

# STREET IMPROVEMENT PLAN

## FOR

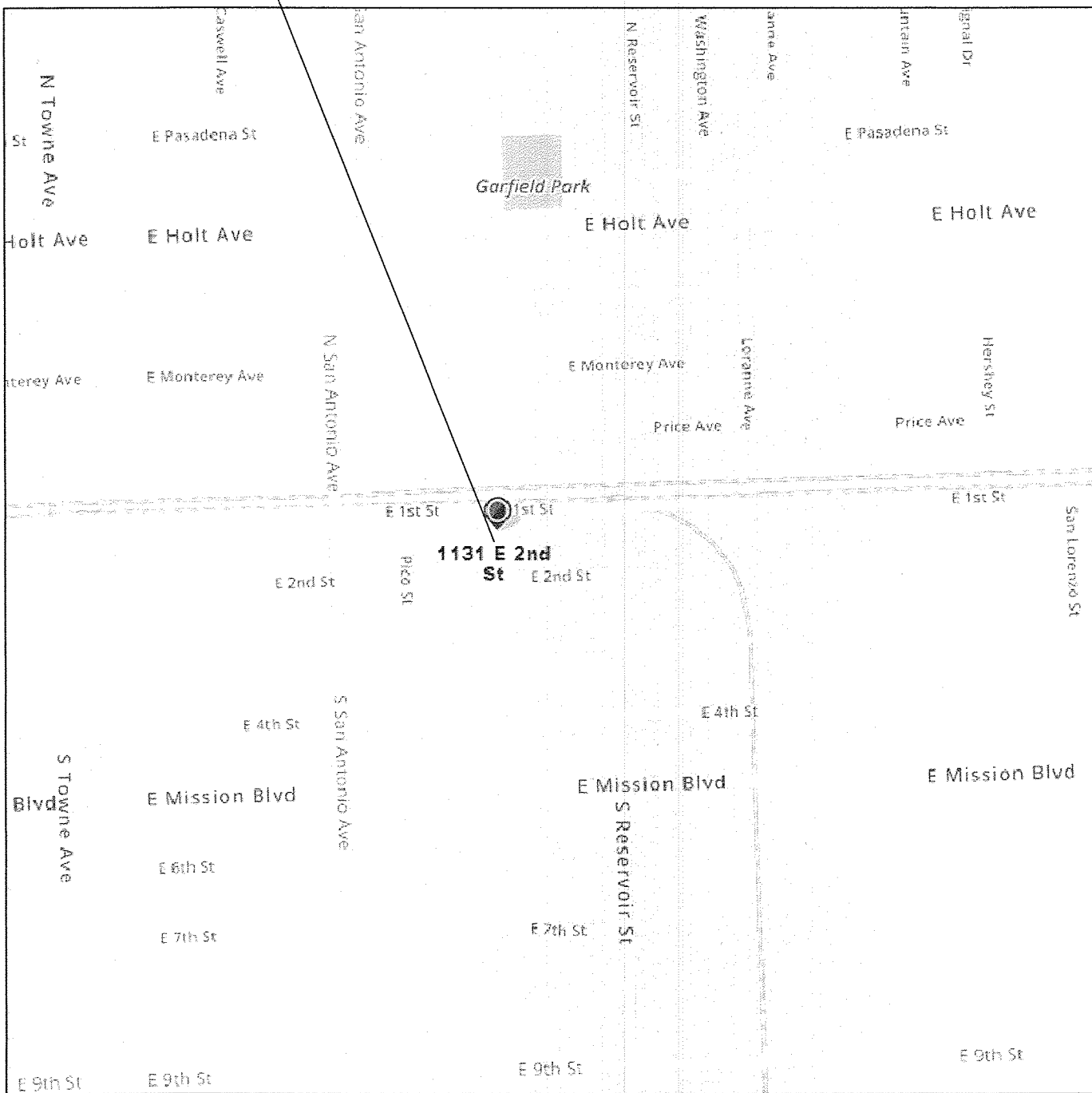
### COMMERCIAL PROJECT

#### 1131 E 2nd ST.

#### GENERAL STREET CONSTRUCTION NOTES

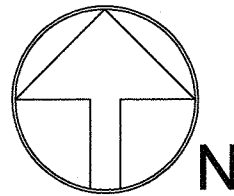
1. ALL WORK SHALL CONFORM TO THE LATEST EDITION OF STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (THE GREENBOOK), STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION (A.P.W.A. STANDARDS), AND STANDARDS OF THE CITY OF POMONA PUBLIC WORKS DEPARTMENT.
2. APPLICATION FOR EXCAVATION AND INSPECTION IN CONNECTION WITH WORK SHOWN ON THIS PLAN MUST BE COMPLETED BY THE CONTRACTOR AT LEAST TWENTY-FOUR (24) HOURS PRIOR TO STARTING ANY WORK.
3. WORK IN PUBLIC STREET ONCE BEGUN SHALL BE PROSECUTED WITHOUT DELAY SO AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND THE TRAVELING PUBLIC.
4. TRAFFIC CONTROL SHALL BE MAINTAINED IN ACCORDANCE WITH THE CALIFORNIA MUTCD.
5. CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AT ALL TIMES.
6. CONTRACTOR SHALL PROTECT EXISTING IRRIGATION LINES AND SPRINKLER HEADS BEHIND EXISTING CURB. THE CONTRACTOR SHALL REPLACE ANY DAMAGED LINES AND SPRINKLER HEADS AT HIS OWN EXPENSE.
7. CONTRACTOR SHALL REPLACE TRAFFIC STRIPES, LEGENDS, LOOP DETECTORS AND MARKING DAMAGED DURING THE CONSTRUCTION OF THIS PROJECT. TRAFFIC STRIPES, PAVEMENT LEGENDS, RAISED PAVEMENT MARKERS AND LOOP DETECTORS SHALL BE PER THE 2014 CALIFORNIA MUTCD, CALTRANS STANDARD PLANS AND CALTRANS STANDARD SPECIFICATIONS 84.85, AND 86, LATEST EDITIONS.
8. REFLECTORIZE ALL STRIPES AND LEGENDS. PAVEMENT MARKINGS SHALL BE THERMOPLASTIC AND SHALL MATCH CITY STENCILS, OR CALTRANS STANDARDS.
9. TRAFFIC STRIPES AND MARKINGS SHALL BE THERMOPLASTIC.
10. STRIPING SHALL BE CAT-TRACKED AND APPROVED BY THE CITY TRAFFIC ENGINEER PRIOR TO FINAL INSTALLATION.
11. CONTRACTOR SHALL RE-STRIP EXISTING STRIPING, MARKING ALL INTERSECTING, AND JOINING STREETS WITHIN 100' OF LIMITS OF PROJECT.
12. TYPE DB 2-WAY BLUE REFLECTIVE MARKERS SHALL BE INSTALLED ADJACENT TO EXISTING FIRE HYDRANTS WITHIN THE LIMITS OF CONSTRUCTION PER STATE AND CITY STANDARDS.
13. AS BUILTS OF THE COMPLETED PROJECT SHALL BE SUBMITTED FOR APPROVAL OF THE CITY ENGINEER.
14. CONTRACTOR SHALL NOTIFY ALL AFFECTED RESIDENCES IN WRITING AT LEAST TWO (2) FULL WORKING DAYS BEFORE ANY START OF CONSTRUCTION AS SPECIFIED.
15. CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (DIG ALERT) AT 811, TWO (2) FULL WORKING DAYS PRIOR TO START OF WORK. THE CONTRACTOR MUST OBTAIN AND MAINTAIN VALID DIG ALERT REFERENCE NUMBER THROUGH THE LIFE OF THE PROJECT AS NECESSARY FOR CONSTRUCTION.
16. CONTRACTOR SHALL PROTECT ALL CENTERLINE SURVEY MONUMENTS AND CENTERLINE TIES AS SPECIFIED.
17. EXISTING STRIPES AND MARKINGS TO BE REMOVED SHALL BE DONE BY WET SANDBLASTING.
18. THE LOCATION OF EXISTING UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY THE FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
19. CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES (BMPs) TO CONTROL EROSION AND SEDIMENT AND PRESERVE WATER QUALITY TO THE MAXIMUM EXTENT POSSIBLE.

