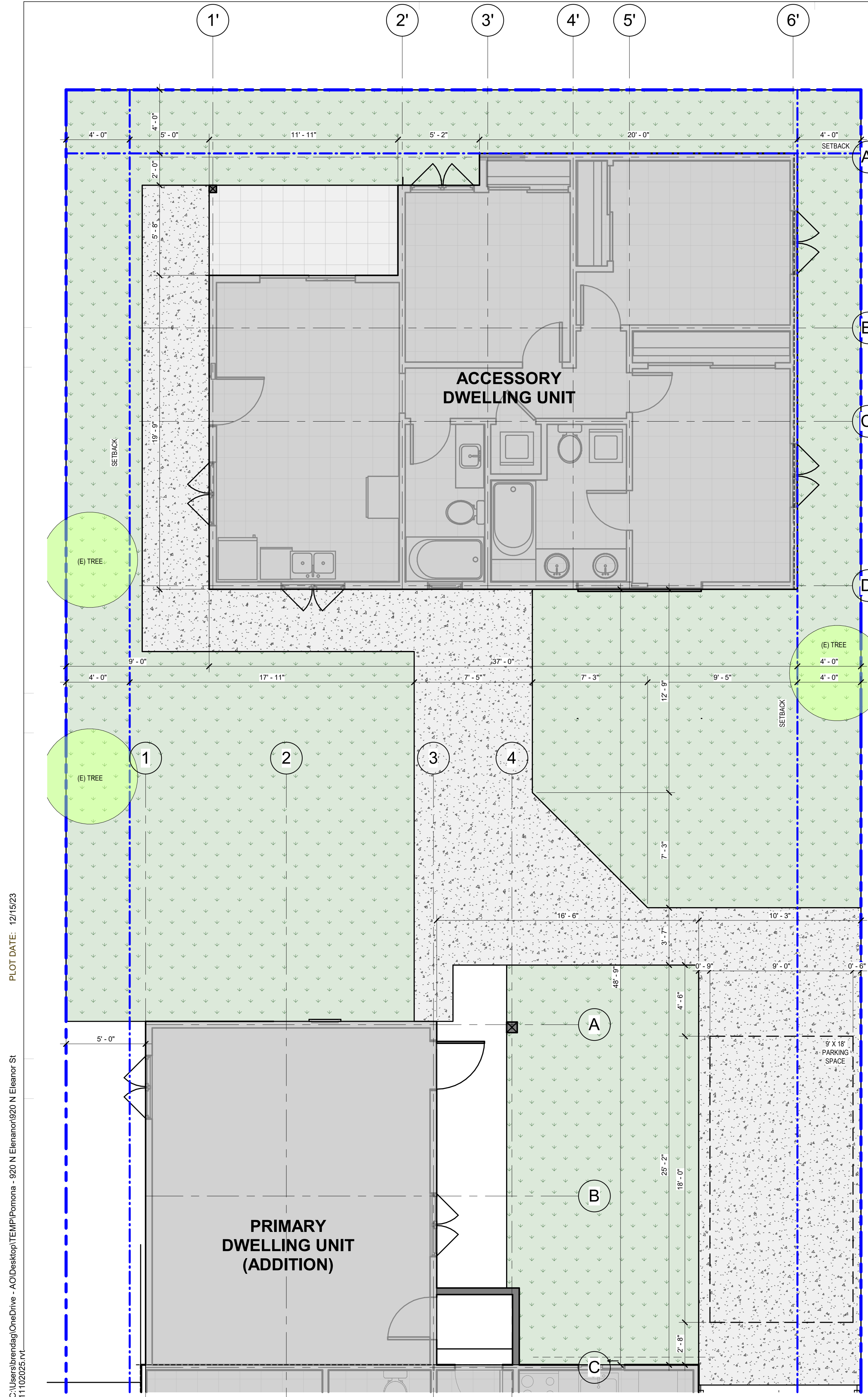
PROJECT:
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 POMONA, CA 91767

JOB NO. 2023-001
 DATE: 2023-001

SHEET TITLE:
EXISTING, DEMO & PROPOSED SITE PLAN

SHEET NO.
A1.0A

FILE NAME: C:\Users\shenafag\OneDrive - AOD\Desktop\TEMP\Pomona - 920 N Eleanor\920 N Eleanor ST
 PLOT DATE: 12/15/23
 11/10/2023.vt



LANDSCAPE LEGEND

- TREE OR SHRUB
- (E) GROUND COVER / WOOD CHIPPINGS
- GRASS (NATURAL LAWN)
- HARDSCAPE / CONCRETE

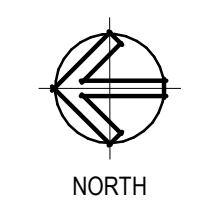
LANDSCAPE AREAS

NATURAL GRASS / LAWN =	1,712 SF
(E) GROUND COVER =	581 SF
TOTAL LANDSCAPE =	2,293 SF
LOT AREA =	6,098 SF
% OF LANDSCAPE =	2,293 / 6,098 = 37.6%
	37.6% > 20% (REQUIRED) = OK

FILE NAME: C:\Users\benedag\OneDrive - A0\Desktop\TEMP\Pomona - 920 N Eleanor\020 N Eleanor\020 N Eleanor\020 N Eleanor.dwg
 PLOT DATE: 12/15/23
 11/10/2023.vt

2 ENLARGEMENT SITE PLAN - PROPOSED Copy 1
A1.0B SCALE: 1/4" = 1'-0"

1 ENLARGEMENT SITE PLAN - PROPOSED
A1.0B SCALE: 1/4" = 1'-0"



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JOB NO. 2023-001
 DATE: 2023-001

SHEET TITLE:
**ENLARGEMENT
 PROPOSED SITE
 PLAN**

SHEET NO.
A1.0B

LIGHTING SYMBOLS

- ⊕ LIGHTING: SURFACE MOUNTED CEILING LIGHT FIXTURE
- CEILING RECESSED LIGHTING, ZERO CLEARANCE IC RATED LED BULB
- WP CEILING RECESSED LIGHTING, ZERO CLEARANCE IC RATED LED BULB WATER RESISTANT
- WALL MOUNTED LIGHT FIXTURE (AT BATHROOM)
- WALL MOUNTED LIGHT FIXTURE
- J-BOX FLUSH CEILING MOUNTED

- MECHANICAL:**
- ⊕ RECESSED COMBINATION LIGHT/EXHAUST FAN, SWITCH CONTROLLED MIN. 50 CFM TO BE DUCTED TO EXTERIOR & MIN. 5 AIR CHANGES PER HOUR (1203.3)

- FIRE DETECTION:**
- ⊕ SMOKE ALARM, ICBO APPROVED, CEILING MOUNTED, HARDWIRED AND W/ BATTERY BACKUP (CRC R314)
 - ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT.
 - SHALL COMPLY WITH THE FOLLOWING:
 - AT LEAST 3' FROM THE TIP OF THE BLADE OF A CEILING MOUNTED FAN
 - NOT LESS THAN 3' FROM THE DOOR OPENING OF A BATHROOM
 - AT LEAST 20' FROM A COOKING APPLIANCE OR 10' FROM COOKING APPLIANCE WITH THE ALARM IS AN IONIZING SMOKE ALARM PER NFPA 72 SECTION 29.8.3.4 ITEM 4
 - AT LEAST 3' FROM SUPPLY REGISTERS OF A HEATING/COOLING SYSTEM

- CMA** PROVIDE CARBON MONOXIDE ALARM (CRC R315) PERMANENTLY WIRED WITH BATTERY BACKUP. ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT

ELECTRICAL SYMBOLS

- POWER/DATA:**
- ⊕ TAMPER RESISTANT RECEPTACLE WALL MOUNTED, 110V U.N.O.
 - ⊕ GFCI - WATER PROOF GFCI
 - ⊕ CT - COOKTOP/GRILL 220V
 - ⊕ O - OVEN 220V
 - ⊕ MW - MICROWAVE 110V
 - ⊕ GD - GARBAGE DISPOSAL 110V
 - ⊕ R - RANGE 220V
 - ⊕ C - COUNTER HEIGHT 6" ABS COUNTER
 - ⊕ IDU - INDOOR UNIT POWER 84" AFF
 - ⊕ WID - WASHER/DRYER (30 AMP/220 AMP)

□ SUBPANEL

- SWITCHING:**
- ⊕ SWITCH, MOUNT AT 43" AFF

DOOR & WINDOWS NOTES:

- DIMENSIONS SHOWN ARE CLEAR OPENING SIZES. WINDOW OR DOOR FRAME IS 1/2" BIGGER
- CONTRACTOR TO VERIFY EGRESS WINDOW LOCATIONS & VERIFY CLEAR DIMENSIONS PRIOR TO FABRICATION
- GLAZING WITHIN A 24" ARC OF THE DOORWAY/GLAZING IN SHOWER AND BATHTUB DOORS AND ENCLOSURES SHALL BE TEMPERED
- GLAZING IN RAILING REGARDLESS OF HEIGHT ABOVE A WALKWAY SURFACE SHALL BE TEMPERED
- WINDOW AREA SHALL NOT BE LESS THAN 1/10 OF THE FLOOR AREA OF THE ROOM WITH A MINIMUM OF 10 SQ. FT. NOT LESS THAN HALF THE REQUIRED WINDOW AREA SHALL BE OPEN
- GLAZING IN DOORS AND WINDOWS SHALL BE TEMPERED AS REQUIRED BY CBC
- ALL WINDOWS TO BE DUAL GLAZED WITH A MAX. SHADING COEFFICIENT SUCH AS DUAL PANE, LOW E WINDOWS.
- EMERGENCY ESCAPE WINDOWS SHALL HAVE A 20" MIN. WIDTH, 24" MIN. CLEAR HEIGHT AND A 5.7 S.F. MIN. AREA FOR GRADE FLOOR OPENINGS) PER CBC SEC 310.4
- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. (TITLE 24 1004.3)
- WIDTH AND HEIGHT OF REQUIRED EXIT DOORWAYS TO COMPLY WITH TITLE 24, 310.4 REGARDING ACCESS.

- FENESTRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS
 - 15.52.050 FRAMES, JAMBES, STIKES, HINGES:**
 - NON REMOVABLE EXTERIOR HINGE PINS WILL BE INSTALLED ON OUT-SWINGING DOORS
 - SHALL COMPLY WITH CMSSO FORCED ENTRY TEST STANDARD FOR OPERABLE WINDOWS/SLIDING DOORS LIST BRAND, MODEL, AND SERIES TO COMPLY WITH APPROVED PRODUCT LIST 1/17
 - 15.52.080 SPECIAL BUILDING PROVISIONS - RESIDENTIAL:**
 - SWINGING EXTERIOR DOOR: HW = 18 GA. OR SC WOOD = 1 3/4" AND RAISED PANEL MIN. = 9/16"
 - EXTERIOR DOORS (INCLUDING DOORS FROM GARAGE TO RESIDENCE): DEADBOLT TO HAVE 1" BOLT PROJECTION LIST BRAND, MODEL AND SERIES IN ACCORDANCE WITH "APPROVED PRODUCTS LIST" 1/17 (OR COMPARABLE)
 - MINIMUM 180 DEGREE DOOR VIEWER REQUIRED AT MAIN ENTRY EXTERIOR DOOR (ADU AND MAIN HOUSE)
 - FRONT/PRIMARY ADU ADDRESS NUMBERS NOT SHOWN AND/OR ILLUMINATED DURING DARKNESS. SIZE 4" MIN.
- ADDITIONAL REQUIREMENTS:**
- LANDSCAPING MAINTAINED NOT TO INTERFERE WITH LIGHTING OR ADDRESS (MAIN HOUSE ADU ADDRESS)
 - POLICE DEPARTMENT APPROVAL MUST BE ACQUIRED PRIOR TO ANY SUBSTITUTIONS OF WINDOWS, SLIDING GLASS DOORS, EXTERIOR SWINGING DOORS OR DOOR HARDWARE

FLOOR PLAN LEGEND

- ⊕ = ⊕ = ⊕ = ⊕ = ⊕ EXISTING WALLS TO BE REMOVED
- ⊕ = ⊕ = ⊕ = ⊕ = ⊕ EXISTING WALLS TO REMAIN
- ⊕ = ⊕ = ⊕ = ⊕ = ⊕ NEW 2x STUD WALLS
- ⊕ = ⊕ = ⊕ = ⊕ = ⊕ 1 HR FIRE RATED WALLS

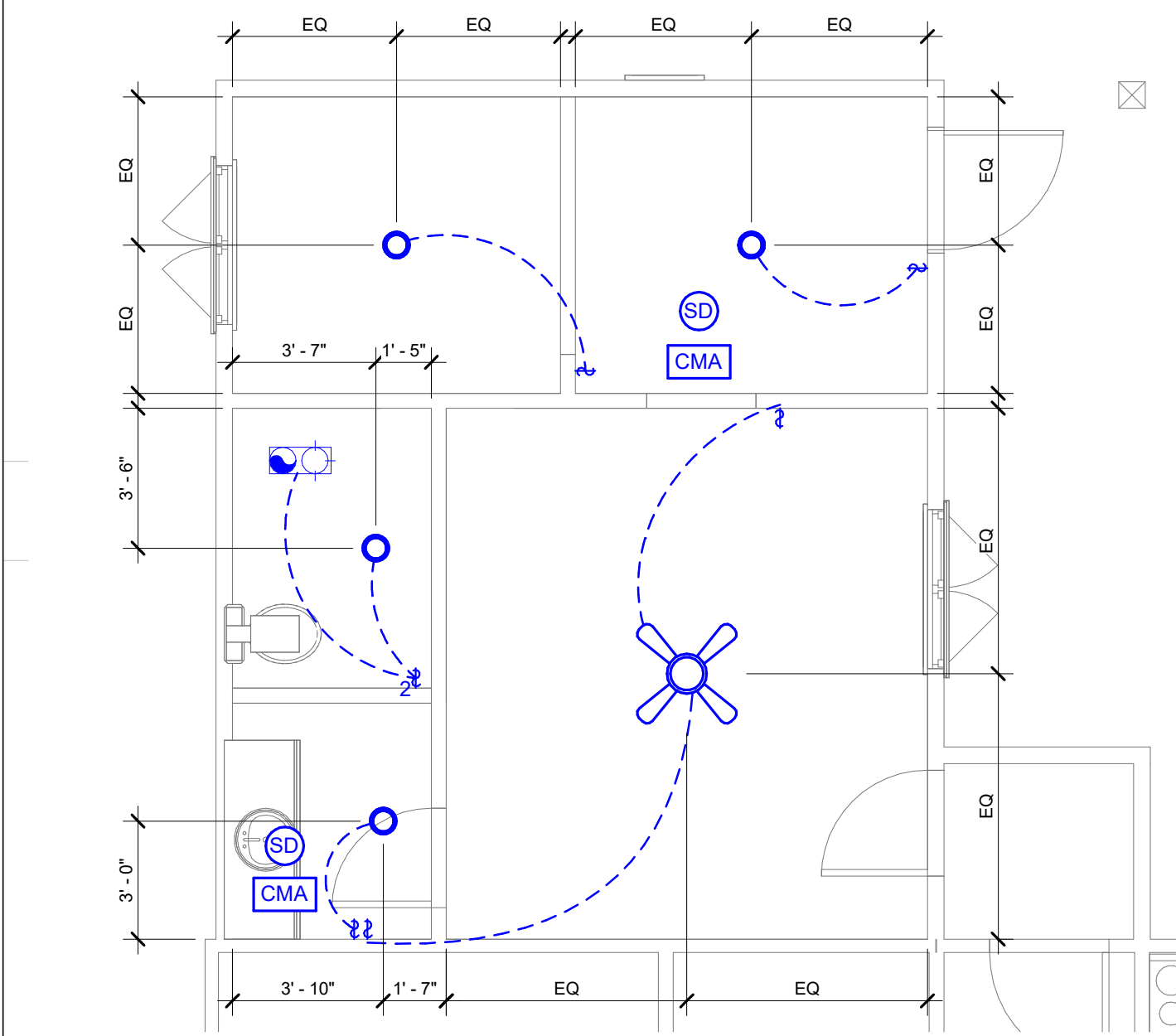
KEYNOTES

KEYNOTE LEGEND	
Key Value	Keynote Text
04	NEW EXTERIOR 2X4 STUDS @ 16" O.C. EXTERIOR WALL W/ FIBERGLASS BATT INSULATION. REFER TO CAL-CERTS ON SHEETS T24 FOR ADDITIONAL INFO. R-# 7/8" THK. EXTERIOR PLASTER FINISH OVER PAPER BACKED METAL LATH ON 1/2" THK. EXT. GRADE. PLYWOOD SHEATHING. COLOR AND TEXTURE PER ELEVATIONS/FINISH SCHEDULE
06	NEW INTERIOR WALL 2X4 STUDS @ 16" O.C. W/ 1/2" THK GYP BD EACH SIDE
22	NEW DOOR. SEE DOOR SCHEDULE.

