

ARELLANO RESIDENTIAL

1518 ARROYO AVENUE
POMONA, CA 91768

633668

ISSUE FOR REVIEW

08/05/2024

ARELLANO RESIDENTIAL
1518 ARROYO AVENUE
POMONA, CA 91768
633668

VOICE/DATA/AV CONSULTANT:
COMPANY
ADDRESS
SUITE NUMBER
CITY, STATE ZIP CODE
PHONE: XXX-XXX-XXXX
FAX: XXX-XXX-XXXX
CONTACT:
EMAIL:

LIGHTING DESIGNER:
COMPANY
ADDRESS
SUITE NUMBER
CITY, STATE ZIP CODE
PHONE: XXX-XXX-XXXX
FAX: XXX-XXX-XXXX
CONTACT:
EMAIL:

STRUCTURAL ENGINEER:
COMPANY
ADDRESS
SUITE NUMBER
CITY, STATE ZIP CODE
PHONE: XXX-XXX-XXXX
FAX: XXX-XXX-XXXX
CONTACT:
EMAIL:

PLUMBING ENGINEER:
COMPANY
ADDRESS
SUITE NUMBER
CITY, STATE ZIP CODE
PHONE: XXX-XXX-XXXX
FAX: XXX-XXX-XXXX
CONTACT:
EMAIL:

ELECTRICAL ENGINEER:
COMPANY
ADDRESS
SUITE NUMBER
CITY, STATE ZIP CODE
PHONE: XXX-XXX-XXXX
FAX: XXX-XXX-XXXX
CONTACT:
EMAIL:

MECHANICAL ENGINEER:
COMPANY
ADDRESS
SUITE NUMBER
CITY, STATE ZIP CODE
PHONE: XXX-XXX-XXXX
FAX: XXX-XXX-XXXX
CONTACT:
EMAIL:

GENERAL CONTRACTOR:
NAME
COMPANY
ADDRESS
SUITE NUMBER
CITY, STATE ZIP CODE
PHONE: XXX-XXX-XXXX
FAX: XXX-XXX-XXXX
EMAIL:

CLIENT:
NAME:
COMPANY:
ADDRESS:
SUITE NUMBER:
CITY, STATE ZIP CODE:
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PROJECT:
ARELLANO RESIDENTIAL

MULTI-FAMILY
DEVELOPMENT

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CONTACT LIST	
ARCHITECT: SAA INTERIOR + ARCHITECTURE 6083 BRISTOL PARKWAY CULVER CITY, CA 90230 PHONE: 310-553-3252 CONTACT: JEFF BROWNING EMAIL: j.browning@saaia.com	CLIENT: Arroyo-Holdings, LLC 212 E Rowland Street, Suite 264 Covina, CA 91723 Attention: Ernie Arellano Email: ernesto@residence-group.com

VICINITY MAP

DATE:

08/05/2024

DRAWN:

VL

REVIEWED:

VL

PROJECT NO:

633668

SCALE:

SHEET TITLE:

SHEET NO:

A-0.0



COUNTY OF LOS ANGELES FIRE DEPARTMENT
FIRE PREVENTION DIVISION

Fire Prevention Engineering
5823 Rickenbacker Road
Los Angeles, CA 90040
Telephone (323) 890-4125 Fax (323) 890-4129

Information on Fire Flow Availability for Building Permit

For All Buildings Other Than One and Two Family Dwellings (R-3), Townhomes, and Accessory Dwelling Units

INSTRUCTIONS:

Complete parts I & II:

Verifying fire flow, fire hydrant location and fire hydrant size.

PROJECT INFORMATION
(To be completed by applicant)

PART I

Building Address: 1518 Arroyo Avenue
City or Area: Pomona, CA APN: _____
Nearest Cross Street: Dudley Street
Distance of Nearest Cross Street to Property Line: *1- 200ft
Applicant: Ernesto Arellano Telephone: () 909-732-3659
Address: 1518 Arroyo Avenue
City: Pomona, CA
Occupancy (Use of Building): R-2 Fire Sprinklered: Yes ☐ No ☐
Type of Construction: Type-VA
Square Footage: 24,000 sf Number of Stories: 2.5

Ernesto Arellano
Applicant's Signature
9/26/2024
Date

PART II INFORMATION ON FIRE FLOW AVAILABILITY
(Part II to be completed by Water Purveyor)

Location of hydrant: 1552 Arroyo Ave Hydrant Number: G12_078

Distance from Nearest Property Line: 274' Size of Hydrant: 6" Size of Water main: 8"
Static PSI: 60 Residual PSI: 54 Office size: 2-1/2 Pilot: 40
Fire Flow at 20 PSI: 2953 GPM Duration: 5 min. ☒ Flow Test Date / Time: 11/4/24 9:10 AM
☐ Hydraulic model

Location of hydrant: _____ Hydrant Number: _____

Distance from Nearest Property Line: _____ Size of Hydrant: _____ Size of Water main: _____
Static PSI: _____ Residual PSI: _____ Office size: _____ Pilot: _____
Fire Flow at 20 PSI: _____ Duration: _____ ☐ Flow Test Date / Time: _____
☐ Hydraulic model

Location of hydrant: _____ Hydrant Number: _____

Distance from Nearest Property Line: _____ Size of Hydrant: _____ Size of Water main: _____
Static PSI: _____ Residual PSI: _____ Office size: _____ Pilot: _____
Fire Flow at 20 PSI: _____ Duration: _____ ☐ Flow Test Date / Time: _____
☐ Hydraulic model

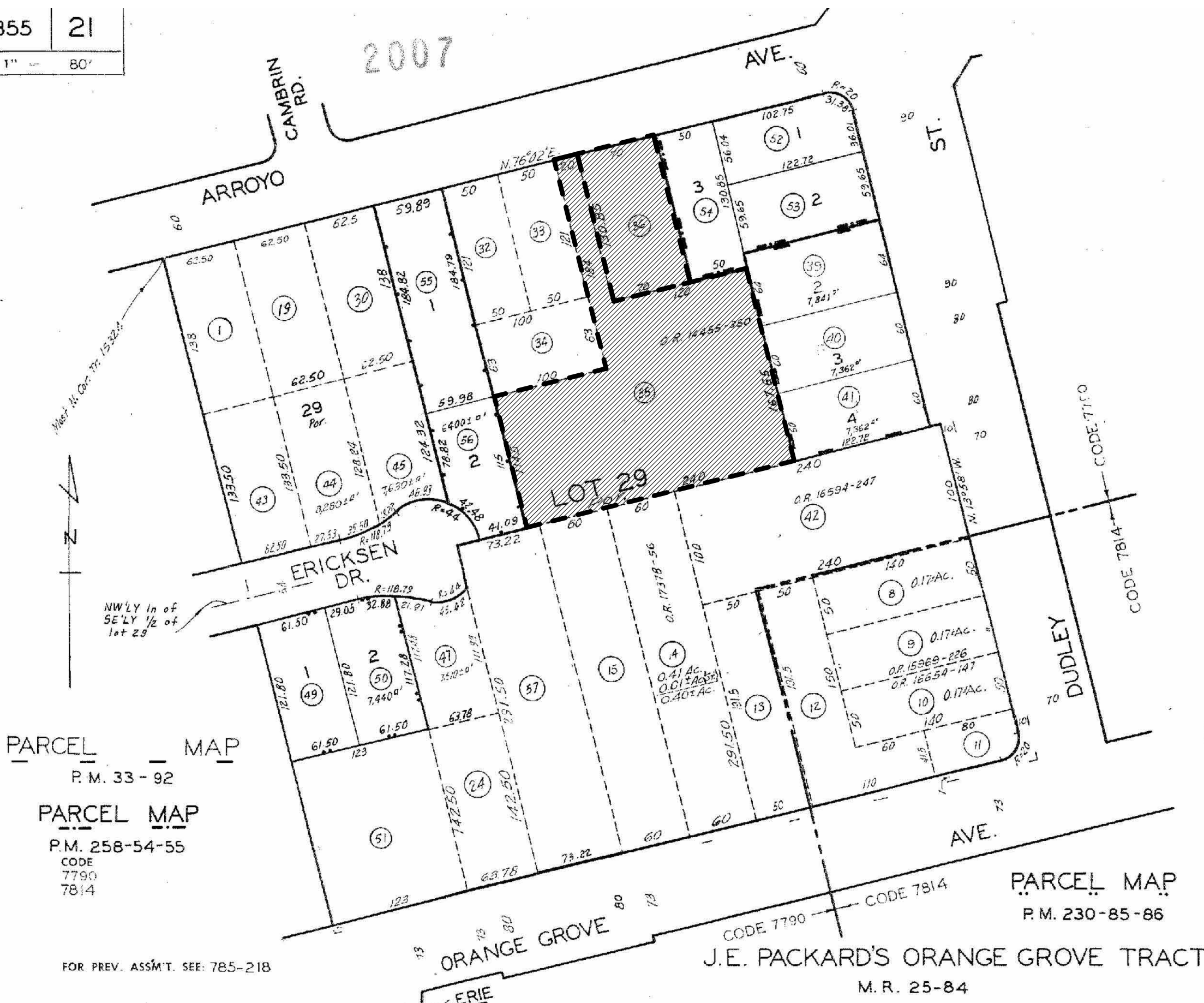
Location of hydrant: _____ Hydrant Number: _____

City of Pomona
Water Purveyor: _____ Signature: _____
909-620-2239 11/13/24 Utility Associate Civil Engineer
Phone Number: _____ Date: _____ Title: _____

This Information is Considered Valid for Twenty Four Months

Fire Department approval of building plans shall be required prior to the issuance of a Building Permit by the jurisdictional Building Department. Any differences in water systems will need to be resolved by the Fire Prevention Division 922 prior to this department's approval of building plans.

8355 21
SCALE 1" = 80'



PARCEL MAP
P.M. 260-11-12

Street lines per M.R. 25-84
were considered the lot
lines in this tract, although
the distances of same are
not measured from the
center line of the street.

PARCEL MAP
P.M. 230-85-86

ASSESSOR'S MAP
COUNTY OF LOS ANGELES, CALIF.

PARCEL MAP

SCALE:
N.T.S.

3

PROJECT INFORMATION

SCOPE OF WORK:

FOR THE PURPOSES OF THIS PROJECT LOTS WITH APNs ENDING IN 35 & 36 WILL BE TIED UNDER A SEPARATE PERMIT AND APPROVAL.

17-UNIT MULTI-FAMILY DEVELOPMENT, AS FOLLOWS:

OCCUPANCY: R-3/U-1
CONSTRUCTION TYPE: V-8 NR (SPRINKLERED)

ZONING: R-1-600, SB330 OVERLAY ZONE, T-3
GENERAL PLAN USE: MULTI-FAMILY RESIDENTIAL

LOT DESCRIPTIONS:

LOT 35 AREA: 37,533 SF
LOT 36 AREA: 9,156 SF
TOTAL LOT AREA: 46,689.37 SF (1.071 ACRES)

PROPOSED DEVELOPMENT:

DENSITY: 20 UNITS PER ACRE (17 UNITS PROPOSED)

UNIT MIX:

- UNIT 1 - EXISTING TO REMAIN, 2-BEDROOM UNIT
- UNIT 2 - EXISTING TO REMAIN, 1-BEDROOM UNIT
- UNIT 3 - 1-BEDROOM, 1-BATH STUDIO UNIT
- UNITS 4 THROUGH 17 - 2-BED UNITS, 3-BATH UNIT

DEVELOPMENT STANDARDS

STORIES: 2.5 STORIES
BUILDING HEIGHT: 35'-0" MAXIMUM BUILDING HEIGHT

SETBACKS

OPEN SPACE CALCULATION

COMMON OPEN SPACE
400 SF PER EA 2-BED UNIT (+100 SF EA ADDITIONAL BED)

2-BED UNITS: 16 X 400 SF = 6,400 SF
1-BED UNITS: 1 X 300 SF = 300 SF

TOTAL REQUIRED: 6,700 SF
TOTAL PROVIDED: 6,820 SF (1,350 + 960 + 2,800 + 960 + 750)

PRIVATE OPEN SPACE

EA UNIT SHALL HAVE A MIN. 100 SF SECOND STORY DECK

PARKING REQUIREMENTS

- 2-CAR GARAGE PER UNIT
- 1 GUEST STALL PER 4 UNITS
- REQUIRED = 5
- PROVIDED = 5

BUILDING NOTES

- NEW ROOF ASPHALT/FIBERGLASS SHINGLES: CERTAINTED PERSIDENTAL OR EQUAL.
- SEPARATE PERMIT REQUIRED FOR SITE FENCES AND GATES.
- REFER TO ENERGY COMPLIANCE FORMS FOR INSULATION REQUIREMENTS.
- THE WORK SHALL COMPLY WITH THE FOLLOWING CODES AND REGULATIONS:
2022 CALIFORNIA RESIDENTIAL CODE (CRC)
2022 CALIFORNIA BUILDING CODE (CBC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS CODE (BEES)
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBC)
LOCAL JURISDICTION AMENDMENTS

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DRAWINGS ISSUE

DATE DESCRIPTION DELTA

Date1 Description 1

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DATE: 08/05/2024

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PROJECT NO: 633668

SCALE: As indicated

SHEET TITLE:

PROJECT DATA & SITE
PLAN

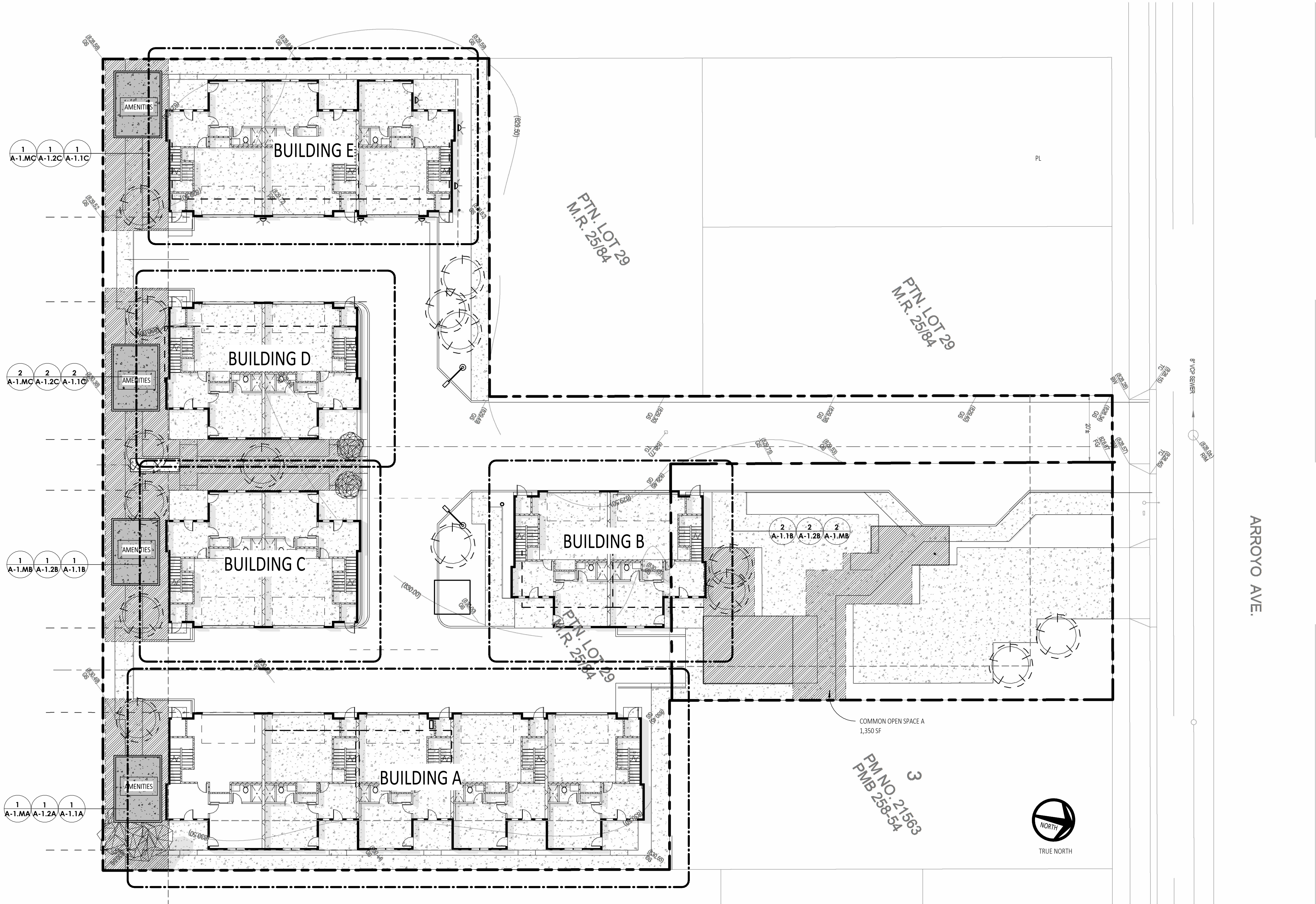
SHEET NO:

A-0.1

SITE PLAN

SCALE:
1/16" = 1'-0"

2



PROJECT:
ARELLANO RESIDENTIAL

MULTI-FAMILY
DEVELOPMENT

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POMONA, CA 91768



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DATE DESCRIPTION DELTA

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PROJECT NO:	633668
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SHEET TITLE:	

MASTER CONSTRUCTION
PLAN

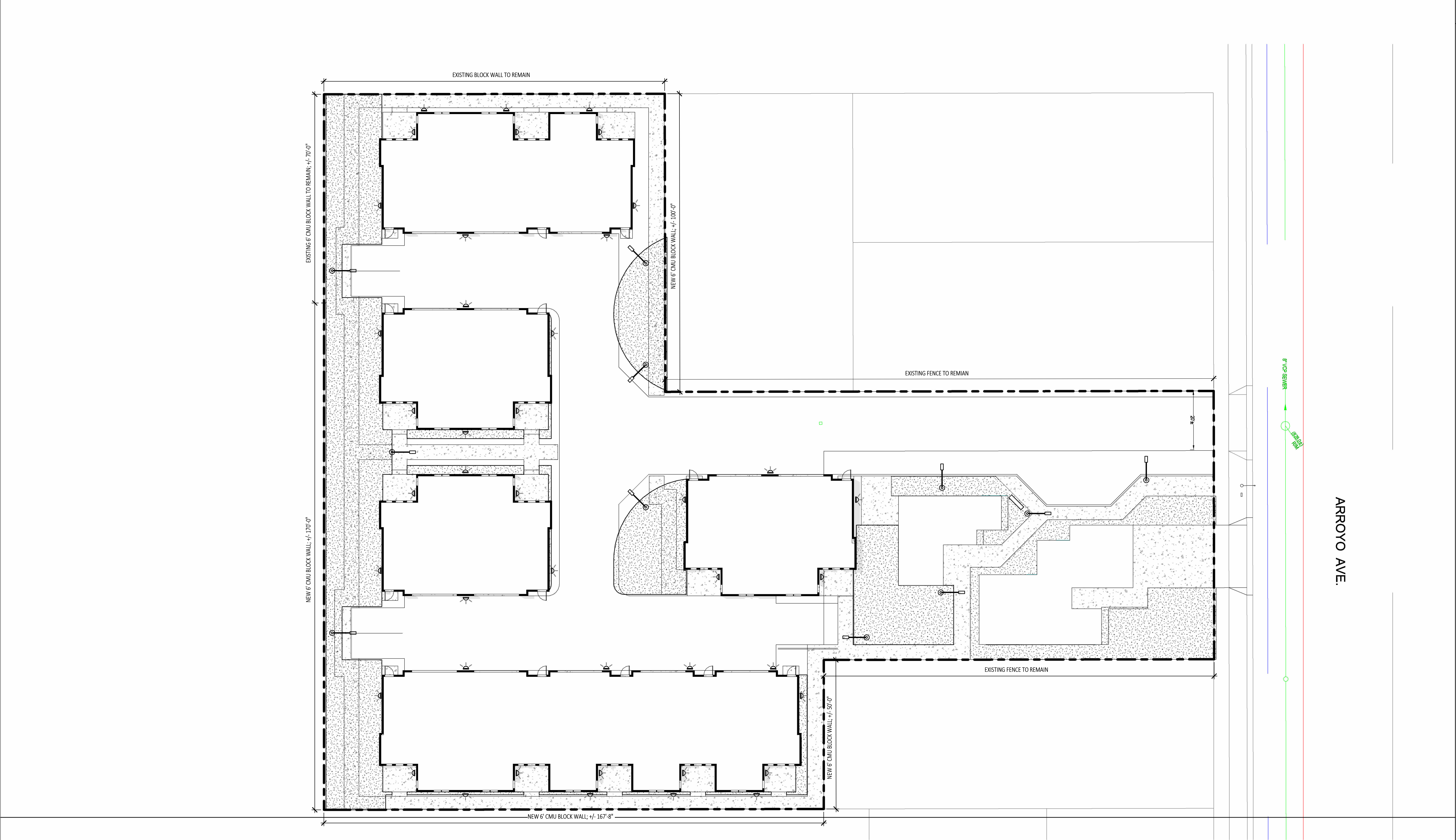
SHEET NO:

MASTER CONSTRUCTION PLAN

SCALE:
1/16" = 1'-0"

1

A-1.0



SITE PLAN

SCALE:
1/16" = 1'-0"

1

PROJECT INFORMATION

- WALL MOUNTED SCONCE LIGHT
- POLE MOUNTED LIGHT

PROJECT:

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MULTI-FAMILY
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SCALE:	1/16" = 1'-0"
SHEET TITLE:	

CONCEPTUAL SITE
LIGHTING & FENCE PLAN

SHEET NO:

A-1.1



GROUND FLOOR PLAN - BUILDING A

SCALE:
1/8" = 1'-0"

1

KEYNOTES

- 1 REMOVE EXISTING WINDOW. FILL OPENING WITH/ WOOD FRAMING. FINISHES TO MATCH ADJACENT.
- 2 NEW LINEN CABINET
- 3 NEW WOOD FRAMED STAIRS. PROVIDE 1HR RATING AT ALL USABLE UNDERSTAIR SPACES. 5/8" TYPE "X" GYP. BD.
- 4 NEW 42" WOOD GUARDRAIL
- 5 NEW 22" X 30" HATCH ATTIC ACCESS DOOR
- 6 NEW CLOSET. PROVIDE HATCH SHELF AND COAT POLE WITH SOLID BACKING
- 7 DECKING / WATERPROOFING
 - WOOD FRAMED DECK / BALCONY PER STRUCTURAL
 - WESTCOAT "ALX" STANDARD CEMENTITIOUS COATING; ICC ESR: ESR-2201 OR EQ.; SC-10 TOPCOAT; COLOR: STONE GREY. INSTALL PER MANUFACTURERS SPECIFICATIONS.
 - MIN. 2% SLOPE CONTRACTOR MUST VERIFY ALL DRAINS FOR POSITIVE DRAINAGE.
- 8 BATHTUB
 - 60 IN. X 32 IN. X 74 IN. CAST IRON TUB WITH NON ABSORBENT SURFACE AT WALLS (TILE, TBD) MINIMUM 72" ABOVE FINISHED FLOOR.
 - ALL GLAZING IN SHOWER AND TUB AREAS SHALL BE TEMPERED GLAZING.
- 9 SHOWER
 - PROVIDE NON ABSORBENT SURFACE AT ALL SHOWER AND TUB AREAS AT A MINIMUM 72" ABOVE FINISHED FLOOR. CONCRETE SETTING BED OVER PAPER AND LATH INSTALLED IN ACCORDANCE WITH MANUFACTURE SPECS SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND SHOWER PANELS IN SHOWER AREAS. PROVIDE A MINIMUM 30" DIAMETER AREA AT ALL SHOWER AREAS.
 - ALL GLAZING IN SHOWER AND TUB AREAS SHALL BE TEMPERED GLAZING.
- 10 CLOTHES WASHER AND DRYER
 - ENERGY STAR RATED APPLIANCE
 - DRYER VENT TO OUTSIDE AIR WITH APPROVED TERMINATION CAP. CLOTHS DRYER MOISTURE EXHAUST DUCT MUST BE 4" IN DIAMETER AND LENGTH IS LIMITED TO 14'. WITH (2) 90 ELBOWS. THE DUCT LENGTH SHALL BE REDUCED BY 2' FOR EVERY ELBOW EXCESS OF TWO.
 - INSTALLER TO PROVIDE PANS.
- 11 GARAGE
 - GARAGE FLOOR SURFACES SHALL BE APPROVED NON-COMBUSTIBLE / SLIP-RESISTANT MATERIAL AND SLOPE TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY.
 - SHALL HAVE A MINIMUM ONE (1) LAYER OF 5/8" TYPE "X" GYP. BD. BETWEEN GARAGE AND RESIDENTIAL UNIT AT WALLS AD CEILING
- 12 FURR EXISTING WALL TO BE FLUSH.
- 13 CASED OPENING.
- 14 REMOVE (E) CLAY TILE ROOF. PREPARE FOR ASPHALT COMPOSITE SHINGLES.

PARTITION LEGEND

- AREA NOT IN CONTRACT (N.I.C.)
- NEW SINGLE DOOR, DOOR FRAME AND HARDWARE.
- NEW DOUBLE DOOR, DOOR FRAME AND HARDWARE. "A" ACTIVE LEAF.
- NEW SLIDING POCKET DOOR, FRAME AND HARDWARE.
- NEW SLIDING CLOSET DOOR, FRAME AND HARDWARE.
- KEYNOTE
REFER TO KEYNOTE LIST HEREIN
- WINDOW TYPE MARK
SEE SCHEDULE ON SHEET A-4.0
- DOOR TYPE MARK
SEE SCHEDULE ON SHEET A-4.0

- NAME ROOM NAME
- 1 SIM
DETAIL
DETAIL REFERENCE
SHEET REFERENCE
- SPOT ELEVATION
DENOTES HEIGHT OF SURFACE
RELATIVE TO FLOOR
- THRESHOLD 1-1/2" MAX U.O.N.
- 22" x 30" ATTIC ACCESS
HATCH OR SCUTTLE
- NEW BUILT-IN MILLWORK CABINETRY
PER PLAN

NOTE:
CONTRACTOR TO IDENTIFY IN BID AND INCLUDE IN PRICING ALL ITEMS LIKELY TO BE REQUIRED BY TITLE 24, CHAPTER 6 PART 141.0 AND 141.1 BASED ON SCOPE OF WORK SHOWN IN PLAN. THIS SHALL INCLUDE (AS APPLICABLE) BUT NOT LIMITED TO: DISAGGREGATION OF ELECTRICAL PANELS, CONTROLLED RECEPTACLES, DAYLIGHTING CONTROLS, OCCUPANCY SENSORS, MULTI-LEVEL SWITCHING AND/OR DIMMING, DEMAND RESPONSE AND HVAC EFFICIENCY MEASURES.