#### PROJECT LOCATION



#### VICINITY MAP

TG.641-B-2 NOT TO SCALE



#### HOLD HARMLESS AND INDEMNIFICATION CLAUSE

CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER, THE CITY OF POMONA, AND THE ENGINEER HARMLESS FROM ANY ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OR THE OWNER, THE CITY OF POMONA, OR THE ENGINEER.

#### UNAUTHORIZED CHANGES AND USES

CAUTION: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

#### NOTES

- ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE 'OCCUPATIONAL SAFETY AND HEALTH REGULATIONS' OF THE U.S. DEPARTMENT OF LABOR OR WITH THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS 'CONSTRUCTION SAFETY ORDERS'.
- THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH THE 'OCCUPATIONAL SAFETY AND HEALTH REGULATIONS' OF THE U.S. DEPARTMENT OF LABOR OR WITH THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS 'CONSTRUCTION SAFETY ORDERS'.
- THE LAND SURVEYORS ACT, SECTION 8771 OF THE BUSINESS AND PROFESSIONAL CODE, AND SECTIONS 732.05, 1492-5, 1810-5 OF THE STREETS AND HIGHWAY CODE REQUIRE THAT SURVEY MONUMENTS SHALL BE PROTECTED AND PERPETUATED.

#### ATTENTION

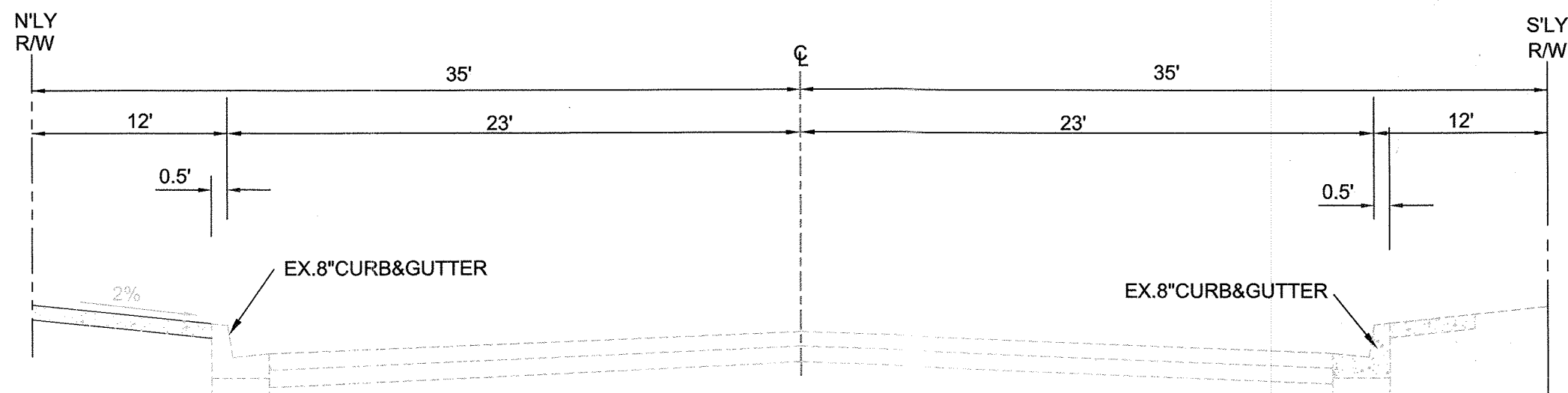
ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON AVAILABLE RECORDS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING UTILITIES BY CONTACTING UTILITY AGENCIES AND TO AVOID DAMAGING EXISTING UTILITIES DURING EXCAVATION.

#### ABBREVIATIONS:

AC ..... Asphalt Concrete  
C/B ..... Catch Basin  
CBW ..... Conc. Block Wall  
CONC ..... Concrete  
D/A ..... Driveway Apron  
DMH ..... Drainage Manhole  
DS ..... Downspout  
DWY ..... Driveway  
PP ..... Power Pole  
EX ..... Existing  
FH ..... Fire Hydrant  
FL ..... Flow Line Elevation  
Hv ..... Height of Wall  
GV ..... Gas Valve  
GB ..... Grade Break  
INV ..... Invert Elevation  
LS ..... Landscape Area  
P/A ..... Planter Area  
PL ..... Property Boundary Line  
P/MT ..... Pavement  
S/W ..... Sidewalk  
SL ..... Street Light  
SMH ..... Sewer Manhole  
TC ..... Top of Curb Elevation  
TG ..... Top of Grate Elevation  
TW ..... Top of Wall Elevation  
WM ..... Water Meter  
WV ..... Water Valve  
C&G ..... Curb & Gutter  
Hv ..... Wall View Height  
HR ..... Retaining Height

