



LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF POMONA IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF THE RANCHO SAN JOSE, FINALLY CONFIRMED TO DALTON, PALOMARES AND VEJAR, IN THE CITY OF POMONA, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON MAP RECORDED IN BOOK 2 PAGES 292 AND 293 OF PATENTS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEASTERLY CORNER OF LOT 16 OF TRACT NO. 22650, AS PER MAP RECORDED IN BOOK 600 PAGES 25 TO 27 INCLUSIVE OF MAPS, RECORDS OF SAID COUNTY; THENCE NORTHERLY ALONG THE WESTERLY LINE OF GAREY AVENUE, 100 FEET WIDE AS GRANTED TO THE CITY OF POMONA, RECORDED ON SEPTEMBER 12, 1955 AS INSTRUMENT NO. 4089 IN BOOK 48913 PAGE 299, OFFICIAL RECORDS OF SAID COUNTY, A DISTANCE OF 422.00 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTHERLY ALONG SAID WESTERLY LINE OF GAREY AVENUE TO A POINT IN SAID WESTERLY LINE THAT IS DISTANT NORTHERLY THEREON 50 FEET FROM THE WESTERLY PROLONGATION OF THE CENTER LINE OF PHILADELPHIA STREET, AS SAID STREET IS SHOWN 70 FEET WIDE ON THE MAP OF THE WHIPP TRACT, AS RECORDED IN BOOK 83 PAGE 63 OF MISCELLANEOUS RECORDS OF SAID COUNTY; THENCE WESTERLY PARALLEL WITH THE WESTERLY PROLONGATION OF SAID CENTER LINE OF PHILADELPHIA STREET, A DISTANCE OF 550 FEET; THENCE SOUTHERLY PARALLEL WITH SAID WESTERLY LINE OF GAREY AVENUE, A DISTANCE OF 809.65 FEET, MORE OR LESS, TO A LINE WHICH BEARS NORTH 88° 20' 05" EAST, AND PASSES THROUGH THE TRUE POINT OF BEGINNING; THENCE NORTH 88° 20' 05" EAST TO THE TRUE POINT OF BEGINNING.

APN'S: 8344-033-901, 903, 904, 905 AND A PORTION OF 8344-033-902

EXISTING EASEMENTS:

THE FOLLOWING TITLE INFORMATION WAS DERIVED FROM AN AMENDED PRELIMINARY TITLE REPORT ISSUED BY FIDELITY NATIONAL TITLE COMPANY, ORDER NO.: 002-30024823-B-SG9 DATED JANUARY 22, 2019 AT 7:30 A.M., AMENDED: APRIL 12, 2019, AMENDMENT NO. B

- # DENOTES PLOTTED ITEM.
- 2 AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. (TO REMAIN)
- PURPOSE: PUBLIC STREET  
RECORDED: MARCH 12, 1957 IN BOOK 53888 PAGE 108, OF OFFICIAL RECORDS
- 3 AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. (TO REMAIN)
- PURPOSE: PUBLIC UTILITIES  
RECORDED: AUGUST 23, 1957 IN BOOK 55427 PAGE 251, OF OFFICIAL RECORDS
- 4 AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. (TO BE QUITCLAIMED)
- PURPOSE: PUBLIC UTILITIES  
RECORDED: JANUARY 2, 1959 IN BOOK D321 PAGE 264, OF OFFICIAL RECORDS
- 5 AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. (TO BE QUITCLAIMED)
- PURPOSE: PUBLIC UTILITIES  
RECORDED: JUNE 10, 1965 IN BOOK D2936 PAGE 13, OF OFFICIAL RECORDS
- 6 AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. (TO BE QUITCLAIMED)
- PURPOSE: PUBLIC UTILITIES  
RECORDED: DECEMBER 23, 1965 IN BOOK D3155PAGE 896, OF OFFICIAL RECORDS
- 8 AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. (TO BE QUITCLAIMED)
- PURPOSE: PUBLIC UTILITIES  
RECORDED: SEPTEMBER 11, 1968 AS INSTRUMENT NO. 4036 IN BOOK D4128 PAGE 870, OF OFFICIAL RECORDS
- 12 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS RESERVED IN A DOCUMENT. (TO BE QUITCLAIMED)
- PURPOSE: PUBLIC UTILITIES  
RECORDED: DECEMBER 15, 1986 AS INSTRUMENT NO. 86-1734636 OF OFFICIAL RECORDS
- 19 AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. (TO BE QUITCLAIMED)
- PURPOSE: PUBLIC UTILITIES  
RECORDED: APRIL 24, 1986 AS INSTRUMENT NO. 86-505560 OF OFFICIAL RECORDS

NOTE:

CONSTRUCTION WATER: THE CONTRACTOR SHALL OBTAIN WATER UPON PROPER ARRANGEMENTS FOR METERING ITS USE FROM THE WATER RESOURCES DEPARTMENT PRIOR TO ANY WORK.

PROPOSED EASEMENTS:

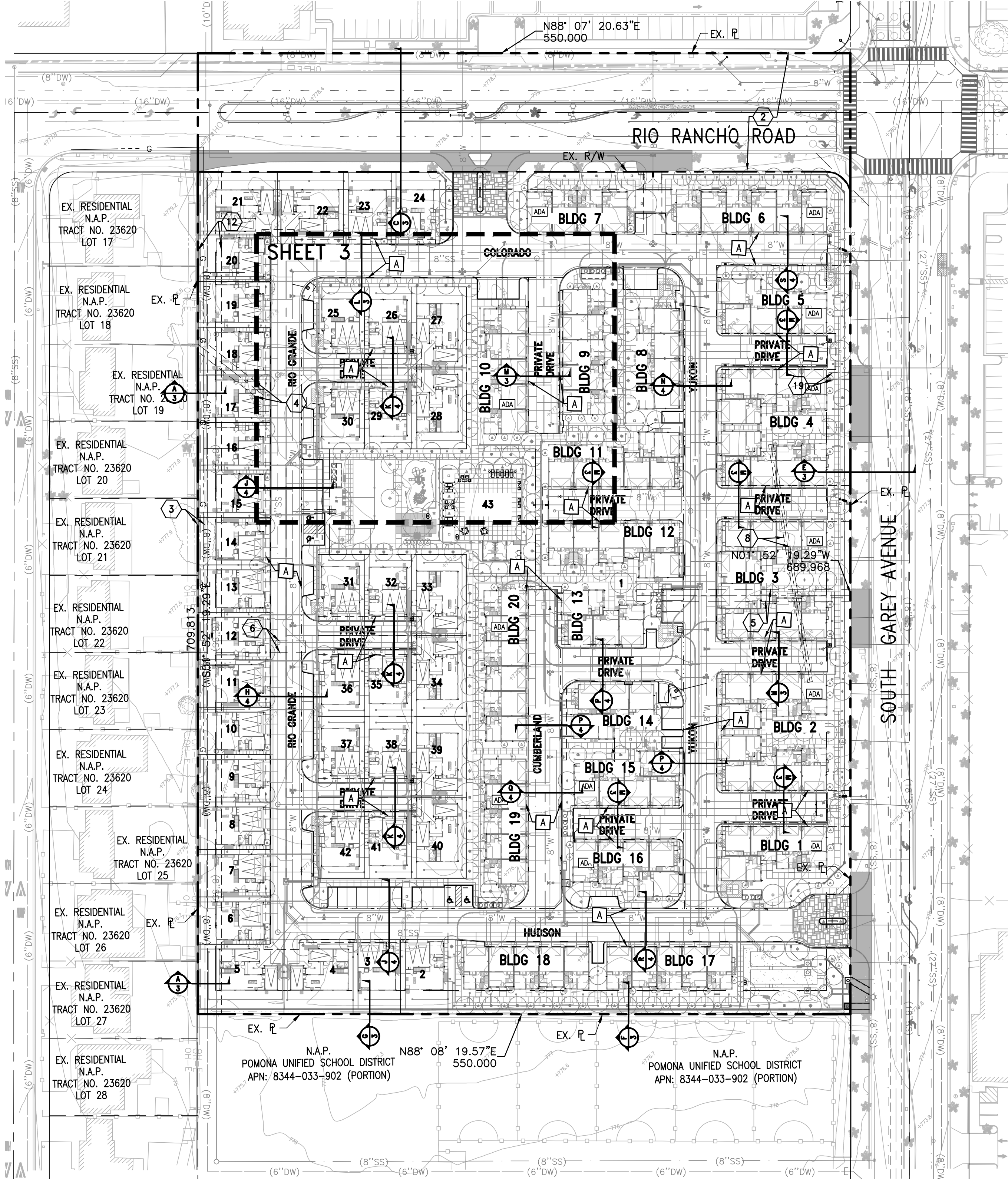
- A INDICATES AN EASEMENT FOR INGRESS AND EGRESS ACCESS, PUBLIC UTILITIES AND INCIDENTAL PURPOSES DEDICATED TO THE CITY OF POMONA PER THE FINAL MAP.

LEGEND:

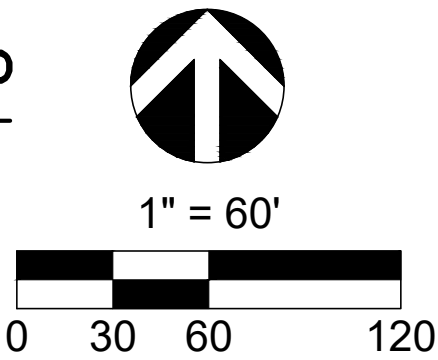
- CENTERLINE
- EX. TRACT BOUNDARY/  
RIGHT-OF-WAY LINE
- PROP. TRACT BOUNDARY/  
RIGHT-OF-WAY LINE
- LOT LINE
- EX. EASEMENT LINE
- PROP. EASEMENT LINE
- FLOW LINE

MODEL PRECISE GRADING PLAN

TRACT NO. 82889  
FOR CONDOMINIUM PURPOSES



INDEX MAP



FLOOD NOTE:

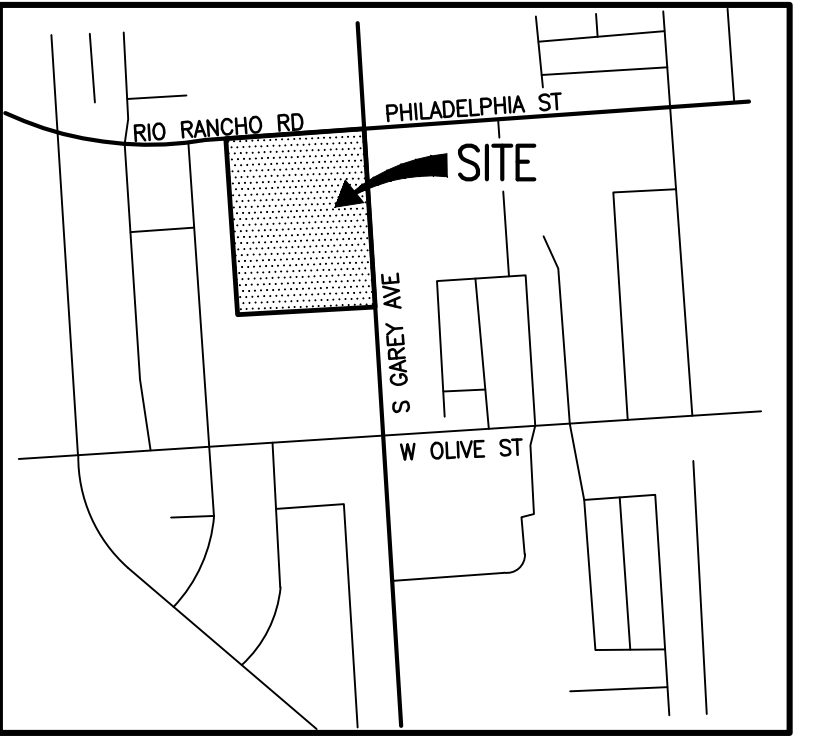
THE SUBJECT PROPERTY FALLS WITHIN "ZONE X - AREAS OF MINIMAL FLOOD HAZARD" PER FEMA MAP NO. 06037C1750P, A PRINTED PANEL, EFFECTIVE SEPTEMBER 26, 2008

TOPOGRAPHY NOTE:

TOPOGRAPHY AND CONTOURS SHOWN HEREON ARE BASED ON 1" CONTOUR INTERVALS FROM AERIAL PHOTOGRAMMETRY. THE RELATIVE POSITIONAL ACCURACY OF CALLED OUT IMPROVEMENTS SHOWN ON THE SURVEY IS WITHIN 0.1' +/- OF THEIR ACTUAL LOCATIONS.