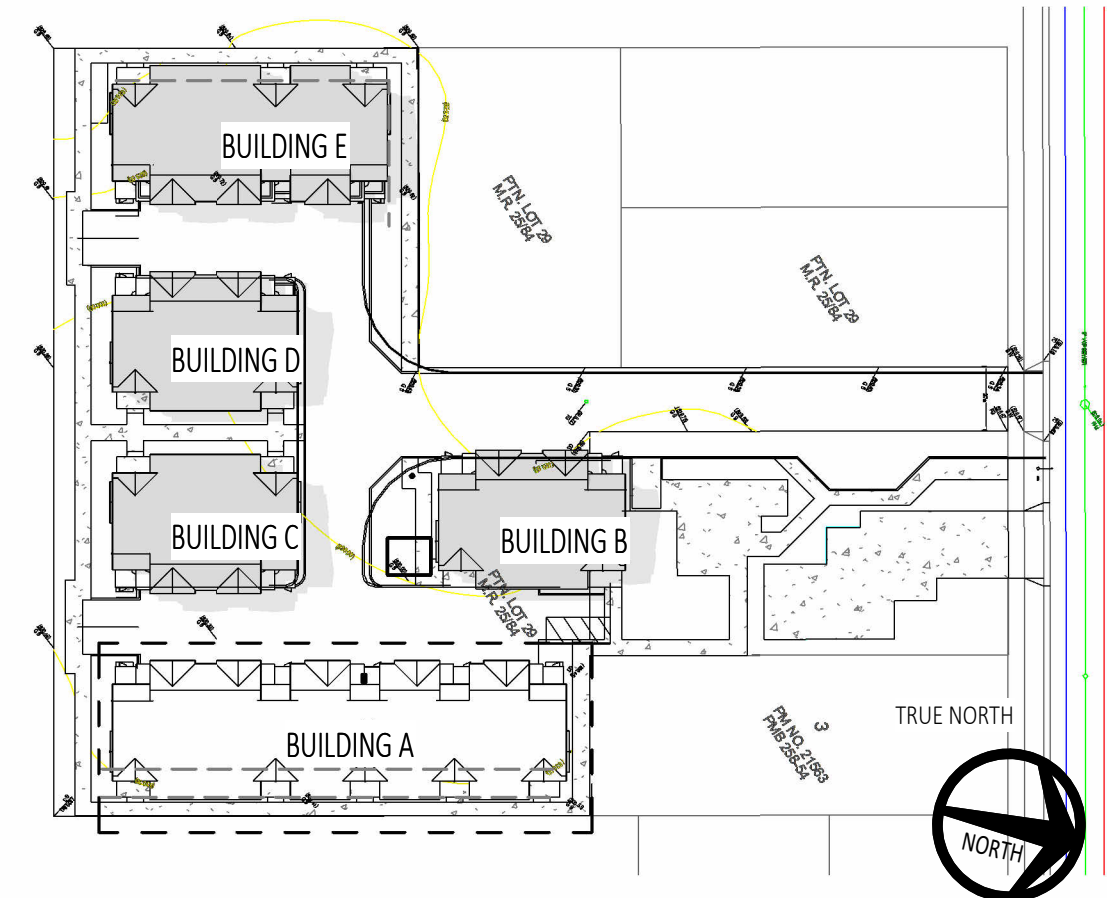
WALL TYPES

- 1HR / STC 50 WALL
- 2X6 WOOD FRAMED WALL
 - REFER TO DETAILS 3/5.0
 - PROVIDE R-19 INSULATION
 - TYPICAL AT ALL UNIT SEPARATIONS
 - NO PLUMBING SHALL PENETRATE PARTY WALLS
 - 2X4 PLUMBING FURFULT WHERE OCCURS
 - REFER TO DETAIL 3/5.0
- 1HR / STC 50 WALL
- 2X6 WOOD FRAMED WALL
 - REFER TO DETAILS 3/5.0
 - PROVIDE R-19 INSULATION
 - TYPICAL AT GARAGE UNIT SEPARATION
 - REFER TO DETAIL 1/5.1 FOR OUTLET PROTECTION
- 1HR EXTERIOR WALL
- 2X6 WOOD FRAMED WALL
 - DRYWALL INTERIOR
 - REFER TO ELEVATIONS FOR EXTERIOR FINISHES
 - REFER TO DETAIL 1/5.0
 - **STONE VENEER WHERE OCCURS REFER TO ELEVATIONS AND DETAIL**
- 2X6 WOOD FRAMED PLUMBING WALL
- INTERIOR PARTITION WALL
- 2X4 WOOD FRAMED WALL WITH DRYWALL FINISH

NOTES:

- * ALL DIMENSIONS ARE APPROXIMATE.
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KEY PLAN



PROJECT:

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MULTI-FAMILY
DEVELOPMENT

1518 ARROYO AVENUE
POMONA, CA 91768

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REVIEWED: VL

PROJECT NO: 633668

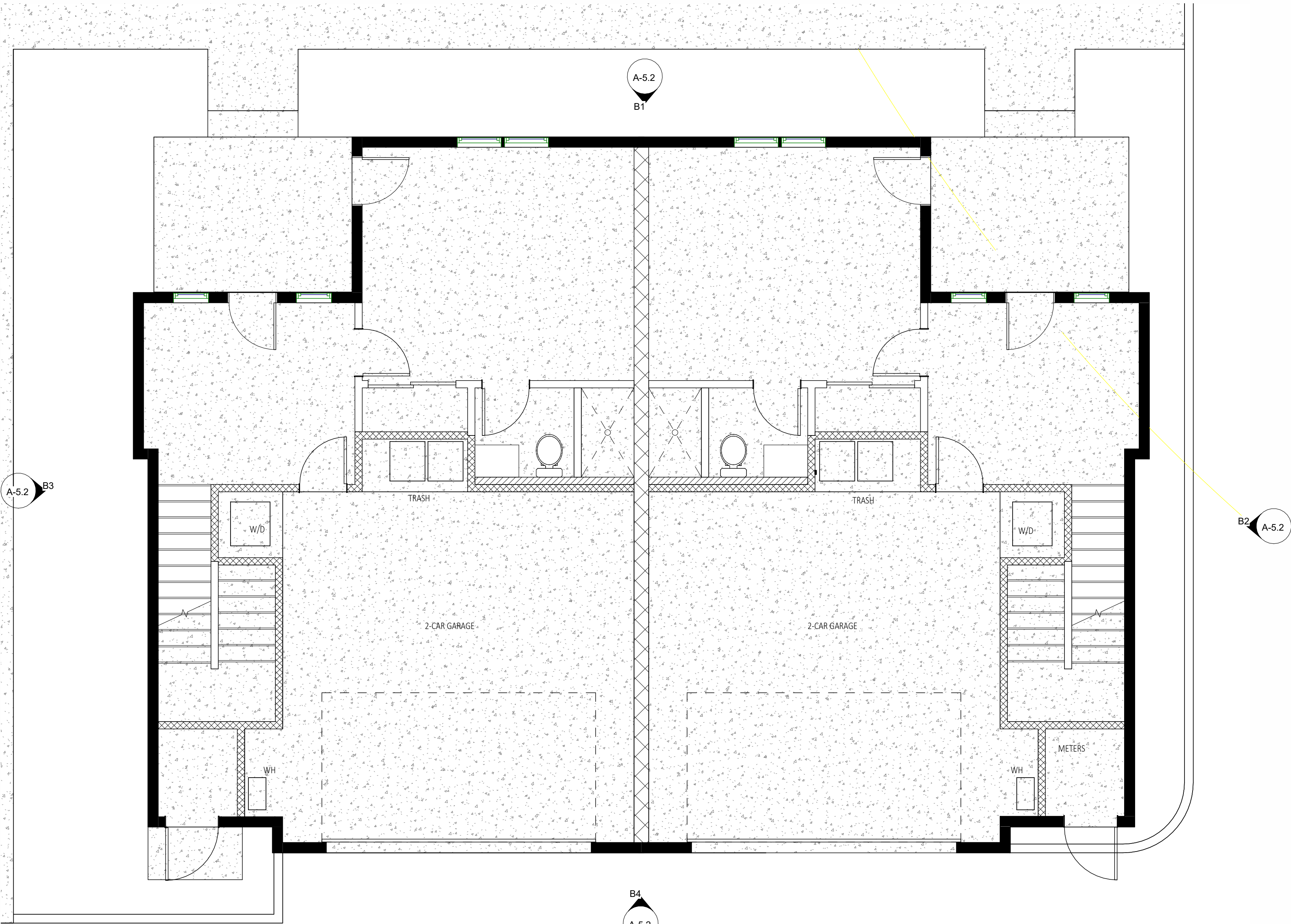
SCALE: As indicated

SHEET TITLE:

CONSTRUCTION PLAN -
GROUND FLOOR
BUILDING A

SHEET NO:

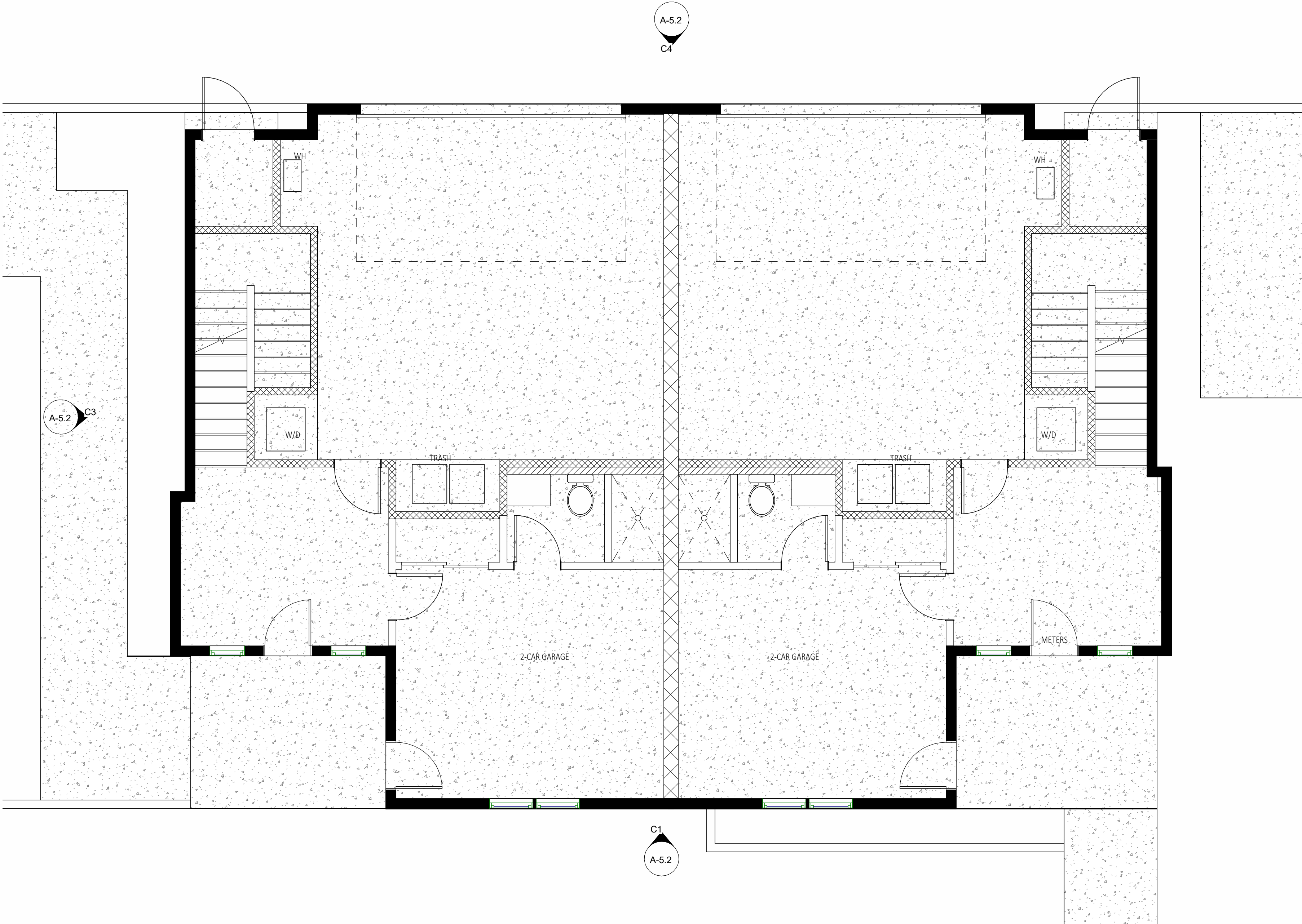
A-1.1A



GROUND FLOOR PLAN - BUILDING C

SCALE:
1/4" = 1'-0"

1



GROUND FLOOR PLAN - BUILDING B

SCALE:
1/4" = 1'-0"

2

KEYNOTES

- 1 REMOVE EXISTING WINDOW. FILL OPENING WITH/ WOOD FRAMING. FINISHES TO MATCH ADJACENT.
- 2 NEW LINEN CABINET
- 3 NEW WOOD FRAMED STAIRS. PROVIDE 1HR RATING AT ALL USABLE UNDERSTAIR SPACES. 5/8" TYPE "X" GYP. BD.
- 4 NEW 42" WOOD GUARDRAIL
- 5 NEW 22" X 30" HATCH ATTIC ACCESS DOOR
- 6 NEW CLOSET. PROVIDE HATCH SHELF AND COAT POLE WITH SOLID BACKING
- 7 DECKING / WATERPROOFING
 - WOOD FRAMED DECK / BALCONY PER STRUCTURAL
 - WESTCOAT "ALX" STANDARD CEMENTITIOUS COATING; ICC ESR: ESR-2201 OR EQ.; SC-10 TOPCOAT; COLOR: STONE GREY. INSTALL PER MANUFACTURERS SPECIFICATIONS.
 - MIN. 2% SLOPE CONTRACTOR MUST VERIFY ALL DRAINS FOR POSITIVE DRAINAGE.
- 8 BATHTUB
 - 60 IN. X 32 IN. X 74 IN. CAST IRON TUB WITH NON ABSORBENT SURFACE AT WALLS (TILE, TBD)
 - MINIMUM 72" ABOVE FINISHED FLOOR.
 - ALL GLAZING IN SHOWER AND TUB AREAS SHALL BE TEMPERED GLAZING.
- 9 SHOWER
 - PROVIDE NON ABSORBENT SURFACE AT ALL SHOWER AND TUB AREAS AT A MINIMUM 72" ABOVE FINISHED FLOOR. CONCRETE SETTING BED OVER PAPER AND LATH INSTALLED IN ACCORDANCE WITH MANUFACTURE SPECS SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND SHOWER PANELS IN SHOWER AREAS. PROVIDE A MINIMUM 30" DIAMETER AREA AT ALL SHOWER AREAS.
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- 10 CLOTHES WASHER AND DRYER
 - ENERGY STAR RATED APPLIANCE
 - DRYER VENT TO OUTSIDE AIR WITH APPROVED TERMINATION CAP. CLOTH DRYER MOISTURE EXHAUST DUCT MUST BE 4" IN DIAMETER AND LENGTH IS LIMITED TO 14', WITH (2) 90 ELBOWS. THE DUCT LENGTH SHALL BE REDUCED BY 2' FOR EVERY ELBOW EXCESS OF TWO.
 - INSTALLER TO PROVIDE PANS.
- 11 GARAGE
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- 12 FURR EXISTING WALL TO BE FLUSH.
- 13 CASSED OPENING.
- 14 REMOVE (E) CLAY TILE ROOF. PREPARE FOR ASPHALT COMPOSITE SHINGLES.

PARTITION LEGEND

- AREA NOT IN CONTRACT (N.I.C.)
- NEW SINGLE DOOR, DOOR FRAME AND HARDWARE.
- NEW DOUBLE DOOR, DOOR FRAME AND HARDWARE. "A" ACTIVE LEAF.
- NEW SLIDING POCKET DOOR, FRAME AND HARDWARE.
- NEW SLIDING CLOSET DOOR, FRAME AND HARDWARE.
- KEYNOTE
REFER TO KEYNOTE LIST HEREIN
- WINDOW TYPE MARK
SEE SCHEDULE ON SHEET A-4.0
- DOOR TYPE MARK
SEE SCHEDULE ON SHEET A-4.0

CEL NAME ROOM NAME

1 SIM
A101
DETAIL
DETAIL REFERENCE
SHEET REFERENCE

SPOT ELEVATION
DENOTES HEIGHT OF SURFACE
RELATIVE TO FLOOR

THRESHOLD 1-1/2" MAX U.O.N.

22" x 30" ATTIC ACCESS
HATCH OR SCUTTLE

NEW BUILT-IN MILLWORK CABINETRY
PER PLAN

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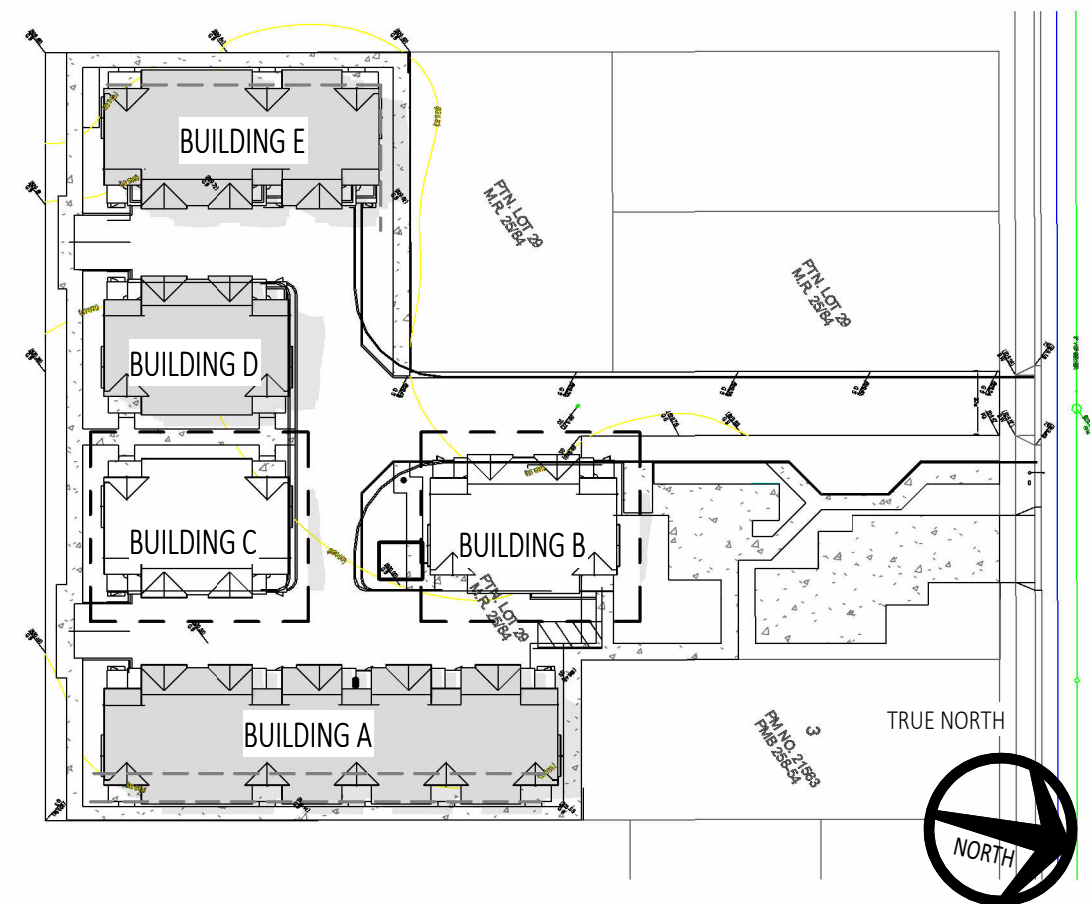
WALL TYPES

- 1HR / STC 50 WALL
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 - REFER TO DETAILS 3/5.0
 - PROVIDE R-19 INSULATION
 - TYPICAL AT ALL UNIT SEPARATIONS
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 - REFER TO DETAIL 1/5.1 FOR OUTLET PROTECTION
 - 2X4 PLUMBING FURDUT WHERE OCCURS
 - REFER TO DETAIL 3/5.0
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 - **STONE VENEER WHERE OCCURS REFER TO ELEVATIONS AND DETAIL**
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- INTERIOR PARTITION WALL
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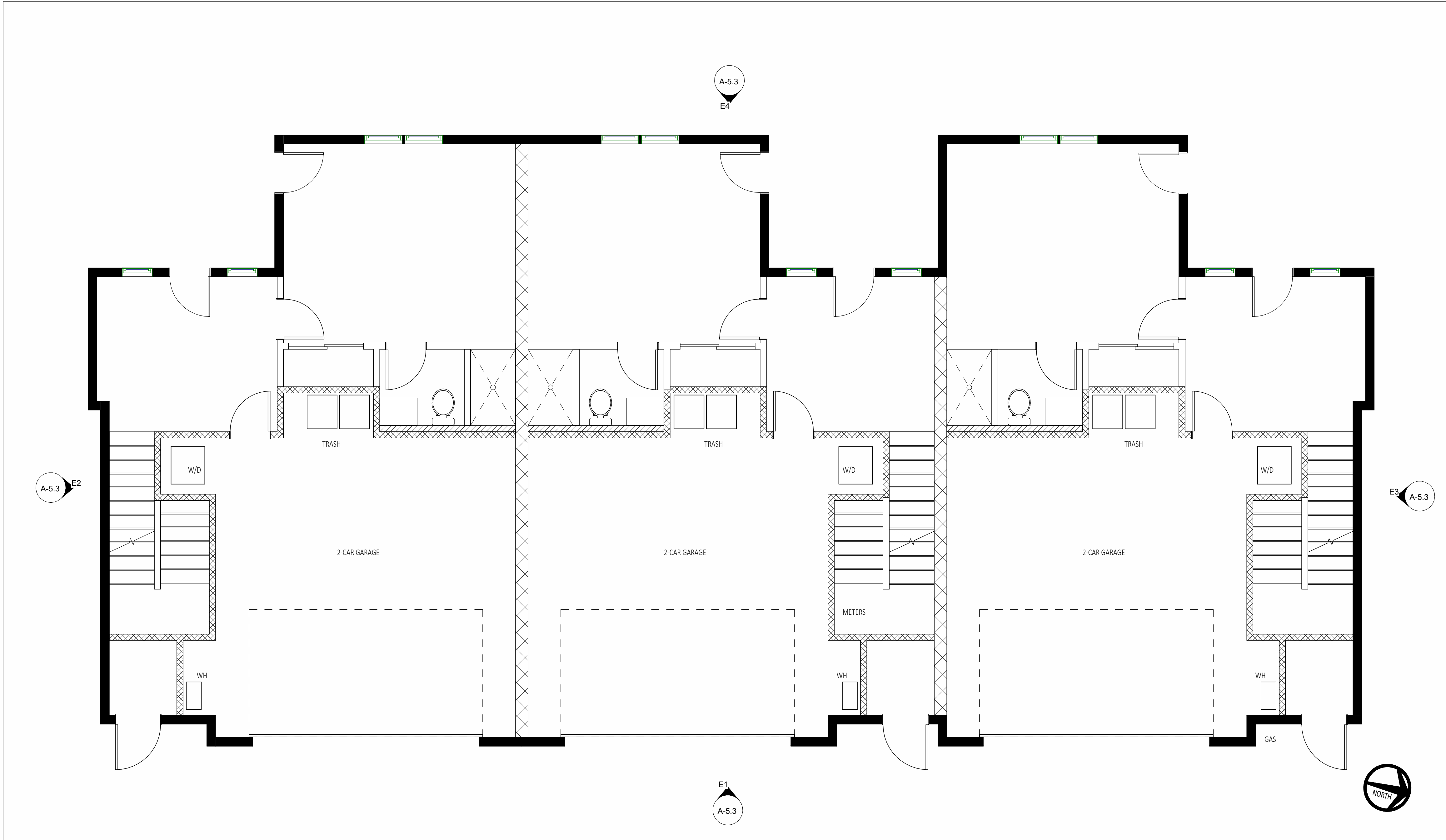
SCALE: As indicated

SHEET TITLE:

CONSTRUCTION PLAN -
GROUND FLOOR
BUILDING B & C

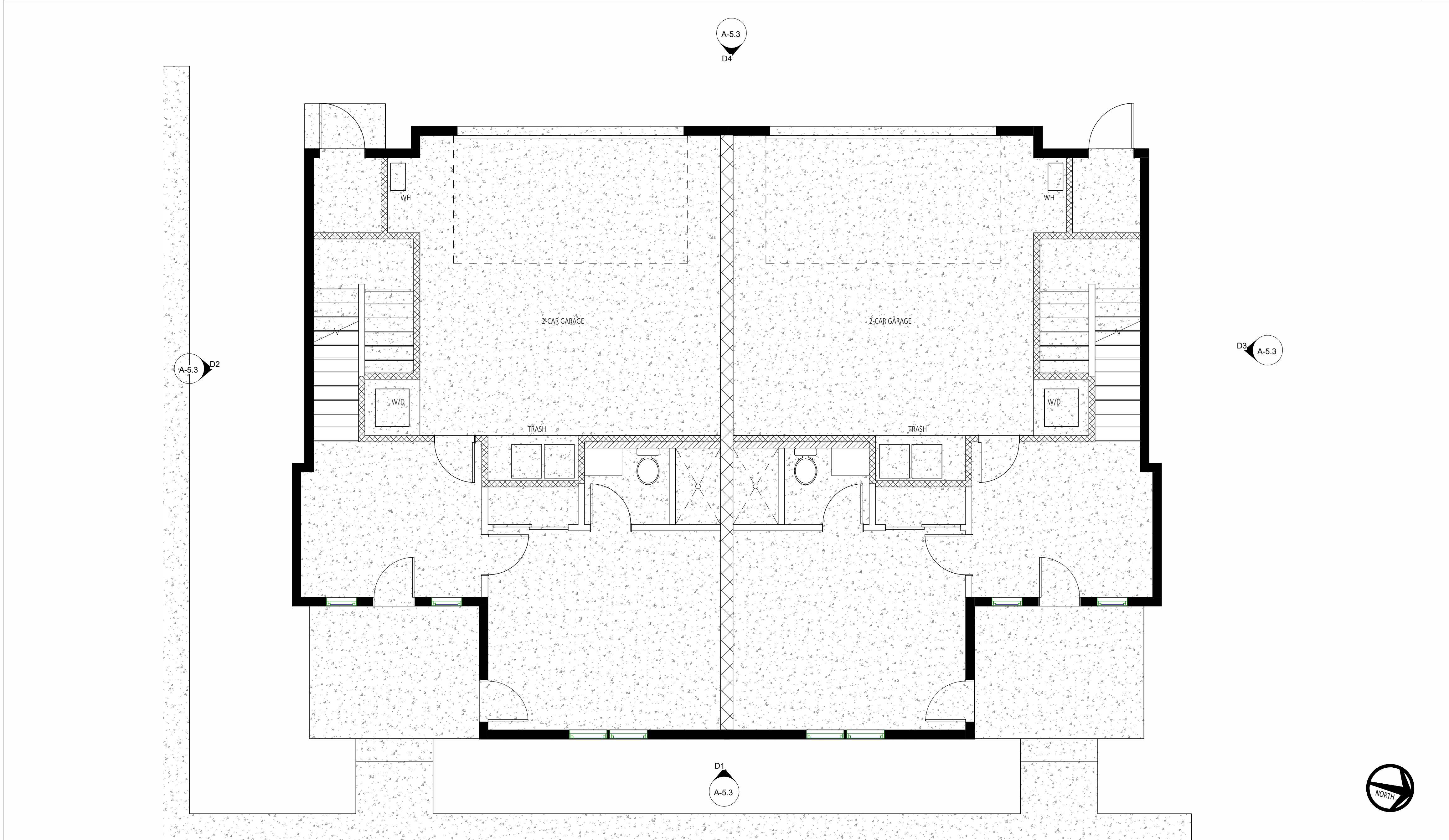
SHEET NO:

A-1.1B



GROUND FLOOR PLAN - BUILDING E

SCALE: 1/4" = 1'-0" 1



GROUND FLOOR - MASTER PLAN BUILDING D

SCALE: 1/4" = 1'-0" 2

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SEE SCHEDULE ON SHEET A-4.0
- DOOR TYPE MARK
SEE SCHEDULE ON SHEET A-4.0
- NAME ROOM NAME
- DETAIL
DETAIL REFERENCE
SHEET REFERENCE
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DENOTES HEIGHT OF SURFACE
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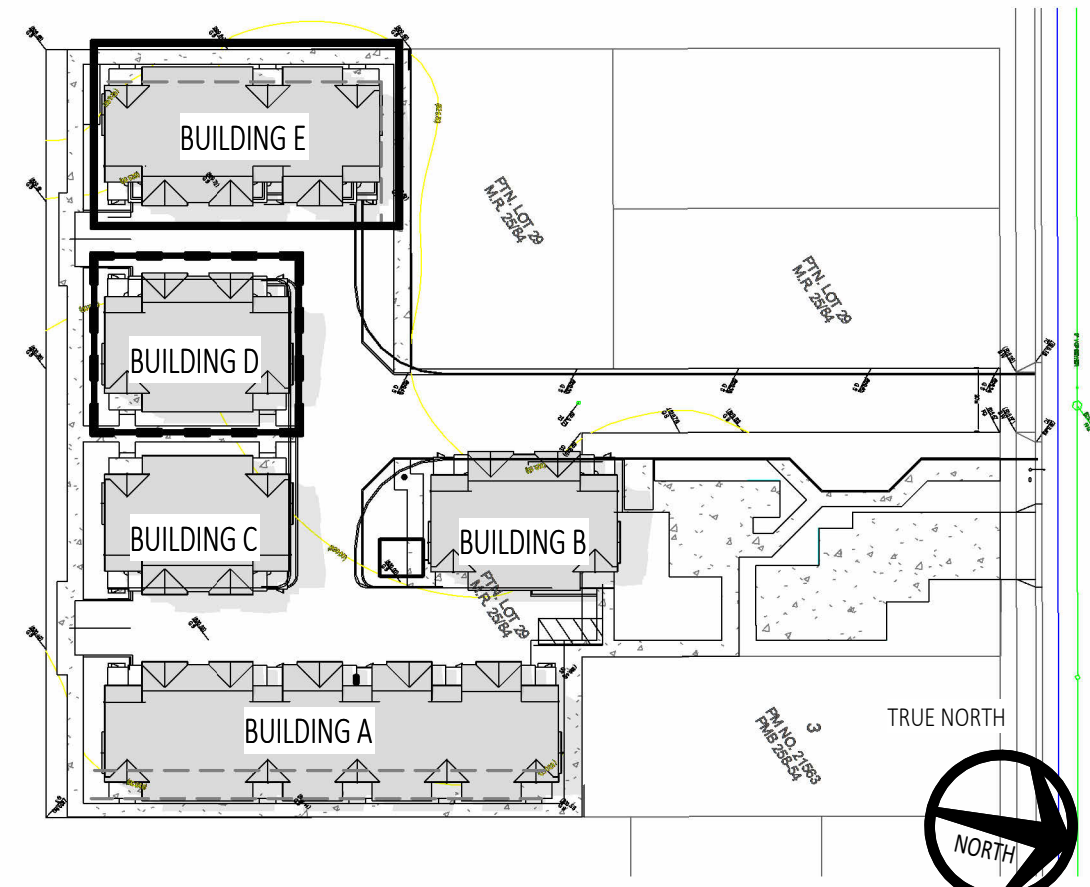
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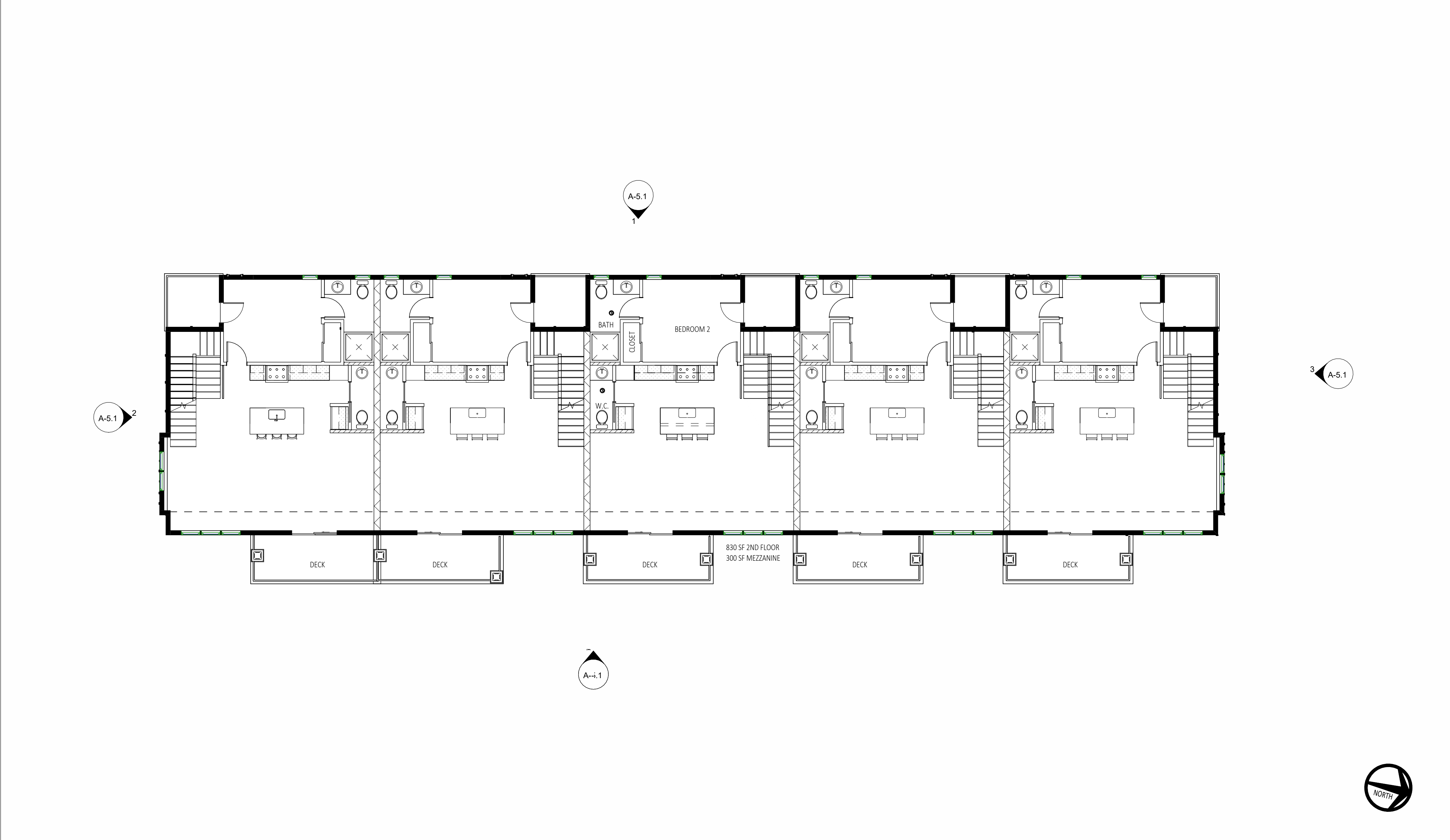
CONSTRUCTION PLAN -

GROUND FLOOR

BUILDING D & E

SHEET NO:

A-1.1C



2ND FLOOR PLAN - BUILDING A

SCALE: 1/8" = 1'-0"

1

KEYNOTES

- 1

REMOVE EXISTING WINDOW. FILL OPENINGS WITH/ WOOD FRAMING. FINISHES TO MATCH ADJACENT.
- 2

NEW LINEN CABINET
- 3

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- 4

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- 14

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- 2

KEYNOTE
REFER TO KEYNOTE LIST HEREIN
- X

WINDOW TYPE MARK
SEE SCHEDULE ON SHEET A-4.0
- 100

DOOR TYPE MARK
SEE SCHEDULE ON SHEET A-4.0

- ELNAME

ROOM NAME
- 1

SIM

DETAIL
DETAIL REFERENCE
SHEET REFERENCE
- SPOT ELEVATION
DENOTES HEIGHT OF SURFACE
RELATIVE TO FLOOR
- THRESHOLD 1-1/2" MAX U.O.N.
- 22" x 30" ATTIC ACCESS
HATCH OR SCUTTLE
- NEW BUILT-IN MILLWORK CABINETRY
PER PLAN

NOTE:
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WALL TYPES

- 1HR / STC 50 WALL

- 2X6 WOOD FRAMED WALL
 - REFER TO DETAILS 3/5.0
 - PROVIDE R-19 INSULATION
 - TYPICAL AT ALL UNIT SEPARATIONS
 - NO PLUMBING SHALL PENETRATE PARTY WALLS
 - REFER TO DETAIL 1/5.1 FOR OUTLET PROTECTION
 - 2X4 PLUMBING FURFULT WHERE OCCURS
 - REFER TO DETAIL 3/5.0
- 1HR / STC 50 WALL

- 2X6 WOOD FRAMED WALL
 - REFER TO DETAILS 3/5.0
 - PROVIDE R-19 INSULATION
 - TYPICAL AT GARAGE UNIT SEPARATION
 - REFER TO DETAIL 1/5.1 FOR OUTLET PROTECTION
- 1HR EXTERIOR WALL

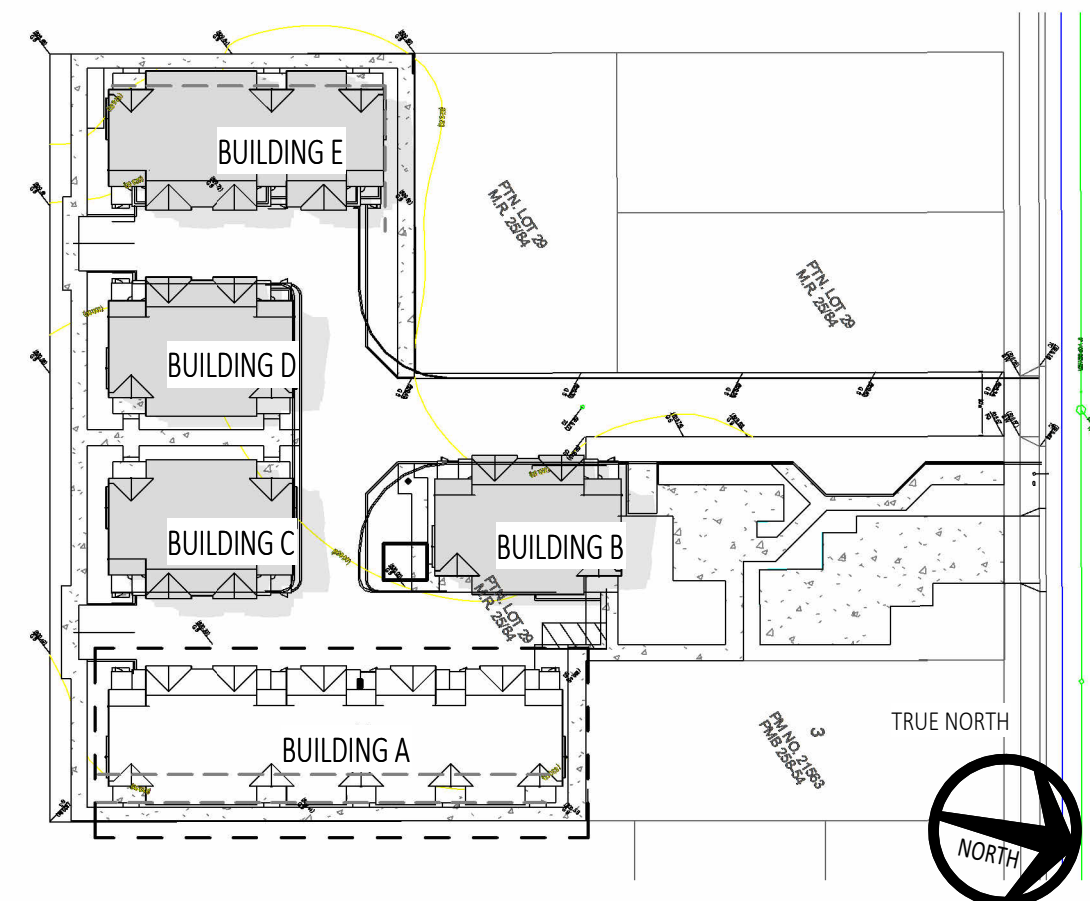
- 2X6 WOOD FRAMED WALL
 - DRYWALL INTERIOR
 - REFER TO ELEVATIONS FOR EXTERIOR FINISHES
 - REFER TO DETAIL 1/5.0
 - **STONE VENEER WHERE OCCURS REFER TO ELEVATIONS AND DETAIL**
- 2X6 WOOD FRAMED PLUMBING WALL
- INTERIOR PARTITION WALL

- 2X4 WOOD FRAMED WALL WITH DRYWALL FINISH

NOTES:

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KEY PLAN



PROJECT:
ARELLANO RESIDENTIAL

MULTI-FAMILY
DEVELOPMENT

1518 ARROYO AVENUE
POMONA, CA 91768

saa

interiors + architecture

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T 917.512.6688

SEAL AND STAMP:

CONSULTANTS:

NOT FOR CONSTRUCTION

DRAWINGS ISSUE

DATE	DESCRIPTION	DELTA
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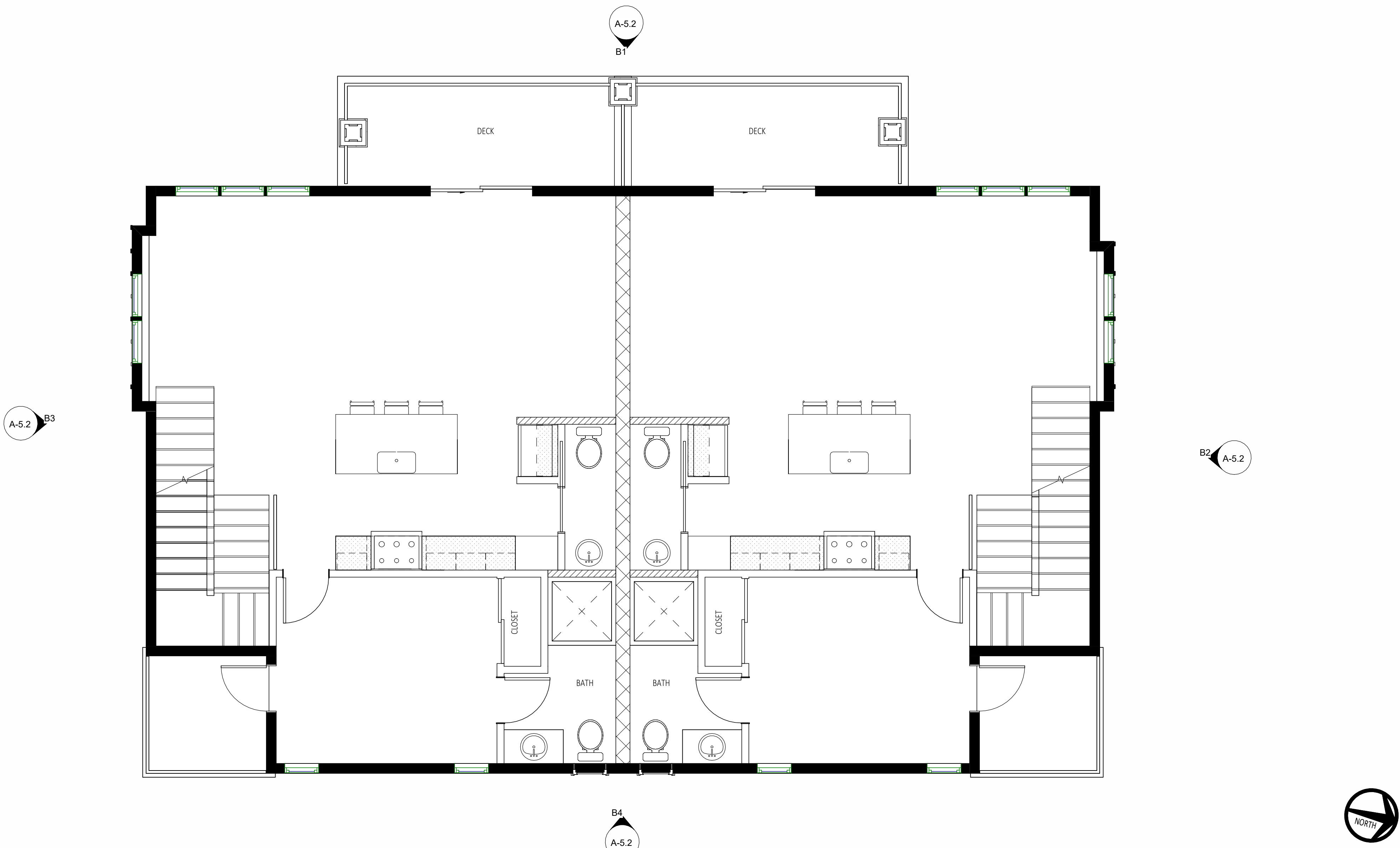
DATE:	08/05/2024
DRAWN:	VL
REVIEWED:	VL
PROJECT NO:	633668
SCALE:	As indicated

SHEET TITLE:

CONSTRUCTION PLAN -
SECOND FLOOR BUILDING
A

SHEET NO:

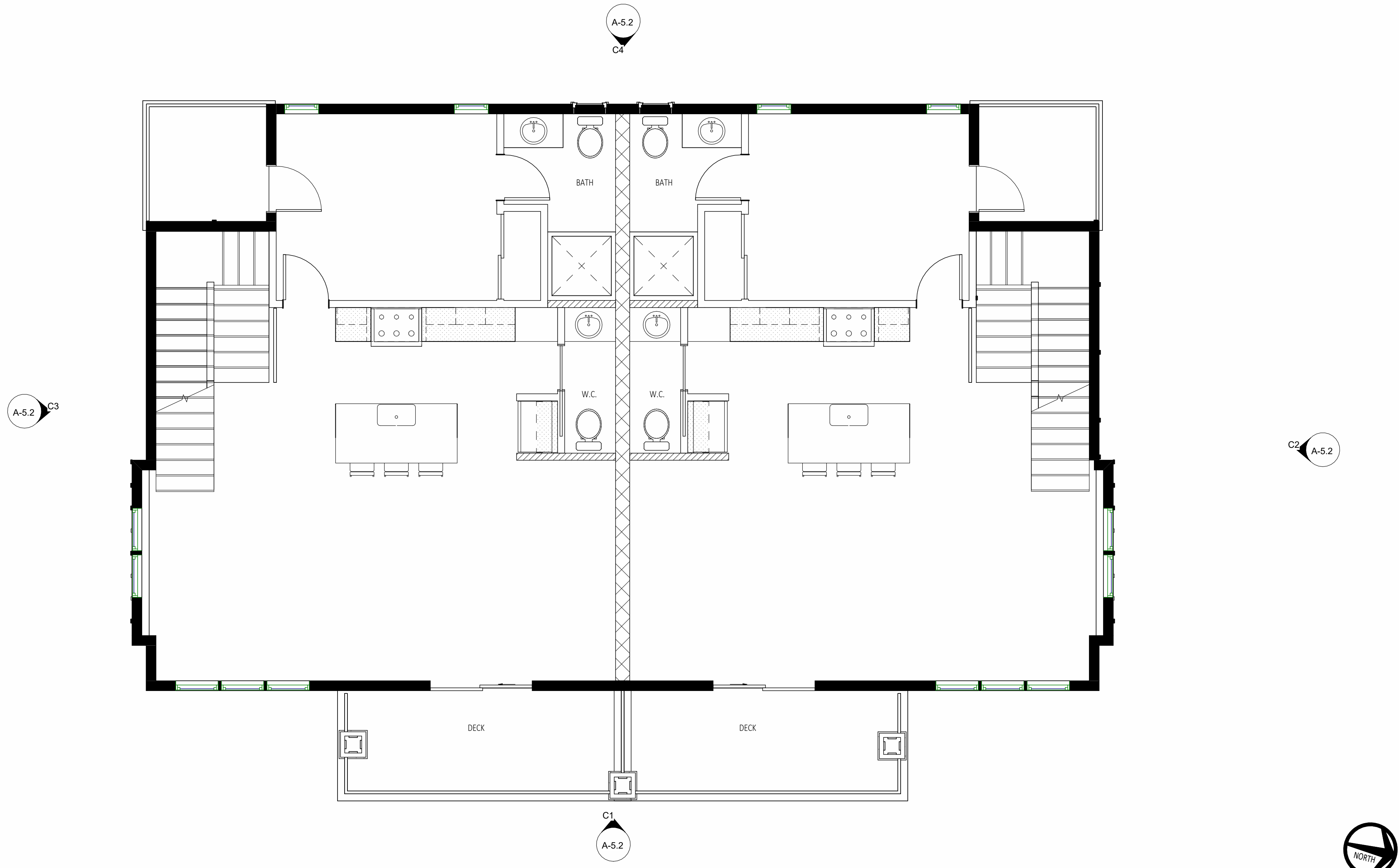
A-1.2A



2ND FLOOR PLAN - BUILDING C

SCALE:
1/4" = 1'-0"

1



2ND FLOOR PLAN - BUILDING B

SCALE:
1/4" = 1'-0"

2

KEYNOTES

- 1 REMOVE EXISTING WINDOW. FILL OPENINGS WITH/ WOOD FRAMING. FINISHES TO MATCH ADJACENT.
- 2 NEW LINEN CABINET
- 3 NEW WOOD FRAMED STAIRS. PROVIDE 1HR RATING AT ALL USABLE UNDERSTAIR SPACES. 5/8" TYPE "X" GYP. BD.
- 4 NEW 42" WOOD GUARDRAIL
- 5 NEW 22" X 30" HATCH ATTIC ACCESS DOOR
- 6 NEW CLOSET. PROVIDE HATCH SHELF AND COAT POLE WITH SOLID BACKING
- 7 DECKING / WATERPROOFING
 - WOOD FRAMED DECKS / BALCONY PER STRUCTURAL
 - WESTCOAT "ALX" STANDARD CEMENTITIOUS COATING; ICC ESR: ESR-2201 OR EQ.; SC-10 TOPCOAT; COLOR: STONE GREY. INSTALL PER MANUFACTURERS SPECIFICATIONS.
 - MIN. 2% SLOPE CONTRACTOR MUST VERIFY ALL DRAINS FOR POSITIVE DRAINAGE.
- 8 BATHTUB
 - 60 IN. X 32 IN. X 74 IN. CAST IRON TUB WITH NON ABSORBENT SURFACE AT WALLS (TILE, TBO) MINIMUM 72" ABOVE FINISHED FLOOR.
 - ALL GLAZING IN SHOWER AND TUB AREAS SHALL BE TEMPERED GLAZING.
- 9 SHOWER
 - PROVIDE NON ABSORBENT SURFACE AT ALL SHOWER AND TUB AREAS AT A MINIMUM 72" ABOVE FINISHED FLOOR. CONCRETE SETTING BED OVER PAPER AND LATH INSTALLED IN ACCORDANCE WITH MANUFACTURE SPECS SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND SHOWER PANELS IN SHOWER AREAS. PROVIDE A MINIMUM 30" DIAMETER AREA AT ALL SHOWER AREAS.
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- 10 CLOTHES WASHER AND DRYER
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 - DRYER VENT TO OUTSIDE AIR WITH APPROVED TERMINATION CAP. CLOTHS DRYER MOISTURE EXHAUST DUCT MUST BE 4" IN DIAMETER AND LENGTH IS LIMITED TO 14'. WITH (2) 90 ELBOWS. THE DUCT LENGTH SHALL BE REDUCED BY 2' FOR EVERY ELBOW EXCESS OF TWO.
 - INSTALLER TO PROVIDE PANS.
- 11 GARAGE
 - GARAGE FLOOR SURFACES SHALL BE APPROVED NON-COMBUSTIBLE / SLIP-RESISTANT MATERIAL AND SLOPE TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY.
 - SHALL HAVE A MINIMUM ONE (1) LAYER OF 5/8" TYPE "X" GYP. BD. BETWEEN GARAGE AND RESIDENTIAL UNIT AT WALLS AD CEILING
- 12 FURR EXISTING WALL TO BE FLUSH.
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- 14 REMOVE (E) CLAY TILE ROOF. PREPARE FOR ASPHALT COMPOSITE SHINGLES.