#### LEGEND:

(100.25) ..... Existing Elevation  
---101--- ..... Ex. Ground Contour Line  
----- ..... Chain Link Fence  
..... Ex. Structure  
..... Fire Hydrant  
..... Street Light  
..... Ex. Tree, Diameter  
..... Ex. Flow  
..... Parkway Landscape Area  
..... Sawcut & Join Area  
..... Concrete Sidewalk Area  
..... Street Light



#### TYPICAL SECTION

2nd STREET  
STA.3+62.18 TO STA.7+56.98

UNDERGROUNDING OF THE EXISTING (ALONG 2ND STREET) AND PROPOSED OVERHEAD UTILITY LINES TO CONFORM WITH THE CITY OF POMONA MUNICIPAL CODE SECTION 62-31(b)

THE PARKWAY LANDSCAPED AREA SHALL BE MAINTAINED BY THE PROPERTY OWNER, AS REQUIRED BY THE CITY'S MUNICIPAL CODE SECTION 46-496

IT IS THE OWNER'S AND THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ALL DAMAGE TO THE EXISTING PUBLIC IMPROVEMENTS DUE TO THE PROPOSED CONSTRUCTION ACTIVITIES AND TO ADDRESS ALL REPAIRS REQUESTED BY THE PUBLIC WORKS INSPECTOR BASED ON THE INSPECTOR'S REVIEW OF THE CURRENT CONDITION OF THE SAID PUBLIC IMPROVEMENTS

THE PROPERTY ABUTTING SIDEWALK, PARKWAY AND ALLEY, AS APPLICABLE, SHALL BE MAINTAINED FREE OF WEEDS, RUBBISH AND REFUSE BY THE PROPERTY OWNER, AS REQUIRED BY THE CITY'S MUNICIPAL CODE SECTION 18-261.

#### CONSTRUCTION NOTES

1. CONST. PARKWAY DRAIN PER CITY STD DWG A-30-10, W= PER PLAN
2. CONSTRUCT SIDEWALK MATCH EXISTING PER CITY STD PLAN NO A-7-02, CASE 1
3. CONSTRUCT 8" CURB AND GUTTER MATCH EXISTING PER CITY STD PLAN NO A-3-64, TYPE D
4. SAWCUT EXISTING PAVEMENT
5. CONST. DRIVEWAY APPROACH PER CITY STD NO A-27-10, TYPE II, W AND X = PER PLAN
6. REPLACE FULL DEPTH AC PAVEMENT OVER CAB NATIVE ADJACENT TO PCC PAVEMENT
7. GRIND & OVERLAY MIN. 0.1' ARHM PER CITY STD. A-26-02
8. REFURBISH EX. STREET LIGHTS WITH LED LUMINAIRES 77W LED, ESU-FA013P01640S-140FAU1-1112N (FIRST ST)
9. INSTALL NEW STREET LIGHT PER AMERON CONTEMPORARY SERIES 6B1 OCTAGONAL POLE WITH ANCHOR BASE; HEIGHT & ARM LENGTH TO MATCH EXISTING POLES ON SECOND ST.
10. RELOCATE FIRE HYDRANT PER SEPARATE PUBLIC WATER IMPROVEMENT PLAN
11. RELOCATE EX. STREET LIGHT & PULL BOX AT LEAST 3' FROM THE APRON WING, AS SHOWN ON PLAN
12. REFURBISH EX. STREET LIGHTS WITH LED LUMINAIRES 38W LED, ESU-FA013P01640S-700FAU1-1112N (SECOND ST)
13. EXISTING OVERHEAD UTILITY LINE. UNDERGROUNDING EXEMPTION APPROVED BY B&S DIVISION.
14. REMOVE EXISTING 6" FIRE HYDRANT PER SPEC 02950 PER SEPARATE PUBLIC WATER IMPROVEMENT PLAN
15. 6" FIRE HYDRANT PER CITY STANDARD PLAN NO.2 AND 2A PER SEPARATE PUBLIC WATER IMPROVEMENT PLAN
16. 2" SERVICE AND 2" METER PER CITY OF POMONA STD. DWG.12 PER SEPARATE PUBLIC WATER IMPROVEMENT PLAN
17. 6"DIP (CLASS 350) WATER LATERAL FOR FIRE LINE PER SEPARATE PUBLIC WATER IMPROVEMENT PLAN
18. EX. 1" WATER SERVICE LINE AND METER TO BE ABANDONED PER SEPARATE PUBLIC WATER IMPROVEMENT PLAN
19. 6" VCP SEWER LATERAL AND CLEANOUT PER CITY STD DWG S5 & S6 PER SEPARATE PUBLIC SEWER IMPROVEMENT PLAN

#### DEMOLITION NOTES:

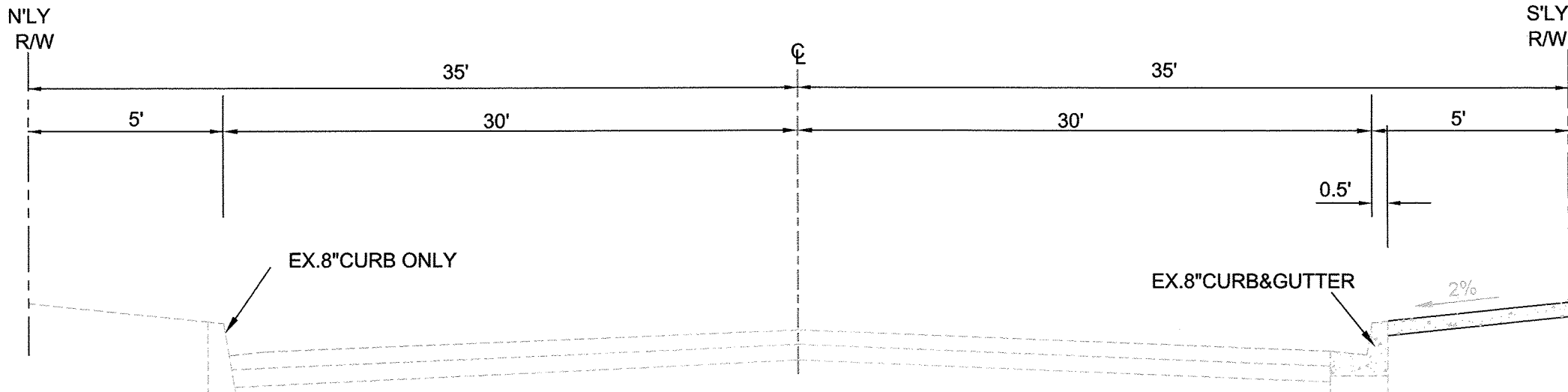
1. REMOVE EXISTING SIDEWALK
2. REMOVE 2' WIDTH EXISTING PAVEMENT (3" AC CUT AND REMOVAL)
3. REMOVE EXISTING PARKWAY DRAIN
4. REMOVE EXISTING DRIVEWAY APPROACH
5. REMOVE EXISTING WALL/FENCE

#### QUANTITIES

3	EA.
1,534	SF.
119	LF.
496	LF.
1,288	SF.
992	SF.
16,577	SF.
2	EA.
1	EA.
1	EA.
1	EA.
1	EA.
1	EA.
2	EA.
1	EA.
1	EA.
1	EA.
1,144	SF.
992	SF.
14	LF.
1,021	SF.
91	LF.

