



6 EXISTING WEST ELEVATION
SCALE: 1/8" = 1'-0"



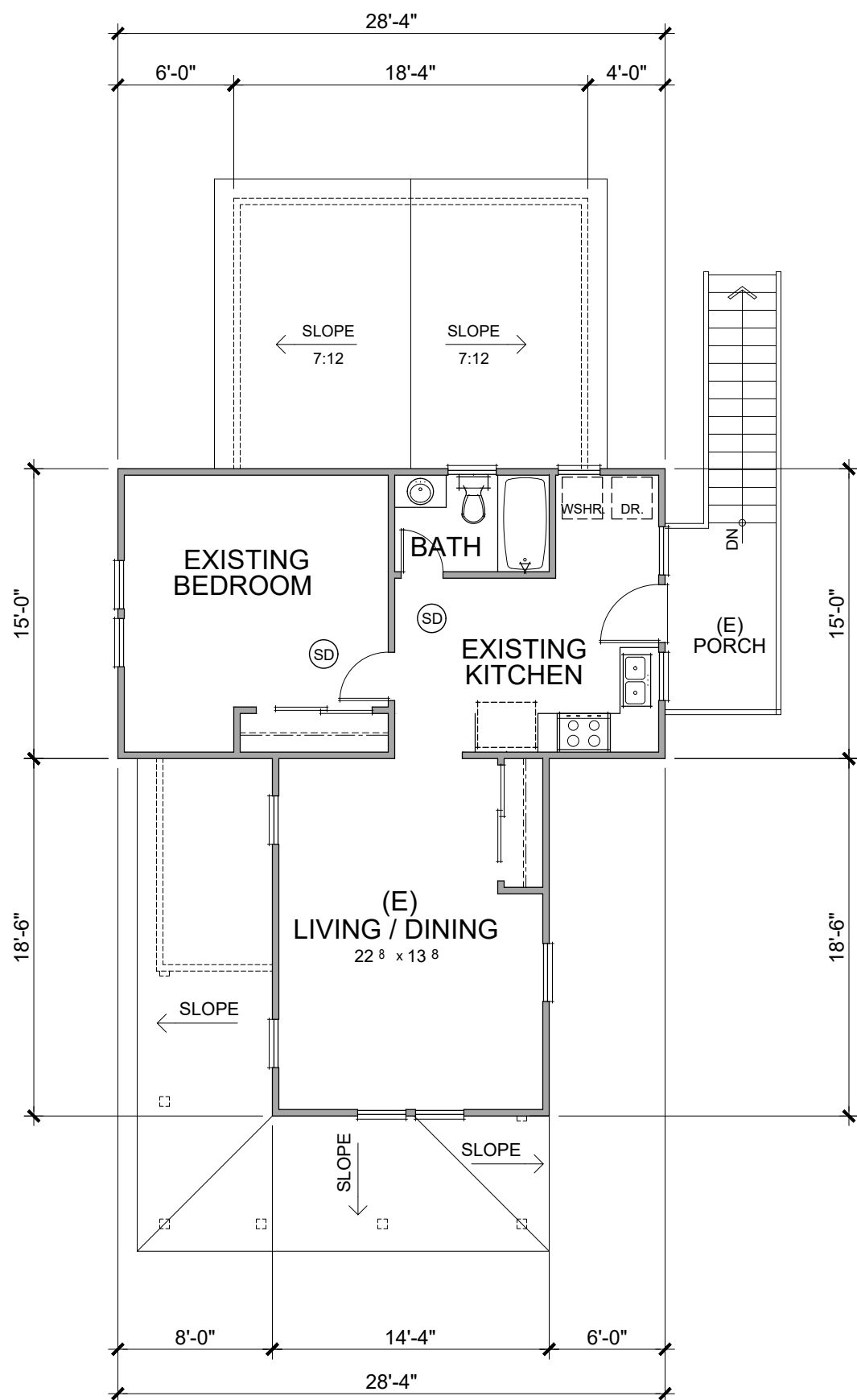
4 EXISTING SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



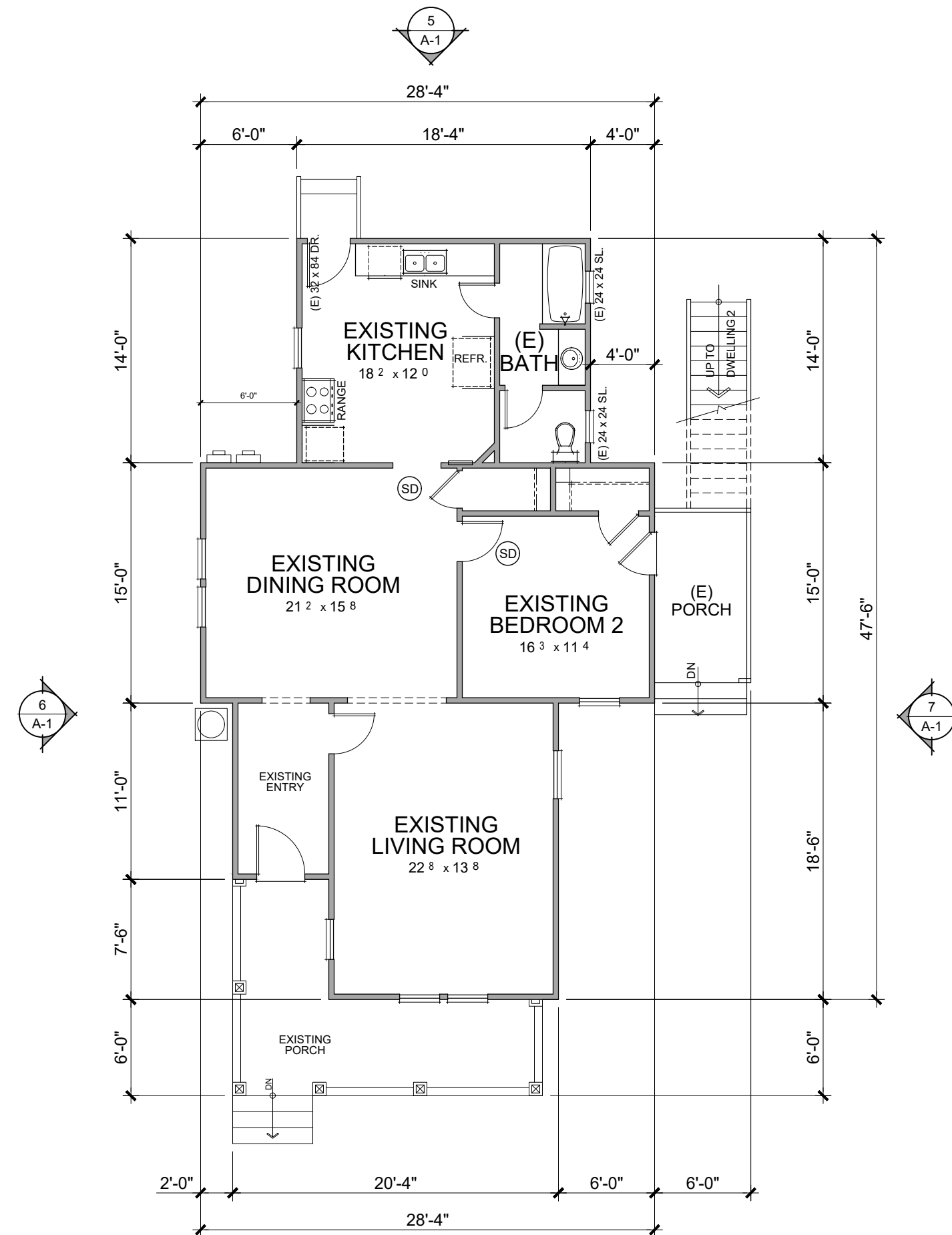
7 EXISTING EAST ELEVATION
SCALE: 1/8" = 1'-0"



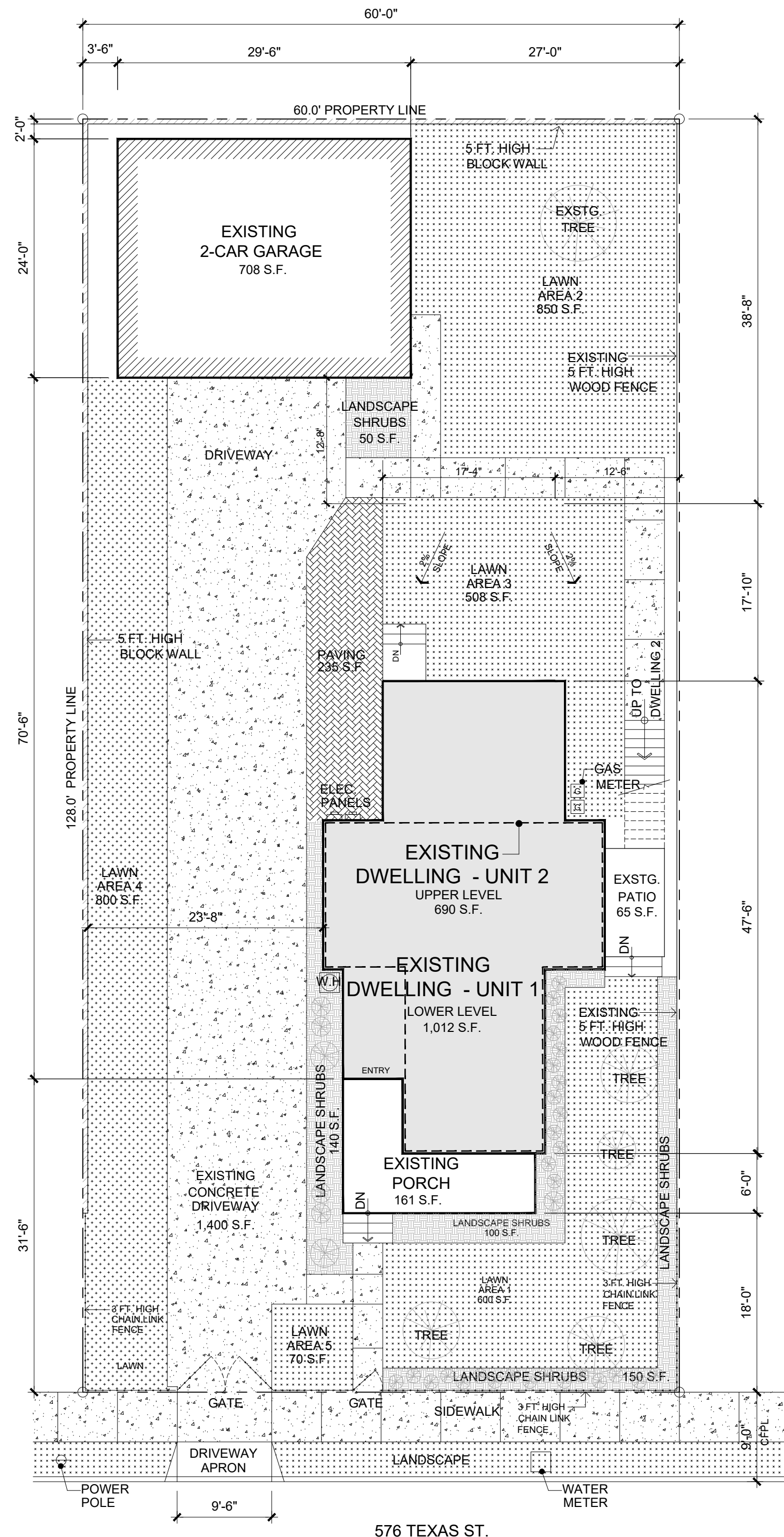
5 EXISTING NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 EXISTING UPPER LEVEL
SCALE: 1/8" = 1'-0"



