

CULTURAL RESOURCES ASSESSMENT

POMONA FAIRPLEX

CITY OF POMONA

LOS ANGELES COUNTY, CALIFORNIA



LSA

March 2011

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The logo for LSA Associates, Inc. consists of the letters 'L', 'S', and 'A' in a bold, blue, sans-serif font, spaced out horizontally.

March 2011

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EXECUTIVE SUMMARY

LSA Associates, Inc. (LSA) conducted a cultural resources assessment for the 543-acre Pomona Fairplex property at 1101 West McKinley Avenue (Assessor's Parcel Numbers [APNs] 8378-020-901, 8378-020-905, 8378-019-001, 8378-019-900, 8378-016-901, and 8378-016-020) in the City of Pomona (City), Los Angeles County, California. The subject property is currently developed with large parking lots, a drag strip, a horse race track, and numerous permanent and temporary buildings, structures, and other features, such as fountains, train tracks, and gardens. The proposed project involves an approximately 23-acre portion of the 543-acre project area that is currently developed with 22 horse stables. Nine of the existing stables are proposed to be converted into offices, eleven are proposed to be converted into self-storage units, and two are proposed to be demolished. The proposed project also involves installation of paving, parking, landscaping, lighting, fencing, and signage. The City, as Lead Agency for the project, required this study as part of the environmental review process to comply with the California Environmental Quality Act (CEQA).

The purpose of the study is to provide the City with the necessary information and analysis to determine whether the proposed project would cause substantial adverse changes to any historical resources that may exist in the project area, as mandated by CEQA. The fairgrounds have existed at this location since 1922 and several of the buildings within the project area date to the historic-period (pre-1962). In addition, the fairgrounds were designated California Historical Landmark 934 as the site of a temporary detention camp for Japanese-Americans during World War II (WWII), and as a result, were automatically listed in the California Register of Historical Resources (California Register) and are a historical resource for purposes of CEQA. However, the fairgrounds have not previously been intensively surveyed and evaluated. Therefore, in compliance with CEQA, this study evaluates the fairgrounds under the California Register and local criteria.

In order to accomplish this evaluation, LSA conducted a historical/archaeological resources records search, pursued historical background research, and carried out intensive-level field surveys. LSA also analyzed the proposed project plans to determine whether they would result in any substantial adverse changes to the significance of the Pomona Fairplex (Fairplex).

As a result of this study, the following was determined regarding cultural resources:

- No prehistoric or historic archaeological resources were identified within the project area, and no further consideration of archaeological resources is required unless project plans undergo such changes as to include areas not covered by this study. However, if buried cultural materials are encountered during earthmoving operations associated with the project, all work in that area should be halted or diverted until a qualified archaeologist can assess the nature of the find and recommend appropriate mitigation measures.

In the event human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made a determination of origin and disposition pursuant to Public Resources Code (PRC) Section 5097.98. The County Coroner must be notified of the find immediately. If the remains are determined to be Native

American, the County Coroner will notify the Native American Heritage Commission (NAHC), which will determine and notify a Most Likely Descendant (MLD). With the permission of the landowner or his/her authorized representative, the MLD may inspect the site of the discovery. The MLD shall complete the inspection within 48 hours of notification by the NAHC. The MLD will have the opportunity to offer recommendations for the disposition of the remains.

- The Pomona Fairplex meets the criteria for listing in the California Register of Historical Resources (California Register) as a historic district. Under Criterion 1, it is significant for its association with the development of agricultural fairs in California and specifically the Los Angeles and Inland Empire regions. It is also significant under Criterion 3 as a distinguished example of the fairgrounds property type with numerous buildings representing various styles and periods of architecture, including those associated with the Works Progress Administration (WPA). For the same reasons, the fairgrounds are also eligible for designation as a historic district under the local ordinance. Contributing buildings and features include:
 - Race Track;
 - Administration Building 1;
 - Palace of Agriculture (also known as Building 4);
 - Grandstand;
 - Administration Building 2;
 - Millard Sheets Building (formerly the Fine Arts Building);
 - WPA Barrel-Roofed Exhibition Halls (also known as Buildings 5–8);
 - Avalon (formerly Anthony's);
 - National Hot Rod Association (NHRA) Motorsports Museum (formerly the Home Arts Building);
 - Longboard Bar;
 - Horse Racing Stables 1–12A and 14–28;
 - Flower Building; and
 - Drag Strip.
- The nine stables known as the Barrett's Equine Complex that are proposed to be converted into offices are of modern origin (1989) and therefore do not contribute to the historic significance of the Fairplex. No mitigation measures related to cultural resources are required for these buildings.
- The buildings that were constructed for use by Japanese-Americans during their detainment at the Fairplex between May 7 and August 24, 1942, are no longer extant. The detention center was located in the western portion of the Fairplex where there are now large parking lots. No buildings that appear to have been a part of that facility were identified in the project area. Similarly, no other military-related buildings associated with either the Pomona Ordnance Depot or the prisoner of war camp appears to remain on the property.
- Horse racing stables 1–12A and 14–28 date to the historic-period and, as a group, are contributors to the historic district. As part of the proposed project, horse racing stables 1–11 are proposed to be converted to self-storage units and stables 12 and 12A are proposed to be demolished. These

alterations will not result in a substantial adverse change to any historical resources (i.e., the Pomona Fairplex Historic District) and no mitigation measures are recommended. However, if the City would like to preserve more of the historic character of these buildings, LSA suggests that the eave overhangs not be reduced, the exterior walls remain sided with board-and-batten, and, wherever possible, the windows and doors not be removed.

INTRODUCTION

From January to March 2011, at the request of the City of Pomona, LSA performed a cultural resources study and project impacts analysis on the Pomona Fairplex (APNs 8378-020-901, 8378-020-905, 8378-019-001, 8378-019-900, 8378-016-901, and 8378-016-020) located in Pomona, Los Angeles County, California (Figures 1 and 2). The Fairplex is located in Township 1 South, Range 8 West, San Bernardino Baseline and Meridian, as depicted on the *San Dimas, California* 7.5-minute topographic quadrangle map (United States Geological Survey [USGS] 1966, PR1981). The study is part of the environmental review process for the proposed conversion of 22 stables into offices and self-storage facilities. The City, as Lead Agency for the project, required the study in compliance with CEQA (PRC Section 21000, et seq.) and the City's Historic Preservation ordinance (Section .5809-13 of the City's Zoning Ordinance).

LSA performed the present study to provide the City with the necessary information and analysis to determine whether the proposed project would cause substantial adverse changes to any historical/archaeological resources that may exist in or around the project area, as mandated by CEQA. In order to identify and evaluate such resources, LSA conducted a historical/archaeological resources records search, pursued historical background research, and carried out reconnaissance and intensive-level field surveys. In addition, LSA reviewed and analyzed the proposed project plans. This report is a complete account of the methods, results, and final conclusion of the study.

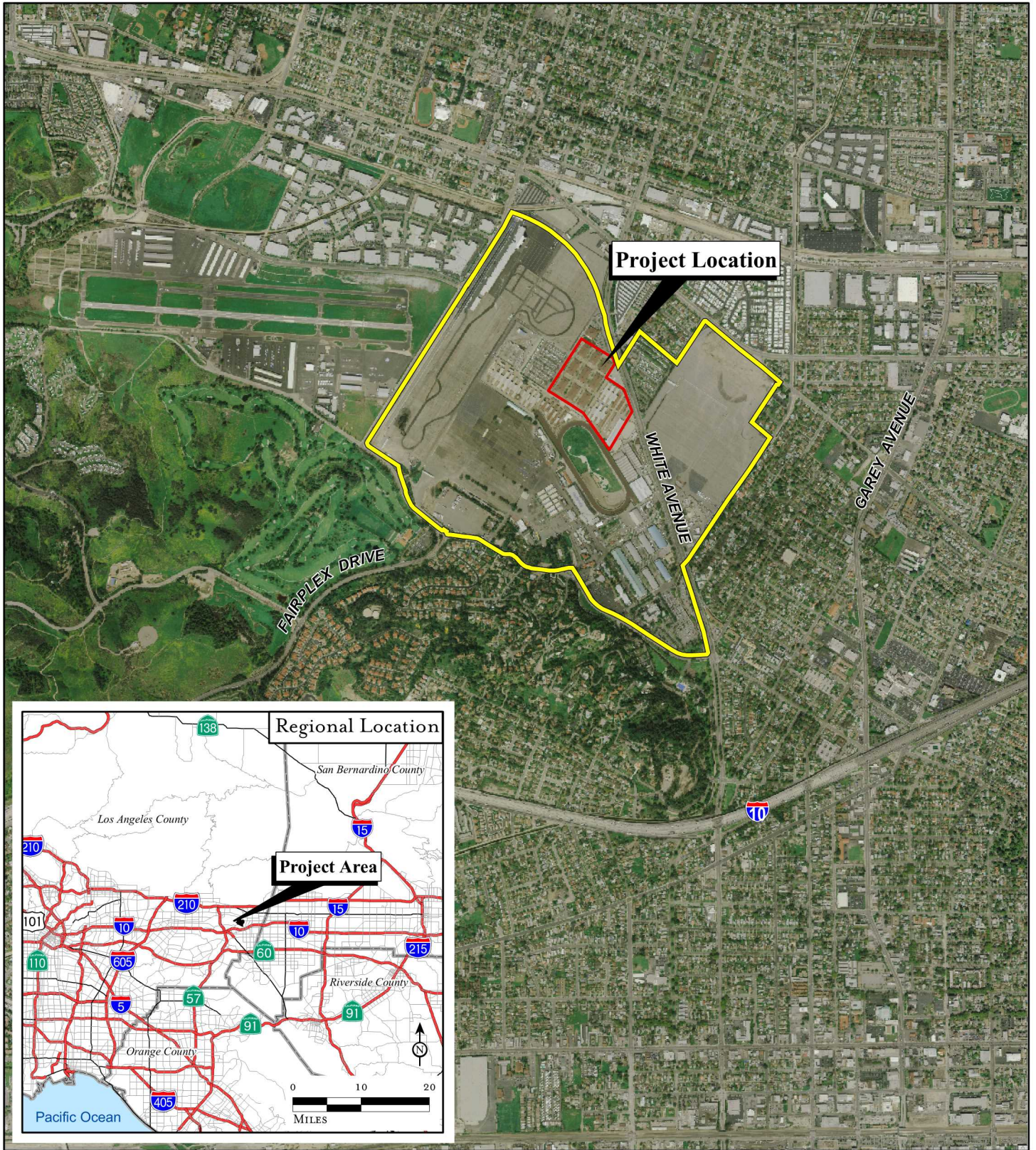
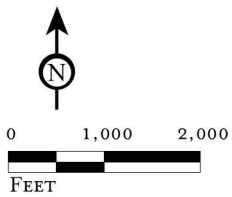


FIGURE 1

LSA



SOURCE: AirPhotoUSA, 2008

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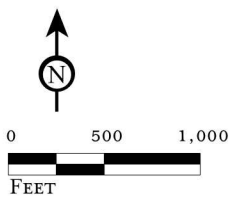
Pomona Fairplex

Regional and Project Location



FIGURE 2

LSA



- Project Boundary
- Proposed Site Location

Pomona Fairplex
Site Location

SOURCE: ESRI World Imagery, 2010

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CULTURAL SETTING

PREHISTORY

Prehistoric Chronologies

The development of a regional chronology marking the major stages of cultural evolution in the Southern California area has been an important topic of archaeological research. In general, cultural developments in Southern California have occurred gradually and have shown long-term stability; thus, developing chronologies and applying them to specific locales has often been problematic. Southern California researchers have used changing artifact assemblages and evolving ecological adaptations to divide regional prehistory into four stages. Wallace (1955; 1978) developed one of two chronologies most commonly cited. Wallace (1955) uses major cultural developments to divide area prehistory into four time periods, or “cultural horizons:” the Early Period, the Milling Stone Period, the Intermediate Period, and the Late Period. The following overview is based primarily on Wallace’s chronology, which has been revised slightly by Koerper (1981) and Koerper and Drover (1983).

The Early Period (Prior to 6000 BC)

The Early Period (also known as the Hunting Period) covers the interval from the first presence of humans in Southern California (the terminal Pleistocene, circa [ca.] 12,000 years BP), until post-glacial times (5500 to 6000 BC). Artifacts and cultural activities from this period represent a predominantly hunting culture; diagnostic artifacts include extremely large, often fluted bifaces associated with use of the spear and the atlatl. In Southern California, important Early Period sites have been found near prehistoric Lake Mohave and along the San Dieguito River (Wallace 1955, 1978:27; Moratto 1984:81, 93–99). Early sites dating to ca. 10,000 years ago and older have also been documented in Santa Barbara County and the northern Channel Islands (Erlandson et al. 1996; Lebow et al. 2007; Rockwell and Stafford 2003). Evidence at sites dating to the Terminal Pleistocene and Early Holocene increasingly suggests that the early inhabitants of coastal California relied on marine resources and seeds, possessing an adaptation quite distinct from the big game hunters of the Great Plains (Rick et al. 2001).

The Milling Stone Period (6000 BC to 3000 BC)

The transition from the Early Period to the Milling Stone Period is marked by an increased emphasis on the processing of seeds and edible plants and is estimated to have occurred between 6000 BC and 3000 BC. According to Wallace (1978:28), wild seeds and edible plants formed the primary food source during this period, with only limited use of shellfish and faunal resources; plant resources were processed using deep-basined mills and handstones, hence the term Milling Stone Period. Milling Stone Period settlements were larger and were occupied for longer periods of time than those of the Early Period, and mortuary practices included both flexed and extended burials, as well as reburials. Grave offerings were few, although rock cairns were sometimes placed over the bodies (Wallace 1955:192, Table 1; 1978:28).

Diagnostic artifacts recovered from Milling Stone Period sites include metates, manos, and large projectile points, indicating the continued use of darts and atlatls. Among the more enigmatic artifacts from this period are discoidals and cogged stones. Discoidals are round to ovoid groundstones with flat or slightly convex faces and edges, while cogged stones are discoidals with serrated edges resembling the teeth on gears. Both types of artifacts appear sometime around 4000 BC and are dated to the Milling Stone Period; their use remains unclear, and they may have had a ceremonial function (Moratto 1984:149–150).

Wallace (1978:28) offers two possible scenarios to explain the cultural changes that occurred during the Milling Stone Period; quite possibly, both processes occurred simultaneously in different geographical areas. In some regions (such as western San Diego County), Milling Stone cultures may have evolved gradually as the earlier hunting peoples learned to exploit a wider variety of food resources; in other areas, people migrating from interior regions may have introduced to coastal areas the technology for processing seeds and plant foods. Evidence for such migrations may be found in climatic data. The onset of the Milling Stone Period corresponds to an interval of warm, dry weather known as the Altithermal; during the Altithermal, many of the inland lakes disappeared, and the region became less habitable, perhaps triggering the coastal migrations believed to have occurred at this time (Wallace 1978:28).

The Intermediate Period (3000 BC to AD 500)

By approximately 3000 BC, the inhabitants of Southern California were exploiting a diverse array of food resources, including seeds and edible plants, shellfish, fish, and mammals. Along the coast, a greater reliance was placed on marine food resources as evidenced by the recovery of near-shore and pelagic (deep-water) fish remains from archaeological sites. In the interior regions such as the Mojave Desert, the return of cooler, moister conditions led to increased populations along streams and lakes. Hunting appears to have been the primary food-gathering activity in these interior areas; the best-known sites in this region are located at Pinto Basin in northeastern Riverside County (Moratto 1984:153; Wallace 1978:30–31).

Intermediate Period sites are characterized by the appearance of the mortar and pestle (although the mano and metate continued in use). In inland and desert sites, the projectile points are generally still large (dart point sized), but small Rose Spring projectile points appear late in this period. The use of the mortar and pestle may indicate an increased reliance on acorns as a food source, while the small projectile points suggest that the bow and arrow was in limited use (Elsasser 1978:55; Wallace 1978:30–31). Intermediate Period burials were generally by interment in a flexed position, face down, although a site at Big Tujunga Wash in the San Fernando Valley contained both reburials under stone cairns and cremations (Elsasser 1978:55; Wallace 1955:193–195).

The Late Period (AD 500 to 1769)

The Late Period, which began in approximately AD 500, witnessed a number of important cultural developments in Southern California, including the concentration of larger populations in settlements and communities, greater utilization of the available food resources, and the development of regional subcultures. Cremation was the preferred method of burial during the Late Period, and elaborate mortuary customs with abundant grave goods were common. Other cultural traits diagnostic of the

Late Period include increased use of the bow and arrow, steatite containers, circular shell fishhooks, asphaltum (as an adhesive), bone tools and personal ornaments of bone, shell, and stone (Bean and Smith 1978; Elsasser 1978:56; Moratto 1984:159; Wallace 1955:195). Because many of these artifacts are also recovered from earlier periods, other indicators must sometimes be used to distinguish Late Period sites. Among the most useful of these indicators are lithic artifacts manufactured from obsidian. Obsidian from Obsidian Buttes near the Salton Sea was used sporadically in the manufacture of lithic artifacts until sometime after AD 1000, when its use in the Los Angeles Basin became much more common (Hall 1988).

A number of the cultural elements found in Southern California during the Late Period have been linked to the migration of Uto-Aztecan speaking peoples from the Great Basin; these traits include the manufacture of ceramics, the use of small triangular arrow points, and interment by cremation. The date of the Uto-Aztecan migration (which probably occurred in several successive waves over an extended period of time) remains uncertain; it has been dated as early as 2000 BC and as late as AD 700. Linguistic evidence suggests a date of AD 1 to 500 (Kroeber 1976:574–580; Moratto 1984:161). The latter part of the Late Period (AD 1200–1769) is often given its own period, the Protohistoric Period (Moratto 1984).

Ethnographic Setting

The Gabrielino Indians were the first inhabitants to the area known today as the Los Angeles Basin. The name *Gabrielino* refers to the Uto-Aztecan (Takic) speaking Native Americans who lived throughout the present Los Angeles and Orange County areas and who were historically affiliated with Mission San Gabriel Archangel. Today, some of the Gabrielino prefer to call themselves by their traditional name, *Tongva* (McCawley 1996). Gabrielino territory included the watersheds of the Los Angeles, San Gabriel, and Santa Ana Rivers; several smaller intermittent streams in the Santa Monica and Santa Ana Mountains; all of the Los Angeles Basin; the coast from Aliso Creek north to a point between Topanga and Malibu Creeks; and the islands of San Clemente, San Nicolas, and Santa Catalina (Kroeber 1976:620–621; Bean and Smith 1978:538; McCawley 1996:3).

The Gabrielino Indians practiced a hunter-gatherer lifestyle and lived in permanent communities near the convergence of two or more environmental zones or habitats (Bean and Smith 1978). Commonly chosen sites included areas near rivers, streams, and inland watercourses; sheltered coastal bays and estuaries; and the transition zone delineating prairies and foothills. Important considerations influencing the location of habitation sites included the presence of a stable food supply and some measure of protection from flooding. Community populations generally ranged from 50–100 inhabitants, although larger settlements may have existed. Gabrielino communities located in the interior regions maintained permanent geographical territories or use areas that may have averaged 30 square miles. However, it is unclear whether this pattern was similar for coastal settlements, where food resources may have been more plentiful. In addition to permanent settlements, the Gabrielino occupied temporary campsites used seasonally for hunting, fishing, and gathering plant foods and shellfish (McCawley 1996:25). Hunting was primarily for rabbit and deer, while collecting included plant foods such as acorns, buckwheat, chía, berries, and fruits. They also established seasonal camps along the coast and near bays and estuaries to gather shellfish and hunt waterfowl (Hudson 1971).

Gabrielino culture was characterized by an active and elaborate system of rituals and ceremonies. Rituals included individual rites of passage, village rites, seasonal ceremonies, and participation in the

widespread *Chinigchinich* cult. The cult of the culture hero *Chinigchinich* was observed and recorded by Franciscan Friar Gerónimo Boscana during his residences at missions San Juan Capistrano and San Luis Rey (Boscana 1933).

HISTORY

In 1837, the subject property became part of the approximately 20,000-acre Mexican land grant Rancho San Jose (Brackett 1920; City of Pomona 2010). The Rancho was granted to Ygnacio Palomares and Ricardo Vejar with the main purpose being graze land for sheep and cattle. In 1841, additional acreage, referenced on USGS maps as the Rancho San Jose Addition, was granted to Luis Arenas, Palomares' brother-in-law (Brackett 1920). This additional acreage, which was later sold to the English Captain Henry Dalton, is where the project area is located (USGS 1966, PR1981).

Despite the changes that occurred in the mid- to late 1840s and the cession of California by Mexico to the United States, ranch life did not change much (Brackett 1920). In the early 1860s, the Vejar family lost its approximately 10,000-acre portion of Rancho San Jose to Los Angeles merchants Tischler and Schlesinger (*ibid.*). Schlesinger apparently died in 1863 and, in the mid-1860s, deeded to Louis Phillips "all the Vejar interest in the San Jose rancho and the cattle that Tischler had owned..." (Brackett 1920:78). The cattle and sheep industries remained strong until the mid-1860s when the Pomona Valley experienced a severe drought. With the Valley economy in near ruin, the livestock and grain industries began being replaced by grape crops and later olive groves (Brackett 1920).

In 1875, shortly after railroad tracks were laid through the region and the Southern Pacific rail station was opened at First and Main Streets, the original town site of Pomona was created by the Los Angeles Immigration and Land Co-operative (Pomona Heritage 2007; City of Pomona 2010). The town was named "Pomona" after the Roman Goddess of fruit and fruit trees. The town founders purchased water rights and sunk several artesian wells throughout the region.

In the 1880s, Southern California, including Pomona, experienced a land boom that was largely the result of the introduction of the railroad to the area. The land boom ushered in a new era in California and ended the region's geographic isolation as rail lines expanded and connected to nearby cities. By 1880, there were enough residents in the area to warrant a commercial center, and Pomona's was located on West Second Street west of Garey Avenue, approximately one-and-a-half miles southeast of the subject property (Pomona Heritage 2007). Throughout the 1880s, the City experienced a massive residential and economic boom, and in 1888, Pomona incorporated and Pacific Electric cars began service through the new city, providing further impetus to establish business enterprises along the main thoroughfare with outlying residential areas.

Since its early beginning, Pomona established itself as a productive agricultural community. During the 1880s, the grape and wine industries flourished throughout the Valley. However, in the early 1890s, as European wine production began competing with local production, olive groves began replacing vineyards. By the beginning of the 20th century, Pomona was producing a variety of deciduous fruits, including oranges, peaches, prunes, apples, and pears (Lothrop 1976:74). In addition, the Pomona Valley became an important center of dairy production with several large ranches in Pomona.

Agricultural development and the relentless quest for reliable sources of irrigation water plagued the Pomona Valley well into the 20th century. In 1913, the Los Angeles Aqueduct was completed from the Owens Valley in the Eastern Sierra to the Los Angeles Basin, providing further impetus for the development of the rich agricultural lands in the Pomona Valley. Between 1900 and 1920, Pomona's population more than doubled, largely due to Pomona's increasing importance as an agricultural producer (United States Census Bureau n.d.).

As early as 1854, the State officially recognized the importance of agriculture to its economy and began actively promoting it with the adoption of the California State Agricultural Society Act of 1854 (Haymond et al. 1892). That same year, the State Agricultural Society sponsored a State Fair that was held in San Francisco (Anonymous 2011; Anonymous n.d.). The fair included an exhibition of "horses, cattle, mules, and other stock, and agricultural, mechanical, and domestic manufacture and productions [and] promoted the new state's growing agricultural industry" (Anonymous n.d.). By the 1880s, a number of county fairs had been organized and were taking place on an annual basis. However, as late as the 1920s, Los Angeles County still did not have a fair of its own.

In 1921, a merchants' exposition was held along the Southern Pacific Railway in downtown Pomona (Fairplex 2010). The exposition was presented by Harry La Breque, a promoter of community celebrations for Foley & Burke Shows, a railroad carnival, and Clinton B. "Jack" Afflerbaugh, a Pomona druggist and city councilman (ibid.). The exposition, which consisted of exhibits in a tent and a carnival, set the stage for what would become the Los Angeles County Fair as its success inspired Afflerbaugh and others to consider having a fair (ibid.). L.E. Sheets, a local music store owner who had experience with fairs in Iowa, was asked to present plans for a fair to the Pomona Chamber of Commerce and then to the City Council (ibid.).

In 1922, a fair board was formed with Sheets as President, Afflerbaugh as Vice President, and Charles P. Curran as second Vice President. The City of Pomona agreed to purchase a 43-acre beet and barley field from the Ricardo Vejar estate for use as the fairgrounds (Fairplex 2010). Afflerbaugh contacted Sacramento and obtained permission to use the name "L.A. County Fair," and the fair was incorporated as the Los Angeles County Fair with Sheets as its first president (ibid.). It was organized "primarily for the promotion of the agricultural, horticultural, and animal husbandry interests of the great Southwest" (ibid.:74). Financing came from a combination of private loans, the sale of stock, and the County Board of Supervisors (ibid.).

In August 1922, the *Los Angeles Times* reported that the City of Pomona had purchased a 40-acre tract of land adjacent to Ganesha Park for a fair that promised to be the "greatest exposition of the country's resources ever presented" (*Los Angeles Times* 1922a). The fair was to be held October 17–21 and it was reported that eight buildings were being constructed along with a 400-foot long horse barn, a half-mile racetrack, and a 68,900-square foot tent for the industrial exposition (ibid.). A horse show with \$7,000 in prize money, as well as horse racing and livestock competitions were promoted as highlights of the upcoming fair (*Los Angeles Times* 1922a). The Los Angeles Chamber of Commerce reportedly was very interested in the success of the fair because "development of the agricultural and citrus growing districts is essential to the continued development of Los Angeles City" (ibid.).

Ground was broken and access roads were built along with the promised half-mile racetrack, a grandstand seating 4,000, two cattle barns, two livestock buildings, a livestock barn, and an

administration building (Fairplex 2010; Figure 3). A wooden fence surrounded the grounds (ibid.). The fair opened to great enthusiasm and success with 10,000 people reported the first day (*Los Angeles Times* 1922b). There were more varieties of livestock than anticipated and the racetrack, which was created in less than three months, held its own with the more established tracks in the region (ibid.). By all accounts, the first Los Angeles County Fair was a great success with wildly varying estimates of total attendance ranging from 49,461 (Fairplex 2010) to 100,000 (*Los Angeles Times* 1922c). Highlights included harness racing, chariot racing, and an airplane wing-walker (Fairplex 2010).



Figure 3: Pomona Fairgrounds 1922 (Source: Pomona Fairplex Archives).

In 1923, a \$75,000 bond issue was approved that facilitated the purchase of an additional 62 acres and the construction of permanent buildings (Fairplex 2010). The following year, Afflerbaugh became the Fair's first paid manager, a post he held until 1960 (ibid.). That same year (1924), a building for the home arts (no longer extant) was constructed, and attendance grew to 93,163 (ibid.). In 1925, attendance exceeded 100,000, and the fair was held in September (ibid.). A *Los Angeles Times* article from October 1926 proclaimed "The Fair has Arrived" and included a picture of the new Administration building (extant, but enlarged; *Los Angeles Times* 1926; Figure 4). This Spanish

Eclectic style building, which featured a large arched opening that functioned as the entrance to the Fair, was reportedly designed by Pomona resident Peter Ficker (Fairplex 2010). Ficker was born in Magyosz, Hungary in 1885 and immigrated to St. Louis, Missouri in 1904 via New York and the ship *Wilhelm II* (Ancestry.com). He became a naturalized citizen in 1913 in Los Angeles, where he resided and worked for the Harbor Engineers Office (ibid.; Lassell 1999). While there, he designed several buildings including Los Angeles Municipal Warehouse No. 1, which had lions-head gargoyle downspouts that were cast from an original sculpture produced by Ficker (Lassell 1999:4). For several decades, the building was the largest structure at the Port of Los Angeles and was listed in the National Register of Historic Places (National Register) in 2000 (ibid.; National Park Service 2009). Ficker apparently relocated to Pomona sometime after 1920 and is credited with designing several of the major exhibit buildings and/or renovations to them (Ancestry.com; Lassell 1999; Richards 2011).

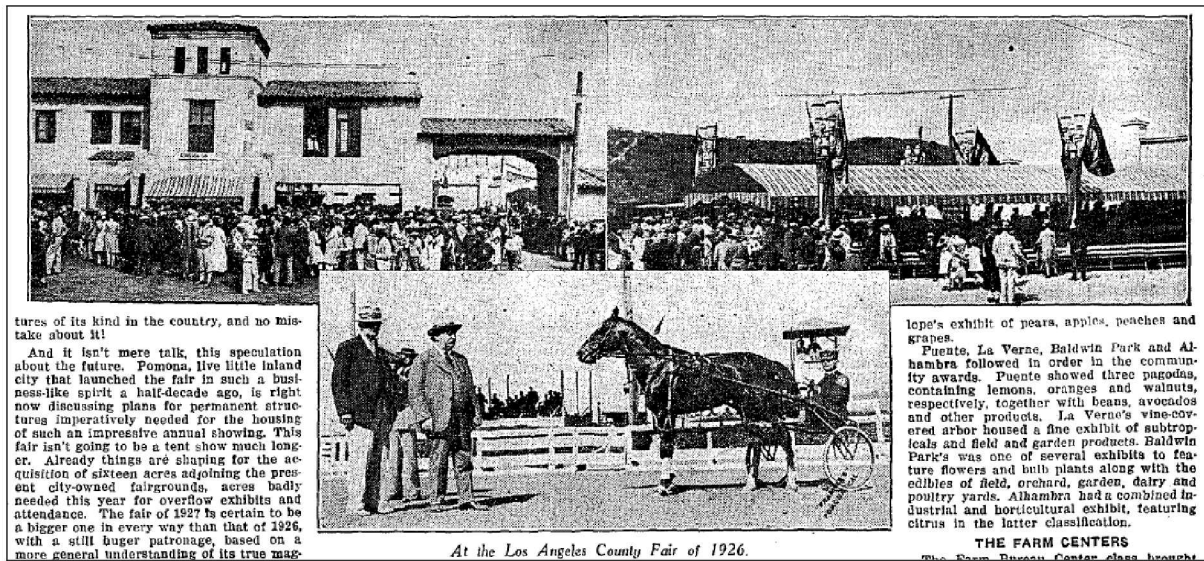


Figure 4: Fair Photographs 1926 (Source: *Los Angeles Times* 1926).

By the 1930s, California had become one of the nation's foremost agricultural producers, growing some of the leading varieties of citrus, nuts, avocados, and beans. Because California's agricultural production played a major role in the development of the State, the fairs that exhibited these products became very important (Tibbet and Carmack 2006). The 1934 local City Directory promoted Pomona by noting that it was home to three transcontinental railroads, an electric inter-urban railroad linking it to Los Angeles, the Los Angeles County fairgrounds, two hospitals, one newspaper, seven parks, four service clubs, several lodges and fraternal orders, and approximately 21,000 people (Los Angeles Directory Company 1934). In addition, the City's primary agricultural products were listed as citrus, walnuts, deciduous fruits, poultry, rabbits, and dairy, while its main manufacturing products were pumps, tile, paper, and knitwear (ibid.).

Despite the effects of the Depression, in 1930, the 108,000-square foot Exhibits Building ("the largest exhibit building in the world") was constructed at the fairgrounds at a cost of \$250,000 (Fairplex 2010:75; Figure 5). In 1931, the Fair was presented in combination with the Southern California Fair (formerly held in Riverside), and Millard Sheets, renowned artist and Pomona native, was named to the Fair's tenth annual art exhibition jury and apparently acted as the superintendent of the art exhibit (*Los Angeles Times* 1931 and 1932). However, attendance dropped that year by nearly 32,000 from

the previous year (*ibid.*). In 1932, Sheets once again acted as the superintendent of the art exhibit, a post he held until 1957 (*Los Angeles Times* 1932; Fairplex 2010). In 1994, the Fine Arts Building was dedicated as the Millard Sheets Gallery (Fairplex 2010:78). From 1932 through 1937, the Orange County Fair was added making it a tri-county harvest festival (*ibid.*). In 1933, the State legalized pari-mutuel wagering and the Fair “became the first in Southern California to allow fans to bet on horse racing” (Fairplex 2010:75). In 1935, the Fair’s Garden Railroad, which began in 1924 and originally had all handmade rolling stock that “ran on one-half inch scale standard gauge custom laid steel track,” was moved to an outdoor location (Schreyer 1999). With over 4,500 feet of track, in 1999 it was reportedly the largest operating garden railroad in the United States (*ibid.*).

Throughout the 1930s, several new buildings were constructed on the fairgrounds. These included new horse and cattle barns (1932); a concrete and steel grandstand (1932; Figure 5); a lagoon (1935); three new horse barns (1935); dressing rooms in the grandstand (1935); a stage in the grandstand (1935); a sunken band stand in the grandstand (1935); a new arts and crafts building (now Administration 2 building; 1936); two buildings for rabbits, poultry, and youth exhibits (1938); Anthony’s (now Avalon; late 1930s); and a childcare center (1939; Fairplex 2010). In addition, from 1937 through 1939, a number of buildings were constructed as WPA projects. These include the Fine Arts Building (now Millard Sheets Building; 1937); barrel-roofed Exhibition Halls 5 and 6 (1937); barrel-roofed Exhibition Halls 7 and 8 (1938); the Home Arts Building (now NHRA Motorsports Museum; 1939), and possibly the cafeteria (now Avalon; 1937 or 1939).



Figure 5: Exhibits Building 1932, with grandstand on the left side of the photograph (Source: Pomona Fairplex Archives).

Although the agricultural industry began to decline through the late 1930s and into the 1940s, any economic lull attributed to the agricultural industry was soon replaced by the war economy. In October 1941, three days after the Fair closed, the huge Exhibits Building was severely damaged by fire (Fairplex 2010). On December 14, just one week after the attack on Pearl Harbor and before the fire damaged building could be repaired, the United States Army took over the fairgrounds (*ibid.*). Three regiments occupied the grounds and the Army established its headquarters in the Home Arts Building (now the NHRA Motorsports Museum; *ibid.*). On March 25, 1942, newspapers reported that the 1942 fair had been officially canceled (*Los Angeles Times* 1942a). The same day, Fair Manager Afflerbaugh announced that a 29-foot by 26-foot addition to the Administration building would be

completed within the next six weeks (*Los Angeles Times* 1942b). Afflerbaugh also noted that the addition would be of similar architecture and would include an 11-foot by 12-foot vault (*ibid.*). Fair personnel were allowed to retain use of the Administration building during the war.

In March 1942, a complex was constructed in the west parking area that consisted of 420 prefabricated buildings including houses, latrines, showers, laundry facilities, mess halls, warehouses, a hospital, a post office, a library, administration buildings, a recreation hall, and a visitors' area (*Progress-Bulletin* 1942b; Figure 6). The complex, which functioned as an Assembly Center for Japanese-Americans held a total of 5,514 persons and was surrounded by a high fence and guard towers (Blackstock 2009; The California State Military Museum n.d.; refer to Appendix A for news articles, photographs, and maps). On May 7, 1942, the first "evacuees" arrived (Japanese American National Museum 2011). In August 1942, the vast majority of the detainees at the fairgrounds were relocated to the Heart Mountain concentration camp in Wyoming and by August 27, 1942, the assembly center had been completely vacated (*Progress-Bulletin* 1942d).

Early in September 1942, the "center was turned over to the Army's Ordnance Motor Transport Agency and became known as the Pomona Ordnance Depot" (The California State Military Museum n.d.). In 1943, the Army used the facility as a desert training center, and in 1944, the Ordnance Command shop was established on the grounds (Fairplex 2010). In September 1945, Japan signed an unconditional surrender officially ending World War II (WWII). The fairgrounds, which remained under the control of the Army, were then used as an Italian and German prisoner of war (POW) camp until March 1946 (Fairplex 2010). The POWs were reportedly used to work the nearby groves and fields and were regarded as a reliable and affordable labor force (*Los Angeles Times* 1945). Although many of the local growers lobbied to keep the POWs, Afflerbaugh insisted that the fair was even more important to the local economy and eventually succeeded in securing the removal of Assembly Center buildings and closure of the POW camp. Finally, in March 1946, the POW camp was closed (Fairplex 2010).

In 1947, 35 acres were annexed to the fairgrounds for the establishment of a trailer park and the County Board of Supervisors earmarked \$733,364 for repairs to the Exhibits Building that had been burned in 1941 (Fairplex 2010; *Los Angeles Times* 1947). In 1948, the Fair reopened with a new official mascot, Thummer the Pig (Fairplex 2010). The Exhibits Building (renamed the Agricultural Pavilion) was designed by Peter Ficker and was reconstructed at a cost of \$750,000 (Fairplex 2010:76). At nearly 120,000 square feet, it was reportedly the largest structure of its kind west of the Mississippi (*ibid.*). "Other new construction projects included a horse racing tote board, a tunnel under the track to the infield and new cattle and swine barns. Attendance topped the one million mark for the first time ... making the event the second largest fair in the country, surpassed only by the Texas State Fair" (*ibid.*). In 1949, the six-lane road that is now known as Fairplex Drive was constructed providing better access to the fairgrounds (Fairplex 2010). In addition, 62 acres were added for parking, and the Administration Building was expanded with the addition of more than 8,200 square feet including a board of director's room with an outdoor balcony (Fairplex 2010).



Figure 6: Pomona Fairgrounds 1949; arrow points to buildings that were part of the Assembly Center (Source: GeoSearch from the Fairchild Collection).

In the immediate post-WWII era, many of Pomona's agricultural groves were replaced with new roads and housing tracts to support the post-war population boom, which erupted throughout the United States during this period. From about 1950 through the mid-1970s, the average income of the American worker rose by 50 percent and the middle class grew and prospered (Randl 2004:32). With

more disposable income and more leisure time (thanks in part to the nearly universal 40-hour work week), the demand for recreational activities grew. A new leisure industry consisting of magazine editors, builders, realtors, and sporting goods and vehicle manufacturers emerged (Randl 2004). Between 1940 and 1970, the number of paid holidays and vacation days had more than doubled for most workers and Saturdays were no longer part of the work week. Recreation was America's new hobby and the car culture led the way.

The post-war period saw resurgence in the popularity of hot rodding and drag racing. "By 1950, hot rodders who had been racing in dry lake beds were taking to the streets" sometimes injuring or killing themselves or others (Allen 2008). In those days, if you were a hot rodder, it was the same as being in a gang today (ibid.). Pomona had its share of illegal street racers, but it also had a "car-loving" police chief (Ralph Parker) and a young motorcycle sergeant named Bud Coons who was a car enthusiast (ibid.). Parker and Coons were also interested in safety and, with this in mind, Coons began organizing rally runs and shows and barbeques for racers (ibid.). In 1951, Chief Parker, Coons, and the Lions Club approached the Fairplex with the idea of setting aside an area for drag racing (ibid.). Soon street racers had a legal straightaway and complaints about speeding, as well as deaths from speeding, dropped dramatically (ibid.). This success prompted the Federal Bureau of Investigation (FBI) to send a bulletin to other jurisdictions regarding the Pomona approach (ibid.). The same year (1951), Wally Parks founded the National Hot Rod Association (NHRA) with the goal of promoting safety (Parks 2008). In 1937, Parks was a founding member of the 1937 Southern California Timing Association (SCTA), which was focused on conducting land speed events. Parks also was involved in the first Hot Rod Show in America presented by SCTA in 1948, the introduction of *Hot Rod Magazine* in 1948, the opening of Bonneville Salt Flats in Utah for hot rod speed trials in 1949, and was editorial director for all of Bob Petersen's magazines (*Hot Rod Magazine* 2009). As early as 1972, Parks began receiving awards for his participation in automotive sports including Man of the Decade (1962–1972 by *Popular Hot Rodding* magazine) and Man of the Year (1973 by Specialty Equipment Marketing Association [SEMA]) (ibid.). Among his myriad awards, in 1992, he was "drag racing's first inductee into the International Motorsports Hall of Fame" in Talladega, Alabama, and in 1993 he was "inducted into the Motorsports Hall of Fame in Novi, Michigan" (ibid.:2).

"On April 11–12, 1953, the NHRA held its first sanctioned event, the Southern California Championship Drag Races, at Pomona Raceway, located at a far corner of the grounds. Over the weekend, 375 cars ran 850 timed races" (Fairplex 2010:77). With a first-class drag racing facility and supervised races, drag racing became a true sport (Parks 2008). In 1961, the "NHRA held its inaugural Winternationals at Pomona Raceway in February before the largest single-day audience in the brief history of drag racing" (Fairplex 2010:77). In 1984, Pomona hosted the NHRA Winston Select Finals for the first time (Fairplex 2010:78). In 1993, the NHRA completed extensive improvements to the drag strip and, in 1998, the NHRA Motorsports Museum opened in what was formerly the Home Arts Building (Fairplex 2010).

In addition to the drag strip, many other improvements were made to the fairgrounds during the 1950s. These include installation of the world's largest man-made ski jump (1951, no longer extant); construction of the flower and garden building (1952); the clock tower (1952; removed in 2001); the Mexican Village (1952, now the Plaza de las Americas); the fire station and first aid building (1954); a barrel-roofed building (8A, no longer extant); a tunnel under White Avenue (1959); completion of the "ranchero" carving by John Svenson (1954); and, in 1957, participation by the Ringling Bros.,

Barnum and Bailey Circus for the first time at any fair (Fairplex 2010). In addition, at the 1955 Fair, Fred Morrison sold flying disks that were later marketed as the Frisbee (ibid.).

In 1960, “Phillip D. Shepherd took over as general manager, following the death of Afflerbaugh” (Fairplex 2010: 77). In 1962, a monorail (removed in 1996) and Storybook Farm (now California’s Heritage Square) were added, followed by a clubhouse connected to the racetrack grandstand in 1964, and the Golden Empire Mine in 1965 (closed in 1997; Fairplex 2010).

As might be expected, the fair has continued to grow and change throughout the intervening decades. Buildings have been relocated, remodeled, replaced, or removed. Exhibits have come and gone and new land has been added. In 1985, the racetrack was enlarged from a half-mile to five-eighths mile and the next year the grandstand and clubhouse were renovated (Fairplex 2010). Some of the WPA buildings (5, 6, 7, and 8) were remodeled and nine new horse stables (Barrett’s Equine Complex, in the proposed project site) were added in 1989 (ibid.). In 1992, the Sheraton Suites Fairplex hotel opened and in 1996 the Mexican Village was renovated (ibid.). In 2003, one of the barrel-roofed buildings (8A) was demolished to make room for the trade and convention center now under construction (ibid.). Many other changes have occurred in the modern period (1961–present), but the Fair remains a successful enterprise that is a key component of the local economy.

Today, the Los Angeles County Fair is the largest county fair in North America and in 2009, had an attendance of 1,372,383 people, which was the fourth largest of all fairs and exhibitions in North America that year (Fairplex 2010:35). Except in 1963, attendance has topped one million at each fair since 1948 and nearly 83 million people have visited the fair since its inception in 1922 (ibid.).

METHODS

RECORDS SEARCH

On January 13, 2011, a records search was conducted at the South Central Coastal Information Center (SCCIC) by Rachel (Ryo) Braco. The records search included a review of all recorded historic and prehistoric archaeological resources within a one-quarter mile radius of the project area as well as a review of known cultural resource survey and excavation reports. To supplement this information, a review was conducted of the National Register Index, Office of Historic Preservation Directory of Properties, and historic USGS topographic maps. In addition, LSA examined the California State Historic Property Data File (HPD), which includes the National Register, California Historical Landmarks (CHL), and California Points of Historical Interest (CPHI); and various local historic registers.

ARCHIVAL RESEARCH

LSA completed archival research during the months of January, February, and March 2011, in order to develop the general history of the Fairplex and ascertain the original construction dates of the extant buildings and features within the project area. Research methodology focused on the review of a variety of primary and secondary source materials relating to the history and development of the Fairplex. Sources included, but were not limited to online sources, published literature in local and regional history, news articles, historic photographs, historic aerial photographs, and historic maps. Considerable information, including photographs, news articles, maps, and lists of buildings and their dates of construction/renovation, was provided from the Fairplex archives by Dwight Richards, Fairplex Vice President of Operations. In addition, Kathleen Jones, President of Pomona Heritage, was contacted via email on January 7, 2011. Ms. Jones responded via email on January 11, 2011, with the suggestion that research be conducted online and at the Pomona Library Special Collections. On March 2, 2011, a visit was made to the Pomona Library Special Collections. A complete listing of all references is provided at the end of this report.

ARCHAEOLOGICAL FIELD SURVEY

On January 21, 2011, LSA Archaeologist Sandy Duarte completed a pedestrian survey of the approximately 23-acre proposed project location, as well as an adjacent area that is developed with stables, the racing office, and other buildings. The majority of the area surveyed consists of built environment including paved areas, stables, and barns surrounded by dirt and one small lawn area. There is no native vegetation within the area surveyed, which is highly disturbed from having been previously graded and developed. Ground visibility in the dirt portions of the surveyed area was excellent.

ARCHITECTURAL SURVEY

On January 21, 2011, LSA Architectural Historian Casey Tibbet conducted the intensive survey of the majority of buildings, structures, and other built environment features within the project area. Ms. Tibbet conducted a follow-up survey of the Facilities Yard and KOA campground on the northeast side of White Avenue on March 2, 2011. During the surveys, buildings and features were photographed and, in some cases, notations were made regarding their architectural style and characteristics, as well as their current conditions. Where there were numerous buildings or features of similar size, style, and type, such as the stables, representative photographs were taken. Some of the smaller buildings and features, such as ticket booths, trains, landscape features, and mobile food buildings, were not intensively surveyed or photographed.