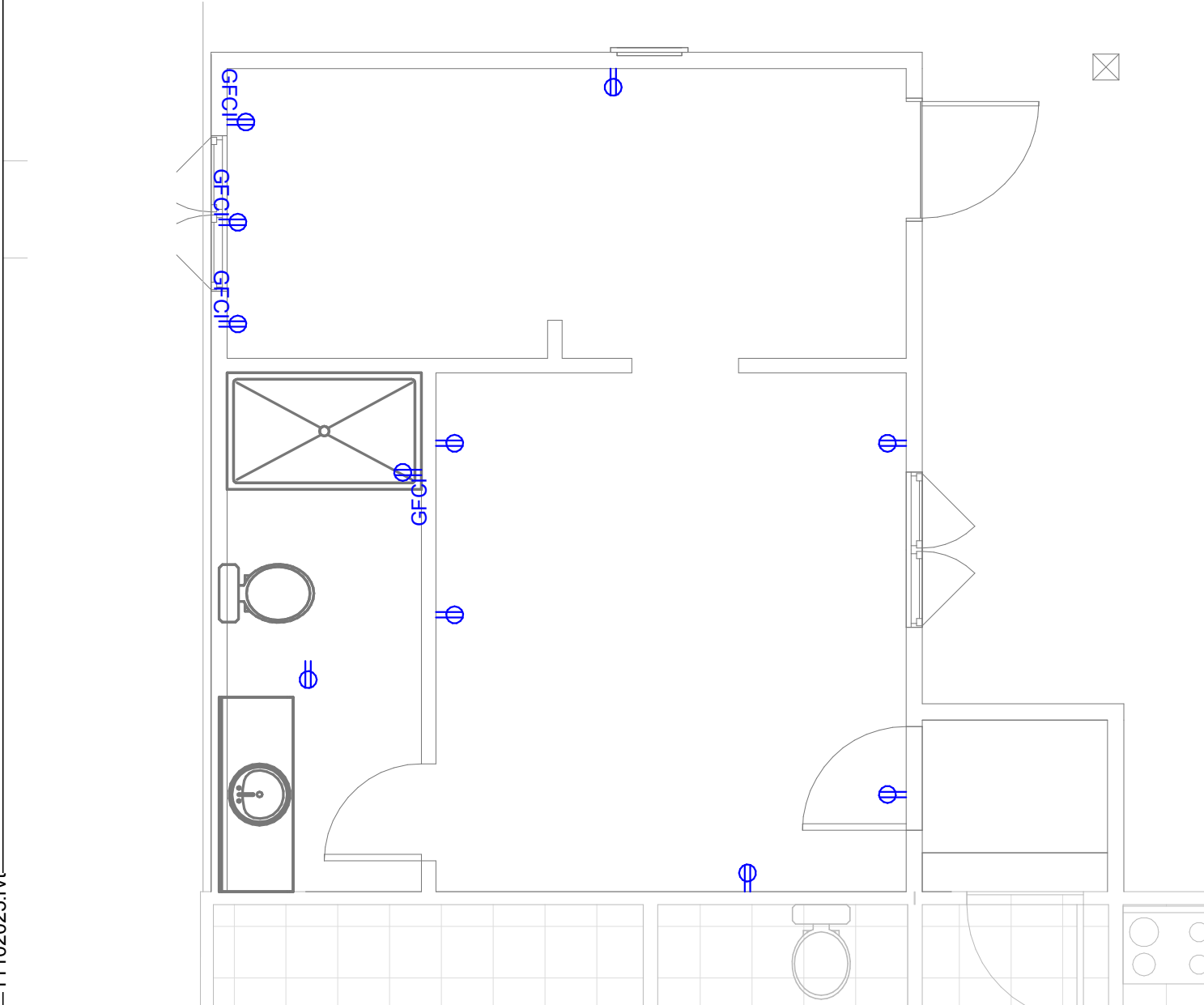
NEW WINDOW SCHEDULE										
NO.	QTY	ROUGH OPENING WIDTH	ROUGH OPENING HEIGHT	MFR.	MODEL	HEAD HEIGHT	SILL HT (IN)	Tempered Glass	T-24 REQ U factor	T-24 REQ SHGC
1	2	4'-0"	4'-0"			<varies>	<varies>			

ALL WINDOWS SHALL BE WOOD AND SHALL MATCH THE COLOR OF THE EXISTING PROJECT WINDOWS TO MAINTAIN ARCHITECTURAL CONSISTENCY.

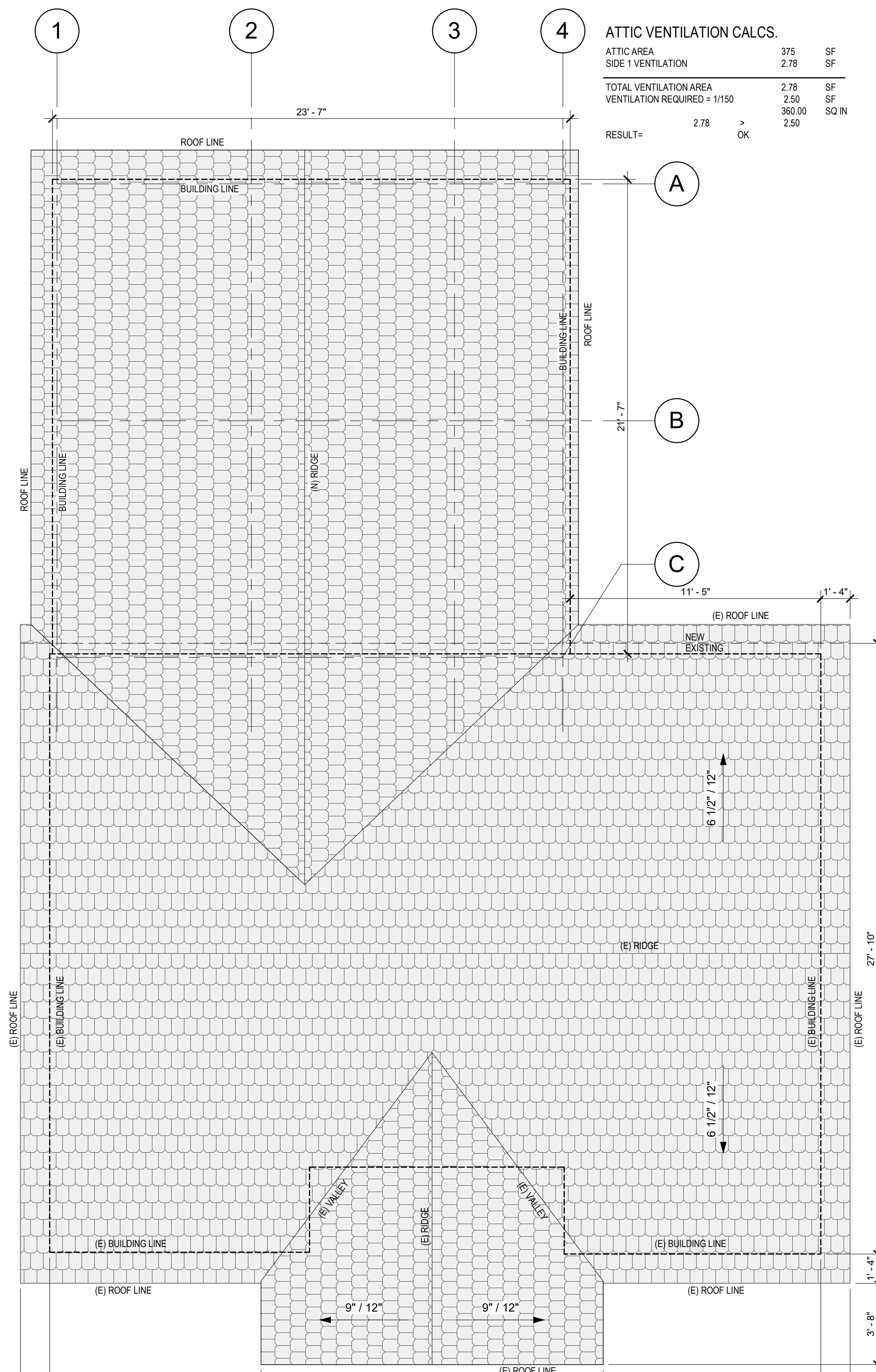
UNIT 1 ADDITION - DOOR SCHEDULE						
No.	WIDTH	HEIGHT	Tempered Glass	U-Factor	SHGC	QTY
A	3'-0"	6'-8"				1
B	2'-8"	6'-8"				1
C	2'-6"	6'-8"				1



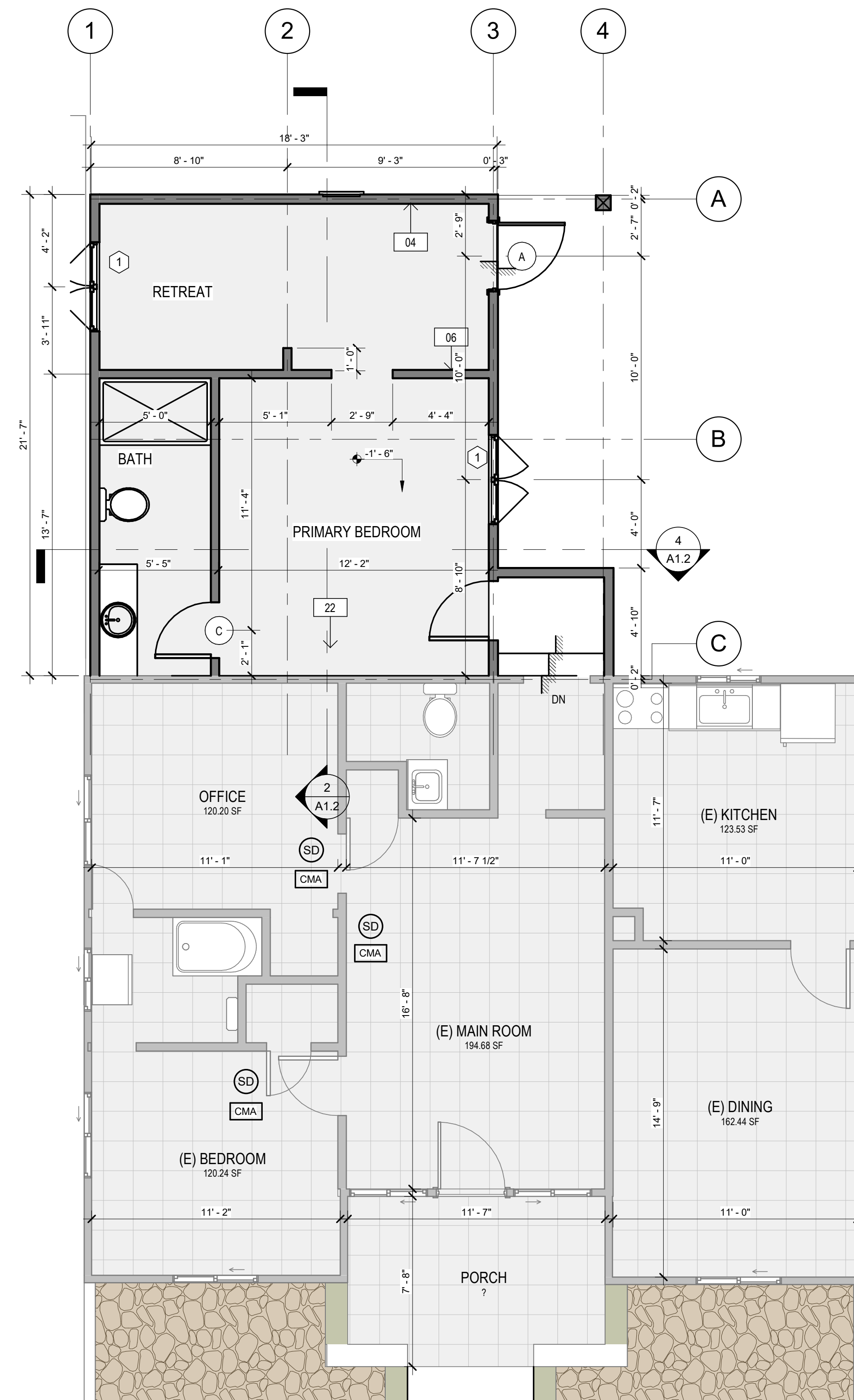
4 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



3 PRIMARY DWELLING ADDITION - ELECTRICAL POWER PLAN
SCALE: 1/4" = 1'-0"



2 PRIMARY DWELLING UNIT - ROOF PLAN
SCALE: 1/4" = 1'-0"



1 PRIMARY DWELLING UNIT - FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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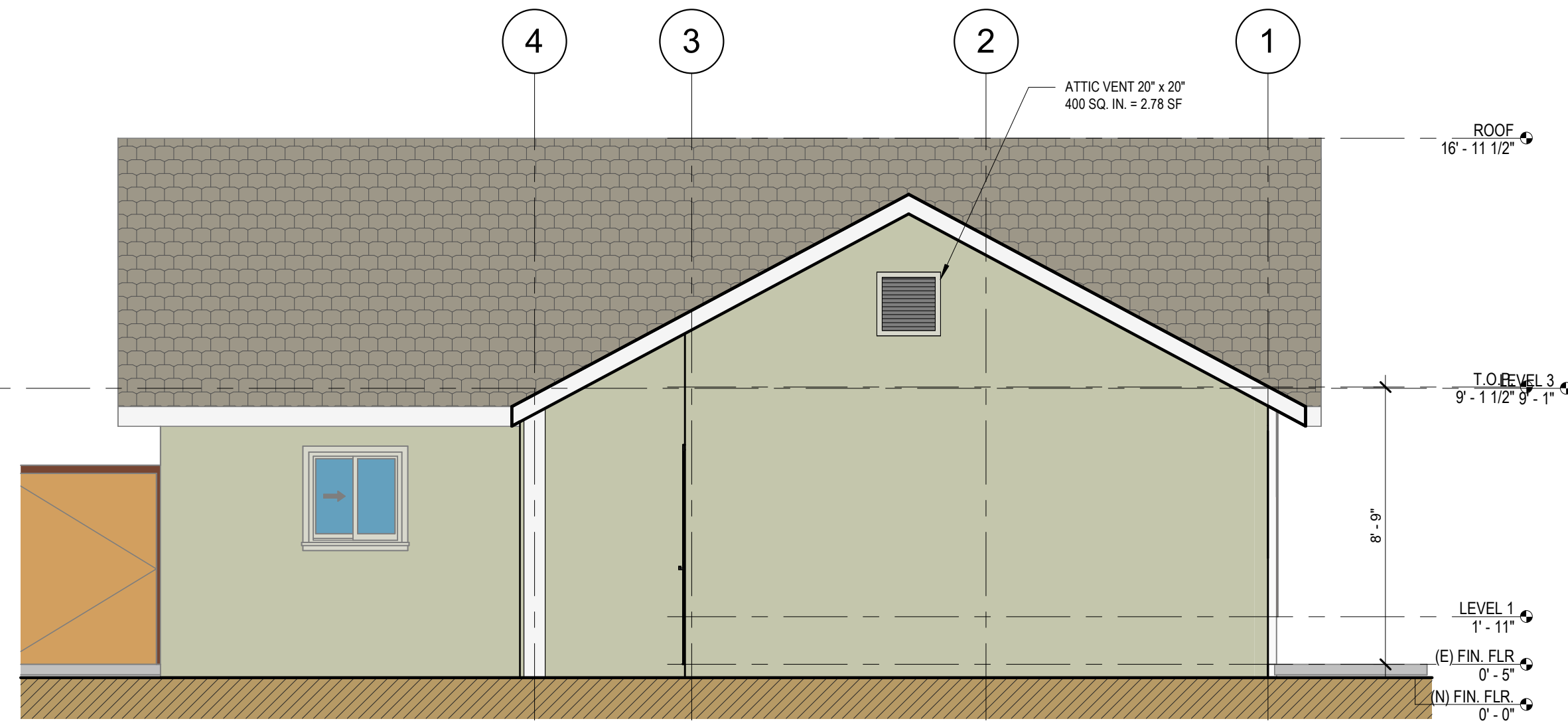
JOB NO. 2023-001
DATE: 2023-001