2 EXISTING LOWER LEVEL
SCALE: 1/8" = 1'-0"



1 EXISTING SITE PLAN
SCALE: 1" = 10'

EXISTING AREA ANALYSIS

EXISTING DWELLING - UNIT 1 (AT 1ST. LEVEL)	1,012 S.F.
EXISTING DWELLING - UNIT 2 (AT 2ND. LEVEL)	690 S.F.
EXISTING 2-CAR GARAGE	708 S.F.
EXISTING FRONT PORCH	161 S.F.
EXISTING SIDE PORCH	65 S.F.

LOT SIZE = 60' x 128' = 7,680 S.F.
LOT COVERAGE: 2,255 / 7,680 = 29.3%
35% MAXIMUM ALLOWED

EXISTING FLOOR AREA RATIO 1,702 / 7,680 = .26 %
0.6 (60%) MAXIMUM ALLOWED

EXISTING LANDSCAPE CALCULATIONS:	
- LAWN AREA 1	600 S.F.
- LAWN AREA 2	850 S.F.
- LAWN AREA 3	508 S.F.
- LAWN AREA 4	800 S.F.
- LAWN AREA 5	70 S.F.
- LANDSCAPE SHRUB	340 S.F.
	3,168 S.F.
TOTAL LANDSCAPE (20% MIN).	2,870 / 7,680 = 41.2%

SCOPE OF WORK

1. LEGALIZE EXISTING MUD ROOM AND BATHROOM AT REAR OF DWELLING UNIT 1	136 S.F.
2. CONVERT EXISTING REAR PATIO TO NEW BEDROOM WITH CLOSET.	173 S.F.
	TOTAL ADDITION: 309 S.F.

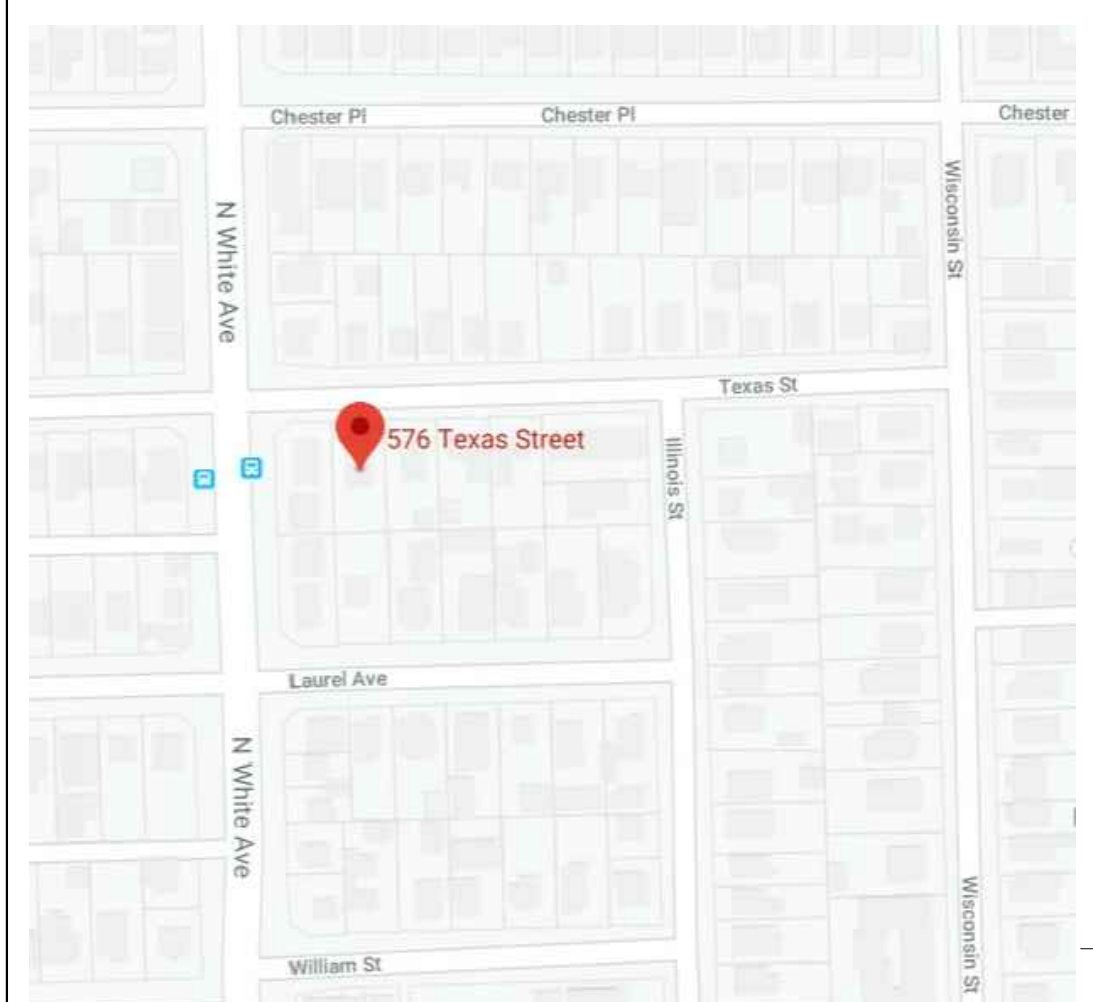
SUMMARY

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA BLDG ENERGY EFFICIENCY STD.
2019 CALIFORNIA GREEN BUILDING STANDARD CODE

OCCUPANCY GROUP R3 / U
CONSTRUCTION TYPE TYPE V-B
PROPOSED BUILDING SHALL COMPLY WITH CONVENTIONAL WOOD FRAME CONSTRUCTION OF THE 2019 CRC.
STORIES 2
ZONING R-1-7200
HISTORIC DISDISTRICT: WILTON HEIGHTS

LEGAL DESCRIPTION:
PARCEL No. 8340-020-009

VICINITY MAP



DESIGNER:

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ENGINEER

REVISIONS

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PROJECT:
ROOM ADDITION
GONZALEZ RESIDENCE
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POMONA, CA 91768

JOB NO.

DRAWN: JCM

Checked:

DATE: 03-09-2021

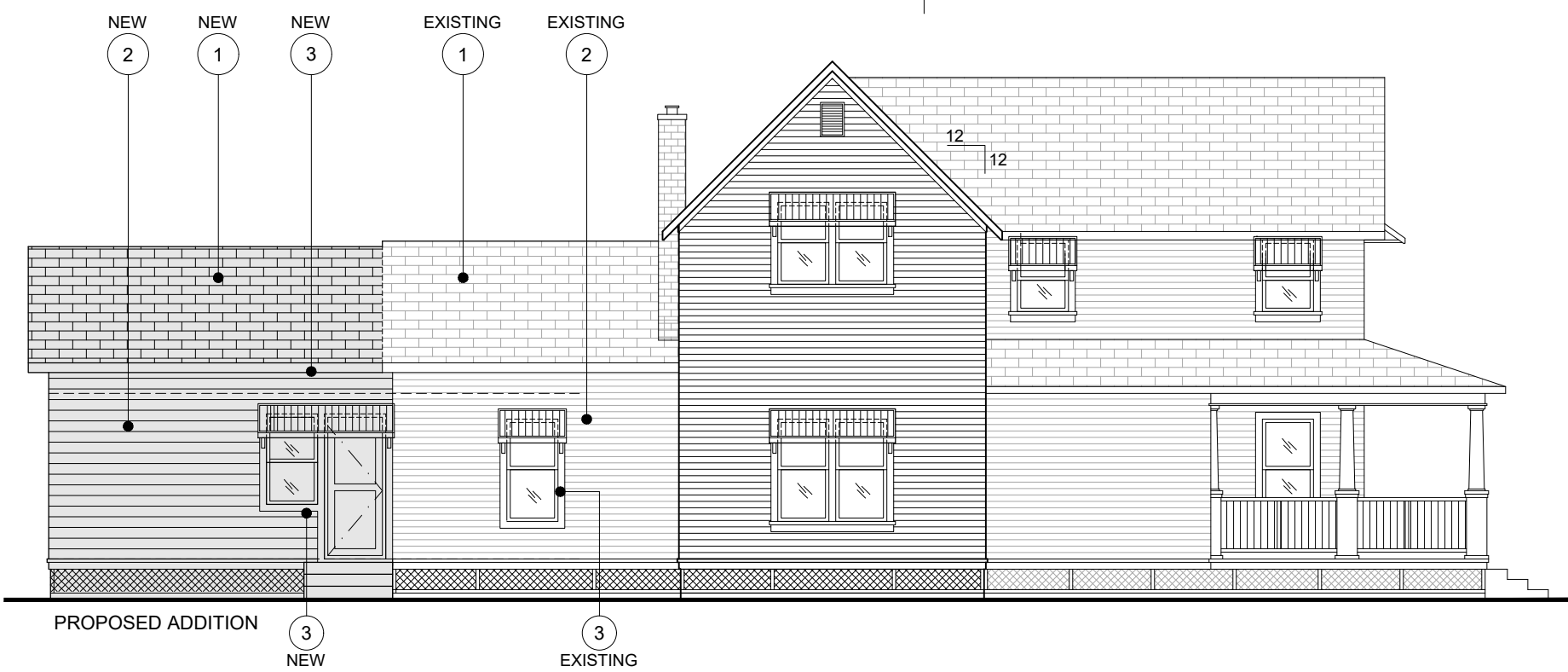
SCALE: NOTED

SHEET TITLE:

SITE PLAN
& FLOOR PLAN

SHEET NO.