#### TYPICAL SECTION

1st STREET  
STA 13+57.63 TO STA 16+63.42



#### SHEET INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	2nd STREET - PLAN AND DETAILS
3	1st STREET - PLAN AND DETAILS

#### ACCEPTED

BY: DATE: 10/6/2020  
RENE GUERRERO, P.E., RCE NO. 66263  
PUBLIC WORKS DIRECTOR

#### CONCURRED

BY: DATE: 10/7/2020  
ARNOLD DICHOZA, P.E., RCE NO. 86038  
CITY ENGINEER

#### CITY OF POMONA

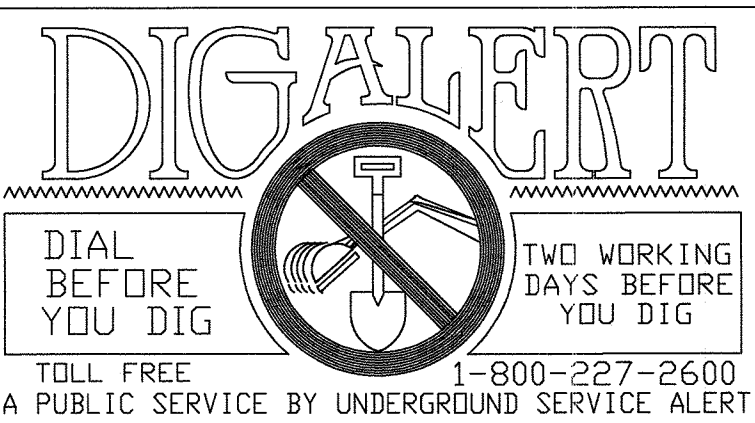
PUBLIC WORKS DEPARTMENT/ENGINEERING DIVISION

#### STREET IMPROVEMENT PLAN

#### TITLE SHEET

1131 E 2nd ST., POMONA, CA 91766

SCALE 1"=20'	DESIGNED: DRAWN: CHECKED: REVIEWED:	PVT.ENG PVT.ENG	SHT. 1 OF 3 SHTS
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#### BASIS OF BEARING:

THE BEARING S 88°32'00" W OF THE NORTHERLY SIDELINE OF 2ND STREET (FORMERLY EAST 2ND STREET), AS SHOWN IN P.V. ICE COMPANY TRACT, M.B. 22-118, RECORDS OF LOS ANGELES COUNTY.

#### COUNTY OF LOS ANGELES BENCH MARK:

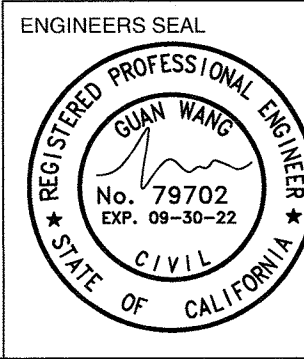
B.M. NUMBER JG5442  
QUAD YEAR 2005  
ELEVATION 877.277  
DESCRIPTION L&T W CB 1FT S/O BCR @ SW COR 1ST ST & SAN ANTONIO AV 32.8FT W/O & 15M(49.2FT) S/O C/L INT