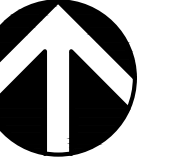
BASIS OF BEARING:

THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF SOUTH GAREY AVENUE BEING SOUTH 1°52'19" EAST, AS SHOWN AS BEING NORTH 1°34'10" WEST ON TRACT NO. 22680, M.B. 660/25-27.



VICINITY MAP

N.T.S.



SHEET INDEX

MODEL PRECISE GRADING TITLE SHEET  
MODEL PRECISE GRADING GENERAL NOTES AND DETAILS  
MODEL PRECISE GRADING PLAN

1  
2  
3

VESTED OWNER:

POMONA UNIFIED SCHOOL DISTRICT, A PUBLIC AGENCY OF THE STATE OF CALIFORNIA AND POMONA UNIFIED SCHOOL DISTRICT, A POLITICAL SUBDIVISION OF THE STATE OF CALIFORNIA, AS THEIR INTEREST APPEARS OF RECORD.

800 S GAREY AVE  
POMONA, CA 91766  
CONTACT: SANDRA GARCIA  
PHONE: (909) 397-4800

CIVIL ENGINEER:

C&V CONSULTING, INC.  
9830 IRVINE CENTER DRIVE  
IRVINE, CA 92618  
PHONE: (949) 916-3800  
CONTACT: DANE McDougall

LANDSCAPE ARCHITECT:

WEILAND DESIGN GROUP, INC.  
28924 OLD TOWN FRONT STREET, SUITE 202  
TEMECULA, CA 92590  
CONTACT: KIM LONGIRO  
PHONE: (619) 675-3426

DEVELOPER:

CENTURY COMMUNITIES  
4695 MACARTHUR COURT, SUITE 300  
NEWPORT BEACH, CA 92660  
PHONE: (949) 420-9531  
CONTACT: BRIAN TAYLOR

ARCHITECT:

SUMMA ARCHITECTURE  
3256 S. MISSION RD, SUITE 404  
BONNELL, CA 92003  
CONTACT: ERICK VAN WECHEL  
PHONE: (760) 724-1198

SOILS ENGINEER:

RMA GEOSCIENCE  
9854 GLENDALE BLVD.  
SUN VALLEY, CA 91351  
PHONE: (800)762-4396  
CONTACT: HAYAN LIU

ABBREVIATIONS:

|      |                       |          |                     |
|------|-----------------------|----------|---------------------|
| BLDG | BUILDING              | L/S      | LANDSCAPE           |
| BS   | BOTTOM STEP           | MIN      | MINIMUM             |
| CF   | CURB FACE/ CUBIC FEET | N        | NORTH               |
| C    | CENTER LINE           | N.A.P.   | NOT A PART          |
| CMU  | CONCRETE MASONRY UNIT | NO.      | NUMBER              |
| DW   | DOMESTIC WATER        | NTS      | NOT TO SCALE        |
| E    | EAST                  | OH-E     | OVERHEAD POWERLINE  |
| EX.  | EXISTING              | P.O.C.   | POINT OF CONNECTION |
| FF   | FINISHED FLOOR        | PP       | POWER POLE          |
| FG   | FINISHED GRADE        | R        | PROPERTY LINE       |
| FH   | FIRE HYDRANT          | PROP./PR | PROPOSED            |
| FL   | FLOWLINE              | R        | RADIUS              |
| FS   | FINISHED SURFACE      | R/W      | RIGHT OF WAY        |
| FW   | FIRE WATER            | S        | SOUTH               |
| GB   | GRADE BREAK           | SD       | STORM DRAIN         |
| GF   | GARAGE FINISHED FLOOR | SS       | SANITARY SEWER      |
| HP   | HIGH POINT            | TC       | TOP OF CURB         |
| INV  | INVERT                | TYP.     | TYPICAL             |
| L    | LENGTH                | W        | WEST                |
| LP   | LOW POINT             | #" R     | RISE (IN INCHES)    |

UTILITY PURVEYORS:

TELEPHONE:  
VERIZON  
PHONE: (909) 469-6347

WATER:  
CITY OF POMONA PUBLIC WORKS DEPT.  
PHONE: (909) 620-2281

CABLE TV  
COMCAST  
PHONE: (323) 993-8130

SEWER:  
CITY OF POMONA PUBLIC WORKS DEPT.  
PHONE: (909) 620-2281

GAS  
THE GAS COMPANY  
PHONE: (626) 815-4009

ELECTRICITY:  
SOUTHERN CALIFORNIA EDISON  
PHONE: (417) 973-5616

GEOTECHNICAL STATEMENT:

THIS PLAN WAS REVIEWED BY RMA GEOSCIENCE AND IS IN CONFORMANCE WITH THE RECOMMENDATIONS AS OUTLINED IN THE REPORT TITLED "FOUNDATION UPDATE REPORT FOR GATEWAY 156, TRACT 82889 2115 S. GAREY AVENUE, POMONA, CA DATED AUGUST 23, 2022 BY RMA GEOSCIENCE. FROM A GEOTECHNICAL STANDPOINT, THE PROPOSED IMPROVEMENTS WOULD NOT ADVERSELY AFFECT ADJACENT PROPERTIES AND THE SITE IS SUITABLE FOR ITS INTENDED USE.

BY: HAYAN LIU, PE  
CIVIL ENGINEER, C81463

DATE: \_\_\_\_\_

1 I HEREBY CERTIFY THAT:  
1. THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION;  
2. THE GRADING SHOWN HEREON WILL NOT DIVERT DRAINAGE FROM ITS NATURAL DOWNSLOPE COURSE OR OBSTRUCT THE DRAINAGE OF ADJACENT PROPERTIES;

DANE P MCDUGALL 80705 11/1/22  
PROJECT ENGINEER RCE NO. DATE



CENTURY COMMUNITIES®

DEVELOPER:  
CENTURY COMMUNITIES  
4695 MACARTHUR COURT, SUITE 300  
NEWPORT BEACH, CA 92660  
PHONE: (949) 420-9531  
CONTACT: BRIAN TAYLOR



9830 IRVINE CENTER DRIVE  
IRVINE, CALIFORNIA 92618  
(949) 916-3800  
INFO@CVC-INC.NET  
WWW.CVC-INC.NET

|   |                 |        |         |  |  |
|---|-----------------|--------|---------|--|--|
|   |                 |        |         |  |  |
| Δ | REVISED SHEET 3 | 1/5/23 | BW      |  |  |
| Δ | REVISIONS       | DATE   | INITIAL |  |  |

WDID # 4 19C396601



DIAL TOLL FREE  
8-1-1  
TWO WORKING DAYS  
BEFORE YOU DIG

BENCHMARK:  
LOS ANGELES COUNTY BENCHMARK  
NO. FG5101 ELEV = 777.865  
DESCRIBED AS: T&LS TAG #5411 IN  
S CB 16.4FT W/O BOR @ SW COR  
RIO RANCHO RD & PARK AVE

BASIS OF BEARING:  
THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF SOUTH GAREY AVENUE BEING SOUTH 1°52'19" EAST, AS SHOWN AS BEING NORTH 1°34'10" WEST ON TRACT NO. 22680, M.B. 660/25-27.

|  |  |
|--|--|
| ACCEPTED   |  |
| BY: _____  | DATE: _____  |
| ACCEPTED   |  |
| BY: _____  | DATE: _____  |
| CONCURRED  |  |
| BY: _____  | DATE: _____  |
| CITY OF POMONA   |  |
| PUBLIC WORKS DEPARTMENT/ENGINEERING DIVISION                     |  |
| MODEL PRECISE GRADING PLAN                                       |  |
| TRACT NO. 82889<br>2115 SOUTH GAREY AVENUE<br>POMONA, CALIFORNIA |  |
| TITLE SHEET  |  |
| SCALE  | DESIGNED: _____ PVT ENGR<br>DRAWN: _____ PVT ENGR<br>CHECKED: _____<br>REVIEWED: _____ |
| SHT. 1<br>OF<br>3<br>SHTS  |  |