RESULTS

RECORDS SEARCH

Results of the records search indicate that 11 studies have been completed within a 0.25-mile radius of the project area. One of those studies, a survey, included a very small portion of the project area.

Site 19-186564, commonly known as the Temporary Detention Camps for Japanese-Americans, is recorded within the project area boundaries. It is listed in the California Register as a State Historical Landmark (Registered Landmark Number 934). Pomona Fairgrounds was one of the 12 temporary detention camps in California with 5,514 total detainees that were detained there between May 7 and August 24, 1942.

Several other resources are recorded outside the project area but within the 0.25-mile records search radius. They will not be affected by the project. These resources include one prehistoric site, an apparent cemetery (P-19-000208); a former ranch (19-187320); and a former fruit exchange building (19-187730). Since the project does not have the potential to affect any of these resources, no further consideration was given to them as part of this study.

A review of the State's Historic Resources Inventory (HRI) indicates that the Japanese Detention Center at the Pomona Fairplex is listed as ineligible for listing in the National Register by consensus through the Section 106 process, but has not been evaluated for listing in the California Register or local register. However, according to the California Office of Historic Preservation (OHP), California Historical Landmarks 770 and above are automatically listed in the California Register, making this a historical resource as defined by CEQA.

ARCHIVAL RESEARCH

As discussed earlier in this report, the history of the Los Angeles County Fair in many ways mirrors the history of California and the nation. In the 1920s, when it first began, the fair focused mostly on agriculture, livestock, farm equipment, and horse racing. In the 1930s, coinciding with the end of Prohibition, pari-mutuel wagering was legalized in California and the fair was the first place in Southern California to allow bets on horse racing. That same decade, many new buildings were constructed in the fairgrounds as part of WPA projects. For much of the 1940s, the grounds were used by the United States Army, first to house Japanese-Americans before they were sent to internment camps, then as the Pomona Ordnance Depot, and later as a prisoner of war (POW) camp. In the 1950s, the middle class grew and prospered. With more disposable income and more leisure time, the demand for recreational activities grew. This was the decade that introduced the Hula Hoop, Barbie, Play-doh, Matchbox cars, and the Frisbee, which was reportedly exhibited as a flying disk at the 1955 fair and was later marketed as the Frisbee by the Wham-O company. This decade also saw resurgence in the popularity of hot rodding and drag racing. The NHRA's first sanctioned race took place at the Fairplex in 1953 and drag racing continues to be a popular event there, with the inaugural Winternationals taking place in 1961.

The following discusses some of the major historical themes associated with the project area in more detail. These include agriculture and development of fairs, the WPA, and military involvement in the fairgrounds during WWII.

Fairs and Agriculture

“Beginning in the early 1800s, the first agricultural fairs gave rural families an opportunity to see first hand the latest agricultural techniques, equipment, crops, and livestock. Over the course of the nineteenth century, fairs also incorporated a wide range of educational, recreational, competitive, and social activities into their programs. Within a few short generations, county and state fairs became a quintessential American tradition” (Barker-Devine n.d.). However, before there were state and county fairs, most fairs were privately sponsored (ibid.). One of the first agricultural fairs to be held occurred in 1807 in Massachusetts and focused on sheep and sheep shearing (ibid.). By 1811, this privately sponsored fair was a major event with thousands of animals, a band, and several displays (ibid.). This model was quickly adopted by agricultural societies, but during the 1820s and 1830s, financial sponsorship was often difficult to obtain (ibid.). In the 1840s, recognizing the importance of agriculture in the local and statewide economies, state legislatures across the country began forming agricultural boards and allocating funds to agricultural societies, which allowed for larger and more consistent exhibitions (ibid.).

In 1841, the first state fair took place in Syracuse, New York (Barker-Devine n.d.). In 1854, just four years after California became a state, the California Legislature approved an Act to incorporate the State Agricultural Society for the purpose of encouraging agriculture and other industries (Haymond, Burch, McKune 1872). Along with this, several agricultural districts were formed, including the Los Angeles District Agricultural Association (ibid.). The same year, an agricultural exposition was held in San Francisco (Anonymous 2011). Because travel was difficult, for several years the annual exposition, which later became the California State Fair, moved from city to city in the San Francisco-Sacramento area (ibid.). Finally, in 1859, it became permanently located in Sacramento. From that time forward, fairs began being held all over the State with noticeable increases in county fairs during the 1880s and early 1890s.

It did not take long for fairs to become highly anticipated events in California and across the country. Many farm families planned months in advance so that they could attend the fair for a few days. For many, the fair was the first place they saw electric lights and airplanes (Barker-Devine n.d.). The fairs “helped farm families adapt to changing mores and accepted forms of popular entertainment, such as vaudeville. Delia Marcella Locke, for example, was a California fair-goer in the 1850s and 1860s who saw sewing and washing machines, a printing press, and stereoscopic pictures for the first time at her local county fair” (Barker-Devine n.d.).

Demonstrating the continued importance of the agricultural industry in the State’s economy and the role of fairs in promoting that industry, in 1904, the California state legislature formally organized District Agricultural Associations (DAAs) as official State agencies for the purpose of promoting local agricultural production (Tibbet and Carmack 2006). This was followed in 1919, by the Legislature’s creation of the California Department of Food and Agriculture (CDFA), which is a cabinet-level agency responsible for protecting and promoting agriculture (CDFA 2011). The CDFA is divided into seven administrative divisions including the Division of Fairs and Expositions, which,

among other things, “provides fiscal and policy oversight of the network of California’s 78 fairs” (Anonymous 2010).

In 1922, the Los Angeles County Fair, located in Pomona, was first held. As is common for most fairs, it began with horse races and livestock shows and added other types of exhibits and entertainment as the fair gained popularity. The fairgrounds still include many character-defining features such as the horse race track and associated barns and stables, livestock pavilions, and exhibit halls. The fair has operated continuously since 1922 with the exception of the WWII period from 1942 to 1947.

Today, the California Department of Food and Agriculture website indicates that “[A]griculture is a major industry for the Golden State. With 88,000 farms and ranches, California agriculture is nearly a \$36.6 billion dollar industry that generates at least \$100 billion in related economic activity” (CDFA 2011). A publication put out by Pomona Fairplex states that the “L.A. County Fair is one of 81 active fairs in California. There are 54 district fairs, 23 county fairs, two citrus fairs and one state fair. Festivals are unlimited. Impact spending by all participants at fairtime and interim events in 2002 contributed \$2.55 billion to the State’s economy” (Fairplex 2010:36). The L.A. County Fair attracts nearly 1.4 million people each year and “contributes a major portion of the estimated \$10 million in state sales tax revenue generated by Fairplex. The L.A. County Fair is the largest county fair in the nation. It currently ranks fourth in North American fairs and festivals attendance.... The Fair is also the largest marketplace in the western United States with 2,000 commercial food and beverage vendors serving the multitude of attendees.... The total amount of annual spending in California generated by Fairplex year-round events is more than \$171 million and more than \$226 million for the nation’s economy.... Year round events create 1,885 full-time jobs in the region compared to 1,299 from the Fair” (Fairplex 2010:9 and 10).

The Works Progress Administration in Los Angeles County (1935–1943)

The WPA was a relief measure established in 1935 by Executive Order 7034. It is often confused with the earlier Public Works Administration (PWA), which was established in 1933 as a New Deal government agency, pursuant to the National Industrial Recovery Act. While the PWA focused on construction of various public works such as public buildings, bridges, dams, and housing developments and made loans to states and municipalities for similar projects, the WPA encompassed a wider variety of programs, including highways and building construction, slum clearance, reforestation, and rural rehabilitation. However, the primary difference between the two agencies was that the PWA was a grant-making agency, allocating funds to employ local labor forces, while the WPA financed and built projects with its own labor force (Crouch 2004).

Headed by Harry L. Hopkins and supplied with an initial congressional appropriation of \$4,880,000,000, the WPA offered work to the unemployed on an unprecedented scale. WPA projects primarily employed blue-collar workers in construction across the nation but also employed white-collar workers and artists on smaller-scale projects. The program included the construction of 116,000 buildings, 78,000 bridges, and 651,000 miles of road, and the improvement of over 800 airports. At its peak in 1936, the WPA had approximately 3.5 million persons on its payroll. The WPA was redesigned in 1939, when it was transferred to the Federal Works Agency, and was officially terminated on June 30, 1943 (Crouch 2004).

Three policies affected the property type and architecture commonly built by the WPA: First, the project had to have some practical use for the entire community. Second, projects had to be sponsored by public bodies such as school districts and city, county, or state governments, which would contribute part of the total cost, usually in construction materials. This meant that most WPA property types were structures and buildings intended for public use such as school buildings, libraries, community centers, park structures, or county fair buildings. Third, at least 90 percent of the project workmen had to come from employable persons on the relief rolls at that time. Many if not most of these workers were unskilled in building professions; therefore, most WPA projects tended to be simple in overall design and construction regardless of the intended architectural style (Baird 1984).

In order to save expenses, local sponsors of WPA projects in rural areas often selected building plans from free sources. For example, WPA school buildings in Oklahoma were generally built according to free plans from a catalog provided by the School House Planning Division of the Oklahoma State Department of Education (Baird 1984). This led to a similarity in overall form and massing despite the variety of building materials. Most of the designs from free sources were tried-and-true period revival styles developed earlier in the century. By contrast, project sponsors in more urban areas were able to take advantage of the New Deal's interest in employing local architects, artists, and craftsmen, as well as laborers (Brechin 1990).

In 1936, California ranked third in the United States for WPA-funded public building projects, receiving 6.4 percent of the total earmarked amount. This amounted to 695 projects worth \$10.7 million. About half of the total went to matching funds for the construction and repair of California schools, while 16 percent went to civic and community centers and 12 percent went to administrative buildings (*Los Angeles Times* 1936).

The WPA completed several projects in Los Angeles County. From the \$100 million earmarked by the federal government for western reclamation projects in 1935, the WPA board allocated nearly \$14 million for fourteen flood control projects in Los Angeles County (*Los Angeles Times* 1935). In September, a list of public building and street services projects also won funding, which included over \$1.4 million for new and rehabilitated schools, libraries, sidewalks, and pedestrian tunnels throughout the County. The City of Long Beach received particular attention from the WPA due to extensive damage sustained by buildings there in a 1933 earthquake. Notable projects completed in Los Angeles by the WPA in the late 1930s included the fountain and tea room at the Hollywood Bowl, the Astronomers Monument at Griffith Park, the science and liberal arts buildings at Hollywood High School, the United States Naval and Marine Reserve Training Center, and the Griffith Park Clubhouse. A 1987 article in the *Los Angeles Times* claimed that Los Angeles contains the nation's second greatest concentration of WPA-funded art (*Los Angeles Times* 1987).

In addition to the above-listed projects, the fairgrounds also received considerable WPA assistance. A *Los Angeles Times* article from late December 1937 indicates that a \$957,000 WPA building project was approved for the Los Angeles County Fairgrounds (*Los Angeles Times* 1937). The project was to cover a period of 24 months and the construction of the following concrete and steel buildings: a 98,800-square foot horse show arena with seating for 7,200 people (\$250,000); a 35,000-square foot industrial building (\$115,000); and a 35,000-square foot Future Farmers and 4H building (\$115,000; *Los Angeles Times* 1937). In addition, a frame and stucco dairy products building (\$6,000) and a rock restroom (\$6,000) were also proposed (ibid.). The project also provided for "improvements to water, gas, electrical lines, grading of new parking area and planting of thousands of shrubs" (ibid.). On

October 5, 1938, it was reported that construction had started on the concrete and steel domestic arts building (now the NHRA Motorsports Museum; *Los Angeles Times* 1938).

From 1937 through 1939 a number of buildings at the fairgrounds were constructed as WPA projects. These include the Fine Arts Building (now Millard Sheets building, 1937); barrel-roofed Exhibition Halls 5 and 6 (1937); barrel-roofed Exhibition Halls 7 and 8 (1938); and the Home Arts Building (now NHRA Motorsports Museum, 1939). All of these buildings are extant and retain many of their character-defining features, although the northwest entrances to Buildings 5–8 were remodeled in the 1980s.

The WPA era lasted less than ten years but left an enduring legacy of public art and architecture in Los Angeles County. While many older schools in the region have one or more WPA buildings on campus, extant WPA-built public buildings are relatively uncommon. Intact WPA public and administrative buildings represent a significant top-level public investment in their respective communities during a time of unprecedented economic depression, and through the simplicity of their architectural style and ornament, reflect the workmanship of WPA workers.

Military Involvement in the Fairgrounds (1942–1947)

On September 1, 1939, when Germany attacked Poland, most Americans did not want to get involved in what they essentially saw as a European conflict. Even as tensions with Europe and Japan increased, most Americans remained in favor of an isolationist policy. However, America and other nations eventually did agree to put trade embargoes on Japan in an attempt to check its expansion. “Toward the end of 1941, Japan had managed to capture key territories and oil resources in parts of Asia. America had refused to lift existing embargoes unless Japan left some of these territories...” (Richard 2010). When America refused to reach an agreement with Japan regarding the embargoes, Japan devised a plan (Operation Z) to invade territories across Asia and the Pacific but was concerned about interference from the American fleet in Pearl Harbor (ibid.). Therefore, on December 7, 1941, in a surprise attack, Japan bombed Pearl Harbor. As a result of the attack, more than 3,500 Americans were killed or wounded, 21 ships were sunk or damaged, and 323 American aircraft were destroyed or damaged (ibid.). Japan suffered comparatively little loss of life and damage to its military craft with 64 deaths, 5 destroyed ships, and 103 destroyed or damaged aircraft (ibid.).

This attack had an enormous impact on the American psyche and went a long way to engendering support for participating in the war. On December 8, 1941, both the United States and Britain declared war on Japan. On December 14, just one week after the attack on Pearl Harbor, the United States Army took over the fairgrounds (Fairplex 2010). The Army established its headquarters in the new Home Arts Building (now the NHRA Motorsports Museum) and three regiments occupied the grounds (ibid.). “On February 19, 1942, President Roosevelt issued Executive Order 9066, which recognized specific military sites on the United States West Coast as off-limits to people of Japanese descent. This order gave members of the military the authority to remove Japanese people from the area if their presence there was deemed too close to the military establishment. On March 25, 1942, newspapers reported that the 1942 fair had been officially canceled after numerous discussions with military authorities and “at the final request of the real estate department of the Federal authority from San Francisco headquarters of the 4th Army Command” (*Los Angeles Times* 1942a).

On March 30, 1942, the *Progress-Bulletin* reported that construction had begun on 400 housing units within the fairgrounds (*Progress-Bulletin* 1942a). The wood-frame houses and related facilities were to be used “as a center for reception of 5000 or more enemy aliens who will be kept there until their removal to inland areas” (ibid.). The “reception center” was located in the west parking lot and was to be constructed in a matter of weeks by hundreds of men supervised by J & B Construction Company of Los Angeles (ibid.). In April 1942, Exclusion Order 346 was issued to force the Japanese-American citizens to live in assembly centers, which were located in various open spaces such as fairgrounds and tracks” (Anonymous 2009). That same month, Japanese-Americans began being “evacuated” from their homes and arriving at “relocation centers” or “assembly centers.”

On May 7, 1942, the Pomona center was opened and the first “evacuees” arrived (Japanese American National Museum 2011; Appendix A). The facility had 420 prefabricated buildings including 320 housing units, 8 mess halls, 20 warehouses, a 60-patient hospital with Japanese staff, a post office, recreation halls, and administration buildings (*Progress-Bulletin* 1942b). There were also communal laundries, latrines, and showers, as well as a place for wood shop and a library (*Progress-Bulletin* 1942c). The center, which held a total of 5,514 persons, was surrounded by a high fence and guard towers and there was a special area where the Caucasian friends of detainees could come to visit (Blackstock 2009; The California State Military Museum n.d.). In August 1942, the vast majority of the detainees at the fairgrounds were relocated to the Heart Mountain concentration camp in Wyoming. By August 27, 1942, the assembly center had been completely vacated (*Progress-Bulletin* 1942d). By the fall of 1942, the Japanese people had been evacuated from the West Coast and into inland internment camps built by the United States government to hold over 80,000 evacuees (Anonymous 2009).

“On September 4, 1942, the center was turned over to the Army’s Ordnance Motor Transport Agency and became known as the Pomona Ordnance Depot” (The California State Military Museum n.d.). That same year, 40 acres were sold to the federal government (Fairplex 2010). In 1943, the Army used the facility as a desert training center and in 1944 the Ordnance Command shop was established on the grounds (ibid.). On September 2, 1945, Japan signed an unconditional surrender aboard the *USS Missouri* in Tokyo Bay, officially ending WWII. However, the Army retained control of the Fairgrounds, which were used as a German and Italian POW camp until March 1946 (Fairplex 2010). In November 1945, the *Los Angeles Times* reported that German POWs were being used “to work the groves and farms of the San Gabriel Valley” (*Los Angeles Times* 1945). Some of the places the POWs worked included the lemon groves on the Dana C. King Ranch in La Verne; Guasti, four miles east of Ontario; the vineyards at the Garrett & Co. properties; and the tomato fields at the Fuller Ranch between Chino and Corona (ibid.). Many of the growers in the area lobbied to keep the POWs in the area as a reliable and affordable labor force, but the fair was also important to the local economy and Afflerbaugh insisted that the POWs, along with the buildings erected for the Assembly Center, had to be removed.

Finally, in March 1946, the POW camp was closed and the 34 POW barracks, along with 5 utility buildings were released to the County Housing Authority (Fairplex 2010; *Los Angeles Times* 1946). The barracks were planned to be remodeled into 108 homes with veterans getting first preference (*Los Angeles Times* 1946). On March 15, 1946, the first of the barracks were relocated to Brooklyn Avenue and Mednick Street in East Los Angeles where they were to be remodeled into dwellings (ibid.). It is unclear where the remainder of the barracks and utility buildings went, but the ten remaining Assembly Center buildings were not removed until sometime between 1953 and 1968

(Aerial Photographs 1953 and 1968). After the addition of 35 acres and repairs to the Exhibits Building that had been burned in 1941, the fair reopened in 1948. None of the buildings associated with the internment camp remain.

ARCHAEOLOGICAL FIELD SURVEY

During the archaeological survey conducted on January 21, 2011, no prehistoric or historic archaeological resources were identified within the area surveyed. One isolate horseshoe with a square nail was noted during the survey and photographically documented, but this type of horseshoe and square nail are still in use today and have little, if any, diagnostic potential. Therefore, the horseshoe was not formally recorded.

ARCHITECTURAL SURVEY

During the architectural survey, the Fairplex was identified as a potential historic district with numerous modern and historic-period (pre-1962) buildings, structures, and features. Twenty-four historic-period features, buildings or groups of buildings were documented and evaluated. Of these, 13 buildings or groups of buildings and features were found to contribute to the significance of the fairgrounds. These consist primarily of the administration buildings, exhibition halls, and buildings and features associated with horse racing. The remainder of the historic-period buildings and features that were documented as part of this study do not contribute to the historic significance of the fairgrounds. Historic-period contributing and non-contributing buildings and features are discussed below and in the attached Department of Parks and Recreation (DPR) 523 forms (Appendix B).

Contributors

Contributors are those features, buildings, or groups of buildings that are essential to the significance of the Pomona Fairplex Historic District. Major alterations to or demolition of these elements could result in a substantial adverse change to the significance of the Pomona Fairplex Historic District.

Race Track. The horse race track was built in 1922 and is the oldest extant feature of the fairgrounds. It was enlarged in 1985 but retains a relatively high level of integrity of location, design, setting, materials, workmanship, feeling, and association. Horse racing is an integral part of the fairground's history and success, and the race track is representative of this.

Administration Building 1. This two-story Spanish Eclectic style building was constructed in 1926 with additions in 1937 and 1949 (Figures 7–9). It was the first permanent building constructed at the fairgrounds, and portions of it were designed by architect Peter Ficker. The multilevel roofs are sheathed with red tile and are typically low-pitched gables (there are a few hipped roofs) with narrow eaves and exposed rafter tails. The exterior walls are covered with modern, rough-textured stucco. The south-facing façade includes numerous multi-paned casement windows, usually in pairs, and features a central tower at the main entrance. The north (rear) elevation includes variable roof lines and wall planes, canals, multi-paned casement windows, double-hung and/or awning windows, and at least one small sliding window. There is a covered patio and a balcony on the northeast end of the

building. A few of the windows and doors throughout the building have been altered, but overall, the building retains a high level of integrity and represents the early history of the fairgrounds.



Figure 7: Administration Building 1, view to the north (1/21/11).



Figure 8: Administration Building 1, north elevation, view to the southeast (1/21/11).



Figure 9: Administration Building 1, southeast and northeast elevations (1/21/11).

Palace of Agriculture. This building was reportedly designed by architect Peter Ficker and constructed in 1930 (Figures 5 and 10–14). At the time, it was touted as the largest exhibit building in the world. In 1941, it was damaged by fire and was reconstructed as a larger building with a gable roof in 1948. The rectangular building has Classical influences such as the vertical pilasters at the entrances on each elevation and the floral motif decorative panels above the entrances. The windows and doors are modern tinted glass with aluminum frames, but appear to be within the original openings. Overall, the building retains a high level of integrity and represents the early history of the fairgrounds.



Figure 10: Palace of Agriculture, 1948 (Source: Pomona Fairplex Archives).



Figure 11: Palace of Agriculture, north elevation (1/21/11).



Figure 12: Palace of Agriculture, west elevation (1/21/11).



Figure 13: Palace of Agriculture, south elevation (1/21/11).



Figure 14: Palace of Agriculture wall detail (1/21/11); the pattern is on the panels above the entrances.

Grandstand. The Art Deco grandstand was constructed in 1932. Dressing rooms, a stage, and a sunken bandstand were added in 1935 (Fairplex 2010; Figures 15 and 16). The west elevation features an articulated wall plane anchored by large concrete piers with centered, narrow, recessed vertical windows. Between the piers are nine, evenly spaced vertical panels of recessed, multi-paned windows. The pilasters between the panels of windows have vertical scoring. Above each panel of windows are groups of three recessed openings. The primary entrance projects from the building and is highlighted by a flat-roofed triangular canopy supported by a single metal pole. The entrance is flanked by triangular towers that extend above the canopy. The grandstand retains a high level of integrity and is associated with horse racing, which is an important aspect of the fairground's history.



Figure 15: Grandstand, western elevation, view to the southeast (1/21/11).



Figure 16: Grandstand main entrance, view to the southeast (1/21/11).

Administration Building 2. This two-story Spanish Eclectic building was constructed in 1936 as the Arts and Crafts Building (Figures 17–19). It is roughly V-shaped in plan and has a moderately pitched cross-gable roof sheathed with tile. The eaves are narrow and have exposed rafter tails. The southwest-facing façade features multi-paned casement windows, canales, quoins at the building corners, and an arched entrance covered by a projecting gable and accessed by concrete steps. The other elevations include several multi-paned casement windows, canales below the gable peaks, and quoins at the building corners. The building retains a high level of integrity and is associated with the early history of the fairgrounds.



Figure 17: Administration Building 2, southwest elevation (1/21/11).



Figure 18: Administration Building 2, south and east elevations (1/21/11).



Figure 19: Administration Building 2, north elevation (1/21/11).

Millard Sheets Building (former Fine Arts Building). This roughly C-shaped building was constructed in 1937 as a WPA project (Figures 20–23). The horizontal character of the building is emphasized by a plain, narrow band midway up the building wall and a slightly taller decorative band along the top of the building wall. The recessed entrance in the northern elevation consists of two pairs of aluminum-framed glass doors below a mosaic tile art piece that includes the words “Fine Arts.” The east elevation features a courtyard area that appears to have been remodeled in the 1950s or early 1960s. The building retains a moderate to high level of integrity and is associated with the early history of the fairgrounds, as well as the well-known artist and Pomona-native Millard Sheets.



Figure 20: Millard Sheets Building, north elevation, view to the southeast (1/21/11).



Figure 21: Millard Sheets Building courtyard, east side of building, view to the south (1/21/11).



Figure 22: Millard Sheets Building wall detail, east elevation (1/21/11).



Figure 23: Millard Sheets Building detail; decorative pattern along the top of the building wall, eastern elevation near the southern end of the building (1/21/11).

WPA Barrel-Roofed Exhibition Halls (Buildings 5–8). These four buildings were constructed in 1937 and 1938 as part of a WPA project (Figures 24–26). They are similar in design and have an Art Deco influence. They have barrel roofs with parapets and the exterior walls are articulated with recessed and projecting elements. Each of the northern entrances has been remodeled in a manner similar to the representative photograph below (Figure 24). Typical northern elevation features include three sets of aluminum-framed windows and doors separated by wide concrete pilasters. Decorative metal fixtures have been added over the entrances. Building 8 also includes a triangular metal fixture, reminiscent of Craftsman architecture, across the top of the entrances (Figure 25).

The east and west elevation entrances are also similar in design as shown in the representative photograph below (Figure 26). Typical features include a stepped and articulated parapet and pairs of aluminum-framed windows and doors below a flat canopy flanked by articulated piers with vertical scoring. Despite the alterations, the buildings retain integrity and their simplicity of style and ornamentation represent the workmanship of the WPA workers.



Figure 24: WPA barrel-roofed Exhibition Hall #7; this is representative of the remodeled northern elevations of Buildings 5–7 (1/21/11).



Figure 25: WPA barrel-roofed Exhibition Hall #8, northwest elevation (1/21/11).



Figure 26: WPA barrel-roofed Exhibition Hall #7, west elevation entrance; this is representative of the east and west elevation entrances on Buildings 5–8 (1/21/11).

Avalon. This one-story, Art Deco-influenced building was constructed in the late 1930s and may have been one of the WPA projects (Fairplex 2010; Figures 27–29). In the 1940s, the military reportedly used it as the PX (general store). The east-facing façade features a modern, Art Deco-influenced curved canopy/patio cover and an off-centered entrance flanked by four-over-one windows arranged in groups of three (Figure 27). On either side of the windows, there is a narrow pilaster that extends above the parapet. In the middle of the façade, above the canopy, there is a wider and shorter pilaster accented by a decorative, curved metal element.



Figure 27: Avalon, east elevation with modern canopy/patio cover (1/21/11).



Figure 28: Avalon, south elevation showing pre-1948 addition (1/21/11).



Figure 29: Avalon, north and east elevations (1/21/11).

The north and south elevations of the original building are nearly identical (Figures 28 and 29). They each have a stepped parapet and are divided into four bays separated by narrow pilasters. Three of the bays have multi-paned ribbon windows, while the westernmost fourth bay has been filled in with a solid wall. There is a historic-period addition at the southwest side of the building that includes two sets of ribbon windows, one of which is below a flat canopy. The addition at the northwest side of the building has no openings. The building retains a moderate level of integrity and may be associated with the WPA as well as the military occupation of the fairgrounds.

NHRA Motorsports Museum (former Home Arts building). This Art Deco building was constructed in 1939 as a WPA project (Fairplex 2010; Figures 30–32). The building is divided into five large bays, and entrances are centered on each side of the building. The primary entrance is located on the west side of the building in the middle bay, which is further divided into three smaller bays separated by wide pilasters that extend above the flanking parapets (Figure 30). A single, flat canopy is located immediately above the three pairs of entrance doors. Above the canopy and between the pilasters, there are large, vertical-rectangular glass block accents. North and south of the

main entrance the wall plane is broken up by what appear to be multi-paned horizontal windows separated by vertical pilasters that stop several feet short of the top of the building wall. The east elevation is nearly identical to the west elevation (Figure 31).

The north elevation entrance is accented by wide articulated pilasters that extend slightly above the top of the building wall (Figure 32). The recessed entrance is divided into three bays divided by narrow pilasters and accented by vertical-rectangular panels of glass blocks. The east and west bays each have a single door and are slightly narrower than the center bay, which has a pair of doors. The entire entrance is flanked by rounded pilasters with horizontal scoring. The north and south elevations appear to be similar, but the south elevation, which is behind fencing, is raised and accessed by concrete steps. This building appears to retain a high level of integrity and is associated with the WPA.



Figure 30: NHRA Motorsports Museum, west-facing façade (1/21/11).



Figure 31: NHRA Motorsports Museum, east elevation entrance (1/21/11).



Figure 32: NHRA Motorsports Museum, north elevation entrance (1/21/11).

Longboard Bar. This two-story stone building may have been constructed in the late 1930s as one of the WPA projects (Figure 33). According to Dwight Richards, Fairplex Vice President of Operations, the lower level includes public restrooms; a food stand kitchen; a public bar; the racing office; jockey kitchen; paymaster's office; and the female jockey's quarters (shower, lockers, and beds). The upper level is used as the male jockey's quarters, which is a large locker-style room for about 50 jockeys. This building is used primarily during the annual fair.

The building has moderately-pitched gable roofs, wood-frame double-hung windows, and features a raised, full-width open veranda with stone piers. It appears to have sustained some alterations (e.g., air conditioning units in the windows); however, because it is associated with horse racing, is the only stone building that was observed in the fairgrounds during the survey, and was likely constructed as a WPA project, it contributes to the historic significance of the fairgrounds.



Figure 33: Longboard Bar, view to the northeast (1/21/11).

Horse Racing Stables 1–12A and 14–28. There are two groups of historic-period horse racing stables (HRS; Figures 34–38). HRS 1–12A, which are within the project location (Figure 2), are on the northeast side of the race track and include HRS 1, which is the oldest stable within the fairgrounds, dating to before 1928 (Aerial Photographs 1928; Figure 34). HRS 14–28 are located northwest of the racetrack. All of the HRS appear to date to before 1948, but some of the stables were likely relocated and/or reconfigured in the 1960s and 1980s (Aerial Photographs 1948, 1953, 1968, 1976, 1982, and 1994). Most of the HRS have sustained at least minor alterations, but the buildings are of such utilitarian design that it is difficult to ascertain the extent of modifications or when they might have occurred.

All of the HRS have similar design characteristics, including wood-frame construction, board-and-batten siding, low-pitched gable roofs, wide eaves, and Dutch-style stall doors. Many of the stables have breezeways at either end and/or that bisect the building. Some stables have restrooms, storage rooms, or small offices at one or both ends. Although the HRS retain only a moderate level of integrity, as a group, they represent an early and important aspect of the fair.



Figure 34: Horse Racing Stable #1, view to the west (1/21/11).



Figure 35: Horse Racing Stable #1, southwest end, view to the north showing later alteration (1/21/2011).



Figure 36: Horse Racing Stables central corridor between HRS 1-12A, view to the east (1/21/2011).



Figure 37: Horse Racing Stable #25, view to the west; note metal canopy between stables (1/21/2011). This building is representative of HRS 14–28.

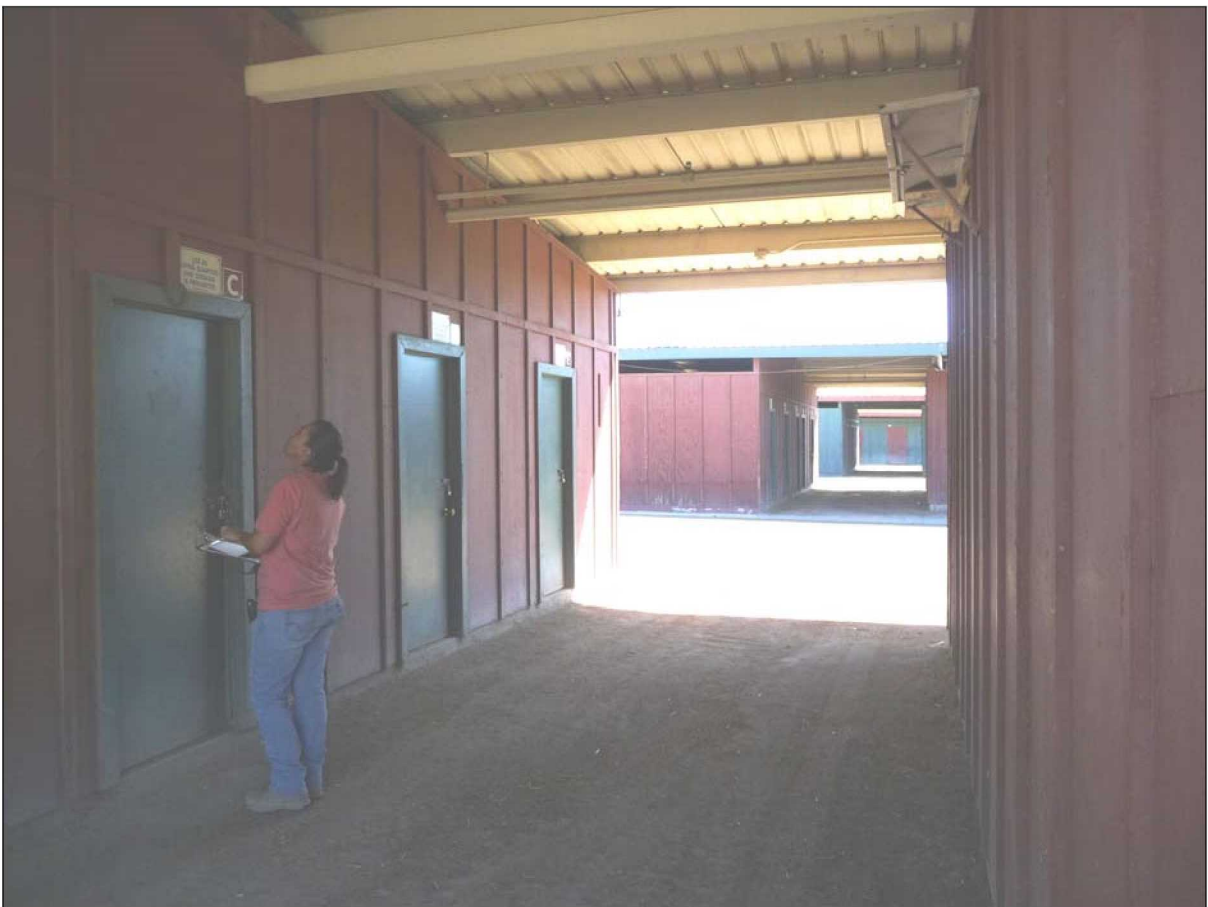


Figure 38: Horse Racing Stables breezeways (1/21/11).

Flower Building. This unique building, which was constructed in 1952 and has a Polynesian influence, features a modified Quonset hut flanked by flat-roofed wings (Figures 39 and 40). The exterior walls of the wings are sheathed with bamboo mats and the east-facing façade of the Quonset hut, which features a wall of reflective glass, projects above the main entry, and is supported by three arches (Figure 40). Doors consist of tinted glass with aluminum-frames. This building appears to retain a high level of integrity and is a highly recognizable and unique part of the fairgrounds.



Figure 39: Flower Building, view to the southwest (1/21/11).



Figure 40: Flower Building, view to the south (1/21/11).

Drag Strip. The drag strip is located along the northwestern boundary of the fairgrounds and dates to 1953 (Figure 41). The bleachers and suites were renovated in 1993 and 2006 and the strip has likely been resurfaced and improved over the years but remains in its original location. The strip is an integral part of the fairgrounds and is known to motorsports enthusiasts throughout the nation, if not the world.



Figure 41: Drag Strip, view to the northeast (1/21/11).

Non-Contributors

Historic-period non-contributors are those features, buildings, or groups of buildings that, although more than 50 years old, are not essential to the significance of the Pomona Fairplex Historic District. These buildings and features may be altered to the point that they are no longer able to convey their association with the past or they may be relatively utilitarian structures that do not convey any particular historic associations. The numerous modern (post-1961) buildings and features, as well as the temporary structures within the fairgrounds, are also non-contributors.

Barrel-Roofed Building #9. This Art Deco-influenced building was constructed in 1941 and remodeled in 1985, 2000, and 2006 (Pomona Fairplex Archives; Figures 42 and 43). It is larger than the adjacent WPA barrel-roofed buildings (Buildings 5–8). The north entrance is within a wide projecting bay that has rounded pilasters at either end that are shorter than the rest of the bay. Three pairs of aluminum-framed doors with large windows above are centered in the bay. A flat metal canopy, situated a little above the doors, extends across the full width of the projecting bay. There are narrow, vertical-rectangular windows in the bay walls on either side of the doors. Large, multi-paned windows are located in the building wall on either side of the projecting bay and groups of three vertical scores further accent the northern elevation.



Figure 42: Barrel-Roofed Building #9, north elevation (1/21/11).



Figure 43: Barrel-Roofed Building #9, west elevation (1/21/11).

The west elevation entrance is similar to the northern entrance, but the doors and windows are not recessed and the projecting bay is not flanked by rounded pilasters (Figure 43). Instead, there is a smaller projecting element above the bay that has rounded corners. This building is not associated with any important events in the history of the fairgrounds and retains only a moderate level of integrity.

Security Office. The one-story, Spanish Eclectic style Security Office appears to have been constructed sometime before 1948 (Aerial Photographs 1928 and 1948; Figures 44 and 45). It has a low-pitched cross-gable roof sheathed with tile and has narrow eaves and stucco walls. The southeast-facing façade includes pairs of windows, entry doors, and a partial-width covered porch supported by wood posts. The door in the projecting gable wing is sheltered by a small gable roof supported by wall brackets. There is a canale-style vent below the gable peak. A large addition was constructed on the rear of the building probably in the 1980s (Figure 45). This building is not associated with any important events in the history of the fairgrounds and retains only a moderate level of integrity.



Figure 44: Security Office, view to the northwest (1/21/11).



Figure 45: Security Office addition, view to the southeast (1/21/11).

Livestock Area Structures. The livestock area is located between the race track and White Avenue (Figures 46–47). Since at least 1949, there have been three structures that, based on aerial photographs, appear to have remained in the same basic locations and configurations since that time. However, the current structures are large, temporally ambiguous metal canopies that do not convey any particular sense of history. In addition, the southernmost structure, the Big Red Barn, dates to 1976 (Pomona Fairplex Archives). While livestock is an important component of the fair and its history, that history is not represented by these structures.



Figure 46: Livestock area structures, view to the southeast (1/21/11).

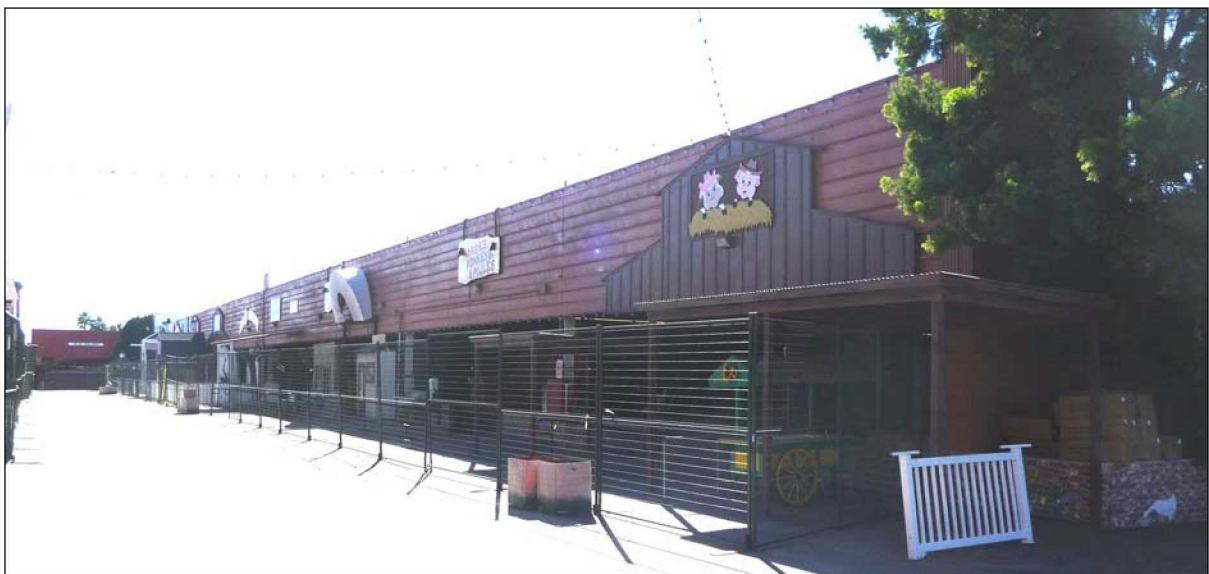


Figure 47: Livestock area, view to the south (1/21/11).

Fire Station. This two-story vernacular building is rectangular in plan and has a flat roof with a wide eave overhang on three sides and a parapet on the southeast elevation (Figure 48). The exterior walls are covered with stucco, and fenestration consists of modern (aluminum-framed sliders) and historic-period (multi-paned) windows. The northwest elevation includes four bay doors on the ground floor. Alterations include modern windows and doors and installation of wall-mounted air conditioning units. Although this building dates to 1954, it is relatively nondescript, has been altered, is not one of the primary features of the fairgrounds, and does not convey any particular sense of history.



Figure 48: Fire Station, view to the southeast (1/21/11).

Facilities Yard Buildings. The facilities yard is located on the east side of White Avenue and is not accessible to the public. There are a number of buildings and structures in the facilities yard and nine of them appear to date to the historic-period. These buildings are used for repair, maintenance, storage, sand blasting, and/or construction of fair-related resources, as well as vehicle maintenance. A few of the buildings are also used as offices and/or break rooms for laborers. All of the buildings are utilitarian in character and have sustained alterations (Figures 49–52).



Figure 49: Facilities Yard building, view to the southeast (3/2/11).



Figure 50: Facilities Yard shipping and receiving building, view to the south (3/2/11).



Figure 51: Facilities Yard building with board-and-batten siding, view to the south (3/2/11).



Figure 52: Facilities Yard wood-frame building, view to the northeast (3/2/11).

The Facilities Yard buildings are not accessible to the public and do not convey the history of the fairgrounds. (For photographs of all the historic-period Facilities Yard buildings, refer to the DPR 523 forms in Appendix B.)

Free-standing Restrooms. There are at least four, historic-period freestanding restroom facilities within the fairgrounds, all of which appear to date to before 1949 (Aerial Photographs 1928 and 1949; Figures 53 and 54). Three of the facilities are of similar size, style, and character with what might be characterized as a modest Ranch-style influence (Figure 53). The other appears to be slightly older and is basically a stucco box (Figure 54). Although one would anticipate finding restroom facilities at the fairgrounds, these are utilitarian structures that do not convey any particular sense of history or association with important events.



Figure 53: Free-standing restroom. This building, which is located southeast of the security building, is representative of the Ranch-influenced restrooms (1/21/2011).



Figure 54: Free-standing restroom in the livestock area, view to the northeast (1/21/11).

Plaza de las Americas (formerly Mexican Village and Fiesta Village). This Spanish Eclectic-style feature was originally constructed in 1952 (Pomona Fairplex 2010; Figures 55–57). It is essentially a large plaza with open air structures on three sides. A large covered patio and stage are located at the north end of the plaza. This feature was renovated in 1996 and does not convey any particular sense of history.



Figure 55: Plaza de las Americas, view to the north (1/21/11).



Figure 56: Plaza de las Americas, view to the north (1/21/11).



Figure 57: Plaza de las Americas, view to the west (1/21/11).

Quonset Hut #10. This Quonset hut, which is located at the southeast end of the race track, was built in 1957 (Figure 58 and 59). The northwest and southeast ends of the building feature five vertical-rectangular banks of windows that extend more than halfway down the building from the curved roofline to a concrete wall. The banks of windows are separated by what appears to be vertically scored concrete. The interior is a wide open space illuminated by natural light from the windows at either end, as well as rows of fluorescent lights that extend the length of the building (Figure 59). Although the building dates to the historic period and appears to retain a high level of integrity, it is not representative of any specific aspect of the fair or its history. Therefore, it is not considered a contributor. However, it may warrant consideration in planning since it is a unique and recognizable building within the fairgrounds.



Figure 58: Quonset Hut #10, view to the southeast (1/21/11).

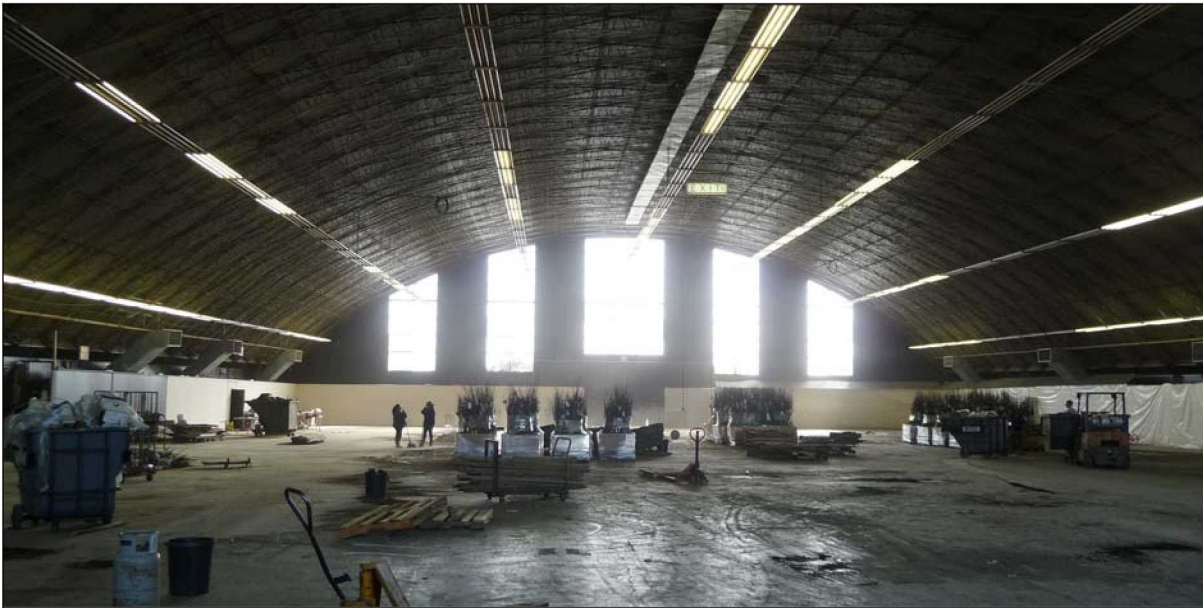


Figure 59: Quonset Hut #10 interior, view to the southeast (1/21/11).