#### OWNER:

MIGUEL AND SYLVIA SANCHEZ  
1131 E 2ND STREET  
POMONA, CA 91776  
Tel : 909-469-1132

#### LEGAL DESCRIPTION:

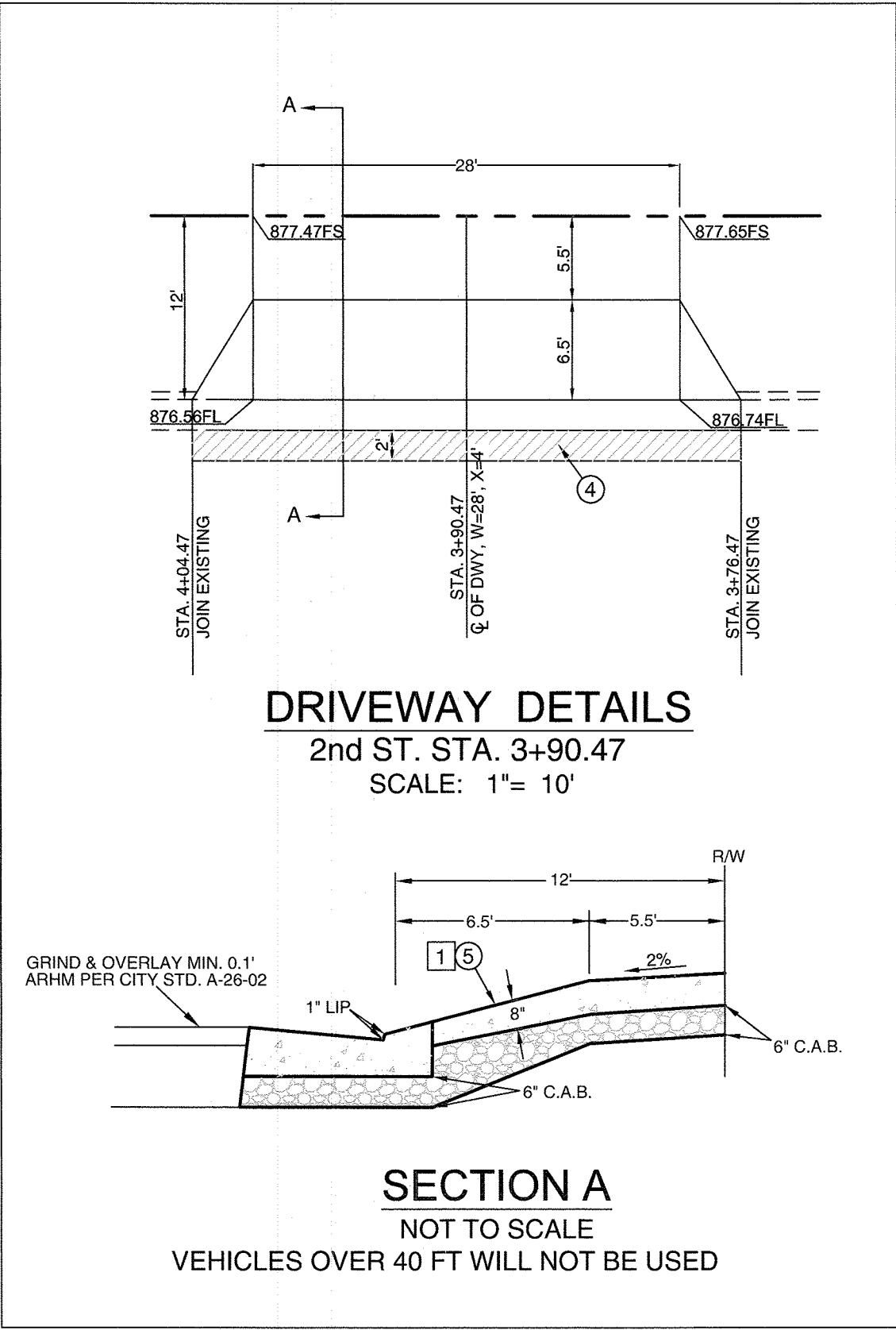
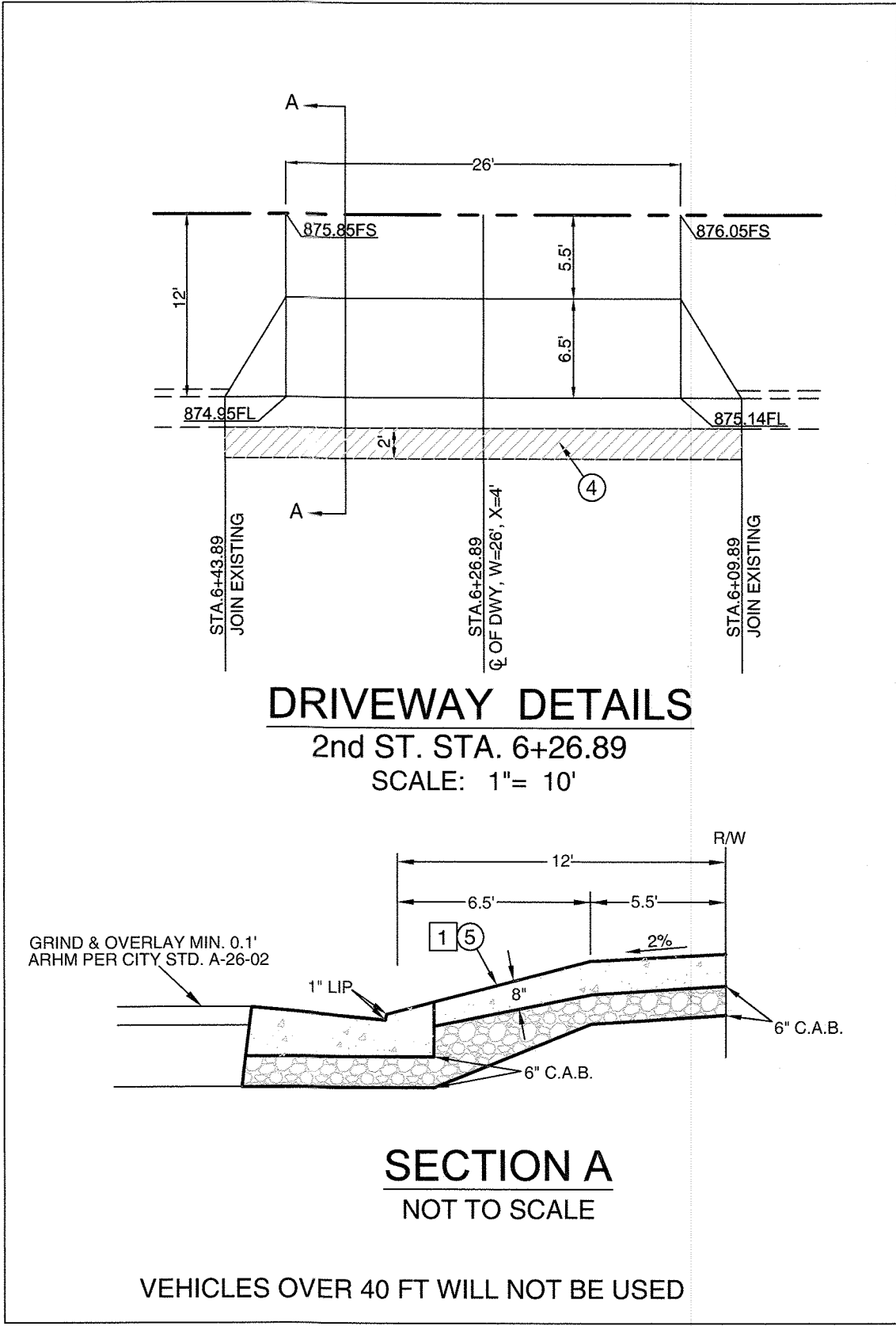
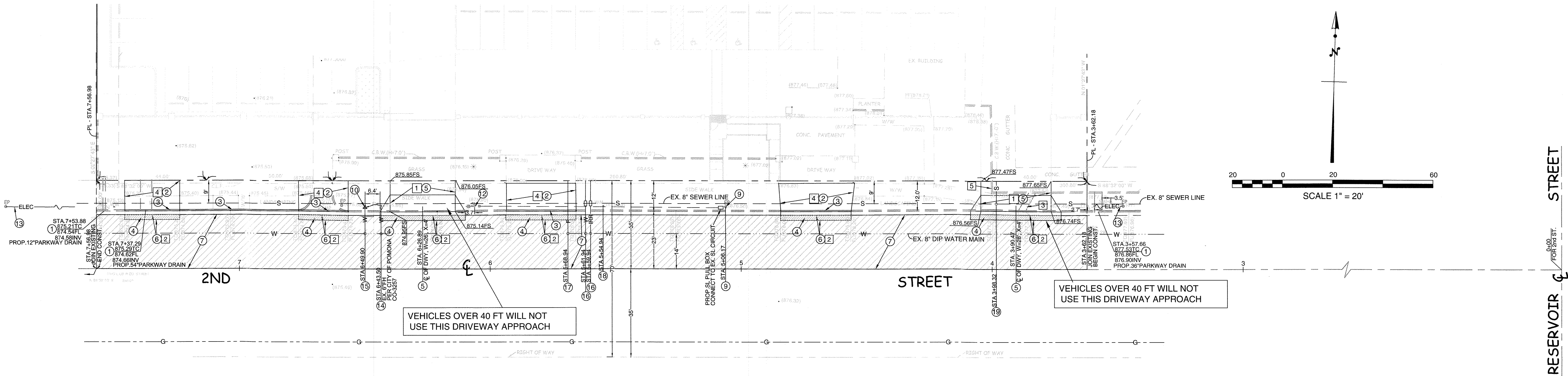
BEING A SURVEY OF A PORTION OF LOT A OF P.V. ICE COMPANY TRACT, IN THE CITY OF POMONA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 22, PAGE 118 MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.