FK - 1455A





**Architecture + Planning**  
17911 Von Karman Ave.  
Suite 200  
Irvine, CA 92614  
ktgy.com  
949.851.2133

**KTGY Project No:** 20211039

**Project Contact:** Priscila Wong  
**Email:** pwong@ktgy.com

**Principal:** Chris Texter  
**Project Designer:** David Obitz  
**Project Director:** Brad Golba

**Developer**



CENTURY COMMUNITIES  
4695 MACARTHUR COURT, SUITE 300  
NEWPORT BEACH, CA 92660  
PHONE NUMBER : (909) 667-0142

GATEWAY 156  
TH SALES OFFICE

POMONA, CA

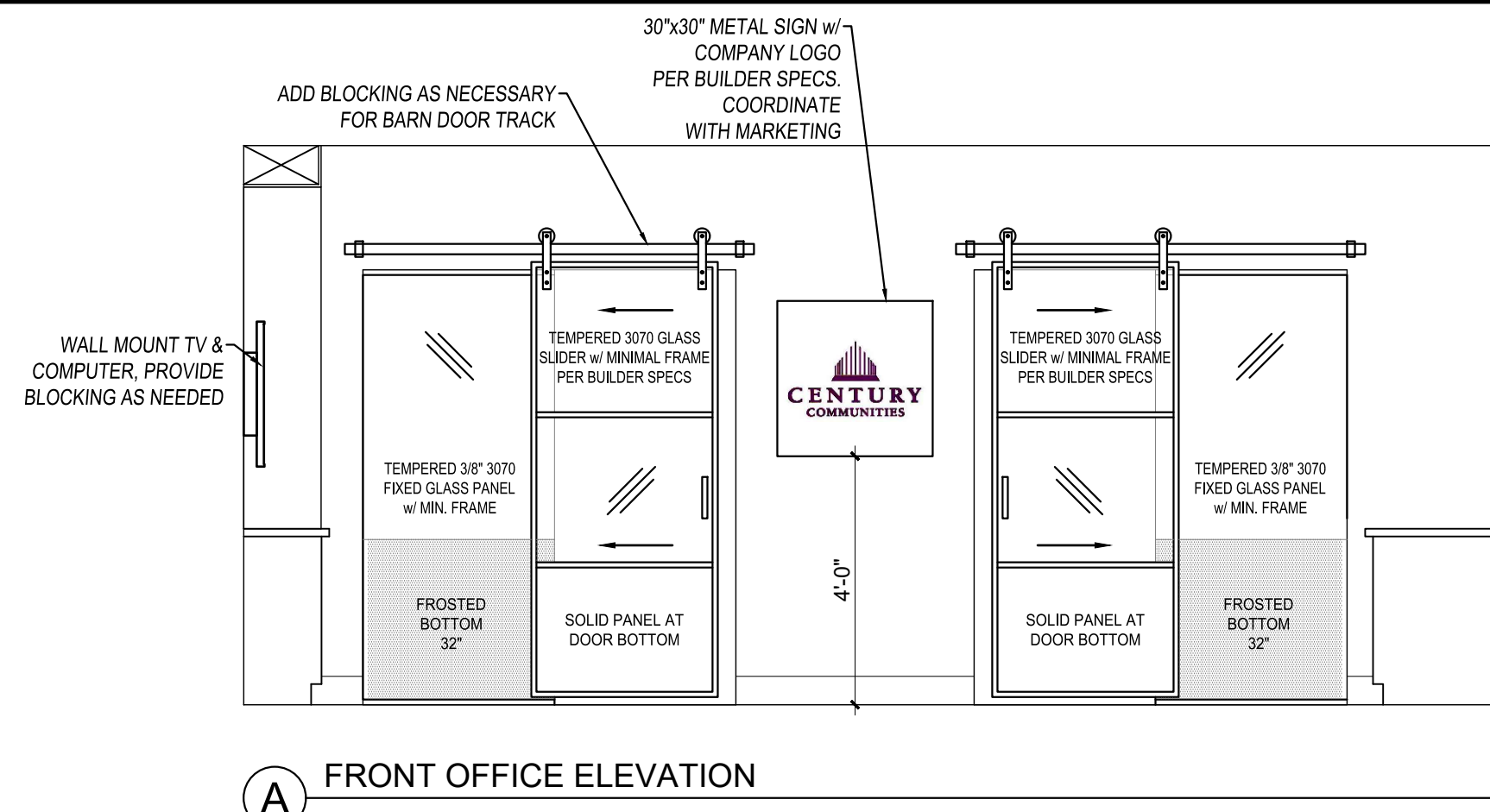
| No. | Date     | Description      |
|-----|----------|------------------|
|     | 01/10/23 | 1ST BD SUBMITTAL |
|     |          |                  |
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It is the client's responsibility prior to or during construction to notify the architect in writing of any proposed errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such proposed errors or omissions shall be received from the architect prior to the client or client's subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

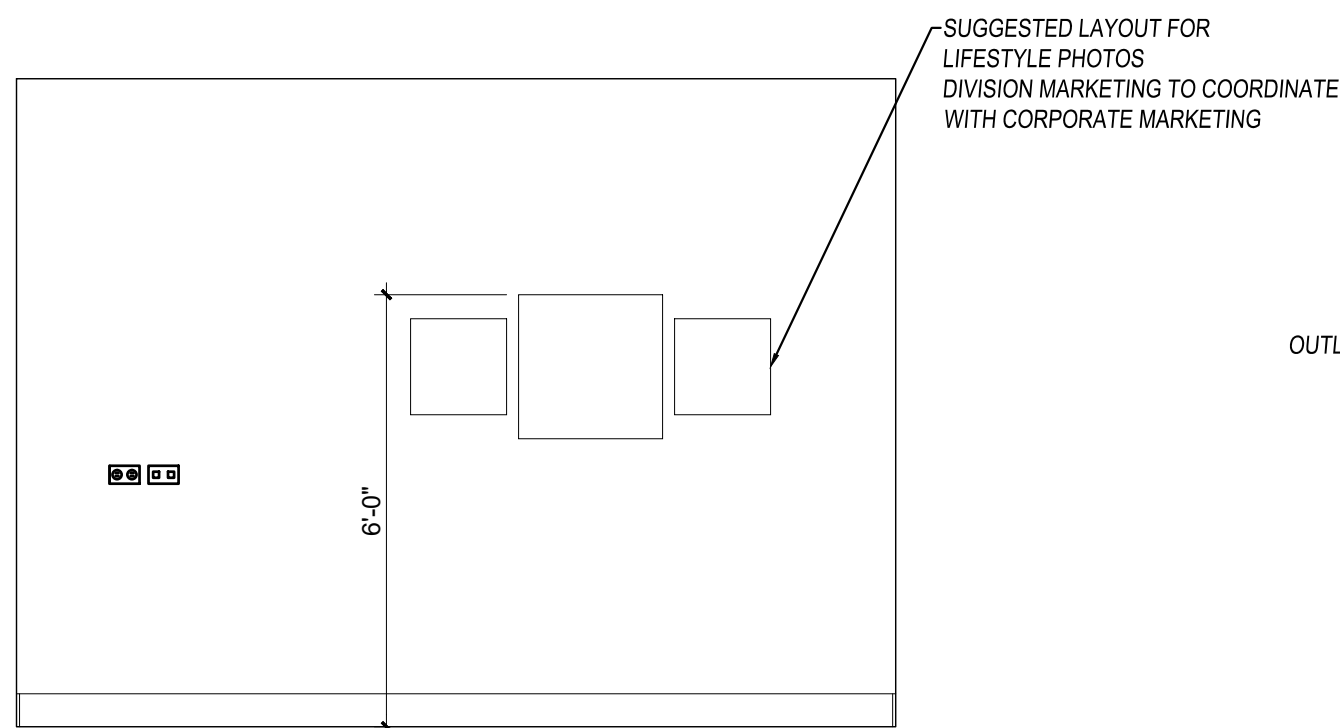
FLOOR PLAN,  
EXTERIOR  
ELEVATIONS, AND  
INTERIOR ELEVATIONS