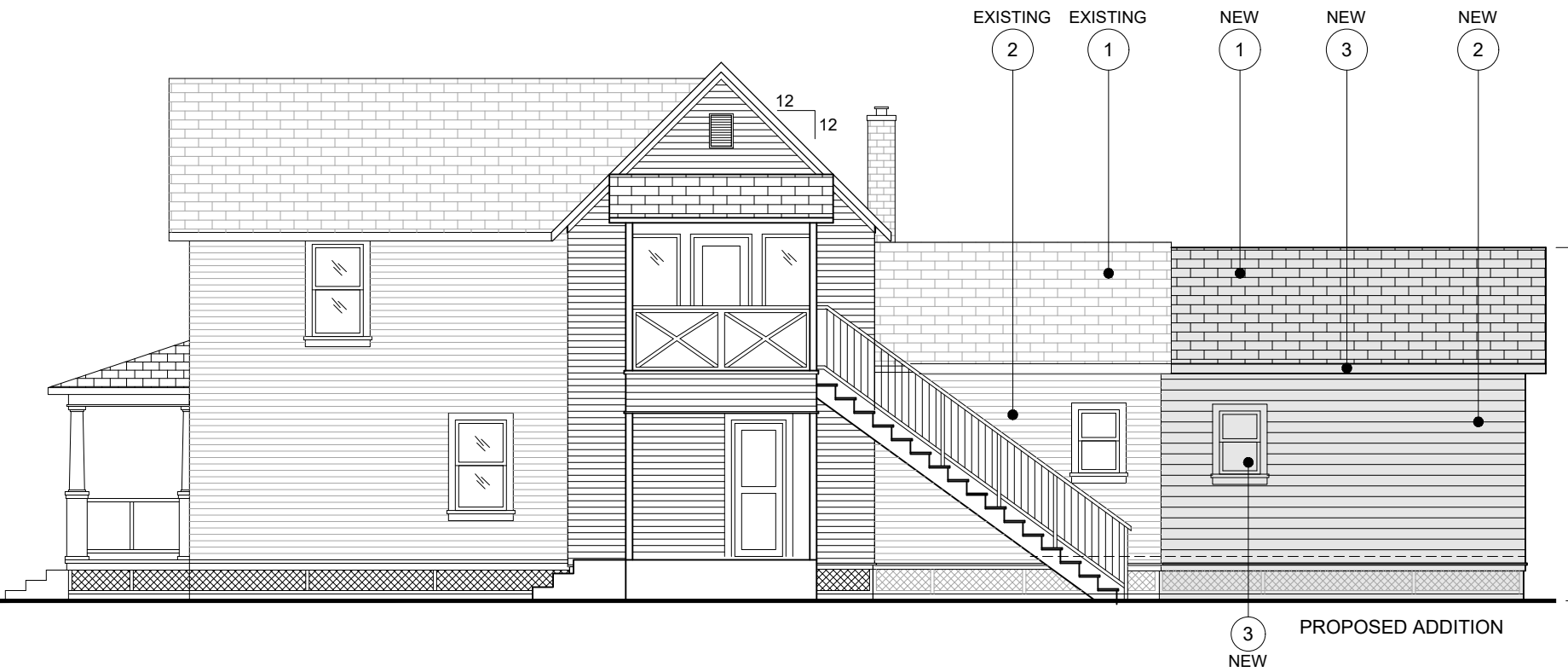
A-1



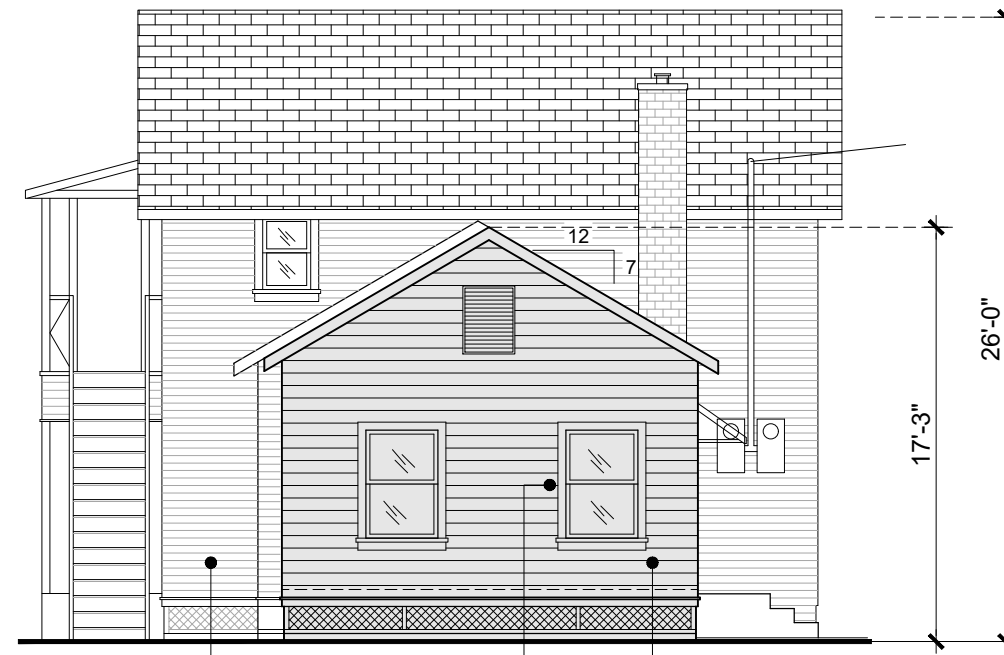
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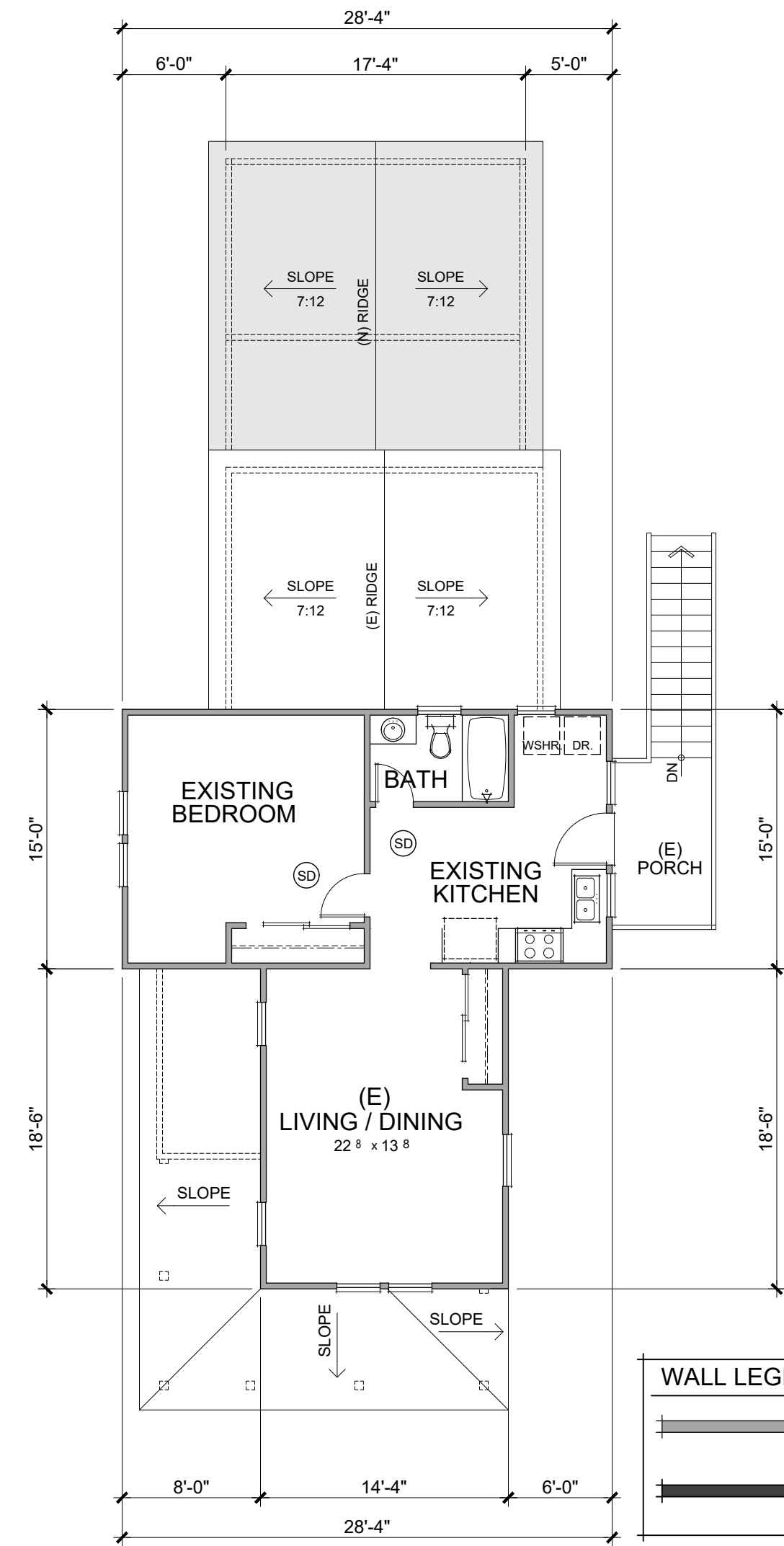
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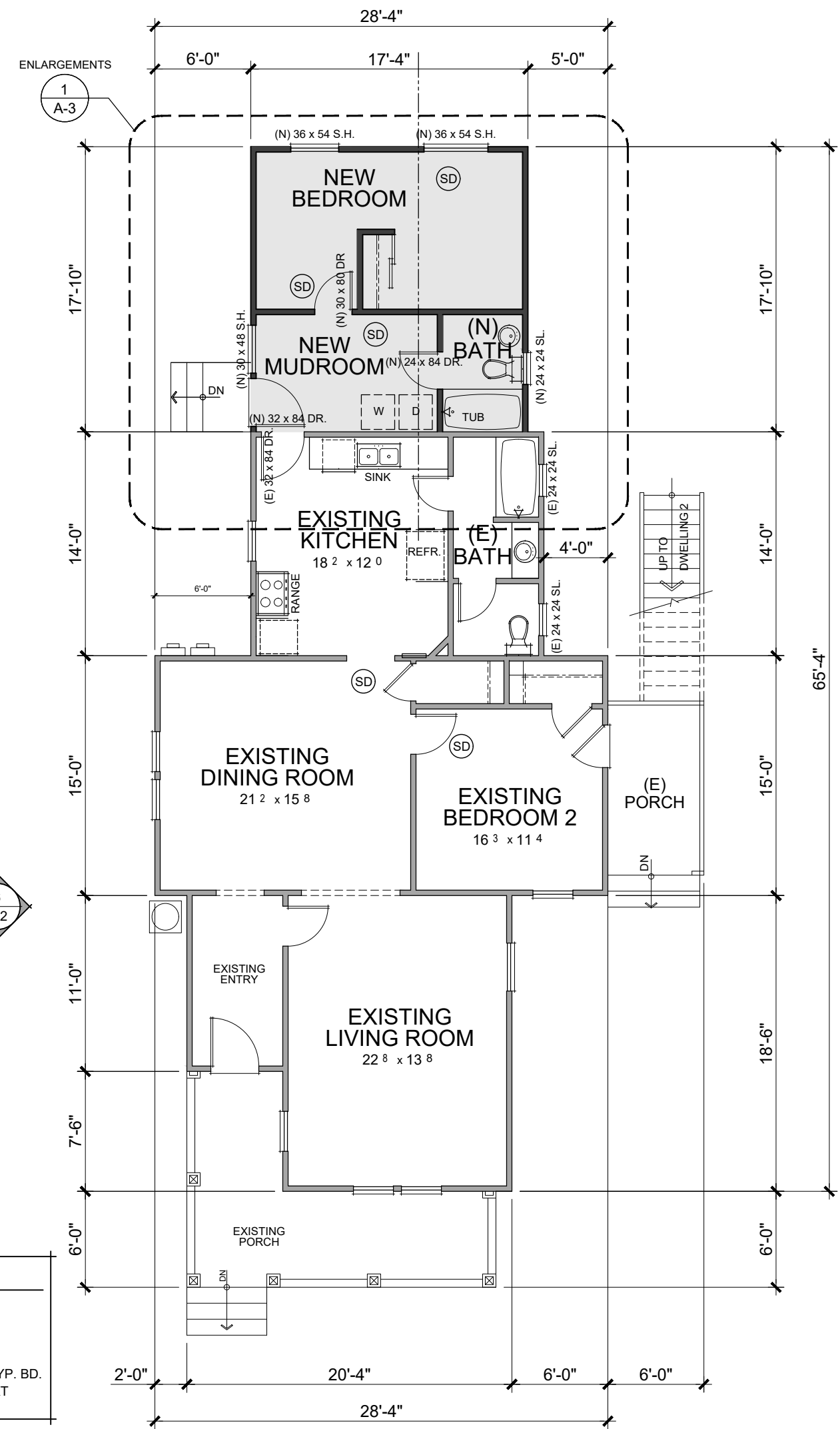
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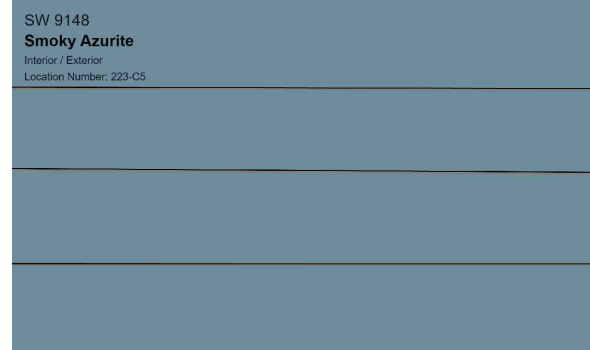