Race Official's Office. The Race Official's Office is located north of the race track near HRS 14-28 and was constructed in 1961 (Figure 60). It has a very low-pitched gable roof and wide eaves. A small portion of the southeast end of the building is taller than the remainder and has a large opening in the east elevation. The exterior walls are sheathed with board-and-batten. The east and west elevations include doors and aluminum-framed sliding windows, a few of which are boarded on the west elevation. There is a breezeway located near the north end of the building. Although this

building is associated with horse racing, which is an important part of the fair's history, it dates to very late in the historic-period, retains only a moderate level of integrity, and is not accessible to the fair-going public.



Figure 60: Race Official's Office, view to the northwest (1/21/11).

Summary

In summary, as a result of the architectural field survey, the fairgrounds were identified as a historic district with the following 13 contributing buildings and features: race track, Administration Building 1, Palace of Agriculture, grandstand, Administration Building 2, Millard Sheets Building, WPA barrel-roofed Exhibition Halls, Avalon, NHRA Motorsports Museum, Longboard Bar, horse racing stables 1–12A and 14–28, Flower Building, and the drag strip. The nine non-contributing buildings and structures include barrel-roofed Building #9, Security Office, livestock area structures, fire station, Facilities Yard buildings, free-standing restrooms, Plaza de las Americas, Quonset Hut #10, and the Race Official's Office.

Other features that reportedly date to the historic-period but were not identified during the field surveys and therefore not recorded as part of this study include the lagoon (1935), the electric light tower near the garden railroad (1950), and the Picnic Hill Arbor (1960; renovated in 2010). None of these will be affected by the current project.

SIGNIFICANCE EVALUATION

Based on the research results discussed above, the following sections present the historical significance evaluation of the 543-acre Pomona Fairplex and the conclusion as to whether it qualifies as a “historical resource” as defined by CEQA.

DEFINITIONS

CEQA (PRC Chapter 2.6, Section 21083.2 and California Code of Regulations (CCR) Title 145, Chapter 3, Article 5, Section 15064.5) calls for the evaluation and recordation of historical resources. The criteria for determining the significance of impacts to historical resources are based on Section 15064.5 of the CEQA Guidelines and Guidelines for the Nomination of Properties to the California Register. Properties eligible for listing in the California Register and subject to review under CEQA are those meeting the criteria for listing in the California Register, National Register, or designation under a local ordinance.

California Register of Historical Resources

The California Register criteria are based on National Register criteria. For a property to be eligible for inclusion in the California Register, one or more of the following criteria must be met:

1. It is associated with the events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States;
2. It is associated with the lives of persons important to local, California, or national history;
3. It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values; and/or
4. It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the Nation.

In addition to meeting one or more of the above criteria, the California Register requires that sufficient time has passed since a resource’s period of significance to “obtain a scholarly perspective on the events or individuals associated with the resource.” Fifty years is used as a general estimate of time needed to develop the perspective to understand the resource’s significance (CCR 4852 [d][2]).

The California Register also requires that a resource possess integrity, which is defined as “the authenticity of an historical resource’s physical identity evidenced by the survival of characteristics that existed during the resource’s period of significance” (California OHP 1999:2). To retain integrity, a resource should have its original location, design, setting, materials, workmanship, feeling, and association. Which of these factors is most important depends on the particular criterion under which the resource is considered eligible for listing (California OHP 1999).

City of Pomona Historic Landmark Designation Criteria

For the purposes of this section, an improvement, natural feature, or site may be designated an Historic Landmark by the Historic Preservation Commission and City Council and any area within the City of Pomona may be designated an Historic District pursuant to Subsection E (Appeal Procedure) of this Section, if the building or majority of buildings (in a district) are fifty (50) or more years old or of exceptional quality if less than fifty (50) years old, and it meets one or more of the following criteria:

1. It exemplifies or reflects special elements of the City of Pomona's cultural, social, economic, political, aesthetic, engineering, architectural, or natural history;
2. It is identified with persons or events significant in local, state, or national history;
3. It embodies distinctive characteristics of a style, type, period, or method of construction, or is a valuable example of the use of indigenous materials or craftsmanship;
4. It contributes to the significance of a historic area, being a geographically definable area possessing a concentration of historic or scenic properties or thematically related grouping of properties which contribute to each other and are unified aesthetically by plan or physical development;
5. It is the work of a notable building, designer, landscape designer, or architect;
6. It has a unique location or singular physical characteristics or is a view or vista representing an established and familiar visual feature of a neighborhood, community, or the City of Pomona;
7. It embodies elements of architectural design, detail, materials, or craftsmanship that represent a significant structural or architectural achievement or innovation;
8. It is similar to other distinctive properties, sites, areas, or objects based on a historic, cultural, or architectural motif;
9. It reflects significant geographical patterns, including those associated with different eras of settlement and growth, particular transportation modes, or distinctive examples of park or community planning; and/or
10. It is one of the few remaining examples in the City of Pomona, region, state, or nation possessing distinguishing characteristics of an architectural or historical type or specimen.

EVALUATION

The fairgrounds, which opened in 1922, have an extensive history as discussed in the preceding sections of this report. The following is a summary of that 89-year history.

In the 1920s, when it first began, the fair focused mostly on agriculture, livestock, farm equipment, and horse racing. In the 1930s, coinciding with the end of Prohibition, pari-mutuel wagering was legalized in California and the fair was the first place in Southern California to allow bets on horse racing. That same decade, many new buildings were constructed in the fairgrounds as part of WPA projects. For much of the 1940s, the grounds were used by the United States Army, first to house Japanese-Americans before they were sent to internment camps, then as the Pomona Ordnance Depot, and later as a POW camp. In the 1950s, the country prospered and the demand for recreational

activities grew, bringing about a resurgence in the popularity of hot rodding. The NHRA's first sanctioned race took place at the Fairplex in 1953. Two years later, the flying disc reportedly debuted at the Fair and was later marketed as the Frisbee by Wham-O.

In addition to its association with a variety of historical events, the fairgrounds have played an important role in the region's economy and have also been associated with people noteworthy in history, specifically, Wally Parks, founder of the NHRA; and Millard Sheets, the well-known artist and Pomona native who was the director of the fine arts exhibition for more than 20 years. Several of the permanent buildings at the fairgrounds were designed by Pomona architect Peter Ficker and/or were WPA projects. Many of the buildings, such as the grandstand, the Fine Arts Building, the NHRA Motorsports Museum, the WPA barrel-roofed Exhibition Halls, and the Administration Building retain a high level of architectural integrity and are good examples of their respective architectural styles.

California Register. Under Criterion 1, the fairgrounds are associated with events that are significant in local, state, and national history. As the site of the Los Angeles County Fair since 1922, the fairgrounds played a significant role in the agricultural and recreational history of Pomona and the surrounding region. The fair has also contributed greatly to the local economy and is the largest county fair in the nation. Despite the economic depression in the 1930s, the fair continued and even enjoyed a small construction/employment boom between 1937 and 1939 thanks to the WPA. During the war years of the 1940s, the fair temporarily ceased (1942–1947) as the grounds were taken over by the U.S. Army and used first as a Japanese-American assembly center, then as an ordnance depot, and finally as a POW camp that provided inexpensive and reliable labor to nearby farms. In the 1950s, the growth of the middle class, coupled with increased prosperity and leisure time, resulted in new demands for recreation and spurred the return of the hot rod and dangerous and illegal drag racing on local streets. Working with the local police and Wally Parks, the fairgrounds provided a drag strip where the first legally sanctioned NHRA race took place in 1953. Many of the buildings and features related to these historic events remain in place and retain at least a moderate level of integrity, which allows the Fairplex to convey its association with these important events in history. Therefore, the Pomona Fairplex appears to meet this criterion for significance at the regional level as a historic district with a period of significance from 1922, when the fair first opened, to 1961, which is currently the end of the historic period.

Under Criterion 2, the fairgrounds are associated with a number of fairly well-known people. Of these, architect Peter Ficker, artist Millard Sheets, and NHRA founder Wally Parks are of particular note. Peter Ficker was reportedly the architect of either original designs or remodeling projects for the Administration Building, the Palace of Agriculture, and most of the fairground exhibition halls. In addition, he designed noteworthy buildings in Los Angeles County, including Los Angeles Municipal Warehouse No. 1, which is listed in the National Register. While Ficker's association with some of the fairground's buildings is noteworthy, none of these buildings appears to be the sole remaining building of his design or the best example of his work. In addition, their association with Ficker is not enough to make the fairgrounds or any of the individual buildings or features significant under this criterion.

Award-winning artist and Pomona-native Millard Sheets is the designer of the Second Street Pedestrian Mall (1962) in downtown Pomona. Sheets served as Director of the Fine Arts Exhibit for

many years and was important in the success of this aspect of the fair. Although it has not been verified, he may have designed the Fine Arts Building. While his long-time involvement with the fair is notable, by itself, this association is not important enough to make the fairgrounds or the Fine Arts Building (now Millard Sheets Building) significant under this criterion. However, if in the future evidence is found indicating that he did indeed design the Fine Arts Building and that it is a rare, high quality example of a building designed by Sheets, that could result in a different determination under this criterion.

NHRA founder Wally Parks is one of the biggest names in drag racing and motorsports. Born in Oklahoma, but reared in California, Parks was a founding member of the 1937 SCTA. The SCTA was focused on conducting land speed events. Parks also was involved in the first Hot Rod Show in America presented by SCTA in 1948, the introduction of *Hot Rod Magazine* in 1948, the opening of Bonneville Salt Flats in Utah for hot rod speed trials in 1949, and won numerous awards from 1972 to 2003 for his participation in automotive sports. Parks was drag racing's first inductee into the International Motorsports Hall of Fame in 1992 in Talladega, Alabama. Parks' association with drag racing at the fairgrounds does not, by itself, make the fairgrounds significant. However, it does make the drag strip, which was the location of the NHRA's first official race, a contributing element to the fairgrounds historic district.

Under Criterion 3, the fairgrounds embody the distinctive characteristics of a fairground such as the horse race track and related barns and stables, the grandstand, and the exhibition halls. In addition, there are a number of buildings that are good examples of various architectural styles as adapted to fairground/exhibition hall uses. These span a period of four decades (1920s–1950s) and include Administration Building 1 (1926), Palace of Agriculture (1930/1941), Grandstand (1932), Administration Building 2 (1936); Millard Sheets Building (1937; former Fine Arts Building), WPA barrel-roofed Exhibition Halls (1937–1938; Buildings 5–8), Avalon (1937–1939), NHRA Motorsports Museum (1939; former Home Arts Building), the Longboard Bar (circa 1939), and Flower Building (1952). In addition, some of these buildings are associated with architect Peter Ficker and/or the WPA. Therefore, the fairgrounds appear to be significant under this criterion as a property type that retains several major buildings dating to its period of significance (1922–1961). In addition, based on the quality and integrity of their architecture, as well as their associations with important events and people in history, the buildings listed above, along with the horse race track (1922/1985), the horse racing stables (1–12A and 14–28), and the drag strip (1953/1993), are contributing features to the historic district.

Under Criterion 4, which is usually associated with archaeological resources, the fairgrounds do not appear to have the potential to yield information important to the prehistory or history of the local area, California, or the nation.

For the reasons discussed above, the Pomona Fairplex appears eligible for listing in the California Register as a historic district under Criterion 1 for its associations with the development of agricultural fairs and the WPA and under Criterion 3 as a property type (county fairgrounds) with several extant contributing buildings and features including the race track; Administration Building 1; Palace of Agriculture; Grandstand; Administration Building 2; Millard Sheets Building; WPA barrel-roofed Exhibition Halls (Buildings 5–8); Avalon; NHRA Motorsports Museum; the Longboard Bar; horse racing stables 1–12A and 14–28; Flower Building; and the drag strip.

City of Pomona. Several of the City's criteria for designation as either a historic district or landmark are similar to those of the California Register. Therefore, for the reasons discussed above, the fairgrounds also meet the City's criteria for designation as a historic district.

POTENTIAL IMPACTS TO HISTORICAL RESOURCES

CEQA states that a substantial adverse change may include the “destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of a historical resource would be materially impaired” (Article 5, Section 15064.5(b)(1)). The significance of a historical resource is materially impaired when a project results in adverse changes to those physical characteristics of the resource that convey its historical significance and justify its inclusion in, or eligibility for, the California Register or a local register (Article 5, Section 15064.5(b)).

In compliance with CEQA, the City has requested that LSA analyze the project’s potential impacts to any historical resources as defined by CEQA. Because the Fairplex was designated California Historical Landmark 934 as the site of a temporary detention camp for Japanese-Americans during WWII, it is automatically listed in the California Register and is a “historical resource” pursuant to CEQA (15064.5(a)(1) of the 2011 CEQA Guidelines). In addition, as a result of this study, the Pomona Fairplex has been determined to meet the criteria for listing in the California Register and the local register as a historic district (Pomona Fairplex Historic District). Therefore, the proposed project must be analyzed to determine whether it will result in any adverse changes to the historical resource (Pomona Fairplex Historic District).

Project Description

The proposed project involves an approximately 23-acre portion of the project area that is currently developed with 22 horse stables (Figure 2). Nine of the stables (Barrett’s Equine Complex) are proposed to be converted into offices, eleven are proposed to be converted into self-storage units (HRS 1–11), and two are proposed to be demolished (HRS 12 and 12A; Appendix C, Project Plans). The proposed project also involves installation of paving, parking, landscaping, lighting, fencing, and signage primarily around the proposed offices.

The Barrett’s Equine Complex was constructed in 1989, and, as a modern development, is not a contributor to the Pomona Fairplex Historic District. Therefore, the proposed conversion of these stables into offices will not result in any adverse changes to the historical resource. However, HRS 1–12A date to the late 1940s or earlier. These buildings, along with HRS 14–28, have been determined as a group to contribute to the historical significance of the Pomona Fairplex Historic District. All of the HRS (1–28) have sustained alterations and none is accessible or particularly visible to the general fair-going public.

The following alterations are proposed for HRS 1–11:

- Replace existing stall doors and sliding doors with painted roll-up doors;
- Remove exterior windows, which will be framed in to match the existing exterior finish;
- Reduce the width of the eaves;

- Remove the modern (1968) Classical-style addition at the southwest end of HRS 1; and
- Install concrete floors.

HRS 12 and 12A are proposed to be demolished to make room for the improvements associated with the conversion of the Barrett's Equine Complex into offices.

Potential Project Impacts Analysis

The proposed demolition of HRS 12 and 12A will remove two of the 28 historic-period HRS within the fairgrounds. Neither of the stables proposed to be removed is accessible or visible to the general fair-going public and 26 very similar HRS will remain. Therefore, the loss of these two HRS will not result in a substantial adverse change to the historical resource, which is the Pomona Fairplex Historic District.

HRS 1–11 are proposed to be adaptively reused. Although the buildings will be preserved in place and will retain their basic forms, fairly extensive alterations are proposed. These include removal and/or replacement of all windows and doors, reduction of the wide eave overhangs, and installation of concrete floors. Cumulatively, these alterations will compromise the integrity of these HRS and will reduce their ability to convey their association with the horse racing aspect of the fair. However, 14 other very similar HRS will remain; therefore, the alterations to HRS 1–11 will not result in a substantial adverse change to the significance of the historical resource. Although not mitigation, in order to reduce the project impacts to HRS 1–11, it is recommended that the eave overhangs not be reduced; the exterior walls remain sided with board-and-batten; and, wherever possible, the windows and doors not be removed.

RECOMMENDATIONS

The foregoing report has provided background information on the project area, outlined the methods used in the current study, and presented the results of the various avenues of research. As a result of the study, it has been determined that the Pomona Fairplex meets the criteria for listing in the California Register as a historic district. It also meets the local ordinance criteria for designation as a historic district. Therefore, it is a “historical resource,” as defined by CEQA. In addition to various other buildings and features, the horse racing stables (HRS) within the proposed approximately 23-acre project location have, as a group, been identified as contributors to the Pomona Fairplex Historic District. However, the proposed alterations to HRS 1–11 and the proposed demolition of HRS 12 and 12A will not result in a substantial adverse change to any historical resources (i.e., the Pomona Fairplex Historic District) and no mitigation measures are recommended. However, if the City would like to preserve more of the historic character of these buildings, LSA suggests that the eave overhangs not be reduced; the exterior walls remain sided with board-and-batten; and, wherever possible, the windows and doors not be removed.

In addition, LSA recommends that if buried cultural materials are encountered during earthmoving operations associated with the project, all work in that area should be halted or diverted until a qualified archaeologist can assess the nature of the finds and make appropriate mitigation recommendations.

In the event human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made a determination of origin and disposition pursuant to PRC Section 5097.98. The County Coroner must be notified of the find immediately. If the remains are determined to be Native American, the County Coroner will notify the NAHC, which will determine and notify a MLD. With the permission of the landowner or his/her authorized representative, the MLD may inspect the site of the discovery. The MLD shall complete the inspection within 48 hours of notification by the NAHC. The MLD will have the opportunity to offer recommendations for the disposition of the remains.

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APPENDIX A
JAPANESE-AMERICAN ASSEMBLY CENTER

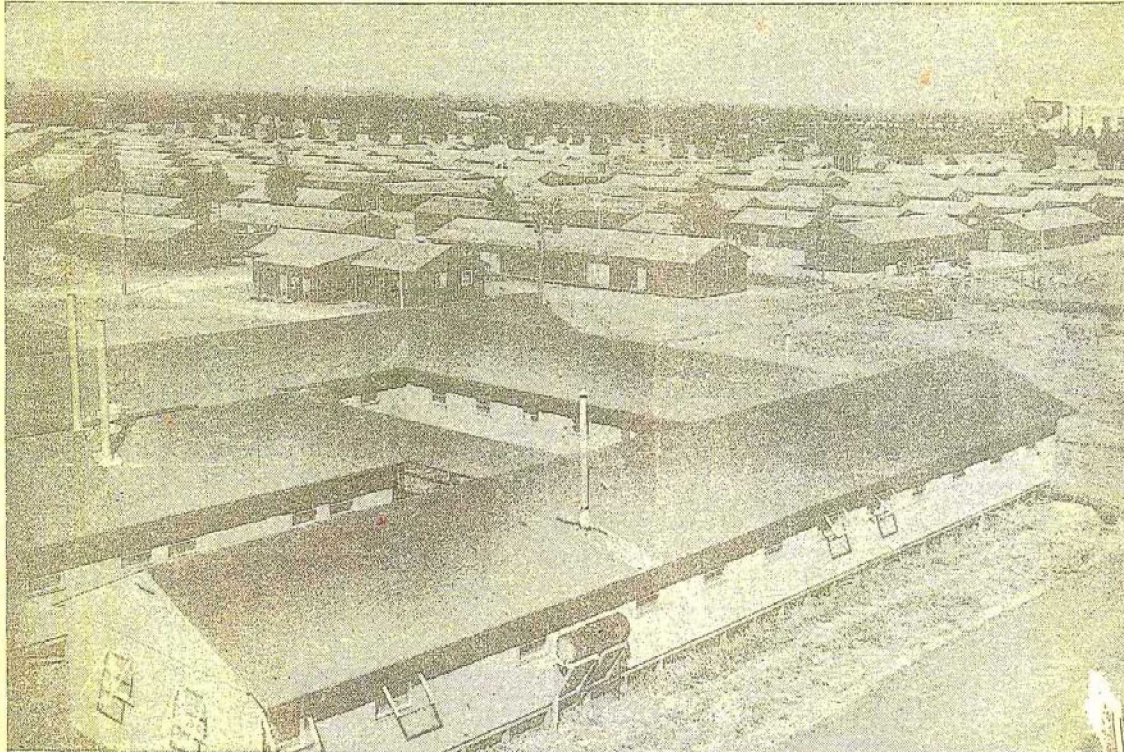


P-B PHOTOS

Soby Yamamoto, widely known former operator of a local vegetable market, and his little niece, Fugio Kunimoto, study exclusion order No. 55 which bars persons of Japanese ancestry from a huge area of eastern Los Angeles county, including Pomona. Signs were posted thruout Pomona on Saturday, and all Japanese here are to be evacuated to the assembly center at the fairground by noon Friday, for temporary residence until reception centers can be prepared farther inland. Yamamoto, however, left today for the Parker dam region where a permanent center is being set up. He will act as vegetable buyer for that reception center.

Source: *Progress-Bulletin* May 9, 1942. On file in the Pomona Fairplex Archives

Assembly Center Here Ready to House 5000 Japanese

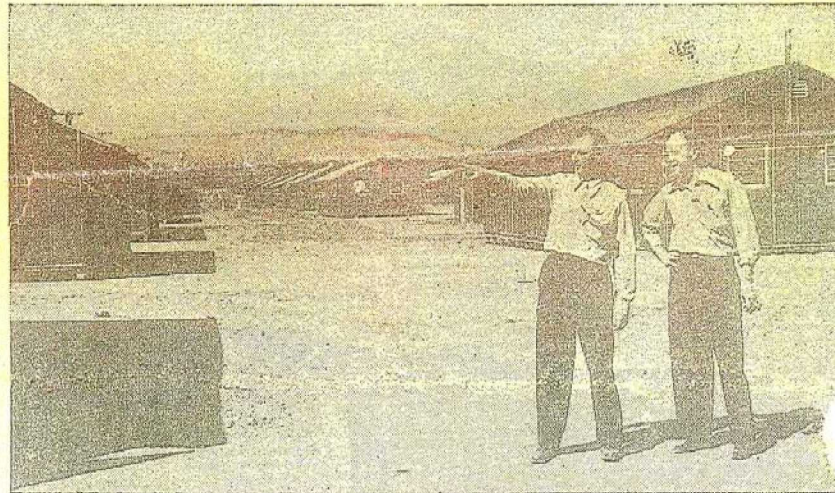


Complete accommodations for five thousand persons are provided in 420 prefabricated buildings at newly completed assembly center in the west parking lot of Los Angeles County fairground. First of the 2370 Japanese now under orders to leave two areas in Los Angeles are to arrive Friday; all will be here by Monday noon. This photo, looking northeast from southwest corner of assembly center, shows some of the buildings, with the fair's grandstand in background. Building in foreground is a hospital.

entire city of Stockton, 1500; all of Merced county and parts of Mariposa county, 1000; all of Stanislaus county and portions of Tuolumne and Calaveras counties, 600; portions of Placer county, 2000.

In Oregon: all of Hood River county and portions of Wasco and Sherman counties, 600.

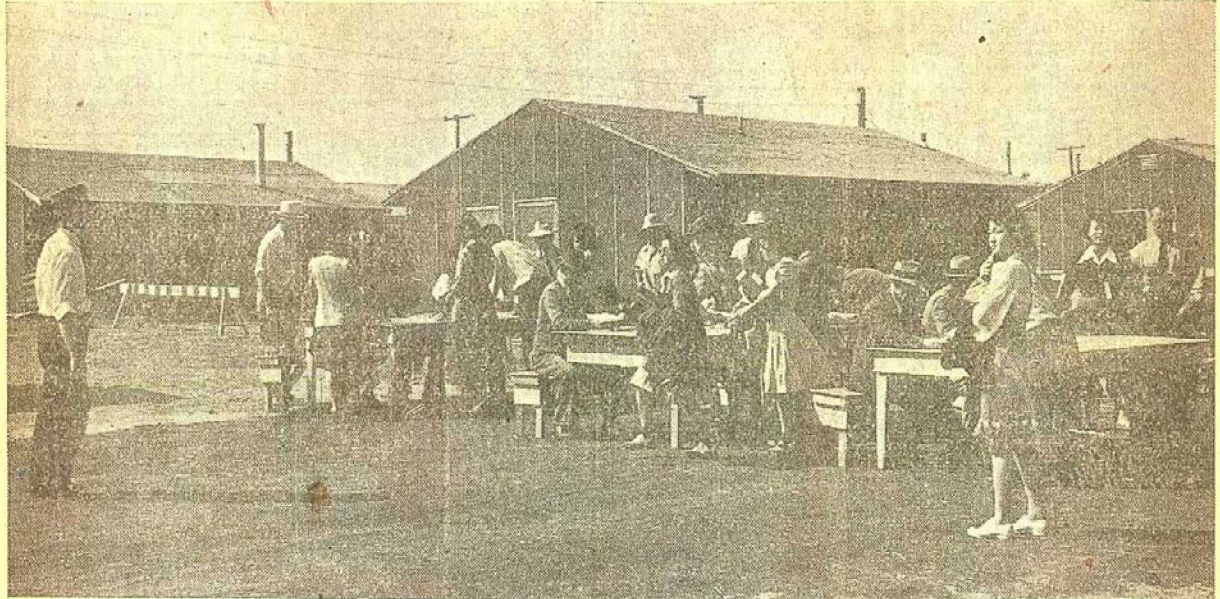
The movement of the 9,300 Japanese will be staggered, starting May 11 and will be concluded Saturday, May 16. They will be received at reception centers at Marysville, Stockton, Sacramento, and other points.



P-B PHOTOS

Civilian Manager Raymond D. Spencer points out something of interest to Jack Conway, director of service division at new evacuee assembly center here. This view, toward the north, shows some of the uniform houses which stand in long rows. Each of these buildings contains three large rooms. From four to six persons will be housed in each of the rooms.

Japanese Move Into Temporary Homes at Fairground

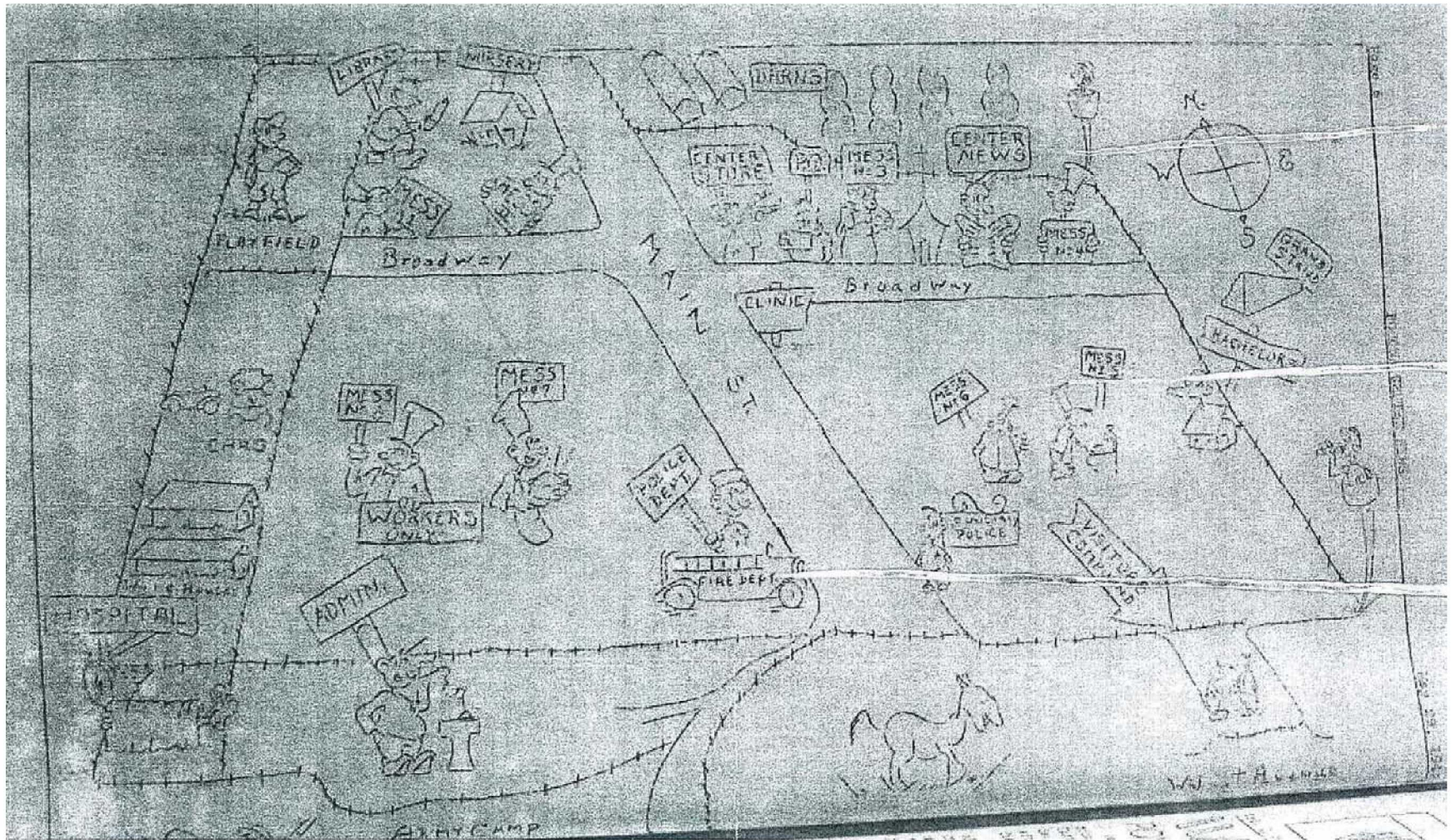


Some of 72 Japanese who arrived at fairground assembly center here Friday are shown signing in as residents of the place. Brought here in cars and busses, they gave names and identifying information at these tables, later had baggage inspected and were given medical examinations. First arrivals helped in the job of registering big groups arriving Saturday, Sunday and today.



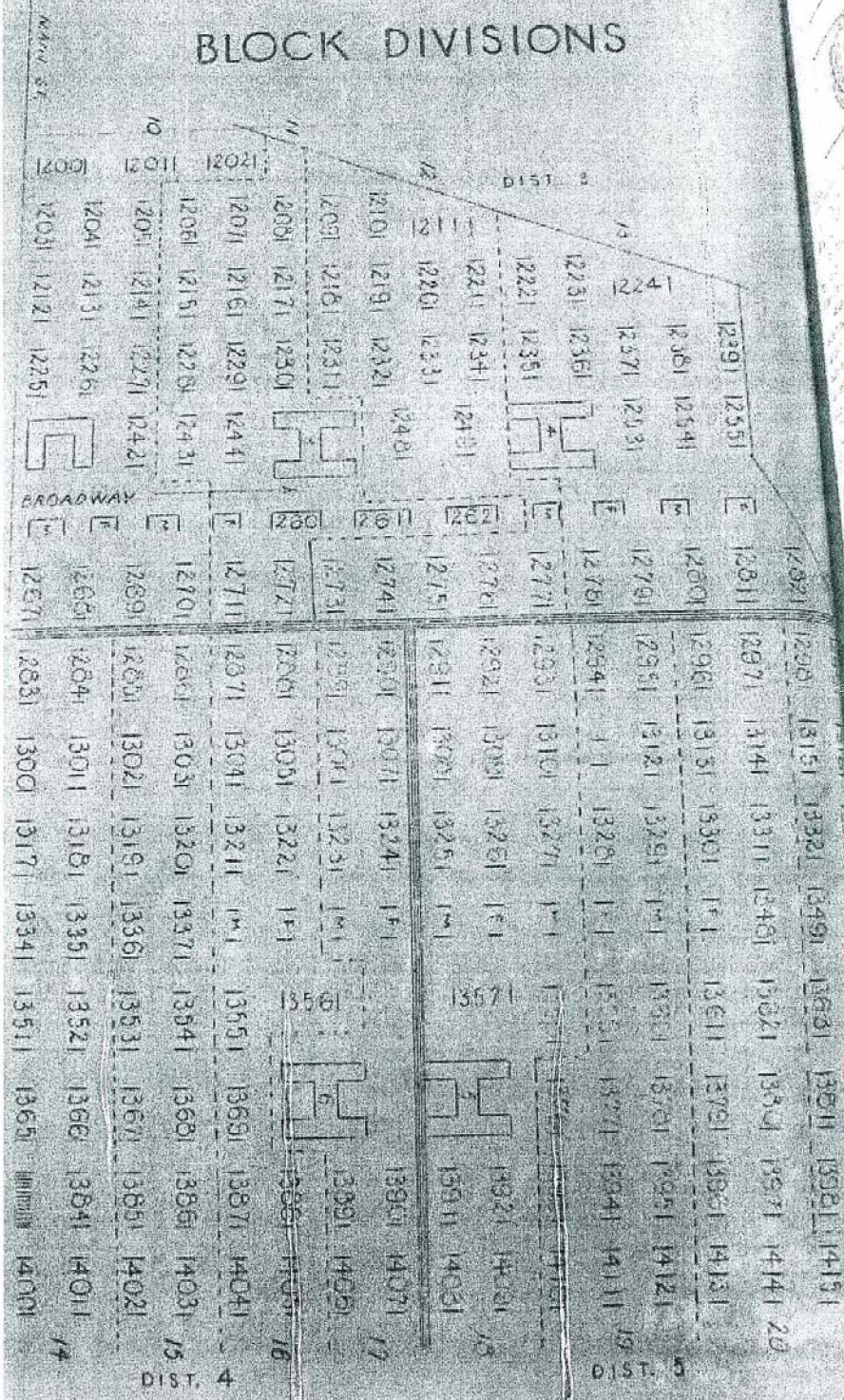
Chisato Kuwata, left, and Chizo Kawaguchi, both of Pomona and among first arrivals at new fairground assembly center, are shown in photo at left, sitting on a cot for a little giggling before starting the job of getting settled in their new quarters. At right, Miyo Suzuki of San Gabriel, armed with bucket, broom and blanket, prepares to clean up her new home before unpacking her belongings. Residence quarters at the center were quickly set in order.

Source: *Progress-Bulletin* May 11, 1942. On file in the Pomona Fairplex Archives.



Hand drawn map of the Assembly Center dated May 29, 1942. Source: Pomona Fairplex Archives.

BLOCK DIVISIONS



Assembly Center Block Divisions. Source: Pomona Fairplex Archives

BLOCK DIVISIONS

DIST. 1

DIST. 2

M A I N S T R E E T																
1101	1201	1301	1401	151	1601	1701	1801	1901	11001	11101	11201	11301	11401	11501	11601	11701
1191	1191	1281	1381	141	1591	1791	1891	1991		11091	11191	11291	11391		11591	
1181	1181	1261	1361	141	1581	1781	1881	1981		11081	11181	11281	11381		11581	
1171	1171	1271	1371	141	1571	1771	1871	1971		11071	11171	11271	11371		11571	
1161	1161	1261	1361	141	1561	1661	1761	1861	1961	11061	11161	11261	11361	11461	11561	11661
1151	1151	1251	1351	141	1551	1651	1751	1851	1951	11051	11151	11251	11351	11451	11551	11651
1141	1141	1241	1341	141	1541	1741	1841	1941		11041	11141	11241	11341		11541	
1131	1131	1231	1331	141	1531	1731	1831	1931		11031	11131	11231	11331		11531	
1121	1121	1221	1321	141	1521	1721	1821	1921		11021	11121	11221	11321		11521	
1111	1111	1211	1311	141	1511	1611	1711	1811	1911	11011	11111	11211	11311	11411	11511	11611

REC'L FIELD

AUTO PARK

WAREHOUSE

Assembly Center Block Divisions. Source: Pomona Fairplex Archives

APPENDIX B

DEPARTMENT OF PARKS AND RECREATION (DPR) 523 FORMS

*Resource Name or # (Assigned by recorder): Pomona Fairplex Historic District

D1. Historic Name: Los Angeles County Fairgrounds

D2. Common Name: Pomona Fairplex

***D3. Detailed Description:** (Discuss overall coherence of the district, its setting, visual characteristics, and minor features. List all elements of district.): The 543-acre fairgrounds are located in the City of Pomona and adjacent to the City of La Verne. They are bordered by residential neighborhoods (southwest, southeast, and east), Ganesha Park (south), a golf course (west), and commercial properties (northwest, north, and northeast). The fairgrounds include a number of large exhibition halls, a horse race track and grandstand, stables, show rings/arenas, a drag strip, a livestock area, a garden railroad, the National Hot Rod Association (NHRA) Museum, a hotel, administrative offices, a childcare facility, restaurants, a facilities yard, a KOA campground, and large parking lots. In addition, there are several mobile and/or temporary structures, restrooms, a fire station, a security office, and storage buildings. The Pomona Fairgrounds were designated California Historical Landmark 934 as the site of a temporary detention camp for Japanese-Americans during World War II.

***D4. Boundary Description** (Describe limits of district and attach map showing boundary and district elements): The district boundary is generally McKinley Avenue on the southwest, Fairplex Drive on the northwest, White Avenue on the northeast, La Verne Avenue on the northeast, and White Avenue on southeast (refer to Location Map and Sketch Map).

***D5. Boundary Justification:** The boundary is defined by the Assessor's parcels (8378-020-901, 8378-020-905, 8378-019-001, 8378-019-900, 8378-016-901, and 8378-016-020) that make up the Fairplex.

***D6. Significance: Theme:** Agricultural Fairs and the WPA

Area: City of Pomona and surrounding region

Period of Significance: 1922–1961

Applicable Criteria: A and C (Discuss district's importance in terms of its historical context as defined by theme, period of significance, and geographic scope. Also address the integrity of the district as a whole.)

Historical Background. In 1921, a merchants' exposition was held along the Southern Pacific Railway in downtown Pomona (Fairplex 2010). The exposition was presented by Harry La Breque, a promoter of community celebrations for Foley & Burke Shows, a railroad carnival, and Clinton B. "Jack" Afflerbaugh, a Pomona druggist and city councilman (ibid.). The exposition, which consisted of exhibits in a tent and a carnival, set the stage for what would become the Los Angeles County Fair as its success inspired Afflerbaugh and others to consider having a fair (ibid.). L.E. Sheets, a local music store owner who had experience with fairs in Iowa, was asked to present plans for a fair to the Pomona Chamber of Commerce and then to the City Council (ibid.).

In 1922, a fair board was formed with Sheets as President, Afflerbaugh as Vice President, and Charles P. Curran as second Vice President. The City of Pomona agreed to purchase a 43-acre beet and barley field from the Ricardo Vejar estate for use as the fairgrounds (Fairplex 2010). Afflerbaugh contacted Sacramento and got permission to use the name "L.A. County Fair" and the fair was incorporated as the Los Angeles County Fair with Sheets as its first president (ibid.). It was organized "primarily for the promotion of the agricultural, horticultural, and animal husbandry interests of the great Southwest" (ibid.:74). Financing came from a combination of private loans, the sale of stock, and the County Board of Supervisors (ibid.).

In August 1922, the *Los Angeles Times* reported that the City of Pomona had purchased a 40-acre tract of land adjacent to Ganesha Park for a fair that promised to be the "greatest exposition of the country's resources ever presented" (*Los Angeles Times* 1922a). The fair was to be held October 17–21 and it was reported that eight buildings were being constructed along with a 400-foot long horse barn, a half-mile racetrack, and a 68,900-square foot tent for the industrial exposition (ibid.). A horse show with \$7,000 in prize money, as well as horse racing and livestock competitions were promoted as highlights of the upcoming fair (*Los Angeles Times* 1922a). The Los Angeles Chamber of Commerce reportedly was very interested in the success of the fair because "development of the agricultural and citrus growing districts is essential to the continued development of Los Angeles City" (ibid.).

Ground was broken and access roads were built along with the promised half-mile racetrack, a grandstand seating 4,000, two cattle barns, two livestock buildings, a livestock barn, and an administration building (Fairplex 2010). A wooden fence surrounded the grounds (ibid.). The fair opened to great enthusiasm and success with 10,000 people reported the first day (*Los Angeles Times* 1922b). There were more varieties of livestock than anticipated and the racetrack, which was created in less than three months, held its own with the more established tracks in the region (ibid.). By all accounts, the first Los Angeles County Fair was a great success with wildly varying estimates of total attendance ranging from 49,461 (Fairplex 2010) to 100,000 (*Los Angeles Times* 1922c). Highlights included harness racing, chariot racing, and an airplane wing-walker (Fairplex 2010).

In 1923, a \$75,000 bond issue was approved that facilitated the purchase of an additional 62 acres and the construction of permanent buildings (Fairplex 2010). The following year, Afflerbaugh became the Fair's first paid manager, a post he held until 1960 (ibid.). That same year (1924), a building for the home arts (no longer extant) was constructed and attendance grew to 93,163 (ibid.). In 1925, attendance exceeded 100,000 and the fair was held in September (ibid.). A *Los Angeles Times* article from October 1926 proclaimed "The Fair has Arrived" and included a picture of the new Administration building (extant, but enlarged; *Los Angeles Times* 1926).

(see *Continuation Sheets pages 2–7*)

***D7. References** (Give full citations including the names and addresses of any informants, where possible.):

(see *Continuation Sheet pages 7–9*)

***D8. Evaluator:** Casey Tibbet, M.A.

Date: January 21, 2011

Affiliation and Address: LSA Associates, Inc., 1500 Iowa Avenue, Suite 200, Riverside, CA 92507

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***D6. Significance: (Continued from page 1)**

This Spanish Eclectic style building, which featured a large arched opening that functioned as the entrance to the Fair, was reportedly designed by Pomona resident Peter Ficker (Fairplex 2010). Ficker was born in Magyosoz, Hungary in 1885 and immigrated to St. Louis, Missouri in 1904 via New York and the ship *Wilhelm II* (Ancestry.com). He became a naturalized citizen in 1913 in Los Angeles, where he resided and worked for the Harbor Engineers Office (ibid.; Lassell 1999). While there, he designed several buildings including Los Angeles Municipal Warehouse No. 1, which had lions-head gargoyle down-spouts that were cast from an original sculpture produced by Ficker (Lassell 1999:4). For several decades, the building was the largest structure at the Port of Los Angeles and was listed in the National Register of Historic Places in 2000 (ibid.; National Park Service 2009). Ficker apparently relocated to Pomona sometime after 1920 and is credited with designing several of the major exhibit buildings and/or renovations to them (Ancestry.com; Lassell 1999; Richards 2011).

By the 1930s, California had become one of the nation's foremost agricultural producers, growing some of the leading varieties of citrus, nuts, avocados, and beans. Because California's agricultural production played a major role in the development of the State, the fairs that exhibited these products became very important (Tibbet and Carmack 2006). The 1934 local City Directory promoted Pomona by noting that it was home to three transcontinental railroads, an electric inter-urban railroad linking it to Los Angeles, the Los Angeles County fairgrounds, two hospitals, one newspaper, seven parks, four service clubs, several lodges and fraternal orders, and approximately 21,000 people (Los Angeles Directory Company 1934). In addition, the City's primary agricultural products were listed as citrus, walnuts, deciduous fruits, poultry, rabbits, and dairy, while its main manufacturing products were pumps, tile, paper, and knitwear (ibid.).

Despite the effects of the Depression, in 1930, the 108,000-square foot Exhibits Building ("the largest exhibit building in the world") was constructed at the fairgrounds at a cost of \$250,000 (Fairplex 2010:75). In 1931, the Fair was presented in combination with the Southern California Fair (formerly held in Riverside), and Millard Sheets, renowned artist and Pomona native, was named to the Fair's tenth annual art exhibition jury and apparently acted as the superintendent of the art exhibit (*Los Angeles Times* 1931 and 1932). However, attendance dropped that year by nearly 32,000 from the previous year (ibid.). In 1932, Sheets once again acted as the superintendent of the art exhibit, a post he held until 1957 (*Los Angeles Times* 1932; Fairplex 2010). In 1994, the Fine Arts Building was dedicated as the Millard Sheets Gallery (Fairplex 2010:78). From 1932 through 1937, the Orange County Fair was added making it a tri-county harvest festival (ibid.). In 1933, the State legalized pari-mutuel wagering and the Fair "became the first in Southern California to allow fans to bet on horse racing" (Fairplex 2010:75). In 1935, the Fair's Garden Railroad, which began in 1924 and originally had all handmade rolling stock that "ran on one-half inch scale standard gauge custom laid steel track," was moved to an outdoor location (Schreyer 1999). With over 4,500 feet of track, in 1999 it was reportedly the largest operating garden railroad in the United States (ibid.).

Throughout the 1930s, several new buildings were constructed on the fairgrounds. These included new horse and cattle barns (1932); a concrete and steel grandstand (1932); a lagoon (1935); three new horse barns (1935); dressing rooms in the grandstand (1935); a stage in the grandstand (1935); a sunken bandstand in the grandstand (1935); a new arts and crafts building (now Administration 2 building; 1936); two buildings for rabbits, poultry, and youth exhibits (1938); Anthony's (now Avalon; late 1930s); and a childcare center (1939; Fairplex 2010). In addition, from 1937 through 1939, a number of buildings were constructed as Works Progress Administration (WPA) projects. These include the Fine Arts Building (now Millard Sheets Building; 1937); barrel-roofed Exhibition Halls 5 and 6 (1937); barrel-roofed Exhibition Halls 7 and 8 (1938); the Home Arts Building (now NHRA Motorsports Museum; 1939), and possibly the cafeteria (now Avalon; 1937 or 1939).