A-SO-1

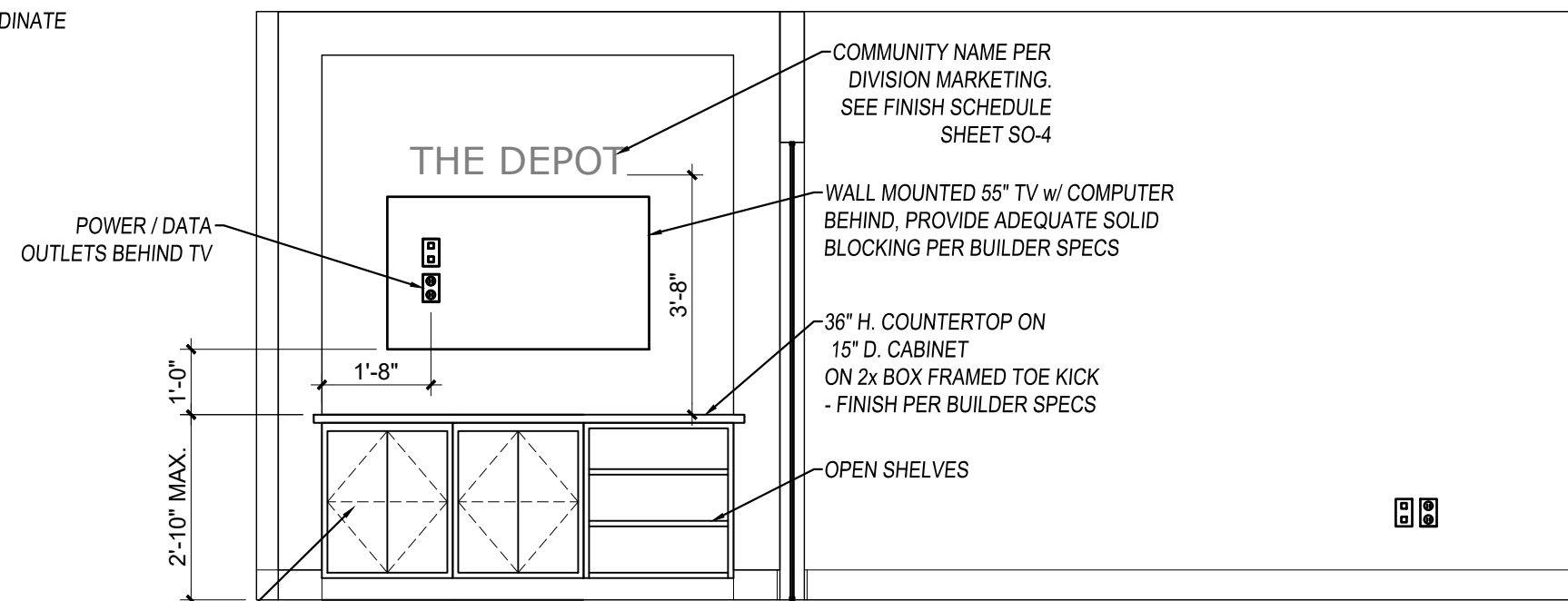
01/10/2023 1ST BD SUBMITTAL



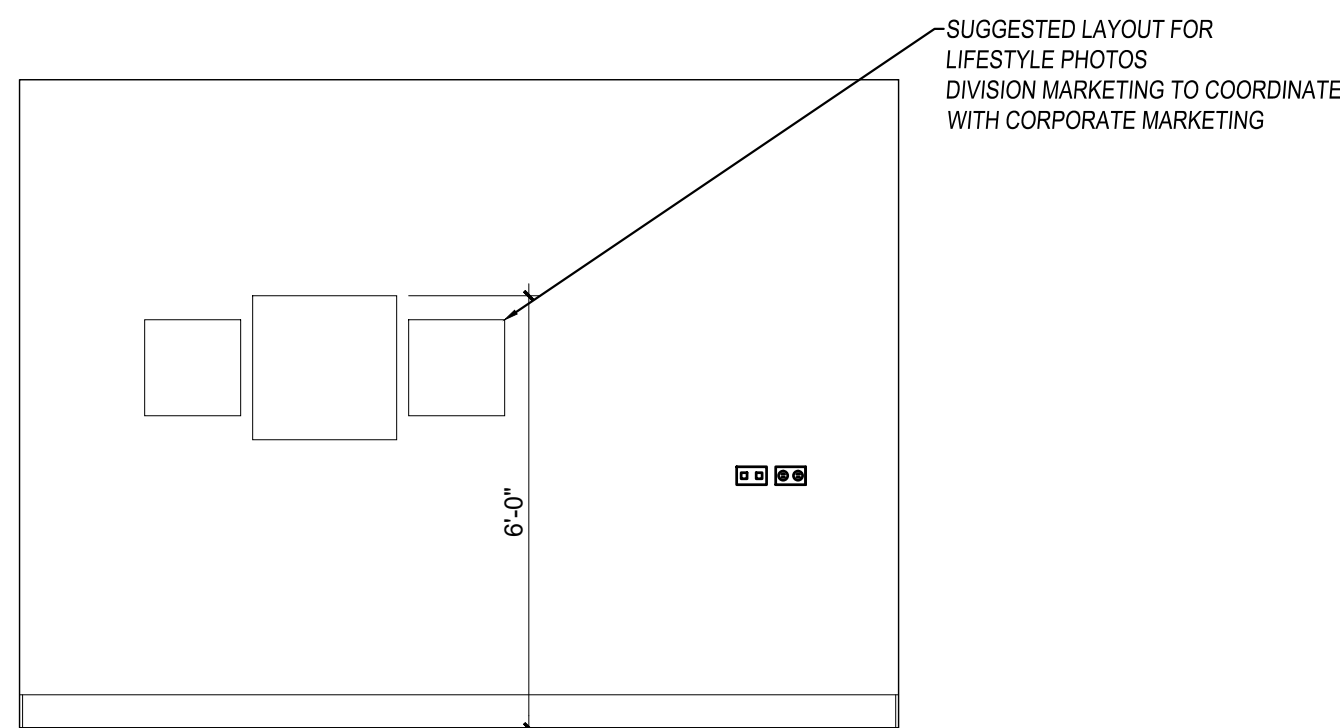
A FRONT OFFICE ELEVATION



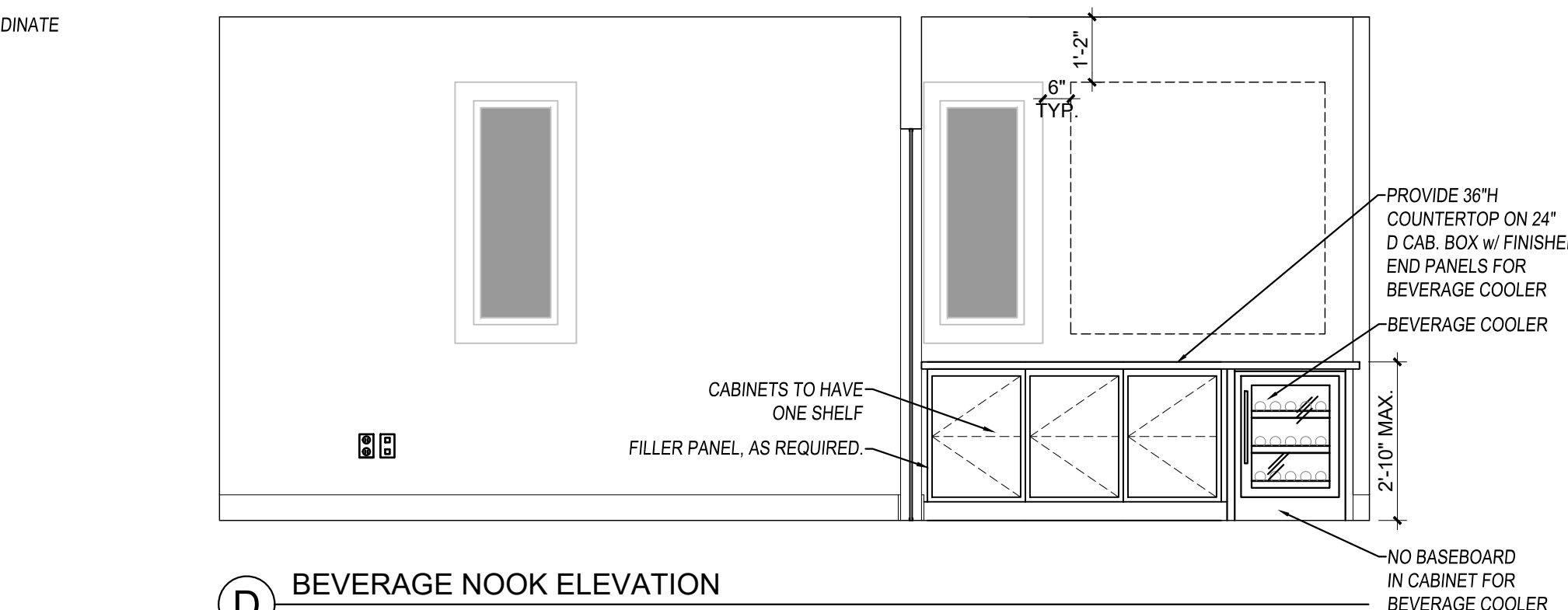
B INTERIOR OFFICE 1 ELEVATION



B TV/MEDIA AND DISPLAY WALL ELEVATION

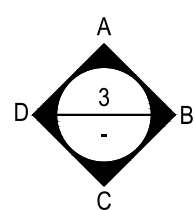
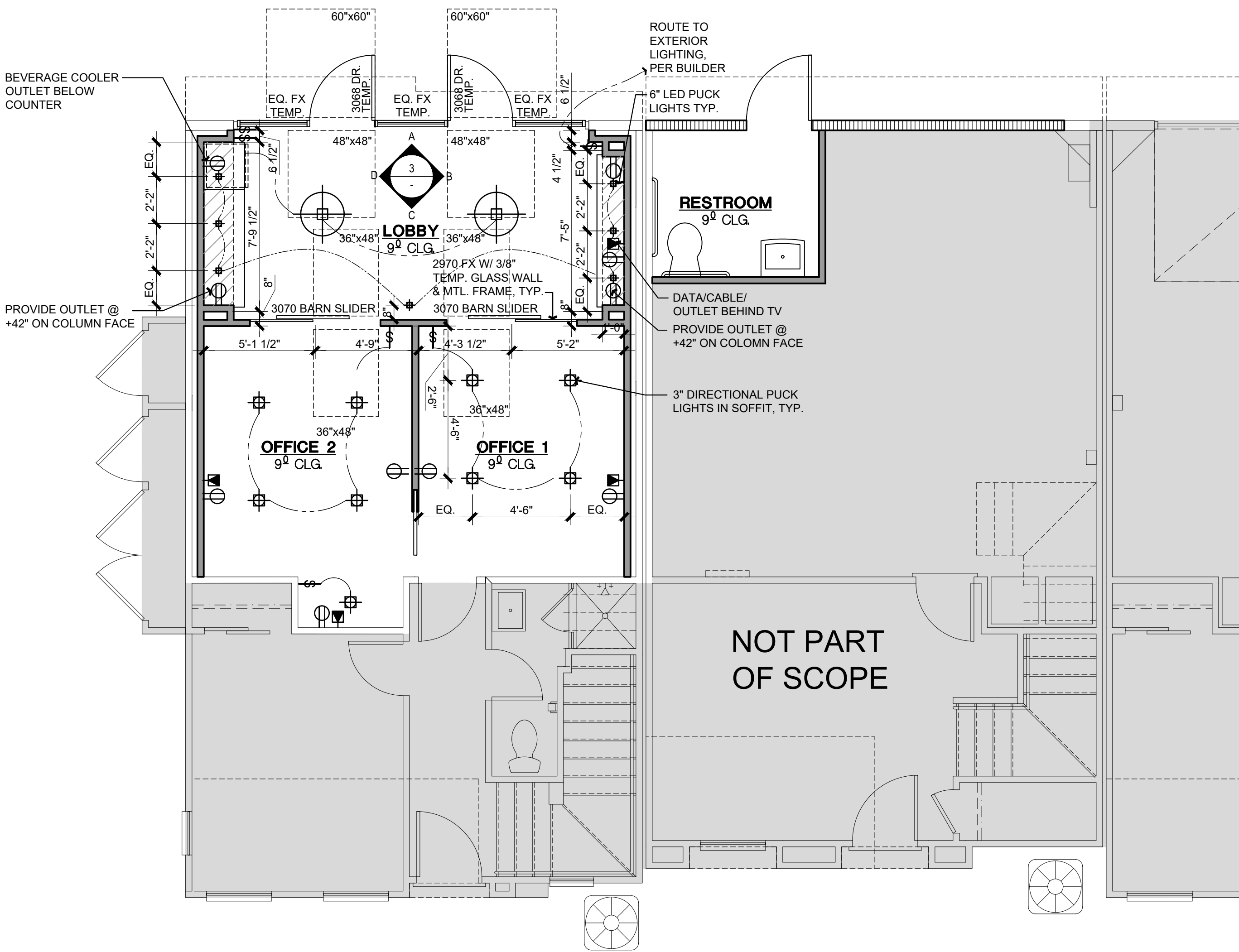


D INTERIOR OFFICE 2 ELEVATION



D BEVERAGE NOOK ELEVATION

\*NOTE\*  
FINAL CABINET LAYOUT PER CABINET SHOP DRAWINGS.  
COORDINATE EQUIPMENT LOCATION & CONDUIT WITH  
FINAL CABINET LAYOUTS AND CONSTRUCTION MANAGER.



FIRST FLOOR PLAN SCALE: 1/4"=1'-0" 1

- EXTERIOR WALL: 1-COAT EXTERIOR PLASTER SYSTEM BY "OMEGA DIAMOND WALL" ICC-ES REPORT ESR-1194 OR APPROVED EQUAL OVER MINIMUM GRADE "D" BLDG. PAPER INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- TRIM: 1X8 E.P.S. FOAM TRIM WITH EXTERIOR PLASTER OVER, TYP. U.N.O. REFER TO DETAILS FOR SHAPES AND SIZES.

- LOW WALL
- 2x4 WALL
- 2x6 WALL
- WIRING
- SUSPENDED LIGHT FIXTURE
- 6" LED PUCK LIGHTS
- 3" LED PUCK LIGHTS
- INDICATES 8" DEEP DROPPED SOFFIT, TYP. U.N.O.
- INTERIOR ELEVATION KEY
- SWITCH
- DATA/PHONE OUTLET
- DUPLEX OUTLET
- DATA/ CABLE/ OUTLET

- PROVIDE 1/2" GYP. BD. AT WALLS AND 5/8" TYPE "X" GYP. BD. AT CEILING OF SALES OFFICE.
- CEILING HEIGHTS INDICATED ARE MINIMUM FROM HOUSE F.F. CONTRACTOR TO FIELD VERIFY CEILING HEIGHTS AS REQUIRED.