3 PROPOSED UPPER LEVEL
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2 PROPOSED LOWER LEVEL
SCALE: 1/8" = 1'-0"

COLOR AND MATERIAL



1 HORIZONTAL SIDING
COLOR: SW 9148 SMOKEY AZURITE



2 ROOF SHINGLES
OWENS CORNING SUPREME DESERT TAN



3 DOOR, WINDOW AND FASCIA TRIM
COLOR: SW 7005 PURE WHITE

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PROPOSED ADDITION TO UNIT 1	309 S.F.

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TOTAL LANDSCAPE (20% MIN).	2,870 / 7,680 = 37.3%
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DATE: 03-09-2021

SCALE: NOTED

SHEET TITLE:

SITE PLAN
& FLOOR PLAN

SHEET NO.

A-2

FOUNDATION NOTES :

- INDICATES NEW FOUNDATION
- INDICATES EXISTING FOUNDATION
- AREA OF NOT LESS THAN 1/150 OF THE UNDER- FLOOR AREA PER CRC R408.1 OPENINGS SHALL BE PROTECTED BY METAL MESH WITH 1/4" MAXIMUM OPENING.
- [HDU2] INDICATES HOLDDOWNS AT FOUNDATION. LOCATE ALL HOLDDOWNS AT A DOUBLE CORNER STUD OR THE OPENING KING AND CRIPPLE STUD.
- SATURATE THE SOIL 18" BEFORE PLACING CONCRETE SLAB.
- HOLD DOWN HARDWARE MUST BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION.
- HOLD DOWN CONNECTOR BOLTS INTO WOOD FRAMING REQUIRE APPROVED PLATE WASHERS AND HOLD DOWNS SHALL BE TIGHTENED JUST PRIOR TO COVERING OF WALL FRAMING.
- PROVIDE SOLID BLOCKING AT POST FROM ABOVE.
- WOOD JOIST OR THE BOTTOM OF WOOD STRUCTURAL FLOOR CLOSER THAN 18" OR WOOD GIRNDERS CLOSER THAN 12" TO EXPOSED CRAWL SPACE SHALL BE PRESSURE TREATED OR NATURALLY DURABLE TO DECAY. CRC R317.1 (1)
- FIELD- CUTTING ENDS, NOTCHES AND DRILLED HOLES OF PRESERVATIVE- TREATED WOOD SHALL BE TREATED IN THE FIELD IN ACCORDANCE WITH AWP4 M4 CRC R317-1.1
- DRILL AND EPOXY DOWELS MINIMUM OF 6" DEEP, (2 - #4) OR 2 - #5) BAR AT TOP AND BOTTOM WITH 3-INCH CLEARANCE FROM EARTH, INTO EXISTING FOOTING AT A 60 DEGREES ANGLE AND WITH A 24-INCH SPLICE INTO NEW FOOTING. USE APPROVED EPOXY.
- PROVIDE SLAB DOWELS FOR COLD JOINT FOOTING CONNECTIONS.
- GIRDER/BEAM SHALL HAVE MINIMUM 3 INCH BEARING ON MASONRY OR CONCRETE.

FRAMING NOTES:

REFER R802.3 (1) FASTENER SCHEDULE FOR FRAMING MEMBERS

- ALL EXTERIOR STUD WALLS SHALL BE 2x4 @ 16" O.C. (U.N.O.). USE 2X6 STUDS AND PLATES FOR ALL PLUMBING WALLS.
- THE NUMBER AND SIZE OF NAILS CONNECTING WOOD MEMBERS SHALL NOT BE LESS THAN THAT SET FORTH IN TABLE 23-1 B-1 AND 23-11 B-2 OF CBC
- STRUCTURAL WOOD PANEL SHEARWALLS SHALL BE COVERED WITH A MINIMUM LAYERS 15# FELT UNDERLAYMENT PRIOR TO PLACING FINISH MATERIAL
- ALL STRUCTURAL FRAMING SHALL BE GRADE-MARKED DOUGLASS FIR (MOISTER 19%) AS FOLLOWS UNLESS NOTED OTHERWISE
 - 2x, 4x BEAMS JOIST, RAFTERS AND POST: D.F. No. 1
 - STUDS AND BRACES : D.F. No. 2
 - SILL PLATES : STD. GRADE D.F. PRESSURE TREATED.
- ROOF SHEATHING SHALL INCLUDE RADIANT BARRIER.
- TIE ALL NEW AND OLD WALLS AT TOP PLATES WITH MST-37 INSTALL IN APPROVED MANNER OR EQUIVALENT.
- PROVIDE 6" MIN. OVERLAP AT CEILING JOIST OVER PARTITIONS, FACE NAIL WITH 3-16d USE MST1819 METAL STRAP AT BUTTING CEILING JOIST.

SHEAR WALL NOTES

- SHEAR WALL SCHEDULE SHALL CONFORM TO TABLE 23-4-K-1 OF THE CBC.
- ALL PLYWOOD PANEL SHALL BE BLOCKED AND FIELD NAILED AT 12" WITH COMMON NAIL SIZE SPECIFIED.
- PANEL WITH Fv = 300 PLF AND ABOVE SHALL BE PROVIDED WITH 3 X END STUD AND SILL MINIMUM
- FRAMING AT ADJOINING PANEL EDGES AND BOLTED SILL PLATES SHALL BE 3-INCH NOMINAL OR THICKER WHERE THE SHEAR VALUE EXCEED 300 POUNDS PER FOOT.
- UNLESS OTHERWISE NOTED, STUDS SHALL BE 2 X 4 @ 16 INCHES ON CENTER.
- WHERE PANELS ARE APPLIED ON BOTH FACES OF A WALL AND NAIL SPACING IS LESS THAN 6 INCHES ON CENTER ON EITHER SIDE, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS OR FRAMING SHALL BE 3-INCH NOMINAL OR THICKER NOMAND NAILS ON EACH SIDE SHALL BE STAGGERED.
- ALL NAILING SHALL UTILIZE COMMON NAILS.
- PLATE WASHERS SHALL BE USED WITH ALL ANCHOR BOLTS WHER SHEAR WALL VALUE IS GREATER THAN 300-PLF: (BOLT LENGTH SHALL BE 12" LG. MIN.)
5/8" BOLT - 2.5 x 2.5 x 1/4 3/4" BOLT - 2.75 x 2.75 x 5/16 7/8" BOLT - 3 x 3 x 3/8

SHEAR WALL SCHEDULE AND SPEC.