Although the agricultural industry began to decline through the late 1930s and into the 1940s, any economic lull attributed to the agricultural industry was soon replaced by the war economy. In October 1941, three days after the Fair closed, the huge Exhibits Building was severely damaged by fire (Fairplex 2010). On December 14, just one week after the attack on Pearl Harbor and before the fire damaged building could be repaired, the United States Army took over the fairgrounds (ibid.). Three regiments occupied the grounds and the Army established its headquarters in the Home Arts Building (now the NHRA Motorsports Museum; ibid.). On March 25, 1942, newspapers reported that the 1942 fair had been officially canceled (*Los Angeles Times* 1942a). The same day, Fair Manager Afferbaugh announced that a 29-foot by 26-foot addition to the Administration building would be completed within the next six weeks (*Los Angeles Times* 1942b). Afferbaugh also noted that the addition would be of similar architecture and would include an 11-foot by 12-foot vault (ibid.). Fair personnel were allowed to retain use of the Administration building during the war.

In March 1942, a complex was constructed in the west parking area that consisted of 420 prefabricated buildings including houses, latrines, showers, laundry facilities, mess halls, warehouses, a hospital, a post office, a library, administration buildings, a recreation hall, and a visitors' area (*Progress-Bulletin* 1942b). The complex, which functioned as an Assembly Center for Japanese-Americans held a total of 5,514 persons and was surrounded by a high fence and guard towers (Blackstock 2009; The California State Military Museum n.d.). On May 7, 1942, the first "evacuees" arrived (Japanese American National Museum 2011). In August 1942, the vast majority of the detainees at the fairgrounds were relocated to the Heart Mountain concentration camp in Wyoming and by August 27, 1942, the assembly center had been completely vacated (*Progress-Bulletin* 1942d). (See Continuation Sheet)

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***D6. Significance: (Continued from page 2)**

Early in September 1942, the "center was turned over to the Army's Ordnance Motor Transport Agency and became known as the Pomona Ordnance Depot" (The California State Military Museum n.d.). In 1943, the Army used the facility as a desert training center, and in 1944, the Ordnance Command shop was established on the grounds (Fairplex 2010). In September 1945, Japan signed an unconditional surrender officially ending World War II. The fairgrounds, which remained under the control of the Army, were then used as an Italian and German prisoner of war (POW) camp until March 1946 (Fairplex 2010). The POWs were reportedly used to work the nearby groves and fields and were regarded as a reliable and affordable labor force (*Los Angeles Times* 1945). Although many of the local growers lobbied to keep the POWs, Afflerbaugh insisted that the fair was even more important to the local economy and eventually succeeded in securing the removal of Assembly Center buildings and closure of the POW camp. Finally, in March 1946, the POW camp was closed (Fairplex 2010). Since no buildings from the Assembly Center or other war-time activities remain, no additional information regarding this context is provided in this District Record. Refer to the related report for more detailed war-time context.

In 1947, 35 acres were annexed to the fairgrounds for the establishment of a trailer park and the County Board of Supervisors earmarked \$733,364 for repairs to the Exhibits Building that had been burned in 1941 (Fairplex 2010; *Los Angeles Times* 1947). In 1948, the Fair reopened with a new official mascot, Thummer the Pig (Fairplex 2010). The Exhibits Building (renamed the Agricultural Pavilion) was designed by Peter Ficker and was reconstructed at a cost of \$750,000 (Fairplex 2010:76). At nearly 120,000 square feet, it was reportedly the largest structure of its kind west of the Mississippi (ibid.). "Other new construction projects included a horse racing tote board, a tunnel under the track to the infield and new cattle and swine barns. Attendance topped the one million mark for the first time ... making the event the second largest fair in the country, surpassed only by the Texas State Fair" (ibid.). In 1949, the six-lane road that is now known as Fairplex Drive was constructed providing better access to the fairgrounds (Fairplex 2010). In addition, 62 acres were added for parking, and the Administration Building was expanded with the addition of more than 8,200 square feet including a board of director's room with an outdoor balcony (Fairplex 2010).

In the immediate post- WWII era, many of Pomona's agricultural groves were replaced with new roads and housing tracts to support the post-war population boom, which erupted throughout the United States during this period. From about 1950 through the mid-1970s, the average income of the American worker rose by 50 percent and the middle class grew and prospered (Randl 2004:32). With more disposable income and more leisure time (thanks in part to the nearly universal 40-hour work week), the demand for recreational activities grew. A new leisure industry consisting of magazine editors, builders, realtors, and sporting goods and vehicle manufacturers emerged (Randl 2004). Between 1940 and 1970, the number of paid holidays and vacation days had more than doubled for most workers and Saturdays were no longer part of the work week. Recreation was America's new hobby and the car culture led the way.

The post-war period saw resurgence in the popularity of hot rodding and drag racing. "By 1950, hot rodders who had been racing in dry lake beds were taking to the streets" sometimes injuring or killing themselves or others (Allen 2008). In those days, if you were a hot rodder, it was the same as being in a gang today (ibid.). Pomona had its share of illegal street racers, but it also had a "car-loving" police chief (Ralph Parker) and a young motorcycle sergeant named Bud Coons who was a car enthusiast (ibid.). Parker and Coons were also interested in safety, and with this in mind, Coons began organizing rally runs and shows and barbeques for racers (ibid.). In 1951, Chief Parker, Coons, and the Lions Club approached the Fairplex with the idea of setting aside an area for drag racing (ibid.). Soon street racers had a legal straightaway and complaints about speeding, as well as deaths from speeding, dropped dramatically (ibid.). This success prompted the Federal Bureau of Investigation (FBI) to send a bulletin to other jurisdictions regarding the Pomona approach (ibid.). The same year (1951), Wally Parks founded the National Hot Rod Association (NHRA) with the goal of promoting safety (Parks 2008). In 1937, Parks was a founding member of the 1937 Southern California Timing Association (SCTA), which was focused on conducting land speed events. Parks also was involved in the first Hot Rod Show in America presented by SCTA in 1948, the introduction of *Hot Rod Magazine* in 1948, the opening of Bonneville Salt Flats in Utah for hot rod speed trials in 1949, and was editorial director for all of Bob Petersen's magazines (*Hot Rod Magazine* 2009). As early as 1972, Parks began receiving awards for his participation in automotive sports including Man of the Decade (1962-1972 by *Popular Hot Rodding* magazine) and Man of the Year (1973 by Specialty Equipment Marketing Association [SEMA]) (ibid.). Among his myriad awards, in 1992, he was "drag racing's first inductee into the International Motorsports Hall of Fame" in Talladega, Alabama, and in 1993 he was "inducted into the Motorsports Hall of Fame in Novi, Michigan" (ibid.:2).

"On April 11-12, 1953, the NHRA held its first sanctioned event, the Southern California Championship Drag Races, at Pomona Raceway, located at a far corner of the grounds. Over the weekend, 375 cars ran 850 timed races" (Fairplex 2010:77). With a first-class drag racing facility and supervised races, drag racing became a true sport (Parks 2008). In 1961, the "NHRA held its inaugural Winternationals at Pomona Raceway in February before the largest single-day audience in the brief history of drag racing" (Fairplex 2010:77). In 1984, Pomona hosted the NHRA Winston Select Finals for the first time (Fairplex 2010:78). In 1993, the NHRA completed extensive improvements to the drag strip and, in 1998, the NHRA Motorsports Museum opened in what was formerly the Home Arts Building (Fairplex 2010).

(See Continuation Sheet)

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In addition to the drag strip, many other improvements were made to the fairgrounds during the 1950s. These include installation of the world's largest man-made ski jump (1951, no longer extant); construction of the flower and garden building (1952); the clock tower (1952; removed in 2001); the Mexican Village (1952, now the Plaza de las Americas); the fire station and first aid building (1954); a barrel-roofed building (8A, no longer extant); a tunnel under White Avenue (1959); completion of the "ranchero" carving by John Svenson (1954); and, in 1957, participation by the Ringling Bros., Barnum and Bailey Circus for the first time at any fair (Fairplex 2010). In addition, at the 1955 Fair, Fred Morrison sold flying disks that were later marketed as the Frisbee (ibid.).

In 1960, "Phillip D. Shepherd took over as general manager, following the death of Afflerbaugh" (Fairplex 2010: 77). In 1962, a monorail (removed in 1996) and Storybook Farm (now California's Heritage Square) were added, followed by a clubhouse connected to the racetrack grandstand in 1964, and the Golden Empire Mine in 1965 (closed in 1997; Fairplex 2010).

As might be expected, the fair has continued to grow and change throughout the intervening decades. Buildings have been relocated, remodeled, replaced, or removed. Exhibits have come and gone and new land has been added. In 1985, the racetrack was enlarged from a half-mile to five-eighths mile and the next year the grandstand and clubhouse were renovated (Fairplex 2010). Some of the WPA buildings (5, 6, 7, and 8) were remodeled and nine new horse stables (Barrett's Equine Complex, in the proposed project site) were added in 1989 (ibid.). In 1992, the Sheraton Suites Fairplex hotel opened and in 1996 the Mexican Village was renovated (ibid.). In 2003, one of the barrel-roofed buildings (8A) was demolished to make room for the trade and convention center now under construction (ibid.). Many other changes have occurred in the modern period (1961–present), but the Fair remains a successful enterprise that is a key component of the local economy.

Today, the Los Angeles County Fair is the largest county fair in North America and in 2009, had an attendance of 1,372,383 people, which was the fourth largest of all fairs and exhibitions in North America that year (Fairplex 2010:35). Except in 1963, attendance has topped one million at each fair since 1948 and nearly 83 million people have visited the fair since its inception in 1922 (ibid.).

The following discusses some of the major historical themes associated with the project area in more detail. These include agriculture and development of fairs, the WPA, and military involvement in the fairgrounds during World War II.

Fairs and Agriculture. "Beginning in the early 1800s, the first agricultural fairs gave rural families an opportunity to see first hand the latest agricultural techniques, equipment, crops, and livestock. Over the course of the 19th century, fairs also incorporated a wide range of educational, recreational, competitive, and social activities into their programs. Within a few short generations, county and state fairs became a quintessential American tradition" (Barker-Devine n.d.). However, before there were state and county fairs, most fairs were privately sponsored (ibid.). One of the first agricultural fairs to be held occurred in 1807 in Massachusetts and focused on sheep and sheep shearing (ibid.). By 1811, this privately sponsored fair was a major event with thousands of animals, a band, and several displays (ibid.). This model was quickly adopted by agricultural societies, but during the 1820s and 1830s, financial sponsorship was often difficult to obtain (ibid.). In the 1840s, recognizing the importance of agriculture in the local and statewide economies, state legislatures across the country began forming agricultural boards and allocating funds to agricultural societies, which allowed for larger and more consistent exhibitions (ibid.).

In 1841, the first state fair took place in Syracuse, New York (Barker-Devine n.d.). In 1854, just four years after California became a state, the California Legislature approved an Act to incorporate the State Agricultural Society for the purpose of encouraging agriculture and other industries (Haymond et al. 1872). Along with this, several agricultural districts were formed, including the Los Angeles District Agricultural Association (ibid.). The same year, an agricultural exposition was held in San Francisco (Anonymous 2011). Because travel was difficult, for several years the annual exposition, which later became the California State Fair, moved from city to city in the San Francisco-Sacramento area (ibid.). Finally, in 1859, it became permanently located in Sacramento. From that time forward, fairs began being held all over the State with noticeable increases in county fairs during the 1880s and early 1890s.

It did not take long for fairs to become highly anticipated events in California and across the country. Many farm families planned months in advance so that they could attend the fair for a few days. For many, the fair was the first place they saw electric lights and airplanes (Barker-Devine n.d.). The fairs "helped farm families adapt to changing mores and accepted forms of popular entertainment, such as vaudeville. Delia Marcella Locke, for example, was a California fair-goer in the 1850s and 1860s who saw sewing and washing machines, a printing press, and stereoscopic pictures for the first time at her local county fair" (Barker-Devine n.d.).

Demonstrating the continued importance of the agricultural industry in the State's economy and the role of fairs in promoting that industry, in 1904, the California state legislature formally organized District Agricultural Associations (DAAs) as official State agencies for the purpose of promoting local agricultural production (Tibbet and Carmack 2006). This was followed in 1919, by the Legislature's creation of the California Department of Food and Agriculture (CDFA), which is a cabinet-level agency responsible for protecting and promoting agriculture (CDFA 2011). The CDFA is divided into seven administrative divisions including the Division of Fairs and Expositions, which, among other things, "provides fiscal and policy oversight of the network of California's 78 fairs" (Anonymous 2010).
(See Continuation Sheet)

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In 1922, the Los Angeles County Fair, located in Pomona, was first held. As is common for most fairs, it began with horse races and livestock shows and added other types of exhibits and entertainment as the fair gained popularity. The fairgrounds still include many character-defining features such as the horse race track and associated barns and stables, livestock pavilions, and exhibit halls. The fair has operated continuously since 1922 with the exception of the WWII period from 1942 to 1947.

Today, the California Department of Food and Agriculture website indicates that "[A]griculture is a major industry for the Golden State. With 88,000 farms and ranches, California agriculture is nearly a \$36.6 billion dollar industry that generates at least \$100 billion in related economic activity" (CDFA 2011). A publication put out by Pomona Fairplex states that the "L.A. County Fair is one of 81 active fairs in California. There are 54 district fairs, 23 county fairs, two citrus fairs and one state fair. Festivals are unlimited. Impact spending by all participants at fairtime and interim events in 2002 contributed \$2.55 billion to the State's economy" (Fairplex 2010:36). The L.A. County Fair attracts nearly 1.4 million people each year and "contributes a major portion of the estimated \$10 million in state sales tax revenue generated by Fairplex. The L.A. County Fair is the largest county fair in the nation. It currently ranks fourth in North American fairs and festivals attendance.... The Fair is also the largest marketplace in the western United States with 2,000 commercial food and beverage vendors serving the multitude of attendees.... The total amount of annual spending in California generated by Fairplex year-round events is more than \$171 million and more than \$226 million for the nation's economy.... Year round events create 1,885 full-time jobs in the region compared to 1,299 from the Fair" (Fairplex 2010:9 and 10).

The Works Progress Administration in Los Angeles County (1935–1943). The WPA was a relief measure established in 1935 by Executive Order 7034. It is often confused with the earlier Public Works Administration (PWA), which was established in 1933 as a New Deal government agency, pursuant to the National Industrial Recovery Act. While the PWA focused on construction of various public works such as public buildings, bridges, dams, and housing developments and made loans to states and municipalities for similar projects, the WPA encompassed a wider variety of programs, including highways and building construction, slum clearance, reforestation, and rural rehabilitation. However, the primary difference between the two agencies was that the PWA was a grant-making agency, allocating funds to employ local labor forces, while the WPA financed and built projects with its own labor force (Crouch 2004).

Headed by Harry L. Hopkins and supplied with an initial congressional appropriation of \$4,880,000,000, the WPA offered work to the unemployed on an unprecedented scale. WPA projects primarily employed blue-collar workers in construction across the nation but also employed white-collar workers and artists on smaller-scale projects. The program included the construction of 116,000 buildings, 78,000 bridges, and 651,000 miles of road, and the improvement of over 800 airports. At its peak in 1936, the WPA had approximately 3.5 million persons on its payroll. The WPA was redesigned in 1939, when it was transferred to the Federal Works Agency, and was officially terminated on June 30, 1943 (Crouch 2004).

Three policies affected the property type and architecture commonly built by the WPA: First, the project had to have some practical use for the entire community. Second, projects had to be sponsored by public bodies such as school districts and city, county, or state governments, which would contribute part of the total cost, usually in construction materials. This meant that most WPA property types were structures and buildings intended for public use such as school buildings, libraries, community centers, park structures, or county fair buildings. Third, at least 90 percent of the project workmen had to come from employable persons on the relief rolls at that time. Many if not most of these workers were unskilled in building professions; therefore, most WPA projects tended to be simple in overall design and construction regardless of the intended architectural style (Baird 1984).

In order to save expenses, local sponsors of WPA projects in rural areas often selected building plans from free sources. For example, WPA school buildings in Oklahoma were generally built according to free plans from a catalog provided by the School House Planning Division of the Oklahoma State Department of Education (Baird 1984). This led to a similarity in overall form and massing despite the variety of building materials. Most of the designs from free sources were tried-and-true period revival styles developed earlier in the century. By contrast, project sponsors in more urban areas were able to take advantage of the New Deal's interest in employing local architects, artists, and craftsmen, as well as laborers (Brechtin 1990).

In 1936, California ranked third in the United States for WPA-funded public building projects, receiving 6.4 percent of the total earmarked amount. This amounted to 695 projects worth \$10.7 million. About half of the total went to matching funds for the construction and repair of California schools, while 16 percent went to civic and community centers and 12 percent went to administrative buildings (*Los Angeles Times* 1936).

The WPA completed several projects in Los Angeles County. From the \$100 million earmarked by the federal government for western reclamation projects in 1935, the WPA board allocated nearly \$14 million for fourteen flood control projects in Los Angeles County (*Los Angeles Times* 1935). In September, a list of public building and street services projects also won funding, which included over \$1.4 million for new and rehabilitated schools, libraries, sidewalks, and pedestrian tunnels throughout the County. The City of Long Beach received particular attention from the WPA due to extensive damage sustained by buildings there in a 1933 earthquake. (See *Continuation Sheet*)

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*Recorded by LSA Associates, Inc. *Date: 1/21/11 Continuation Update

***D6. Significance: (Continued from page 5)**

Notable projects completed in Los Angeles by the WPA in the late 1930s included the fountain and tea room at the Hollywood Bowl, the Astronomers Monument at Griffith Park, the science and liberal arts buildings at Hollywood High School, the United States Naval and Marine Reserve Training Center, and the Griffith Park Clubhouse. A 1987 article in the *Los Angeles Times* claimed that Los Angeles contains the nation's second greatest concentration of WPA-funded art (*Los Angeles Times* 1987).

In addition to the above-listed projects, the fairgrounds also received considerable WPA assistance. A *Los Angeles Times* article from late December 1937 indicates that a \$957,000 WPA building project was approved for the Los Angeles County Fairgrounds (*Los Angeles Times* 1937). The project was to cover a period of 24 months and the construction of the following concrete and steel buildings: a 98,800-square foot horse show arena with seating for 7,200 people (\$250,000); a 35,000-square foot industrial building (\$115,000); and a 35,000-square foot Future Farmers and 4H building (\$115,000; *Los Angeles Times* 1937). In addition, a frame and stucco dairy products building (\$6,000) and a rock restroom (\$6,000) were also proposed (*ibid.*). The project also provided for "improvements to water, gas, electrical lines, grading of new parking area and planting of thousands of shrubs" (*ibid.*). On October 5, 1938, it was reported that construction had started on the concrete and steel domestic arts building (now the NHRA Motorsports Museum; *Los Angeles Times* 1938).

From 1937 through 1939, a number of buildings at the fairgrounds were constructed as WPA projects. These include the Fine Arts Building (now Millard Sheets building, 1937); barrel-roofed Exhibition Halls 5 and 6 (1937); barrel-roofed Exhibition Halls 7 and 8 (1938); and the Home Arts Building (now NHRA Motorsports Museum, 1939). All of these buildings are extant and retain many of their character-defining features, although the northwest entrances to Buildings 5–8 were remodeled in the 1980s.

The WPA era lasted less than ten years but left an enduring legacy of public art and architecture in Los Angeles County. While many older schools in the region have one or more WPA buildings on campus, extant WPA-built public buildings are relatively uncommon. Intact WPA public and administrative buildings represent a significant top-level public investment in their respective communities during a time of unprecedented economic depression, and through the simplicity of their architectural style and ornament, reflect the workmanship of WPA workers.

Significance Evaluation.

California Register. Under Criterion 1, the fairgrounds are associated with events that are significant in local, state, and national history. As the site of the Los Angeles County Fair since 1922, the fairgrounds played a significant role in the agricultural and recreational history of Pomona and the surrounding region. The fair has also contributed greatly to the local economy and is the largest county fair in the nation. Despite the economic depression in the 1930s, the fair continued and even enjoyed a small construction/employment boom between 1937 and 1939 thanks to the WPA. During the war years of the 1940s, the fair temporarily ceased (1942–1947) as the grounds were taken over by the U.S. Army and used first as a Japanese-American assembly center, then as an ordnance depot, and finally as a POW camp that provided inexpensive and reliable labor to nearby farms. In the 1950s, the growth of the middle class, coupled with increased prosperity and leisure time, resulted in new demands for recreation and spurred the return of the hot rod and dangerous and illegal drag racing on local streets. Working with the local police and Wally Parks, the fairgrounds provided a drag strip where the first legally sanctioned NHRA race took place in 1953. Many of the buildings and features related to these historic events remain in place and retain at least a moderate level of integrity, which allows the Fairplex to convey its association with these important events in history. Therefore, the Pomona Fairplex appears to meet this criterion for significance at the regional level as a historic district with a period of significance from 1922, when the fair first opened, to 1961, which is currently the end of the historic period.

Under Criterion 2, the fairgrounds are associated with a number of fairly well-known people. Of these, architect Peter Ficker, artist Millard Sheets, and NHRA founder Wally Parks are of particular note. Peter Ficker was reportedly the architect of either original designs or remodeling projects for the Administration Building, the Palace of Agriculture, and most of the fairground exhibition halls. In addition, he designed noteworthy buildings in Los Angeles County, including Los Angeles Municipal Warehouse No. 1, which is listed in the National Register. While Ficker's association with some of the fairground's buildings is noteworthy, none of these buildings appears to be the sole remaining building of his design or the best example of his work. In addition, their association with Ficker is not enough to make the fairgrounds or any of the individual buildings or features significant under this criterion.

Award-winning artist and Pomona-native Millard Sheets is the designer of the Second Street Pedestrian Mall (1962) in downtown Pomona. Sheets served as Director of the Fine Arts Exhibit for many years and was important in the success of this aspect of the fair. Although it has not been verified, he may have designed the Fine Arts Building. While his long-time involvement with the fair is notable, by itself, this association is not important enough to make the fairgrounds or the Fine Arts Building (now Millard Sheets Building) significant under this criterion. However, if in the future evidence is found indicating that he did indeed design the Fine Arts Building and that it is a rare, high quality example of a building designed by Sheets, that could result in a different determination under this criterion. (See Continuation Sheet)

CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 7 of 57*Resource Name or #: (Assigned by recorder) Pomona Fairplex Historic District*Recorded by LSA Associates, Inc.*Date: 1/21/11 Continuation Update***D6. Significance: (Continued from page 6)**

NHRA founder Wally Parks is one of the biggest names in drag racing and motorsports. Born in Oklahoma, but reared in California, Parks was a founding member of the 1937 SCTA. The SCTA was focused on conducting land speed events. Parks also was involved in the first Hot Rod Show in America presented by SCTA in 1948, the introduction of *Hot Rod Magazine* in 1948, the opening of Bonneville Salt Flats in Utah for hot rod speed trials in 1949, and won numerous awards from 1972 to 2003 for his participation in automotive sports. Parks was drag racing's first inductee into the International Motorsports Hall of Fame in 1992 in Talladega, Alabama. Parks' association with drag racing at the fairgrounds does not, by itself, make the fairgrounds significant. However, it does make the drag strip, which was the location of the NHRA's first official race, a contributing element to the fairgrounds historic district.

Under Criterion 3, the fairgrounds embody the distinctive characteristics of a fairground such as the horse race track and related barns and stables, the grandstand, and the exhibition halls. In addition, there are a number of buildings that are good examples of various architectural styles as adapted to fairground/exhibition hall uses. These span a period of four decades (1920s–1950s) and include Administration Building 1 (1926), Palace of Agriculture (1930/1941), Grandstand (1932), Administration Building 2 (1936); Millard Sheets Building (1937; former Fine Arts Building), WPA barrel-roofed Exhibition Halls (1937–1938; Buildings 5–8), Avalon (1937–1939), NHRA Motorsports Museum (1939; former Home Arts Building), the Longboard Bar (circa 1939), and Flower Building (1952). In addition, some of these buildings are associated with architect Peter Ficker and/or the WPA. Therefore, the fairgrounds appear to be significant under this criterion as a property type that retains several major buildings dating to its period of significance (1922–1961). In addition, based on the quality and integrity of their architecture, as well as their associations with important events and people in history, the buildings listed above, along with the horse race track (1922/1985), the horse racing stables (1–12A and 14–28), and the drag strip (1953/1993), are contributing features to the historic district.

Under Criterion 4, which is usually associated with archaeological resources, the fairgrounds do not appear to have the potential to yield information important to the prehistory or history of the local area, California, or the nation.

For the reasons discussed above, the Pomona Fairplex appears eligible for listing in the California Register as a historic district under Criterion 1 for its associations with the development of agricultural fairs and the WPA and under Criterion 3 as a property type (county fairgrounds) with several extant contributing buildings and features including the race track; Administration Building 1; Palace of Agriculture; Grandstand; Administration Building 2; Millard Sheets Building; WPA barrel-roofed Exhibition Halls (Buildings 5–8); Avalon; NHRA Motorsports Museum; the Longboard Bar; horse racing stables 1–12A and 14–28; Flower Building; and the drag strip.

***D7. References (Continued from page 1)**

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- 1948 Provided by Dwight Richards, Fairplex Vice President of Operations, from the Fairplex Archives.
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CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 8 of 57 *Resource Name or #: (Assigned by recorder) Pomona Fairplex Historic District*Recorded by LSA Associates, Inc. *Date: 1/21/11 Continuation Update***D7. References (Continued from page 7)**

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1922b Pomona Fair Opens. October 18, page I11.

1922c Fair Crowned with Success. October 22, page I14.

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1931 County Fair Juries Named. August 16, page B18.

1932 County Fair Offers Art Purchase Prizes. August 14, B18.

1935 Flood Curb Fund Listed. July 9.

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1942a Los Angeles County Fair Canceled for War Duration. March 25. Provided by Dwight Richards, Fairplex Vice President of Operations.

1942b Addition to Fair Building to Be Finished Soon. March 25. Provided by Dwight Richards, Fairplex Vice President of Operations.

1945 Fate of 1946 Fair Uncertain with Germans Billeted on Grounds. November 11, page 2.

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(See Continuation Sheet)

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
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Page 9 of 57 *Resource Name or #: (Assigned by recorder) Pomona Fairplex Historic District
*Recorded by LSA Associates, Inc. *Date: 1/21/11 Continuation Update

***D7. References (Continued from page 8)**

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State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 3CD/5D3

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 10 of 57 Resource Name or #: Pomona Fairplex Historic District: Race Track

P1. Other Identifier: _____

*P2. Location: Not for Publication Unrestricted *a. County: Los Angeles and (P2b and P2c or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad: San Dimas, CA Date: 1966 PR 1981 T 1S; R9W; unsectioned land ; S.B.B.M.
c. Address: 1101 West McKinley Avenue City: Pomona Zip: 91768
d. UTM: Zone: 11; _____mE/ _____mN (G.P.S.)
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): The race track is oriented northwest/southeast and is located roughly in the center of the fairgrounds.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
The horse race track was built in 1922 and is the oldest extant feature of the fairgrounds. It was enlarged in 1985, but retains a relatively high level of integrity of location, design, setting, materials, workmanship, feeling, and association. Horse racing is an integral part of the fairground's history and success and the race track is representative of this.

*P3b. Resource Attributes: (List attributes and codes) HP39 (fairgrounds horse race track)

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



(See Continuation Sheet)

P5b. Description of Photo: (View, date, accession #) View to the northwest (1/21/11)

*P6. Date Constructed/Age and Sources: Historic
 Prehistoric Both
1922 (Fairplex)

*P7. Owner and Address:
Pomona Fairplex
1101 West McKinley Avenue
Pomona, CA 92768

*P8. Recorded by: (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

*P9. Date Recorded:
January 21, 2011

*P10. Survey Type: (Describe)
Intensive-level CEQA compliance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment for the Pomona Fairplex, City of Pomona, Los Angeles County, California. Prepared by LSA Associates, Inc., March 2011.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

Primary # _____

HRI # _____

Trinomial _____

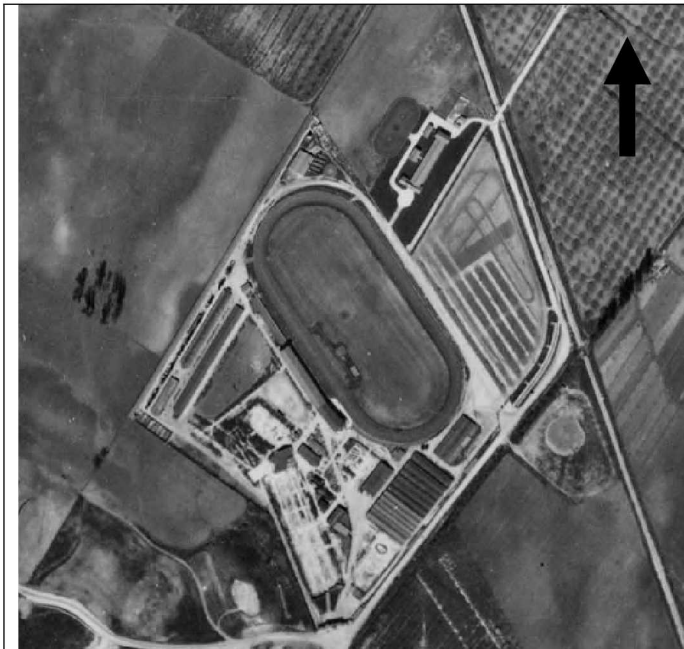
Page 11 of 57 *Resource Name or #: (Assigned by recorder) Pomona Fairplex Historic District: Race track

*Recorded by LSA Associates, Inc. *Date: 1/21/11 Continuation Update

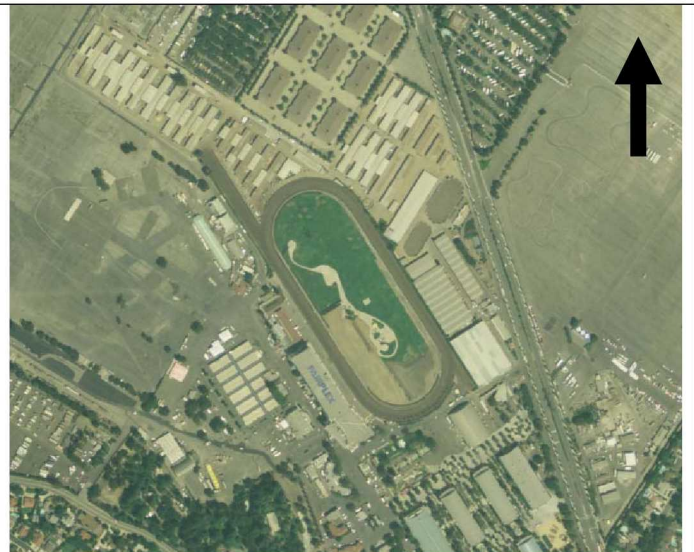
P5a. Photo or Drawing (Continued from page 10)



View to the west (1/21/11).



Aerial photograph of race track in 1928 (source: GeoSearch from the Fairchild collection)



Aerial Photograph of the race track in 2005 (source: GeoSearch from the USGS collection)

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DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 3CD/5D3

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 12 of 57 Resource Name or #: Pomona Fairplex Historic District: Administration Building 1

P1. Other Identifier: _____

- *P2. Location: Not for Publication Unrestricted *a. County: Los Angeles and (P2b and P2c or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad: San Dimas, CA Date: 1966 PR 1981 T 1S; R 9W; unsectioned land S.B.B.M.
c. Address: 1101 West McKinley Avenue City: Pomona Zip: 91768
d. UTM: Zone: 11; _____mE/ _____mN (G.P.S.)
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): This building is located near the southwestern Fairplex boundary and is accessed by Gate 1 from McKinley Avenue

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
This two-story Spanish Eclectic style building was constructed in 1926 with additions in 1937 and 1949. It was the first permanent building constructed at the fairgrounds and portions of it were designed by architect Peter Ficker. The multi-level roofs are sheathed with red tile and are typically low-pitched gables (there are a few hipped roofs) with narrow eaves and exposed rafter tails. The exterior walls are covered with modern, rough-textured stucco. The south-facing façade includes numerous multi-paned casement windows, usually in pairs, and features a central tower at the main entrance. The north (rear) elevation includes variable roof lines and wall planes, canales, multi-paned casement windows, double-hung and/or awning windows, and at least one small sliding window. There is a covered patio and a balcony on the northeast end of the building. A few of the windows and doors throughout the building have been altered, but overall the building retains a high level of integrity and represents the early history of the fairgrounds.

*P3b. Resource Attributes: (List attributes and codes) HP6 (1-3 story office building)

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



(See Continuation Sheet)

P5b. Description of Photo: (View, date, accession #) Façade, view to the north (1/21/11)

*P6. Date Constructed/Age and Sources: Historic Prehistoric Both
1926 (Fairplex)

*P7. Owner and Address:
Pomona Fairplex
1101 West McKinley Avenue
Pomona, CA 92768

*P8. Recorded by: (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

*P9. Date Recorded:
January 21, 2011

*P10. Survey Type: (Describe)
Intensive-level CEQA compliance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment for the Pomona Fairplex, City of Pomona, Los Angeles County, California. Prepared by LSA Associates, Inc., March 2011.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

State of California - The Resources Agency
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CONTINUATION SHEET

Primary # _____

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Trinomial _____

Page 13 of 57 *Resource Name or #: (Assigned by recorder) Pomona Fairplex Historic District: Administration Building 1

*Recorded by LSA Associates, Inc. *Date: 1/21/11 Continuation Update

P5a. Photo or Drawing (Continued from page 12)



North elevation, view to the southeast (1/21/11)

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 3CD/5D3

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 14 of 57 Resource Name or #: Pomona Fairplex Historic District: Palace of Agriculture

P1. Other Identifier: Exhibit building, Agricultural Pavilion, Building 4

***P2. Location:** Not for Publication Unrestricted *a. County: Los Angeles and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: San Dimas, CA Date: 1966 PR 1981 T1S; R9W; unsectioned land S.B.B.M.

c. Address: 1101 West McKinley Avenue City: Pomona Zip: 91768

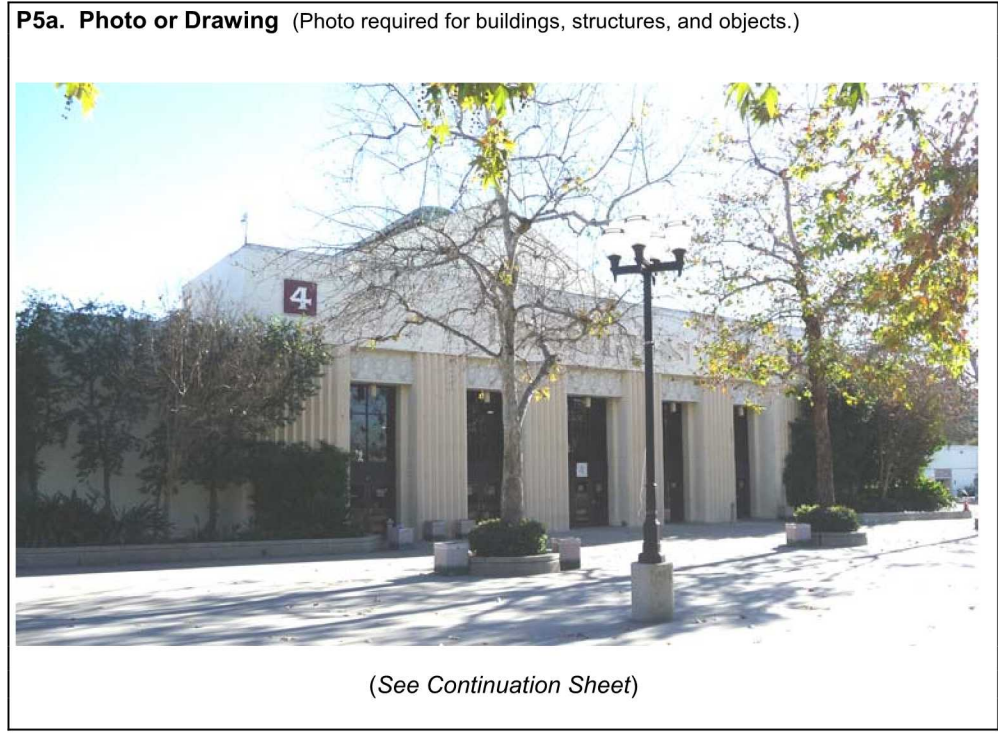
d. UTM: Zone: 11; _____mE/ _____mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): This building is located in the southwestern part of the fairgrounds

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) This building was reportedly designed by architect Peter Ficker and constructed in 1930. At the time, it was touted as the largest exhibit building in the world. In 1941, it was damaged by fire and was reconstructed as a larger building with a gable roof in 1948. The rectangular building has Classical influences such as the vertical pilasters at the entrances on each elevation and the floral motif decorative panels above the entrances. The windows and doors are modern tinted glass with aluminum frames, but appear to be within the original openings. Overall, the building retains a high level of integrity and represents the early history of the fairgrounds.

***P3b. Resource Attributes:** (List attributes and codes) HP39 (fairgrounds exhibition hall)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)



P5b. Description of Photo: (View, date, accession #) View to the south (1/21/11)

***P6. Date Constructed/Age and Sources:** Historic Prehistoric Both
1930 (Fairplex)

***P7. Owner and Address:**
Pomona Fairplex
1101 West McKinley Avenue
Pomona, CA 92768

***P8. Recorded by:** (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

***P9. Date Recorded:**
January 21, 2011

***P10. Survey Type:** (Describe)
Intensive-level CEQA compliance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment for the Pomona Fairplex, City of Pomona, Los Angeles County, California. Prepared by LSA Associates, Inc, March 2011.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

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DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 15 of 57 *Resource Name or #: (Assigned by recorder) Pomona Fairplex Historic District: Palace of Agriculture

*Recorded by LSA Associates, Inc. *Date: 1/21/11 X Continuation Update

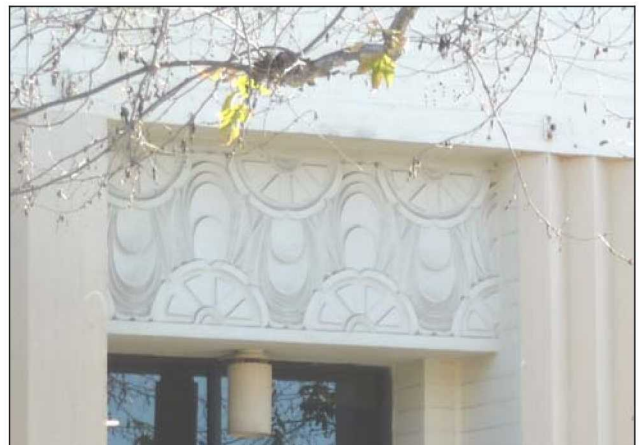
P5a. Photo or Drawing (Continued from page 14)



West elevation (1/21/11)



South elevation (1/21/11)



Detail of north elevation of the Palace of Agriculture (1/21/11). Pattern is on panels above entrances on west elevation also.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 3CD/5D3

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 16 of 57 Resource Name or #: Pomona Fairplex Historic District: Grandstand

P1. Other Identifier: _____

- *P2. Location:** Not for Publication Unrestricted *a. County: Los Angeles and (P2b and P2c or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad: San Dimas, CA Date: 1966 PR 1981 T 1S; R 9W; unsectioned land; S.B.B.M.
c. Address: 1101 West McKinley Avenue City: Pomona Zip: 91768
d. UTM: Zone: 11; _____mE/ _____mN (G.P.S.)
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): The grandstand is located roughly in the center of the Fairplex adjacent to the horse race track.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
The Art Deco grandstand was constructed in 1932 and in 1935 dressing rooms, a stage, and a sunken bandstand were added (Fairplex 2010; Figures 15 and 16). The west elevation features an articulated wall plane anchored by large concrete piers with centered, narrow, recessed vertical windows. Between the piers are nine, evenly spaced vertical panels of recessed, multi-paned windows. The pilasters between the panels of windows have vertical scoring. Above each panel of windows are groups of three recessed openings. The primary entrance projects from the building and is highlighted by a flat-roofed triangular canopy supported by a single metal pole. The entrance is flanked by triangular towers that extend above the canopy. The grandstand retains a high level of integrity and is associated with horse racing, which is an important aspect of the fairground's history.

***P3b. Resource Attributes:** (List attributes and codes) HP39 (horse race track grandstand)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



(See Continuation Sheet)

P5b. Description of Photo: (View, date, accession #) View to the east (1/21/2011)

***P6. Date Constructed/Age and Sources:** Historic Prehistoric Both
1932, remodeled in 1996

***P7. Owner and Address:**
Pomona Fairplex
1101 West McKinley Avenue
Pomona, CA 92768

***P8. Recorded by:** (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

***P9. Date Recorded:**
January 21, 2011

***P10. Survey Type:** (Describe)
Intensive-level CEQA compliance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment for the Pomona Fairplex, City of Pomona, Los Angeles County, California. Prepared by LSA Associates, Inc., March 2011.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 17 of 57 *Resource Name or #: (Assigned by recorder) Pomona Fairplex Historic District: Grandstand

*Recorded by LSA Associates, Inc. *Date: 1/21/2011 Continuation Update

P5a. Photo or Drawing (Continued from page 16)



Grandstand main entrance, view to the southeast (1/21/2011)



Trackside view of grandstand, view to the west (1/21/2011)

State of California — The Resources Agency
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PRIMARY RECORD

Primary # _____
 HRI # _____
 Trinomial _____
 NRHP Status Code 3CD/5D3

Other Listings _____
 Review Code _____ Reviewer _____ Date _____

Page 18 of 57 Resource Name or #: Pomona Fairplex Historic District: Administration Building 2

P1. Other Identifier: Arts and Crafts Building
***P2. Location:** Not for Publication Unrestricted *a. County: Los Angeles and (P2b and P2c or P2d. Attach a Location Map as necessary.)
 *b. USGS 7.5' Quad: San Dimas, CA Date: 1966 PR 1981 T 1S; R 9W; unsectioned land S.B.B.M.
 c. Address: 1101 West McKinley Avenue City: Pomona Zip: 91768
 d. UTM: Zone: 11; _____mE/ _____mN (G.P.S.)
 e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): This building is located just northwest of Administration Building #1

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 This two-story Spanish Eclectic building was constructed in 1936 as the arts and crafts building. It is roughly V-shaped in plan and has a moderately pitched cross-gable roof sheathed with tile. The eaves are narrow and have exposed rafter tails. The southwest-facing façade features multi-paned casement windows, canales, quoins at the building corners, and an arched entrance covered by a projecting gable and accessed by concrete steps. The other elevations include several multi-paned casement windows, canales below the gable peaks, and quoins at the building corners. The building retains a high level of integrity and is associated with the early history of the fairgrounds.

***P3b. Resource Attributes:** (List attributes and codes) HP6 (1-3 story office building)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)



P5b. Description of Photo: (View, date, accession #) Façade, view to the north (1/21/11)

***P6. Date Constructed/Age and Sources:** Historic Prehistoric Both
1936 (Fairplex)

***P7. Owner and Address:**
Pomona Fairplex
1101 West McKinley Avenue
Pomona, CA 92768

***P8. Recorded by:** (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

***P9. Date Recorded:**
January 21, 2011

***P10. Survey Type:** (Describe)
Intensive-level CEQA compliance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment for the Pomona Fairplex, City of Pomona, Los Angeles County, California. Prepared by LSA Associates, Inc., March 2011.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 19 of 57 *Resource Name or #: (Assigned by recorder) Pomona Fairplex Historic District: Administration Building 2

*Recorded by LSA Associates, Inc. *Date: 1/21/11 Continuation Update

P5a. Photo or Drawing (Continued from page 18)



South and east elevations (1/21/11)



Part of the north elevation (1/21/11). Part of the Fire Station building is in the foreground (left side of the photograph).

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PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 3CD/5D3

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 20 of 57 Resource Name or #: Pomona Fairplex Historic District: Millard Sheets Building

P1. Other Identifier: Fine Arts Building
***P2. Location:** Not for Publication Unrestricted *a. County: Los Angeles and (P2b and P2c or P2d. Attach a Location Map as necessary.)
b. USGS 7.5' Quad: San Dimas, CA Date: 1966 PR 1981 T 1S; R 9W; unsectioned land S.B.B.M.
c. Address: 1101 West McKinley Avenue City: Pomona Zip: 91768
d. UTM: Zone: 11; _____mE/ _____mN (G.P.S.)
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): This building is located in the southern part of the fairgrounds, east of the Palace of Agriculture

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
This roughly C-shaped building was constructed in 1937 as a WPA project. The horizontal character of the building is emphasized by a plain, narrow band midway up the building wall and a slightly taller decorative band along the top of the building wall. The recessed entrance in the northern elevation consists of two pairs of aluminum-framed glass doors below a mosaic tile art piece that includes the words "Fine Arts." The east elevation features a courtyard area that appears to have been remodeled in the 1950s or early 1960s. The building retains a moderate to high level of integrity and is associated with the early history of the fairgrounds, as well as the well-known artist and Pomona-native Millard Sheets.