TRITECH ENGINEERING ASSOCIATES, INC.  
135 N. SAN GABRIEL BLVD., SAN GABRIEL, CA 91775  
TEL: (626) 570-1918  
EMAIL: info@tritechengineer.com  
JOB NO. 160220

PREPARED UNDER THE DIRECT SUPERVISION OF:  
GUAN WANG RCE NO 79702 DATE: 10/01/2020  
EXP. 09-30-22

REVISIONS	DATE	INITIAL
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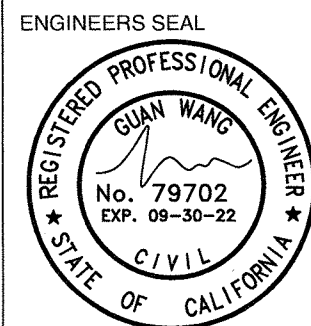


CONSTRUCTION NOTES:

- 1 CONST. PARKWAY DRAIN PER CITY STD DWG A-30-10, W= PER PLAN
- 2 CONSTRUCT SIDEWALK MATCH EXISTING PER CITY STD PLAN NO A-7-02, CASE 1
- 3 CONSTRUCT 8" CURB AND GUTTER MATCH EXISTING PER CITY STD PLAN NO A-3-64, TYPE D
- 4 SAWCUT EXISTING PAVEMENT
- 5 CONST. DRIVEWAY APPROACH PER CITY STD NO A-27-10, TYPE II, W AND X = PER PLAN
- 6 REPLACE FULL DEPTH AC PAVEMENT OVER CAB NATIVE ADJACENT TO PCC PAVEMENT
- 7 GRIND & OVERLAY MIN. 0.1" ARHM PER CITY STD. A-26-02
- 9 INSTALL NEW STREET LIGHT PER AMERON CONTEMPORARY SERIES 6B1 OCTAGONAL POLE WITH ANCHOR BASE; HEIGHT & ARM LENGTH TO MATCH EXISTING POLES ON SECOND ST.
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PREPARED UNDER THE DIRECT SUPERVISION OF:  
GUAN WANG RCE NO 79702 DATE: 10/01/2020 EXP. 09-30-22