PARTITION LEGEND

- AREA NOT IN CONTRACT (N.I.C.)
- NEW SINGLE DOOR, DOOR FRAME AND HARDWARE.
- NEW DOUBLE DOOR, DOOR FRAME AND HARDWARE. "A" ACTIVE LEAF.
- NEW SLIDING POCKET DOOR, FRAME AND HARDWARE.
- NEW SLIDING CLOSET DOOR, FRAME AND HARDWARE.
- KEYNOTE
REFER TO KEYNOTE LIST HEREIN
- WINDOW TYPE MARK
SEE SCHEDULE ON SHEET A-4.0
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SEE SCHEDULE ON SHEET A-4.0

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DETAIL REFERENCE
SHEET REFERENCE
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DENOTES HEIGHT OF SURFACE
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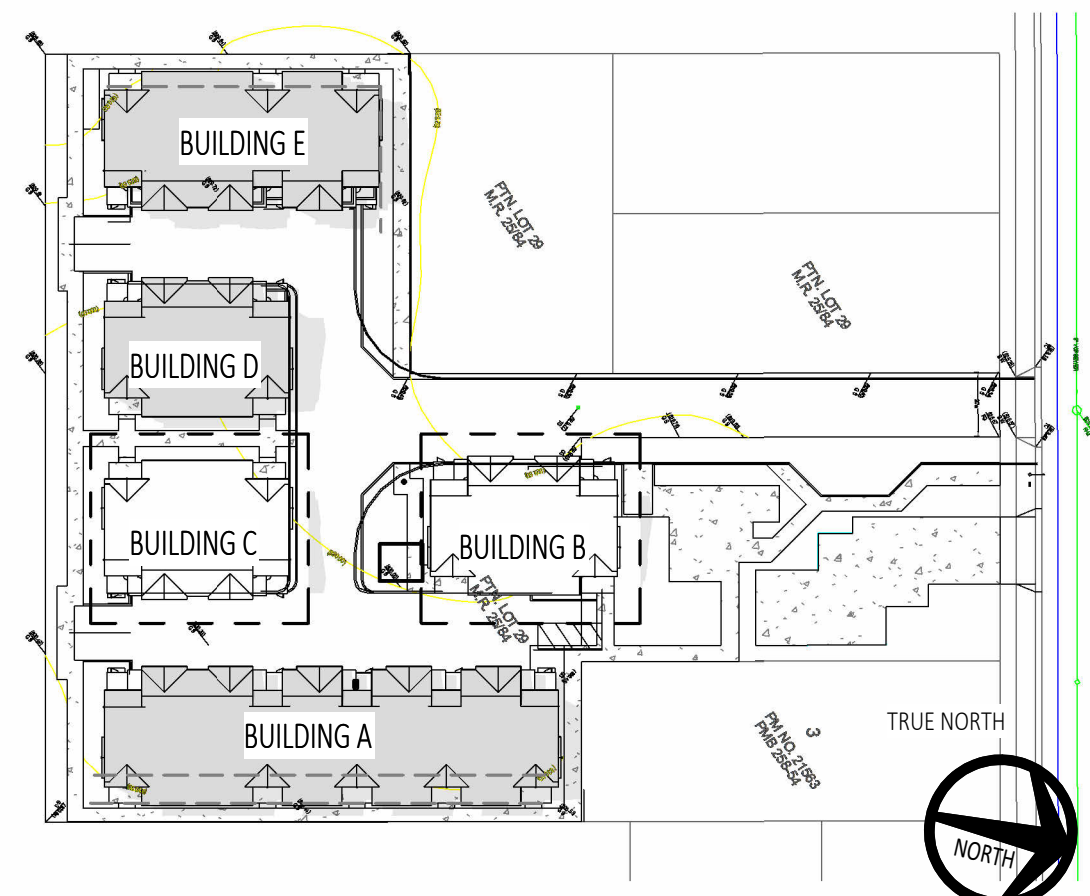
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KEY PLAN



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CONSULTANTS:

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DATE: 08/05/2024

DRAWN: VL

REVIEWED: VL

PROJECT NO: 633668

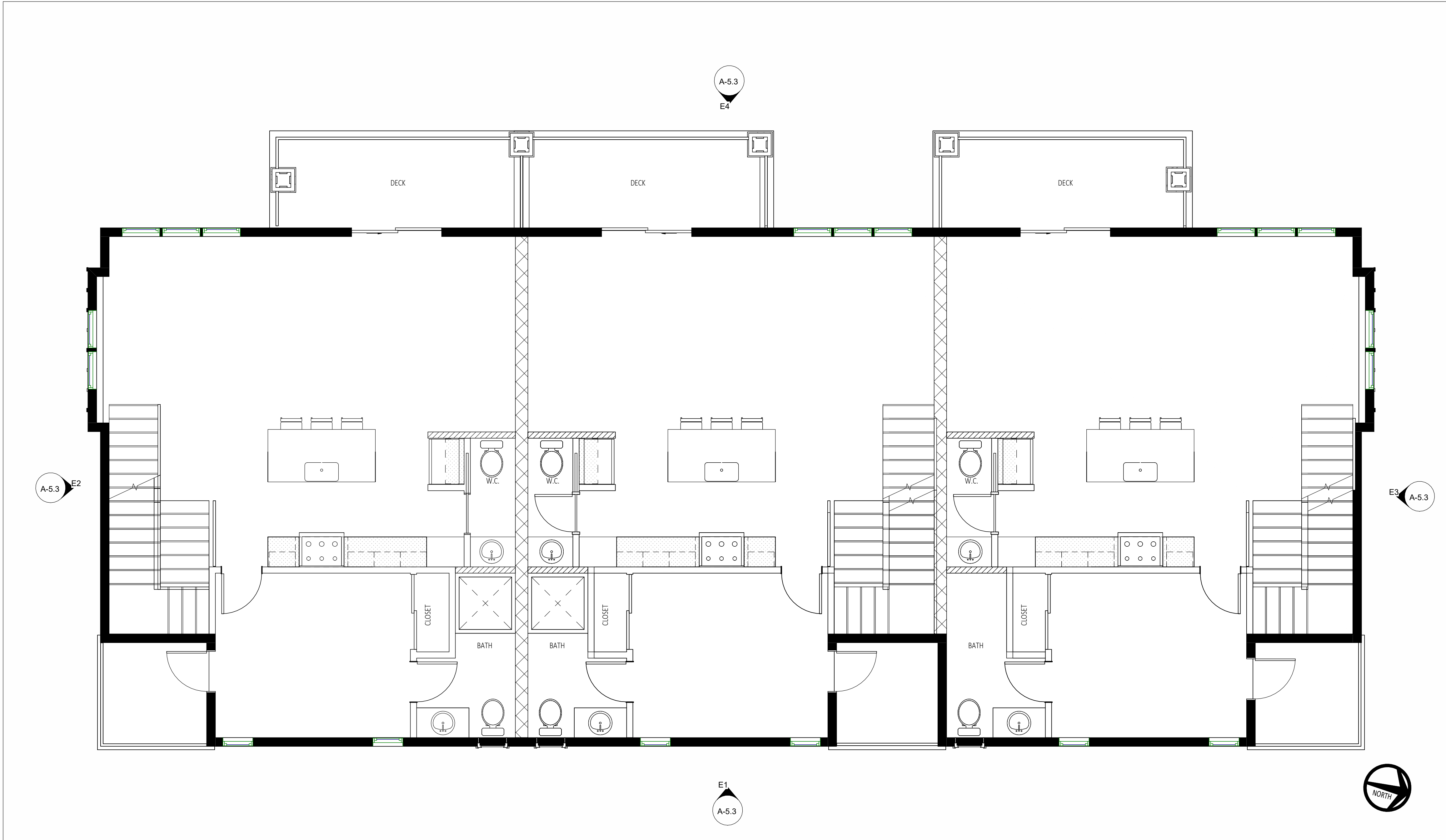
SCALE: As indicated

SHEET TITLE:

CONSTRUCTION PLAN -
SECOND FLOOR BUILDING
B & C

SHEET NO:

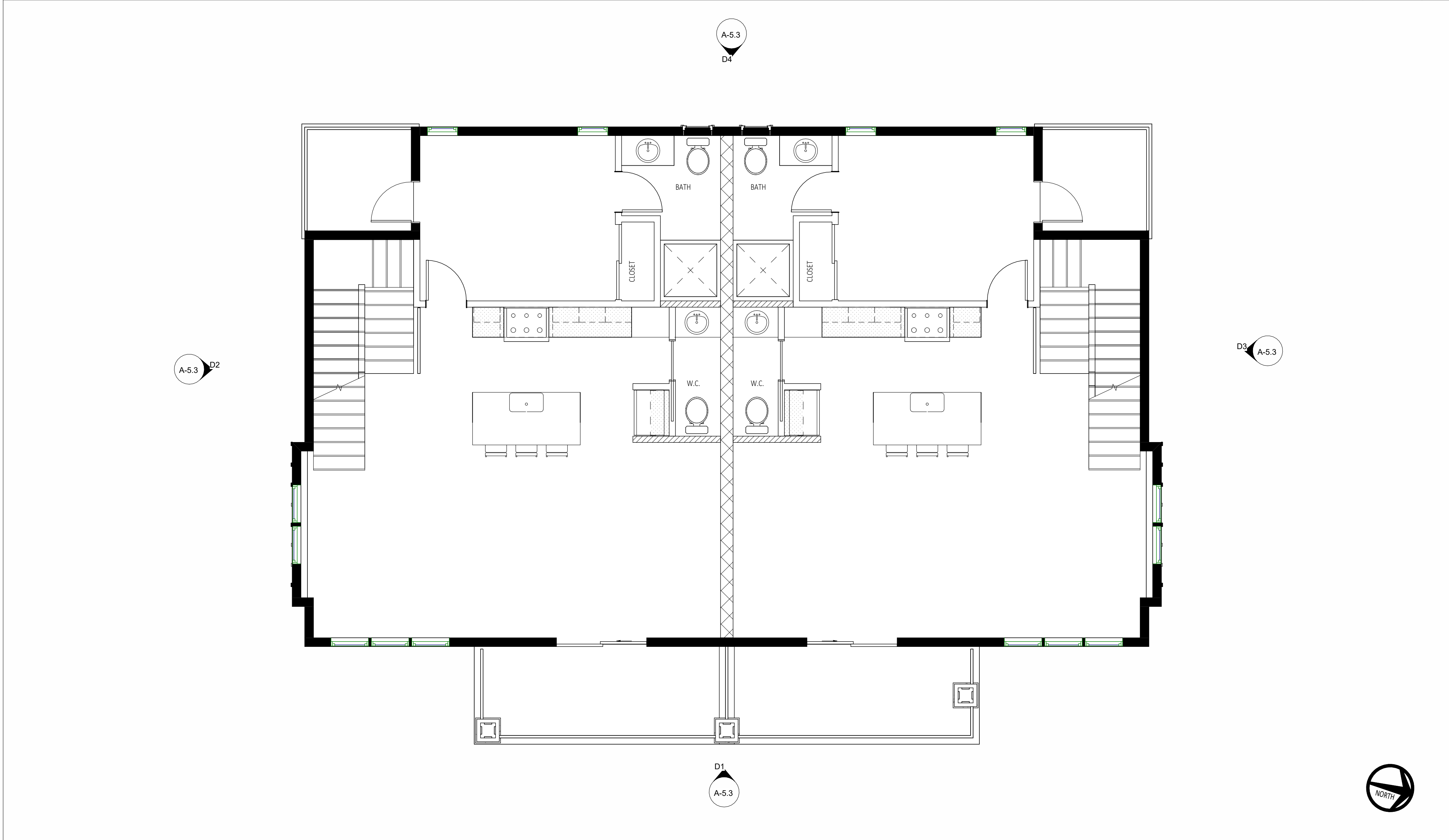
A-1.2B



2ND FLOOR PLAN - BUILDING E

SCALE:
1/4" = 1'-0"

1



2ND FLOOR PLAN - BUILDING D

SCALE:
1/4" = 1'-0"

2

KEYNOTES

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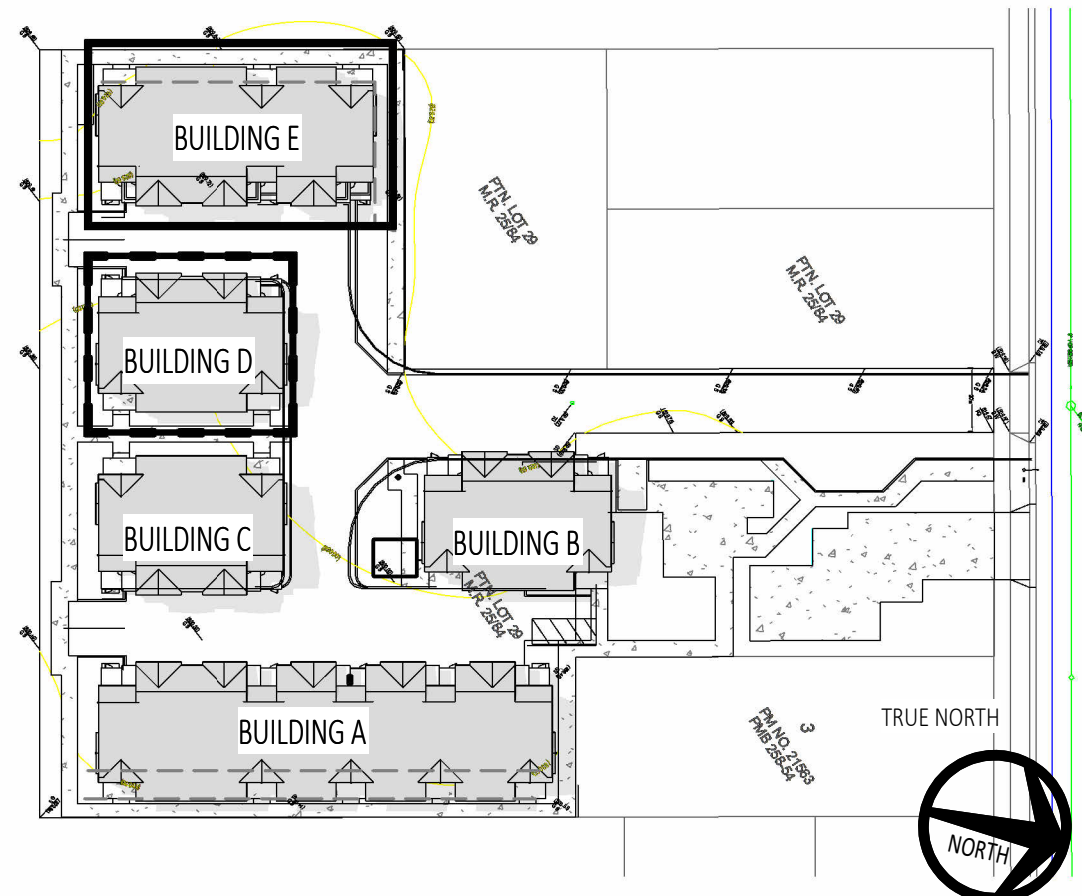
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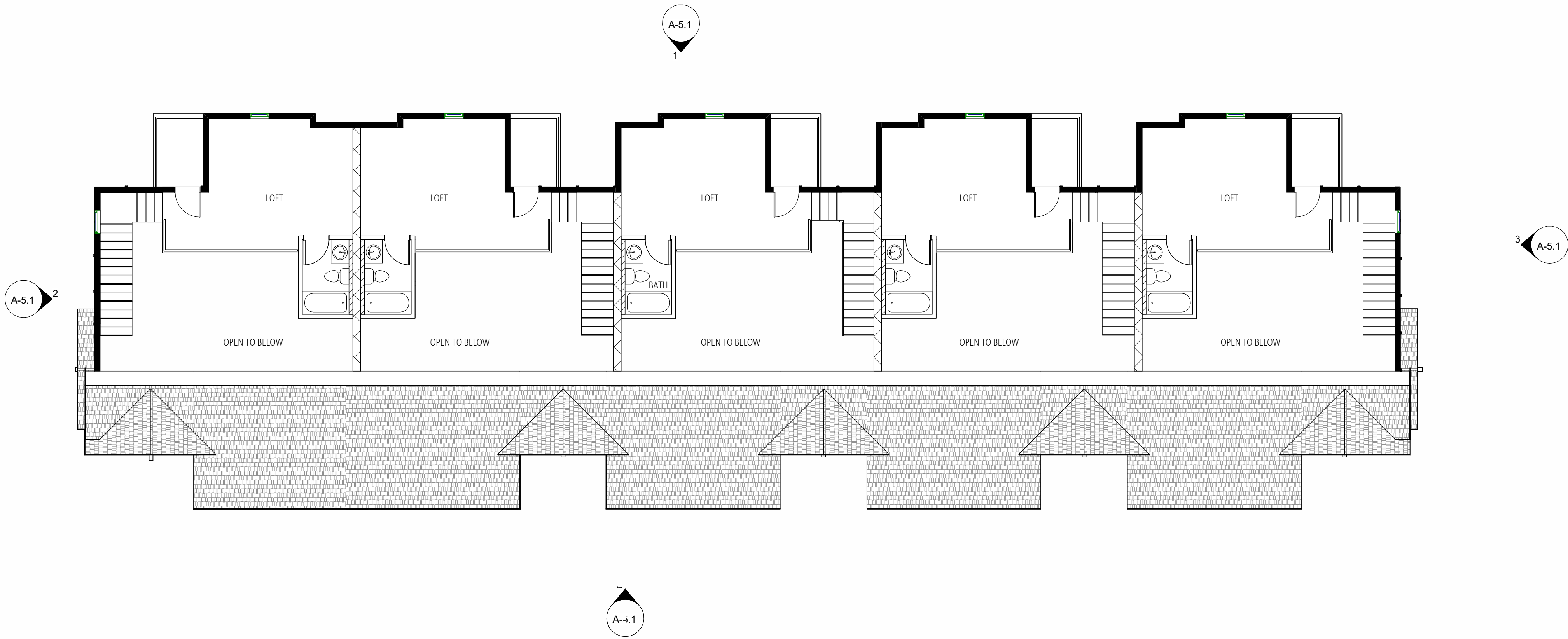
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SCALE: As indicated

SHEET TITLE:

CONSTRUCTION PLAN -
SECOND FLOOR BUILDING
D & E

SHEET NO:

A-1.2C



MEZZANINE FLOOR PLAN - BUILDING A

SCALE:
1/8" = 1'-0"

1

KEYNOTES

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 - MIN. 2% SLOPE CONTRACTOR MUST VERIFY ALL DRAINS FOR POSITIVE DRAINAGE.
- 8 BATHTUB
 - 60 IN. X 32 IN. X 74 IN. CAST IRON TUB WITH NON ABSORBENT SURFACE AT WALLS (TILE, TBD) MINIMUM 72" ABOVE FINISHED FLOOR.
 - ALL GLAZING IN SHOWER AND TUB AREAS SHALL BE TEMPERED GLAZING.
- 9 SHOWER
 - PROVIDE NON ABSORBENT SURFACE AT ALL SHOWER AND TUB AREAS AT A MINIMUM 72" ABOVE FINISHED FLOOR. CONCRETE SETTING BED OVER PAPER AND LATH INSTALLED IN ACCORDANCE WITH MANUFACTURE SPECS SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND SHOWER PANELS IN SHOWER AREAS. PROVIDE A MINIMUM 30" DIAMETER AREA AT ALL SHOWER AREAS.
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- 10 CLOTHES WASHER AND DRYER
 - ENERGY STAR RATED APPLIANCE
 - DRYER VENT TO OUTSIDE AIR WITH APPROVED TERMINATION CAP. CLOTH DRYER MOISTURE EXHAUST DUCT MUST BE 4" IN DIAMETER AND LENGTH IS LIMITED TO 14', WITH (2) 90 ELBOWS. THE DUCT LENGTH SHALL BE REDUCED BY 2' FOR EVERY ELBOW EXCESS OF TWO.
 - INSTALLER TO PROVIDE PANS.
- 11 GARAGE
 - GARAGE FLOOR SURFACES SHALL BE APPROVED NON-COMBUSTIBLE / SLIP-RESISTANT MATERIAL AND SLOPE TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY.
 - SHALL HAVE A MINIMUM ONE (1) LAYER OF 5/8" TYPE "X" GYP. BD. BETWEEN GARAGE AND RESIDENTIAL UNIT AT WALLS AD CEILING
- 12 FURR EXISTING WALL TO BE FLUSH.
- 13 CASSED OPENING.
- 14 REMOVE (E) CLAY TILE ROOF. PREPARE FOR ASPHALT COMPOSITE SHINGLES.

PARTITION LEGEND

- AREA NOT IN CONTRACT (N.I.C.)
- NEW SINGLE DOOR, DOOR FRAME AND HARDWARE.
- NEW DOUBLE DOOR, DOOR FRAME AND HARDWARE. "A" ACTIVE LEAF.
- NEW SLIDING POCKET DOOR, FRAME AND HARDWARE.
- NEW SLIDING CLOSET DOOR, FRAME AND HARDWARE.
- KEYNOTE
REFER TO KEYNOTE LIST HEREIN
- WINDOW TYPE MARK
SEE SCHEDULE ON SHEET A-4.0
- DOOR TYPE MARK
SEE SCHEDULE ON SHEET A-4.0

- ROOM NAME
- DETAIL
DETAIL REFERENCE
SHEET REFERENCE
- SPOT ELEVATION
DENOTES HEIGHT OF SURFACE
RELATIVE TO FLOOR
- THRESHOLD 1-1/2" MAX U.O.N.
- 22" x 30" ATTIC ACCESS
HATCH OR SCUTTLE
- NEW BUILT-IN MILLWORK CABINETRY
PER PLAN

NOTE:
CONTRACTOR TO IDENTIFY IN BID AND INCLUDE IN PRICING ALL ITEMS LIKELY TO BE REQUIRED BY TITLE 24, CHAPTER 6 PART 141.0 AND 141.1 BASED ON SCOPE OF WORK SHOWN IN PLAN. THIS SHALL INCLUDE (AS APPLICABLE) BUT NOT LIMITED TO: DISAGGREGATION OF ELECTRICAL PANELS, CONTROLLED RECEPTACLES, DAYLIGHTING CONTROLS, OCCUPANCY SENSORS, MULTI-LEVEL SWITCHING AND/OR DIMMING, DEMAND RESPONSE AND HVAC EFFICIENCY MEASURES.

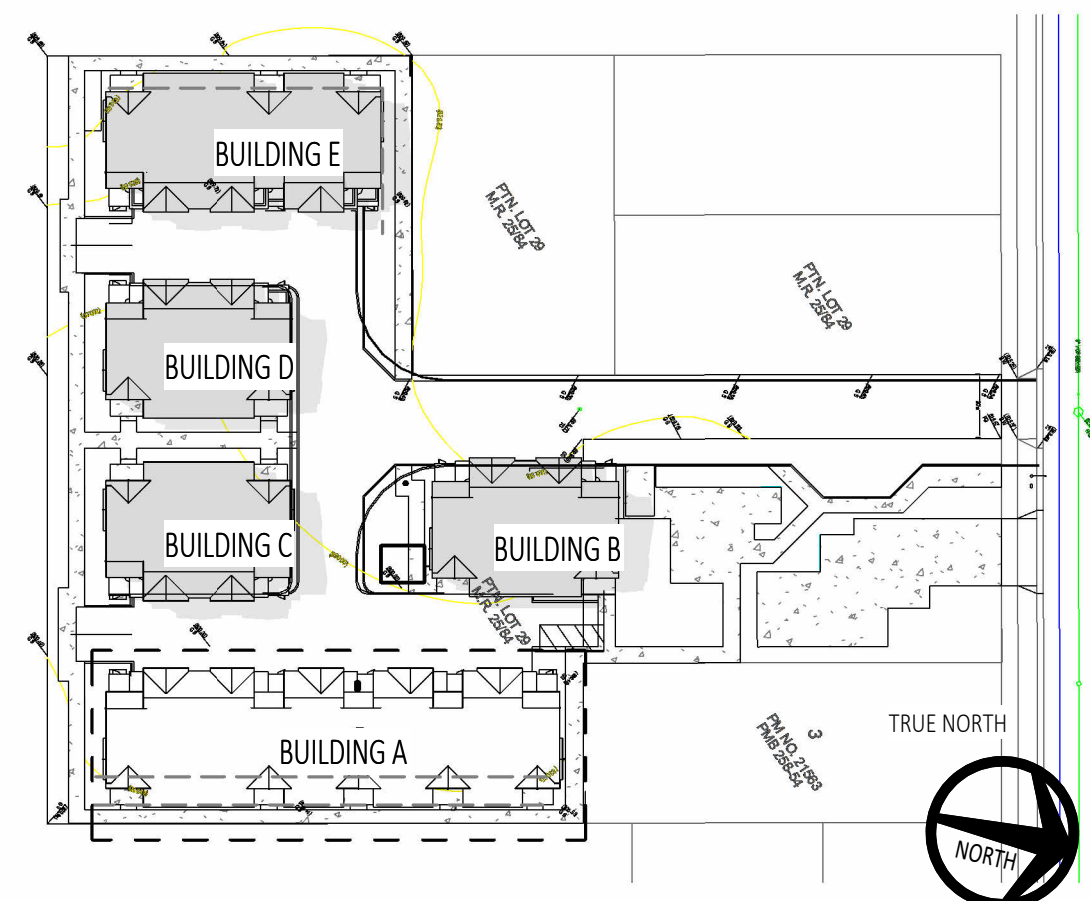
WALL TYPES

- 1HR / STC 50 WALL
- 2X6 WOOD FRAMED WALL
 - REFER TO DETAILS 3/5.0
 - PROVIDE R-19 INSULATION
 - TYPICAL AT ALL UNIT SEPARATIONS
 - NO PLUMBING SHALL PENETRATE PARTY WALLS
 - REFER TO DETAIL 1/5.1 FOR OUTLET PROTECTION
 - 2X4 PLUMBING FURDOUT WHERE OCCURS
 - REFER TO DETAIL 3/5.0
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 - REFER TO DETAIL 1/5.1 FOR OUTLET PROTECTION
- 1HR EXTERIOR WALL
- 2X6 WOOD FRAMED WALL
 - DRYWALL INTERIOR
 - REFER TO ELEVATIONS FOR EXTERIOR FINISHES
 - REFER TO DETAIL 1/5.0
 - **STONE VENEER WHERE OCCURS REFER TO ELEVATIONS AND DETAIL**
- 2X6 WOOD FRAMED PLUMBING WALL
- INTERIOR PARTITION WALL
- 2X4 WOOD FRAMED WALL WITH DRYWALL FINISH

NOTES:

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KEY PLAN



PROJECT:

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PROJECT NO: 633668

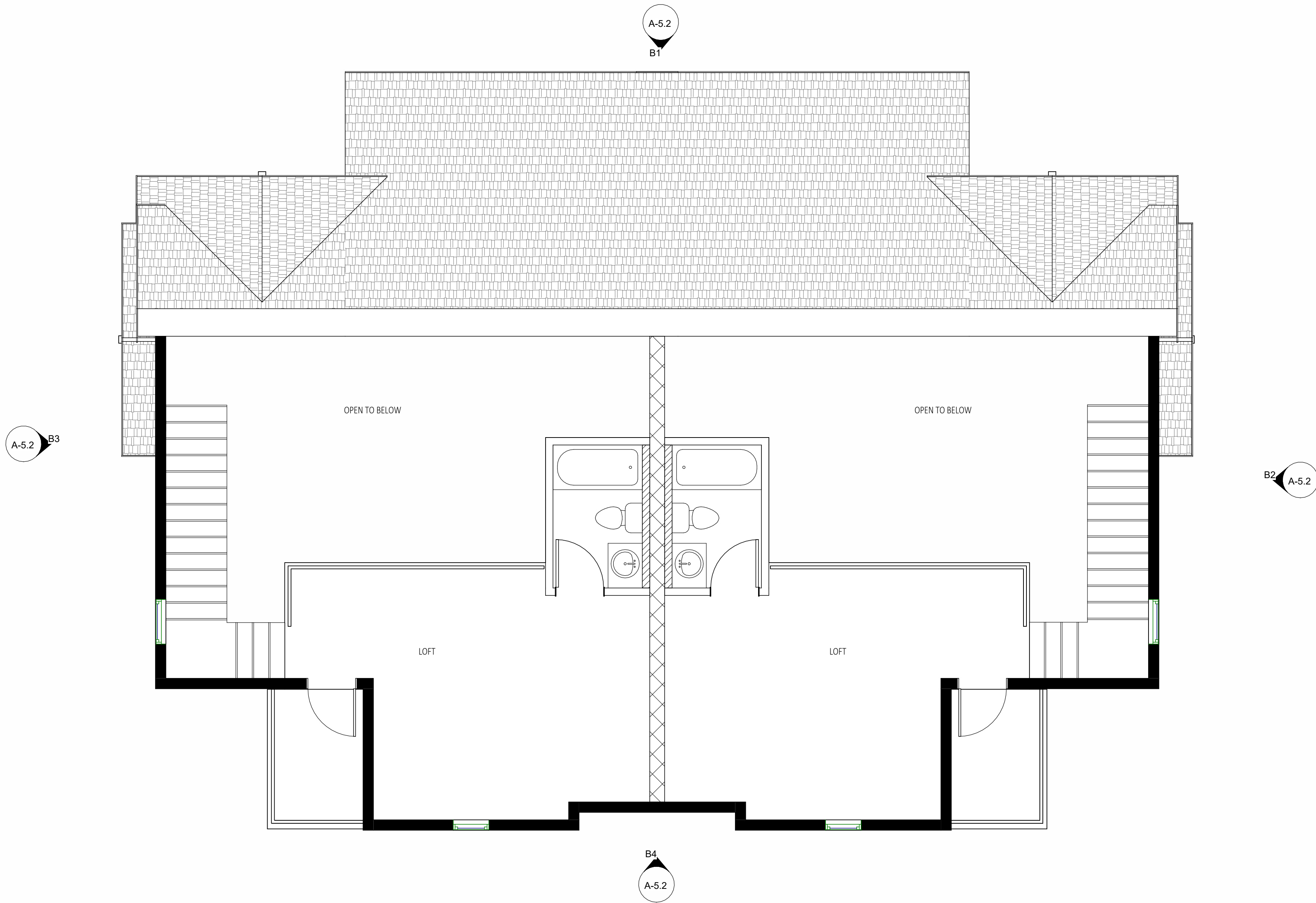
SCALE: As indicated

SHEET TITLE:

CONSTRUCTION PLAN -
MEZZANINE LEVEL
BUILDING A

SHEET NO:

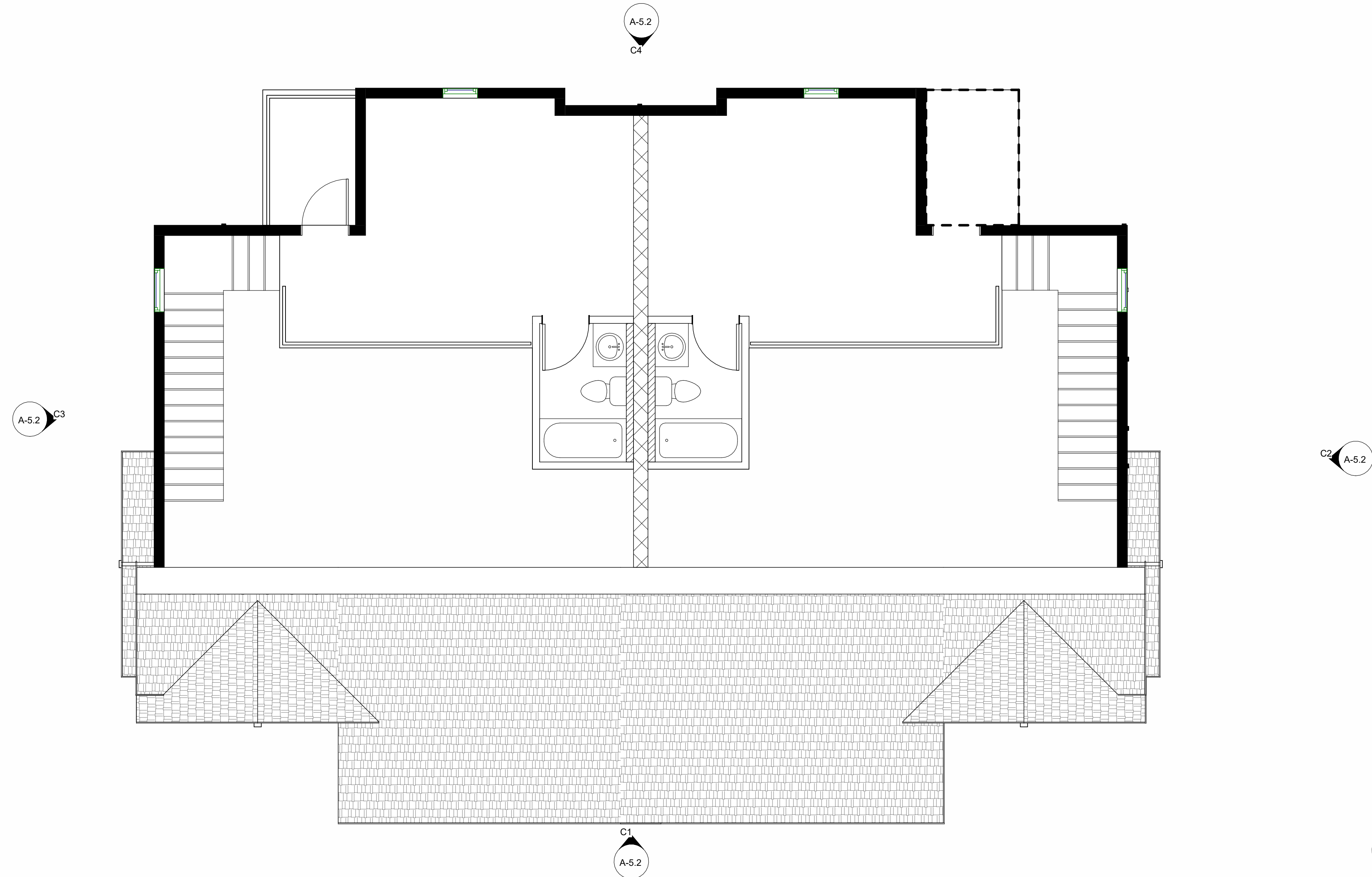
A-1.MA



MEZZANINE FLOOR PLAN - BUILDING C

SCALE:
1/4" = 1'-0"

1



MEZZANINE FLOOR PLAN - BUILDING B

SCALE:
1/4" = 1'-0"

2

KEYNOTES

- 1 REMOVE EXISTING WINDOW. FILL OPENING WITH/ WOOD FRAMING. FINISHES TO MATCH ADJACENT.
- 2 NEW LINEN CABINET
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- DOOR TYPE MARK
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- NAME ROOM NAME
- DETAIL
DETAIL REFERENCE
SHEET REFERENCE
- SPOT ELEVATION
DENOTES HEIGHT OF SURFACE
RELATIVE TO FLOOR
- THRESHOLD 1-1/2" MAX U.O.N.
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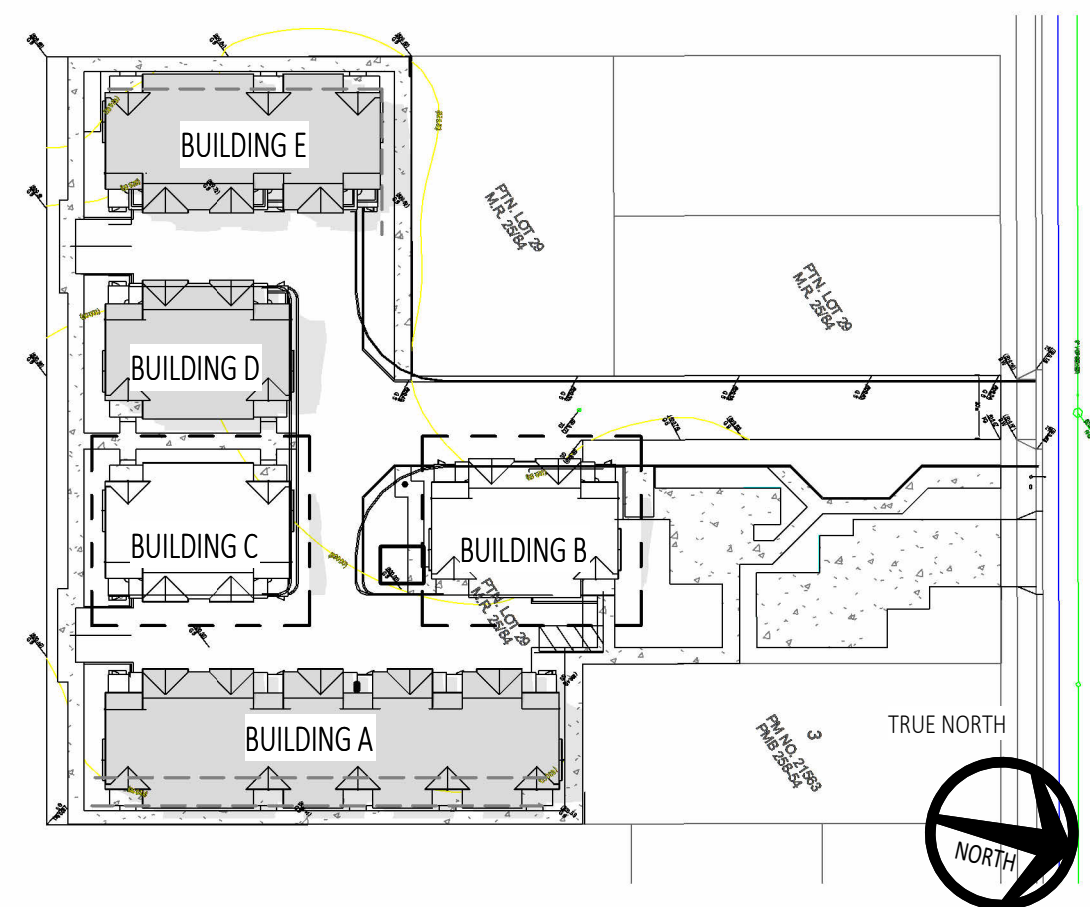
WALL TYPES

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 - PROVIDE R-19 INSULATION
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 - REFER TO DETAIL 1/5.1 FOR OUTLET PROTECTION
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 - REFER TO DETAIL 3/5.0
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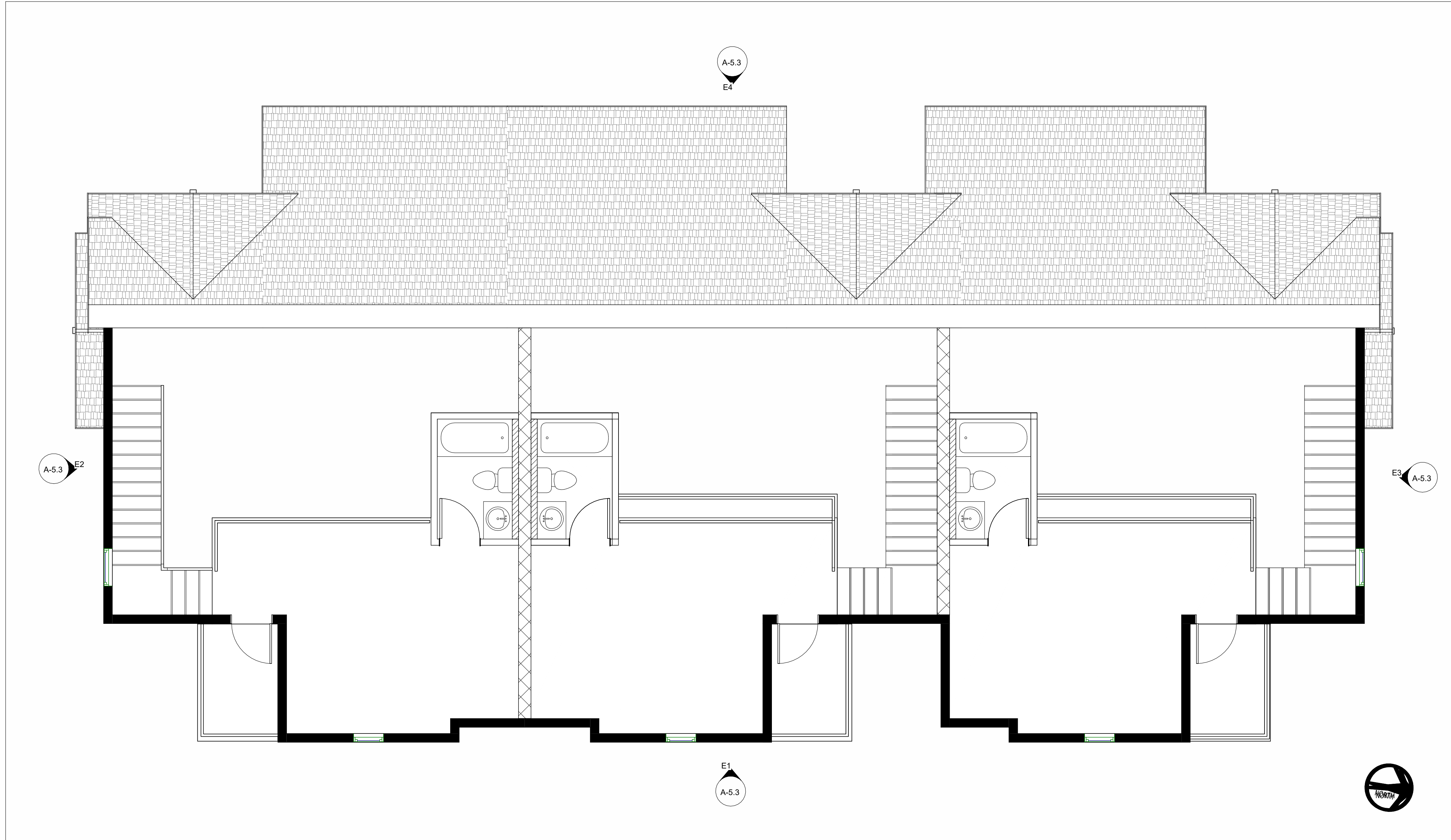
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SHEET TITLE:

CONSTRUCTION PLAN -
MEZZANINE LEVEL
BUILDING B & C

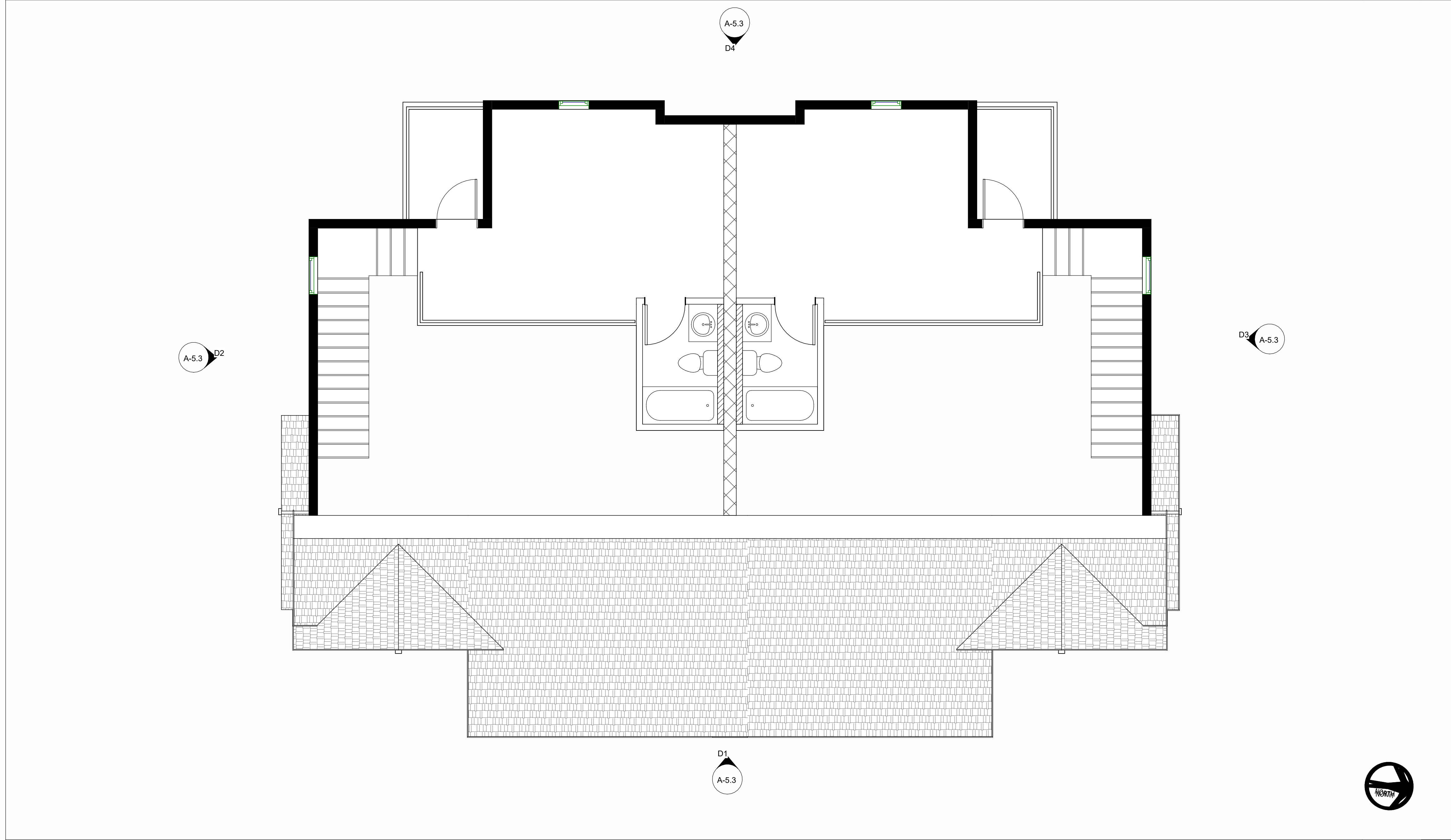
SHEET NO:

A-1.MB



MEZZANINE FLOOR PLAN - BUILDING E

SCALE: 1/4" = 1'-0" 1



MEZZANINE FLOOR PLAN - BUILDING D

SCALE: 1/4" = 1'-0" 2

KEYNOTES

- 1 REMOVE EXISTING WINDOW. FILL OPENING WITH/ WOOD FRAMING. FINISHES TO MATCH ADJACENT.
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NEW SLIDING CLOSET DOOR, FRAME AND HARDWARE.

KEYNOTE
REFER TO KEYNOTE LIST HEREIN

WINDOW TYPE MARK
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DOOR TYPE MARK
SEE SCHEDULE ON SHEET A-4.0

ROOM NAME

DETAIL
DETAIL REFERENCE
SHEET REFERENCE

SPOT ELEVATION
DENOTES HEIGHT OF SURFACE
RELATIVE TO FLOOR

THRESHOLD 1-1/2" MAX U.O.N.

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- 2X4 PLUMBING FURDUT WHERE OCCURS
- REFER TO DETAIL 3/5.0

1HR / STC 50 WALL

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- REFER TO DETAILS 3/5.0
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1HR EXTERIOR WALL

- 2X6 WOOD FRAMED WALL
- DRYWALL INTERIOR
- REFER TO ELEVATIONS FOR EXTERIOR FINISHES
- REFER TO DETAIL 1/5.0
- **STONE VENEER WHERE OCCURS REFER TO ELEVATIONS AND DETAIL**

2X6 WOOD FRAMED PLUMBING WALL

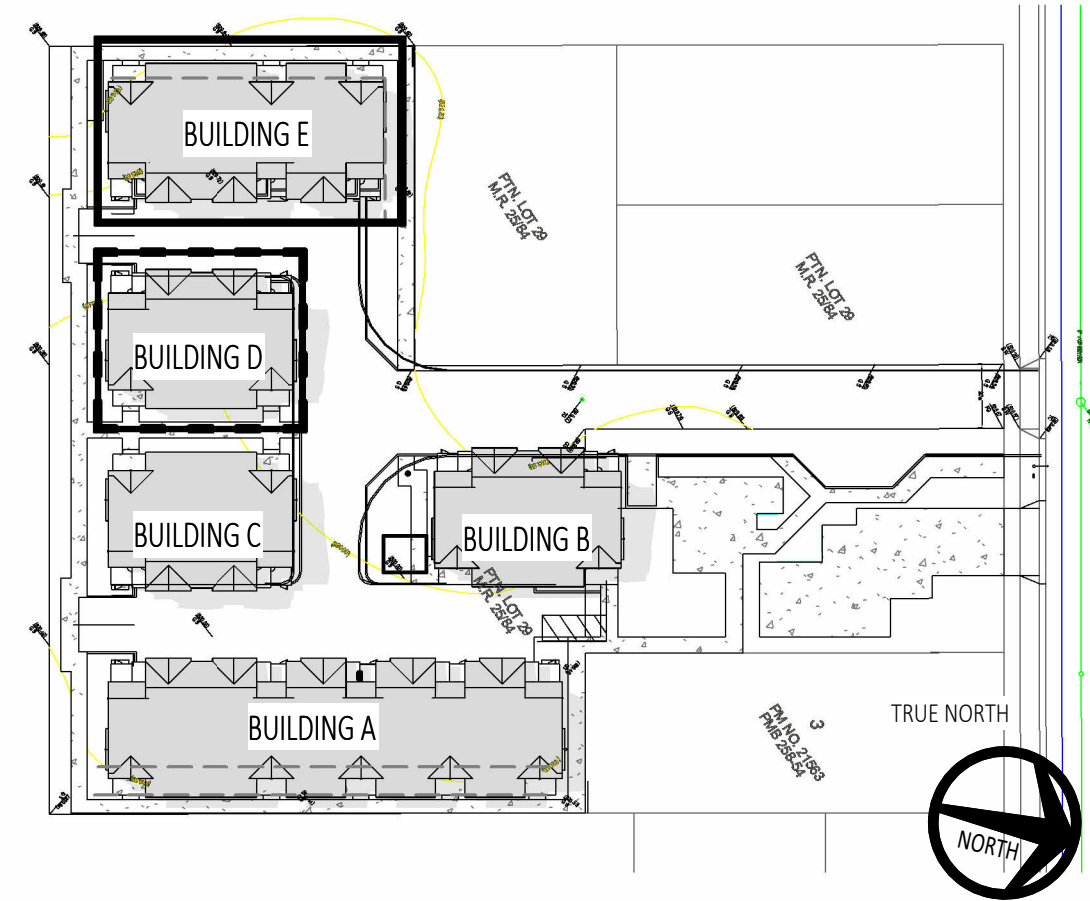
INTERIOR PARTITION WALL

2X4 WOOD FRAMED WALL WITH DRYWALL FINISH

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DATE	DESCRIPTION	DELTA
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IF DRAWINGS AND MATERIALS DEVELOPED AND PROVIDED BY SAA INTERIORS + ARCHITECTURE AT THE TIME OF THIS DRAWING TO COMPLY WITH THE CENTER FOR DISEASE CONTROL AND PREVENTION (CDC) AND THE WORLD HEALTH ORGANIZATION (WHO) SUCH RECOMMENDATIONS ARE ONLY VALID AS OF THE DATE THE DRAWINGS AND MATERIALS ARE PRODUCED. THE CDC AND/OR WHO MAY UPDATE OR MODIFY THEIR RECOMMENDATIONS AT ANY TIME PER THEIR DISCRETION. IN USING RECOMMENDATIONS FROM THESE DRAWINGS AND MATERIALS, THE RECIPIENT ACKNOWLEDGES THAT IT HAS BASED ON THEIR OWN DESIGN AND FIELD RESPONSIBILITY AND LIABILITY. THE INTENDED RECIPIENT RECIPIENT RECIPIENT SAA FOR ANY USE OF THESE DRAWINGS AND MATERIALS BY OTHERS, SAA'S SERVICES ARE INTENDED TO ONLY BE OF ASSISTANCE AND GUIDANCE FOR OUR CLIENTS' STRATEGIES AND DO NOT CONSTITUTE AS REPRESENTATIONS OR WARRANTIES REGARDING THE ACCURACY OR COMPLETENESS OF THE DRAWINGS AND MATERIALS. ANY RECOMMENDATIONS OR USE OF ANY CDC OR WHO INFORMATION DOES NOT CONSTITUTE ENDORSEMENT BY THE U.S. GOVERNMENT, DEPARTMENT OF HEALTH AND HUMAN SERVICES OR THE CDC AND WHO NOR ITS AFFILIATES.

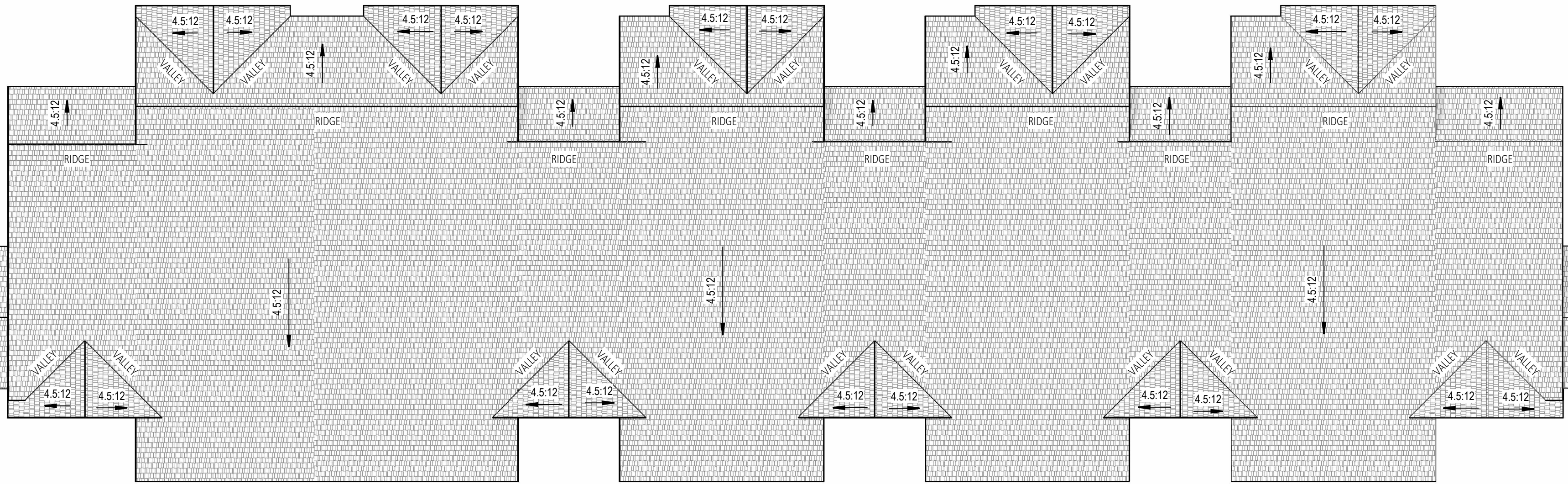
DATE: 08/05/2024
DRAWN: VL
REVIEWED: VL
PROJECT NO: 633668
SCALE: As indicated

SHEET TITLE:

CONSTRUCTION PLAN -
MEZZANINE LEVEL
BUILDING D & E

SHEET NO:

A-1.MC



ROOF PLAN - BUILDING A

SCALE:
1/8" = 1'-0"

1

ATTIC VENTILATION CALCULATION

ATTIC AREA 1 XX SF
XX / 150 = XX SF OF VENTILATION AREA REQUIRED (XX SQ. IN.)
50% OF VENTILATION WILL BE PROVIDED AT DORMER VENTS (XX SQ. IN.)
OTHER ASPHALT SHINGLE VENTS: 72 SQ. IN. PER VENT => X RIDGE VENTS REQUIRED (X PROVIDED)
RIDGE VENT SHALL BE LOCATED 18" MAX FROM RIDGE
50% OF VENTILATION WILL BE PROVIDED AT EAVE VENTS (XX SQ. IN.)
EAVE VENTS PROVIDING 60 SQ. IN. EACH => X EAVE VENTS REQUIRED
ALL NEW ROOF AND UNDER-FLOOR VENT OPENINGS SHALL BE COVERED WITH NON-COMBUSTIBLE, CORROSION RESISTANT, METAL WIRE MESH OR OTHER MATERIALS HAVING OPENINGS OF 1/16 INCH MINIMUM TO 1/8 INCH MAXIMUM.