***P3b. Resource Attributes:** (List attributes and codes) HP35 (WPA fairgrounds exhibition hall)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



(See Continuation Sheet)

P5b. Description of Photo: (View, date, accession #) North elevation (1/21/11)

***P6. Date Constructed/Age and Sources:** Historic Prehistoric Both
1937 (Fairplex)

***P7. Owner and Address:**
Pomona Fairplex
1101 West McKinley Avenue
Pomona, CA 92768

***P8. Recorded by:** (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

***P9. Date Recorded:**
January 21, 2011

***P10. Survey Type:** (Describe)
Intensive-level CEQA compliance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment for the Pomona Fairplex, City of Pomona, Los Angeles County, California. Prepared by LSA Associates, Inc., March 2011.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 21 of 57 *Resource Name or #: (Assigned by recorder) Pomona Fairplex Historic District: Millard Sheets Building

*Recorded by LSA Associates, Inc. *Date: 1/21/11 Continuation Update

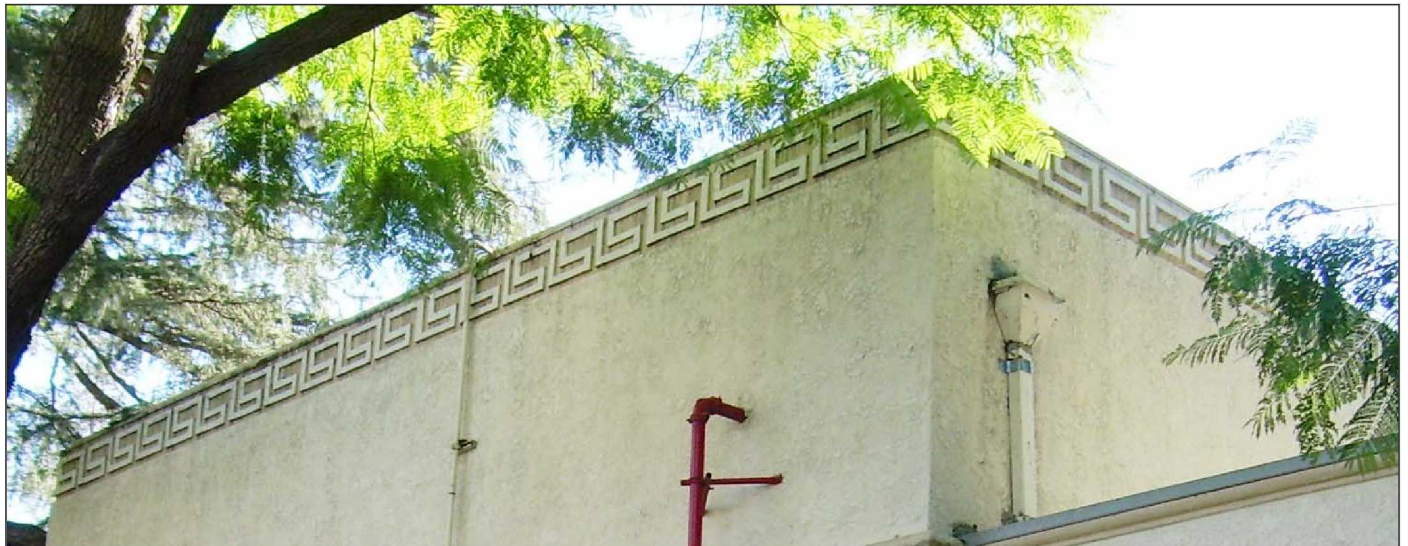
P5a. Photo or Drawing (Continued from page 20)



Courtyard area on east side of building, view to the south (1/21/11)



Wall detail on east elevation (1/21/11)



Detail of decorative pattern along the top of the building wall. This picture is of the eastern elevation near the southern end of the building (1/21/11).

(See Continuation Sheet)

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 22 of 57 *Resource Name or #: (Assigned by recorder) Pomona Fairplex Historic District: Millard Sheets Building
*Recorded by LSA Associates, Inc. *Date: 1/21/11 Continuation Update

P5a. Photo or Drawing (Continued from page 21)



Millard Sheets Building in 1947. View to the northwest. (Source: Pomona Fairplex Archives)



Millard Sheets Building 1960s. View to the west. (Source: Pomona Fairplex Archives)

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Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 3CD/5D3

Other Listings _____
Review Code _____ Reviewer _____ Date _____

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Resource Name or #: Pomona Fairplex Historic District: WPA Barrel-Roofed Exhibition Halls

P1. Other Identifier: Buildings 5-8

***P2. Location:** Not for Publication Unrestricted ***a. County:** Los Angeles and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** San Dimas, CA **Date:** 1966 PR 1988 **T1S; R 9W; unsectioned land S.B.B.M.**

c. Address: 1101 West McKinley Avenue **City:** Pomona **Zip:** 91768

d. UTM: Zone: 11; _____ mE/ _____ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): These buildings are located in the southern part of the fairgrounds east of the Millard Sheets building.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

These four buildings were constructed in 1937 and 1938 as part of a WPA project. They are similar in design and have an Art Deco influence. They have barrel roofs with parapets and the exterior walls are articulated with recessed and projecting elements. Each of the northern entrances has been remodeled in a manner similar to the representative photograph below. Typical northern elevation features include three sets of aluminum-framed windows and doors separated by wide concrete pilasters. Decorative metal fixtures have been added over the entrances. Building 8 also includes a triangular metal fixture, reminiscent of Craftsman architecture, across the top of the entrances.

The east and west elevation entrances are also similar in design as shown in the representative photograph below. Typical features include a stepped and articulated parapet and pairs of aluminum-framed windows and doors below a flat canopy flanked by articulated piers with vertical scoring. Despite the alterations, the buildings retain integrity and their simplicity of style and ornamentation represent the workmanship of the WPA workers.

***P3b. Resource Attributes:** (List attributes and codes) HP35 (WPA fairgrounds exhibition halls)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



(See Continuation Sheet)

P5b. Description of Photo: (View, date, accession #) Northwest elevation of Building 7, which is representative of the northwest elevations of Buildings 5, 6, and 7 (1/21/11)

***P6. Date Constructed/Age and Sources:**

Historic
 Prehistoric Both
Building 5 – 1937 (Fairplex)
Building 6 – 1937 (Fairplex)
Building 7 – 1938 (Fairplex)
Building 8 – 1938 (Fairplex)

***P7. Owner and Address:**

Pomona Fairplex
1101 West McKinley Avenue
Pomona, CA 92768

***P8. Recorded by:** (Name, affiliation, and address)

Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

***P9. Date Recorded:**

January 21, 2011

***P10. Survey Type:** (Describe)

Intensive-level CEQA compliance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment for the Pomona Fairplex, City of Pomona, Los Angeles County, California. Prepared by LSA Associates, Inc., March 2011.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 24 of 57 *Resource Name or #: (Assigned by recorder) Pomona Fairplex Historic District: WPA Barrel-Roofed Exhibition Halls

*Recorded by LSA Associates, Inc. *Date: 1/21/11 X Continuation Update

P5a. Photo or Drawing (Continued from page 23)



Northwest elevation of Building 8, which is slightly different from northwest elevations of Buildings 5-7 (1/21/11).



West elevation entrance of Building 7. This is representative of most of the east and west elevation entrances on Buildings 5-8 (1/21/11).

State of California — The Resources Agency
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Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 3CD/5D3

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 25 of 57 Resource Name or #: Pomona Fairplex Historic District: Avalon

P1. Other Identifier: Anthony's; PX during military occupation

***P2. Location:** Not for Publication Unrestricted *a. County: Los Angeles and (P2b and P2c or P2d. Attach a Location Map as necessary.)

b. USGS 7.5' Quad: San Dimas, CA Date: 1966 PR 1981 T 1S; R 9W; unsectioned land S.B.B.M.

c. Address: 1101 West McKinley Avenue City: Pomona Zip: 91768

d. UTM: Zone: 11; _____mE/ _____mN (G.P.S.)

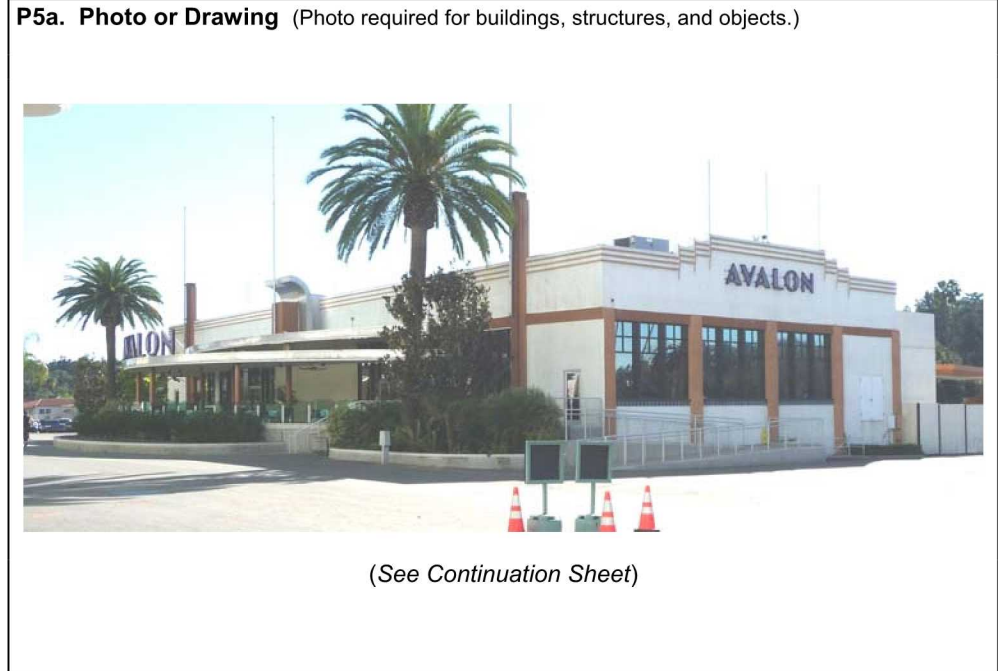
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): This building is located southwest of the grandstand.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) This one-story, Art Deco-influenced building was constructed in the late 1930s and may have been one of the WPA projects. In the 1940s, the military reportedly used it as the PX (general store). The east-facing façade features a modern, Art Deco-influenced curved canopy/patio cover and an off-centered entrance flanked by four-over-one windows arranged in groups of three. On either side of the windows there is a narrow pilaster that extends above the parapet. In the middle of the façade, above the canopy, there is a wider and shorter pilaster accented by a decorative, curved metal element.

The north and south elevations of the original building are nearly identical. They each have a stepped parapet and are divided into four bays separated by narrow pilasters. Three of the bays have multi-paned ribbon windows, while the westernmost fourth bay has been filled in with a solid wall. There is a historic-period addition at the southwest side the building that includes two sets of ribbon windows, one of which is below a flat canopy. The addition at the northwest side of the building has no openings. The building retains a moderate level of integrity and may be associated with the WPA as well as the military occupation of the fairgrounds.

***P3b. Resource Attributes:** (List attributes and codes) HP39 (fairgrounds building, maybe WPA)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)



P5b. Description of Photo: (View, date, accession #) View to the south on 1/21/11

***P6. Date Constructed/Age and Sources:** Historic Prehistoric Both
Late 1930s (Fairplex)

***P7. Owner and Address:**
Pomona Fairplex
1101 West McKinley Avenue
Pomona, CA 92768

***P8. Recorded by:** (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

***P9. Date Recorded:**
January 21, 2011

***P10. Survey Type:** (Describe)
Intensive-level CEQA compliance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment for the Pomona Fairplex, City of Pomona, Los Angeles County, California. Prepared by LSA Associates, Inc., March 2011.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

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HRI # _____

Trinomial _____

Page 26 of 57 *Resource Name or #: (Assigned by recorder)

Pomona Fairplex Historic District: Avalon

*Recorded by LSA Associates, Inc.

*Date: 1/21/11

Continuation Update

P5a. Photo or Drawing (Continued from page 25)



East elevation with modern Art Deco patio cover (1/21/11)



South elevation showing pre-1948 addition (1/21/11)

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Primary # _____
 HRI # _____
 Trinomial _____
 NRHP Status Code 3CD/5D3

Other Listings _____
 Review Code _____ Reviewer _____ Date _____

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Resource Name or #: Pomona Fairplex Historic District: NHRA Motorsports Museum

P1. Other Identifier: Home Arts Building

***P2. Location:** Not for Publication Unrestricted *a. County: Los Angeles and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: San Dimas, CA Date: 1966 PR 1988 T 1S; R 9W; unsectioned land S.B.B.M.

c. Address: 1101 West McKinley Avenue City: Pomona Zip: 91768

d. UTM: Zone: 11; _____mE/ _____mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): This building is located in the southern part of the fairgrounds, south of the Millard Sheets building.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) This Art Deco building was constructed in 1939 as a WPA project (Fairplex 2010). The building is divided into five large bays and entrances are centered on each side of the building. The primary entrance is located on the west side of the building in the middle bay, which is further divided into three smaller bays separated by wide pilasters that extend above the flanking parapets. A single, flat canopy is located immediately above the three pairs of entrance doors. Above the canopy and between the pilasters, there are large, vertical-rectangular glass block accents. North and south of the main entrance, the wall plane is broken up by what appear to be multi-paned horizontal windows separated by vertical pilasters that stop several feet short of the top of the building wall. The east elevation is nearly identical to the west elevation.

The north elevation entrance is accented by wide articulated pilasters that extend slightly above the top of the building wall. The recessed entrance is divided into three bays divided by narrow pilasters and accented by vertical-rectangular panels of glass blocks. The east and west bays each have a single door and are slightly narrower than the center bay, which has a pair of doors. The entire entrance is flanked by rounded pilasters with horizontal scoring. The north and south elevations appear to be quite similar, but the south elevation, which is behind fencing, is raised and accessed by concrete steps. This building appears to retain a high level of integrity and is associated with the WPA.

***P3b. Resource Attributes:** (List attributes and codes) HP35 (WPA fairgrounds building)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



(See Continuation Sheet)

P5b. Description of Photo: (View, date, accession #) West elevation (1/21/11)

***P6. Date Constructed/Age and Sources:** Historic Prehistoric Both
 1939

***P7. Owner and Address:**
 Pomona Fairplex
 1101 West McKinley Avenue
 Pomona, CA 92768

***P8. Recorded by:** (Name, affiliation, and address)
 Casey Tibbet, M.A.
 LSA Associates, Inc.
 1500 Iowa Avenue, Suite 200
 Riverside, CA 92507

***P9. Date Recorded:**
 January 21, 2011

***P10. Survey Type:** (Describe)
 Intensive-level CEQA compliance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment for the Pomona Fairplex, City of Pomona, Los Angeles County, California. Prepared by LSA Associates, Inc., March 2011.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

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DEPARTMENT OF PARKS AND RECREATION
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Primary # _____

HRI # _____

Trinomial _____

Page 28 of 57 *Resource Name or #: (Assigned by recorder) Pomona Fairplex Historic District: NHRA Motorsports Museum

*Recorded by LSA Associates, Inc. *Date: 1/21/11 Continuation Update

P5a. Photo or Drawing (Continued from page 27)



East elevation entrance (1/21/11)



North elevation entrance (1/21/11)

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HRI # _____
Trinomial _____
NRHP Status Code 3CD/5D3

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 29 of 57 Resource Name or #: Pomona Fairplex Historic District: Longboard Bar

P1. Other Identifier: Jockey rooms; public restrooms

***P2. Location:** Not for Publication Unrestricted *a. County: Los Angeles and (P2b and P2c or P2d. Attach a Location Map as necessary.)
b. USGS 7.5' Quad: San Dimas, CA Date: 1966 PR 1988 T 1S; R 9W; unsectioned land S.B.B.M.
c. Address: 1101 West McKinley Avenue City: Pomona Zip: 91768
d. UTM: Zone: 11; _____mE/ _____mN (G.P.S.)
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): This building is located adjacent to the northwest end of the grandstand.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) This two-story stone building may have been constructed in the late 1930s as one of the WPA projects. According to Dwight Richards, Fairplex Vice President of Operations, the lower level includes public restrooms, a foodstand kitchen, a public bar, the racing office, jockey kitchen, paymaster's office, and the female jockey's quarters (shower, lockers, beds). The upper level is used as the male jockey's quarters, which is a large locker-style room for about 50 jockeys. This building is used primarily during the annual fair.

The building has moderately-pitched gable roofs, wood-frame double-hung windows, and features a raised, full-width open veranda with stone piers. Although it appears to have sustained some alterations (e.g., air conditioning units in the windows), because it is associated with horse racing, is the only stone building that was observed in the fairgrounds during the survey, and was likely constructed as a WPA project, it contributes to the historic significance of the fairgrounds.

***P3b. Resource Attributes:** (List attributes and codes) HP39 (fairgrounds building, maybe WPA)
***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Top: façade, view to the northeast; Bottom: full-width, view to the north (1/21/2011)

***P6. Date Constructed/Age and Sources:** Historic Prehistoric Both
Circa 1939 (Aerial Photographs)

***P7. Owner and Address:**
Pomona Fairplex
1101 West McKinley Avenue
Pomona, CA 92768

***P8. Recorded by:** (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

***P9. Date Recorded:**
January 21,

***P10. Survey Type:** (Describe)
Intensive-level CEQA compliance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment for the Pomona Fairplex, City of Pomona, Los Angeles County, California. Prepared by LSA Associates, Inc., February 2011.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 3CD/5D3

Other Listings _____
Review Code _____ Reviewer _____ Date _____

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Resource Name or #: Pomona Fairplex Historic District: Horse Racing Stables (HRS) 1-12A and 14-28

P1. Other Identifier: _____

***P2. Location:** Not for Publication Unrestricted *a. County: Los Angeles and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: San Dimas, CA Date: 1966 PR 1988 T1S; R9W; unsectioned land S.B.B.M.

c. Address: 1101 West McKinley Avenue City: Pomona Zip: 91678

d. UTM: Zone: 11; _____ mE/ _____ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): Stables 1-12A are located adjacent to White Avenue, northeast of the horse race track and northwest of warm up arena and horse show arena.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

There are two groups of historic-period horse racing stables (HRS). HRS 1-12A are on the northeast side of the race track and include HRS 1, which is the oldest stable within the fairgrounds, dating to before 1928. HRS 14-28 are located northwest of the racetrack. All of the HRS appear to date to before 1948, but some of the stables were likely relocated and/or reconfigured in the 1960s and 1980s. Most of the HRS have sustained at least minor alterations, but the buildings are of such utilitarian design that it is difficult to ascertain the extent of modifications or when they might have occurred.

All of the HRS have similar design characteristics, including wood-frame construction, board-and-batten siding, low-pitched gable roofs, wide eaves, and Dutch-style stall doors. Many of the stables have breezeways at either end and/or that bisect the building. Some stables have restrooms, storage rooms, or small offices at one or both ends. Although the HRS retain only a moderate level of integrity, as a group they represent an early and important aspect of the fair.

***P3b. Resource Attributes:** (List attributes and codes) HP39 (fairgrounds horse racing stables)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



(See Continuation Sheet)

P5b. Description of Photo: (View, date, accession #) HRS#1, which is the largest building in this group and the only one with a central aisle, looking southwest (1/21/2011)

***P6. Date Constructed/Age and Sources:** Historic

Prehistoric Both
HRS 1: pre-1928, altered 1968
HRS 2-7: 1963-1965 (may have been constructed earlier and moved to current location)
HRS 8-12A: pre-1948

***P7. Owner and Address:**
Pomona Fairplex
1101 West McKinley Avenue
Pomona, CA 92768

***P8. Recorded by:** (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

***P9. Date Recorded:**
January 21,

***P10. Survey Type:** (Describe)
Intensive-level CEQA compliance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment for the Pomona Fairplex, City of Pomona, Los Angeles County, California. Prepared by LSA Associates, Inc., March 2011.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 31 of 57 *Resource Name or #: (Assigned by recorder) Pomona Fairplex Historic District: Horse Racing Stables 1-12A and 14-28

*Recorded by LSA Associates, Inc. *Date: 1/21/2011 X Continuation Update

P5a. Photo or Drawing (Continued from page 30)



Southwest end of HRS #1 (closest to the race track), view to the north showing later alteration (1/21/2011)



HRS #2 (also known as the office), view to the north (1/21/2011).

(See Continuation Sheet)

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Primary # _____

HRI # _____

Trinomial _____

Page 32 of 57 *Resource Name or #: (Assigned by recorder) Pomona Fairplex Historic District: Horse Racing Stables 1-12A and 14-28

*Recorded by LSA Associates, Inc. *Date: 1/21/2011 Continuation Update

P5a. Photo or Drawing (Continued from page 31)



Overview of northern row of stables (HRS 1-12A), view to the northwest (1/21/2011)



Central corridor between Horse Racing Stables 1-12A, view to the east (1/21/2011)

(See Continuation Sheet)

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

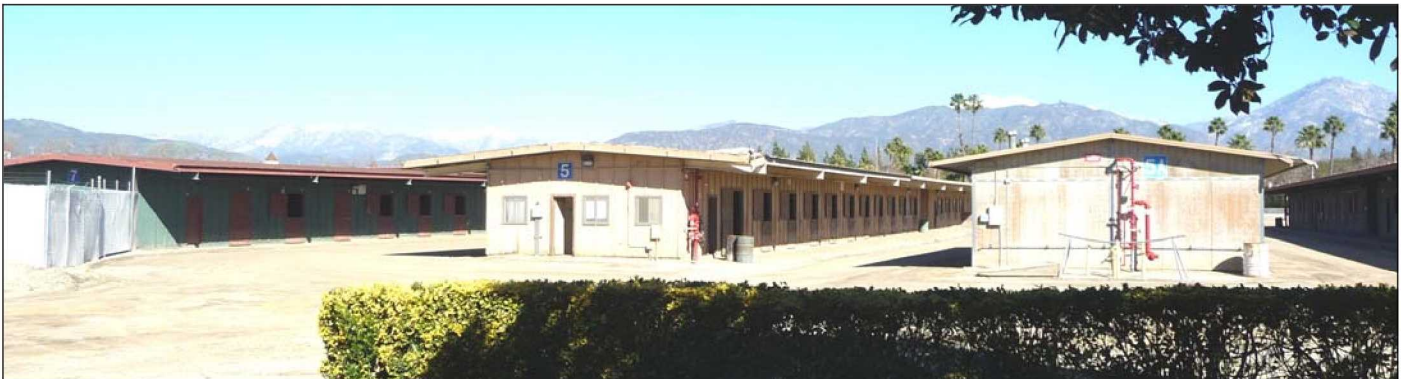
Page 33 of 57 *Resource Name or #: (Assigned by recorder) Pomona Fairplex Historic District: Horse Racing Stables 1-12A and 14-28

*Recorded by LSA Associates, Inc. *Date: 1/21/2011 Continuation Update

P5a. Photo or Drawing (Continued from page 32)



HRS #8 and metal canopy, view to the north (1/21/2011)



Overview of row of southern stables (HRS 1-12A), taken from the lawn area on the west side of HRS#1, view to the north (1/21/2011)



Horse Racing Stable #25. View to the west (1/21/2011). This building is representative of HRS 14-28.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 3CD/5D3

Other Listings _____
Review Code _____ Reviewer _____ Date _____

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Resource Name or #: Pomona Fairplex Historic District: Flower Building

P1. Other Identifier: _____

- *P2. Location:** Not for Publication Unrestricted *a. County: Los Angeles and (P2b and P2c or P2d. Attach a Location Map as necessary.)
b. USGS 7.5' Quad: San Dimas, CA Date: 1966 PR 1988 T 1S; R 9W; unsectioned land S.B.B.M.
c. Address: 1101 West McKinley Avenue City: Pomona Zip: 91768
d. UTM: Zone: 11; _____mE/ _____mN (G.P.S.)
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): This building is located on the east side of McKinley Avenue, northwest of Administration Buildings 1 and 2.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
This unique building, which was constructed in 1952 and has a Polynesian influence, features a modified Quonset hut flanked by flat-roofed wings. The exterior walls of the wings are sheathed with bamboo mats and the east-facing façade of the Quonset hut, which features a wall of reflective glass, projects above the main entry and is supported by three arches. Doors consist of tinted glass with aluminum-frames. This building appears to retain a high level of integrity and is a highly recognizable and unique part of the fairgrounds.

***P3b. Resource Attributes:** (List attributes and codes) HP39 (fairgrounds exhibit hall)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



(See Continuation Sheet)

P5b. Description of Photo: (View, date, accession #) View to the west-southwest (1/21/11)

***P6. Date Constructed/Age and Sources:** Historic
 Prehistoric Both
1952 (Fairplex)

***P7. Owner and Address:**
Pomona Fairplex
1101 West McKinley Avenue
Pomona, CA 92768

***P8. Recorded by:** (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

***P9. Date Recorded:**
January 21, 2011

***P10. Survey Type:** (Describe)
Intensive-level CEQA compliance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment for the Pomona Fairplex, City of Pomona, Los Angeles County, California. Prepared by LSA Associates, Inc., March 2011.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 35 of 57 *Resource Name or #: (Assigned by recorder) Pomona Fairplex Historic District: Flower Building

*Recorded by LSA Associates, Inc. *Date: 1/21/11 Continuation Update

P5a. Photo or Drawing (Continued from page 34)



Flower Building, view to the south (1/21/11).

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 3CD/5D3

Other Listings _____
Review Code _____ Reviewer _____ Date _____

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Resource Name or #: Pomona Fairplex Historic District: National Hot Rod Association (NHRA) Drag Strip

P1. Other Identifier: Auto Club Raceway at Pomona

***P2. Location:** Not for Publication Unrestricted ***a. County:** Los Angeles and (P2b and P2c or P2d. Attach a Location Map as necessary.)

***b. USGS 7.5' Quad:** San Dimas, CA **Date:** 1966 PR 1988 **T 1S; R 9W;** unsectioned land **S.B.B.M.**

c. Address: 1101 West McKinley Avenue **City:** Pomona **Zip:** 91768

d. UTM: Zone: 11; _____ mE/ _____ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): The drag strip is located along the northwestern Fairplex boundary near Fairplex Drive.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) The quarter-mile drag strip is located along the northwestern boundary of the fairgrounds and dates to 1953. It originally consisted of a dirt parking lot with an asphalt strip down the middle, bleachers that sat about 300 people, and a timing tower made of scaffolding. In 1968, the facility got its first permanent timing tower, which was a three-story building that also housed race control, the track office, and a small media room. In the early 1990s, a 14,600 square-foot tower was built with corporate suites and a modern press center and permanent grandstand seats were installed. In 2001, the entire quarter-mile racing surface was repaved to extend the concrete launch pad from 330 to 660 feet. In 2006, luxury VIP box suites were built on top of the east side grandstands. The strip is an integral part of the fairgrounds and is known to motorsports enthusiasts throughout the nation, if not the world.

***P3b. Resource Attributes:** (List attributes and codes) HP39 (fairgrounds drag strip)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Looking northeast toward the starting line and suites, with bleachers on either side of the strip (1/21/2011)

***P6. Date Constructed/Age and Sources:** Historic Prehistoric Both
1953 (drag strip)
1993 and 2006 renovations to bleachers and suites

***P7. Owner and Address:**
Pomona Fairplex
1101 West McKinley Avenue
Pomona, CA 92768

***P8. Recorded by:** (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

***P9. Date Recorded:**
January 21, 2011

***P10. Survey Type:** (Describe)
Intensive-level CEQA compliance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment for the Pomona Fairplex, City of Pomona, Los Angeles County, California. Prepared by LSA Associates, Inc., March 2011.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 6Z

Other Listings _____
Review Code _____ Reviewer _____ Date _____

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Resource Name or #: Pomona Fairplex Historic District: Barrel-Roofed Building #9

P1. Other Identifier: _____

***P2. Location:** Not for Publication Unrestricted *a. County: Los Angeles and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: San Dimas, CA Date: 1966 PR 1988 T 1S; R 9W; unsectioned land S.B.B.M.

c. Address: 1101 West McKinley Avenue City: Pomona Zip: 91768

d. UTM: Zone: 11; _____ mE/ _____ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): This building is located on the west side of White Avenue and northeast of the WPA barrel-roofed exhibition halls.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) This Art Deco-influenced building was constructed in 1941 and remodeled in 1985, 2000, and 2006. It is larger than the adjacent WPA barrel-roofed buildings. The north entrance is within a wide projecting bay that has rounded pilasters at either end that are shorter than the rest of the bay. Three pairs of aluminum-framed doors with large windows above are centered in the bay. A flat metal canopy, situated a little above the doors, extends across the full width of the projecting bay. There are narrow, vertical-rectangular windows in the bay walls on either side of the doors. Large, multi-paned windows are located in the building wall on either side of the projecting bay and groups of three vertical scores further accent the northern elevation.

The west elevation entrance is similar to the northern entrance, but the doors and windows are not recessed and the projecting bay is not flanked by rounded pilasters. Instead, there is a smaller projecting element above the bay that has rounded corners. This building is not associated with any important events in the history of the fairgrounds and retains only a moderate level of integrity.

***P3b. Resource Attributes:** (List attributes and codes) HP39 (fairgrounds exhibition hall)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



(See Continuation Sheet)

P5b. Description of Photo: (View, date, accession #) View to the southeast (1/21/11)

***P6. Date Constructed/Age and Sources:** Historic Prehistoric Both
1841 (Fairplex)

***P7. Owner and Address:**
Pomona Fairplex
1101 West McKinley Avenue
Pomona, CA 92768

***P8. Recorded by:** (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

***P9. Date Recorded:**
January 21, 2011

***P10. Survey Type:** (Describe)
Intensive-level CEQA compliance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment for the Pomona Fairplex, City of Pomona, Los Angeles County, California. Prepared by LSA Associates, Inc., March 2011.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Ph

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 38 of 57 *Resource Name or #: (Assigned by recorder) Pomona Fairplex Historic District: Barrel-Roofed Building #9

*Recorded by LSA Associates, Inc. *Date: 1/21/11 X Continuation Update

P5a. Photo or Drawing (Continued from page 37)



West elevation of Building #9 (1/21/11).

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
 HRI # _____
 Trinomial _____
 NRHP Status Code 6Z

Other Listings _____
 Review Code _____ Reviewer _____ Date _____

Page 39 of 57 Resource Name or #: Pomona Fairplex Historic District: Security Office

P1. Other Identifier: _____

***P2. Location:** Not for Publication Unrestricted *a. County: Los Angeles and (P2b and P2c or P2d. Attach a Location Map as necessary.)
 *b. USGS 7.5' Quad: San Dimas, CA Date: 1966 PR 1988 T 1S; R 9W; unsectioned land S.B.B.M.
 c. Address: 1101 West McKinley Avenue City: Pomona Zip: 91768
 d. UTM: Zone: 11; _____mE/ _____mN (G.P.S.)
 e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): This building is located northwest of the grandstand.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 The one-story, Spanish Eclectic style Security Office appears to have been constructed sometime before 1948. It has a low-pitched cross-gable roof sheathed with tile and has narrow eaves and stucco walls. The southeast-facing façade includes pairs of windows, entry doors, and a partial-width covered porch supported by wood posts. The door in the projecting gable wing is sheltered by a small gable roof supported by wall brackets. There is a canale-style vent below the gable peak. A large addition was constructed on the rear of the building probably in the 1980s. This building is not associated with any important events in the history of the fairgrounds and retains only a moderate level of integrity.

***P3b. Resource Attributes:** (List attributes and codes) _____

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) Top: façade, view to the west; Bottom: rear addition, view to the east (1/21/2011)

***P6. Date Constructed/Age and Sources:** Historic Prehistoric Both
 Circa 1948 (aerial photographs)

***P7. Owner and Address:**
 Pomona Fairplex
 1101 West McKinley Avenue
 Pomona, CA 92768

***P8. Recorded by:** (Name, affiliation, and address)
 Casey Tibbet, M.A.
 LSA Associates, Inc.
 1500 Iowa Avenue, Suite 200
 Riverside, CA 92507

***P9. Date Recorded:**
 January 21, 2011

***P10. Survey Type:** (Describe)
 Intensive-level CEQA compliance



***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment for the Pomona Fairplex, City of Pomona, Los Angeles County, California. Prepared by LSA Associates, Inc., March 2011.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 6Z

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 40 of 57 Resource Name or #: Pomona Fairplex Historic District: Livestock Area Structures

P1. Other Identifier: _____

*P2. Location: Not for Publication Unrestricted *a. County: Los Angeles and (P2b and P2c or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad: San Dimas, CA Date: 1966 PR 1988 T 1S; R 9W; unsectioned land S.B.B.M.
c. Address: 1101 West McKinley Avenue City: Pomona Zip: 91768
d. UTM: Zone: 11; _____mE/ _____mN (G.P.S.)
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): This area is located west of White Avenue and east of the racetrack.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
The livestock area is located between the race track and White Avenue. Since at least 1949, there have been three structures that, based on aerial photographs, appear to have remained in the same basic locations and configurations since that time. However, the current structures are large, temporally ambiguous metal canopies that do not convey any particular sense of history. In addition, the southernmost structure, the Big Red Barn, dates to 1976. While livestock is an important component of the fair and its history, that history is not represented by these structures.

*P3b. Resource Attributes: (List attributes and codes) HP39 (fairgrounds livestock area structures)

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #)

*P6. Date Constructed/Age and Sources: Historic
 Prehistoric Both
Pig/Sheep Building, view to the southeast, appears modern (1/21/11)

*P7. Owner and Address:
Pomona Fairplex
1101 West McKinley Avenue
Pomona, CA 92768

*P8. Recorded by: (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

*P9. Date Recorded:
January 21, 2011

*P10. Survey Type: (Describe)
Intensive-level CEQA compliance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment for the Pomona Fairplex, City of Pomona, Los Angeles County, California. Prepared by LSA Associates, Inc., March 2011.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 41 of 57 *Resource Name or #: (Assigned by recorder) Pomona Fairplex Historic District: Livestock Area Structures

*Recorded by LSA Associates, Inc. *Date: 1/21/11 Continuation Update

P5a. Photo or Drawing (Continued from page 40)



Horses, Donkeys, Mules building, view to the south, 1/21/11.



The Big Red Barn (1976), view to the northwest, 1/21/11.

(See Continuation Sheet)

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 42 of 57 *Resource Name or #: (Assigned by recorder) Pomona Fairplex Historic District: Livestock Area Structures

*Recorded by LSA Associates, Inc. *Date: 1/21/11 Continuation Update

P5a. Photo or Drawing (Continued from page 41)



The Big Red Barn, view to the south, 1/21/11

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 6Z

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 43 of 57 Resource Name or #: Pomona Fairplex Historic District: Fire Station

P1. Other Identifier: _____

- *P2. Location:** Not for Publication Unrestricted *a. County: Los Angeles and (P2b and P2c or P2d. Attach a Location Map as necessary.)
b. USGS 7.5' Quad: San Dimas, CA Date: 1966 PR 1988 T 1S; R 9W; unsectioned land S.B.B.M.
c. Address: 1101 West McKinley Avenue City: Pomona Zip: 91768
d. UTM: Zone: 11; _____mE/ _____mN (G.P.S.)
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): This building is located north of Administration Building 2.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
This two-story vernacular building is rectangular in plan and has a flat roof with a wide eave overhang on three sides and a parapet on the southeast elevation. The exterior walls are covered with stucco and fenestration consists of modern (aluminum-framed sliders) and historic-period (multi-paned) windows. The northwest elevation includes four bay doors on the ground floor. Alterations include modern windows and doors and installation of wall-mounted air conditioning units. Although this building dates to 1954, it is relatively nondescript, has been altered, is not one of the primary features of the fairgrounds, and does not convey any particular sense of history.

***P3b. Resource Attributes:** (List attributes and codes) HP39 (fairgrounds fire station)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



(See Continuation Sheet)

P5b. Description of Photo: (View, date, accession #)

***P6. Date Constructed/Age and Sources:** Historic
 Prehistoric Both
1954 (Pomona Fairplex Archives)

***P7. Owner and Address:**
Pomona Fairplex
1101 West McKinley Avenue
Pomona, CA 92768

***P8. Recorded by:** (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

***P9. Date Recorded:**
January 21, 2011

***P10. Survey Type:** (Describe)
Intensive-level CEQA compliance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment for the Pomona Fairplex, City of Pomona, Los Angeles County, California. Prepared by LSA Associates, Inc., March 2011.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 44 of 57 *Resource Name or #: (Assigned by recorder) Pomona Fairplex Historic District: Fire Station

*Recorded by LSA Associates, Inc. *Date: 1/21/11 Continuation Update

P5a. Photo or Drawing (Continued from page 43)



South elevation (1/21/11). Part of the Administration Building 2 is in the foreground (left side of photograph).

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 6Z

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 45 of 57 Resource Name or #: Pomona Fairplex Historic District: Facilities Yard Buildings

P1. Other Identifier: _____

***P2. Location:** Not for Publication Unrestricted ***a. County:** Los Angeles and (P2b and P2c or P2d. Attach a Location Map as necessary.)
***b. USGS 7.5' Quad:** San Dimas, CA **Date:** 1966 PR 1988 **T1S; R9W;** unsectioned land S.B.B.M.
c. Address: 1101 West McKinley Avenue **City:** Pomona **Zip:** 91768
d. UTM: Zone: 11; _____ mE/ _____ mN (G.P.S.)
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): Located on the east side of White Avenue, across the street from the WPA barrel-roofed buildings.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
The facilities yard is located on the east side of White Avenue and is not accessible to the public. There are a number of buildings and structures in the facilities yard and nine of them appear to date to the historic-period. These buildings are used for repair, maintenance, storage, sand blasting, and/or construction of fair-related resources, as well as vehicle maintenance. A few of the buildings are also used as offices and/or break rooms for laborers. All of the buildings are utilitarian in character and have sustained alterations. The Facilities Yard buildings are not accessible to the public and do not convey the history of the fairgrounds.

***P3b. Resource Attributes:** (List attributes and codes) HP39 (fairgrounds facilities yard buildings)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



(See Continuation Sheet)

P5b. Description of Photo: (View, date, accession #) Shipping and Receiving building (#3), view of the northeast and northwest elevations (3/2/11)

***P6. Date Constructed/Age and Sources:** Historic Prehistoric Both
Pre-1949 (Aerial Photograph)

***P7. Owner and Address:**
Pomona Fairplex
1101 West McKinley Avenue
Pomona, CA 92768

***P8. Recorded by:** (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

***P9. Date Recorded:**
March 2, 2011

***P10. Survey Type:** (Describe)
Intensive-level CEQA compliance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment for the Pomona Fairplex, City of Pomona, Los Angeles County, California. Prepared by LSA Associates, Inc., March 2011.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

Primary # _____

HRI # _____

Trinomial _____

Page 46 of 57 *Resource Name or #: (Assigned by recorder)

Pomona Fairplex Historic District: Facilities Yard Buildings

*Recorded by LSA Associates, Inc.

*Date: 1/21/11

X

Continuation

Update

P5a. Photo or Drawing (Continued from page 45)



Building 1, view to the southeast (3/2/11).



Building 5, view to the south (3/2/11)



Building 2, view to the east (3/2/11).



Building 6, view to the southwest (3/2/11).



Building 4, view to the north (3/2/11).



Building 7, view to the south (3/2/11).

(See Continuation Sheet)

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DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

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*Resource Name or #: (Assigned by recorder)

Pomona Fairplex Historic District: Facilities Yard Buildings

*Recorded by LSA Associates, Inc.

*Date: 1/21/11

X

Continuation

Update

P5a. Photo or Drawing (Continued from page 46)



Building 8, view to the northeast (3/2/11).



Sand blasting building (Building 9), view to the west (3/23/11).

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
SKETCH MAP

Primary # _____
HRI # _____
Trinomial _____

Drawn By: Casey Tibbet

Date: January 21, 2011



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 6Z

Other Listings _____
Review Code _____ Reviewer _____ Date _____

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Resource Name or #: Pomona Fairplex Historic District: Free-standing Restrooms Circa. 1949

P1. Other Identifier: _____

***P2. Location:** Not for Publication Unrestricted *a. County: Los Angeles and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: San Dimas, CA Date: 1966 PR 1988 T1S; R9W; unsectioned land S.B.B.M.

c. Address: 1101 West McKinley Avenue City: Pomona Zip: 91768

d. UTM: Zone: 11; _____ mE/ _____ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): Various locations

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) There are at least four, historic-period freestanding restroom facilities within the fairgrounds, all of which appear to date to before 1949. Three of the facilities are of similar size, style, and character with what might be characterized as a modest Ranch-style influence. The other appears to be slightly older and is basically a stucco box. Although one would anticipate finding restroom facilities at the fairgrounds, these are utilitarian structures that do not convey any particular sense of history or association with important events.

***P3b. Resource Attributes:** (List attributes and codes) HP39 (fairgrounds restrooms)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



(See Continuation Sheet)

P5b. Description of Photo: (View, date, accession #) Restroom located near HRS#1 and the Warm-up Arena, view to the west (1/21/2011)

***P6. Date Constructed/Age and Sources:** Historic Prehistoric Both
1949 (aerial photograph)

***P7. Owner and Address:**
Pomona Fairplex
1101 West McKinley Avenue
Pomona, CA 92768

***P8. Recorded by:** (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

***P9. Date Recorded:**
January 21, 2011

***P10. Survey Type:** (Describe)
Intensive-level CEQA compliance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment for the Pomona Fairplex, City of Pomona, Los Angeles County, California. Prepared by LSA Associates, Inc., March 2011.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 50 of 57 *Resource Name or #: (Assigned by recorder) Pomona Fairplex Historic District: Free-standing Restrooms

*Recorded by LSA Associates, Inc. *Date: 1/21/2011 Continuation Update

P5a. Photo or Drawing (Continued from page 49)



Restroom adjacent to White Avenue, northeast of Plaza de las Americas (1/21/2011).



Restroom southeast of the security building (1/21/2011).



Restroom in the livestock area (1/21/11)

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 6Z

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 51 of 57 Resource Name or #: Pomona Fairplex Historic District: Plaza de las Americas

P1. Other Identifier: Mexican Village, Fiesta Village

***P2. Location:** Not for Publication Unrestricted *a. County: Los Angeles and (P2b and P2c or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad: San Dimas, CA Date: 1966 PR 1988 T 1S; R 9W; unsectioned land S.B.B.M.
c. Address: 1101 West McKinley Avenue City: Pomona Zip: 91768
d. UTM: Zone: 11; _____mE/ _____mN (G.P.S.)
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): This structure is located west of White Avenue and southeast of the racetrack.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) This Spanish Eclectic-style feature was originally constructed in 1952. It is essentially a large plaza with open air structures on three sides. A large covered patio and stage is located at the north end of the Plaza. This feature was renovated in 1996 and does not convey any particular sense of history.

***P3b. Resource Attributes:** (List attributes and codes) HP39 (fairgrounds plaza)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View to the north, 1/21/11

***P6. Date Constructed/Age and Sources:** Historic Prehistoric Both
1952; remodeled in 1996 (Fairplex)

***P7. Owner and Address:**
Pomona Fairplex
1101 West McKinley Avenue
Pomona, CA 92768

***P8. Recorded by:** (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

***P9. Date Recorded:**
January 21, 2011

***P10. Survey Type:** (Describe)
Intensive-level CEQA compliance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment for the Pomona Fairplex, City of Pomona, Los Angeles County, California. Prepared by LSA Associates, Inc., March 2011.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 52 of 57 *Resource Name or #: (Assigned by recorder) Pomona Fairplex Historic District: Plaza de las Americas

*Recorded by LSA Associates, Inc. *Date: 1/21/11 Continuation Update

P5a. Photo or Drawing (Continued from page 51)



Plaza de las Americas, view to the north (1/21/11).



Plaza de las Americas, view to the west (1/21/11).

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 6L

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 53 of 57 Resource Name or #: Pomona Fairplex Historic District: Quonset Hut #10

P1. Other Identifier: _____

- *P2. Location:** Not for Publication Unrestricted *a. County: Los Angeles and (P2b and P2c or P2d. Attach a Location Map as necessary.)
b. USGS 7.5' Quad: San Dimas, CA Date: 1966 PR 1988 T 1S; R 9W; unsectioned land S.B.B.M.
c. Address: 1101 West McKinley Avenue City: Pomona Zip: 91768
d. UTM: Zone: 11; _____mE/ _____mN (G.P.S.)
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): This building is located southeast of the horse race track and southwest of Plaza de las Americas. It is the northernmost and newest Quonset hut.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
This Quonset hut, which is located at the southeast end of the racetrack, was built in 1957. The northwest and southeast ends of the building feature five vertical-rectangular banks of windows that extend more than halfway down the building from the curved roofline to a concrete wall. The banks of windows are separated by what appear to be vertically scored concrete. The interior is a wide open space illuminated by natural light from the windows at either end, as well as rows of fluorescent lights that extend the length of the building. Although the building dates to the historic period and appears to retain a high level of integrity, it is not representative of any specific aspect of the fair or its history. Therefore, it is not considered a contributor. However, it may warrant consideration in planning since it is a unique and recognizable building within the fairgrounds.