SHEET TITLE:
FLOOR PLANS AND ROOF PLAN - PRIMARY DWELLING UNIT & ADDITION

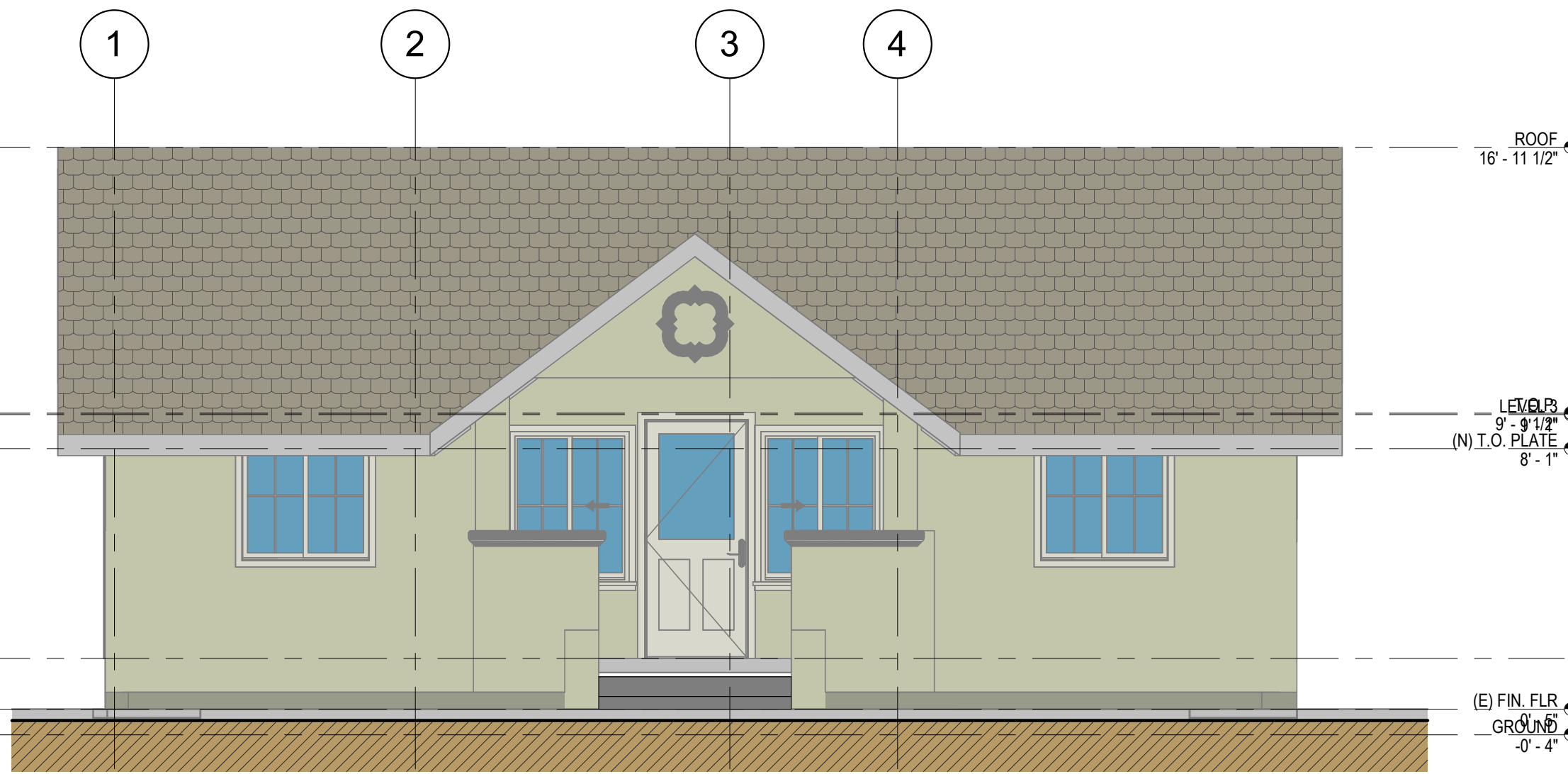
SHEET NO.

A1.1

FILE NAME: C:\Users\theredag\OneDrive - A0\Desktop\TEMP\Panama - 920 N Eleanor\920 N Eleanor ST PLOT DATE: 05/18/23



6 PRIMARY DWELLING UNIT - WEST ELEVATION (REAR)
SCALE: 1/4" = 1'-0"



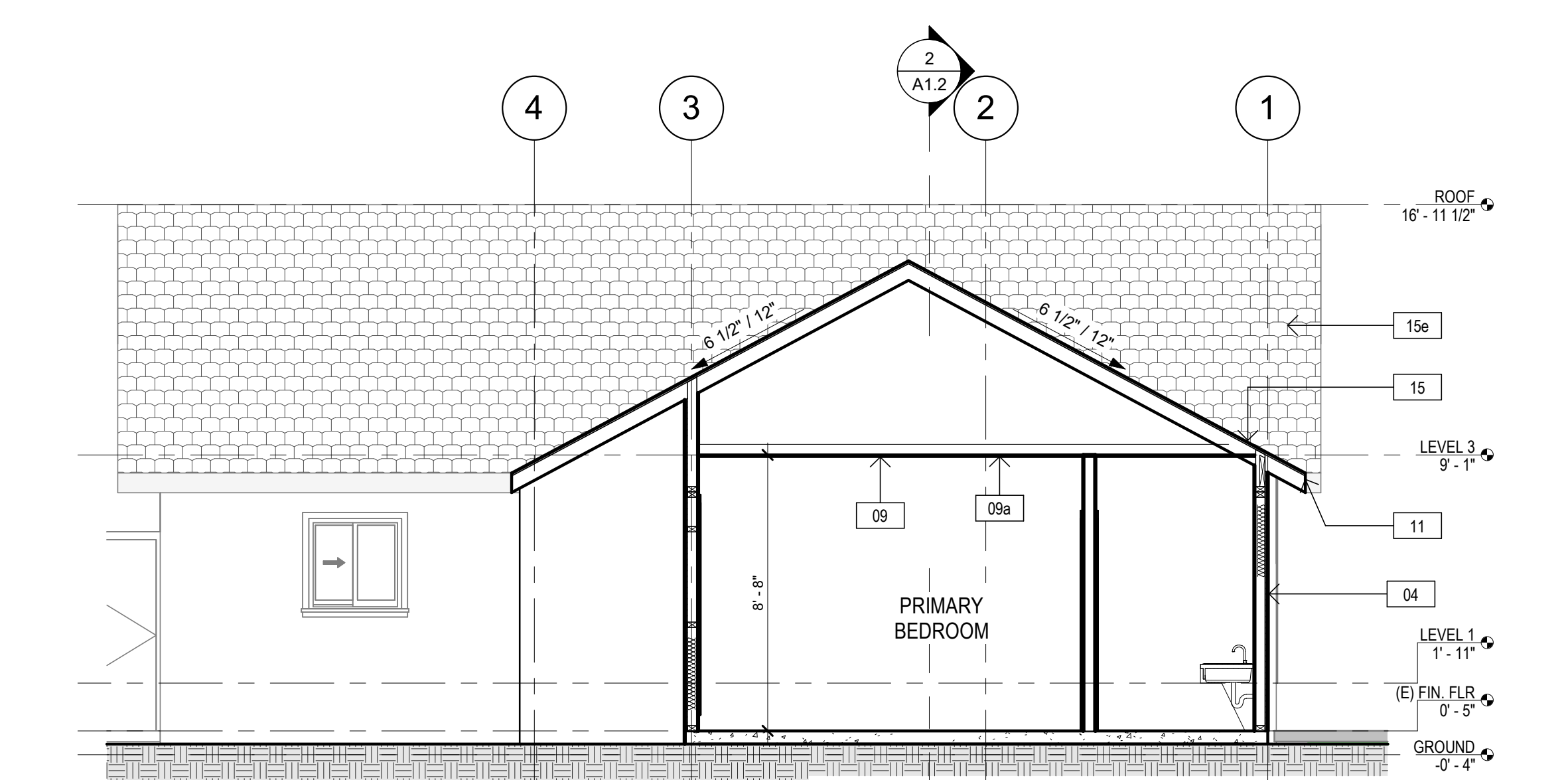
5 PRIMARY DWELLING UNIT - EAST ELEVATION (FRONT)
SCALE: 1/4" = 1'-0"

KEYNOTES	
Key Value	Keynote Text
04	NEW EXTERIOR 2X4 STUDS @ 16" O.C. EXTERIOR WALL W/ FIBERGLASS BATT INSULATION. REFER TO CAL-CERTS ON SHEETS T24 FOR ADDITIONAL INFO. R-# 7/8" THK. EXTERIOR PLASTER FINISH OVER PAPER BACKED METAL LATH ON 1/2" THK. EXT. GRADE PLYWOOD SHEATING. COLOR AND TEXTURE PER ELEVATIONS/FINISH SCHEDULE
09	NEW 2X CEILING JOIST WITH BATT INSULATION. REFER TO FRAMING PLAN TITLE 24
09a	NEW GYPSUM BOARD CEILING
11	NEW 2X FASCIA OR BARGE, PRIME AND PAINT
15	NEW ASPHALT SHINGLE ROOFING, CLASS "A" MIN. ROOF PER MFG RECOMMENDATIONS AND ICC #ESR-1017
15e	EXISTING ASPHALT SHINGLE ROOFING. VERIFY CLASS "A" MIN. ROOF PER MFG RECOMMENDATIONS AND ICC #ESR-1017
19	NEW DUAL GLAZED WINDOW WITH 0.8 U-FACTOR AND 0.8 SHGC PER TITLE 24. IDENTIFICATION SHALL BE PER SECTION R308.1. SEE WINDOW SCHEDULE
22	NEW DOOR. SEE DOOR SCHEDULE.

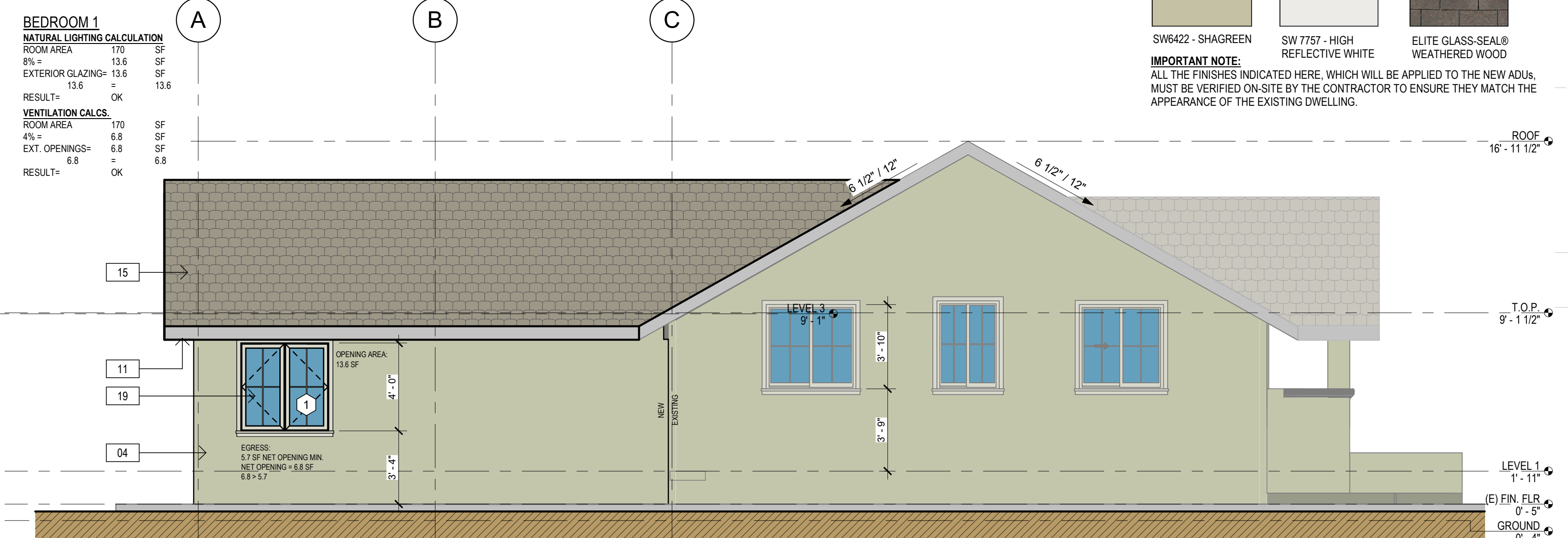
EXTERIOR FINISHES

WALL COLOR:	SW6422 - SHAGREEN
WINDOW & DOOR TRIM:	SW 7757 - HIGH REFLECTIVE WHITE
EXPOSED RAFTERS:	SW 7757 - HIGH REFLECTIVE WHITE
KNEE BRACES:	SW 7757 - HIGH REFLECTIVE WHITE
ROOF:	ELITE GLASS-SEAL® WEATHERED WOOD

IMPORTANT NOTE:
ALL THE FINISHES INDICATED HERE, WHICH WILL BE APPLIED TO THE NEW ADUS, MUST BE VERIFIED ON-SITE BY THE CONTRACTOR TO ENSURE THEY MATCH THE APPEARANCE OF THE EXISTING DWELLING.