ELEVATION KEYNOTES

FLOOR PLAN LEGEND & NOTES

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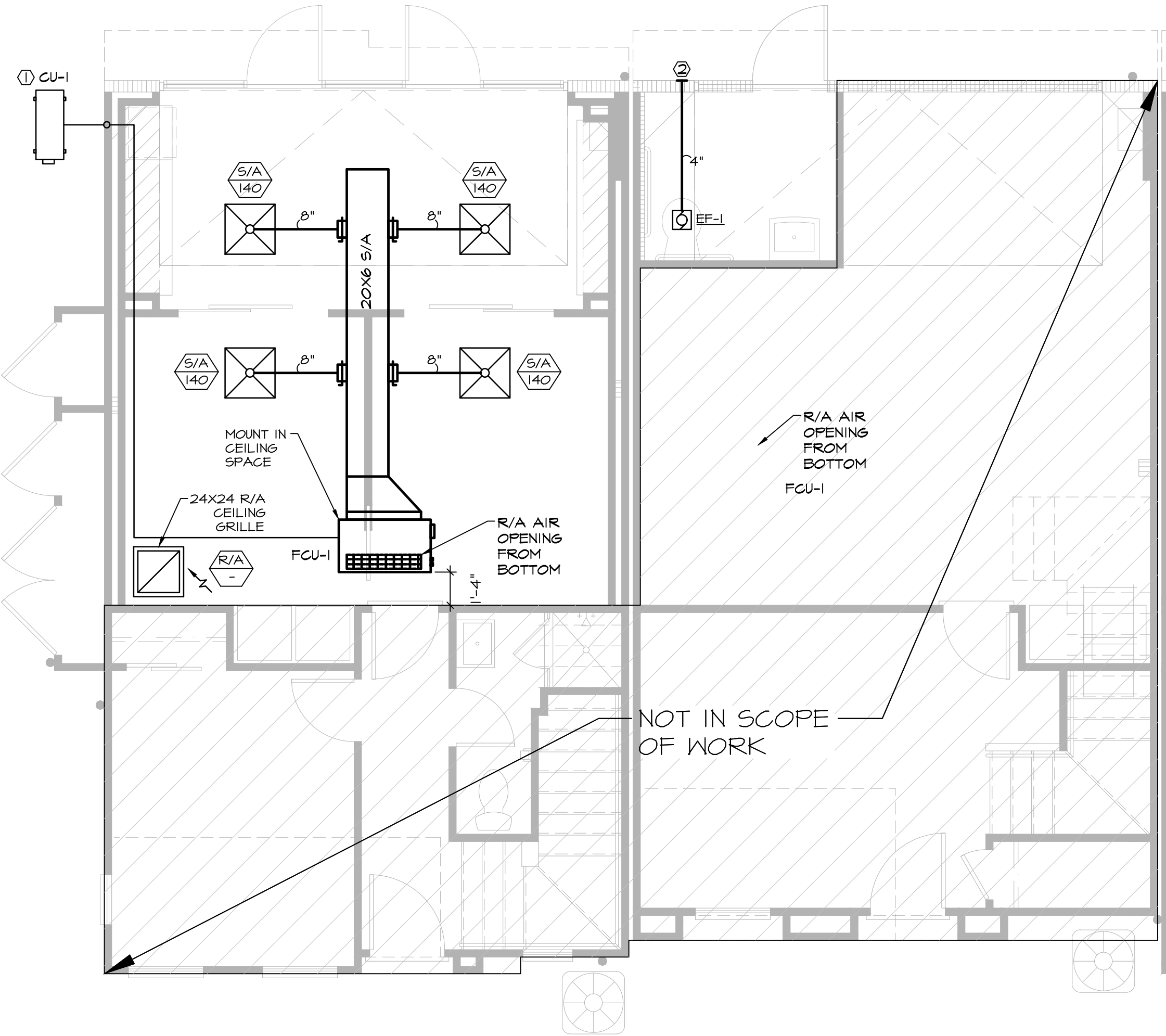
|   |   |  |  |   |
|---|---|--|--|---|
| <p>CONTROLS AND OPERATING MECHANISMS SHALL COMPLY WITH CBC SECTIONS 11B84.1, 11B424 AND 11B-309.</p> <p>A. GENERAL CONTROLS AND OPERATING MECHANISMS IN ACCESSIBLE SPACES, ALONG ACCESSIBLE ROUTES OR AS PART OF ACCESSIBLE ELEMENTS AND THOSE REQUIRED TO BE ACCESSIBLE BY CBC SECTION 1.8.1 SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:</p> <p>B. CLEAR FLOOR SPACE</p> <p>1. A CLEAR FLOOR SPACE THAT ALLOWS A FORWARD OR PARALLEL APPROACH BY A PERSON USING A WHEELCHAIR SHALL BE PROVIDED AT CONTROLS AND OPERATING MECHANISMS.</p> <p>C. HEIGHT</p> <p>CONTROLS AND OPERATING MECHANISMS SHALL BE LOCATED NO HIGHER THAN 48" AND NO LOWER THAN 15" ABOVE FINISHED FLOOR MEASURED TO THE CENTER OF THE GRIP. IF THE REACH IS OVER AN OBSTRUCTION FOR EXAMPLE, WASHERS OR DRYERS, CONTROLS AND OPERATING MECHANISMS SHALL BE LOCATED WITHIN THE REACH RANGES SPECIFIED IN SECTION 11B43.3. SEE DETAIL 22 ON THIS SHEET. CONTROLS AND OPERATING MECHANISMS THAT DO NOT SATISFY THESE SPECIFICATIONS ARE ACCEPTABLE, PROVIDED THAT COMPARABLE MECHANISMS, CONTROLS OR OUTLETS THAT PERFORM THE SAME FUNCTIONS, ARE PROVIDED WITHIN THE SAME AREA AND ARE ACCESSIBLE.</p> <p>D. OPERATION</p> <p>CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS OF FORCE.</p> <p>E. INSTALLATION HEIGHTS OF ELECTRICAL SWITCHES AND RECEPTACLE OUTLETS</p> <p>1. ELECTRICAL SWITCHES, CONTROLS AND SWITCHES INTENDED FOR USE BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLANCES OR COOLING, HEATING AND VENTILATING EQUIPMENT SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE OUTLET BOX NOR LESS THAN 15" FROM THE BOTTOM OF THE OUTLET BOX TO THE FINISH FLOOR OF THE WORKING PLATFORM.</p> <p>2. ELECTRICAL RECEPTACLE OUTLETS, ELECTRICAL RECEPTACLE OUTLETS ON BRANCH CIRCUITS OF 30 AMPERES OR LESS AND COMMUNICATION SYSTEM RECEPTACLES SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE OUTLET BOX NOR LESS THAN 15" FROM THE BOTTOM OF THE OUTLET BOX TO THE FINISH FLOOR OR THE WORKING PLATFORM. EXCEPTIONS INCLUDE THE FOLLOWING CONDITIONS:</p> <p>a. RECEPTACLE OUTLETS INSTALLED AS PART OF PERMANENTLY INSTALLED BASEBOARD HEATERS ARE EXEMPT.</p> <p>b. REQUIRED RECEPTACLE OUTLETS SHALL BE PERMITTED IN FLOORS WHEN ADJACENT TO SLIDING PANELS OR WALLS.</p> <p>c. BASEBOARD ELECTRICAL OUTLETS USED IN RELOCATABLE PARTITIONS, MINIMUM WALLS OR OTHER ELECTRICAL CONVENIENCE FLOOR OUTLETS ARE NOT SUBJECT TO THE MINIMUM HEIGHT REQUIREMENTS.</p> <p>d. IN EXISTING BUILDINGS WHEN THE ENFORCING AGENCY DETERMINES THAT COMPLIANCE WITH THESE STANDARDS WOULD CREATE AN UNREASONABLE HARDSHIP.</p> | <p>GRAB BARS, TUB AND SHOWER SEATS SHALL COMPLY WITH CBC SECTIONS 11274.4.</p> <p>A. GRAB BARS SHALL BE INSTALLED IN A HORIZONTAL POSITION, 33" MINIMUM AND 36" MAXIMUM ABOVE THE FINISH FLOOR TO ENTER THE ROOM AND PERMIT THE DOOR TO CLOSE. THERE SHALL BE IN THE ROOM A CLEAR FLOOR SPACE OF AT LEAST 60" IN DIAMETER, OR A T-SHAPED SPACE COMPLYING WITH DETAIL 22, NOTE 8, OF THIS SHEET. SEE FIGURES 9.1 AND 9.2 BELOW. NO DOOR SHALL NOT ENDOUGH INTO THIS CLEAR FLOOR SPACE FOR MORE THAN 12" SEE FIGURE 9.2 BELOW.</p> <p>B. WHEN A TOILET ROOM OR BATHING ROOM IS FOR INDIVIDUAL USE AND A CLEAR FLOOR SPACE COMPLYING WITH DETAIL 22, NOTE 8, OF THIS SHEET, IS PROVIDED WITHIN THE ROOM BEYOND THE ARC OF THE DOOR SWING, DOORS SHALL BE PERMITTED TO SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE REQUIRED FOR ANY FUTURE. SEE FIGURE 9.2 BELOW.</p> <p>C. PROVIDE ONE ACCESSIBLE WATER CLOSET IN COMPLIANCE WITH THE REQUIREMENTS WITHIN THIS DETAIL AND DETAIL 10. ON THIS SHEET. PROVIDE ONE LAVATORY IN COMPLIANCE WITH DETAIL 12 OF THIS SHEET. ALL DOORS, FIXTURES AND CONTROLS SHALL BE ON AN ACCESSIBLE ROUTE. THE MINIMUM CLEAR WIDTH OF AN ACCESSIBLE ROUTE SHALL BE 36" EXCEPT AT DOORS. SEE DETAIL 4 OF THIS SHEET. THE ACCESSIBLE ROUTE AND TOILET ROOM FLOOR SHALL BE STABLE, FIRM AND SLIP RESISTANT. GRAB BARS SHALL BE INSTALLED IN COMPLIANCE WITH DETAILS 10 A 13 OF THIS SHEET. THE ENTRANCE DOOR SHALL BE PROVIDED WITH A PRIVACY LOCK OR LATCH IN COMPLIANCE WITH DETAIL 4 OF THIS SHEET.</p> <p>FIGURE 9.1 ACCESSIBLE SINGLE ACCOMMODATION TOILET WITH SIDE-OUT-SWING DOOR</p> <p>FIGURE 9.2 ACCESSIBLE SINGLE ACCOMMODATION TOILET WITH SIDE-IN-SWING DOOR</p> | <p>SINGLE-ACCOMMODATION TOILET FACILITIES SHALL COMPLY WITH CBC SECTION 11274.2.2 AND 11B-603.</p> <p>A. THERE SHALL BE SUFFICIENT SPACE IN THE TOILET ROOM FOR A WHEELCHAIR MEASURING 30" WIDE BY 48" LONG TO ENTER THE ROOM AND PERMIT THE DOOR TO CLOSE. THERE SHALL BE IN THE ROOM A CLEAR FLOOR SPACE OF AT LEAST 60" IN DIAMETER, OR A T-SHAPED SPACE COMPLYING WITH DETAIL 22, NOTE 8, OF THIS SHEET. SEE FIGURES 9.1 AND 9.2 BELOW. NO DOOR SHALL NOT ENDOUGH INTO THIS CLEAR FLOOR SPACE FOR MORE THAN 12" SEE FIGURE 9.2 BELOW.</p> <p>B. WHEN A TOILET ROOM OR BATHING ROOM IS FOR INDIVIDUAL USE AND A CLEAR FLOOR SPACE COMPLYING WITH DETAIL 22, NOTE 8, OF THIS SHEET, IS PROVIDED WITHIN THE ROOM BEYOND THE ARC OF THE DOOR SWING, DOORS SHALL BE PERMITTED TO SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE REQUIRED FOR ANY FUTURE. SEE FIGURE 9.2 BELOW.</p> <p>C. PROVIDE ONE ACCESSIBLE WATER CLOSET IN COMPLIANCE WITH THE REQUIREMENTS WITHIN THIS DETAIL AND DETAIL 10. ON THIS SHEET. PROVIDE ONE LAVATORY IN COMPLIANCE WITH DETAIL 12 OF THIS SHEET. ALL DOORS, FIXTURES AND CONTROLS SHALL BE ON AN ACCESSIBLE ROUTE. THE MINIMUM CLEAR WIDTH OF AN ACCESSIBLE ROUTE SHALL BE 36" EXCEPT AT DOORS. SEE DETAIL 4 OF THIS SHEET. THE ACCESSIBLE ROUTE AND TOILET ROOM FLOOR SHALL BE STABLE, FIRM AND SLIP RESISTANT. GRAB BARS SHALL BE INSTALLED IN COMPLIANCE WITH DETAILS 10 A 13 OF THIS SHEET. THE ENTRANCE DOOR SHALL BE PROVIDED WITH A PRIVACY LOCK OR LATCH IN COMPLIANCE WITH DETAIL 4 OF THIS SHEET.</p> <p>FIGURE 9.1 ACCESSIBLE SINGLE ACCOMMODATION TOILET WITH SIDE-OUT-SWING DOOR</p> <p>FIGURE 9.2 ACCESSIBLE SINGLE ACCOMMODATION TOILET WITH SIDE-IN-SWING DOOR</p> | <p>LANDINGS AND THRESHOLDS SHALL COMPLY WITH CBC SECTIONS 1010.1.6, 1010.1.7, 11B24.2 AND 11B-302, 11B-303.</p> <p>DOOR LANDINGS</p> <p>A. THE FLOOR OR LANDING ON EACH SIDE OF AN EXIST DOOR SHALL BE LEVEL.</p> <p>DOOR THRESHOLDS</p> <p>A. THRESHOLDS AND CHANGES IN ELEVATION AT DOORS SHALL NOT BE MORE THAN 1/2" LOWER THAN THE TOP OF THE THRESHOLD OF THE DOORWAY.</p> <p>B. THRESHOLDS WITH A CHANGE IN HEIGHT OF NOT MORE THAN 1/4" MAY BE VERTICAL.</p> <p>C. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1 VERTICAL UNIT TO 2 HORIZONTAL. CHANGES GREATER THAN 1/2" SHALL BE ACCOMPLISHED BY MEANS OF A RAMP.</p> <p>DOOR MATS</p> <p>A. IF A DOORMAT IS USED IN A COMMON-USE AREA OR PUBLIC-USE AREA, IT SHALL HAVE A FIRM BACKING OR NO BACKING.</p> <p>B. THE MAXIMUM PILE HEIGHT SHALL BE 1/2".</p> <p>C. EXPOSED EDGES OF THE DOORMAT SHALL BE FASTENED TO THE FLOOR SURFACE AND HAVE TRIM ALONG THE ENTIRE LENGTH OF EXPOSED EDGES THAT SHALL COMPLY WITH THE REQUIREMENTS FOR CHANGES IN LEVEL.</p> <p>1. CHANGES IN LEVEL NOT EXCEED 1/2".</p> <p>2. WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1 VERTICAL UNIT VERTICAL IN 2 UNITS HORIZONTAL (50% SLOPE).</p> <p>3. CHANGES IN LEVEL NOT EXCEEDING 1/4" MAY BE VERTICAL.</p> <p>4. CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE MADE BY MEANS OF A SLOPED SURFACE WITH A SLOPE NOT GREATER THAN 1 VERTICAL IN 20 UNITS HORIZONTAL (5% SLOPE).</p> <p>D. RECESSED DOOR MATS SHALL BE LEVEL WITH THE ADJACENT SURFACE AND BE SECURELY ANCHORED TO PREVENT INTERFERENCE WITH WHEELCHAIR TRAFFIC.</p> <p>FIGURE 10.1 ACCESSIBLE ROUTE THROUGH THE MULTIFAMILY DEVELOPMENT SHALL COMPLY WITH BUT NOT BE LIMITED TO CBC SECTIONS 11274.1, 11B424, 11B424.2 AND 11B-309.4.</p> <p>A. GENERAL WHEN A BUILDING OR A PORTION OF A BUILDING IS REQUIRED TO BE ACCESSIBLE OR ADAPTABLE, AN ACCESSIBLE ROUTE SHALL BE PROVIDED TO ALL PORTIONS OF THE BUILDING. ACCESSIBLE BUILDING ENTRANCES TO COVERED MULTIFAMILY DWELLING UNITS AND BETWEEN THE BUILDING ENTRANCES AND THE BUILDING ENTRANCES TO COVERED MULTIFAMILY DWELLING UNITS SHALL BE PROVIDED. THE ACCESSIBLE ROUTE SHALL COMPLY WITH THE APPLICABLE PROVISIONS OF THE APPLICABLE CODES, AT LEAST ONE ACCESSIBLE ROUTE WITHIN THE BOUNDARY OF THE SITE SHALL BE PROVIDED. THE ACCESSIBLE ROUTE SHALL TO THE MAXIMUM EXTENT FEASIBLE CONSIDER WITH THE ROUTE FOR THE GENERAL PUBLIC AND OTHER RESIDENTS. ACCESSIBLE ROUTES SHALL NOT BE LIMITED TO HIGHWAYS, STORAGE ROOMS, RESTROOMS, CLOSETS OR OTHER SPACES USED FOR SIMILAR PURPOSES EXCEPT WITH AN INDIVIDUAL DWELLING UNIT. ACCESSIBLE ROUTES SHALL BE PROVIDED AS FOLLOWS:</p> <p>1. WHERE MORE THAN ONE ROUTE OF TRAVEL IS PROVIDED, ALL ROUTES SHALL BE ACCESSIBLE.</p> <p>2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDING OR FACILITY ENTRANCES WITH ALL ACCESSIBLE SPACES, ELEMENTS AND MULTIFAMILY DWELLING UNITS AND EXTERIOR SPACES AND FACILITIES THAT SERVE THE UNIT.</p> <p>3. WHERE ELEVATORS ARE PROVIDED FOR VERTICAL ACCESS ONLY ONE IS REQUIRED, HOWEVER ALL ELEVATORS PROVIDED SHALL BE ACCESSIBLE.</p> <p>4. FLOORING SHALL COMPLY WITH THE REQUIREMENTS OF DETAIL 22 ITEM D OF THIS SHEET.</p> <p>5. RECESSED DOOR MATS SHALL COMPLY WITH THE REQUIREMENTS OF DETAIL 4 OF THIS SHEET.</p> <p>6. PRIMARY ENTRANCES AND GROUND FLOOR EXITS, ALL ENTRANCES AND ALL EXTERIOR GROUND FLOOR EXITS SHALL BE ACCESSIBLE.</p> <p>7. SEPARATE DWELLING UNIT ENTRANCES, WHEN A GROUND FLOOR DWELLING UNIT OF A BUILDING HAS A SEPARATE ENTRANCE, EACH SUCH GROUND FLOOR DWELLING UNIT SHALL BE SERVED BY AN ACCESSIBLE ROUTE EXCEPT WHERE THE SITE TERRAIN PROHIBITS AN ACCESSIBLE ROUTE (SEE CBC SECTION 11B424.1).</p> <p>8. MULTIPLE ENTRANCES, ONLY ONE ENTRANCE TO COVERED MULTIFAMILY BUILDINGS IS REQUIRED TO BE ACCESSIBLE TO ANY ONE GROUND FLOOR OF A BUILDING, EXCEPT IN CASES WHERE AN INDIVIDUAL DWELLING UNIT HAS A SEPARATE EXTERIOR ENTRANCE, WHERE THE BUILDING CONTAINS CLUSTERS OF DWELLING UNITS THAT EACH CLUSTER SHARING A ENTRANCE, MORE THAN ONE ENTRANCE MAY BE REQUIRED TO BE ACCESSIBLE AS DETERMINED BY ANALYSIS OF THE SITE TERRAIN. IN EVERY CASE, THE ACCESSIBLE ENTRANCE SHALL BE ON AN ACCESSIBLE ROUTE TO THE COVERED MULTIFAMILY DWELLING UNIT SERVICES.</p> <p>9. INTERIOR WIDTHS AND LENGTHS SHALL COMPLY WITH THE REQUIREMENTS OF DETAIL 22, ITEM D OF THIS SHEET. IF A BUILDING HAS A THREE CHARACTER MUST MAKE A TURN AROUND A CORNER OR OBSTRUCTION TO THE ACCESSIBLE ROUTE SHALL COMPLY WITH DETAIL 22, ITEM D OF THIS SHEET.</p> <p>10. CHANGES IN LEVEL NOT EXCEEDING 1/2" SHALL BE BEVELED WITH A SLOPE NOT GREATER THAN 1 VERTICAL IN 2 UNITS HORIZONTAL (5% SLOPE). WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1 VERTICAL IN 2 UNITS HORIZONTAL (5% SLOPE). WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1 VERTICAL IN 2 UNITS HORIZONTAL (5% SLOPE).</p> <p>11. CHANGES IN LEVEL GREATER THAN 1/2" CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE MADE BY MEANS OF A SLOPED SURFACE WITH A SLOPE NOT GREATER THAN 1 VERTICAL IN 20 UNITS HORIZONTAL (5% SLOPE), OR A CURB RAMP PER CBC SECTION 11224.2, A RAMP PER CBC SECTION 11144 EXTERIOR RAMP OR 11224.2 EXTERIOR RAMP, ELEVATOR PER CBC SECTION 1010.1.6 OR PLATFORM PER CBC SECTION 1010.1.6 OR 11224.2, WHEN STAIRS ARE LOCATED ALONG OR ADJACENT TO AN ACCESSIBLE ROUTE THEY SHALL COMPLY WITH CBC SECTION 11154 EXTERIOR STAIRWAYS OR 11224 INTERIOR STAIRWAYS.</p> | <p>ACCESSIBLE ROUTES THROUGH THE MULTIFAMILY DEVELOPMENT SHALL COMPLY WITH BUT NOT BE LIMITED TO CBC SECTIONS 11274.1, 11B424, 11B424.2 AND 11B-309.4.</p> <p>A. GENERAL WHEN A BUILDING OR A PORTION OF A BUILDING IS REQUIRED TO BE ACCESSIBLE OR ADAPTABLE, AN ACCESSIBLE ROUTE SHALL BE PROVIDED TO ALL PORTIONS OF THE BUILDING. ACCESSIBLE BUILDING ENTRANCES TO COVERED MULTIFAMILY DWELLING UNITS AND BETWEEN THE BUILDING ENTRANCES AND THE BUILDING ENTRANCES TO COVERED MULTIFAMILY DWELLING UNITS SHALL BE PROVIDED. THE ACCESSIBLE ROUTE SHALL COMPLY WITH THE APPLICABLE PROVISIONS OF THE APPLICABLE CODES, AT LEAST ONE ACCESSIBLE ROUTE WITHIN THE BOUNDARY OF THE SITE SHALL BE PROVIDED. THE ACCESSIBLE ROUTE SHALL TO THE MAXIMUM EXTENT FEASIBLE CONSIDER WITH THE ROUTE FOR THE GENERAL PUBLIC AND OTHER RESIDENTS. ACCESSIBLE ROUTES SHALL NOT BE LIMITED TO HIGHWAYS, STORAGE ROOMS, RESTROOMS, CLOSETS OR OTHER SPACES USED FOR SIMILAR PURPOSES EXCEPT WITH AN INDIVIDUAL DWELLING UNIT. ACCESSIBLE ROUTES SHALL BE PROVIDED AS FOLLOWS:</p> <p>1. WHERE MORE THAN ONE ROUTE OF TRAVEL IS PROVIDED, ALL ROUTES SHALL BE ACCESSIBLE.</p> <p>2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDING OR FACILITY ENTRANCES WITH ALL ACCESSIBLE SPACES, ELEMENTS AND MULTIFAMILY DWELLING UNITS AND EXTERIOR SPACES AND FACILITIES THAT SERVE THE UNIT.</p> <p>3. WHERE ELEVATORS ARE PROVIDED FOR VERTICAL ACCESS ONLY ONE IS REQUIRED, HOWEVER ALL ELEVATORS PROVIDED SHALL BE ACCESSIBLE.</p> <p>4. FLOORING SHALL COMPLY WITH THE REQUIREMENTS OF DETAIL 22 ITEM D OF THIS SHEET.</p> <p>5. RECESSED DOOR MATS SHALL COMPLY WITH THE REQUIREMENTS OF DETAIL</p> |
|---|---|--|--|---|