ACCEPTED  
BY: *[Signature]* DATE: 10/6/2020  
RENE GUERRERO, P.E., RCE NO. 66263  
PUBLIC WORKS DIRECTOR

CONCURRED  
BY: *[Signature]* DATE: 10/7/2020  
ARNOLD DICHOSA, P.E., RCE NO. 86038  
CITY ENGINEER

CITY OF POMONA  
PUBLIC WORKS DEPARTMENT/ENGINEERING DIVISION  
STREET IMPROVEMENT PLAN  
PLAN AND DETAILS

1131 E 2nd ST., POMONA, CA 91766

SCALE 1"=20'	DESIGNED: DRAWN: CHECKED: REVIEWED:	PVT.ENG PVT.ENG	SHT. 2 OF 3 SHTS
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**BASIS OF BEARING:**  
THE BEARING S 88°32'00" W OF THE NORTHERLY  
SIDELINE OF 2ND STREET (FORMERLY EAST 2ND  
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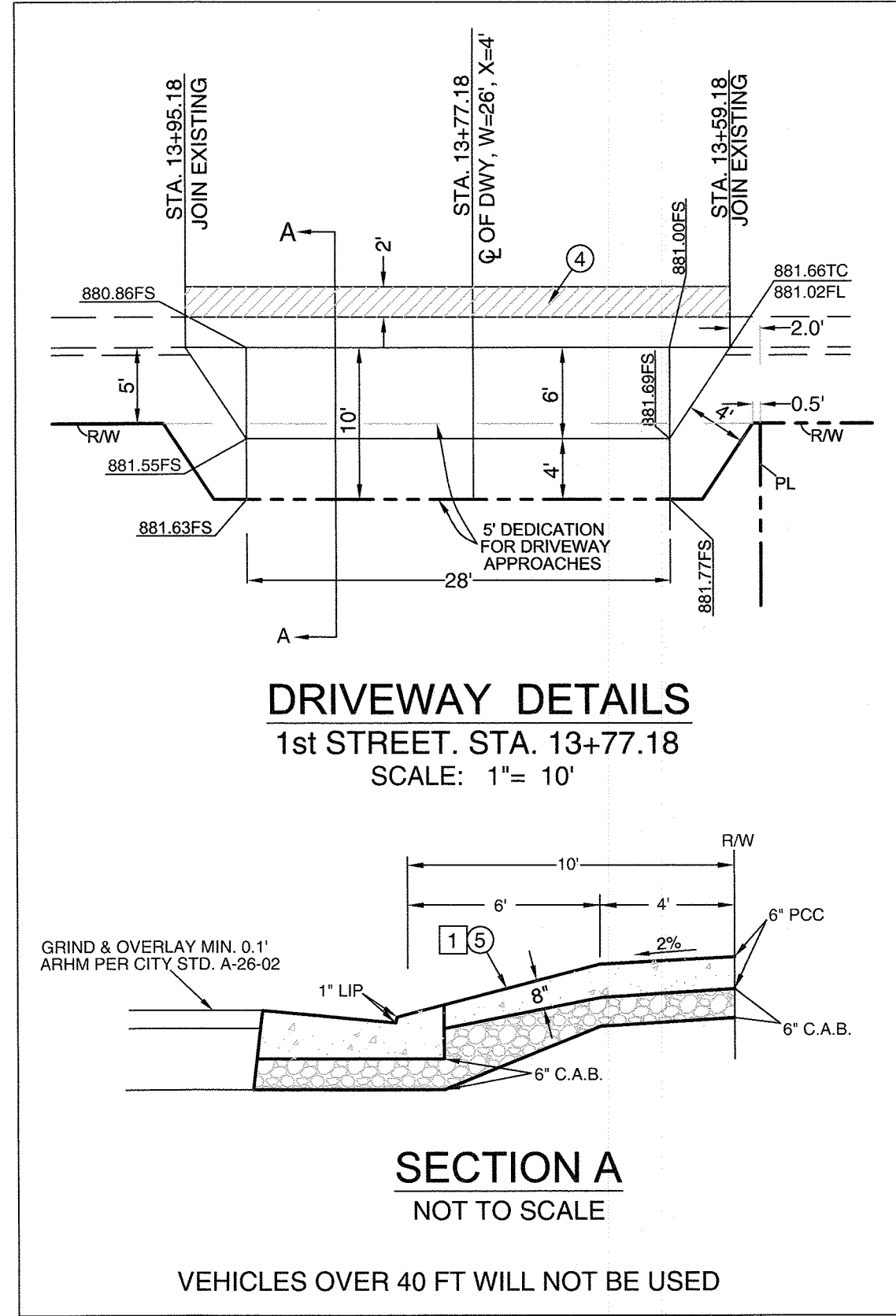
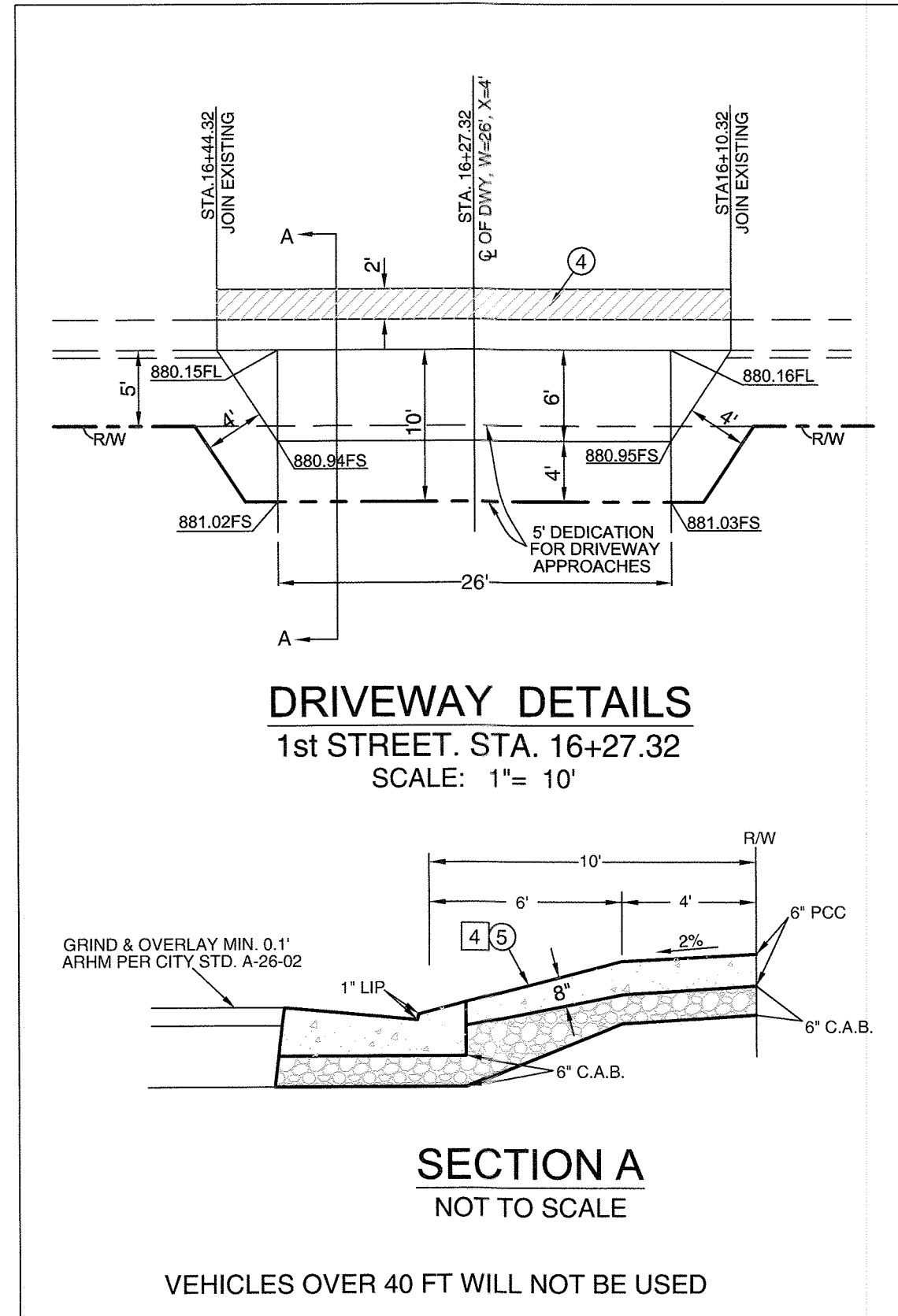
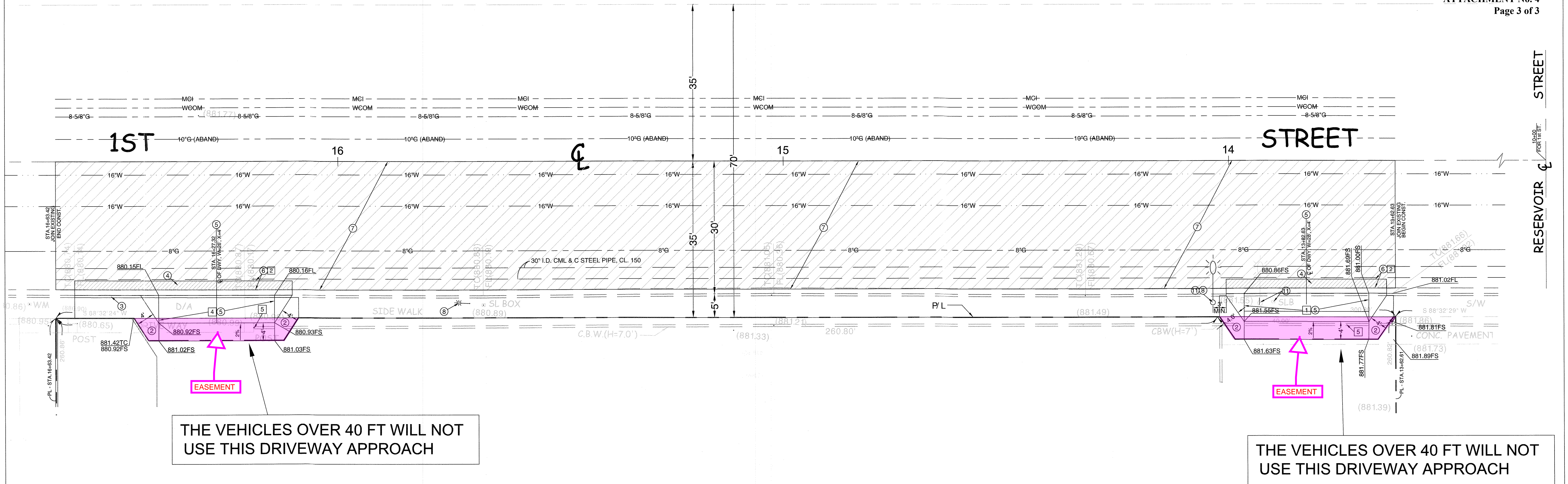
**COUNTY OF LOS ANGELES BENCH MARK:**  
B.M. NUMBER JG5442  
QUAD YEAR 2005  
ELEVATION 877.277  
DESCRIPTION L&T W CB 1FT S/O BCR @ SW COR 1ST  
ST & SAN ANTONIO AV 32.8FT W/O &  
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**OWNER:**  
MIGUEL AND SYLVIA SANCHEZ  
1131 E 2ND STREET  
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Tel : 909-469-1132