4 PRIMARY DWELLING UNIT (ADDITION) - BUILDING SECTION 2
SCALE: 1/4" = 1'-0"



3 PRIMARY DWELLING UNIT - SOUTH ELEVATION (LEFT)
SCALE: 1/4" = 1'-0"

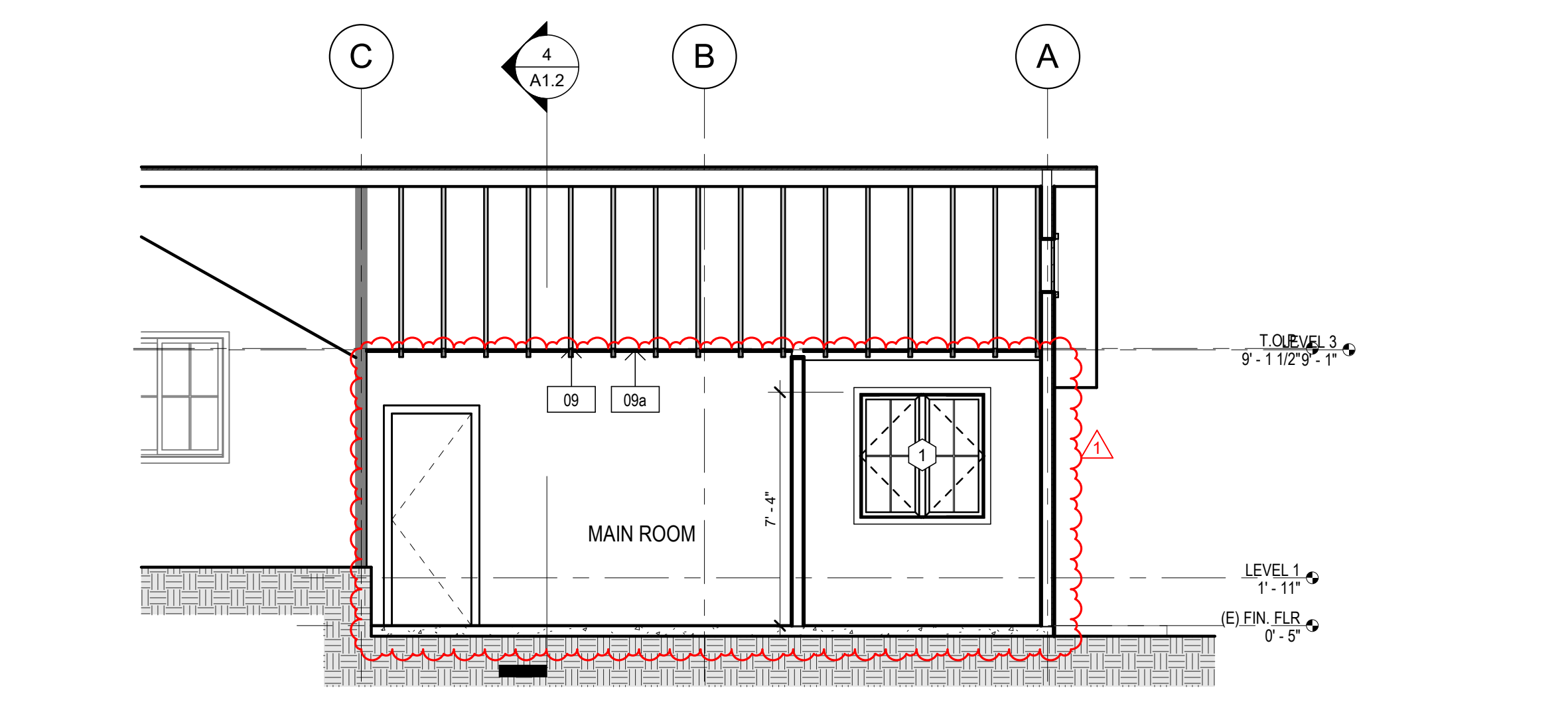
BEDROOM 1

NATURAL LIGHTING CALCULATION

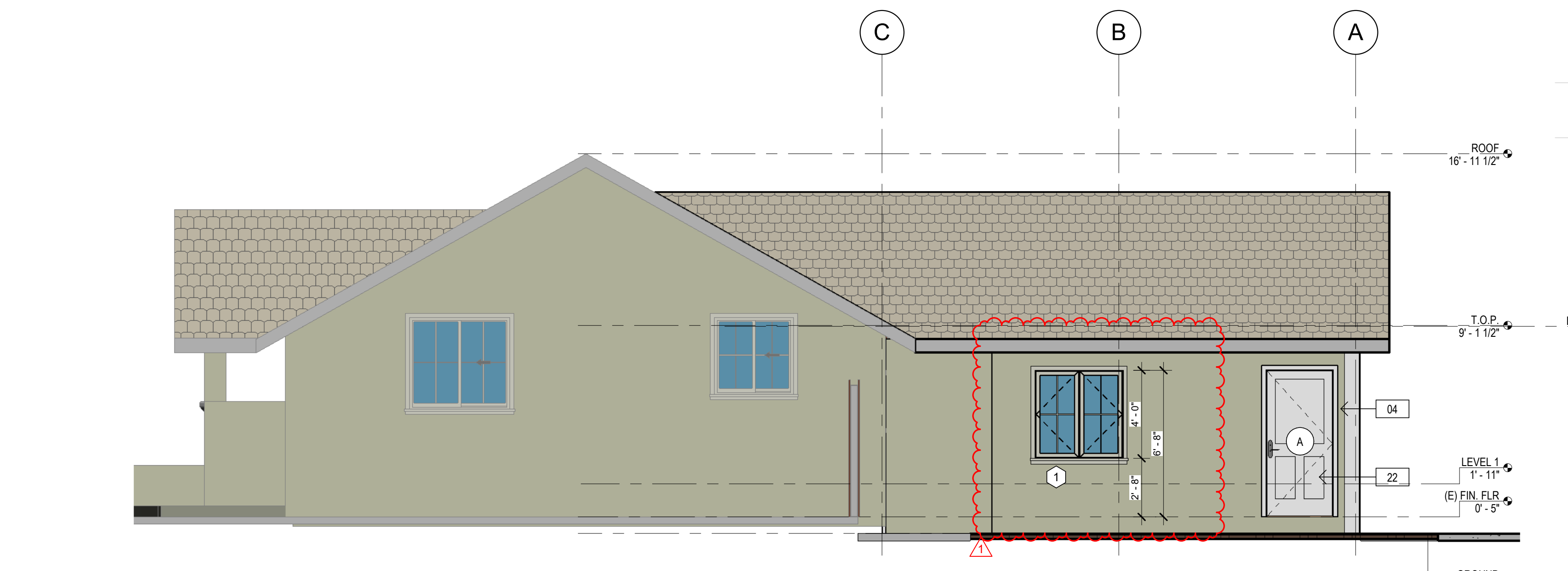
ROOM AREA	170	SF
8% =	13.6	SF
EXTERIOR GLAZING=	13.6	SF
RESULT=	OK	

VENTILATION CALCS.

ROOM AREA	170	SF
4% =	6.8	SF
EXT. OPENINGS=	6.8	SF
RESULT=	OK	



2 PRIMARY DWELLING UNIT (ADDITION) - BUILDING SECTION 1
SCALE: 1/4" = 1'-0"



1 PRIMARY DWELLING UNIT - NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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PROJECT:
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POMONA, CA 91767

JOB NO. 2023-001
DATE: 2023-001

SHEET TITLE:
PRIMARY DWELLING UNIT - ELEVATIONS & BUILDING SECTIONS

SHEET NO.
A1.2

KEYNOTES

Key Value	Keynote Text
06	NEW INTERIOR WALL 2X4 STUDS @ 16" O.C. W/ 1/2" THK GYP BD EACH SIDE
09a	NEW GYPSUM BOARD CEILING
15	NEW ASPHALT SHINGLE ROOFING, CLASS "A" MIN. ROOF PER MFG RECOMMENDATIONS AND ICC #ESR-1017

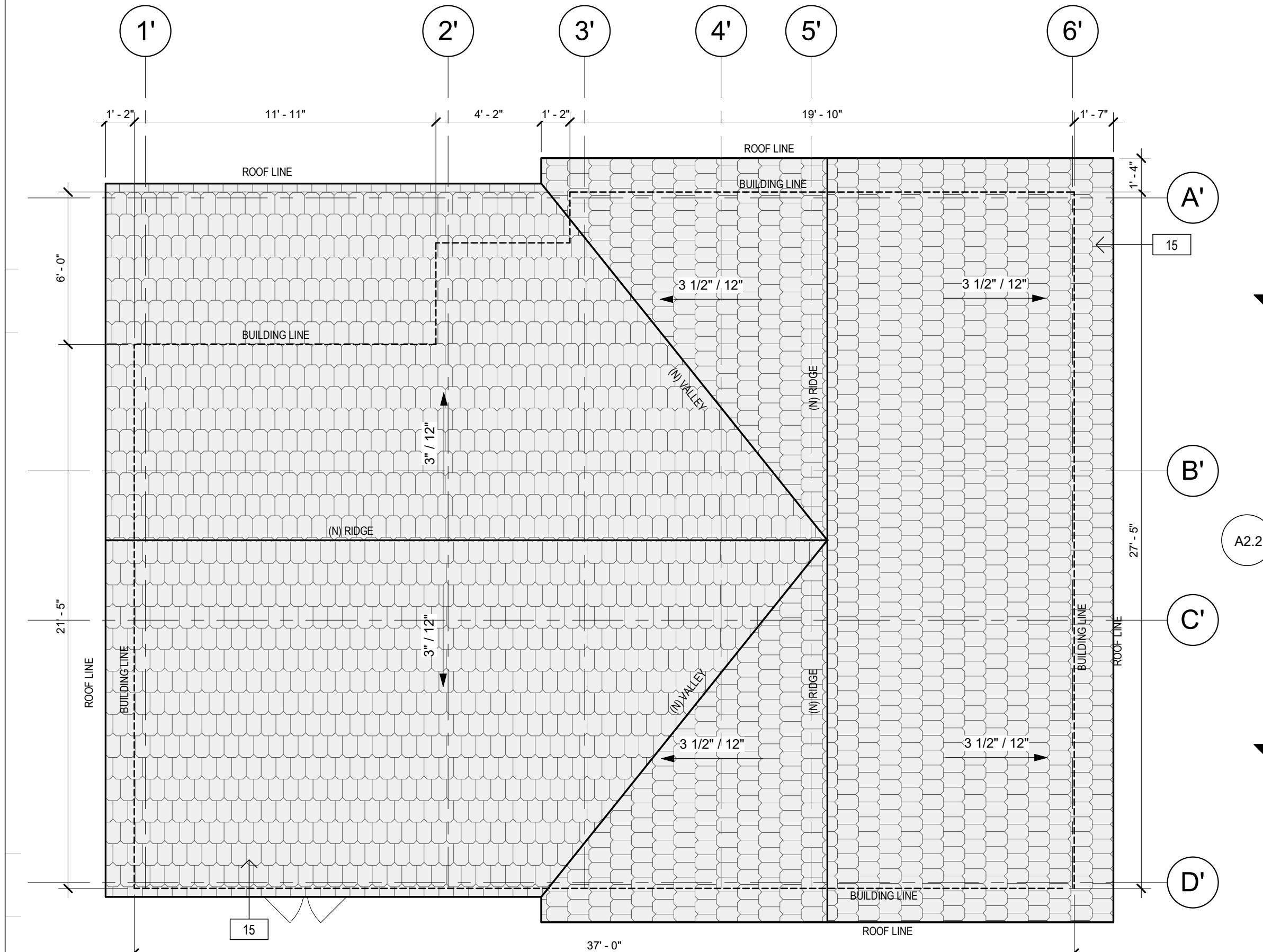
NEW DOOR SCHEDULE UNIT 3				
MARK	WIDTH	HEIGHT	QTY	COMMENTS
A	3'-0"	6'-8"	1	
B	6'-0"	6'-8"	1	DOUBLE SLIDING DOOR (GLASS)
C	2'-6"	6'-8"	6	
D	6'-0"	6'-8"	1	CLOSET SLIDING DOOR
E	<varies>	6'-8"	2	CLOSET SLIDING DOOR
K	5'-0"	6'-8"	1	CLOSET SLIDING DOOR

WINDOW SCHEDULE UNIT 3					
MARK	ROUGH OPENING WIDTH	ROUGH OPENING HEIGHT	QTY	Operation	NEW VS EXISTING
1	4'-0"	4'-0"	4	CASEMENT DOUBLE	03 - New Construction
3	2'-2"	3'-0"	1	SINGLE HUNG	03 - New Construction
9	4'-0"	3'-4"	1		03 - New Construction

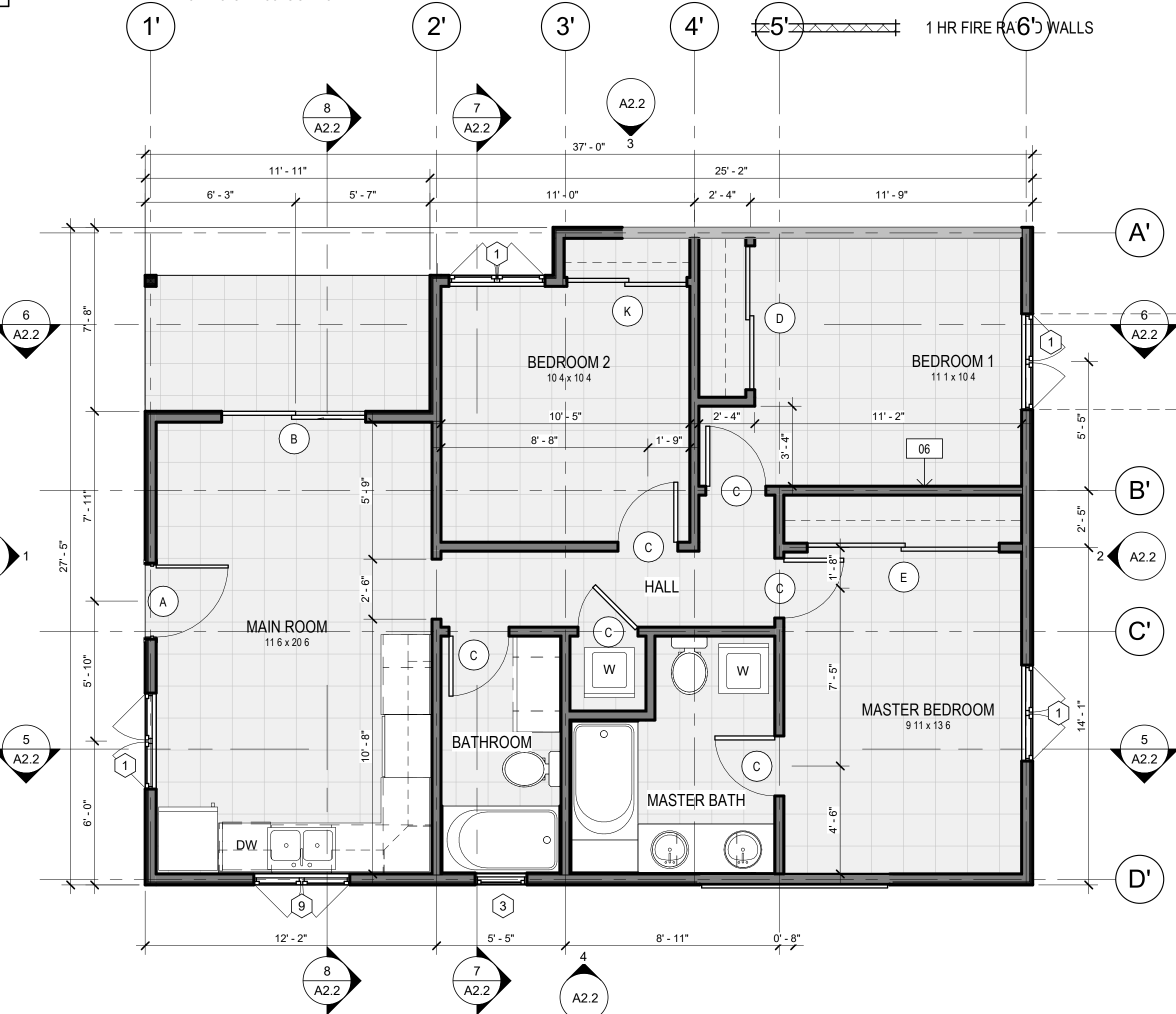
ALL WINDOWS SHALL BE WOOD AND SHALL MATCH THE COLOR OF THE EXISTING PROJECT WINDOWS TO MAINTAIN ARCHITECTURAL CONSISTENCY.

FLOOR PLAN LEGEND

- EXISTING WALLS TO BE REMOVED
- ==== EXISTING WALLS TO REMAIN
- ===== NEW 2x STUD WALLS
- 1 HR FIRE RA6" WALLS



4 ACCESSORY DWELLING UNIT - PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



3 ACCESSORY DWELLING UNIT - PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL GENERAL NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH ALL CODES, RULES & REGULATIONS OF GOVERNING AGENCIES & SHALL COMPLY WITH THE REQUIREMENTS OF THE SERVING POWER & TELEPHONE COMPANIES.
- ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO WEATHER SHALL BE WATERPROOFED.
- RECEPTACLES IN BATHROOM SHALL BE INSTALLED ABOVE WORK TOP UNLESS OTHERWISE NOTED.
- RECEPTACLES SHALL BE INSTALLED VERTICALLY +12" (APPROX.) ABOVE FLOOR.
- WALL SWITCHES TO BE +42" ABOVE FLOOR, UNLESS NOTED OTHERWISE.
- PROVIDE GROUND FAULT CIRCUIT INTERRUPTER (GFI) PROTECTION AT ALL BATHROOMS, POWDER ROOMS, OUTDOOR RECEPTACLES, GARAGES AND ALL KITCHEN RECEPTACLES SERVING THE COUNTERTOP SURFACES. ALSO AT LAUNDRY, UTILITY, AND WET BAR SINKS WHERE THE RECEPTACLES ARE INSTALLED WITHIN 6 FEET OF THE OUTSIDE EDGE OF THE SINK.
- RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET, MEASURED HORIZONTALLY, FROM AN OUTLET IN THAT SPACE.
- A RECEPTACLE OUTLET SHALL BE INSTALLED IN ANY USABLE WALL SPACE 2 FT. OR MORE IN WIDTH.
- PROVIDE 2 METHODS OF ELECTRICAL GROUNDING:
 - CLAMP AT HOSEBIB.
 - ONE ADDITIONAL #4 BAR-20" LONG IN FOOTING AT ELECTRICAL METER LOCATION FOR UFER GROUND.
- BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY A MINIMUM OF ONE 20-AMPERE BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS BUT MAY SERVE MORE THAN ONE BATHROOM.
- ALL 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAY, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI), COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. THIS INCLUDES LIGHTS, RECEPTACLES, FANS AND SMOKE DETECTORS.
- EXCEPTION 1: WHERE RMC, IMC, EMT OR STEEL ARMORED CABLE, TYPE AC, MEETING THE REQUIREMENTS OF NEC 250.118 USING METAL OUTLET, IT SHALL BE PERMITTED TO INSTALL A COMBINATION AFCI AT THE FIRST OUTLET TO PROVIDE PROTECT FOR THE REMAINING PORTION OF THE BRANCH CIRCUIT NEC 210.12
- APPLIANCE CIRCUITS ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS ONLY AND CANNOT SERVE DISHWASHER, MICROWAVE, RANGE HOOD, GARBAGE DISPOSAL OR APPLIANCE, LOCATED WITHIN CABINETS OR CUPBOARDS, OR LOCATED MORE THAN 1.7M (5-1/2 FT) ABOVE FLOOR.
- BATH LIGHTING NOT TO BE ON AN OUTLET CIRCUIT. HIGH EFFICACY LUMINARIES MUST BE PIN BASED.
- OCCUPANT SENSOR AND MOTION SENSORS SHALL BE CAPABLE OF AUTOMATICALLY TURNING OFF ALL LIGHTS IN AN AREA NO MORE THAN 30 MINUTES AFTER THE AREA HAS BEEN VACATED. ALL 125-VOLT, 15- AND 20-AMPERE OUTLETS IN UNIT SHALL BE LISTED TAMPER-RESISTANT PER NEC 406.11 AND 210.52.