[illegible]

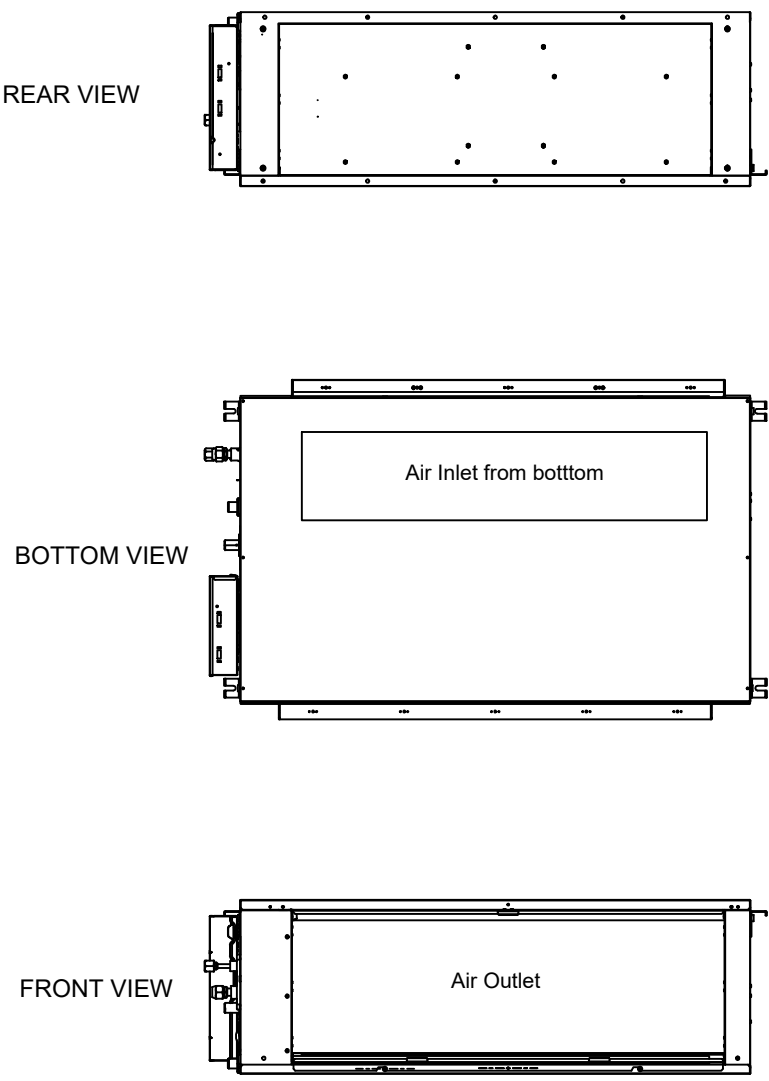
| MINI DUCTLESS SPLIT-SYSTEM AIR CONDITIONING UNIT SCHEDULE |                 |            |     |     |                    |                |                       |        |               |              |              |               |     |     |                |         |                        |                       |       |
|---|-----------------|------------|-----|-----|--------------------|----------------|-----------------------|--------|---------------|--------------|--------------|---------------|-----|-----|----------------|---------|------------------------|-----------------------|-------|
| INDOOR UNIT   |                 |            |     |     |                    |                |                       |        |               |              | OUTDOOR UNIT |               |     |     |                |         |                        |                       |       |
| EQPT TAG  | NOMINAL TONNAGE | SUPPLY CFM |     |     | COIL MODEL         | CAPACITY (MBH) | POWER CONSUMPTION (W) |        | ELECTRIC DATA |              | EQPT TAG     | ELECTRIC DATA |     |     | CAPACITY (MBH) |         | MANUFACTURER AND MODEL | EQUIPMENT WEIGHT (LB) | NOTES |
|   |                 | L          | M   | H   |                    |                | INPUT                 | OUTPUT | MCA           | V/PH/HZ      |              | V/PH/HZ       | MCA | MOP | COOLING        | HEATING |                        |                       |       |
| FCU-1   | 2.0             | 553        | 689 | 955 | CARRIER - 40MBDQ24 | 24.0           | 200                   | 160    | 1.2           | 208-230/1/60 | CU-1         | 208-230/1/60  | 20  | 30  | 24             | 24      | CARRIER - 38MAQB24R-3  | 145                   | ①     |

① EQUIVALENT MANUFACTURER APPROVED BY BUILDER.

- KEYED NOTES** ①
- COORDINATE EXACT LOCATION OF CONDENSING UNIT.
  - 4" EXHAUST VENT TERMINATION.



① SALES OFFICE MECHANICAL LAYOUT  
SCALE: 1/4" = 1'-0"



① FAN COIL DETAIL  
NOT TO SCALE

Century Communities  
8390 E. Crescent Parkway, Suite 650  
Greenwood Village, CO

TH SALES OFFICE  
GATEWAY, CA

PEG

3975 Fair Ridge Drive,  
SUITE 115S  
FAIRFAX, VA 22033  
PHONE: 703.727.7777  
WWW.PEGENV.COM  
PEGC2044.00

336 W. Main Street  
Ripon, CA 95366  
(209) 579-5000

DuctTesters

“QUALITY ENERGY CONSULTING WITH THE TESTING TO PROVE IT”

SCALE:  
AS NOTED

DRAWN BY:

INITIAL ISSUE DATE:  
12/01/2022

SHEET  
M100

Tag

Revision

Date

| OPTIONAL FEEDER AND SERVICE LOAD CALCULATIONS         |   |   |       |                 |      |  |         |                          |       |           |       |
|---|---|---|-------|-----------------|------|--|---------|--------------------------|-------|-----------|-------|
| BASED ON NEC TABLE 220                                |   |   |       |                 |      |  |         |                          |       |           |       |
| VOLTAGE (PHASE-GROUND/PHASE)                          |   |   |       | 120             | 240  |  |         | PEG                      |       |           |       |
| PHASE   |   | 1 |       |                 |      |  |         | 3975 FAIR RIDGE, DRIVE   |       |           |       |
| WIRE  |   | 3 |       |                 |      |  |         | FAIRFAX, VA 22033        |       |           |       |
| 8   | RECEPTACLE LOAD                                     |   |       |                 |      |  | 1440    |                          | WATTS |           |       |
| 1   | MINI- FRIDGE  |   |       |                 |      |  | 1200    |                          | WATTS |           |       |
| 1   | 55" TV  |   |       |                 |      |  | 340     |                          | WATTS |           |       |
| 1   | HP PRINTER  |   |       |                 |      |  | 400     |                          | WATTS |           |       |
|   |   |   |       |                 |      |  | 0       |                          | WATTS |           |       |
|   |   |   |       |                 |      |  | 0       |                          | WATTS |           |       |
| TOTAL CALCULATED LOAD (LESS HVAC)                     |   |   |       |                 |      |  | 3380    |                          | WATTS |           |       |
| SERVICE DEMANDS                                       |   |   |       |                 |      |  |         |                          |       |           |       |
| GENERAL LOAD  |   |   |       |                 |      |  |         |                          |       |           |       |
| FIRST 10KW OF TOTAL CALCULATED LOAD(LESS HVAC) @ 100% |   |   |       |                 |      |  | 3380    |                          | WATTS |           |       |
| REMAINDER OF TOTAL CALCULATED LOAD (LESS HVAC) @ 50%  |   |   |       |                 |      |  | 0       |                          | WATTS |           |       |
| TOTAL GENERAL NONCONTINUOUS LOADS                     |   |   |       |                 |      |  | 3380    |                          | WATTS |           |       |
| 415   | GENERAL LIGHTING (CONTINUS LOADS)                   |   |       |                 |      |  | 1815.63 |                          | WATTS |           |       |
| TOTAL GENERAL LOADS                                   |   |   |       |                 |      |  | 5195.63 |                          | WATTS |           |       |
| HVAC LOAD   |   |   |       |                 |      |  |         |                          |       |           |       |
| 1   | AIR CONDITIONING LOAD @ 100% (VOLTS X AMPS = WATTS) |   |       |                 |      |  | 288     |                          | WATTS |           |       |
| 1   | FURNACE/AIR HANDLER LOAD (VOLTS X AMPS = WATTS)     |   |       |                 |      |  | 4800    |                          | WATTS |           |       |
| TOTAL HVAC LOAD                                       |   |   |       |                 |      |  | 5088    |                          | WATTS |           |       |
|   |   |   |       |                 |      |  |         |                          |       |           |       |
| TOTAL GENERAL LOAD                                    |   |   | +     | TOTAL HVAC LOAD |      |  | =       | CALCULATED SERVICE LOAD  |       |           |       |
| 5195.625  |   |   | WATTS | +               | 5088 |  |         | WATTS                    | =     | 10283.625 | WATTS |
|   |   |   |       |                 |      |  |         |                          |       |           |       |
| CALCULATED SERVICE LOAD                               |   |   | +     | SERVICE VOLTAGE |      |  | =       | MINIMUM SERVICE AMPACITY |       |           |       |
| 10283.625   |   |   | WATTS | +               | 240  |  |         | VOLTS                    | =     | 42.85     | AMPS  |