WALL #	WALL LENGTH	SHEAR PANEL DESCRIPTION	FOUNDATION ANCHOR BOLTS
X	SEE PLAN	1/2" PLYWOOD, STRUC. 1- 1 SIDE 8d @ 6-8-12	5/8" Ø x 12" L. @ 53" O.C.

ROOF DIAPHRAGM:

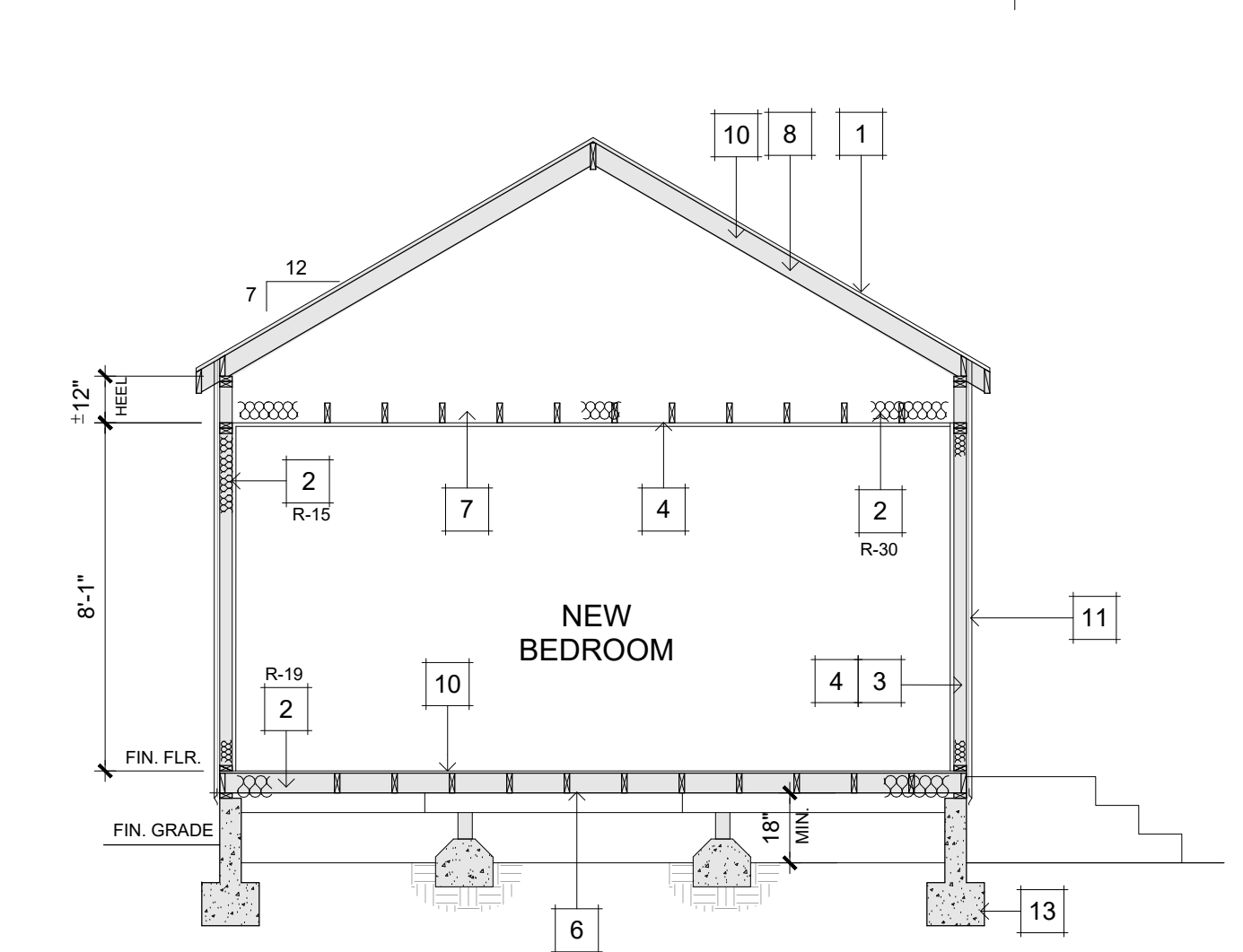
15/32" CDX PLYWOOD, BLOCKED, CCX, 8d AT 6" O.C. AT BOUNDARY AND INTERMEDIATE SUPPORTS
8d AT 12" O.C. AT FIELD.

FLOOR DIAPHRAGM

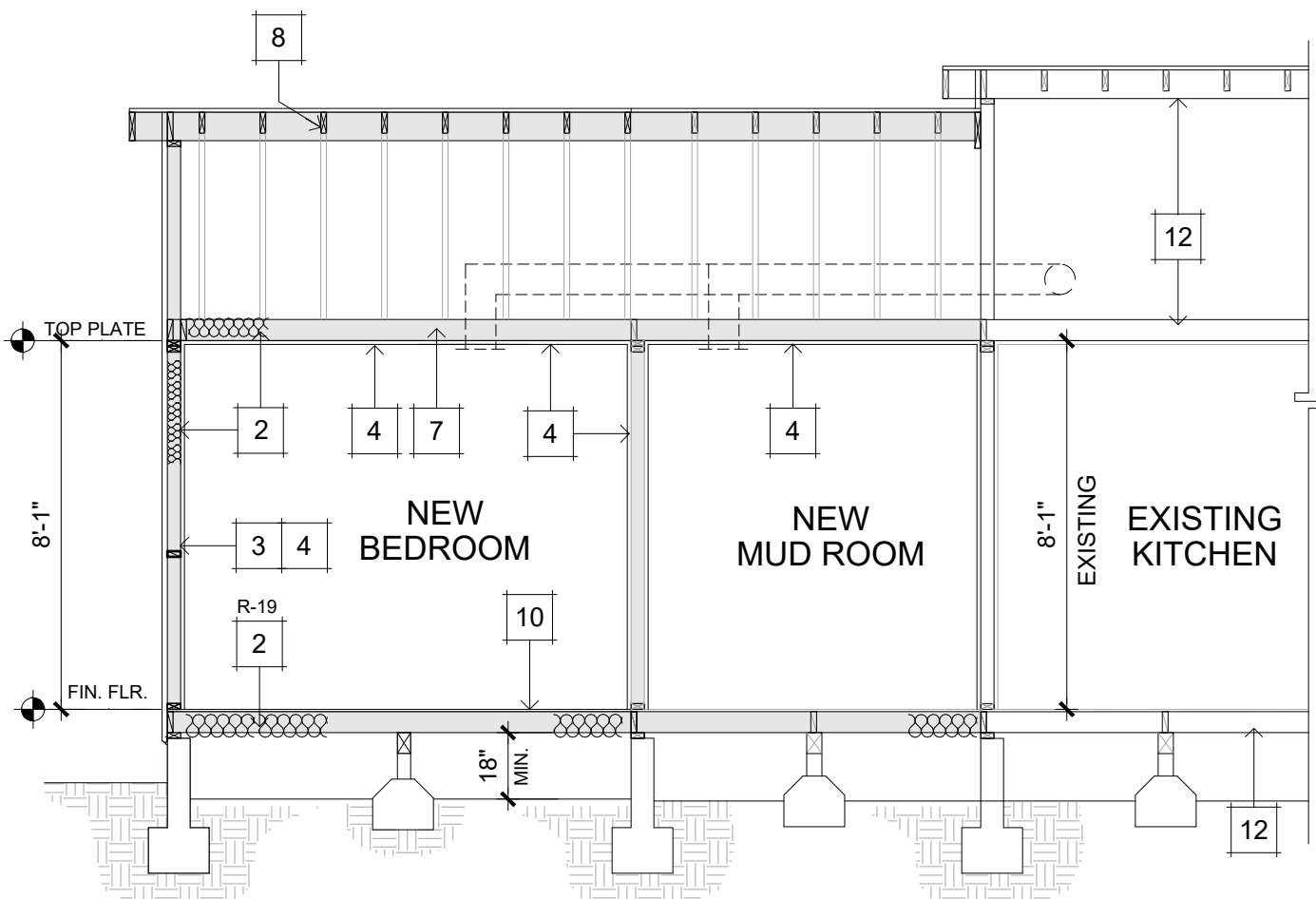
3/4" THK. T & G "CDX" PLYWOOD
10d @ 6" O.C. AT BOUNDARY AND PANEL EDGES
10d @ 10" O.C. AT FIELD.

ELECTRICAL LEGEND

- RECESSED LIGHT FIXTURE
- RECESSED "FLUORESCENT" LIGHT FIXTURE
- WALL MOUNTED "FLUORESCENT" LIGHT FIXTURE
- SINGLE POLE LIGHT SWITCH
- THREE-WAY LIGHT SWITCH
- SINGLE POLE LIGHT SWITCH WITH DIMMER CONTROL
- SINGLE POLE LIGHT SWITCH WITH MANUAL-ON OCCUPANT SENSOR
- 120V DUPLEX CONVENIENCE RECEPTACLE
NEW RECEPTACLES SHALL BE TAMPERED-PROOF
- 120V DUPLEX CONVENIENCE RECEPTACLE
ARC FAULT CIRCUIT INTERCEPTOR
- 120V. GROUND FAULT CIRCUIT-INTERRUPTER (GFCI)
DUPLEX CONVENIENCE RECEPTACLE
- 120V. WEATHERPROOF G.F.C.I. DUPLEX
CONVENIENCE RECEPTACLE
- (SD) SMOKE ALARM, ICBO APPROVED, CEILING MOUNTED, HARD WIRED AND WITH BATTERY BACK UP. ALL EXISTING SLEEPING ROOMS SHALL
ALL EXISTING SLEEPING ROOMS SHALL HAVE SMOKE DETECTORS
SMOKE DETECTORS AND CARBON MONOXIDE ALARM
- CMA PROVIDE CARBON MONOXIDE ALARM
"CARBON MONOXIDE ALARMS SHALL BE HARDWIRED WITH BATTERY BACKUP AND INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM SHALL
ACTIVATE ALL OTHER ALARMS IN THE DWELLING UNIT. RETROFIT ALARMS MAY
BE BATTERY OPERATED IN ROOMS WHERE ALTERATIONS/REPAIRS DO NOT
RESULT IN THE REMOVAL OF WALLS OR CEILING FINISHES."