ELECTRICAL PLAN NOTES & LEGEND

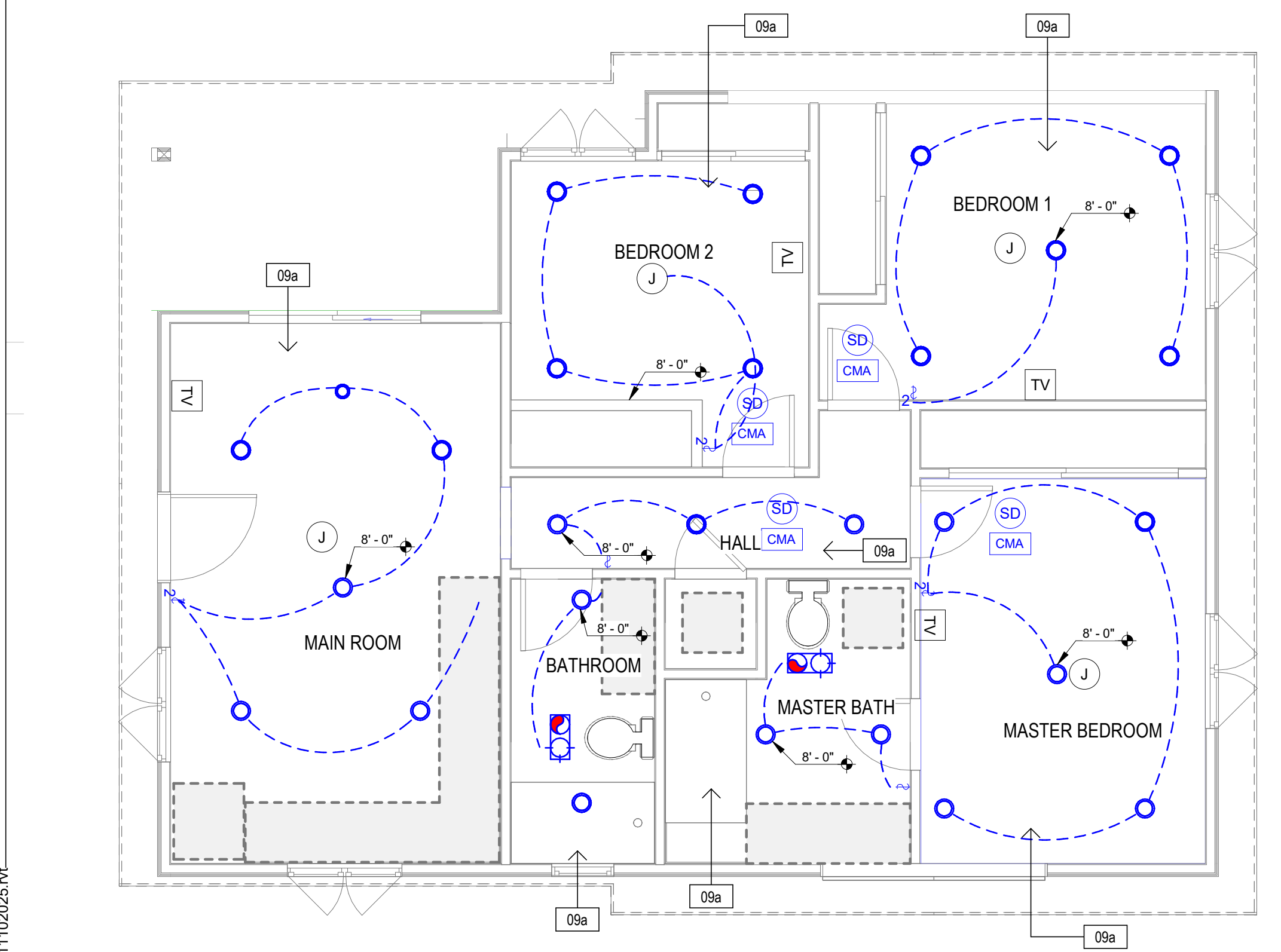
- MECHANICAL VENTILATION FOR TOILET COMPARTMENTS & BATHROOMS SHALL BE CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR.
- PROVIDE LISTED NON-REMOVABLE TYPE BACK FLOW PREVENTION DEVICE AT ALL HOSE BIBBS.
- SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE.
- ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15 AND 20-AMPERE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
- BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY A MINIMUM OF ONE 20-AMPERE BRANCH CIRCUIT.
- SMOKE DETECTORS TO BE HARDWIRE W/ BATTERY BACK-UP TO COMPLY WITH TITLE 24, 310.9.1 REGARDING FIRE WARNING SYSTEM.

ELECTRICAL SYMBOLS

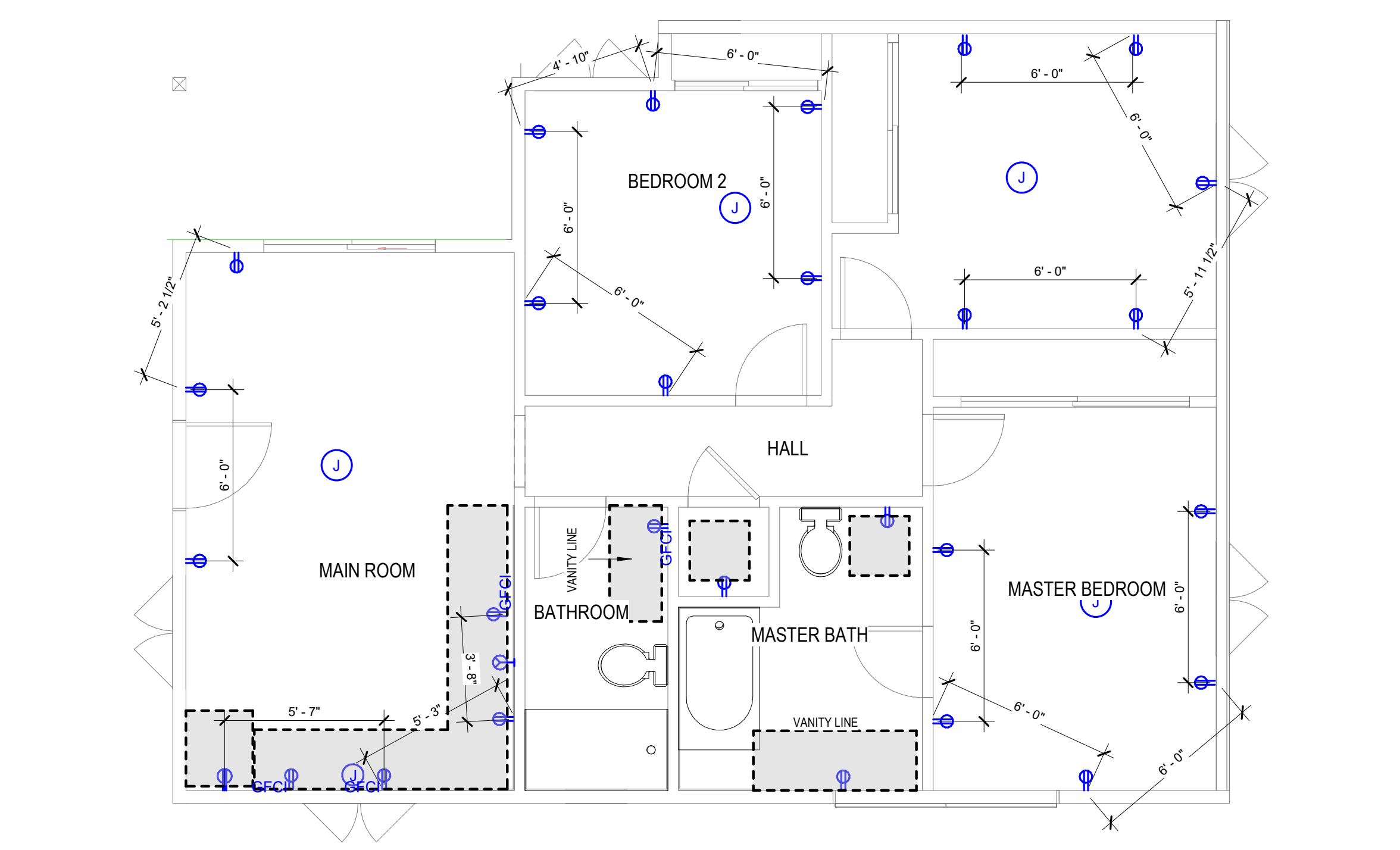
- POWER/DATA:**
- ⊖ TAMPER RESISTANT RECEPTACLE WALL MOUNTED, 110V U.O.D.
 - GFCI - WATER PROOF GFCI
 - CT - COOKTOP/GRILL 220V
 - O - OVEN 220V
 - MW - MICROWAVE 110V
 - GD - GARBAGE DISPOSAL 110V
 - R - RANGE 220V
 - C - COUNTER HEIGHT 6" ABV COUNTER
 - IDU - INDOOR UNIT POWER 84" AFF
 - WD - WASHER/DRYER (30 AMP/220 AMP)
- SUBPANEL
- SWITCHING:**
- § SWITCH, MOUNT AT 43" AFF

LIGHTING SYMBOLS

- LIGHTING:**
- ⊙ SURFACE MOUNTED CEILING LIGHT FIXTURE
 - CEILING RECESSED LIGHTING, ZERO CLEARANCE IC RATED LED BULB
 - WP CEILING RECESSED LIGHTING, ZERO CLEARANCE IC RATED LED BULB WATER RESISTANT
 - ⊖ WALL MOUNTED LIGHT FIXTURE (AT BATHROOM)
 - ⊖ WALL MOUNTED LIGHT FIXTURE
 - ⊖ J-BOX FLUSH CEILING MOUNTED
- MECHANICAL:**
- ⊖ RECESSED COMBINATION LIGHT/EXHAUST FAN, SWITCH CONTROLLED MIN. 50 CFM TO BE DUCTED TO EXTERIOR & MIN. 5 AIR CHANGES PER HOUR (1203.3)
- FIRE DETECTION:**
- ⊖ SMOKE ALARM, ICBO APPROVED, CEILING MOUNTED, HARDWIRED AND W/ BATTERY BACKUP (CRC R314)
 - ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT:
 - SHALL COMPLY WITH THE FOLLOWING:
 - AT LEAST 3' FROM THE TIP OF THE BLADE OF A CEILING MOUNTED FAN
 - NOT LESS THAN 3' FROM THE DOOR OPENING OF A BATHROOM
 - AT LEAST 20' FROM A COOKING APPLIANCE OR 10' FROM COOKING APPLIANCE WITH THE ALARM IS AN IONIZING SMOKE ALARM PER NFPA 72 SECTION 29.8.3.4 ITEM 4
 - AT LEAST 3' FROM SUPPLY REGISTERS OF A HEATING/COOLING SYSTEM
- ⊖ PROVIDE CARBON MONOXIDE ALARM (CRC R315) PERMANENTLY WIRED WITH BATTERY BACKUP. ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT



2 ACCESSORY DWELLING UNIT - CEILING PLAN / LIGHTING
SCALE: 1/4" = 1'-0"



1 ACCESSORY DWELLING UNIT - ELECTRICAL PLAN PROPOSED
SCALE: 1/4" = 1'-0"

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JOB NO. 2023-001
DATE: 2023-001

SHEET TITLE:
FLOOR AND ROOF PLANS - ACCESSORY DWELLING UNIT / ELECTRICAL PLAN & RCP

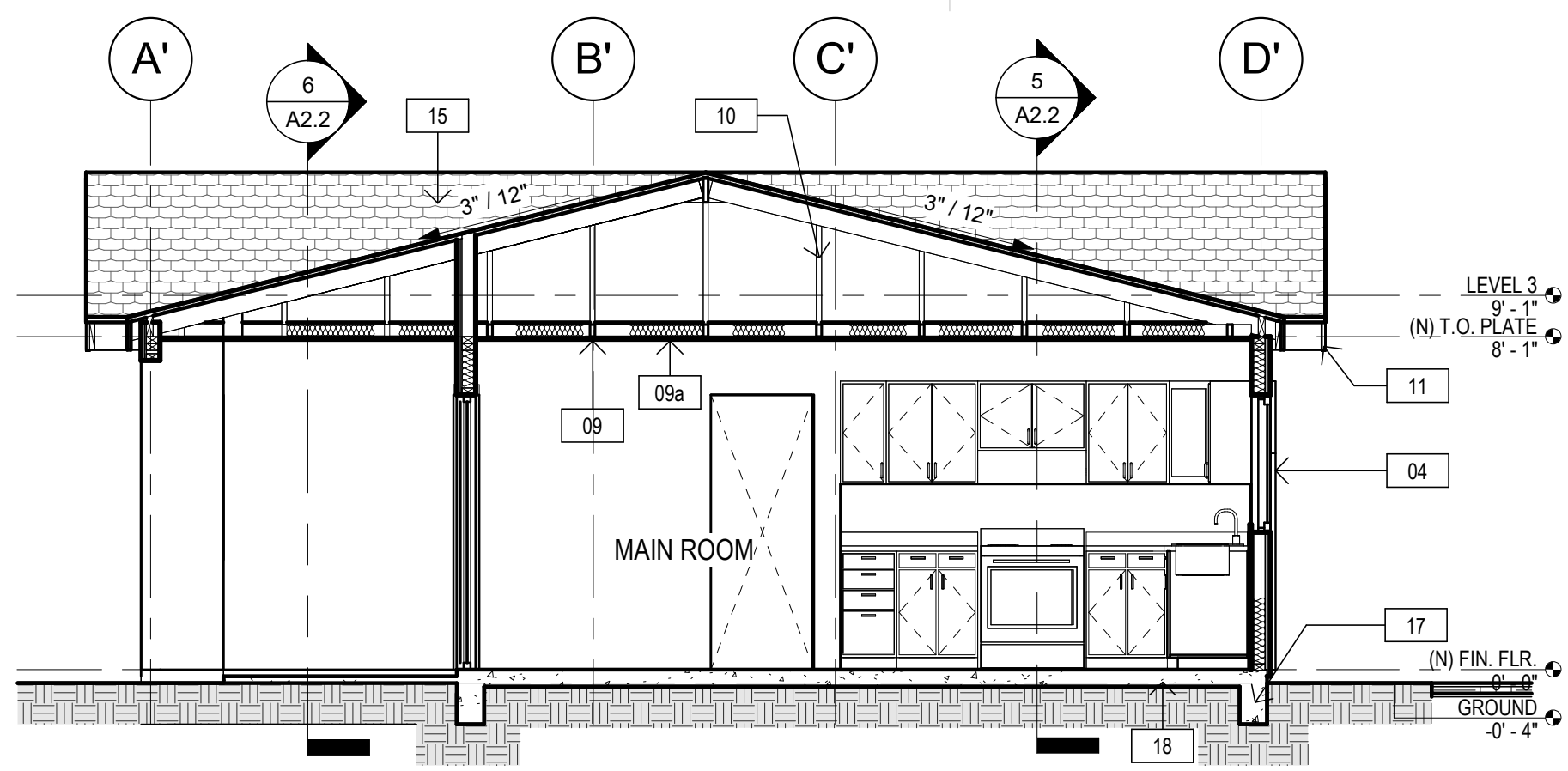
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A2.0