ATTIC AREA 2 XX SF
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LEGEND

- ATTIC AREA 1= XX SF
- ATTIC AREA 2= XX SF
- X:X ROOF SLOPE AND DIRECTION
- SPOT ELEVATION
- EAVE VENT
- DORMER VENT

ROOFING SPECIFICATION

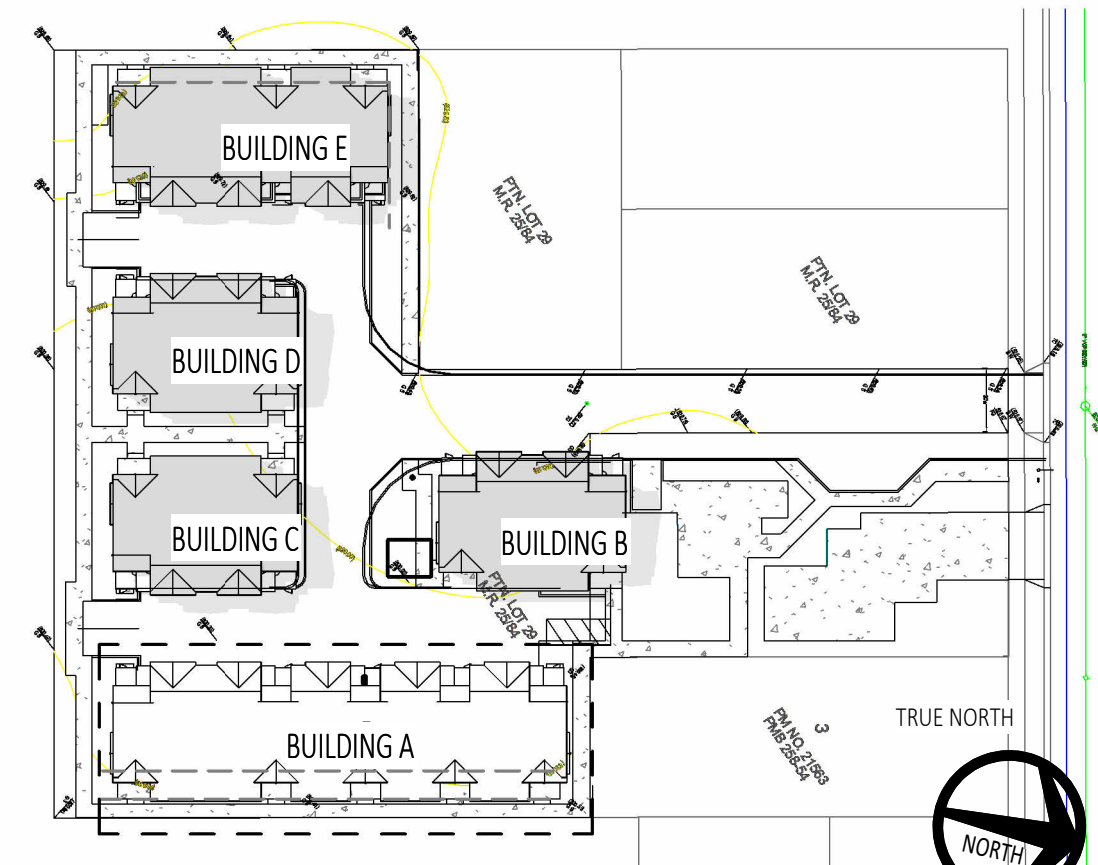
ROOFING NOTE:
ROLLED ROOFING
GRAF: CLASS A: COOL ROOF SYSTEM
MODEL: EVERGUARD TPO (OR EQUAL)
CIRC: 9676-0001
UL ER 1306-01 (Class A Fire Resistance)

CIRC PROD ID.	MANUFACTURER	BRAND AND MODEL	SOLAR REFLECTANCE		THERMAL EMITTANCE		SRI	
			INITIAL	3 YEAR	INITIAL	3 YEAR	INITIAL	3 YEAR
0676-0001	GAF	EverGuard® TPO (White)	0.76	0.68	0.90	0.83	94	81
CIRC PRODUCT ID 0676-0001			TYPE Single-Ply		APPLICATION APPROVAL DATE December 31, 2017			
MANUFACTURER GAF			COLOR Bright White		MANUFACTURER CONTACT GAF Technical Services 800-766-3411 https://www.gaf.com			
BRAND EverGuard®			PRODUCT MARKET All Markets					
VENEER TPO (White)			SLOPE Low					

GENERAL NOTES

- OPENING SHALL BE PLACED SO AS TO PROVIDE CROSS VENTILATION OF THE ATTIC SPACE.
- THE NE FREE VENTILATION AREAS SHALL NOT BE LESS THAN 1/150 OF THE ATTIC AREA.
- OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/16" MINIMUM AND 1/4" MAXIMUM OPENINGS.
- 50% OF THE REQUIRED VENTILATION AREA MUST BE LOCATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS.
- WHERE THE RATIO OF 1/500 IS USED TO VENT THE ATTICS, NOT LESS THAN 40% BUT NOT MORE THAN 50% OF THE VENTS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE.

KEY PLAN



PROJECT:
ARELLANO RESIDENTIAL

MULTI-FAMILY
DEVELOPMENT

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POMONA, CA 91768

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T 213.929.1400

T 415.390.6793

T 848.200.1200

T 917.512.6688

SEAL AND STAMP:

CONSULTANTS:

NOT FOR CONSTRUCTION

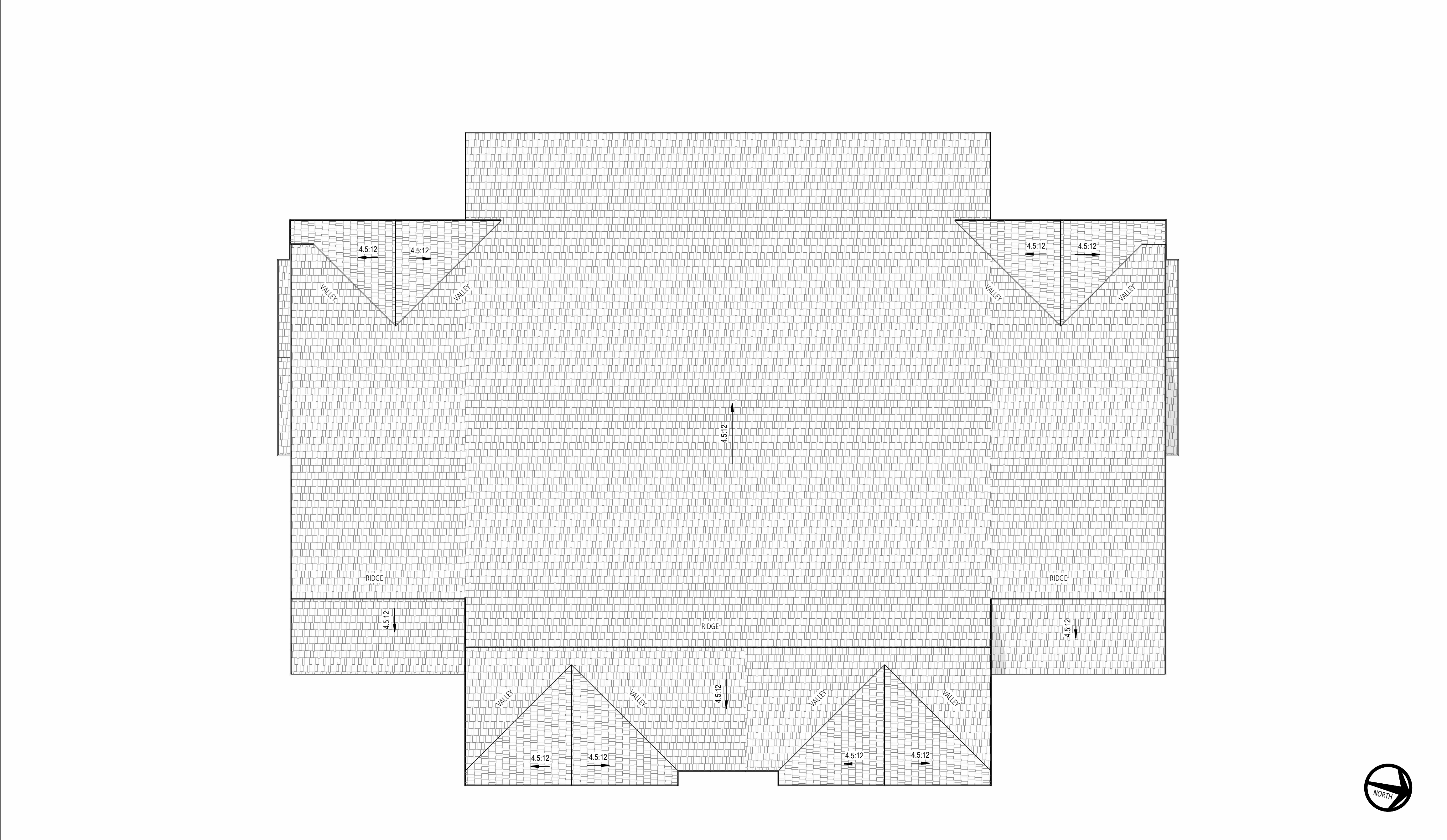
DRAWINGS ISSUE
DATE DESCRIPTION DELTA

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DATE: 08/05/2024
DRAWN: VL
REVIEWED: VL
PROJECT NO: 633668
SCALE: As indicated
SHEET TITLE:

ROOF PLAN - GROUND
FLOOR BUILDING A

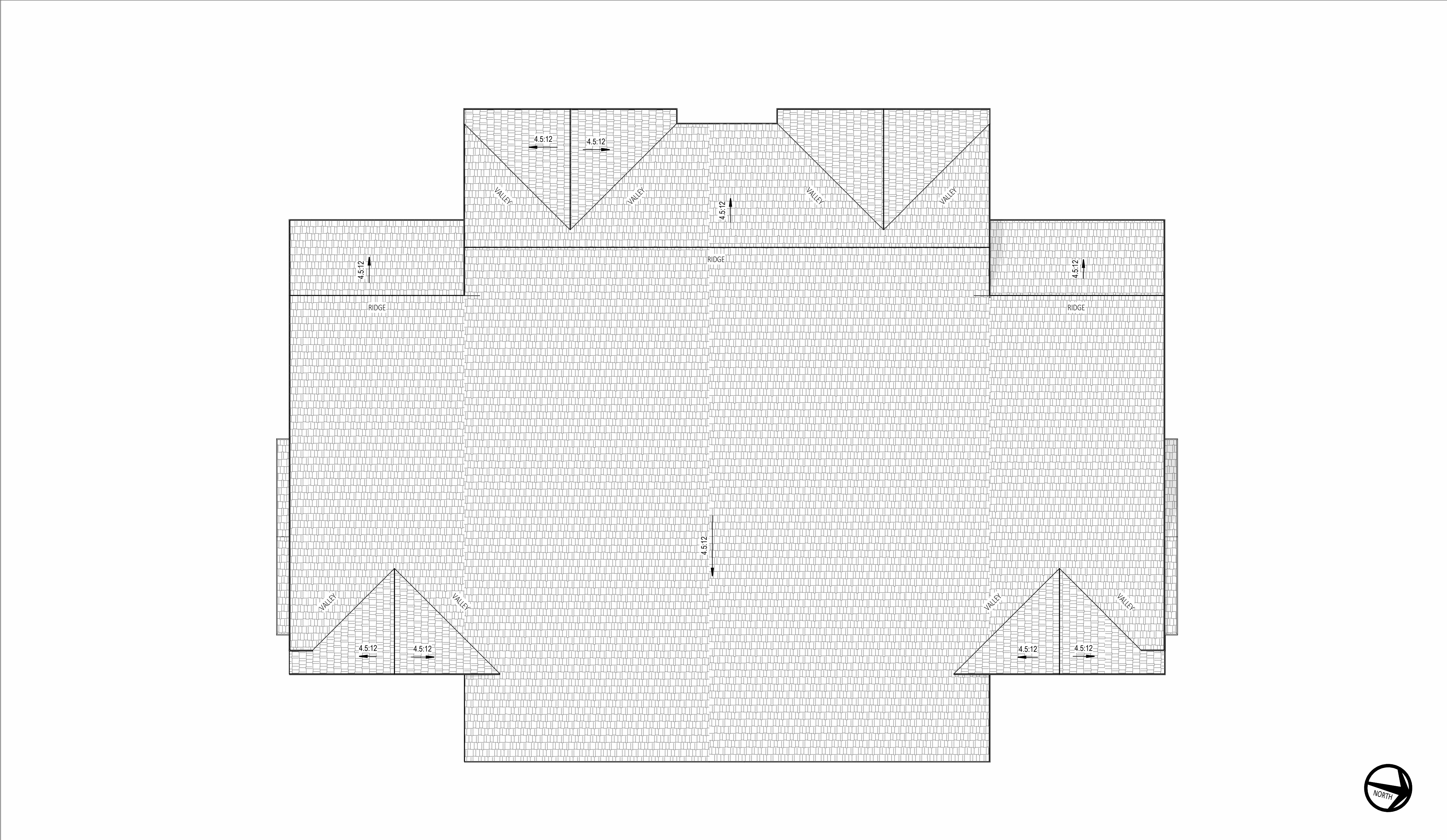
SHEET NO:
A-4.1A



ROOF PLAN - BUILDING C

SCALE:
1/4" = 1'-0"

1



ROOF PLAN - BUILDING B

SCALE:
1/4" = 1'-0"

2

ATTIC VENTILATION CALCULATION

ATTIC AREA 1 XX SF
XX / 150 = XX SF OF VENTILATION AREA REQUIRED (XX SQ. IN.)
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ATTIC AREA 2 XX SF
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LEGEND

- ATTIC AREA 1= XX SF
- ATTIC AREA 2= XX SF
- ROOF SLOPE AND DIRECTION
- SPOT ELEVATION
- EAVE VENT
- DORMER VENT

PROJECT:
ARELLANO RESIDENTIAL

MULTI-FAMILY DEVELOPMENT

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T 917.512.6688

SEAL AND STAMP:

CONSULTANTS:

ROOFING SPECIFICATION

ROOFING NOTE:

ROLLED ROOFING
GRAF: CLASS A: COOL ROOF SYSTEM
MODEL: EVERGUARD TPO (OR EQUAL)
CRRC: 0676-0001
UL E8 1306-01 (Class A Fire Resistance)

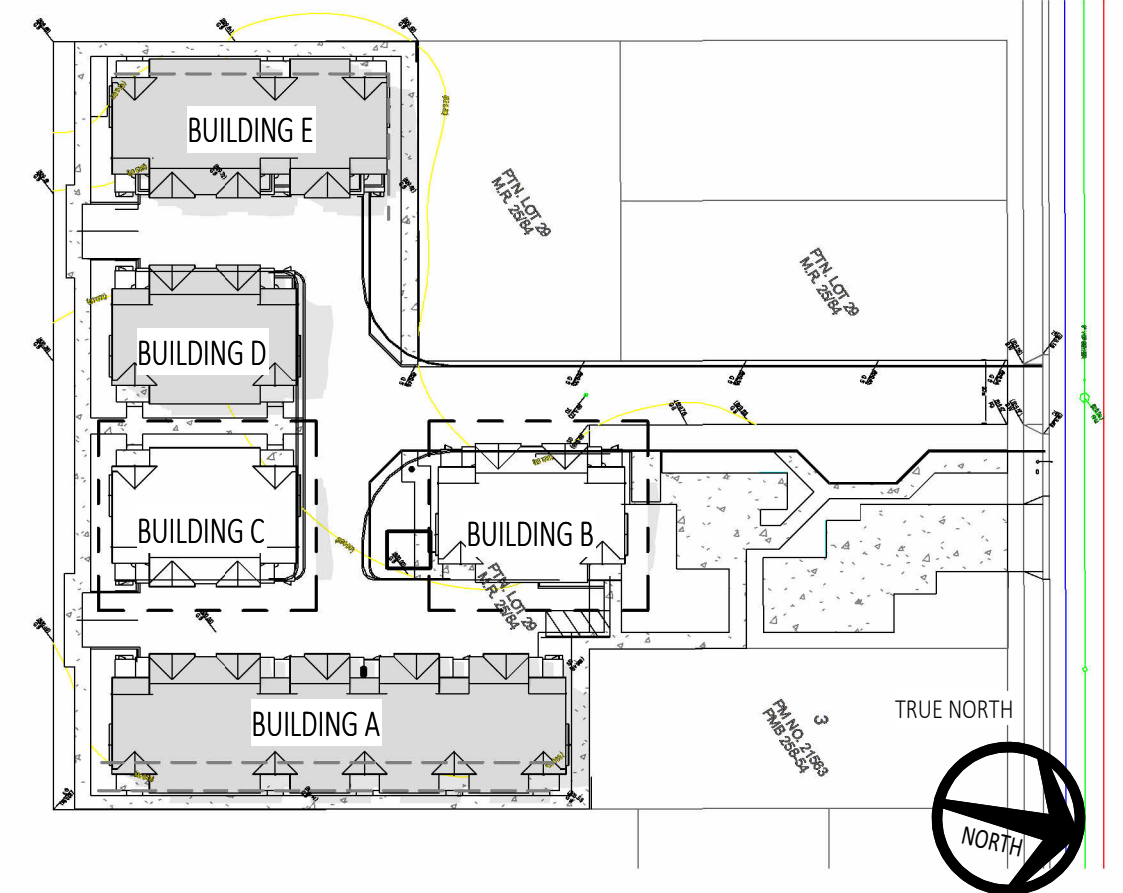
CRRC PROD ID.	MANUFACTURER	BRAND AND MODEL	SOLAR REFLECTANCE		THERMAL EMITTANCE		SRI	
			INITIAL	3 YEAR	INITIAL	3 YEAR	INITIAL	3 YEAR
0676-0001	GAF	EverGuard® TPO (White)	0.76	0.68	0.90	0.83	94	81

CRRC PRODUCT ID 0676-0001	TYPE Single-Ply	APPLICATION APPROVAL DATE December 31, 2017
MANUFACTURER GAF	COLOR Bright White	MANUFACTURER CONTACT GAF Technical Services
BRAND EverGuard®	PRODUCT MARKET All Markets	800-766-3411
MODEL TPO (White)	SLOPE Low	https://www.gaf.com

GENERAL NOTES

- OPENING SHALL BE PLACED SO AS TO PROVIDE CROSS VENTILATION OF THE ATTIC SPACE.
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KEY PLAN



NOT FOR CONSTRUCTION

DRAWINGS ISSUE

DATE	DESCRIPTION	DELTA
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DATE: 08/05/2024

DRAWN: VL

REVIEWED: VL

PROJECT NO: 633668

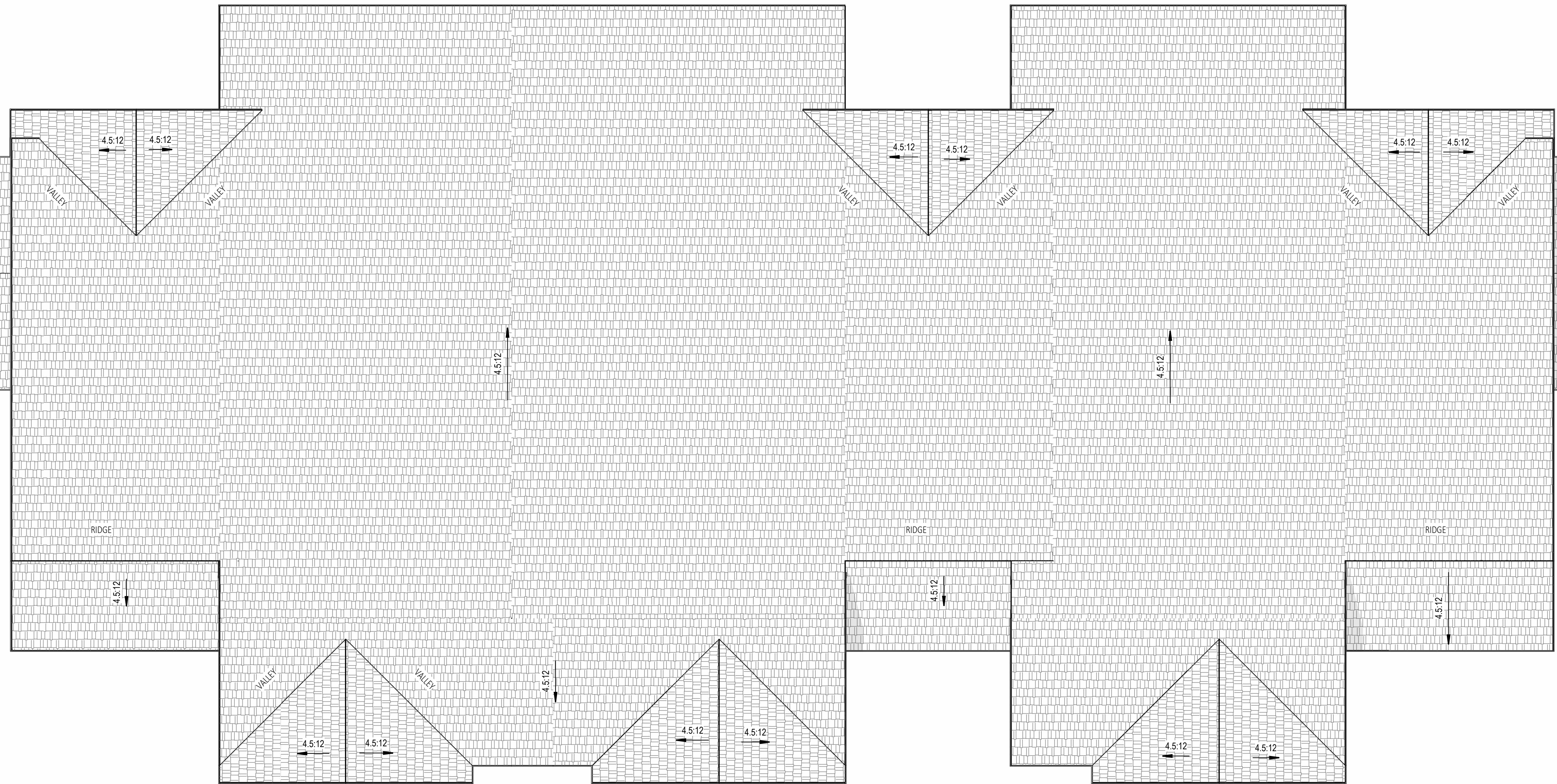
SCALE: As indicated

SHEET TITLE:

POWER PLAN - GROUND FLOOR BUILDING B & C

SHEET NO:

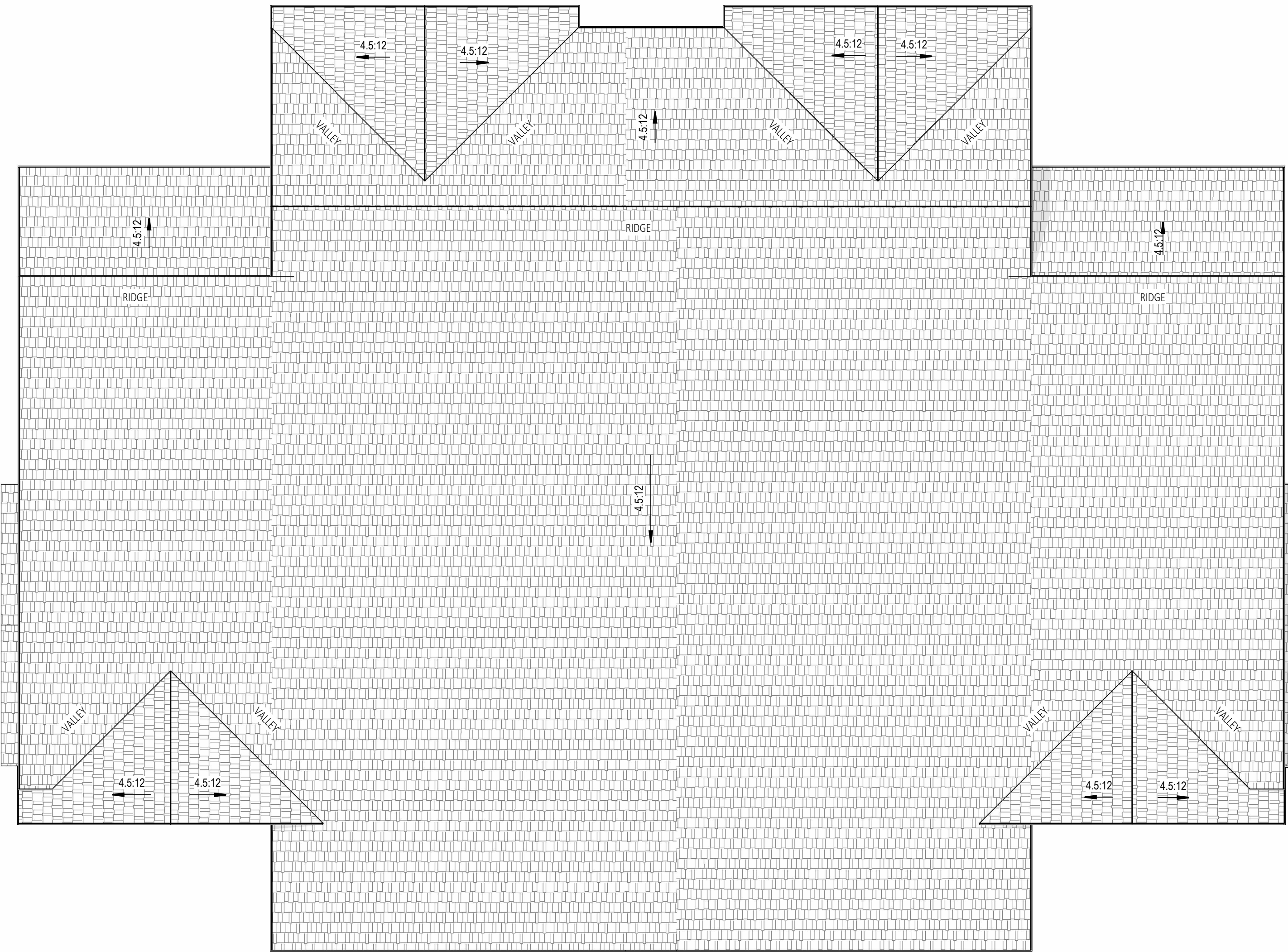
A-4.1B



ROOF PLAN - BUILDING E

SCALE:
1/4" = 1'-0"

1



ROOF PLAN - BUILDING D

SCALE:
1/4" = 1'-0"

2

ATTIC VENTILATION CALCULATION

ATTIC AREA 1 XX SF
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LEGEND

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- X:X ROOF SLOPE AND DIRECTION
- SPOT ELEVATION
- EAVE VENT
- DORMER VENT