**LEGAL DESCRIPTION:**  
BEING A SURVEY OF A PORTION OF LOT A OF P.V. ICE  
COMPANY TRACT, IN THE CITY OF POMONA, COUNTY OF  
LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP  
RECORDED IN BOOK 22, PAGE 118 MAPS, IN THE OFFICE  
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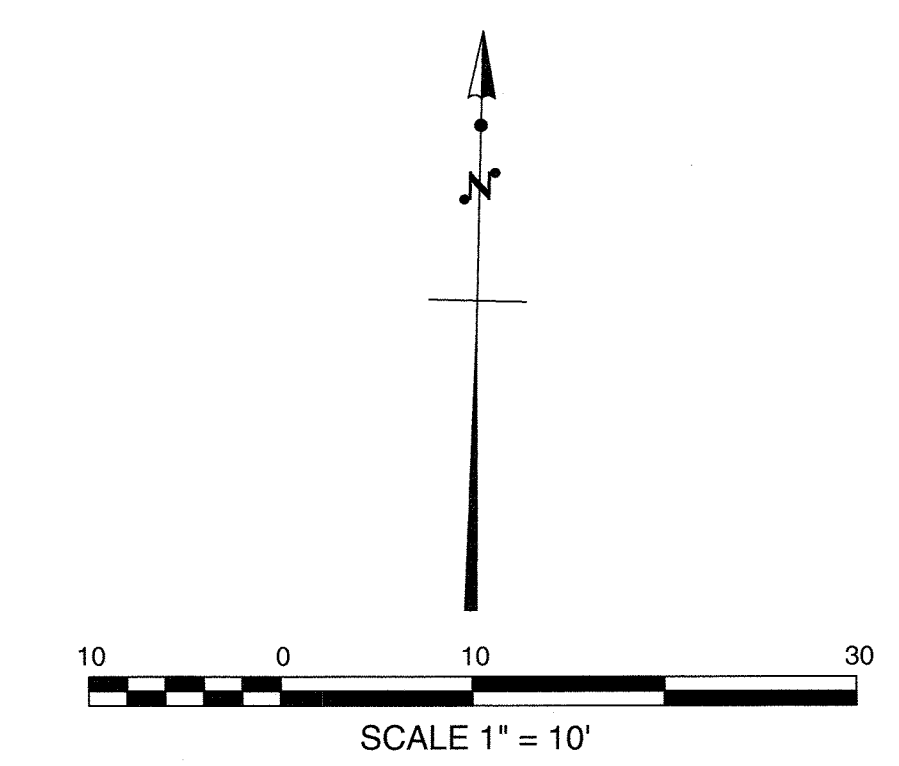
REVISIONS	DATE	INITIAL





- CONSTRUCTION NOTES:**
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  - ⑨ RELOCATE EX. STREET LIGHT & PULL BOX AT LEAST 3' FROM THE APRON WING, AS SHOWN ON PLAN

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- ① REMOVE EXISTING SIDEWALK
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  - ④ REMOVE EXISTING DRIVEWAY APPROACH
  - ⑤ REMOVE EXISTING WALL/FENCE



ENGINEERS SEAL  
REGISTERED PROFESSIONAL ENGINEER  
STATE OF CALIFORNIA  
No. 79702  
EXP. 09-30-22  
CIVIL

TRITECH ENGINEERING ASSOCIATES, INC.  
SUBDIVISION LAND SURVEY CIVIL ENGINEERING & DESIGN  
135 N. SAN GABRIEL BLVD., SAN GABRIEL, CA 91775  
TEL: (626) 570-1918  
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PREPARED UNDER THE DIRECT SUPERVISION OF:  
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BASIS OF BEARING:  THE BEARING S 88°32'00" W OF THE NORTHERLY SIDELINE OF 2ND STREET (FORMERLY EAST 2ND STREET), AS SHOWN IN P.V. ICE COMPANY TRACT, M.B. 22-118, RECORDS OF LOS ANGELES COUNTY.	COUNTY OF LOS ANGELES BENCH MARK:  B.M. NUMBER JG5442 QUAD YEAR 2005 ELEVATION 877.277 DESCRIPTION L&T W CB 1FT S/O BCR @ SW COR 1ST ST & SAN ANTONIO AV 32.8FT W/O & 15M(49.2FT) S/O C/L INT	OWNER:  MIGUEL AND SYLVIA SANCHEZ 1131 E 2ND STREET POMONA, CA 91776 Tel : 909-469-1132	LEGAL DESCRIPTION:  BEING A SURVEY OF A PORTION OF LOT A OF P.V. ICE COMPANY TRACT, IN THE CITY OF POMONA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 22, PAGE 118 MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.	SCALE		1131 E 2nd ST., POMONA, CA 91766		
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REVISIONS		DATE	INITIAL					