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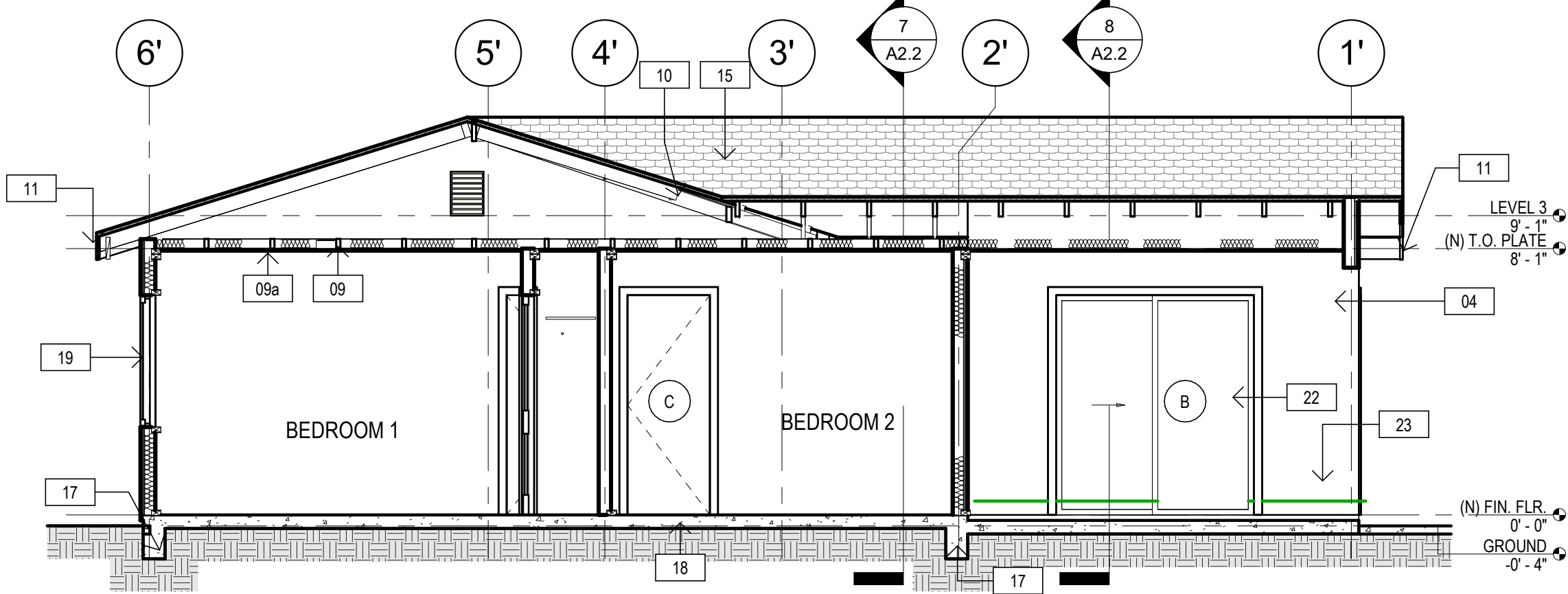
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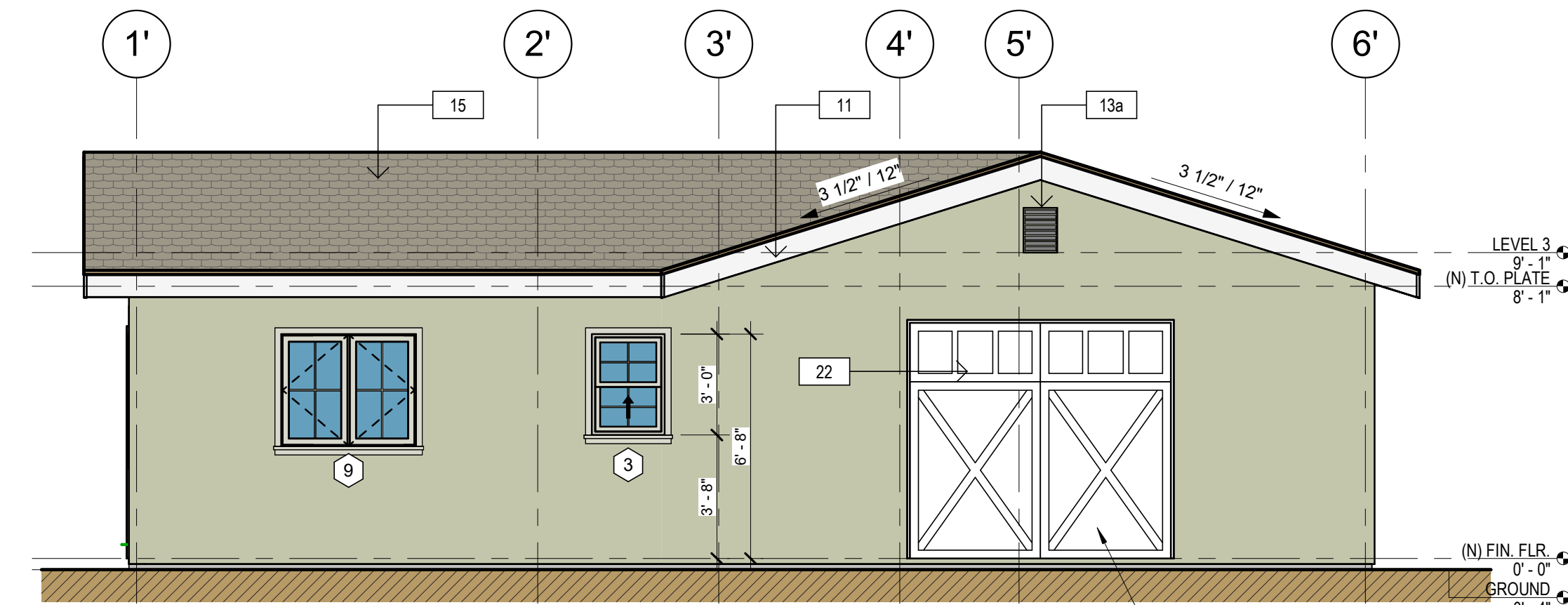
8 ACCESSORY DWELLING UNIT - BUILDING SECTION 4

SCALE: 1/4" = 1'-0"



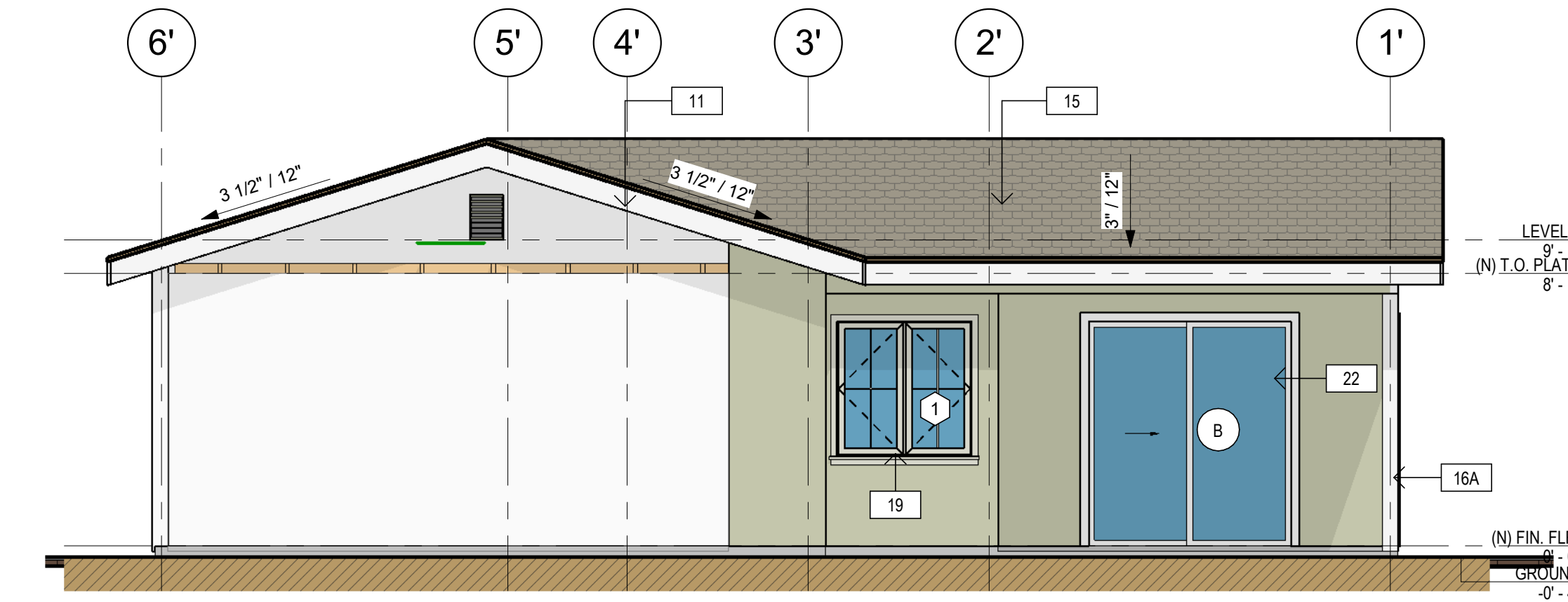
6 ACCESSORY DWELLING UNIT - BUILDING SECTION 2

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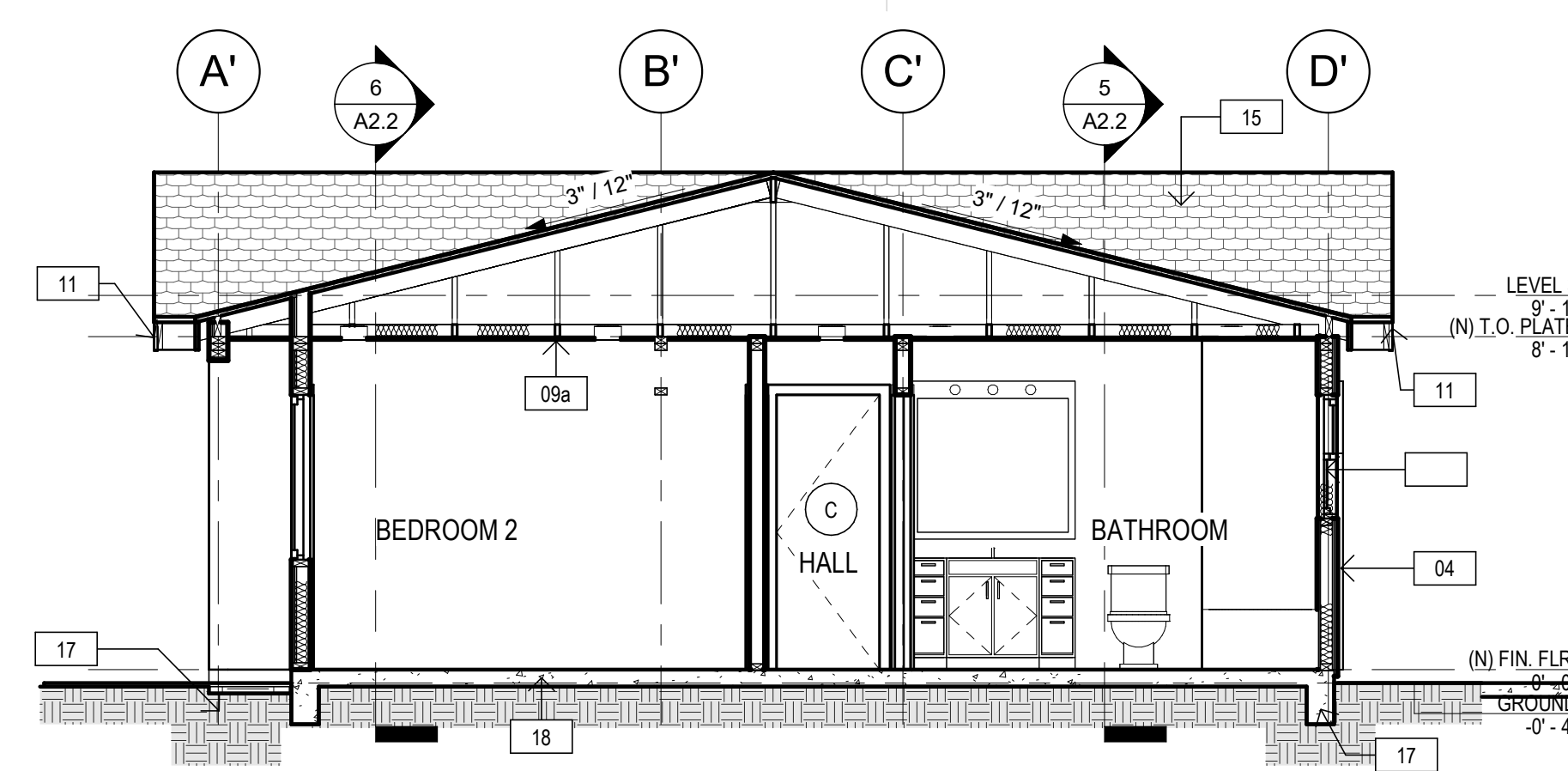
4 ACCESSORY DWELLING UNIT - RIGHT ELEVATION (EAST)

SCALE: 1/4" = 1'-0"



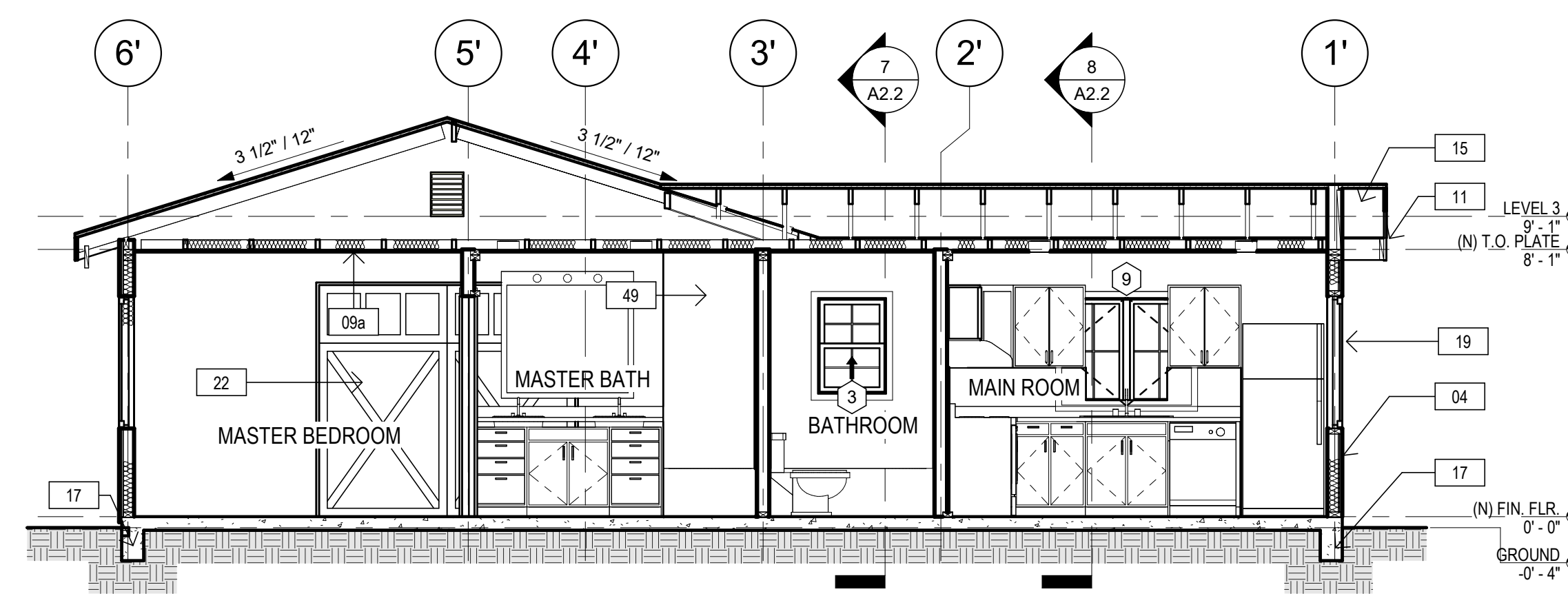
3 ACCESSORY DWELLING UNIT - LEFT ELEVATION (WEST)