ROOFING SPECIFICATION

ROOFING NOTE:
ROLLED ROOFING
GRAF: CLASS A: COOL ROOF SYSTEM
MODEL: EVERGUARD TPO (OR EQUAL)
CRRC: 0676-0001
UL 1306-01 (Class A Fire Resistance)

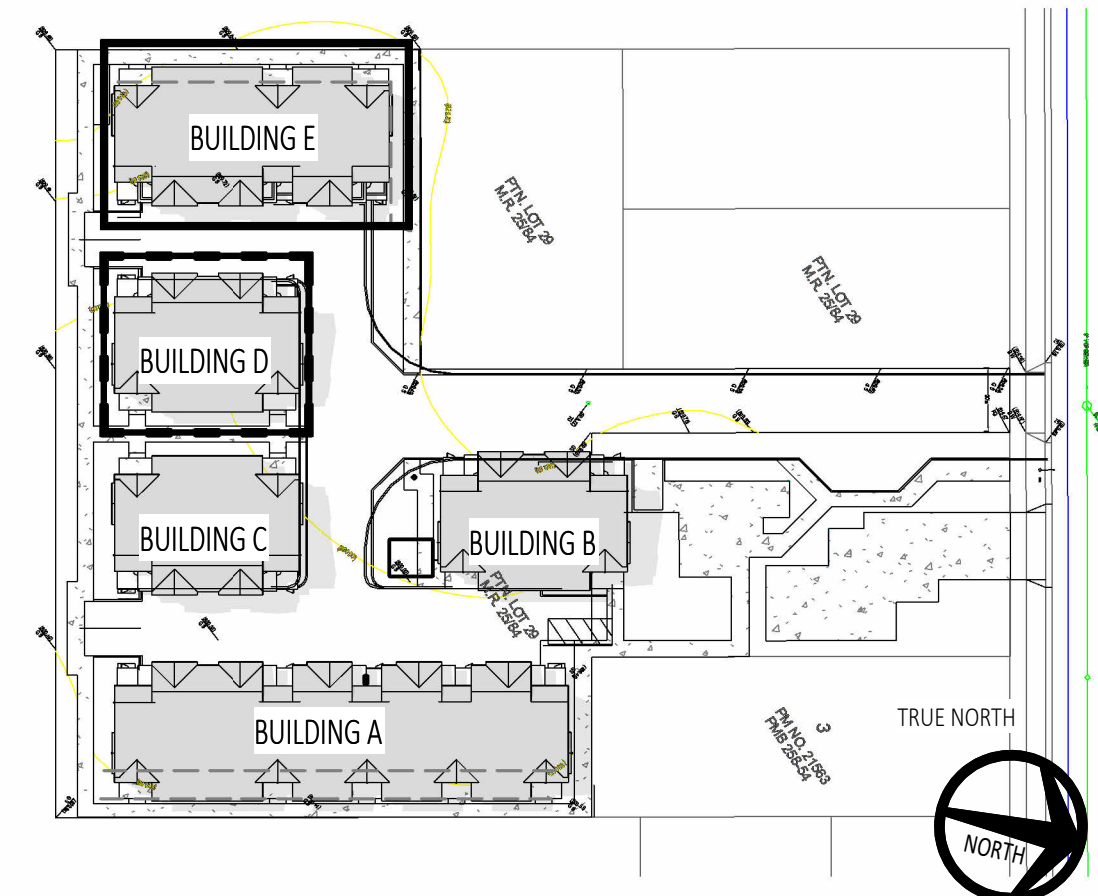
CRRC PROD ID.	MANUFACTURER	BRAND AND MODEL	SOLAR REFLECTANCE		THERMAL EMITTANCE		SRI	
			INITIAL	3 YEAR	INITIAL	3 YEAR	INITIAL	3 YEAR
0676-0001	GAF	EverGuard® TPO (White)	0.76	0.68	0.90	0.83	94	81

CRRC PRODUCT ID 0676-0001	TYPE Single-Ply	APPLICATION APPROVAL DATE December 31, 2017
MANUFACTURER GAF	COLOR Bright White	MANUFACTURER CONTACT GAF Technical Services 800-766-3411 https://www.gaf.com
BRAND EverGuard®	PRODUCT MARKET All Markets	
VIBES: TPO (White)	SLOPE Low	

GENERAL NOTES

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KEY PLAN



PROJECT:
ARELLANO RESIDENTIAL

MULTI-FAMILY
DEVELOPMENT

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CONSULTANTS:

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DATE: 08/05/2024
DRAWN: VL
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PROJECT NO: 633668
SCALE: As indicated
SHEET TITLE:

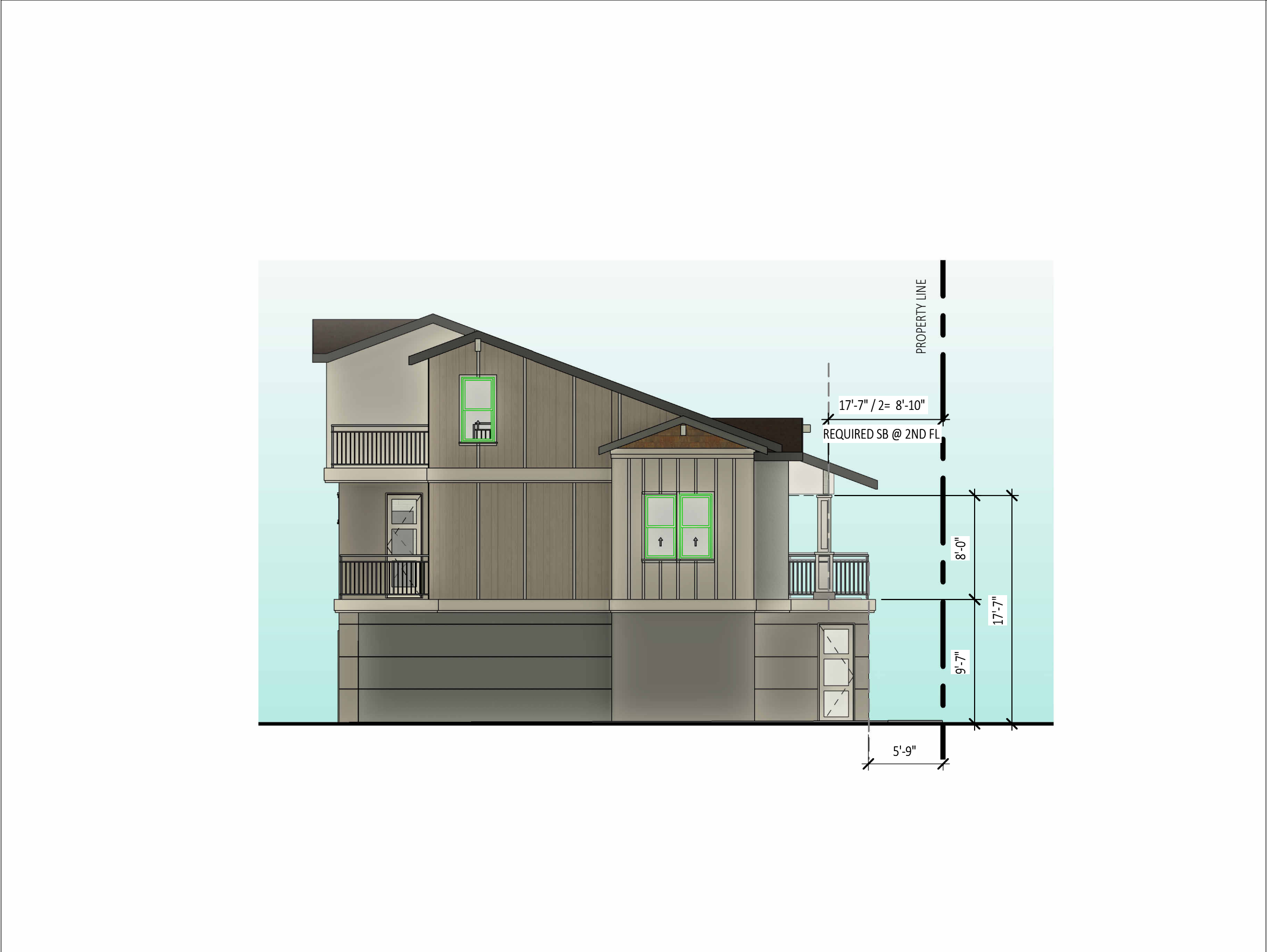
ROOF PLAN - SECOND
FLOOR BUILDING D & E

SHEET NO:

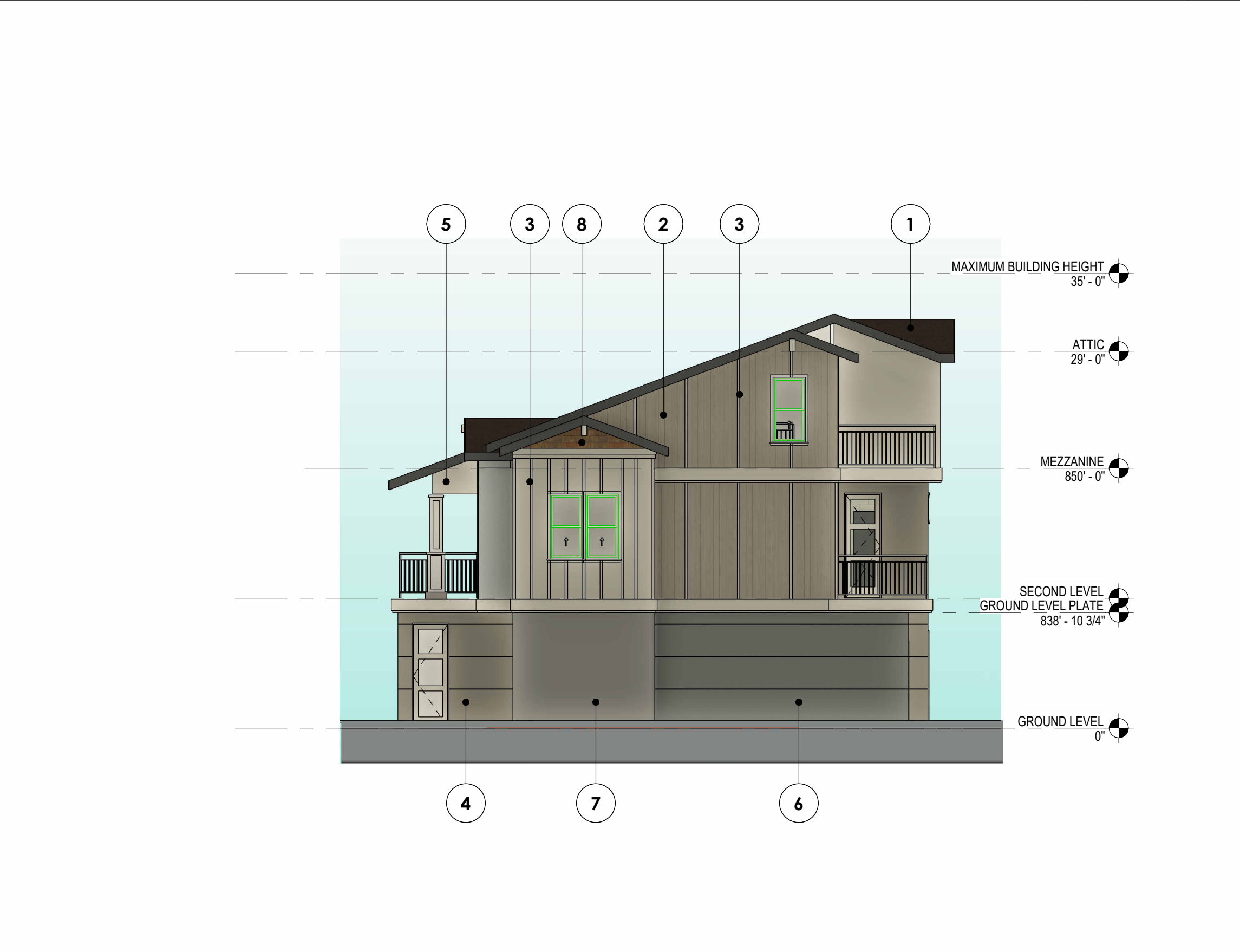
A-4.1C



REAR SCALE: 1/8" = 1'-0" 1



SOUTH ELEVATION SCALE: 1/8" = 1'-0" 2



NORTH ELEVATION SCALE: 1/8" = 1'-0" 3



FRONT ELEVATION SCALE: 1/8" = 1'-0" 4

EXTERIOR MATERIAL

6

LA HABRA STUCCO (OR EQ)
COLOR: SILVERADO

7

CULTURED STONE®
PRO-FIT ALPINE LEDGESTONE
COLOR: SUMMIT PEAK (OR EQ)

8

HARDIE® SHINGLE SIDING
STAGGERED EDGE PANEL
COLOR: SHEVAL TAN

1

ASPHALT SHINGLE ROOFING
GAF: CLASS A, COOL ROOF SYSTEM
TIMBERLINE® COOL SERIES®
COLOR: WEATHERED WOOD
CRRC: 0676-0043a
UL 790 (Class A Fire Resistance)
ICC ES ESR-1475
(OR APPROVED EQUAL)

2

HARDIE® TRIM BOARDS
2" SMOOTH BATTEN BOARDS
COLOR: WHITE

3

HARDIE® PANEL VERTICAL SIDING
SIERRA 8
COLOR: TAN (TBD)

4

LA HABRA STUCCO (OR EQ)
COLOR: ASPEN

5

LA HABRA STUCCO (OR EQ)
COLOR: CRYSTAL WHITE

PROJECT:
**ARELLANO RESIDENTIAL
MULTI-FAMILY
DEVELOPMENT**

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SEAL AND STAMP:

CONSULTANTS:

NOT FOR CONSTRUCTION

DRAWINGS ISSUE

DATE	DESCRIPTION	DELTA

KEYNOTES

1

ALL NEW EXTERIOR WALLS TO RECEIVE SMOOTH STUCCO FINISH. PREPARE ALL EXISTING EXTERIOR WALLS TO RECEIVE SMOOTH STUCCO FINISH.

2

PROVIDE STAIN GRADE T&G AT ALL ROOF OVERHANGS OVER 5/8" TYPE "X" GYP. BOAD. REFER TO DETAIL X/A-30.B.

3

ROOF TOP EQUIPMENT SCREEN BY OTHERS.

4

STUCCO CONTROL JOINT

5

WALL MOUNTED METAL GRILL BY OTHERS.

6

METAL GATE BY OTHERS.

7

NON-STURCTURAL METAL SCREEN BY OTHERS.

8

STONE VENEER SCANCES

EXTERIOR MATERIAL REQUIREMENTS

1

STUCCO FINISH TO BE SMOOTH, SAND FLOAT FINISH, OR SUBMITTED FOR APPROVAL. ANY REVISIONS TO APPROVED ART JURY PLANS AND ANY DEVIATION FROM APPROVED WINDOW AND DOOR MUNTIN LIGHT SIZES (GRIDS) MUST BE SUBMITTED TO THE ART JURY FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. DEVIATIONS FROM ART JURY PLANS AND DETAILS DISCOVERED AFTER CONSTRUCTION WILL BE SUBJECT TO FINES, AND MAY REQUIRE CORRECTIONS IN THE FIELD.

2

PROVIDE WINDOW AND DOOR MANUFACTURER AND MATERIAL ON DOOR AND WINDOW SCHEDULES.

3

MUNTINS SHALL BE AN INTEGRAL PART OF ALL WINDOWS AND DOORS. "SNAP-IN/SNAP OUT" MUNTINS NOT ALLOWED. MUNTINS MAY BE NO GREATER THAN 1/4" MAXIMUM ON WINDOWS. MUNTIN DETAIL TO BE INCLUDED ON DETAIL SHEET.

4

SILL HORN AT ALL WINDOWS TO EXTEND A MAXIMUM OF 2" TO A MINIMUM OF 1/4" OR SHALL MATCH EXISTING. PROVIDE DRAWN DETAIL INDICATING EXTENDED SILL.

5

WOOD DOOR STILES TO BE A MAXIMUM OF 4 1/2" WIDTH

6

SKYLIGHTS SHALL BE FLAT GLASS WITH CURB MOUNTED DARK ANODIZED FRAME, GLASS SHALL BE SOLAR GRAY OR SOLAR BRONZE.

7

SUBMIT ALL MATERIALS, FINISHES AND COLOR SAMPLES TO THE ART JURY FOR REVIEW AND APPROVAL PRIOR TO PURCHASE INCLUDING BUT NOT LIMITED TO STUCCO, PLASTER, ROOFING, CAST STONE, TILE, DECKING, PAVERS, POOL AND SPA COPING AND SURFACES, SIDING, WALL CAPS, STONE VENEER, PAINTS AND STAINS, CONCRETE, ETC. NEW MANUFACTURED PRODUCTS NOT PREVIOUSLY APPROVED WILL REQUIRE A PRODUCT REVIEW BY THE ART JURY.

8

FRAMING INSPECTION BY PVHA IS REQUIRED AND SHOULD BE SCHEDULED WHEN ROUGH OPENINGS ARE FRAMED AND WINDOWS AND DOORS ARE READY TO BE INSTALLED

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DATE:	08/05/2024
DRAWN:	VL
REVIEWED:	VL
PROJECT NO:	633668
SCALE:	As indicated
SHEET TITLE:	

**EXTERIOR ELEVATION
BUILDING A / COLOR
AND MATERIALS BOARD**

SHEET NO:

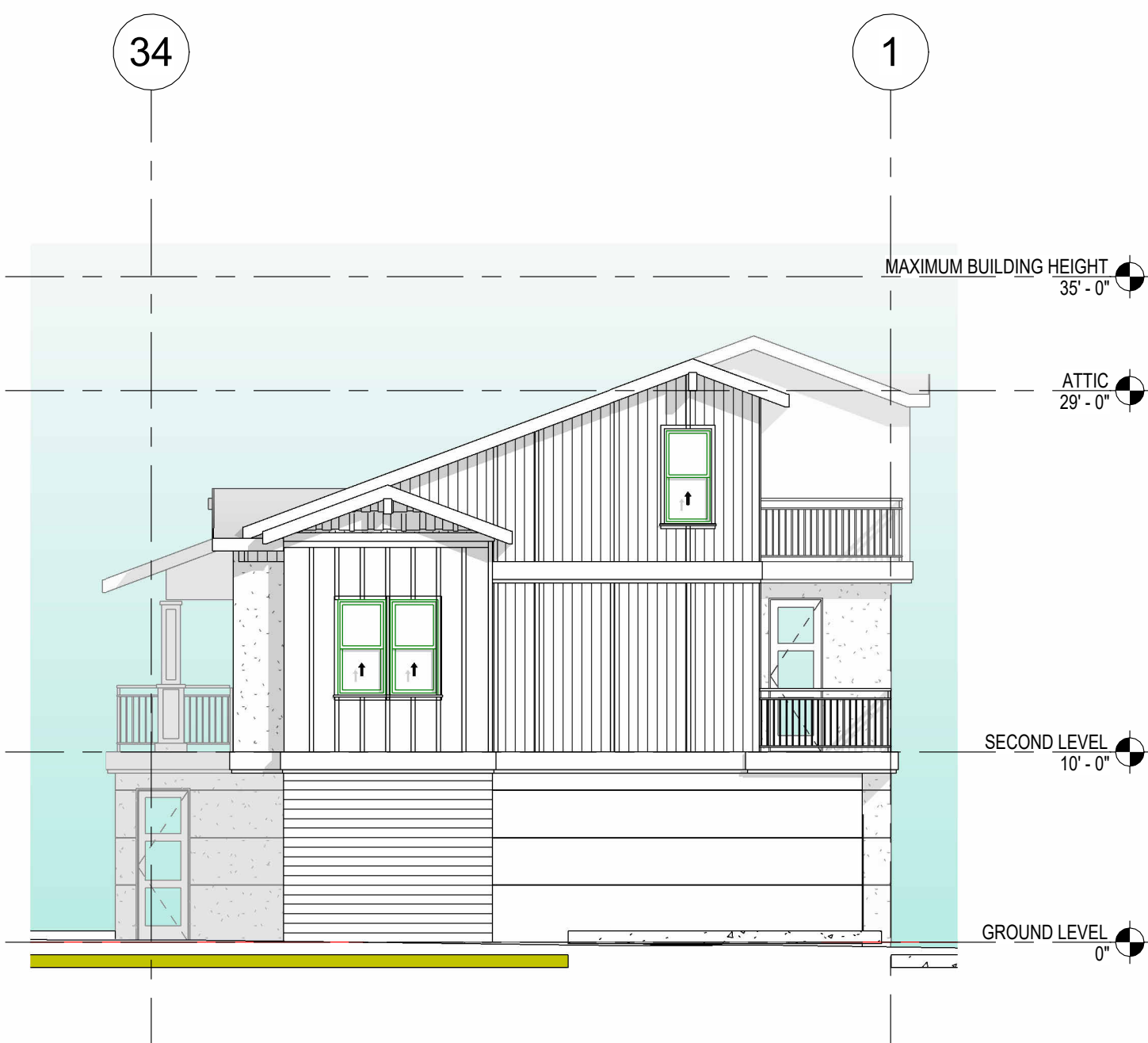
A-5.1



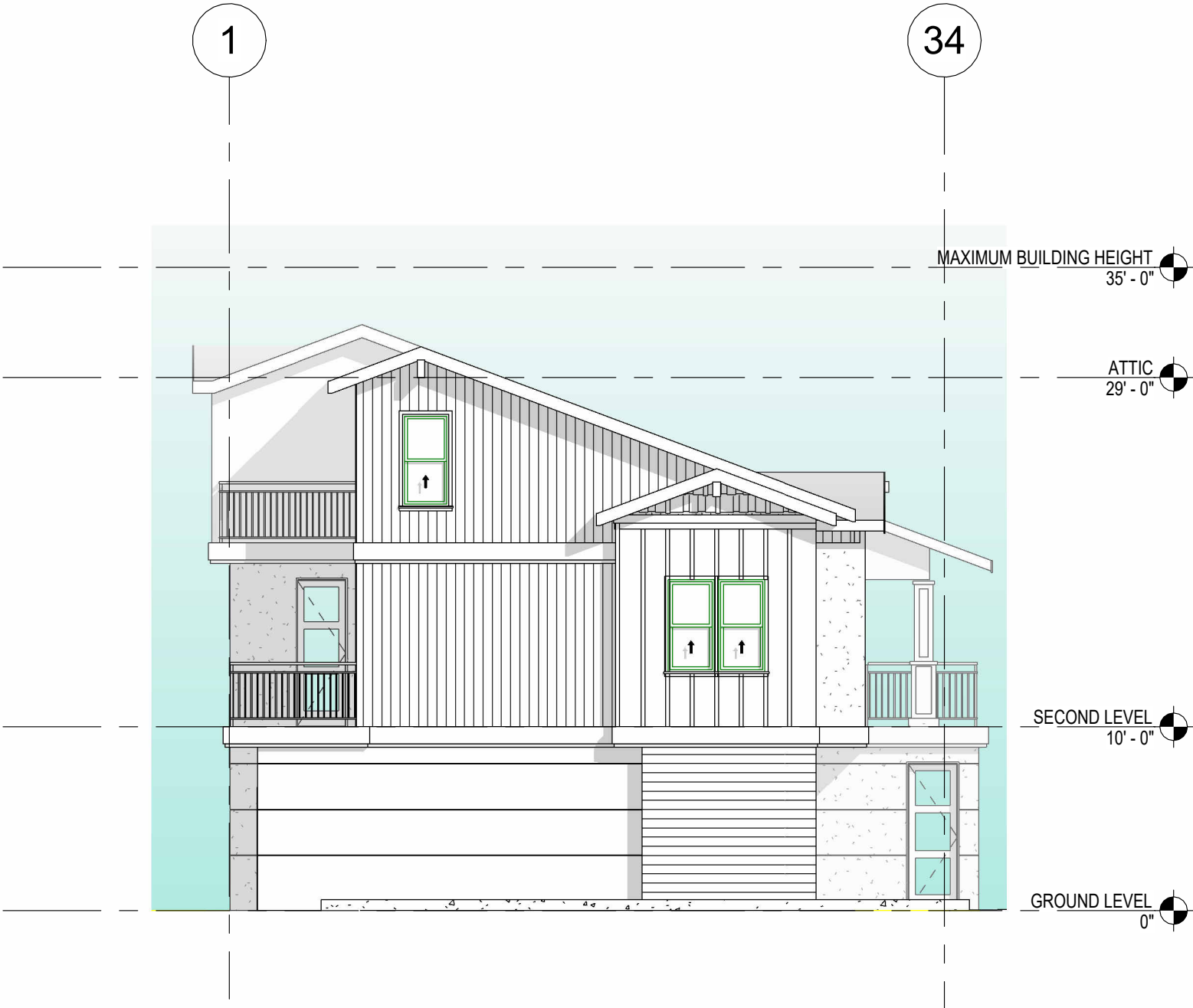
C4 BUILDING C - REAR
1/8" = 1'-0"



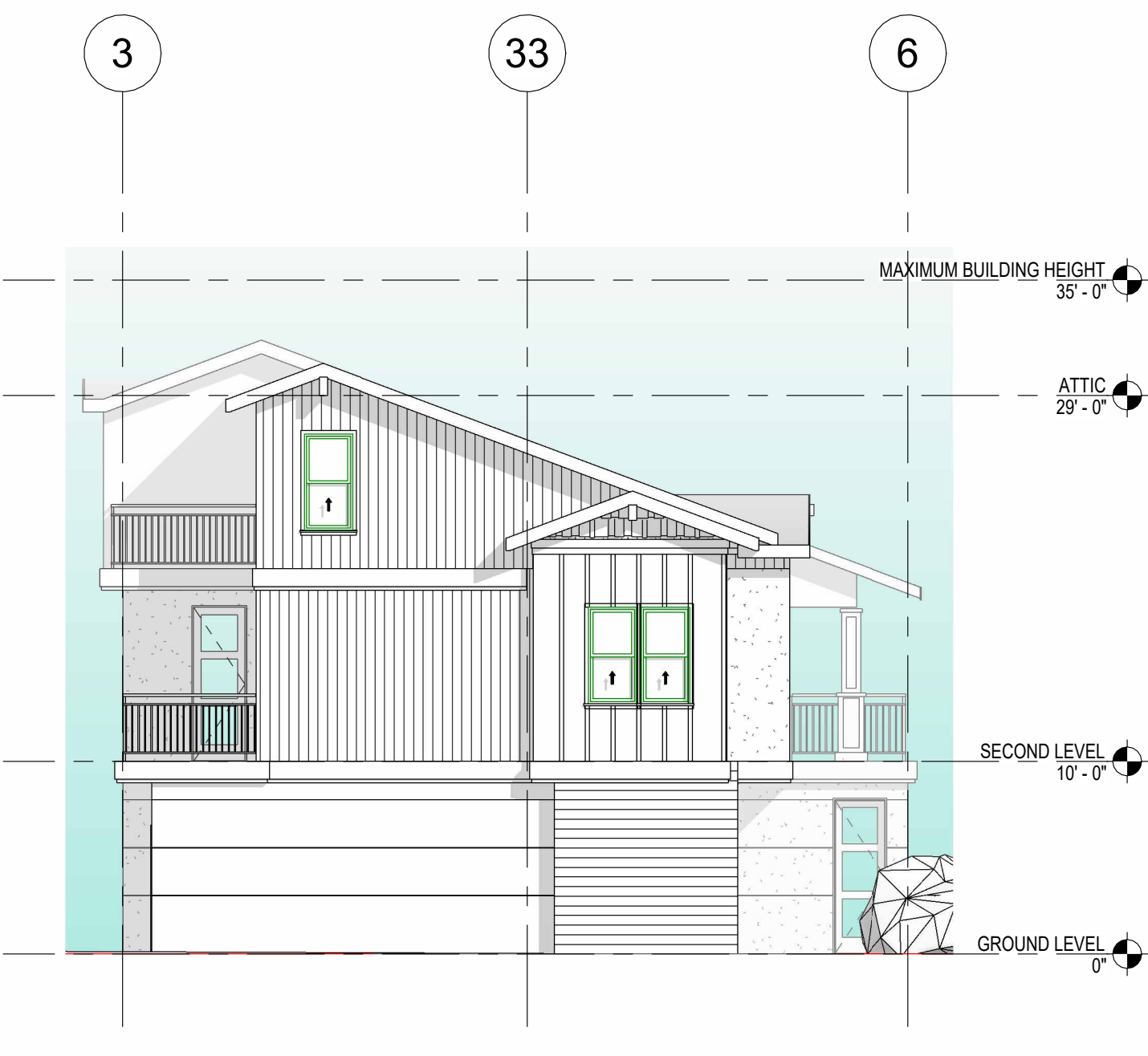
B4 BUILDING B - REAR
1/8" = 1'-0"