A BUILDING SECTION
SCALE: 1/4" = 1'-0"

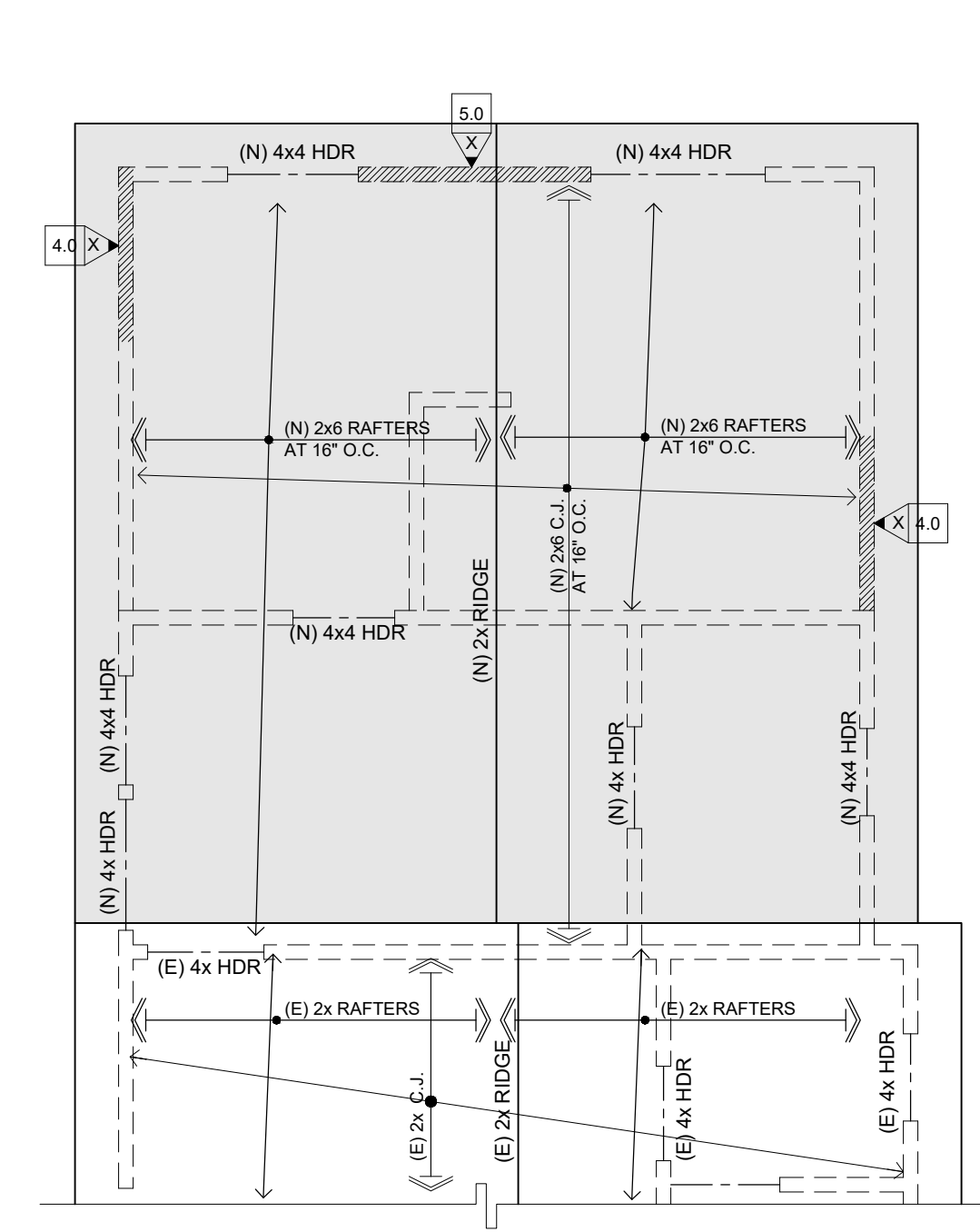


B BUILDING SECTION
SCALE: 1/4" = 1'-0"

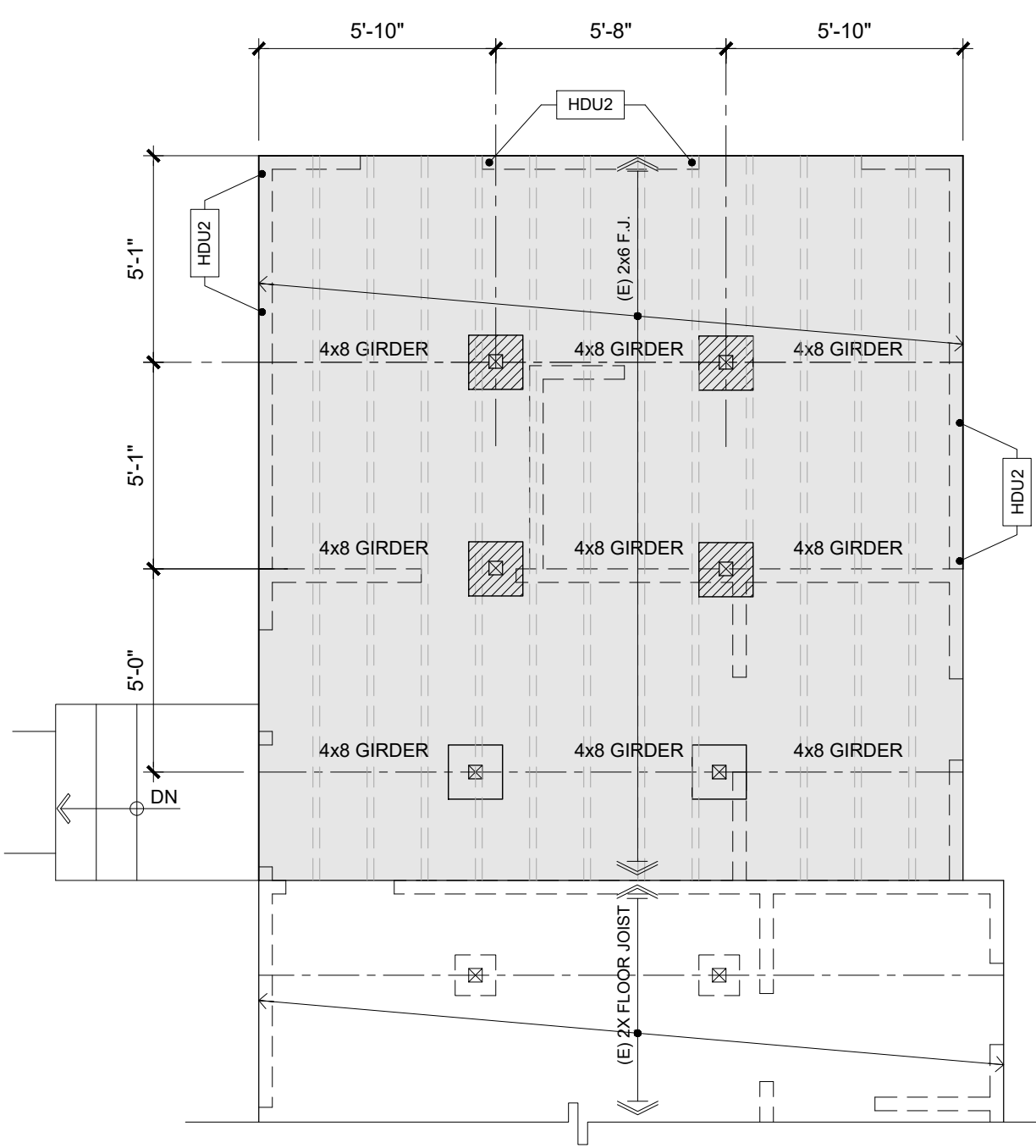
ATTIC AREA VENTILATION

REQUIRED VENTING AREA:	UNDER FLOOR VENT:
176 S.F. x 144 / 150	176 S.F. / 150 = 1.17 SQ. FT REQUIRED
2 - 9 x 18" DORMER VENT	168 SQ. IN.
	190 SQ. IN.