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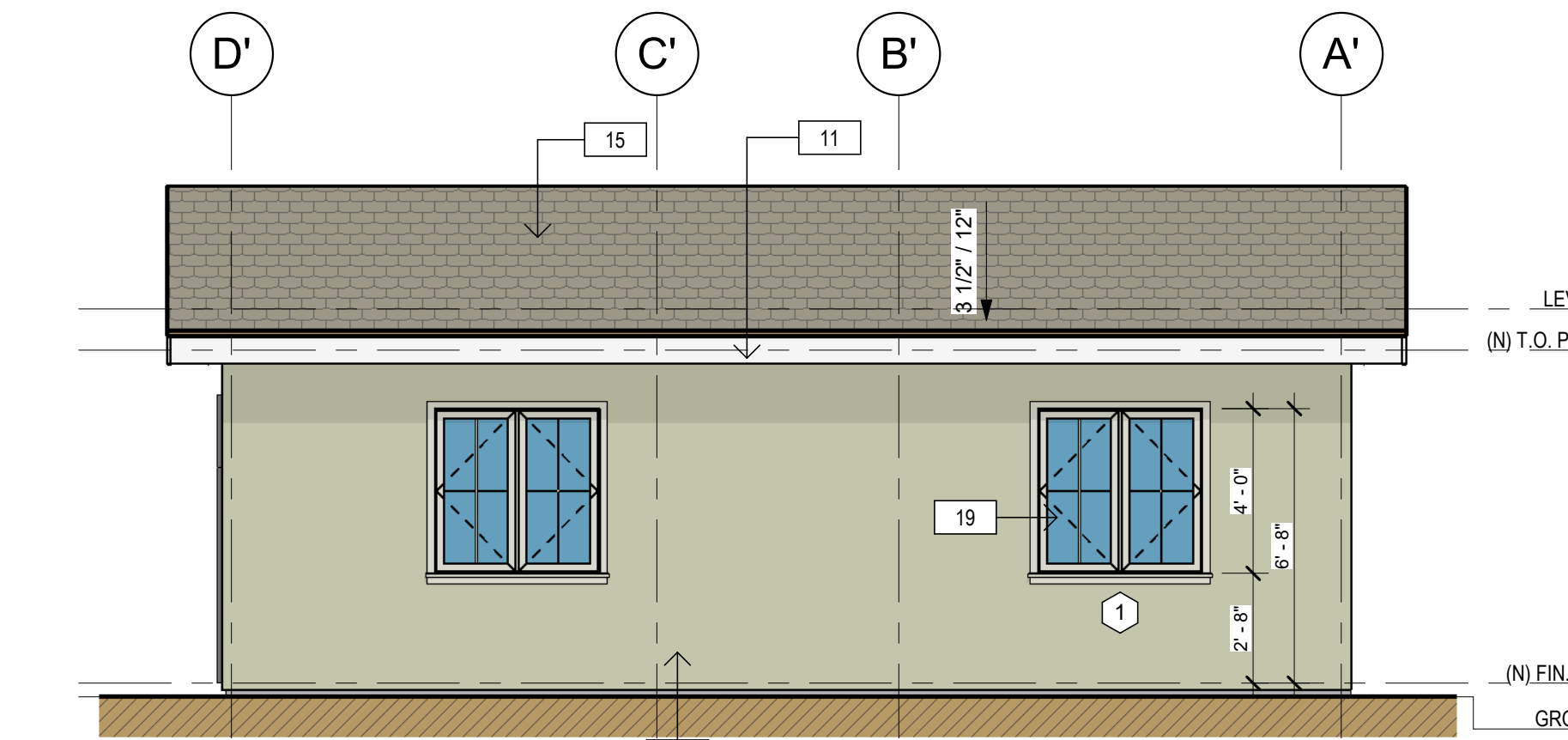
7 ACCESSORY DWELLING UNIT - BUILDING SECTION 3

SCALE: 1/4" = 1'-0"



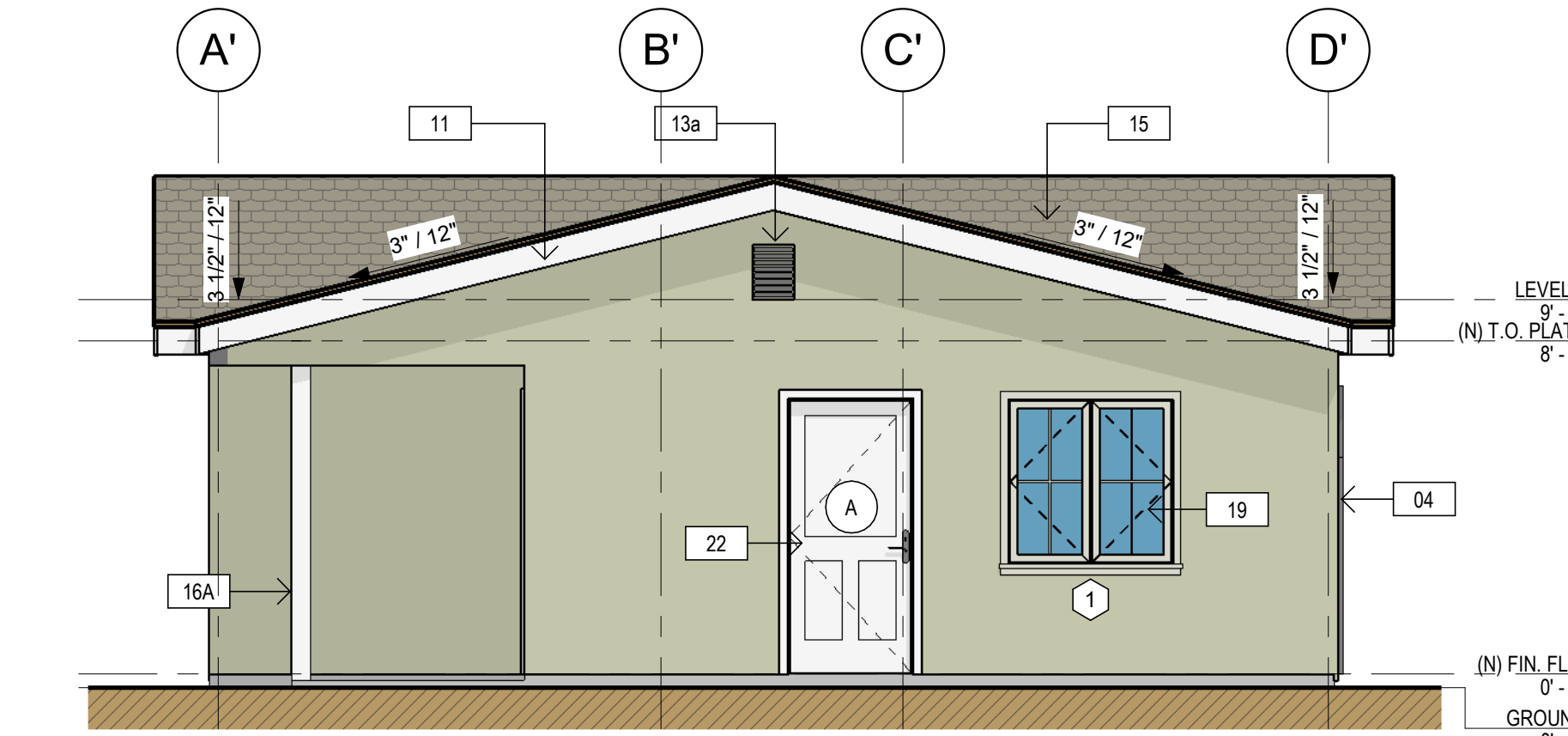
5 ACCESSORY DWELLING UNIT - BUILDING SECTION 1

SCALE: 1/4" = 1'-0"



2 ACCESSORY DWELLING UNIT - REAR ELEVATION (NORTH)

SCALE: 1/4" = 1'-0"



1 ACCESSORY DWELLING UNIT - FRONT ELEVATION (SOUTH)

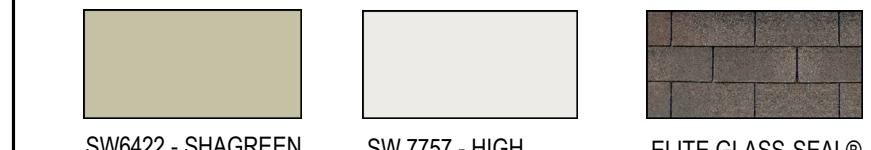
SCALE: 1/4" = 1'-0"

KEYNOTES

Key Value	Keynote Text
04	NEW EXTERIOR 2X4 STUDS @ 16" O.C. EXTERIOR WALL W/ FIBERGLASS BATT INSULATION. REFER TO CAL-CERTS ON SHEETS T24 FOR ADDITIONAL INFO. R-# 7/8" THK. EXTERIOR PLASTER FINISH OVER PAPER BACKED METAL LATH ON 1/2" THK. EXT. GRADE. PLYWOOD SHEATHING. COLOR AND TEXTURE PER ELEVATIONS/FINISH SCHEDULE
09	NEW 2X CEILING JOIST WITH BATT INSULATION. REFER TO FRAMING PLAN TITLE 24
09a	NEW GYPSUM BOARD CEILING
10	NEW 2X ROOF RAFTERS, SEE FRAMING PLAN 2x FASCIA OR BARGE. PRIME AND PAINTED. 26 GA. CORROSION RESISTANT WEEP SCREED. 14 x 18 GALV. GABLE END VENTS. PAINT TO MATCH EXT. PLASTER FINISH. 12 x 24 GALV. DORMER VENTS. PAINT TO MATCH ROOF COLOR
11	NEW 2X FASCIA OR BARGE, PRIME AND PAINT
13a	NEW ATTIC VENT
15	NEW ASPHALT SHINGLE ROOFING. CLASS "A" MIN. ROOF PER MFG RECOMMENDATIONS AND ICC #ESR-1017
16A	
17	NEW FOOTING. SEE STRUCTURAL
18	NEW CONCRETE SLAB & FOOTING. SEE STRUCTURAL
19	NEW DUAL GLAZED WINDOW WITH 0.8 U-FACTOR AND 0.8 SHGC PER TITLE 24. IDENTIFICATION SHALL BE PER SECTION R308.1. SEE WINDOW SCHEDULE
22	NEW DOOR. SEE DOOR SCHEDULE.
23	NEW FLOORING AND BASEBOARDS. PER OWNER SPEC
49	CERAMIC TILE

EXTERIOR FINISHES

- WALL COLOR: SW6422 - SHAGREEN
- WINDOW & DOOR TRIM: SW 7757 - HIGH REFLECTIVE WHITE
- EXPOSED RAFTERS: SW 7757 - HIGH REFLECTIVE WHITE
- KNEE BRACES: SW 7757 - HIGH REFLECTIVE WHITE
- ROOF: ELITE GLASS-SEAL® WEATHERED WOOD



IMPORTANT NOTE: ALL THE FINISHES INDICATED HERE, WHICH WILL BE APPLIED TO THE NEW ADUs, MUST BE VERIFIED ON-SITE BY THE CONTRACTOR TO ENSURE THEY MATCH THE APPEARANCE OF THE EXISTING DWELLING.

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ENGINEER:

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JOB NO. 2023-001

DATE: 2023-001

SHEET TITLE:

ACCESSORY DWELLING UNIT -
ELEVATIONS &
BUILDING SECTIONS

SHEET NO.