***P3b. Resource Attributes:** (List attributes and codes) _____

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View to the east (1/21/2011)

***P6. Date Constructed/Age and Sources:** Historic Prehistoric Both
1957 (Fairplex)

***P7. Owner and Address:**
Pomona Fairplex
1101 West McKinley Avenue
Pomona, CA 92768

***P8. Recorded by:** (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

***P9. Date Recorded:**
January 21, 2011

***P10. Survey Type:** (Describe)
Intensive-level CEQA compliance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment for the Pomona Fairplex, City of Pomona, Los Angeles County, California. Prepared by LSA Associates, Inc., March 2011.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code 6Z

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 54 of 57 Resource Name or #: Pomona Fairplex Historic District: Race Official's Office

P1. Other Identifier: _____

***P2. Location:** Not for Publication Unrestricted *a. County: Los Angeles and (P2b and P2c or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad: San Dimas, CA Date: 1966 PR 1988 T1S; R9W; unsectioned land S.B.B.M.
c. Address: 1101 West McKinley Avenue City: Pomona Zip: 91768
d. UTM: Zone: 11; _____mE/ _____mN (G.P.S.)
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate): This building is located northwest of the horse racetrack.

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
The Race Official's Office is located north of the racetrack near HRS 14-28 and was constructed in 1961. It has a very low-pitched gable roof and wide eaves. A small portion of the southeast end of the building is taller than the remainder and has a large opening in the east elevation. The exterior walls are sheathed with board-and-batten. The east and west elevations include doors and aluminum-framed sliding windows, a few of which are boarded on the west elevation. There is a breezeway located near the north end of the building. Although this building is associated with horse racing, which is an important part of the fair's history, it dates to very late in the historic-period, retains only a moderate level of integrity, and is not accessible to the fair-going public.

***P3b. Resource Attributes:** (List attributes and codes) HP39 (fairgrounds race office office)

***P4. Resources Present:** Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #) View to west (1/21/2011)

***P6. Date Constructed/Age and Sources:** Historic Prehistoric Both
1961 (Fairplex)

***P7. Owner and Address:**
Pomona Fairplex
1101 West McKinley Avenue
Pomona, CA 92768

***P8. Recorded by:** (Name, affiliation, and address)
Casey Tibbet, M.A.
LSA Associates, Inc.
1500 Iowa Avenue, Suite 200
Riverside, CA 92507

***P9. Date Recorded:**
January 21,

***P10. Survey Type:** (Describe)
Intensive-level CEQA compliance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Cultural Resources Assessment for the Pomona Fairplex, City of Pomona, Los Angeles County, California. Prepared by LSA Associates, Inc., March 2011.

***Attachments:** NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____

HRI # _____

Trinomial _____

Page 55 of 57 *Resource Name or #: (Assigned by recorder) Pomona Fairplex Historic District: Race Official's Office

*Recorded by LSA Associates, Inc. *Date: 1/21/11 Continuation Update

P5a. Photo or Drawing (Continued from page 54)

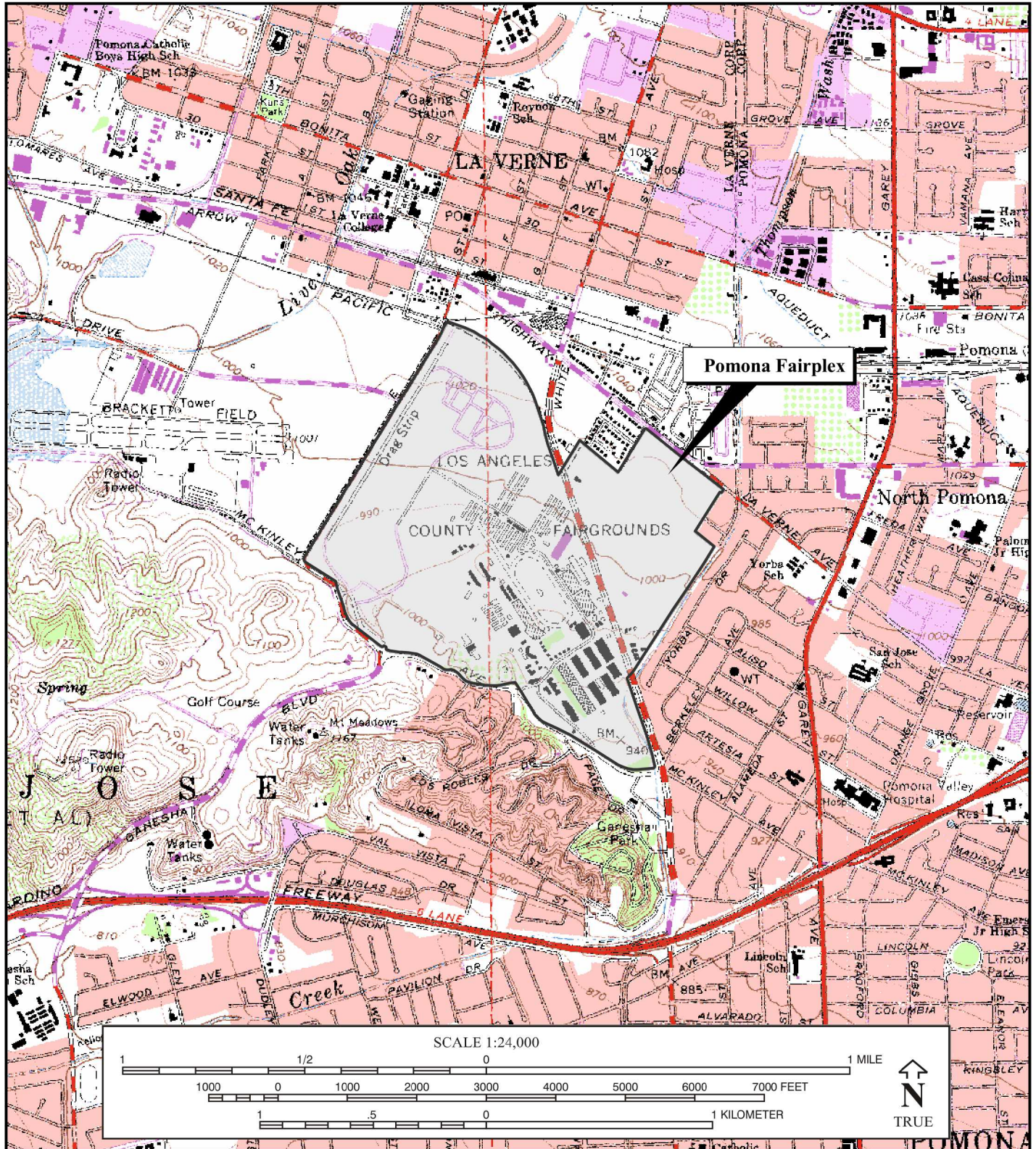


View to the north (1/21/11).



View to the northeast, note the boarded up windows (1/21/11).





APPENDIX C
PROJECT PLANS



CLIENT
FAIRFLEX
1101 W. McKINLEY AVE
POMONA, CA 91768
909 865 4202

PROJECT TITLE
FAIRFLEX BUSINESS CENTER
& SELF STORAGE
POMONA, CA

SHEET TITLE
EXISTING / DEMOLITION SITE PLAN

REVISIONS

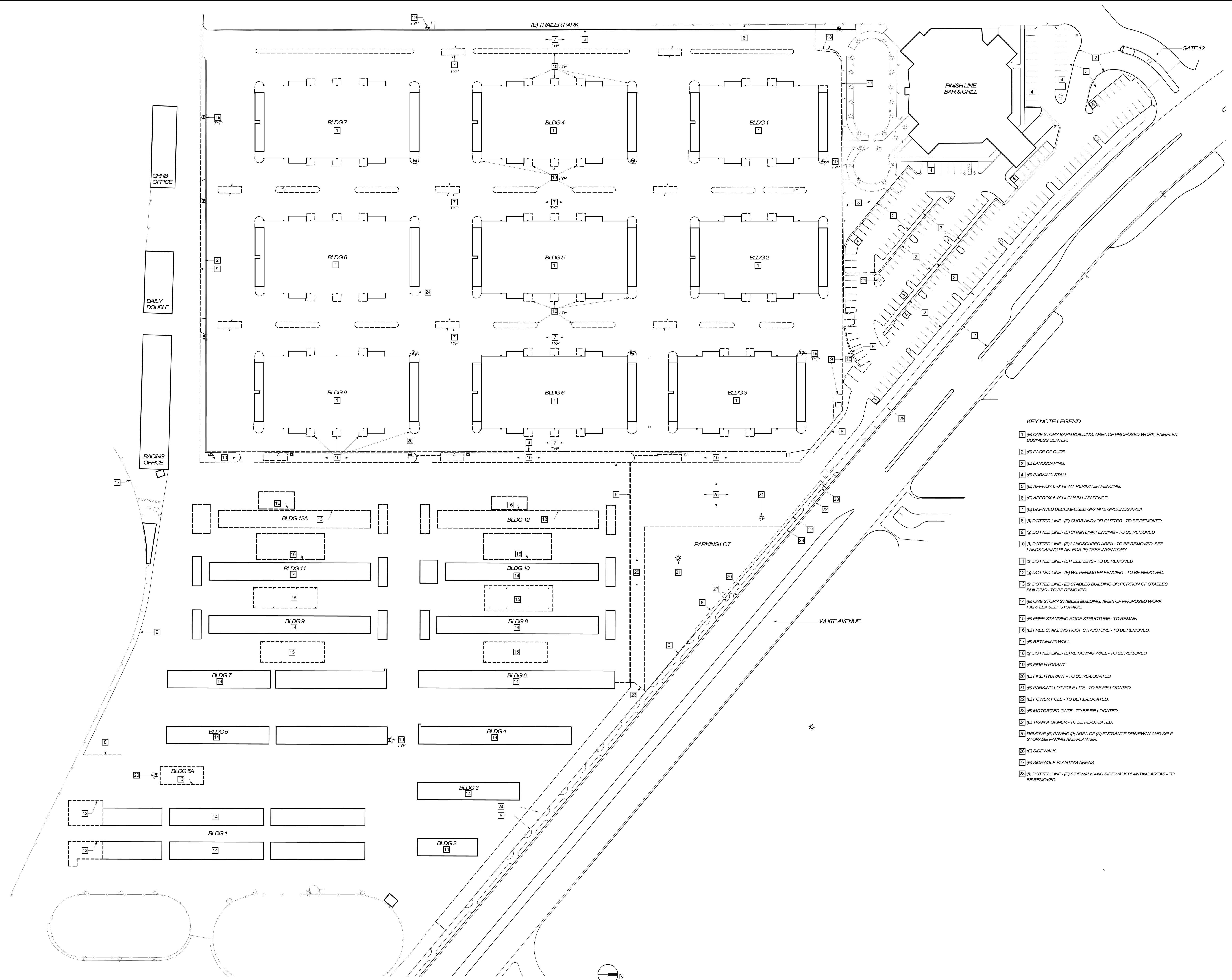
DRAWN BY

DATE

JOB NO

09-06

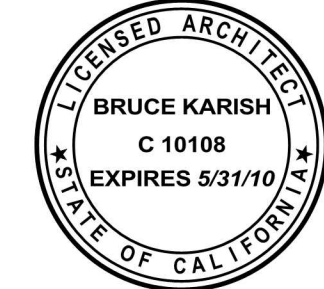
SHEET NO



- KEY NOTE LEGEND**
- 1 (E) ONE STORY BARN BUILDING. AREA OF PROPOSED WORK. FAIRFLEX BUSINESS CENTER.
 - 2 (E) FACE OF CURB.
 - 3 (E) LANDSCAPING.
 - 4 (E) PARKING STALL.
 - 5 (E) APPROX 6'-0" HI W/L PERIMETER FENCING.
 - 6 (E) APPROX 6'-0" HI CHAIN LINK FENCE.
 - 7 (E) UNPAVED DECOMPOSED GRANITE GROUNDS AREA.
 - 8 @ DOTTED LINE - (E) CURB AND / OR GUTTER - TO BE REMOVED.
 - 9 @ DOTTED LINE - (E) CHAIN LINK FENCING - TO BE REMOVED.
 - 10 @ DOTTED LINE - (E) LANDSCAPED AREA - TO BE REMOVED. SEE LANDSCAPING PLAN FOR (E) TREE INVENTORY.
 - 11 @ DOTTED LINE - (E) FEED BINS - TO BE REMOVED.
 - 12 @ DOTTED LINE - (E) W/L PERIMETER FENCING - TO BE REMOVED.
 - 13 @ DOTTED LINE - (E) STABLES BUILDING OR PORTION OF STABLES BUILDING - TO BE REMOVED.
 - 14 (E) ONE STORY STABLES BUILDING. AREA OF PROPOSED WORK. FAIRFLEX SELF STORAGE.
 - 15 (E) FREE-STANDING ROOF STRUCTURE - TO REMAIN.
 - 16 (E) FREE STANDING ROOF STRUCTURE - TO BE REMOVED.
 - 17 (E) RETAINING WALL.
 - 18 @ DOTTED LINE - (E) RETAINING WALL - TO BE REMOVED.
 - 19 (E) FIRE HYDRANT.
 - 20 (E) FIRE HYDRANT - TO BE RE-LOCATED.
 - 21 (E) PARKING LOT POLE LITE - TO BE RE-LOCATED.
 - 22 (E) POWER POLE - TO BE RE-LOCATED.
 - 23 (E) MOTORIZED GATE - TO BE RE-LOCATED.
 - 24 (E) TRANSFORMER - TO BE RE-LOCATED.
 - 25 REMOVE (E) PAVING @ AREA OF (N) ENTRANCE DRIVEWAY AND SELF STORAGE PAVING AND PLANTER.
 - 26 (E) SIDEWALK.
 - 27 (E) SIDEWALK PLANTING AREAS.
 - 28 @ DOTTED LINE - (E) SIDEWALK AND SIDEWALK PLANTING AREAS - TO BE REMOVED.

1 EXISTING / DEMOLITION SITE PLAN

ST1.



CLIENT
 FAIRPLEX
 1101 W. MCKINLEY AVE
 POMONA, CA 91768
 909 865 4202

PROJECT TITLE
 FAIRPLEX BUSINESS CENTER
 & SELF STORAGE
 POMONA, CA

SHEET TITLE
 PHASE 1 SITE PLAN

REVISIONS

DRAWN BY

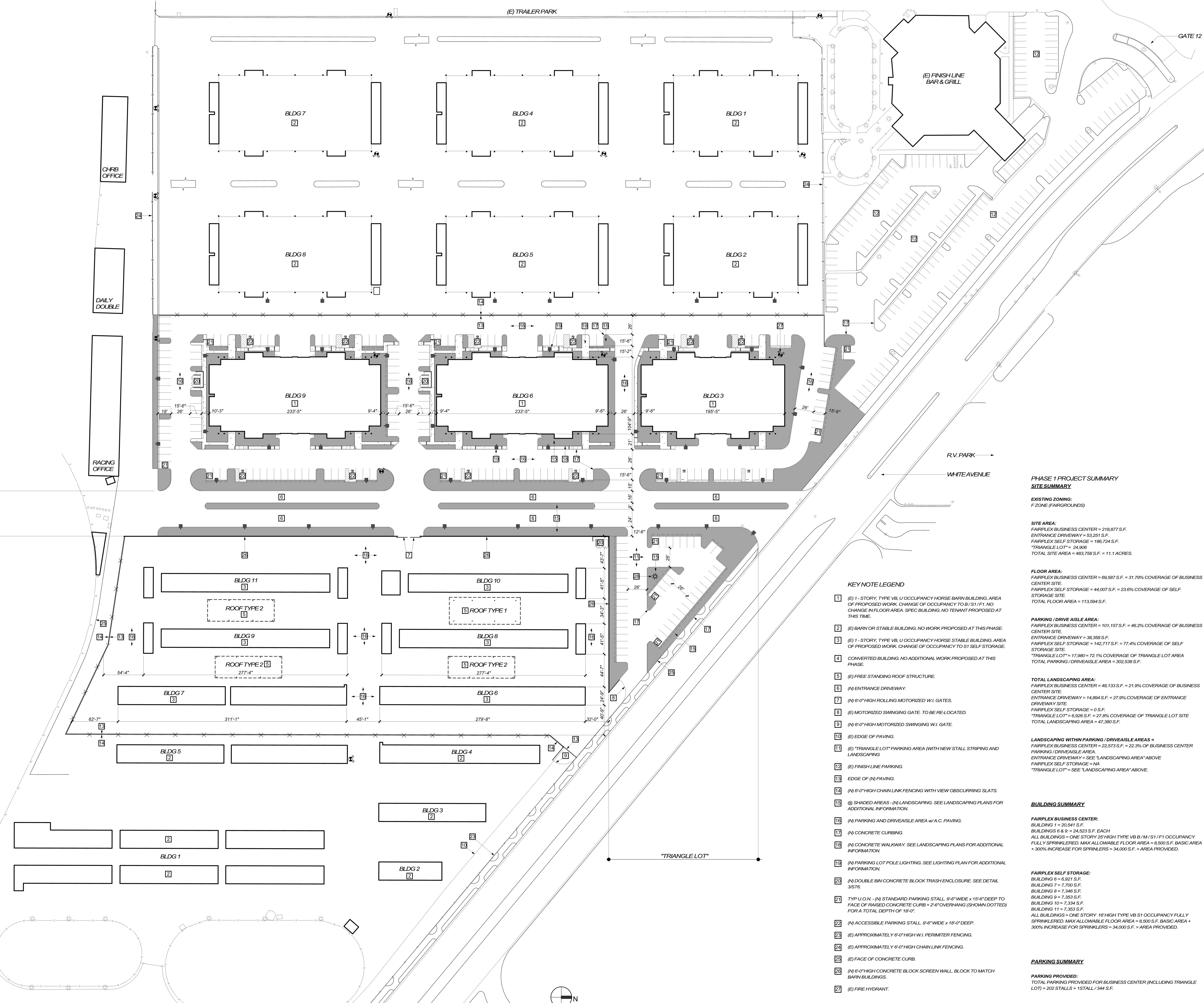
DATE

JOB NO

09-06

SHEET NO

ST2



KEY NOTE LEGEND

- 1 (E) 1-STORY, TYPE VB, U OCCUPANCY HORSE BARN BUILDING. AREA OF PROPOSED WORK. CHANGE OF OCCUPANCY TO B1/S1/F1. NO CHANGE IN FLOOR AREA. SPEC BUILDING. NO TENANT PROPOSED AT THIS TIME.
- 2 (E) BARN OR STABLE BUILDING. NO WORK PROPOSED AT THIS PHASE.
- 3 (E) 1-STORY, TYPE VB, U OCCUPANCY HORSE STABLE BUILDING. AREA OF PROPOSED WORK. CHANGE OF OCCUPANCY TO S1 SELF STORAGE.
- 4 CONVERTED BUILDING. NO ADDITIONAL WORK PROPOSED AT THIS PHASE.
- 5 (E) FREE STANDING ROOF STRUCTURE.
- 6 (E) ENTRANCE DRIVEWAY.
- 7 (E) 6'-0" HIGH ROLLING MOTORIZED W.I. GATES.
- 8 (E) MOTORIZED SWINGING GATE. TO BE RE-LOCATED.
- 9 (E) 6'-0" HIGH MOTORIZED SWINGING W.I. GATE.
- 10 (E) EDGE OF PAVING.
- 11 (E) "TRIANGLE LOT" PARKING AREA (WITH NEW STALL STRIPING AND LANDSCAPING)
- 12 (E) FINISH LINE PARKING.
- 13 EDGE OF (E) PAVING.
- 14 (E) 6'-0" HIGH CHAIN LINK FENCING WITH VIEW OBSCURING SLATS.
- 15 (E) SHADED AREAS - (E) LANDSCAPING. SEE LANDSCAPING PLANS FOR ADDITIONAL INFORMATION.
- 16 (E) PARKING AND DRIVEWAY AREA w/ A.C. PAVING.
- 17 (E) CONCRETE CURBING.
- 18 (E) CONCRETE WALKWAY. SEE LANDSCAPING PLANS FOR ADDITIONAL INFORMATION.
- 19 (E) PARKING LOT POLE LIGHTING. SEE LIGHTING PLAN FOR ADDITIONAL INFORMATION.
- 20 (E) DOUBLE BIN CONCRETE BLOCK TRASH ENCLOSURE. SEE DETAIL 3/STB.
- 21 TYP U.O.N. - (E) STANDARD PARKING STALL. 9'-4" WIDE x 15'-6" DEEP TO FACE OF RAISED CONCRETE CURB + 2'-6" OVERHANG (SHOWN DOTTED) FOR A TOTAL DEPTH OF 18'-0".
- 22 (E) ACCESSIBLE PARKING STALL. 9'-6" WIDE x 18'-0" DEEP.
- 23 (E) APPROXIMATELY 6'-0" HIGH W.I. PERIMETER FENCING.
- 24 (E) APPROXIMATELY 6'-0" HIGH CHAIN LINK FENCING.
- 25 (E) FACE OF CONCRETE CURB.
- 26 (E) 6'-0" HIGH CONCRETE BLOCK SCREEN WALL. BLOCK TO MATCH BARN BUILDINGS.
- 27 (E) FIRE HYDRANT.

PHASE 1 PROJECT SUMMARY

SITE SUMMARY

EXISTING ZONING:
 F ZONE (FAIRGROUNDS)

SITE AREA:
 FAIRPLEX BUSINESS CENTER = 218,877 S.F.
 ENTRANCE DRIVEWAY = 53,251 S.F.
 FAIRPLEX SELF STORAGE = 188,724 S.F.
 *TRIANGLE LOT = 24,909
 TOTAL SITE AREA = 483,758 S.F. = 11.1 ACRES.

FLOOR AREA:
 FAIRPLEX BUSINESS CENTER = 69,587 S.F. = 31.79% COVERAGE OF BUSINESS CENTER SITE
 FAIRPLEX SELF STORAGE = 44,007 S.F. = 23.6% COVERAGE OF SELF STORAGE SITE
 TOTAL FLOOR AREA = 113,594 S.F.

PARKING / DRIVE AISLE AREA:
 FAIRPLEX BUSINESS CENTER = 101,157 S.F. = 46.2% COVERAGE OF BUSINESS CENTER SITE
 ENTRANCE DRIVEWAY = 38,358 S.F.
 FAIRPLEX SELF STORAGE = 142,717 S.F. = 77.4% COVERAGE OF SELF STORAGE SITE
 *TRIANGLE LOT = 17,980 = 72.1% COVERAGE OF TRIANGLE LOT AREA
 TOTAL PARKING / DRIVEWAY AREA = 302,538 S.F.

TOTAL LANDSCAPING AREA:
 FAIRPLEX BUSINESS CENTER = 48,133 S.F. = 21.9% COVERAGE OF BUSINESS CENTER SITE
 ENTRANCE DRIVEWAY = 14,894 S.F. = 27.9% COVERAGE OF ENTRANCE DRIVEWAY SITE
 FAIRPLEX SELF STORAGE = 0 S.F.
 *TRIANGLE LOT = 6,526 S.F. = 27.8% COVERAGE OF TRIANGLE LOT SITE
 TOTAL LANDSCAPING AREA = 47,380 S.F.

LANDSCAPING WITHIN PARKING / DRIVEWAY AREAS =
 FAIRPLEX BUSINESS CENTER = 22,573 S.F. = 22.2% OF BUSINESS CENTER PARKING / DRIVEWAY AREA
 ENTRANCE DRIVEWAY = SEE "LANDSCAPING AREA" ABOVE
 FAIRPLEX SELF STORAGE = NA
 *TRIANGLE LOT = SEE "LANDSCAPING AREA" ABOVE.

BUILDING SUMMARY

FAIRPLEX BUSINESS CENTER:
 BUILDING 1 = 26,541 S.F.
 BUILDINGS 4 & 5 = 24,523 S.F. EACH
 ALL BUILDINGS = ONE STORY 25' HIGH TYPE VB B/M/S1/F1 OCCUPANCY FULLY SPRINKLERED. MAX ALLOWABLE FLOOR AREA = 8,500 S.F. BASIC AREA + 300% INCREASE FOR SPRINKLERS = 34,000 S.F. > AREA PROVIDED.

FAIRPLEX SELF STORAGE:

BUILDING 6 = 6,921 S.F.
 BUILDING 7 = 7,700 S.F.
 BUILDING 8 = 7,346 S.F.
 BUILDING 9 = 7,353 S.F.
 BUILDING 10 = 7,334 S.F.
 BUILDING 11 = 7,353 S.F.
 ALL BUILDINGS = ONE STORY 10' HIGH TYPE VB S1 OCCUPANCY FULLY SPRINKLERED. MAX ALLOWABLE FLOOR AREA = 8,500 S.F. BASIC AREA + 300% INCREASE FOR SPRINKLERS = 34,000 S.F. > AREA PROVIDED.

PARKING SUMMARY

PARKING PROVIDED:
 TOTAL PARKING PROVIDED FOR BUSINESS CENTER (INCLUDING TRIANGLE LOT) = 202 STALLS = 1STALL / 344 S.F.



CLIENT
 FAIRPLEX
 1101 W. McKINLEY AVE
 POMONA, CA 91768
 909 865 4202

PROJECT TITLE
 FAIRPLEX BUSINESS CENTER
 & SELF STORAGE
 POMONA, CA

SHEET TITLE
 PHASE 2 SITE PLAN

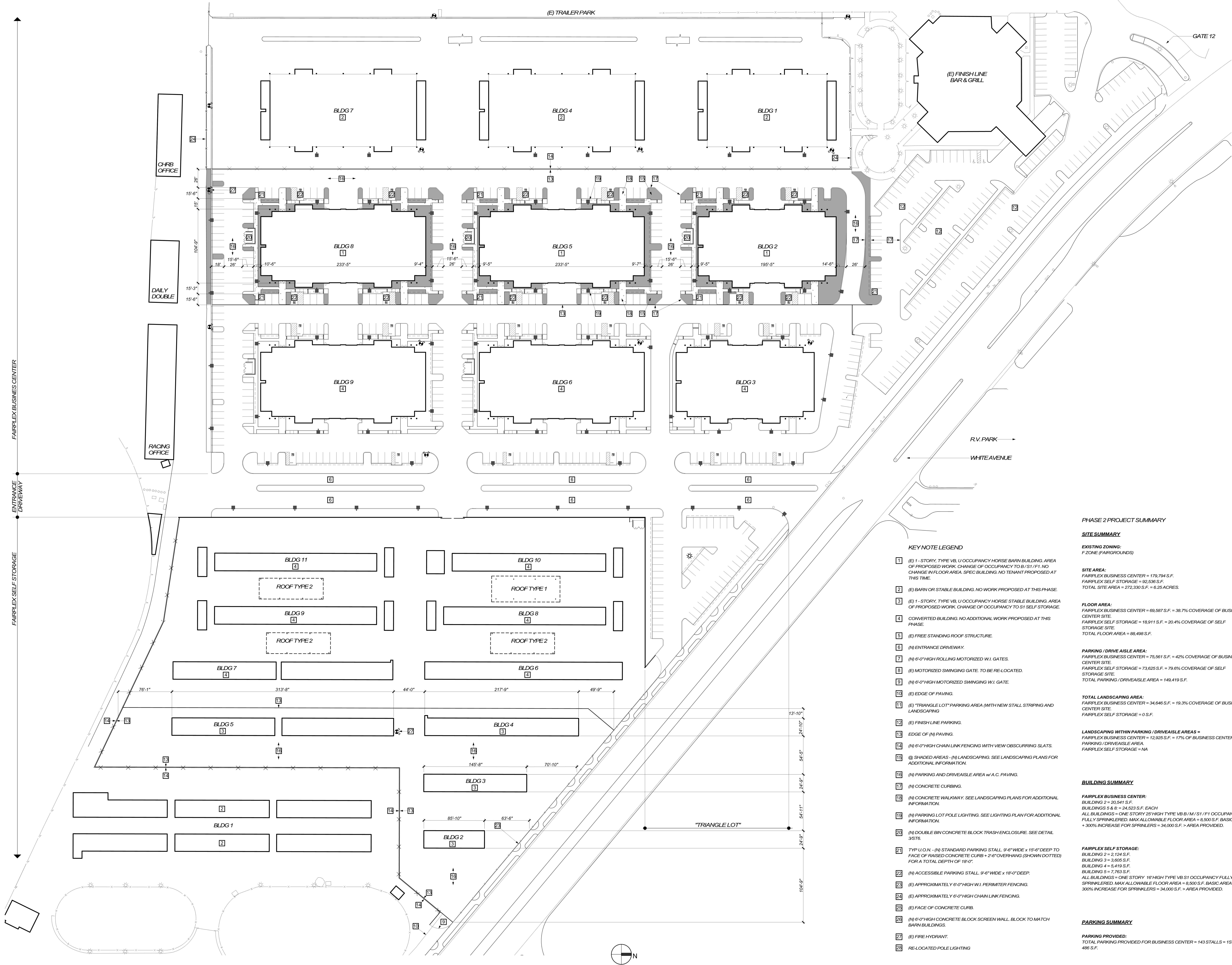
REVISIONS

DRAWN BY

DATE

JOB NO

SHEET NO



KEY NOTE LEGEND

- 1 (E) 1-STORY, TYPE VB, U OCCUPANCY HORSE BARN BUILDING. AREA OF PROPOSED WORK. CHANGE OF OCCUPANCY TO B/S1/F1. NO CHANGE IN FLOOR AREA. SPEED BUILDING. NO TENANT PROPOSED AT THIS TIME.
- 2 (E) BARN OR STABLE BUILDING. NO WORK PROPOSED AT THIS PHASE.
- 3 (E) 1-STORY, TYPE VB, U OCCUPANCY HORSE STABLE BUILDING. AREA OF PROPOSED WORK. CHANGE OF OCCUPANCY TO S1 SELF STORAGE.
- 4 CONVERTED BUILDING. NO ADDITIONAL WORK PROPOSED AT THIS PHASE.
- 5 (E) FREE STANDING ROOF STRUCTURE.
- 6 (N) ENTRANCE DRIVEWAY.
- 7 (N) 6'-0" HIGH ROLLING MOTORIZED W.I. GATES.
- 8 (E) MOTORIZED SWINGING GATE. TO BE RE-LOCATED.
- 9 (N) 6'-0" HIGH MOTORIZED SWINGING W.I. GATE.
- 10 (E) EDGE OF PAVING.
- 11 (E) "TRIANGLE LOT" PARKING AREA (WITH NEW STALL STRIPING AND LANDSCAPING)
- 12 (E) FINISH LINE PARKING.
- 13 EDGE OF (N) PAVING.
- 14 (N) 6'-0" HIGH CHAIN LINK FENCING WITH VIEW OBSCURING SLATS.
- 15 (E) SH- SHADED AREAS - (N) LANDSCAPING. SEE LANDSCAPING PLANS FOR ADDITIONAL INFORMATION.
- 16 (N) PARKING AND DRIVE AISLE AREA w/ A.C. PAVING.
- 17 (N) CONCRETE CURBING.
- 18 (N) CONCRETE WALKWAY. SEE LANDSCAPING PLANS FOR ADDITIONAL INFORMATION.
- 19 (N) PARKING LOT POLE LIGHTING. SEE LIGHTING PLAN FOR ADDITIONAL INFORMATION.
- 20 (N) DOUBLE BIN CONCRETE BLOCK TRASH ENCLOSURE. SEE DETAIL 318.
- 21 TYP. U.O.N. - (N) STANDARD PARKING STALL. 9'-6" WIDE x 15'-6" DEEP TO FACE OF RAISED CONCRETE CURB + 2'-6" OVERHANG (SHOWN DOTTED) FOR A TOTAL DEPTH OF 18'-0".
- 22 (N) ACCESSIBLE PARKING STALL. 9'-6" WIDE x 18'-0" DEEP.
- 23 (E) APPROXIMATELY 6'-0" HIGH W.I. PERIMETER FENCING.
- 24 (E) APPROXIMATELY 6'-0" HIGH CHAIN LINK FENCING.
- 25 (E) FACE OF CONCRETE CURB.
- 26 (N) 6'-0" HIGH CONCRETE BLOCK SCREEN WALL. BLOCK TO MATCH BARN BUILDINGS.
- 27 (E) FIRE HYDRANT.
- 28 RE-LOCATED POLE LIGHTING

PHASE 2 PROJECT SUMMARY

SITE SUMMARY

EXISTING ZONING:
 F-ZONE (FAIRGROUNDS)

SITE AREA:
 FAIRPLEX BUSINESS CENTER = 179,794 S.F.
 FAIRPLEX SELF STORAGE = 92,536 S.F.
 TOTAL SITE AREA = 272,330 S.F. = 6.25 ACRES.

FLOOR AREA:
 FAIRPLEX BUSINESS CENTER = 69,587 S.F. = 38.7% COVERAGE OF BUSINESS CENTER SITE.
 FAIRPLEX SELF STORAGE = 18,911 S.F. = 20.4% COVERAGE OF SELF STORAGE SITE.
 TOTAL FLOOR AREA = 88,498 S.F.

PARKING / DRIVE AISLE AREA:
 FAIRPLEX BUSINESS CENTER = 75,561 S.F. = 42% COVERAGE OF BUSINESS CENTER SITE.
 FAIRPLEX SELF STORAGE = 73,625 S.F. = 79.6% COVERAGE OF SELF STORAGE SITE.
 TOTAL PARKING / DRIVE AISLE AREA = 149,186 S.F.

TOTAL LANDSCAPING AREA:
 FAIRPLEX BUSINESS CENTER = 34,646 S.F. = 19.3% COVERAGE OF BUSINESS CENTER SITE.
 FAIRPLEX SELF STORAGE = 0 S.F.

LANDSCAPING WITHIN PARKING / DRIVE AISLE AREAS =
 FAIRPLEX BUSINESS CENTER = 12,925 S.F. = 17% OF BUSINESS CENTER PARKING / DRIVE AISLE AREA.
 FAIRPLEX SELF STORAGE = NA

BUILDING SUMMARY

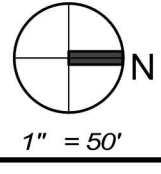
FAIRPLEX BUSINESS CENTER:
 BUILDING 2 = 20,541 S.F.
 BUILDINGS 5 & 8 = 24,523 S.F. EACH
 ALL BUILDINGS = ONE STORY 25' HIGH TYPE VB B/M/S1/F1 OCCUPANCY FULLY SPRINKLERED. MAX ALLOWABLE FLOOR AREA = 8,500 S.F. BASIC AREA + 300% INCREASE FOR SPRINKLERS = 34,000 S.F. > AREA PROVIDED.

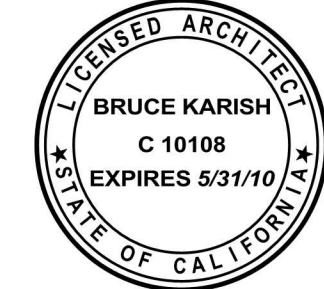
FAIRPLEX SELF STORAGE:
 BUILDING 2 = 2,124 S.F.
 BUILDING 3 = 3,025 S.F.
 BUILDING 4 = 5,419 S.F.
 BUILDING 5 = 7,763 S.F.
 ALL BUILDINGS = ONE STORY 16' HIGH TYPE VB S1 OCCUPANCY FULLY SPRINKLERED. MAX ALLOWABLE FLOOR AREA = 8,500 S.F. BASIC AREA + 300% INCREASE FOR SPRINKLERS = 34,000 S.F. > AREA PROVIDED.

PARKING SUMMARY

PARKING PROVIDED:
 TOTAL PARKING PROVIDED FOR BUSINESS CENTER = 143 STALLS = 1STALL / 496 S.F.

1 PHASE 2 SITE PLAN





CLIENT
 FAIRFLEX
 1101 W. MCKINLEY AVE
 POMONA, CA 91768
 909 865 4202

PROJECT TITLE
 FAIRFLEX BUSINESS CENTER
 & SELF STORAGE
 POMONA, CA

SHEET TITLE
 PHASE 3 SITE PLAN

REVISIONS

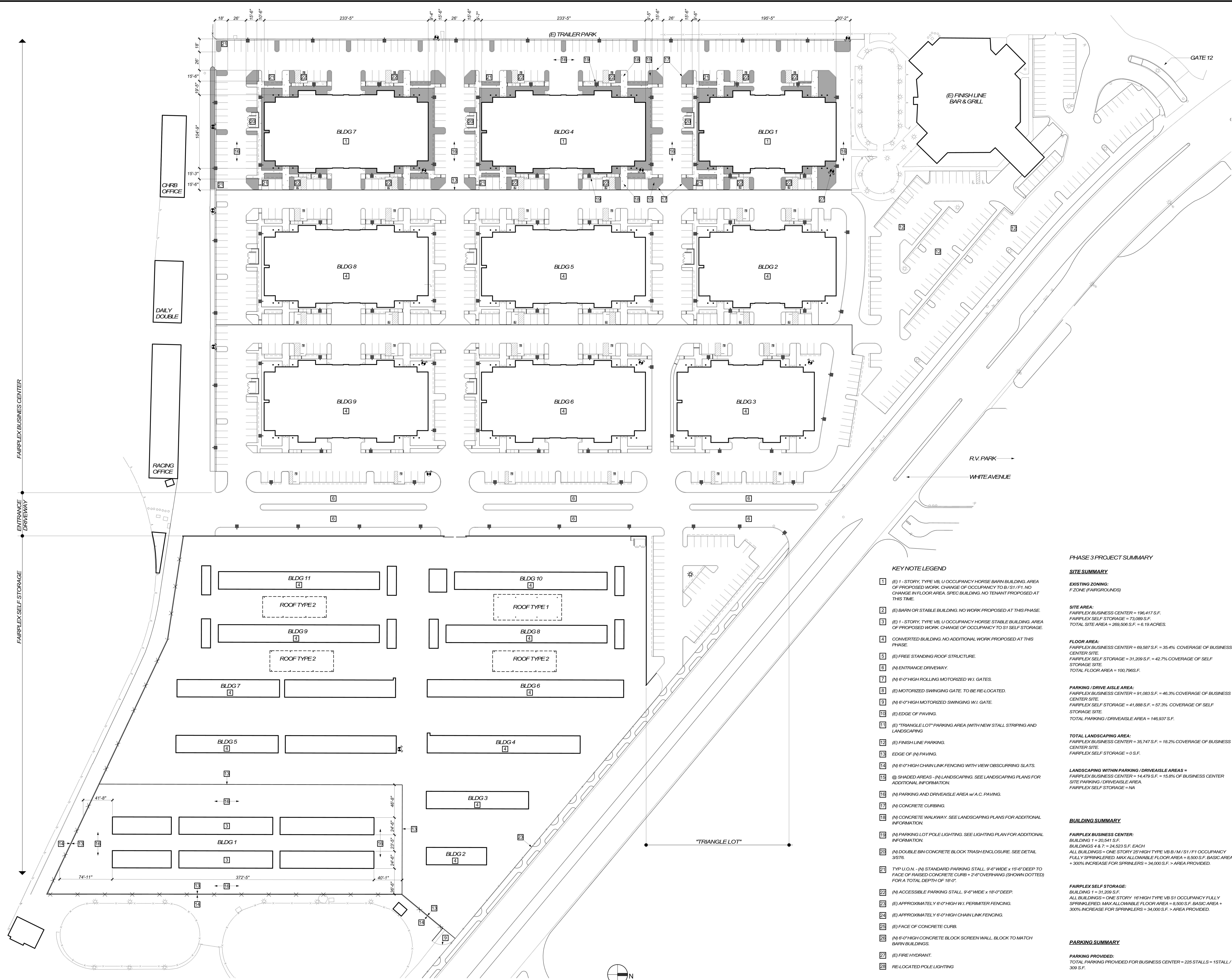
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DATE

JOB NO

09-06

SHEET NO



KEY NOTE LEGEND

- 1 (E) 1 - STORY, TYPE VB, U OCCUPANCY HORSE BARN BUILDING. AREA OF PROPOSED WORK. CHANGE OF OCCUPANCY TO B1/S1/F1. NO CHANGE IN FLOOR AREA. SPEC BUILDING. NO TENANT PROPOSED AT THIS TIME.
- 2 (E) BARN OR STABLE BUILDING. NO WORK PROPOSED AT THIS PHASE.
- 3 (E) 1 - STORY, TYPE VB, U OCCUPANCY HORSE STABLE BUILDING. AREA OF PROPOSED WORK. CHANGE OF OCCUPANCY TO S1 SELF STORAGE.
- 4 CONVERTED BUILDING. NO ADDITIONAL WORK PROPOSED AT THIS PHASE.
- 5 (E) FREE STANDING ROOF STRUCTURE.
- 6 (N) ENTRANCE DRIVEWAY.
- 7 (N) 6'-0" HIGH ROLLING MOTORIZED W.I. GATES.
- 8 (E) MOTORIZED SWINGING GATE. TO BE RE-LOCATED.
- 9 (N) 6'-0" HIGH MOTORIZED SWINGING W.I. GATE.
- 10 (E) EDGE OF PAVING.
- 11 (E) "TRANGLE LOT" PARKING AREA (WITH NEW STALL STRIPING AND LANDSCAPING)
- 12 (E) FINISH LINE PARKING.
- 13 EDGE OF (N) PAVING.
- 14 (N) 6'-0" HIGH CHAIN LINK FENCING WITH VIEW OBSCURING SLATS.
- 15 (E) SHADED AREAS - (N) LANDSCAPING. SEE LANDSCAPING PLANS FOR ADDITIONAL INFORMATION.
- 16 (N) PARKING AND DRIVEABLE AREA w/A.C. PAVING.
- 17 (N) CONCRETE CURBING.
- 18 (N) CONCRETE WALKWAY. SEE LANDSCAPING PLANS FOR ADDITIONAL INFORMATION.
- 19 (N) PARKING LOT POLE LIGHTING. SEE LIGHTING PLAN FOR ADDITIONAL INFORMATION.
- 20 (N) DOUBLE BIN CONCRETE BLOCK TRASH ENCLOSURE. SEE DETAIL 3/STB.
- 21 TYP U.O.N. - (N) STANDARD PARKING STALL 9'-6" WIDE x 15'-6" DEEP TO FACE OF RAISED CONCRETE CURB + 2'-6" OVERHANG (SHOWN DOTTED) FOR A TOTAL DEPTH OF 18'-0".
- 22 (N) ACCESSIBLE PARKING STALL 9'-6" WIDE x 18'-0" DEEP.
- 23 (E) APPROXIMATELY 6'-0" HIGH W.I. PERIMETER FENCING.
- 24 (E) APPROXIMATELY 6'-0" HIGH CHAIN LINK FENCING.
- 25 (E) FACE OF CONCRETE CURB.
- 26 (N) 6'-0" HIGH CONCRETE BLOCK SCREEN WALL. BLOCK TO MATCH BARN BUILDINGS.
- 27 (E) FIRE HYDRANT.
- 28 RE-LOCATED POLE LIGHTING

PHASE 3 PROJECT SUMMARY

SITE SUMMARY

EXISTING ZONING:
 F ZONE (FAIRGROUNDS)

SITE AREA:
 FAIRFLEX BUSINESS CENTER = 196,417 S.F.
 FAIRFLEX SELF STORAGE = 73,089 S.F.
 TOTAL SITE AREA = 269,506 S.F. = 6.19 ACRES.

FLOOR AREA:
 FAIRFLEX BUSINESS CENTER = 69,587 S.F. = 35.4% COVERAGE OF BUSINESS CENTER SITE.
 FAIRFLEX SELF STORAGE = 31,209 S.F. = 42.7% COVERAGE OF SELF STORAGE SITE.
 TOTAL FLOOR AREA = 100,796 S.F.

PARKING / DRIVE AISLE AREA:
 FAIRFLEX BUSINESS CENTER = 91,083 S.F. = 46.3% COVERAGE OF BUSINESS CENTER SITE.
 FAIRFLEX SELF STORAGE = 41,888 S.F. = 57.3% COVERAGE OF SELF STORAGE SITE.
 TOTAL PARKING / DRIVEABLE AREA = 148,971 S.F.

TOTAL LANDSCAPING AREA:
 FAIRFLEX BUSINESS CENTER = 35,747 S.F. = 18.2% COVERAGE OF BUSINESS CENTER SITE.
 FAIRFLEX SELF STORAGE = 0 S.F.