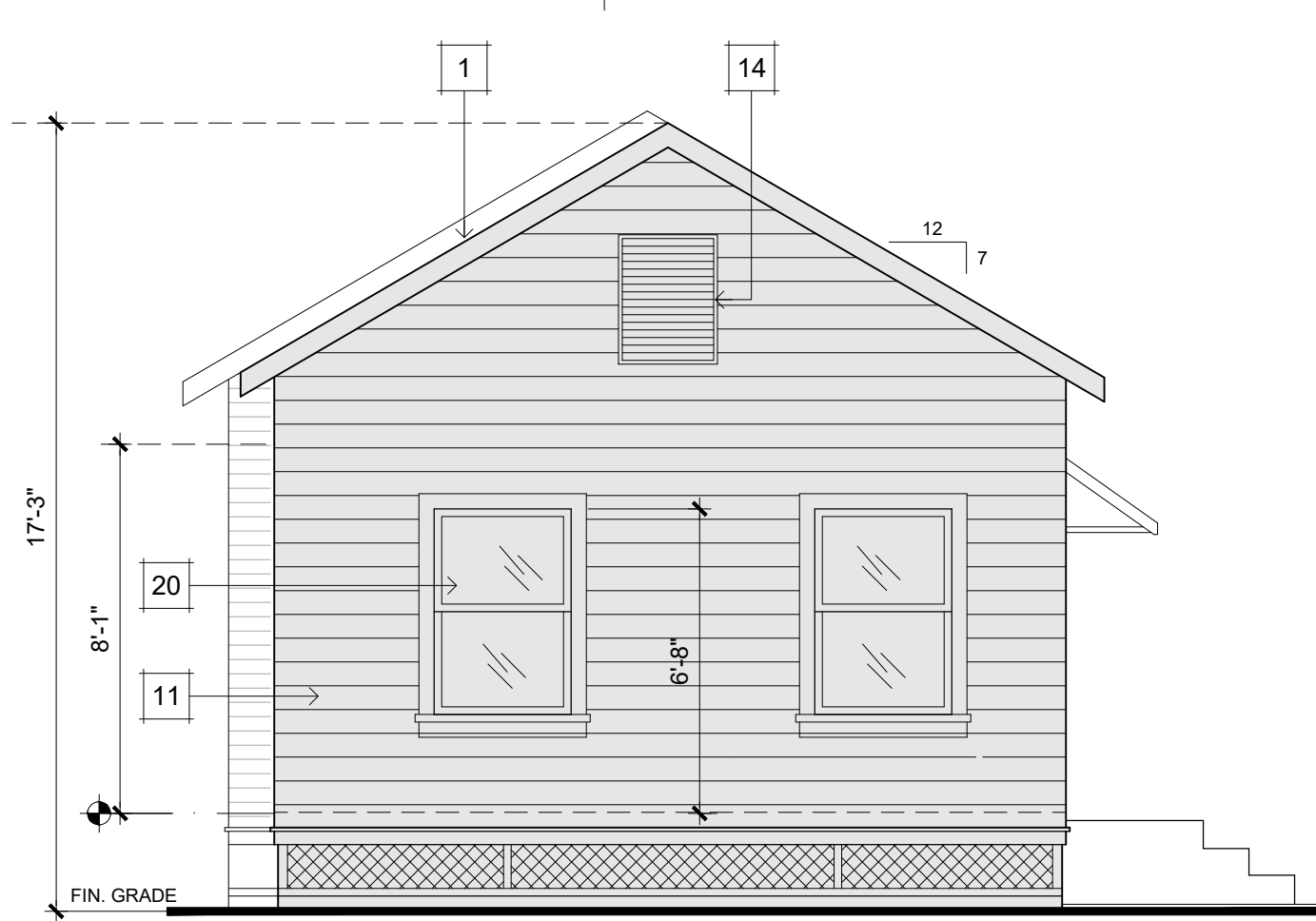
UNDER FLOOR VENT:
176 S.F. / 150 = 1.17 SQ. FT REQUIRED
PROVIDE 8 VENTS AT AT NEW MASTER BEDROOM AND BATH.
PROVIDE AND INSTALL ACCORDING TO 2019 CRC R408.1



3 FRAMING PLAN
SCALE: 1/4" = 1'-0"



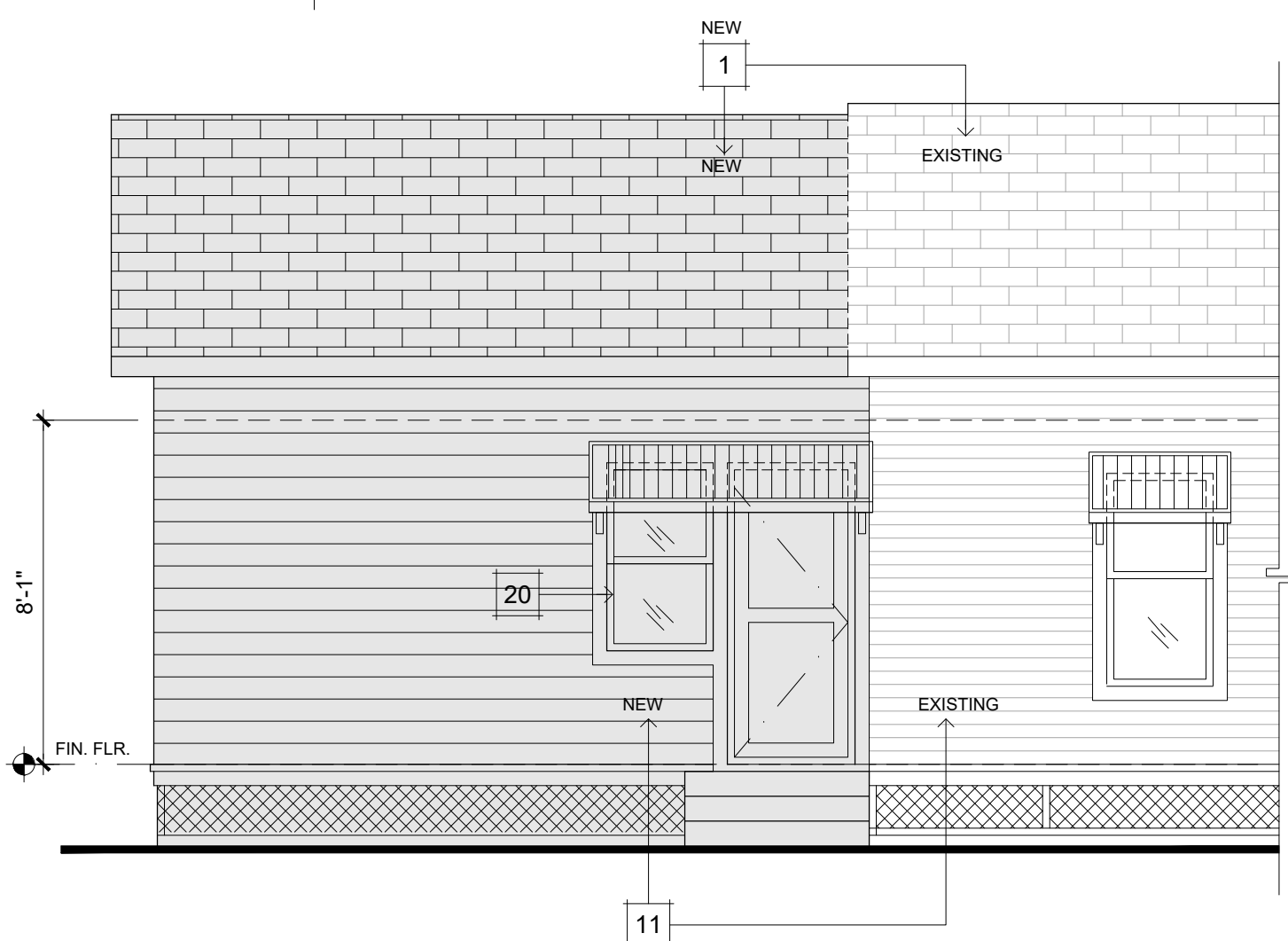
2 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



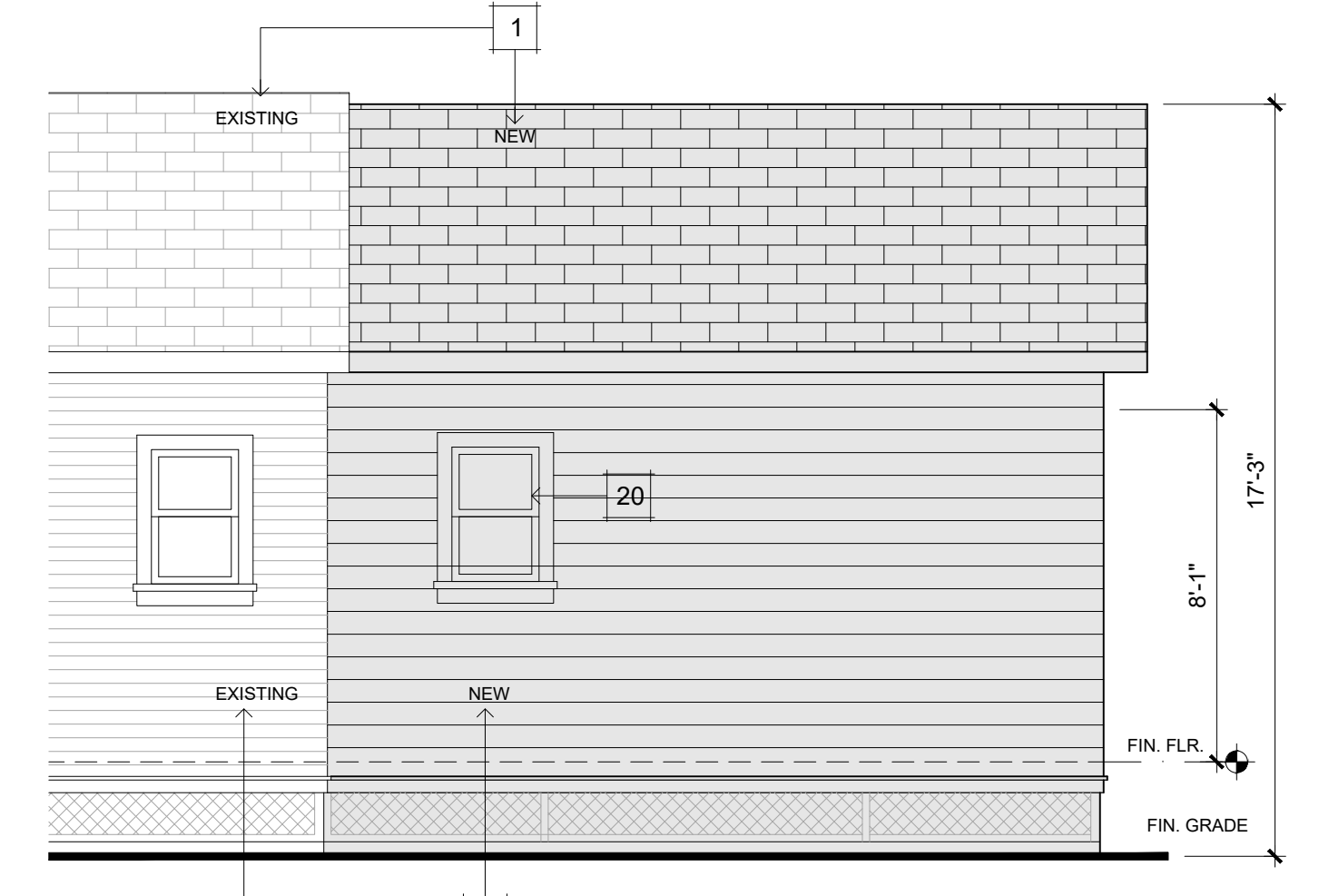
4 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