A2.2

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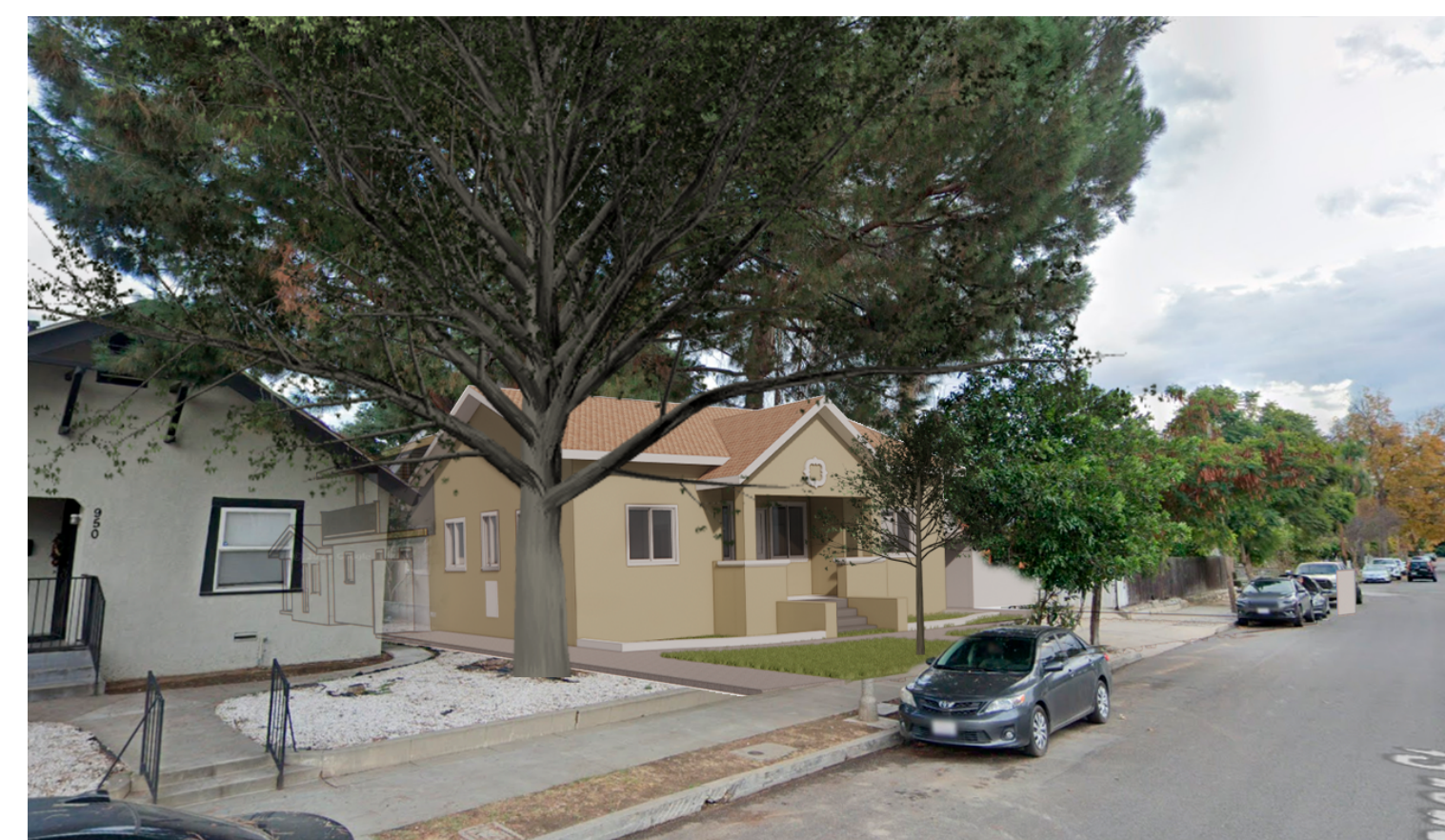
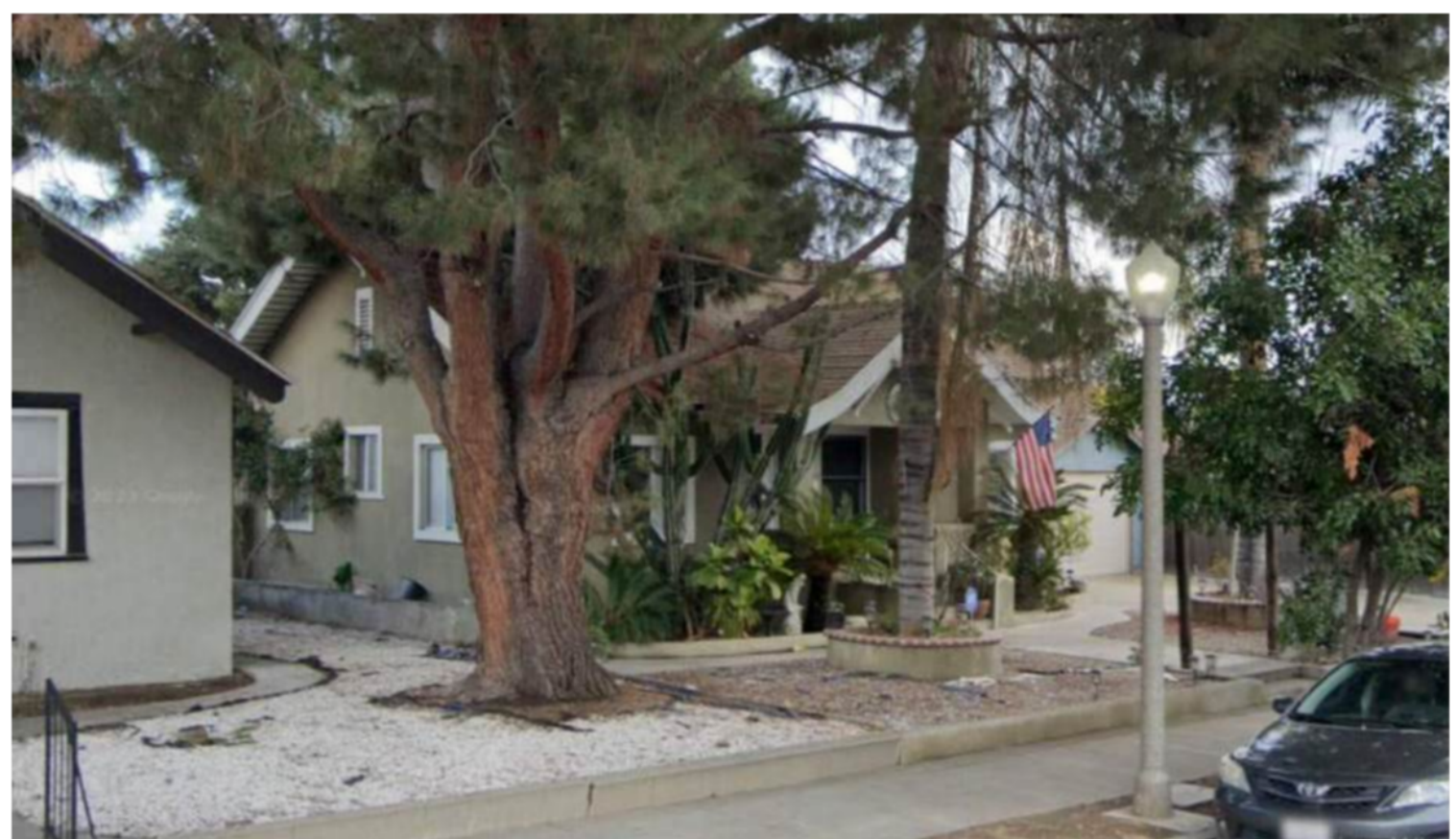
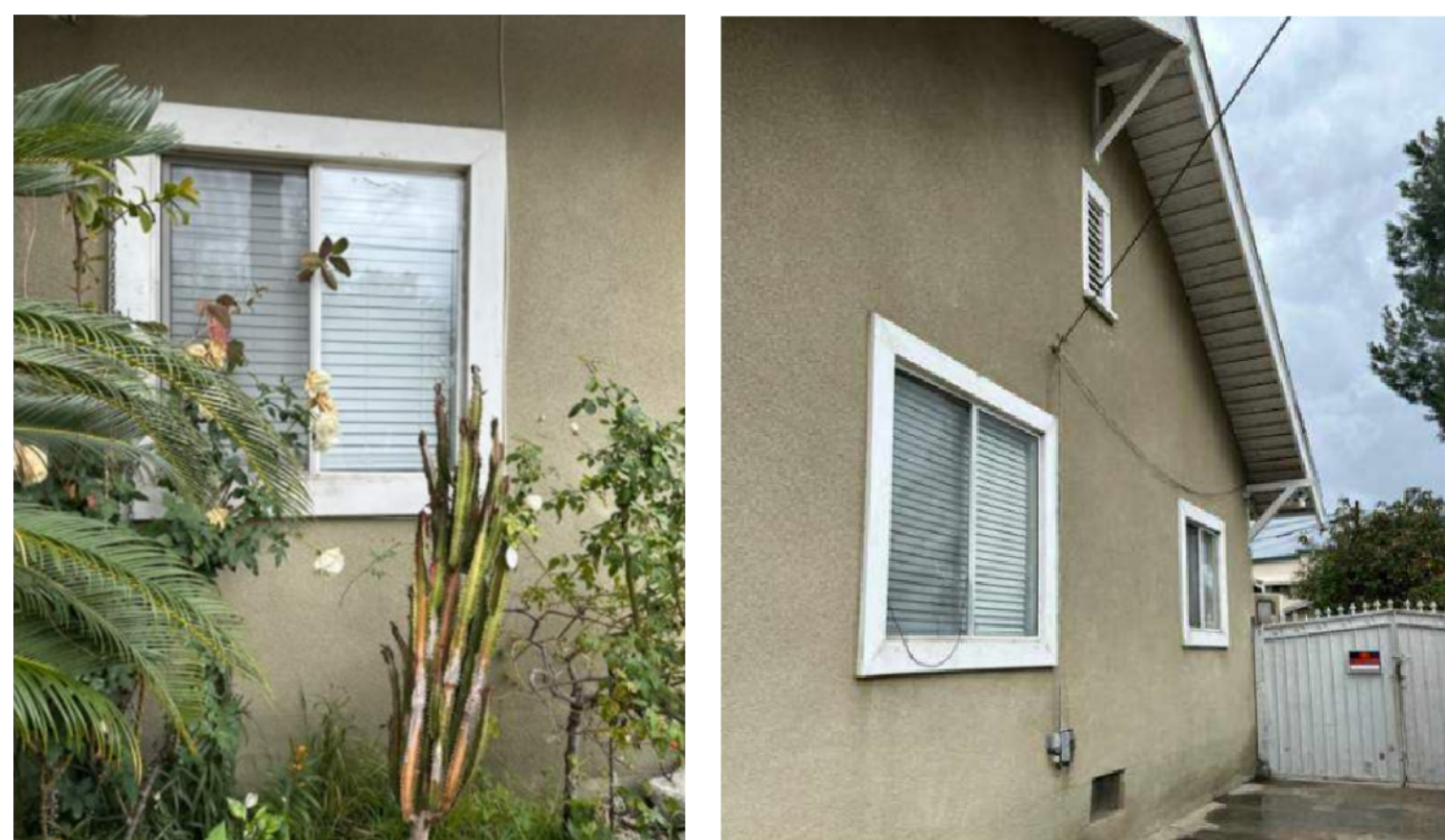
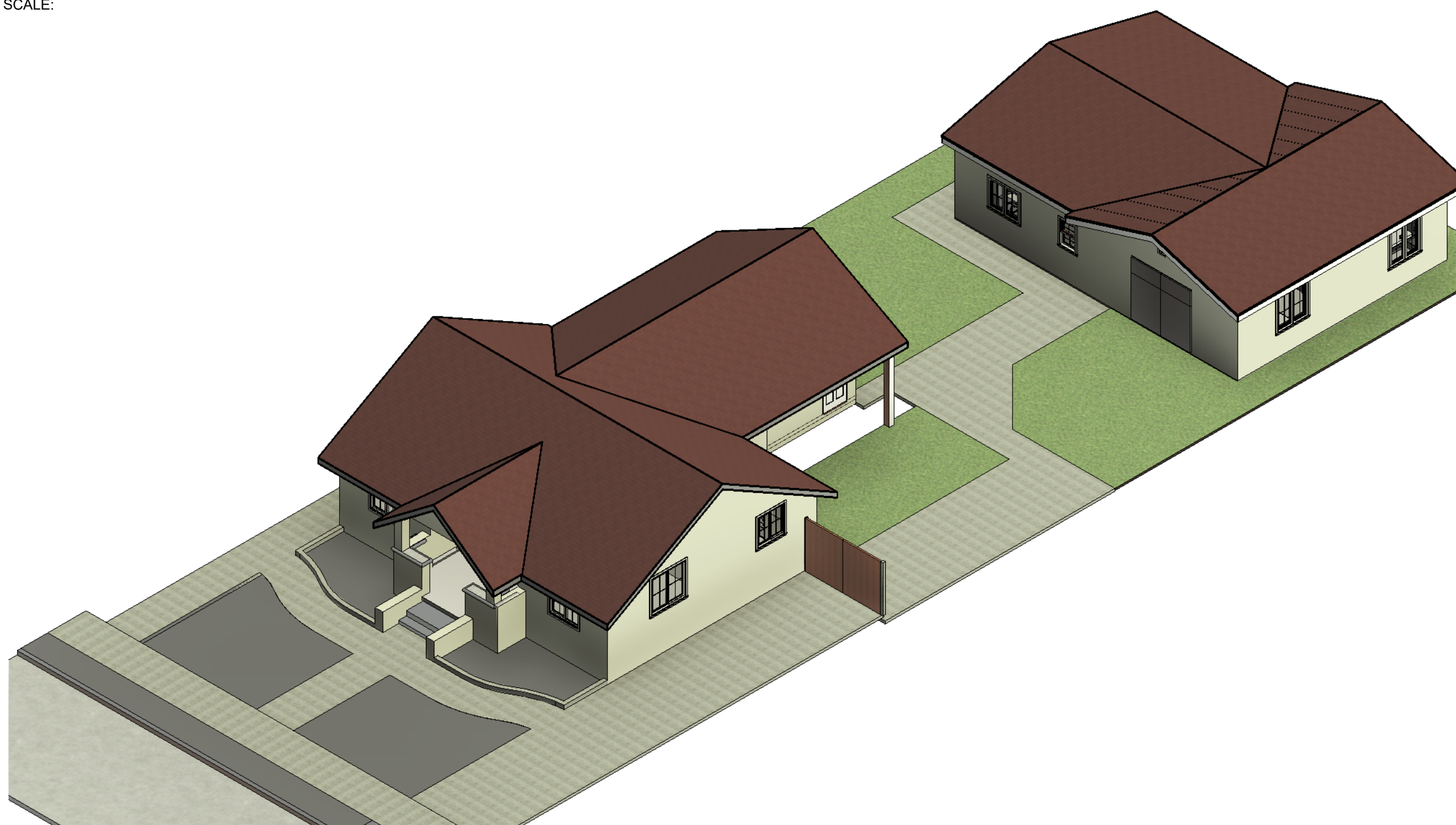
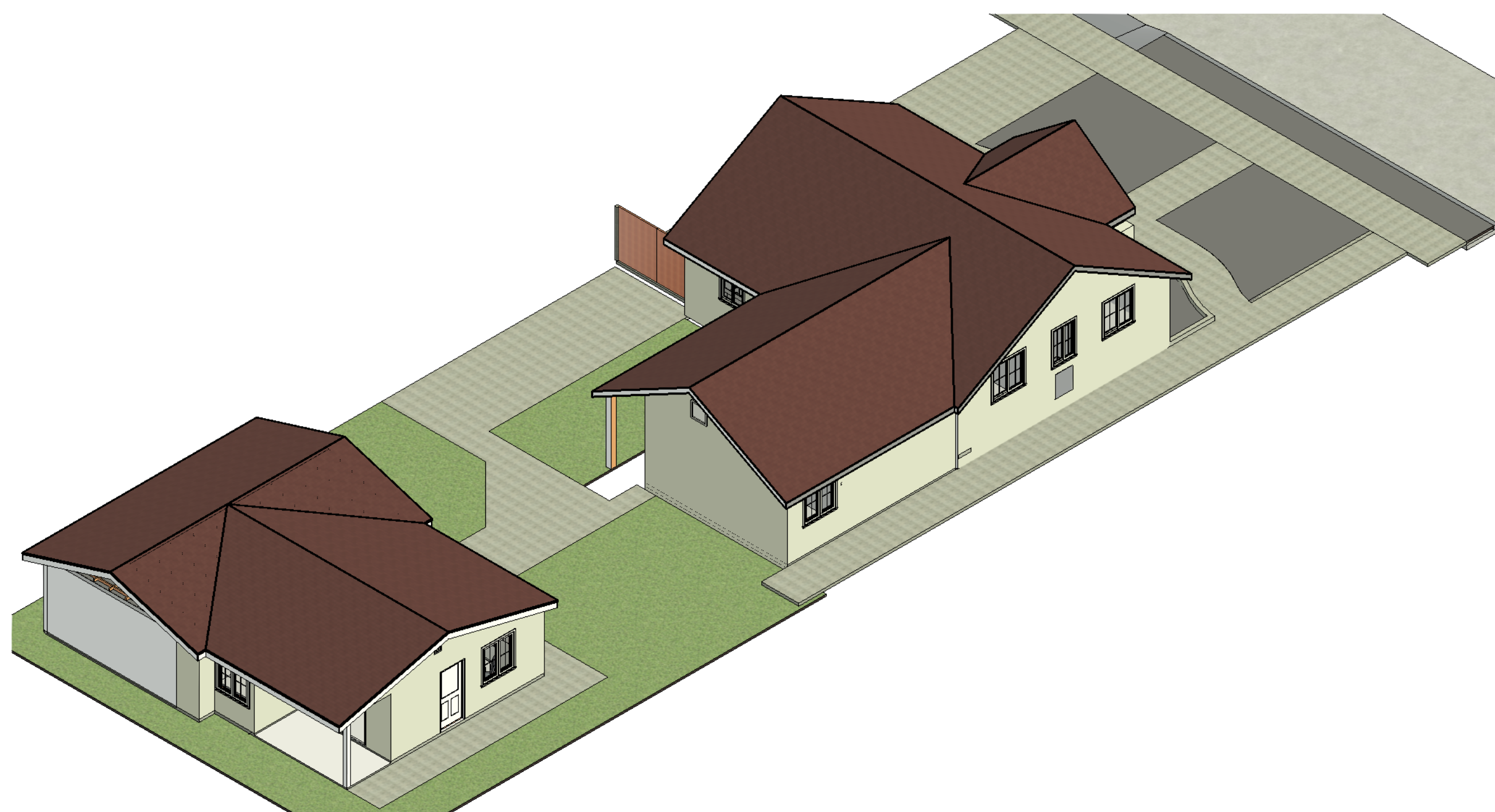
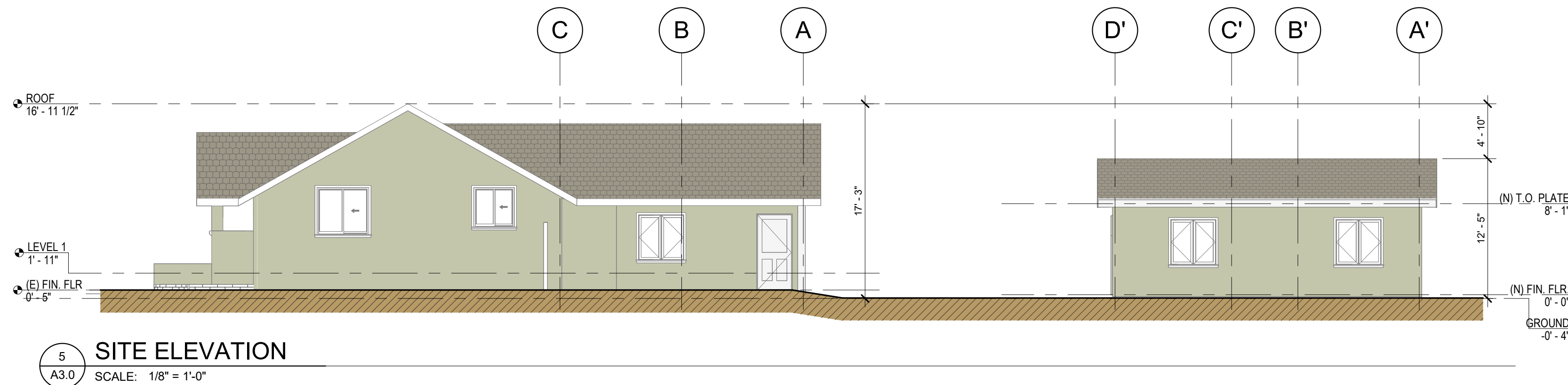
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JOB NO. 2023-001
 DATE: 2023-001

SHEET TITLE:
3D VIEWS & PHOTOS

SHEET NO.

A3.0



4 VIEW FROM THE STREET
 SCALE: N. T. S.



1 VIEW FROM THE STREET
 SCALE: N. T. S.