LANDSCAPING WITHIN PARKING / DRIVEABLE AREAS =
 FAIRFLEX BUSINESS CENTER = 44,478 S.F. = 15.8% OF BUSINESS CENTER SITE PARKING / DRIVEABLE AREA.
 FAIRFLEX SELF STORAGE = NA

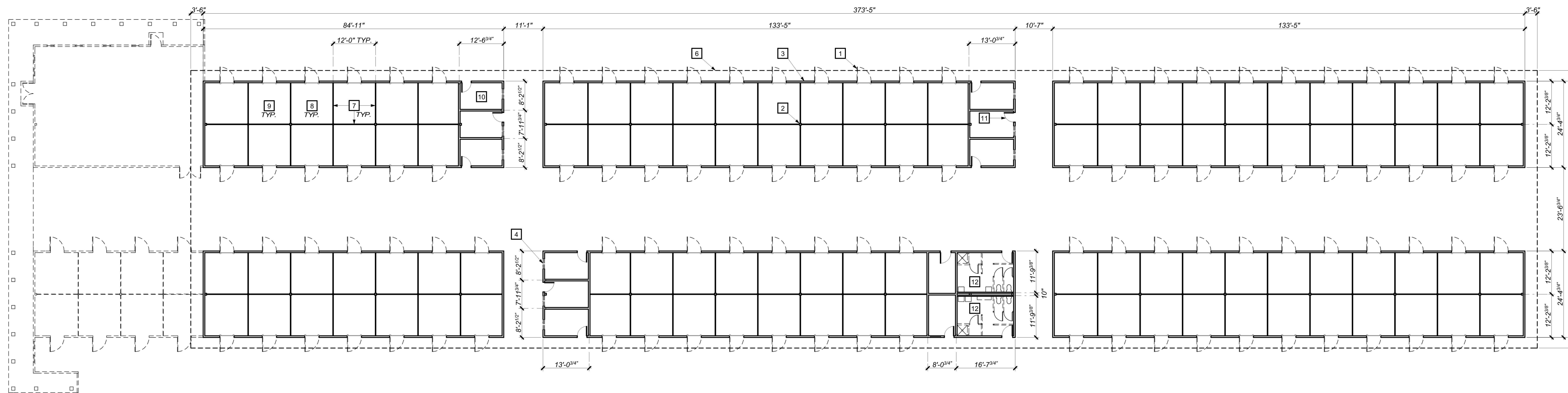
BUILDING SUMMARY

FAIRFLEX BUSINESS CENTER:
 BUILDING 1 = 20,541 S.F.
 BUILDINGS 4 & 7 = 24,523 S.F. EACH
 ALL BUILDINGS = ONE STORY 28' HIGH TYPE VB B1 / M1 / S1 / F1 OCCUPANCY FULLY SPRINKLERED. MAX ALLOWABLE FLOOR AREA = 8,500 S.F. BASIC AREA + 300% INCREASE FOR SPRINKLERS = 34,000 S.F. > AREA PROVIDED.

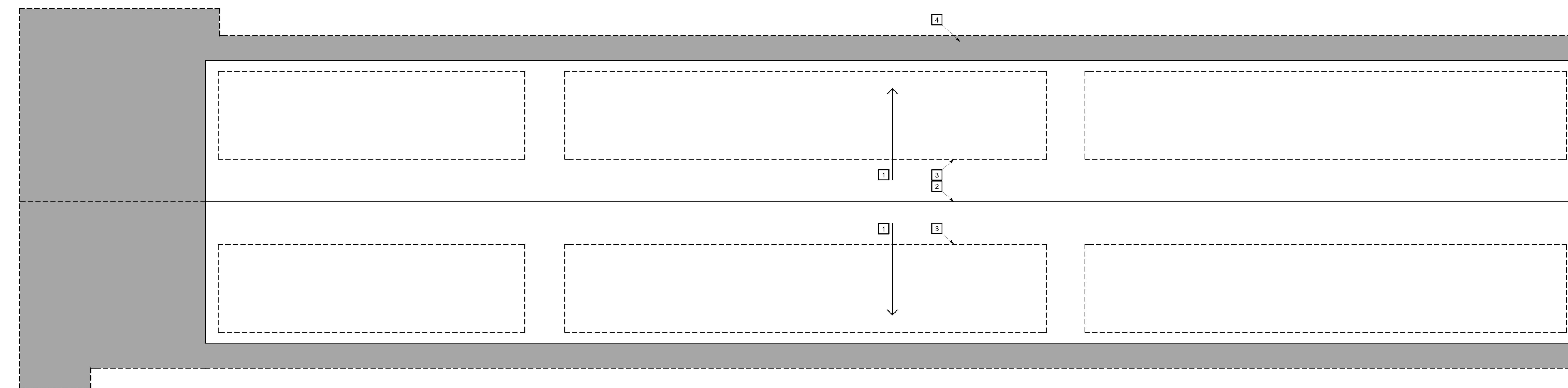
FAIRFLEX SELF STORAGE:
 BUILDING 1 = 31,209 S.F.
 ALL BUILDINGS = ONE STORY 10' HIGH TYPE VB S1 OCCUPANCY FULLY SPRINKLERED. MAX ALLOWABLE FLOOR AREA = 8,500 S.F. BASIC AREA + 300% INCREASE FOR SPRINKLERS = 34,000 S.F. > AREA PROVIDED.

PARKING SUMMARY

PARKING PROVIDED:
 TOTAL PARKING PROVIDED FOR BUSINESS CENTER = 228 STALLS = 1STALL / 309 S.F.



1 FLOOR PLAN



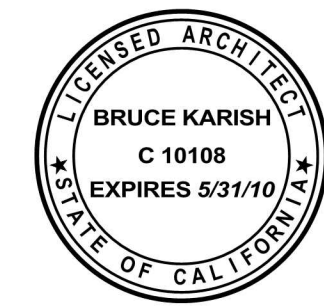
2 ROOF PLAN

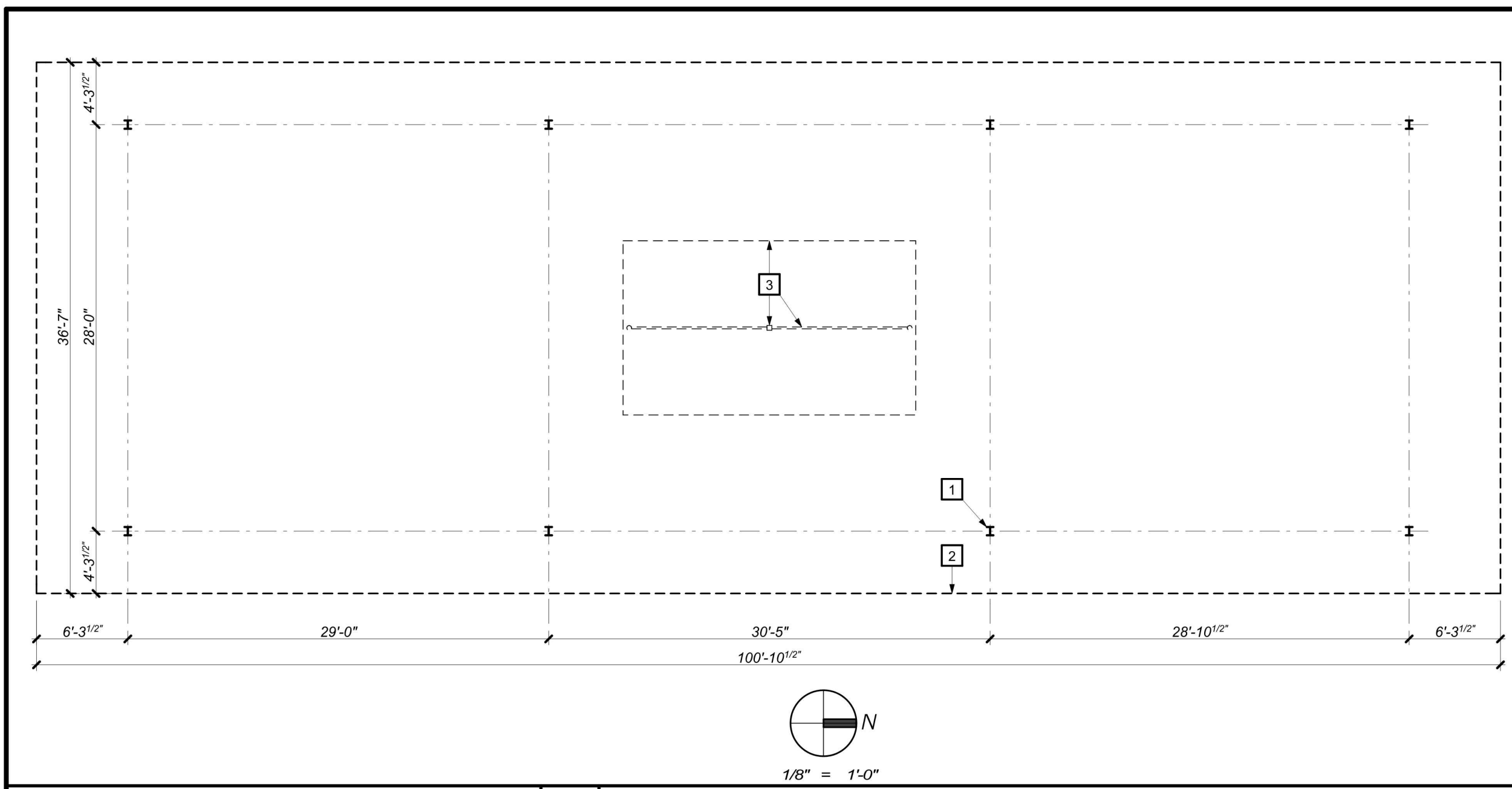
FLOOR PLAN KEY NOTES

- 1 (E) BARN DOOR TO BE REMOVED. REPLACE W/ PAINTED G.I. ROLL-UP DOOR.
- 2 (E) STEEL COLUMN.
- 3 (E) EXTERIOR WALL. INSIDE FACE OF WALL TO BE COVERED W/ 1/2" PAINTED PLYWOOD TO BOTTOM OF CEILING.
- 4 (E) EXTERIOR WINDOW. TO BE REMOVED. FRAME IN OPENING AND MATCH ADJACENT FINISHES.
- 5 (E) SLIDING BARN DOOR - TO BE REMOVED. REPLACE W/ PAINTED G.I. ROLL-UP DOOR.
- 6 LINE OF ROOF ABOVE.
- 7 (E) INTERIOR PARTITION TO BE COVERED BOTH SIDES W/ 1/2" PAINTED PLYWOOD TO BOTTOM OF NEW CEILING.
- 8 (N) 8' CEILING W/ 1/2" PAINTED PLYWOOD FINISH.
- 9 TYP @ AREAS W/ (E) DIRT FLOOR - PROVIDE (N) 4" THK CONCRETE FLOOR SLAB @ 2" OF SAND W/ 1 LAYER 10 MIL VISQUEEN @ CENTER OF SAND.
- 10 (E) ROOM W/ CONCRETE FLOOR SLAB, PAINTED PLYWOOD FINISH ON WALLS AND CEILING. CONTRACTOR TO VERIFY.
- 11 (E) EXTERIOR DOOR TO REMAIN.
- 12 REMOVE ALL PARTITIONS, PLUMBING AND WALL FINISHES. PROVIDE (N) 1/2" PAINTED PLYWOOD.
- 13 (E) INTERIOR DOOR - TO BE REMOVED. FRAME IN OPENING AND MATCH ADJACENT FINISHES.
- 14 (N) EXTERIOR DOOR TO MATCH EXISTING.

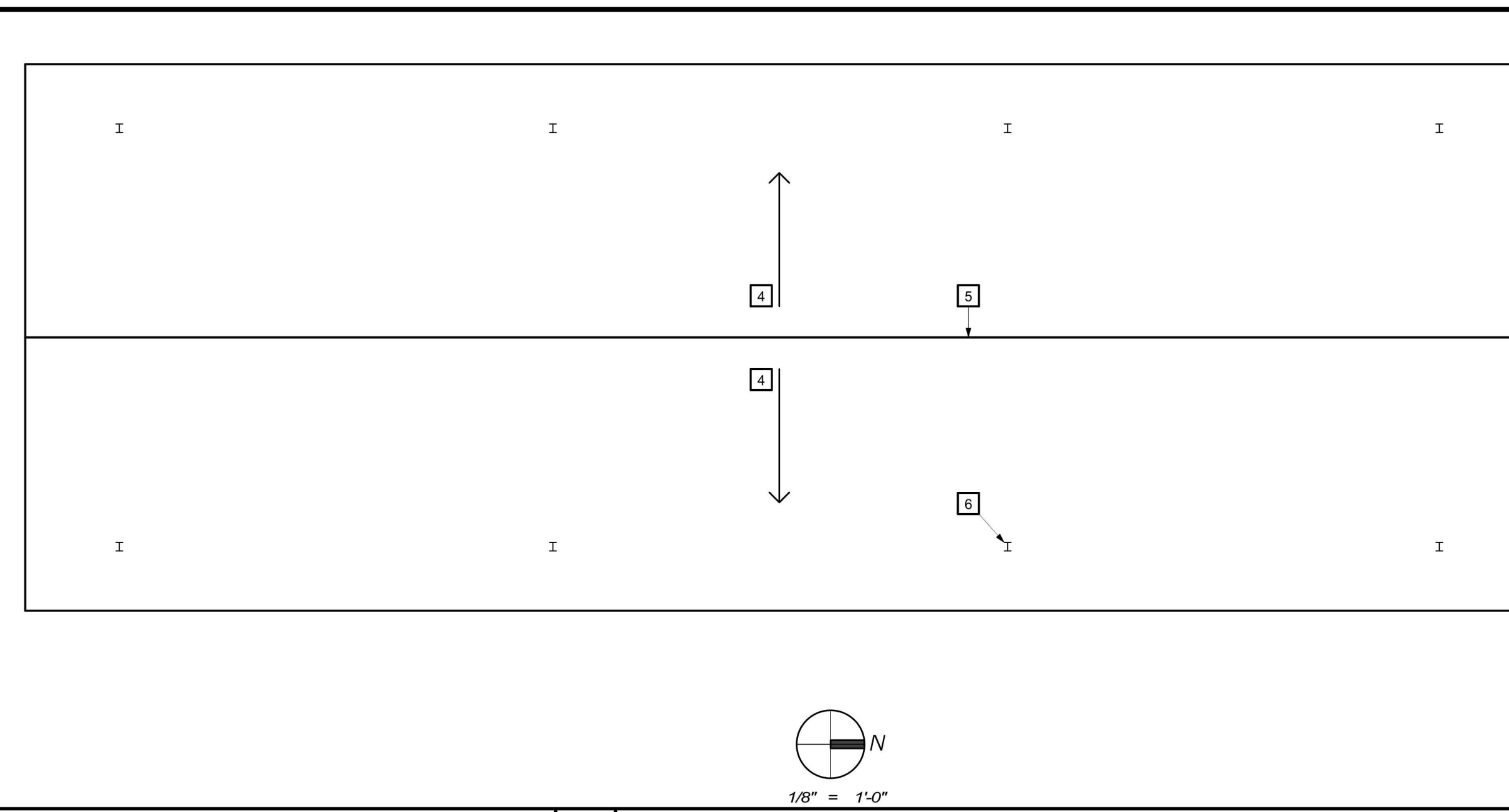
ROOF PLAN KEY NOTES

- 1 (E) CORRUGATED METAL ROOF SLOPED 1-1/2 IN 12.
- 2 (E) RIDGE LINE.
- 3 LINE OF EXTERIOR WALL BELOW.
- 4 @ SHADING - (E) ROOF - TO BE REMOVED.

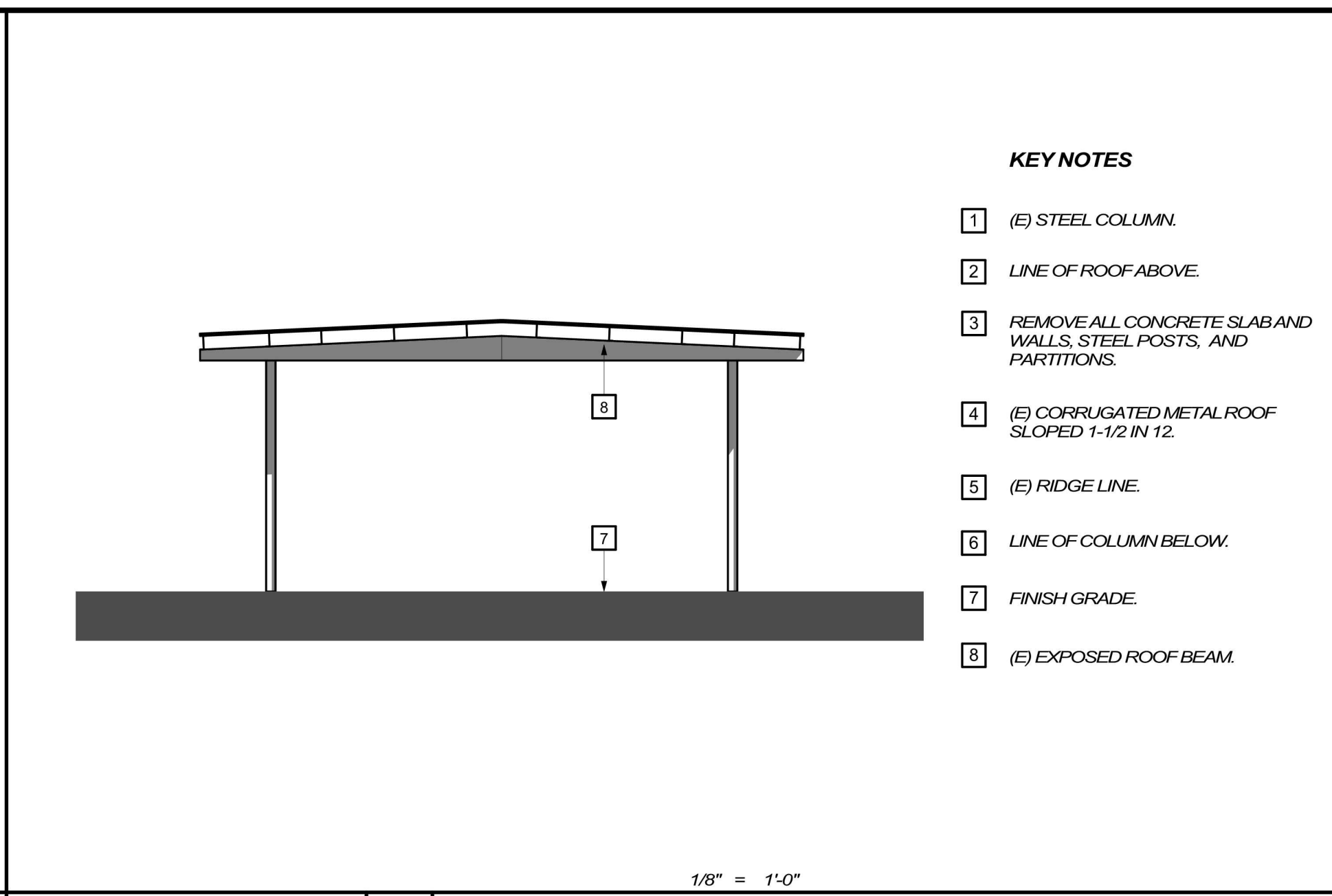




1 ROOF TYPE 1 - FLOOR PLAN

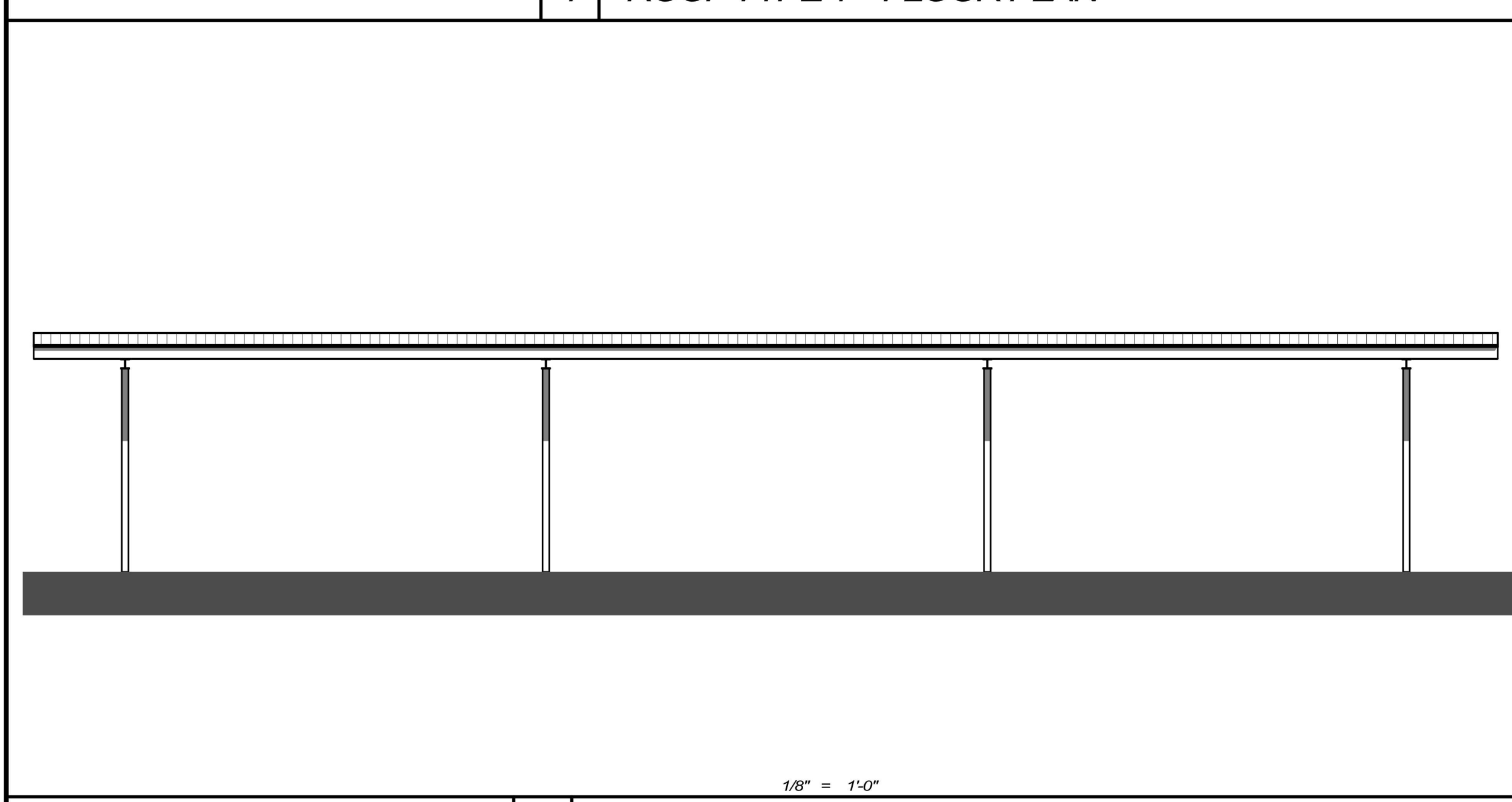


2 ROOF TYPE 1 - ROOF PLAN

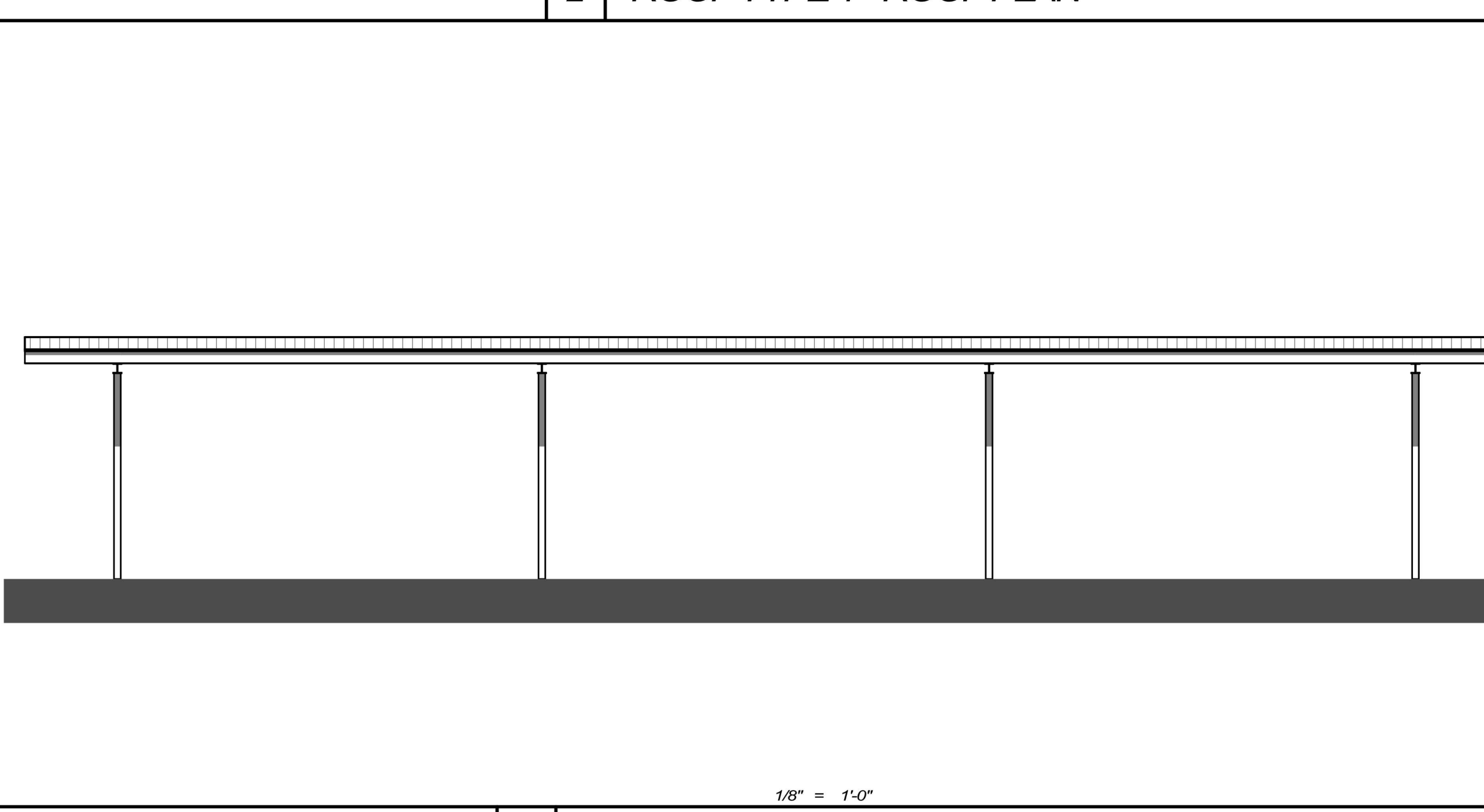


3 ROOF TYPE 1 - NORTH ELEVATION

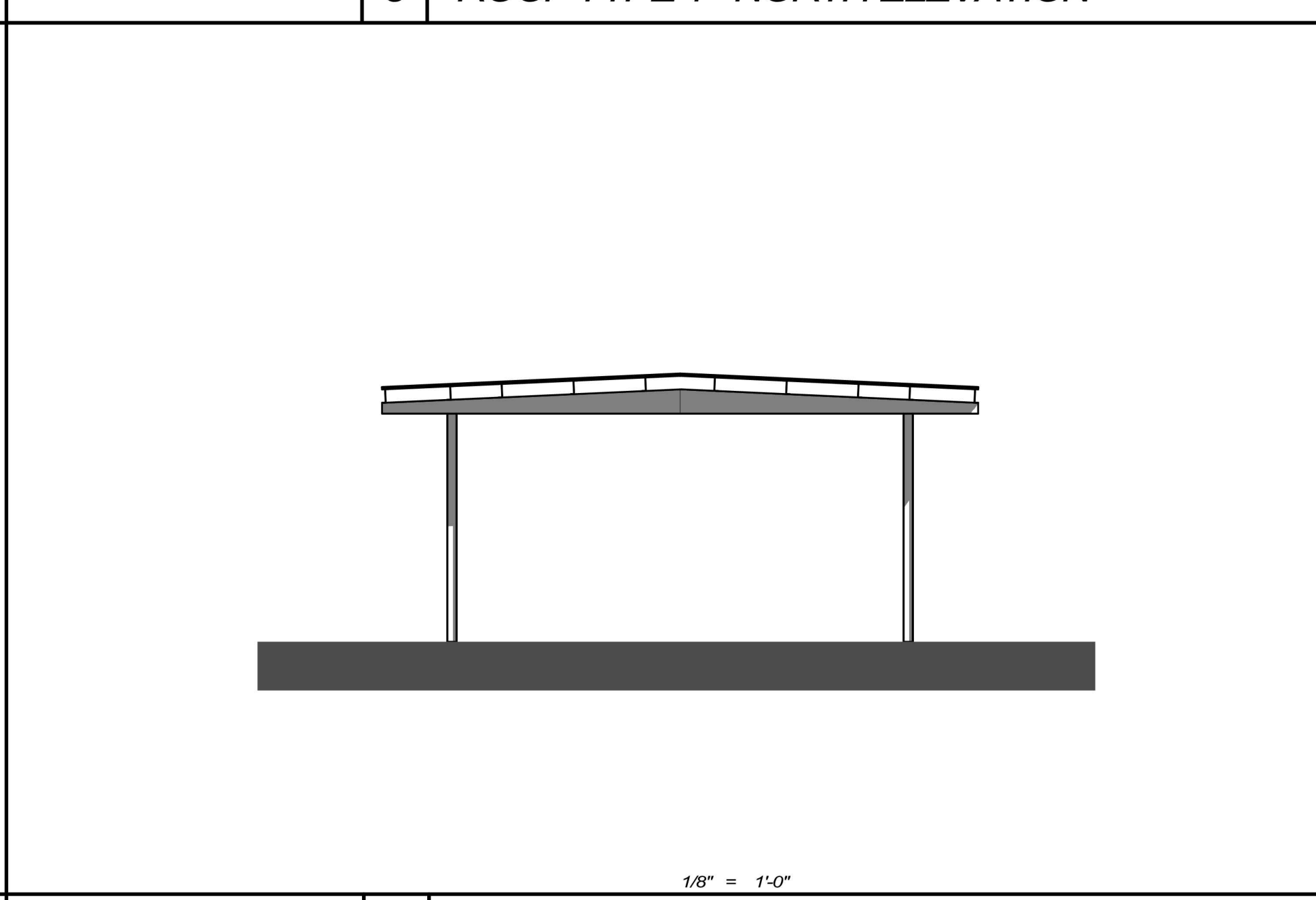
- KEY NOTES**
- 1 (E) STEEL COLUMN
 - 2 LINE OF ROOF ABOVE
 - 3 REMOVE ALL CONCRETE SLAB AND WALLS, STEEL POSTS, AND PARTITIONS.
 - 4 (E) CORRUGATED METAL ROOF SLOPED 1-1/2 IN 12
 - 5 (E) RIDGE LINE
 - 6 LINE OF COLUMN BELOW
 - 7 FINISH GRADE
 - 8 (E) EXPOSED ROOF BEAM