KEYED NOTES

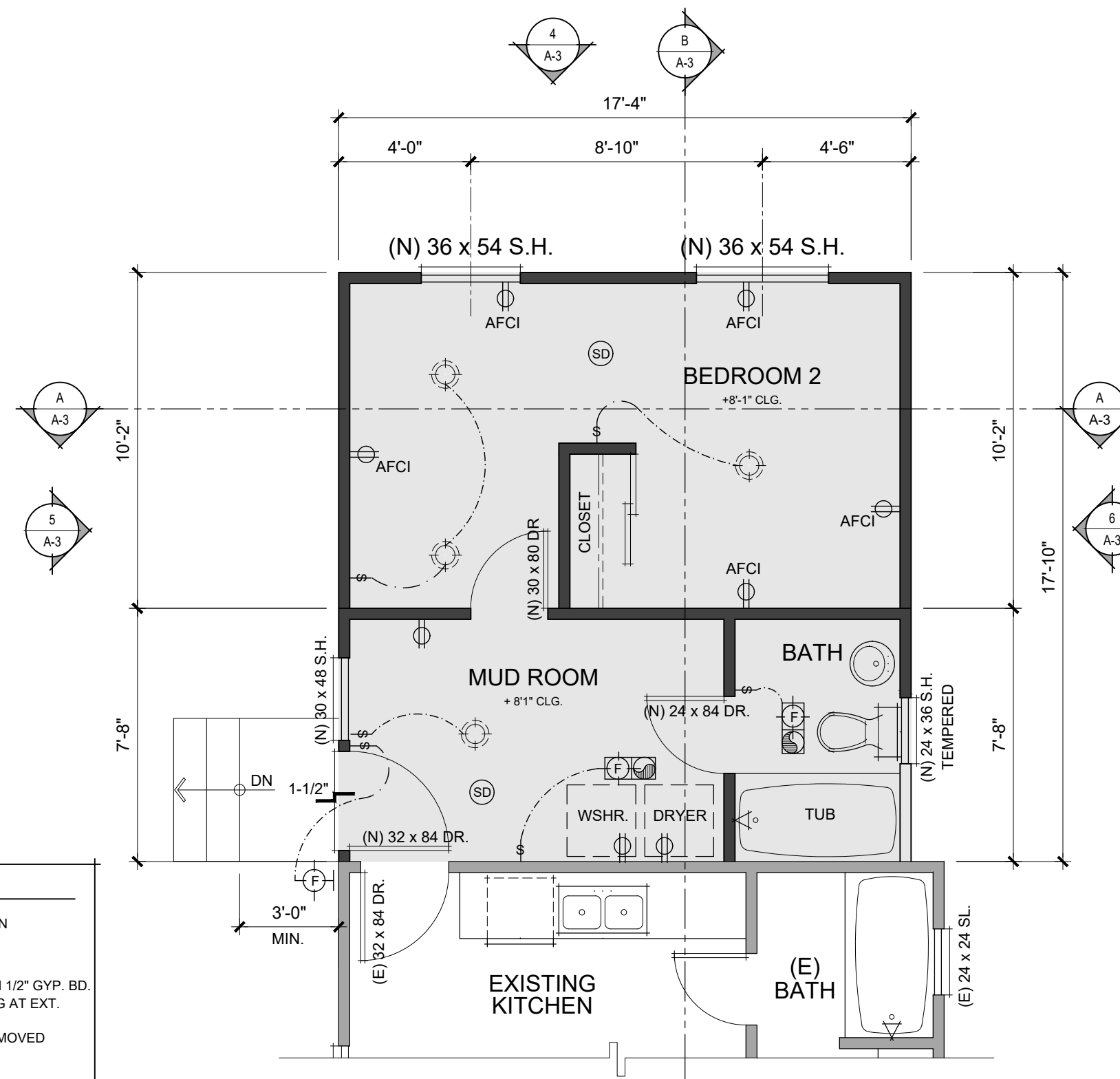
- NEW ASPHALT ROOFING, CLASS "A" MIN. SEE DETAIL. TO MATCH EXISTING ROOF INSTALL PER MFG.'S RECOMMENDATIONS AND ICC # ESR-1389
- FIBERGLASS BATT INSULATION AT ROOF, WALLS AND FLOOR. WALLS = R15, CRAWLSPACE = R19, ATTIC = R30
- NEW 2x4 STUDS @ 16" O.C.
- 1/2" THK. GYPSUM BOARD
- NEW A/C UNIT ON WALL
- NEW 2x FLOOR JOIST. SEE FRAMING PLAN
- NEW 2x CEILING JOIST. SEE FRAMING PLAN
- NEW 2x ROOF RAFTERS, SEE FRAMING PLAN
- NEW HEADER OR BEAM. SEE FRAMING PLAN
- PLYWOOD SHEATHING, SEE FRAMING PLAN
- NEW HORIZONTAL WOOD SIDING OVER W.P. BARRIER. COLOR TO MATCH EXISTING HORIZONTAL SIDING.
- EXISTING FRAMING (ROOF RAFTERS, CEILING JOIST AND FLOOR JOIST)
- NEW CONCRETE FOOTING AND PIER. SEE FOUNDATION PLAN
- 12 x 14 GALV. LOUVERED VENT. PAINT TO MATCH ADJACENT SURFACE
- EXISTING STUD WALL TO BE REMOVED.
- 26 GA. CORROSION RESISTANT WEEP SCREED. INSTALL PER CRC R308. 1 MIN. 0.019 (NO. 26 GALV. SHEET GRADE) CORROSION-RESISTANT OR PLASTIC WEEP SCREED. INSTALL 2" MIN. FROM CONC. SURFACE AND 6" MIN. FROM EARTH GRADE.
- 2x FASCIA PRIME AND PAINTED
- NEW 6x14 SCREENED VENTS FOR UNDERFLOOR VENTILATION 570 S.F. / 150 = 3.80SQ. FT REQUIRED. INSTALL PER R408.1. PROVIDE 6 AT NEW ADDITION.
- 18" x 24" MIN. FLOOR ACCESS TO UNDER-FLOOR CRAWL SPACE WITH 16" x 24" THRU WALL OPENING. CRC R408.4
- DUAL GLAZED WINDOWS. SEE FLOOR PLAN FOR SIZE.



5 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



6 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



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SCALE: 1/4" = 1'-0"

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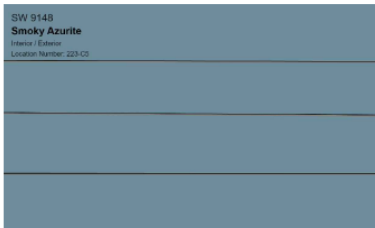
SHEET NO.

A-3

PROPOSED MATERIALS



HARDIEPLANK® LAP SIDING SMOOTH



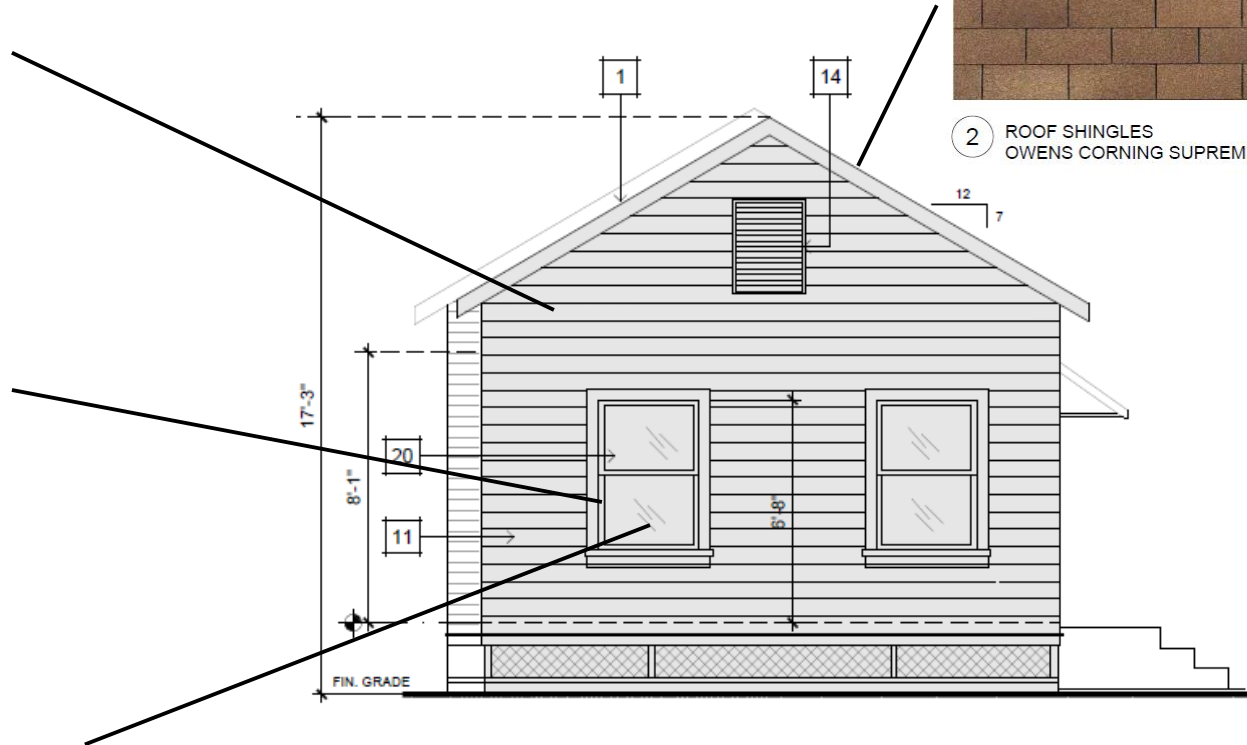
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100 SERIES
SINGLE-HUNG WINDOW