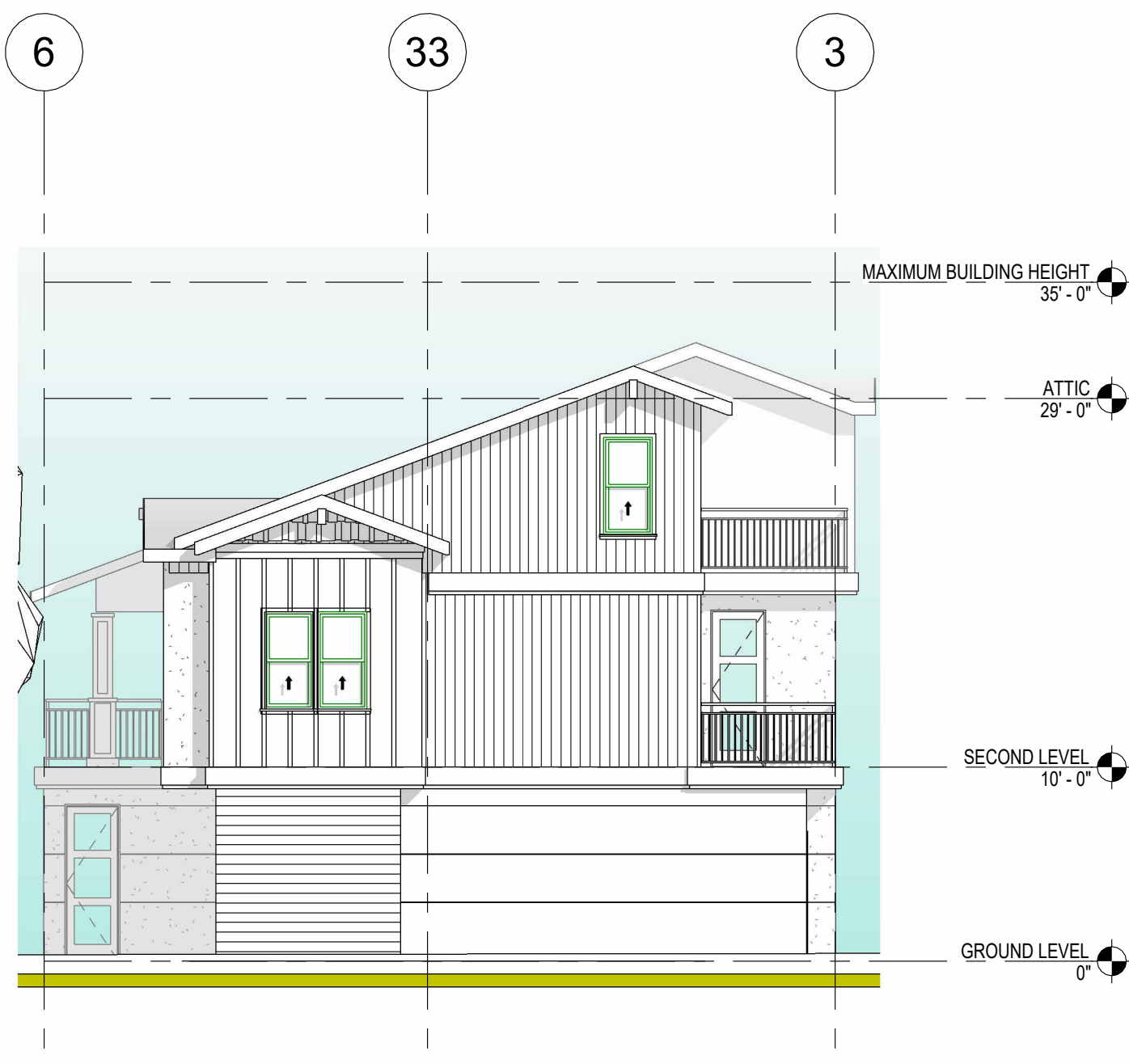
C2 BUILDING C - NORTH
1/8" = 1'-0"



C3 BUILDING C - SOUTH
1/8" = 1'-0"



B2 BUILDING B - NORTH
1/8" = 1'-0"



B3 BUILDING B - SOUTH
1/8" = 1'-0"



C1 BUILDING C - FRONT
1/8" = 1'-0"



B1 BUILDING B - FRONT
1/8" = 1'-0"

PROJECT:

ARELLANO RESIDENTIAL
MULTI-FAMILY
DEVELOPMENT

1518 ARROYO AVENUE
POMONA, CA 91768



CLIVER CITY - IRVINE - LOS ANGELES - SAN FRANCISCO -
NEW JERSEY - NEW YORK
6083 Bristol Parkway T 310.553.3252
Culver City, CA 90230
18600 MacArthur Blvd., Suite 100 T 949.724.8958
Irvine, CA 92612
515 South Flower Street, Suite 1200 T 213.929.1400
Los Angeles, CA 90071
One Sansome St. Suite 3500 T 415.390.6793
San Francisco, CA 94104
485C US Route 1 South, Suite 105 T 848.200.1200
Iselin, NJ 08830
711 3rd Ave., 6th Floor T 917.512.6688
New York, NY 10017
www.saaia.com

SEAL AND STAMP:

CONSULTANTS:

NOT FOR CONSTRUCTION

DRAWINGS ISSUE

DATE DESCRIPTION DELTA

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DATE: 08/05/2024

DRAWN: VL

REVIEWED: VL

PROJECT NO: 633668

SCALE: 1/8" = 1'-0"

SHEET TITLE:

EXTERIOR ELEVATION
BUILDING B AND C

SHEET NO:

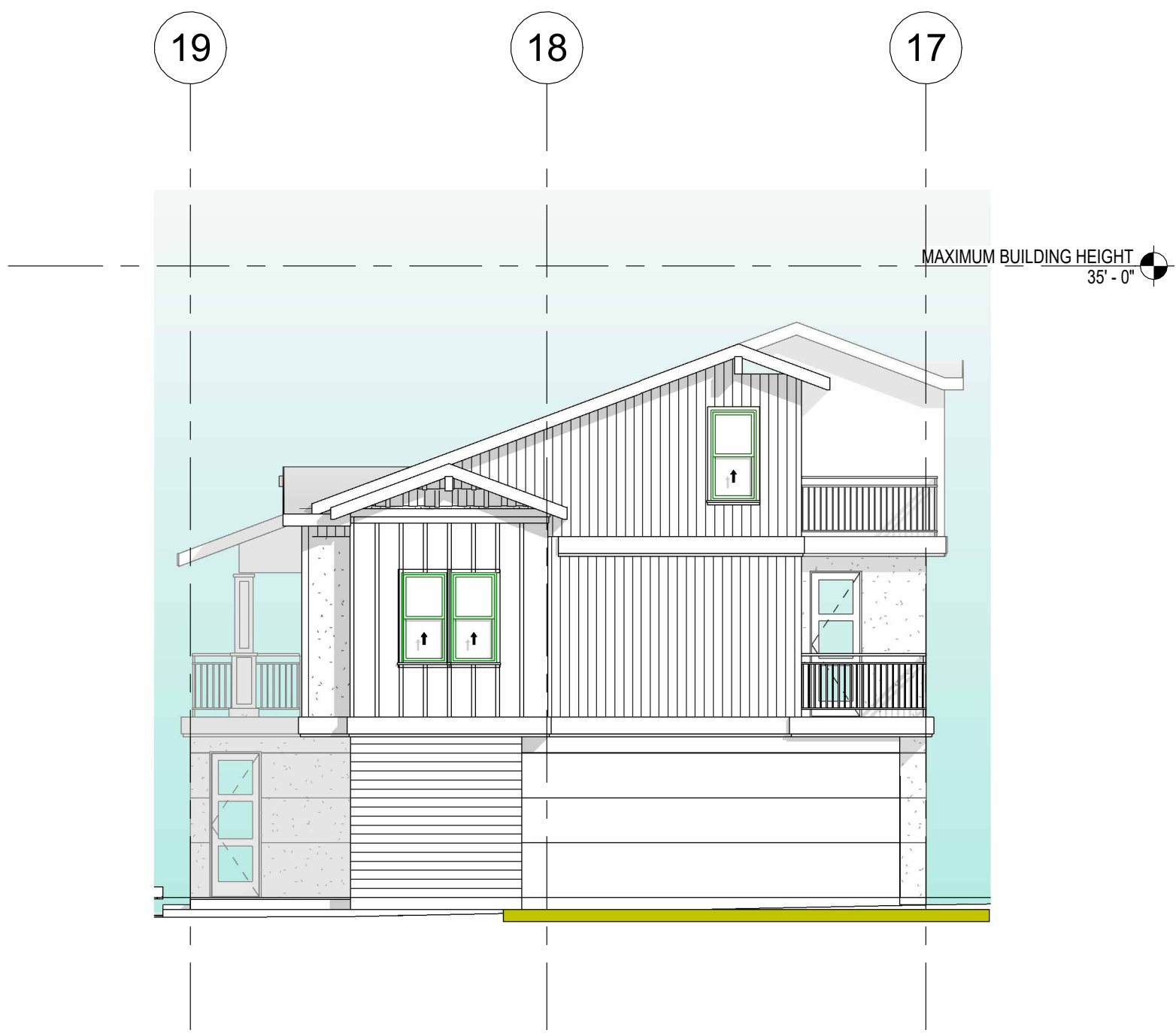
A-5.2



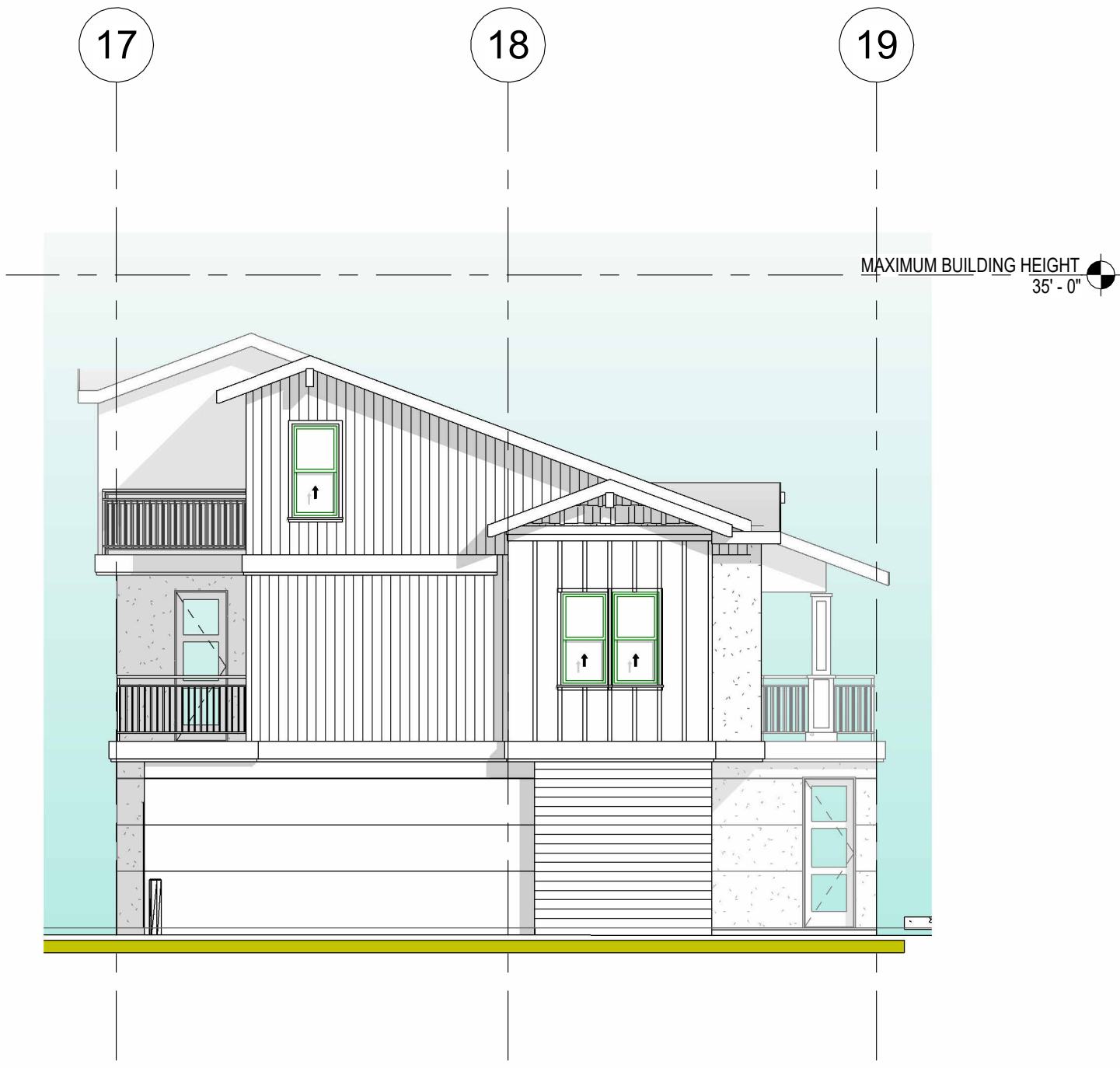
E4 BUILDING E - FRONT
1/8" = 1'-0"



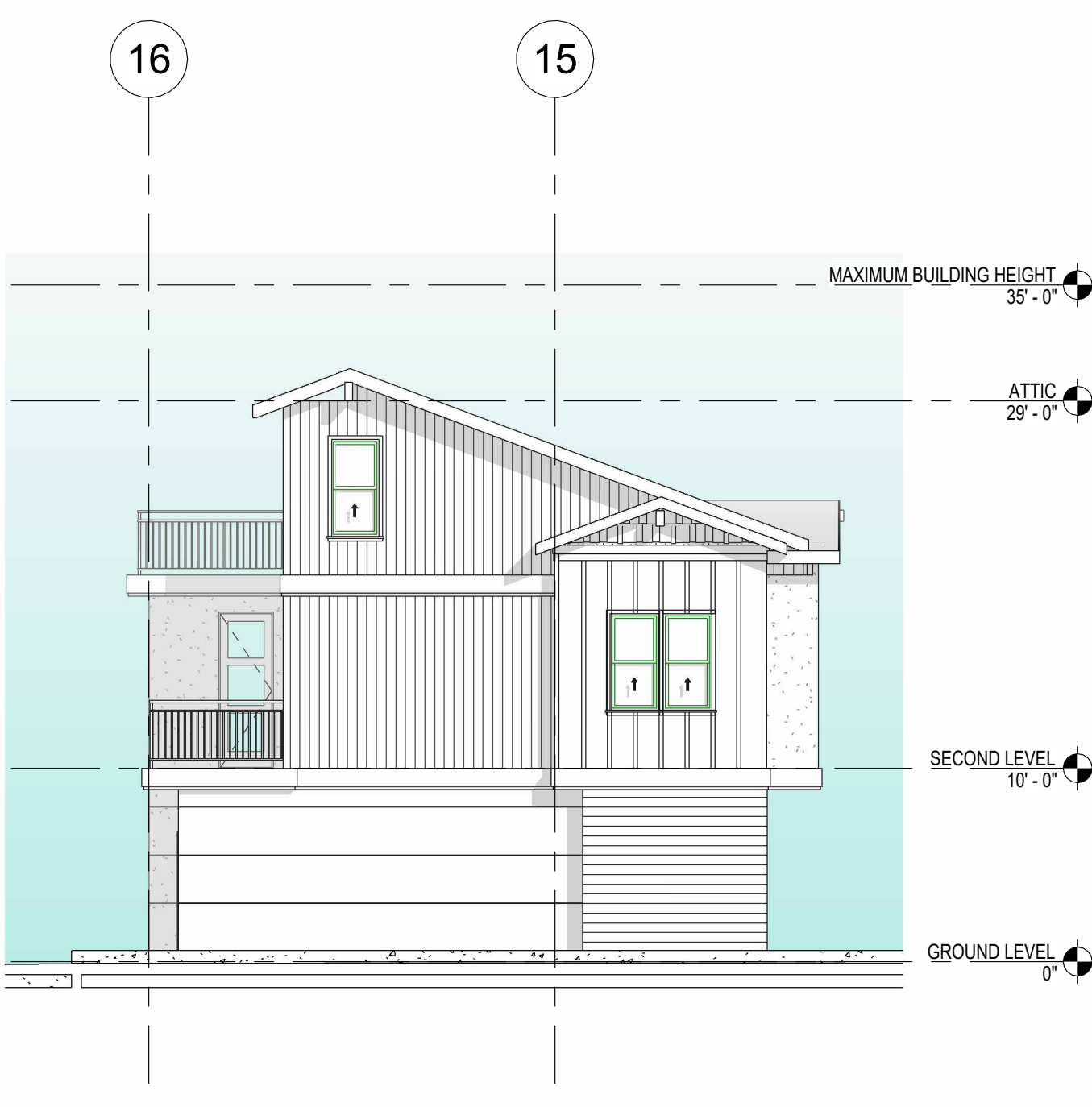
D4 BUILDING D - REAR
1/8" = 1'-0"



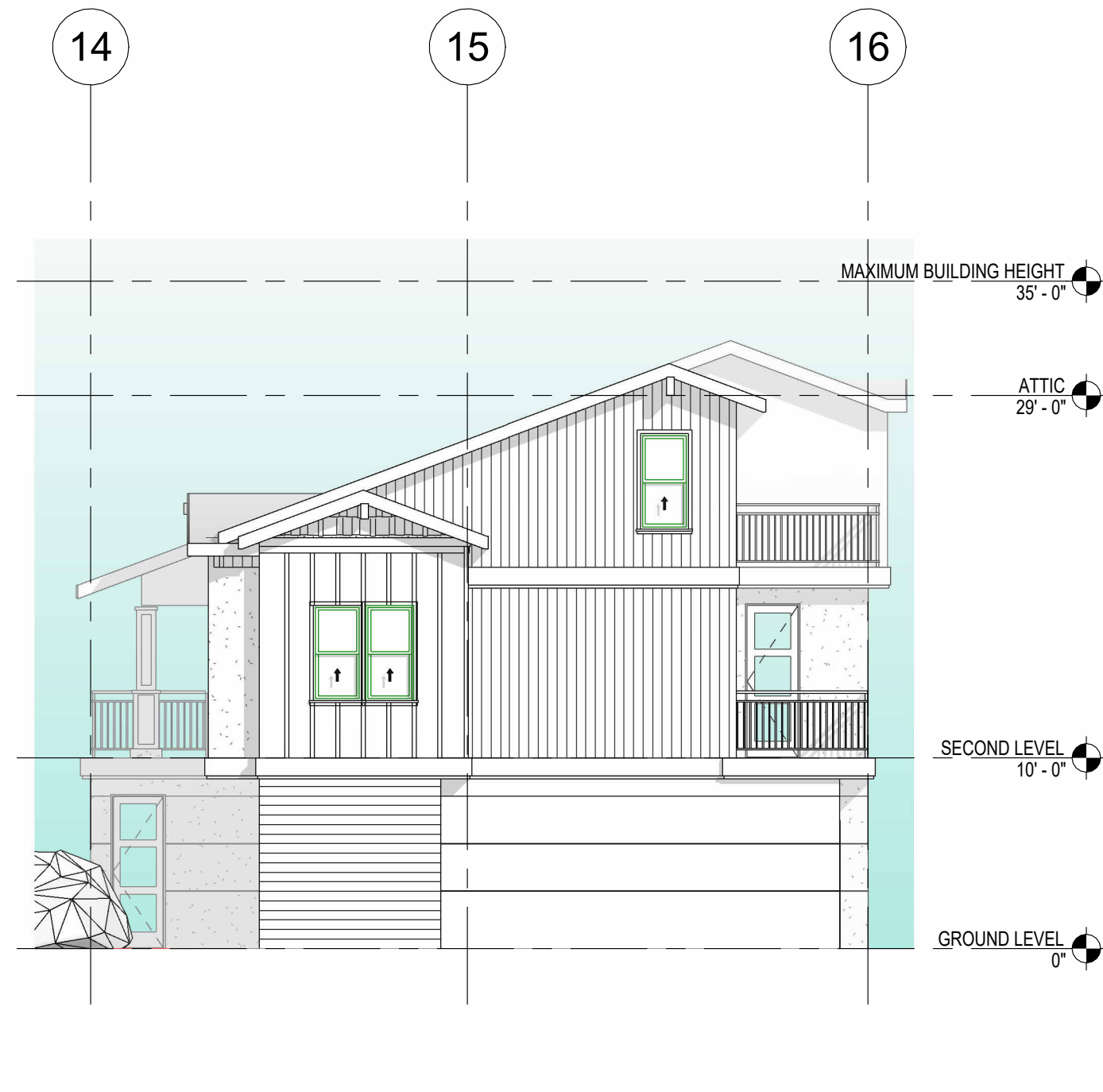
E2 BUILDING E - SOUTH
1/8" = 1'-0"



E3 BUILDING E - NORTH
1/8" = 1'-0"



D2 BUILDING D - NORTH
1/8" = 1'-0"



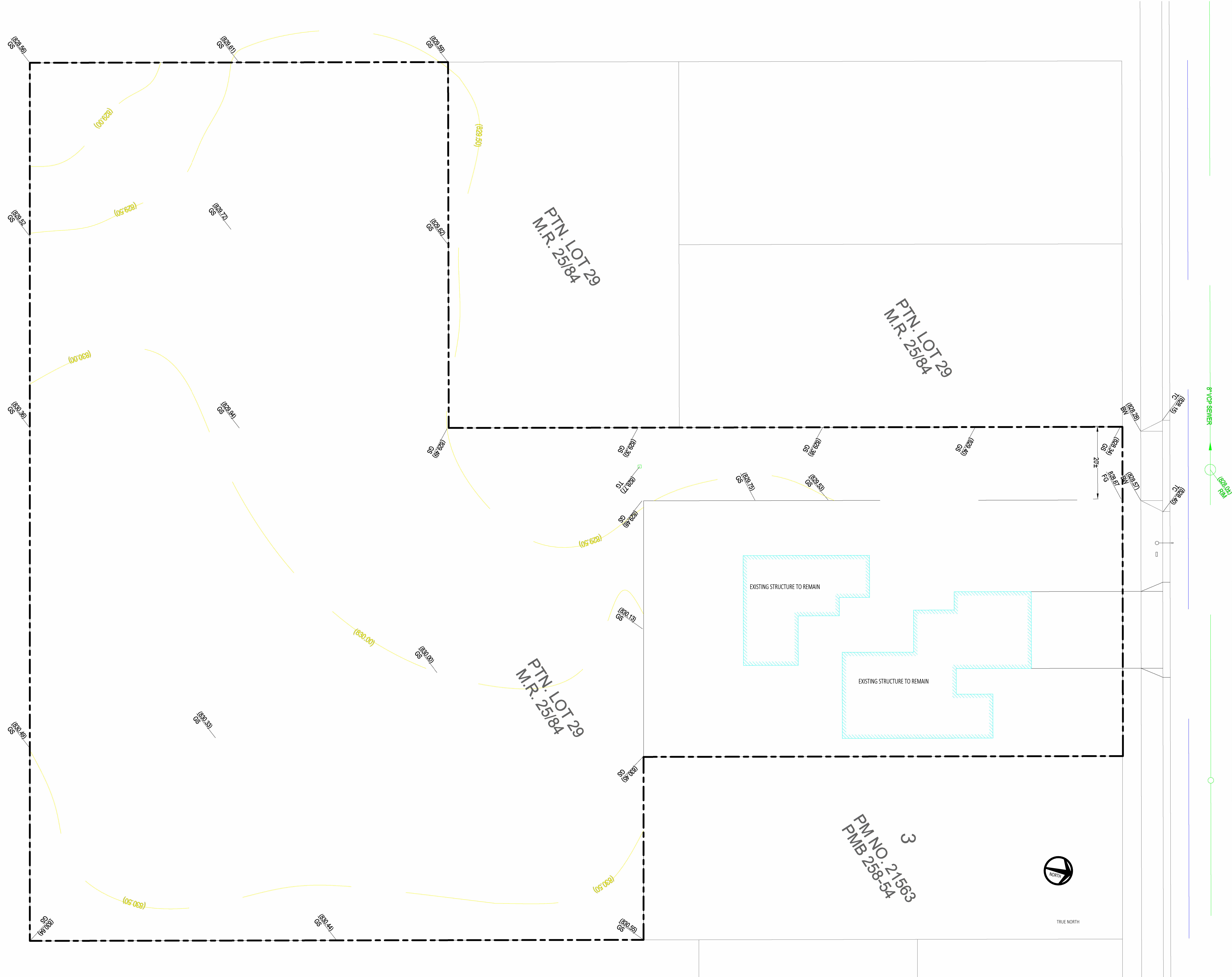
D3 BUILDING D - SOUTH
1/8" = 1'-0"



E1 BUILDING E - REAR
1/8" = 1'-0"



D1 BUILDING D - FRONT
1/8" = 1'-0"



ARROYO AVE.



Landscape Concept Statement:

All proposed plants are drought-tolerant & low maintenance plants. 70% Low-water use plants, 30% Medium-water use plants
 New irrigation system to be connected to domestic potable water meter w/ reduced pressure back flow preventer & submeter
 All groundcover & shrub area to be irrigated with Techline pressure compensating dripline with check valves
 All trees to be irrigated with sub-surface bubbler with check valves

Scale: 1/16" = 1'-0"



Arroyo Multi-Family Development

1518 Arroyo Avenue Pomona, CA 91768

Schematic Landscape Plan

Jason Lee Design Studio, Inc. | 323-404-7706 | jasonleedesign.com