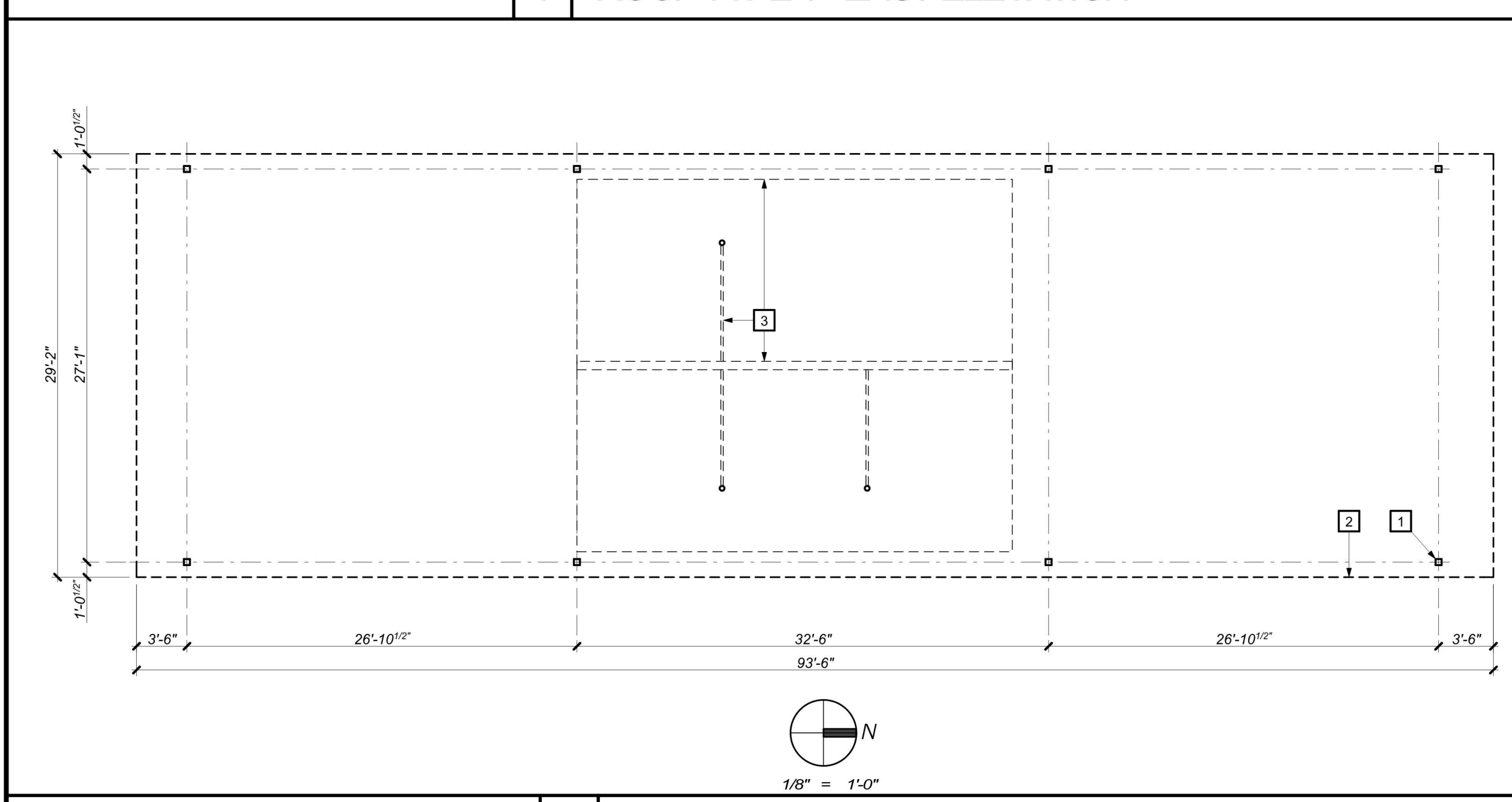
4 ROOF TYPE 1 - EAST ELEVATION



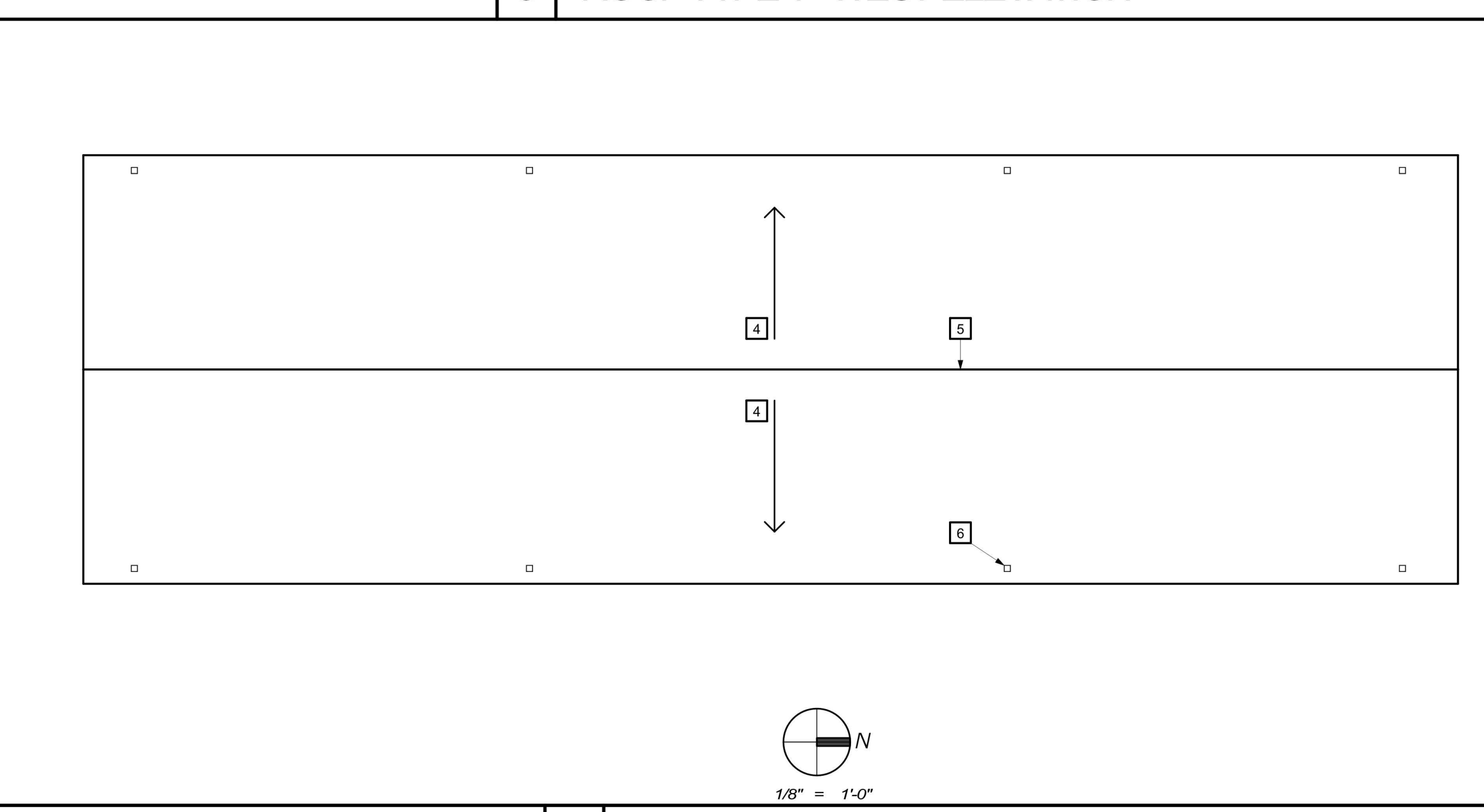
5 ROOF TYPE 1 - WEST ELEVATION



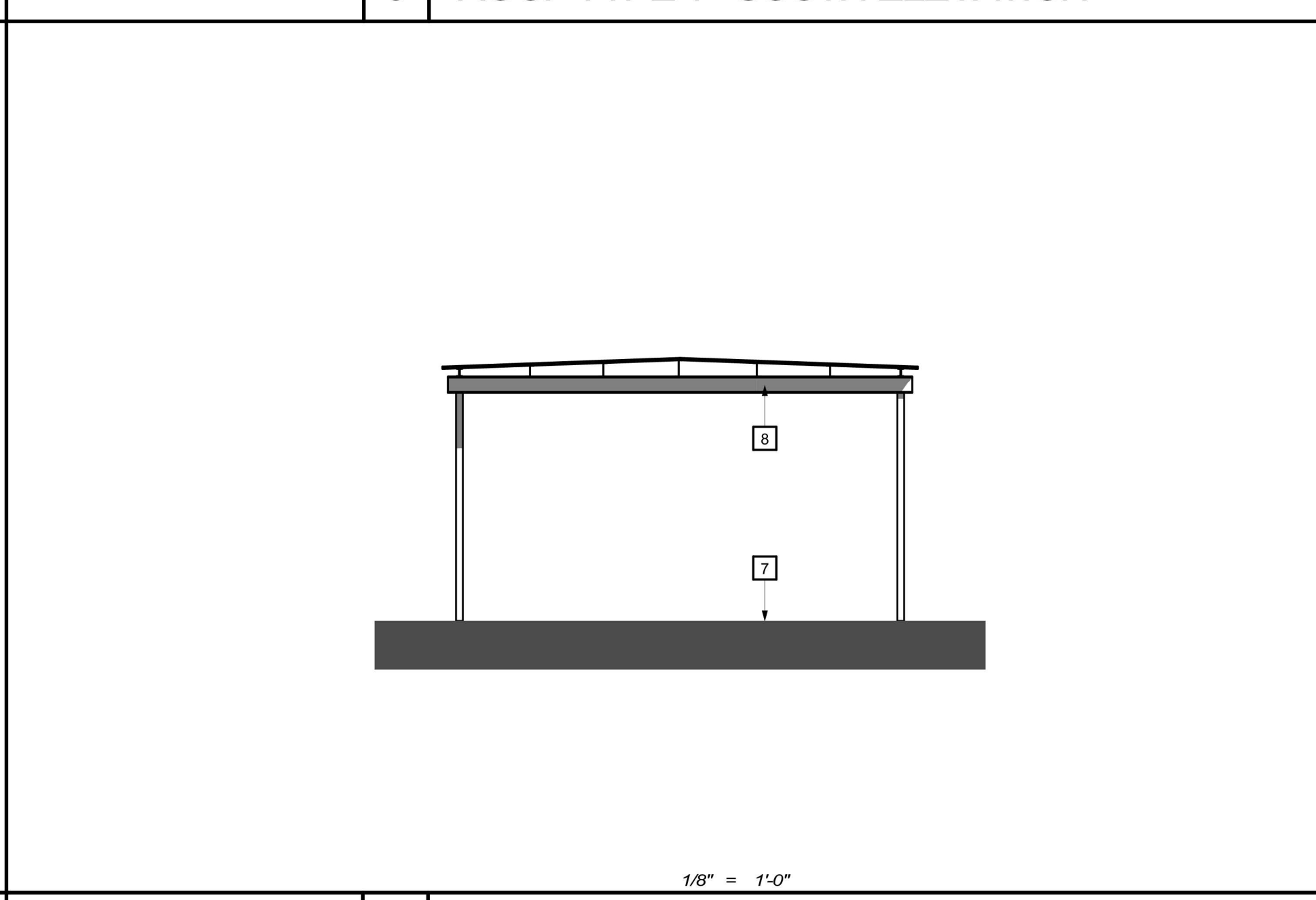
6 ROOF TYPE 1 - SOUTH ELEVATION



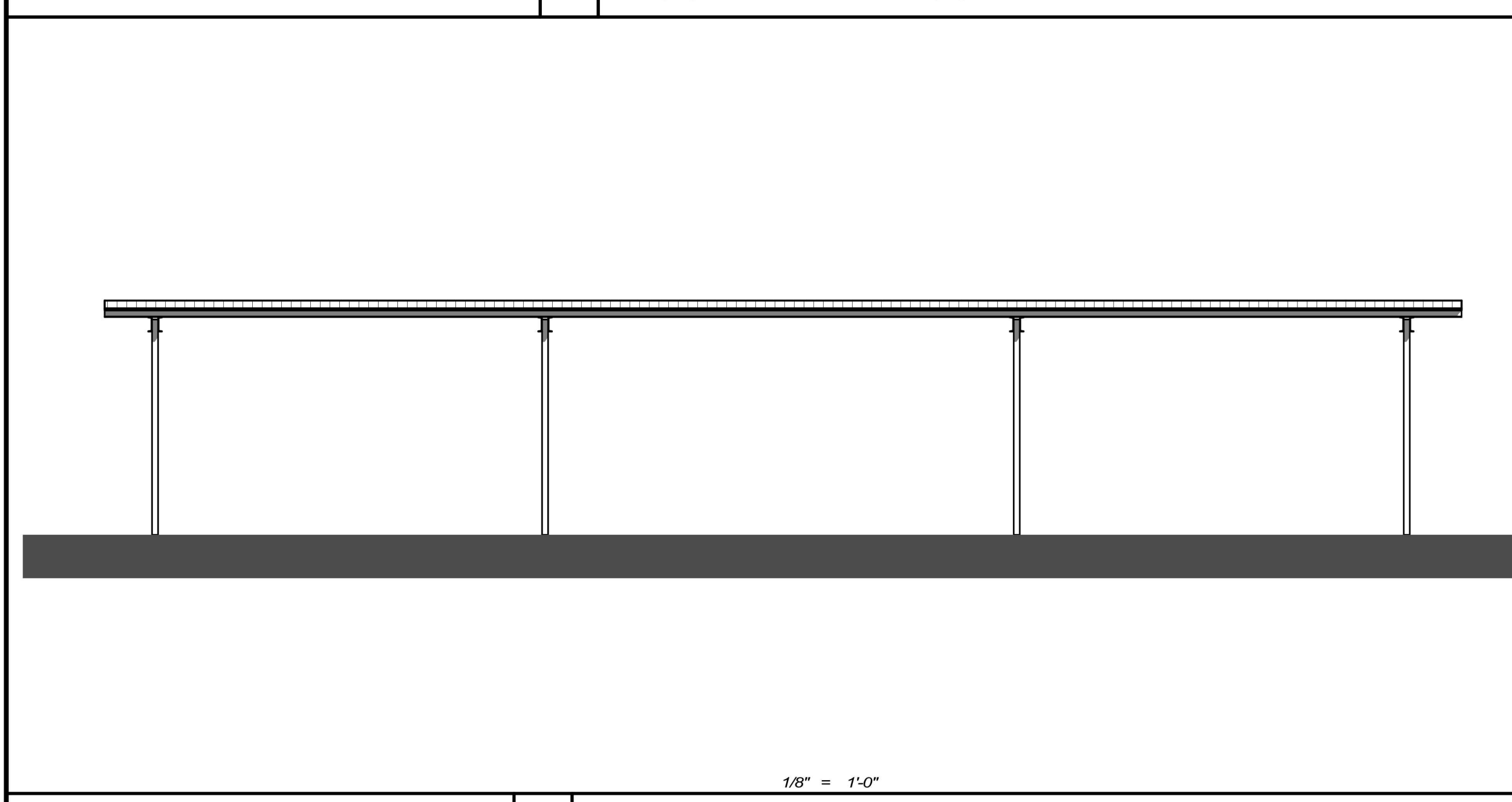
7 ROOF TYPE 2 - FLOOR PLAN



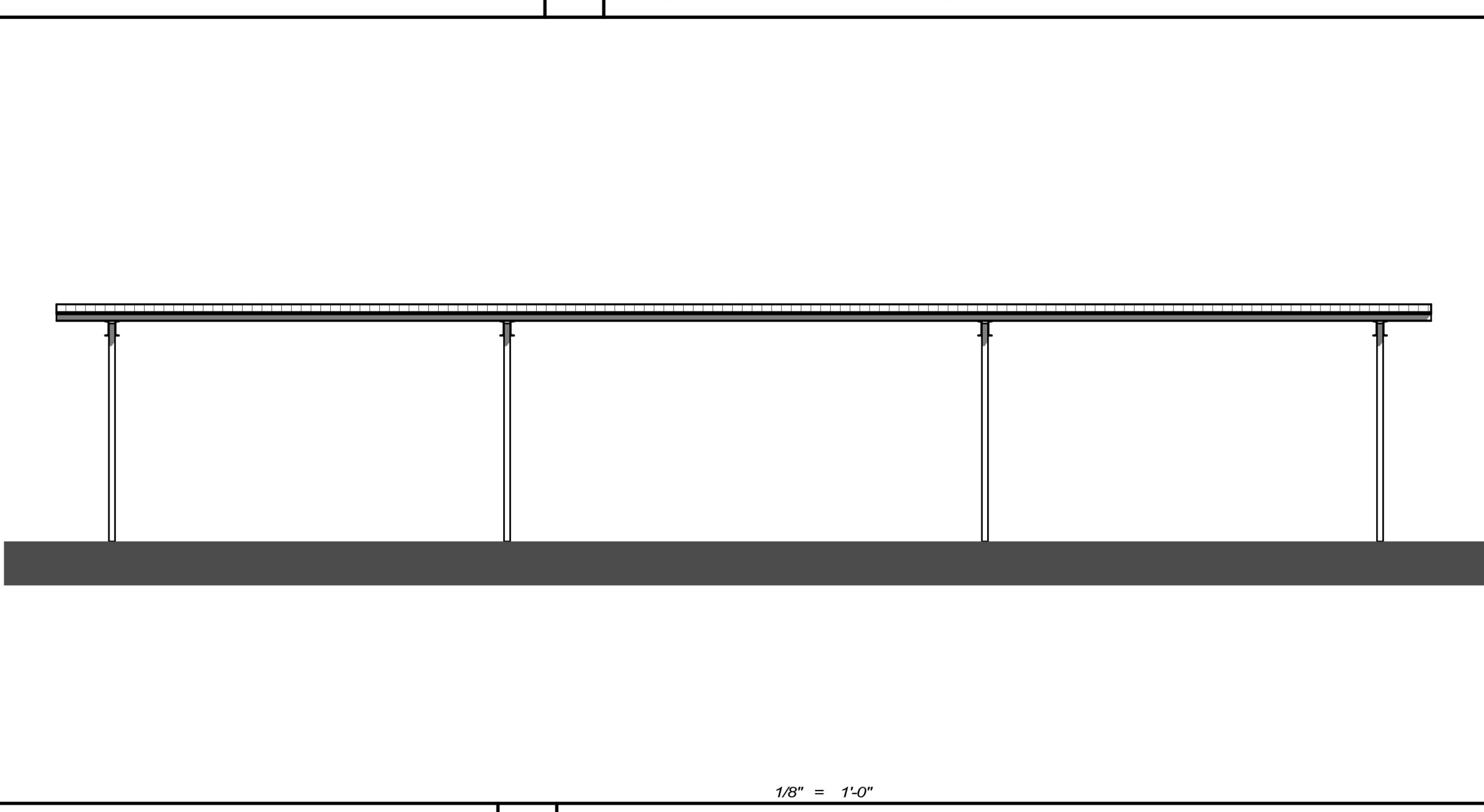
8 ROOF TYPE 2 - ROOF PLAN



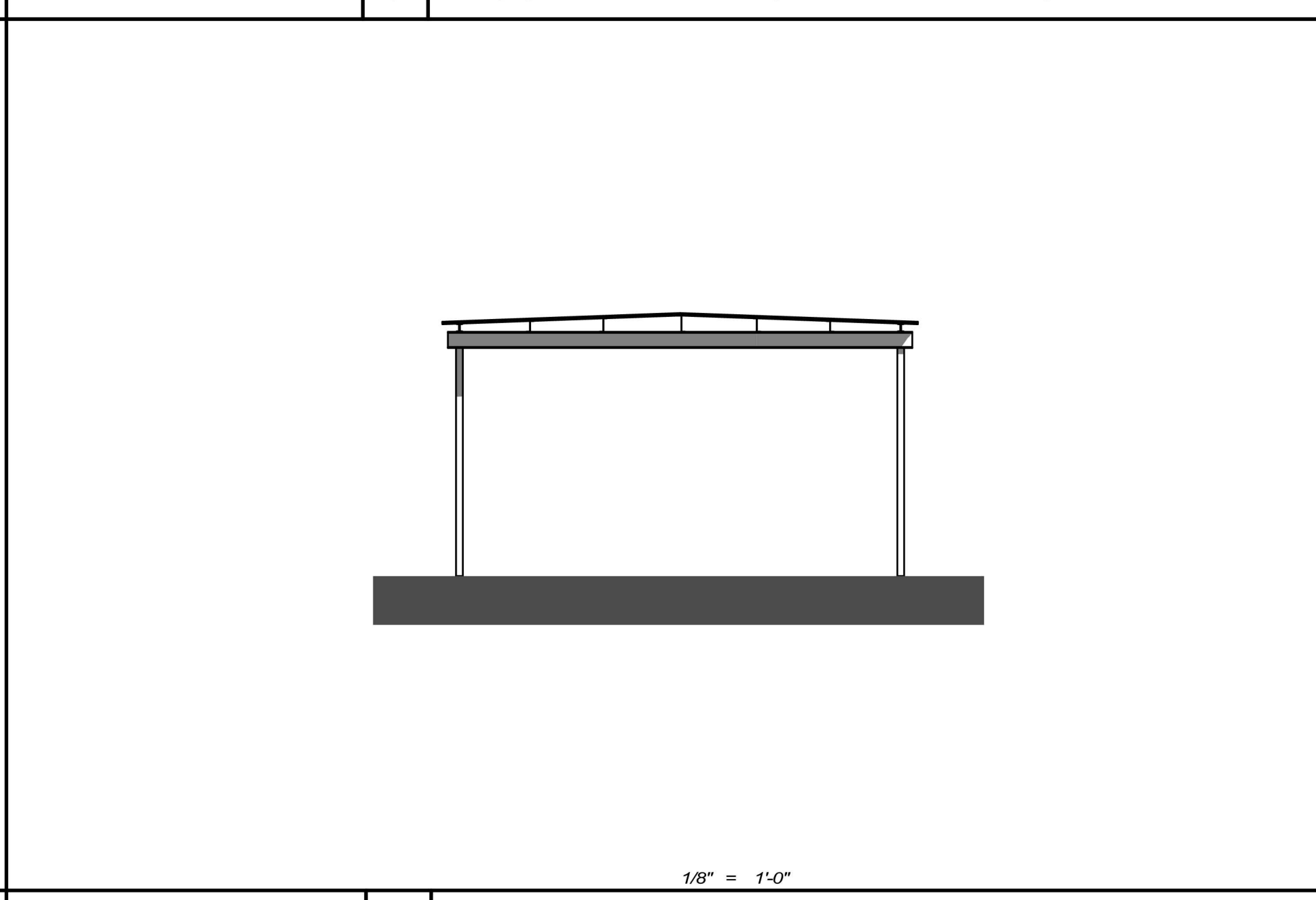
9 ROOF TYPE 2 - NORTH ELEVATION



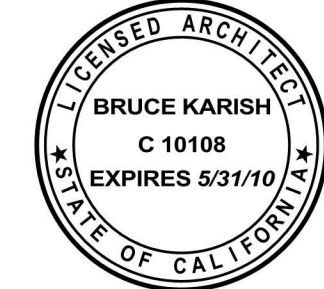
10 ROOF TYPE 2 - EAST ELEVATION



11 ROOF TYPE 2 - WEST ELEVATION



12 ROOF TYPE 2 - SOUTH ELEVATION

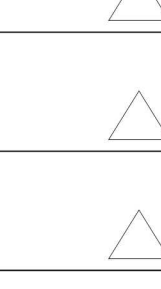


CLIENT
 FAIRFLEX
 1101 W. McKINLEY AVE
 POMONA, CA 91768
 909 865 4202

PROJECT TITLE
 FAIRFLEX BUSINESS CENTER
 & SELF STORAGE
 POMONA, CA

SHEET TITLE
 SELF STORAGE
 ROOF TYPES 1 & 2 FLOOR &
 ROOF PLANS & EXTERIOR
 ELEVATIONS

REVISIONS



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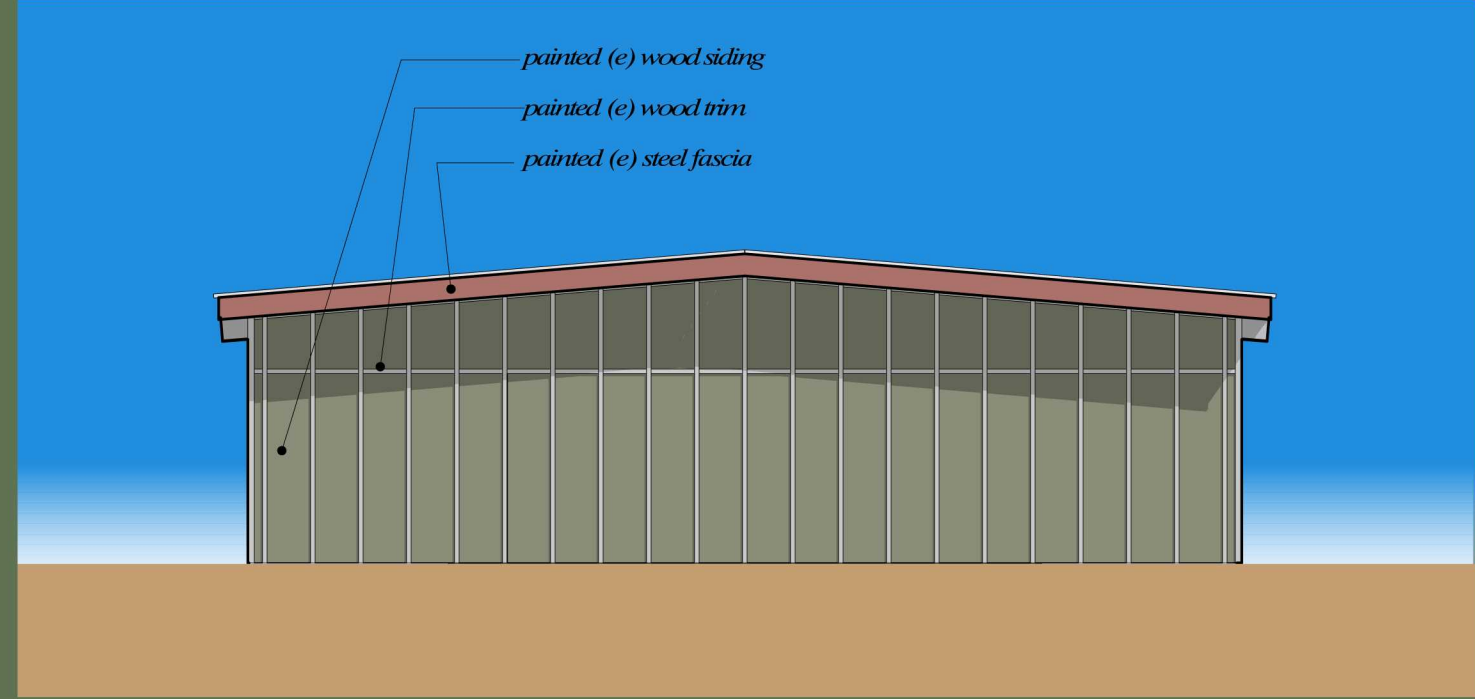
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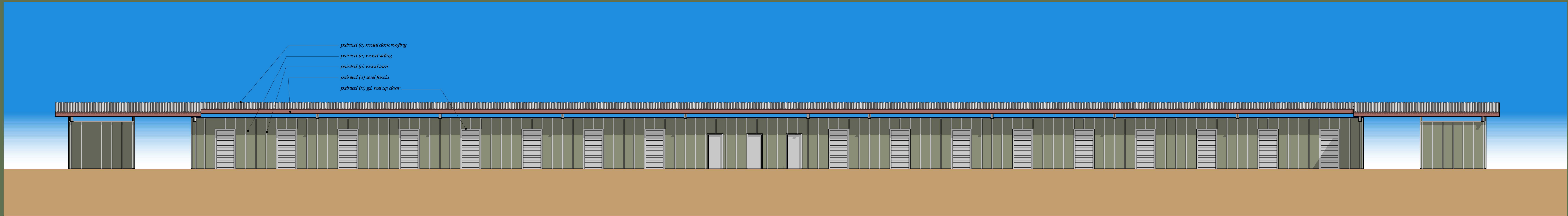
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Fairplex Business Center & Self Storage
L.A. County Fairgrounds
Pomona, Ca.

For Fairplex

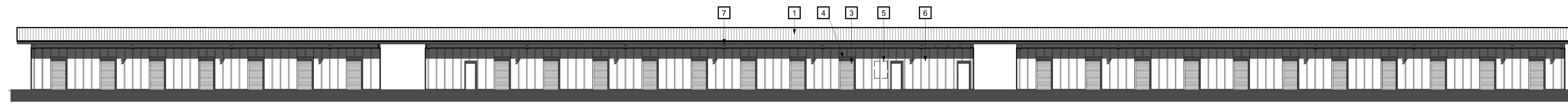


north facing elevation building 11
typ for all buildings

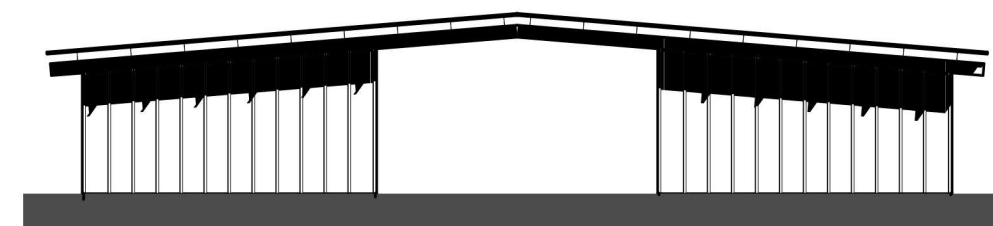


east facing elevation building 11
typ for all buildings

NOTE - ELEVATIONS SHOWN ARE TYPICAL FOR ALL SELF STORAGE BUILDINGS



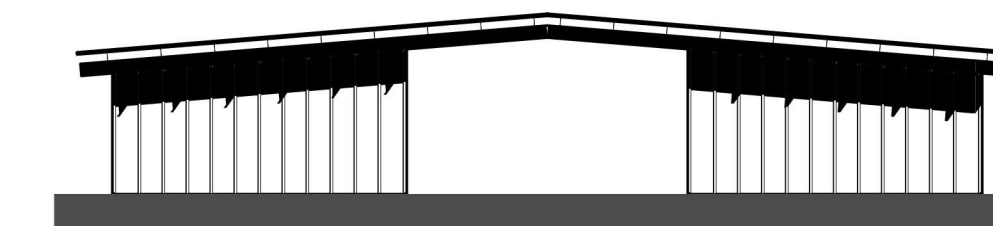
1/16" = 1'-0"
1 EAST ELEVATION



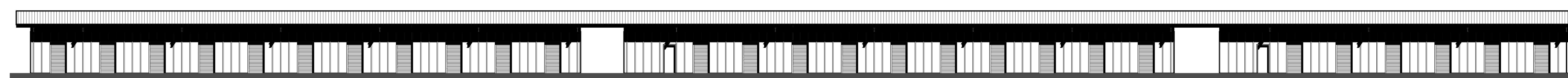
1/16" = 1'-0"
2 NORTH ELEVATION

EXTERIOR ELEVATION KEY NOTES

- 1 (E) CORRUGATED METAL ROOFING.
- 2 FINISH GRADE.
- 3 (N) PAINTED G.I. ROLL-UP DOOR.
- 4 (E) TRIM - TO REMAIN.
- 5 FILL-IN (E) WINDOW TO MATCH ADJACENT WALL.
- 6 (E) PLYWOOD PANELING W/ WOOD BATTS.
- 7 (E) EXPOSED ROOF BEAM.
- 8 PROVIDE PAINTED WOOD TRIM AROUND OPENING, MATCH (E).



1/16" = 1'-0"
3 SOUTH ELEVATION



1/16" = 1'-0"
4 WEST ELEVATION



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SHEET TITLE
SELF STORAGE
BLDG. 1 EXTERIOR
ELEVATIONS

REVISIONS

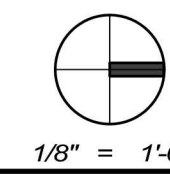
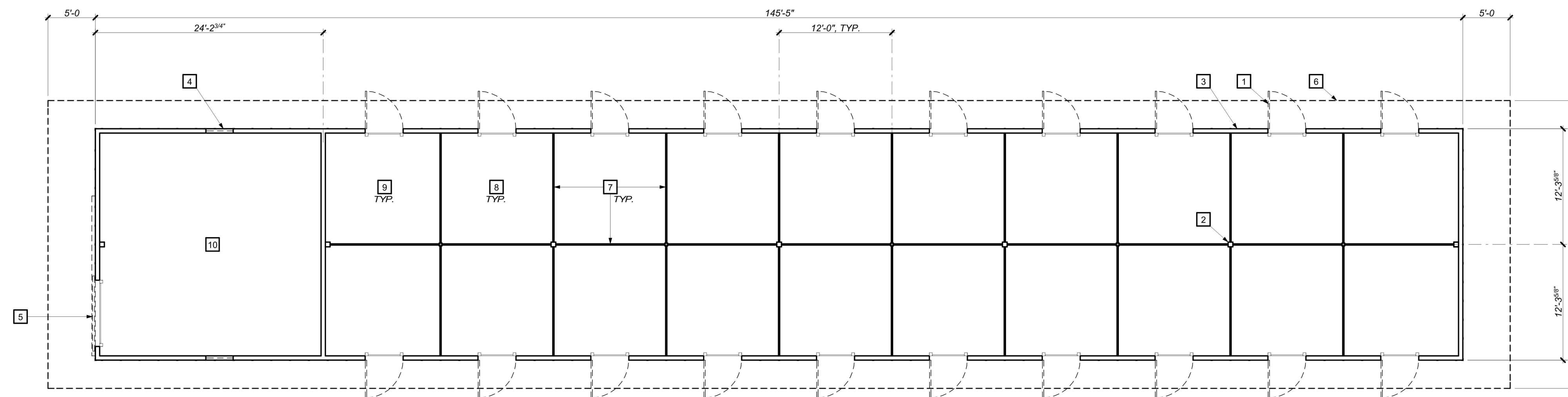
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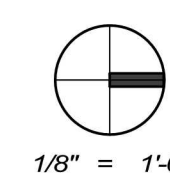
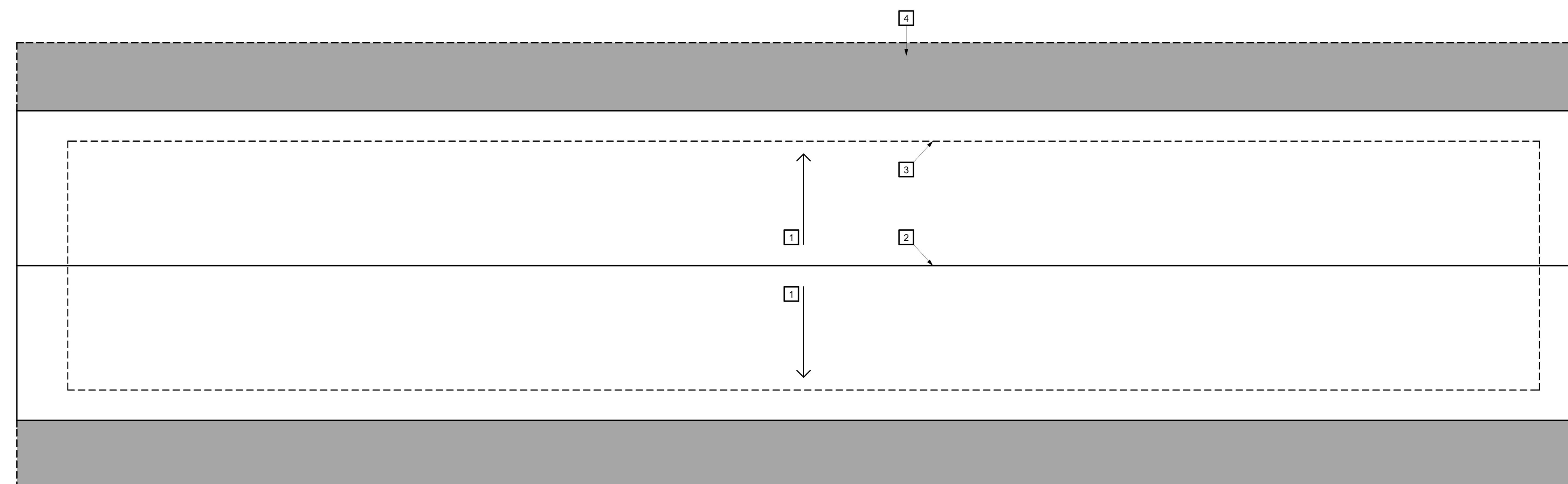
SHEET NO



1 FLOOR PLAN

FLOOR PLAN KEY NOTES

- 1 (E) BARN DOOR TO BE REMOVED. REPLACE W/ PAINTED G.I. ROLL-UP DOOR.
- 2 (E) STEEL COLUMN.
- 3 (E) EXTERIOR WALL, INSIDE FACE OF WALL TO BE COVERED W/ 1/2" PAINTED PLYWOOD TO BOTTOM OF CEILING.
- 4 (E) EXTERIOR WINDOW - TO BE REMOVED. FRAME IN OPENING AND MATCH ADJACENT FINISHES.
- 5 (E) SLIDING BARN DOOR - TO BE REMOVED. REPLACE W/ PAINTED G.I. ROLL-UP DOOR.
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- 8 (N) 8' CEILING W/ 1/2" PAINTED PLYWOOD FINISH.
- 9 TYP @ AREAS W/ (E) DIRT FLOOR - PROVIDE (N) 4" THK CONCRETE FLOOR SLAB @ 2" OF SAND W/ 1 LAYER 10 MIL VISQUEEN @ CENTER OF SAND.
- 10 (E) ROOM W/ CONCRETE FLOOR SLAB, PAINTED PLYWOOD FINISH ON WALLS AND CEILING. CONTRACTOR TO VERIFY.
- 11 (E) EXTERIOR DOOR TO REMAIN.
- 12 REMOVE ALL PARTITIONS, PLUMBING AND WALL FINISHES. PROVIDE (N) 1/2" PAINTED PLYWOOD.
- 13 (E) INTERIOR DOOR - TO BE REMOVED. FRAME IN OPENING AND MATCH ADJACENT FINISHES.
- 14 (N) EXTERIOR DOOR TO MATCH EXISTING.



2 ROOF PLAN

ROOF PLAN KEY NOTES

- 1 (E) CORRUGATED METAL ROOF SLOPED 1-1/2 IN 12.
- 2 (E) RIDGE LINE.
- 3 LINE OF EXTERIOR WALL BELOW.
- 4 @ SHADING - (E) ROOF - TO BE REMOVED.



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 POMONA, CA

SHEET TITLE
 SELF STORAGE
 BLDG. 3 FLOOR & ROOF PLANS.

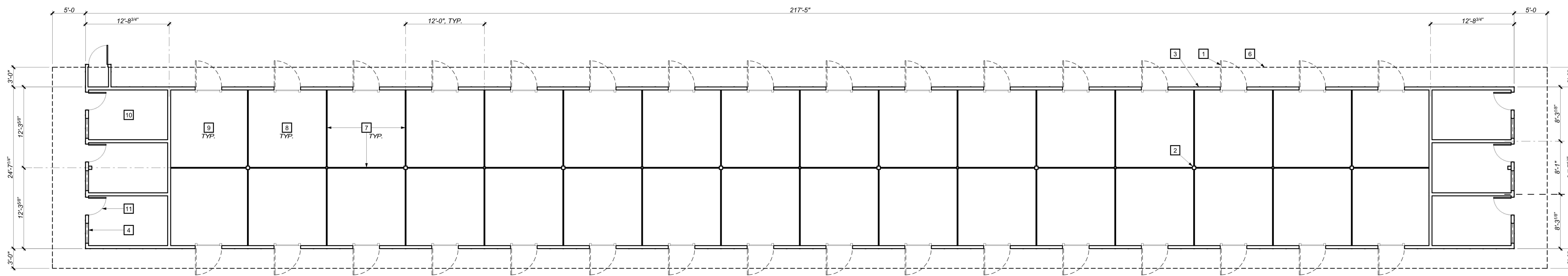
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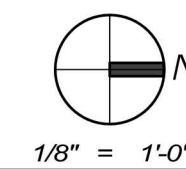
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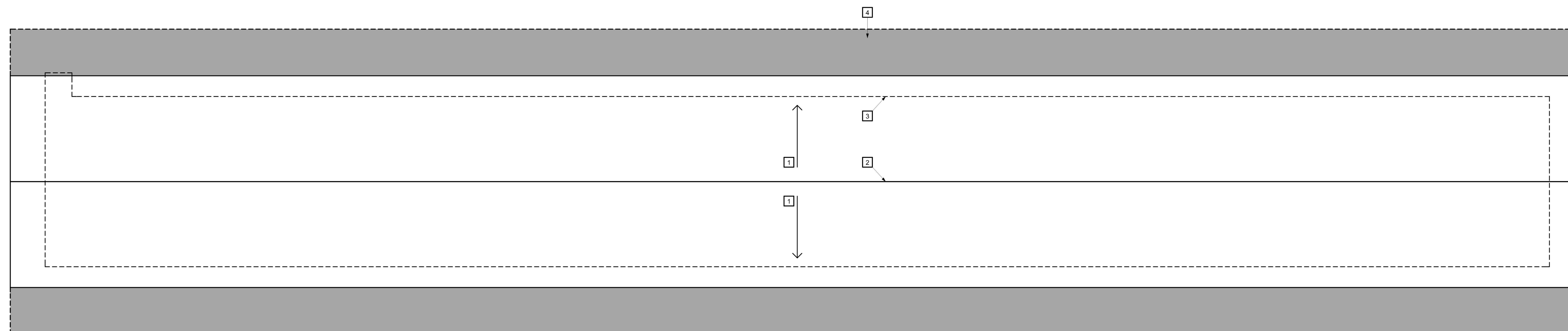
FLOOR PLAN KEY NOTES

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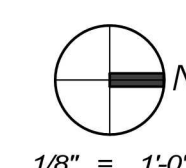
1/8" = 1'-0"

1 FLOOR PLAN



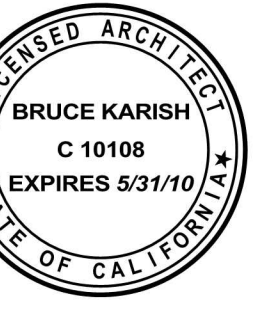
ROOF PLAN KEY NOTES

- 1 (E) CORRUGATED METAL ROOF SLOPED 1-1/2 IN 12.
- 2 (E) RIDGE LINE.
- 3 LINE OF EXTERIOR WALL BELOW.
- 4 @ SHADING - (E) ROOF - TO BE REMOVED.



1/8" = 1'-0"

2 ROOF PLAN

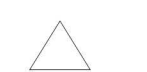
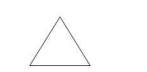
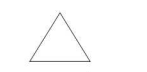


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SHEET TITLE
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BLDG. 4 FLOOR & ROOF PLANS.

REVISIONS



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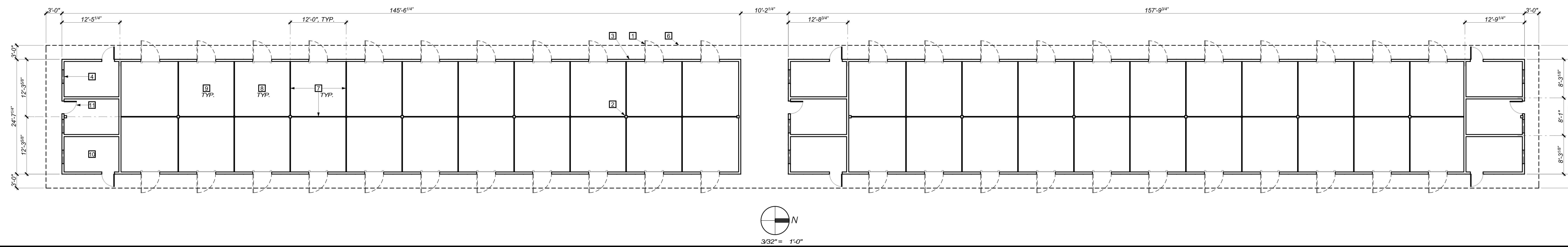
JOB NO

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SHEET NO

FLOOR PLAN KEY NOTES

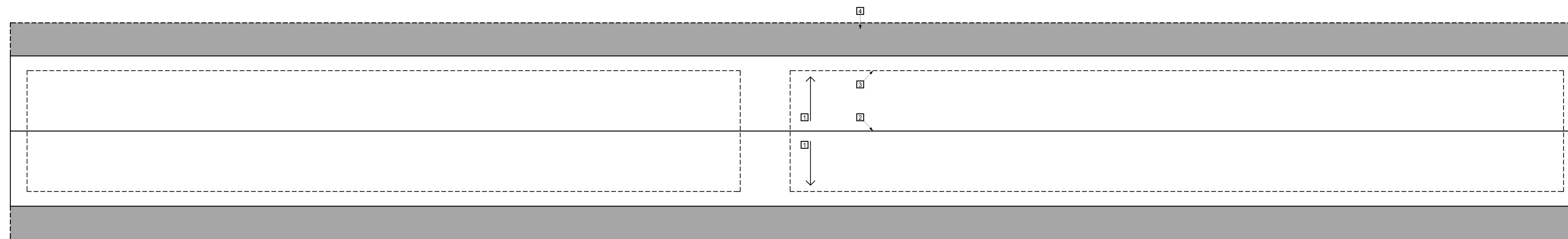
- 1 (E) BARN DOOR TO BE REMOVED. REPLACE W/ PAINTED G.I. ROLL-UP DOOR.
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- 4 (E) EXTERIOR WINDOW. TO BE REMOVED. FRAME IN OPENING AND MATCH ADJACENT FINISHES.
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- 10 (E) ROOM W/ CONCRETE FLOOR SLAB, PAINTED PLYWOOD FINISH ON WALLS AND CEILING. CONTRACTOR TO VERIFY.
- 11 (E) EXTERIOR DOOR TO REMAIN.
- 12 REMOVE ALL PARTITIONS, PLUMBING AND WALL FINISHES. PROVIDE (N) 1/2" PAINTED PLYWOOD.
- 13 (E) INTERIOR DOOR - TO BE REMOVED. FRAME IN OPENING AND MATCH ADJACENT FINISHES.
- 14 (N) EXTERIOR DOOR TO MATCH EXISTING.



1 FLOOR PLAN

ROOF PLAN KEY NOTES

- 1 (E) CORRUGATED METAL ROOF SLOPED 1-1/2 IN 12.
- 2 (E) RIDGE LINE.
- 3 LINE OF EXTERIOR WALL BELOW.
- 4 @ SHADING - (E) ROOF - TO BE REMOVED.



2 ROOF PLAN



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1101 W. McKINLEY AVE
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909 865 4202

PROJECT TITLE
FAIRFLEX BUSINESS CENTER
& SELF STORAGE
POMONA, CA

SHEET TITLE
SELF STORAGE
BLDG. 5 FLOOR & ROOF PLANS.

REVISIONS

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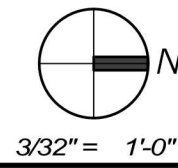
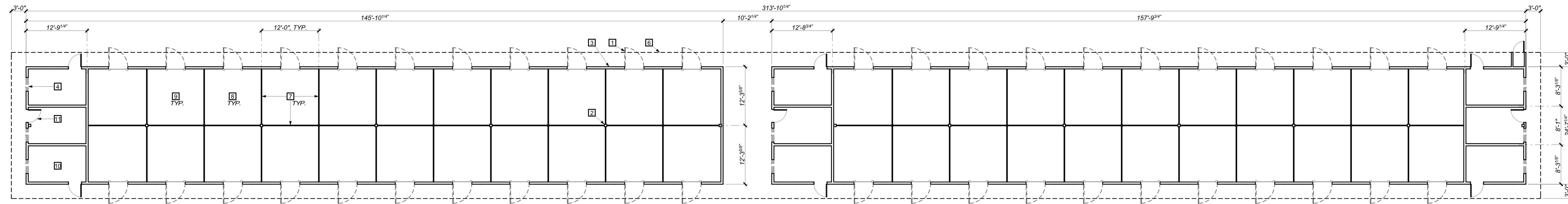
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FLOOR PLAN KEY NOTES

- 1 (E) BARN DOOR TO BE REMOVED. REPLACE W/ PAINTED G.I. ROLL-UP DOOR.
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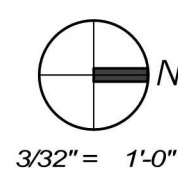
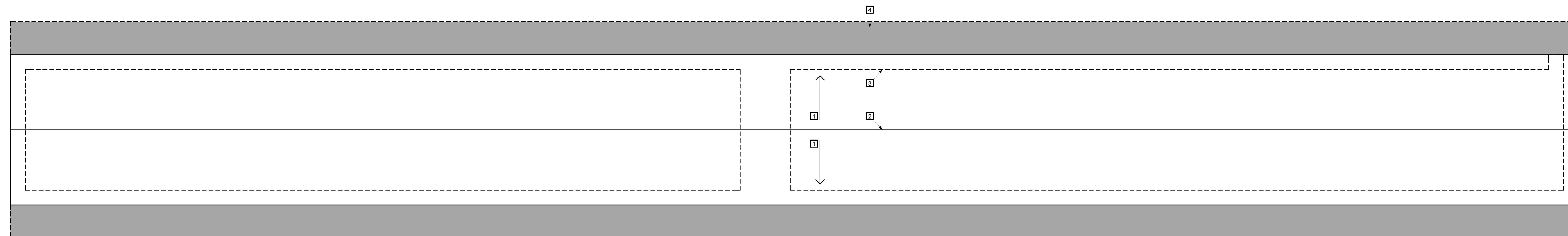


3/32" = 1'-0"

1 FLOOR PLAN

ROOF PLAN KEY NOTES

- 1 (E) CORRUGATED METAL ROOF SLOPED 1-1/2 IN 12.
- 2 (E) RIDGE LINE.
- 3 LINE OF EXTERIOR WALL BELOW.
- 4 @ SHADING - (E) ROOF - TO BE REMOVED.



3/32" = 1'-0"

2 ROOF PLAN



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SHEET TITLE
SELF STORAGE
BLDG. 7 FLOOR & ROOF PLANS.

REVISIONS

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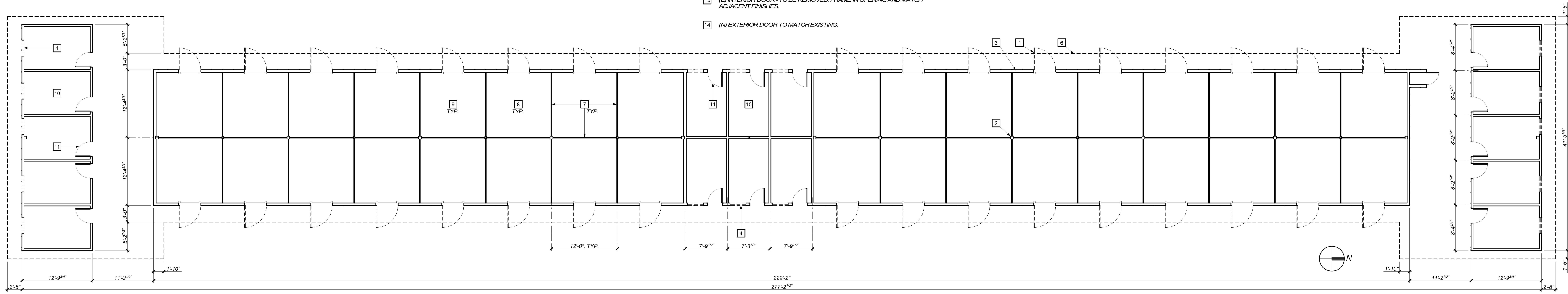
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FLOOR PLAN KEY NOTES

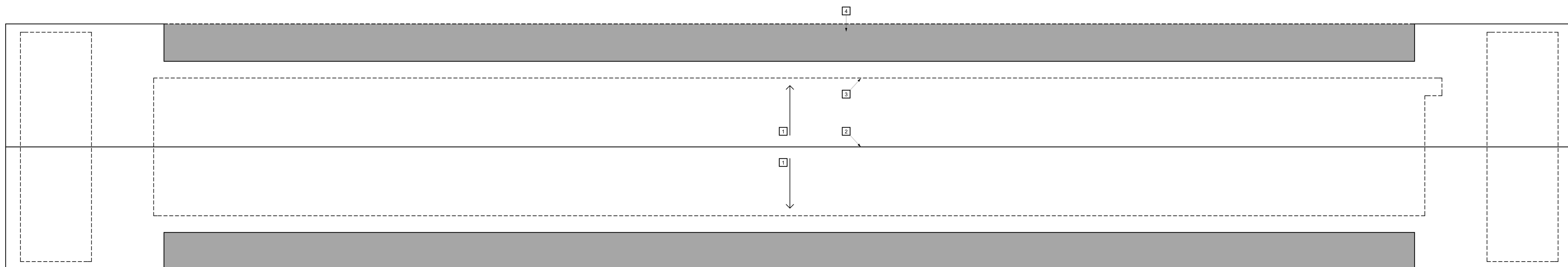
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1/8" = 1'-0"
1 FLOOR PLAN

ROOF PLAN KEY NOTES

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- 2 (E) RIDGE LINE.
- 3 LINE OF EXTERIOR WALL BELOW.
- 4 @ SHADING - (E) ROOF - TO BE REMOVED.



1/8" = 1'-0"
2 ROOF PLAN



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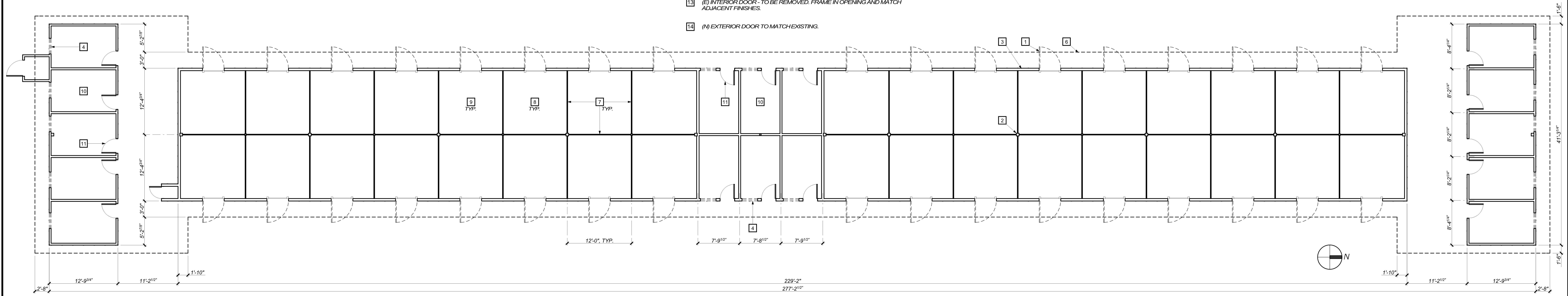
PROJECT TITLE
FAIRFLEX BUSINESS CENTER
& SELF STORAGE
POMONA, CA

SHEET TITLE
SELF STORAGE
BLDG. 8 FLOOR & ROOF PLANS.

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FLOOR PLAN KEY NOTES

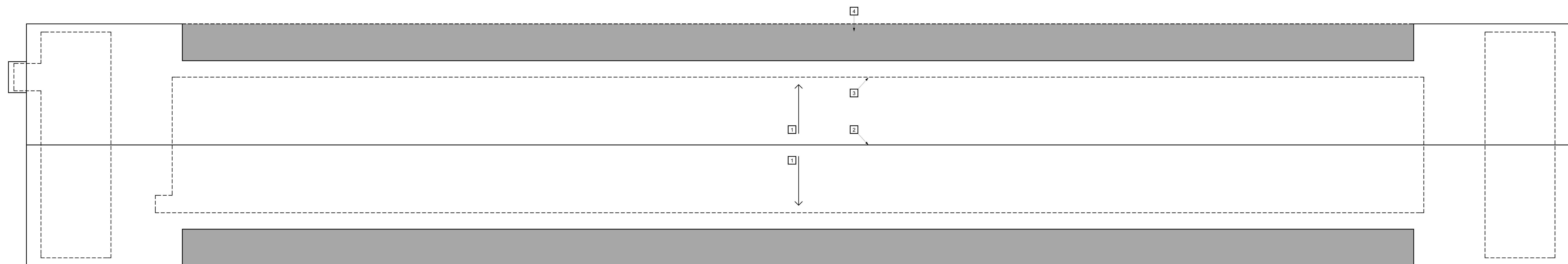
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1/8" = 1'-0"
1 FLOOR PLAN

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1/8" = 1'-0"
2 ROOF PLAN

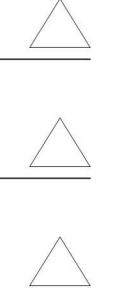


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PROJECT TITLE
FAIRFLEX BUSINESS CENTER
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SHEET TITLE
SELF STORAGE
BLDG. 9 FLOOR & ROOF PLANS

REVISIONS



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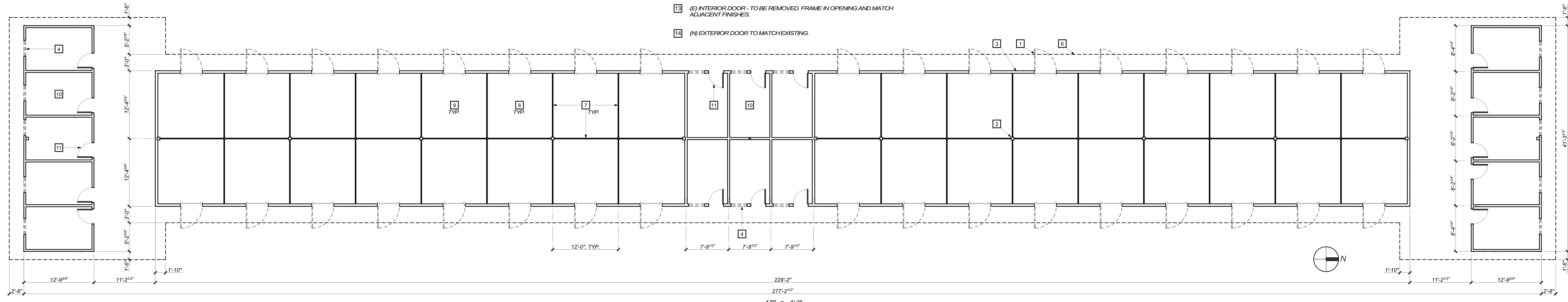
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FLOOR PLAN KEY NOTES

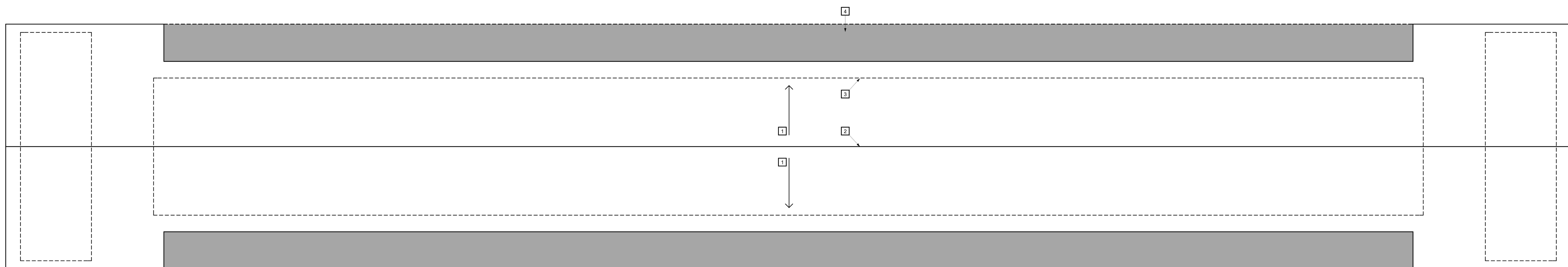
- 1 (E) BARN DOOR TO BE REMOVED, REPLACE W/ PAINTED GL. ROLL-UP DOOR.
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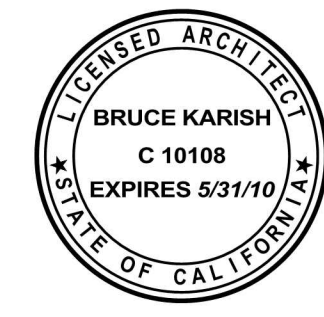
1 FLOOR PLAN

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2 ROOF PLAN



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POMONA, CA

SHEET TITLE
SELF STORAGE
BLDG. 11 FLOOR & ROOF PLANS

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