336 W. Main Street  
Ripon, CA 95366  
(209)579-5000

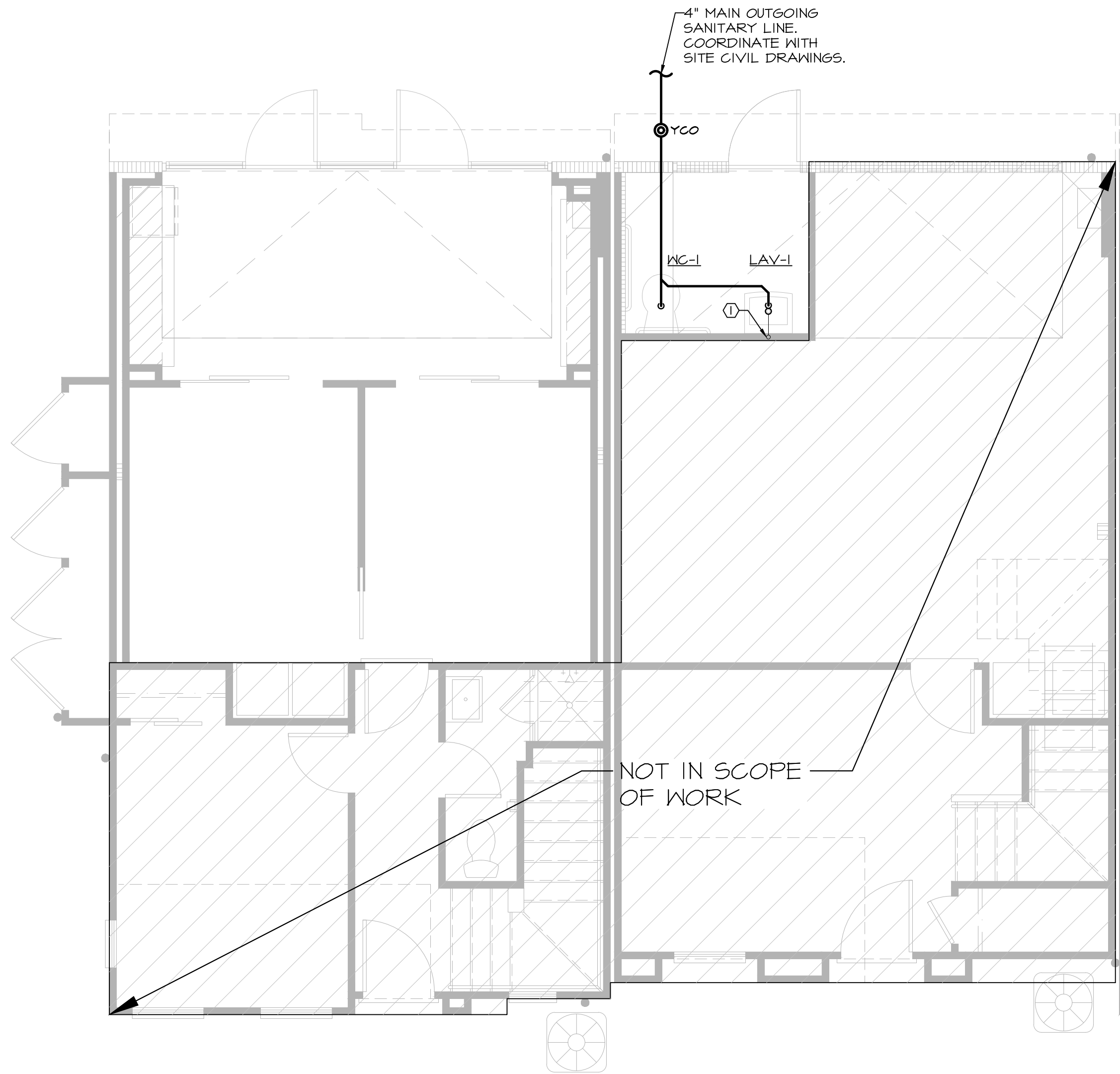


TH SALES OFFICE  
GATEWAY, CA

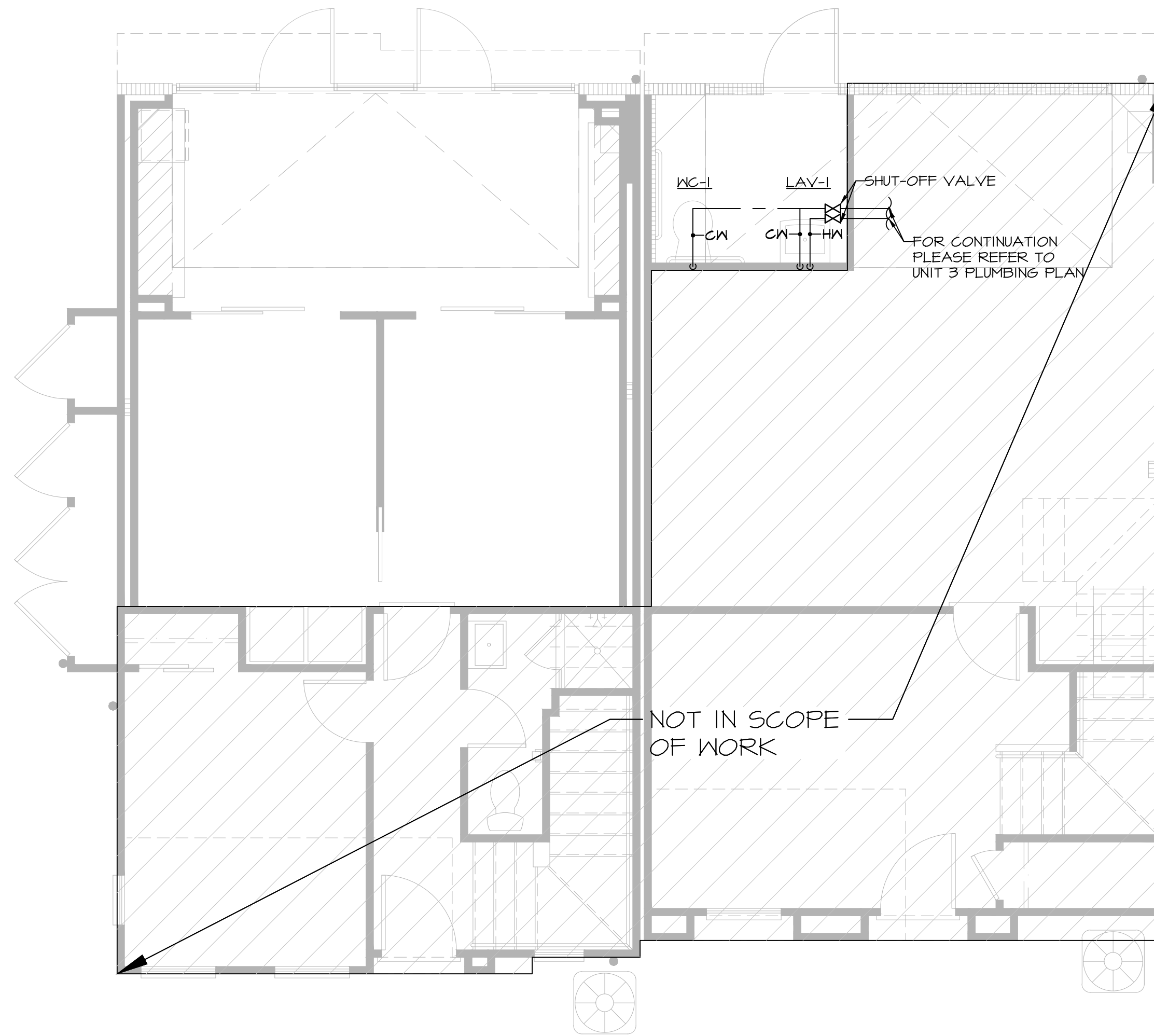
CENTURY  
COMMUNITIES  
8390 E. Crescent  
Parkway, Suite 650  
Greenwood Village, CO

| Tag | Revision | Date |
|-----|----------|------|
| A   | -        | -    |
| A   | -        | -    |
| A   | -        | -    |
| A   | -        | -    |
| A   | -        | -    |
| A   | -        | -    |

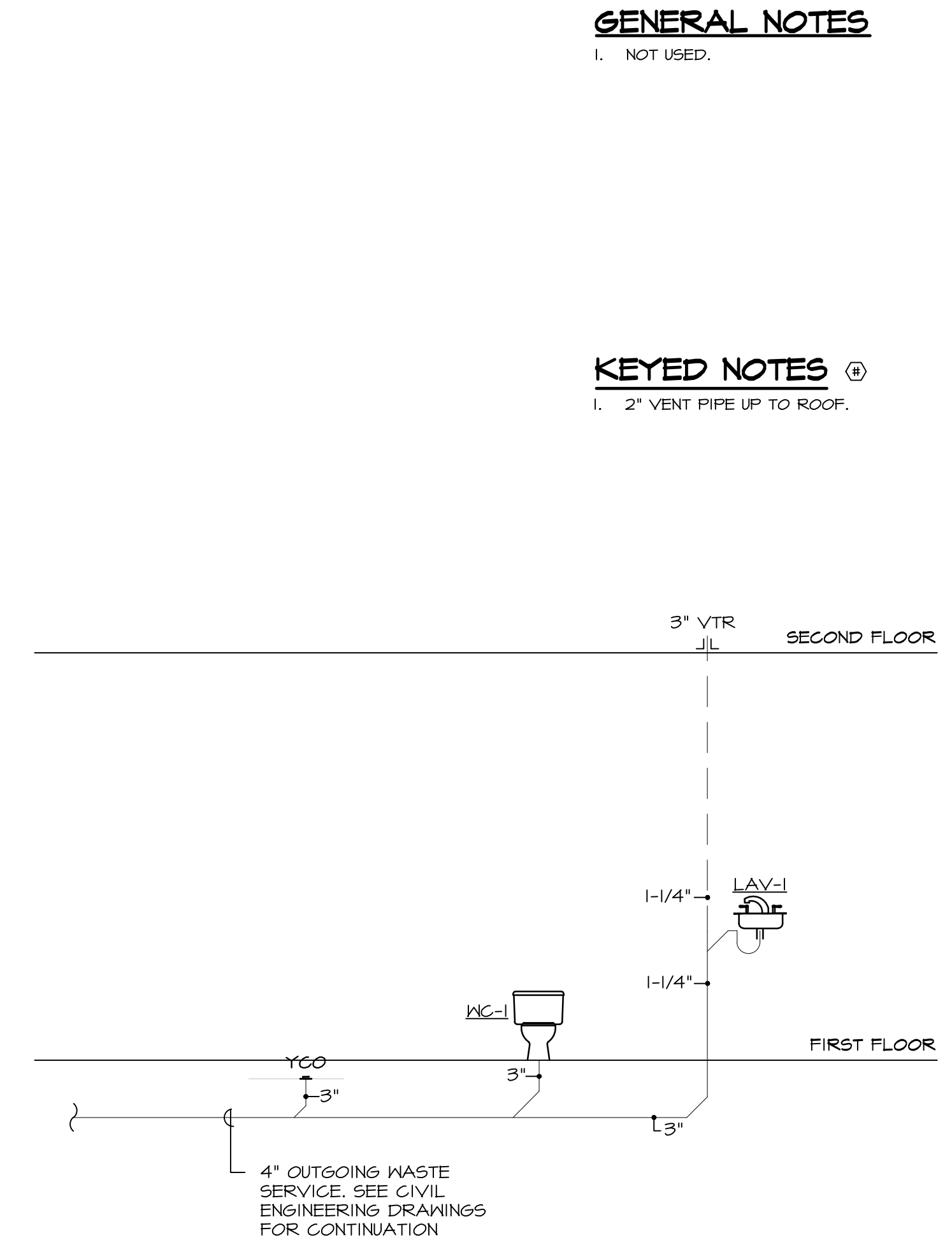
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AS NOTED  
DRAWN BY:  
EG  
INITIAL ISSUE DATE:  
12/01/2022  
SHEET  
E600



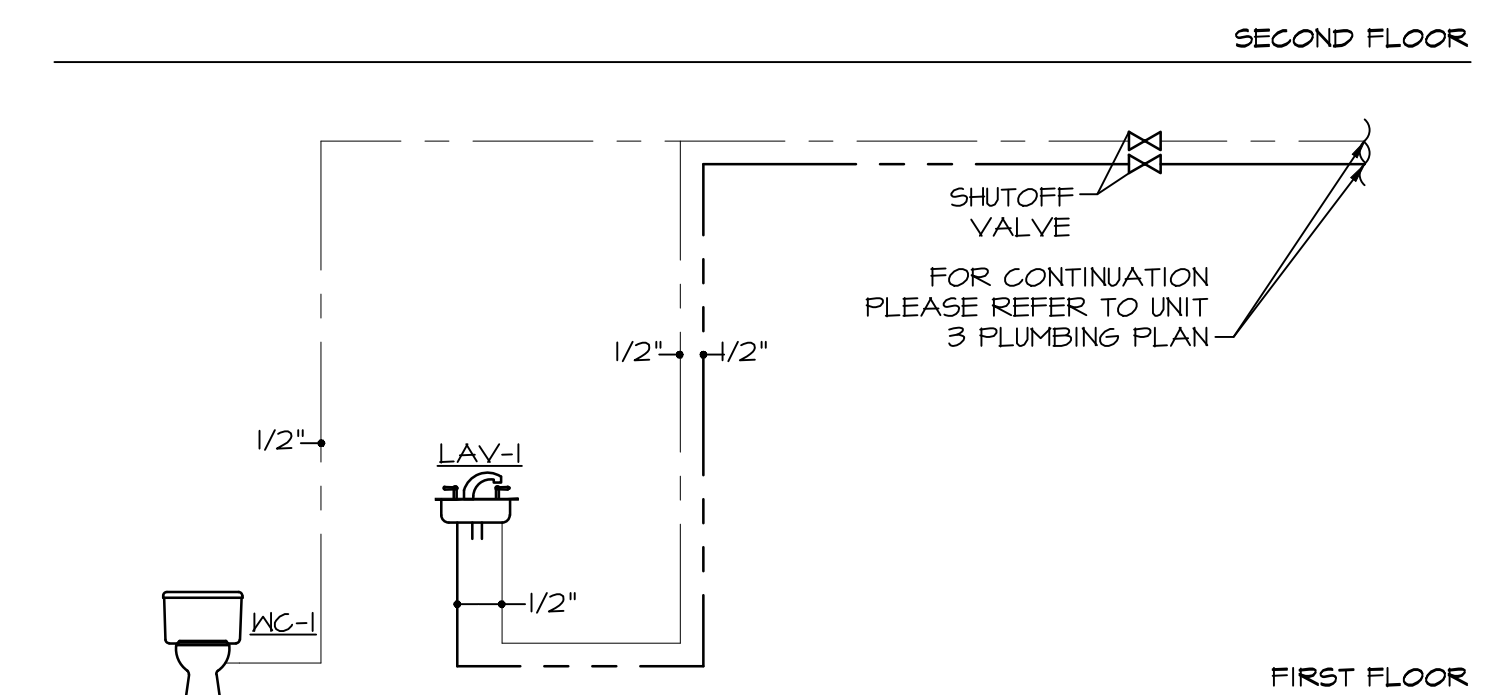
1 SALES OFFICE SANITARY PLAN  
SCALE: 1/4" = 1'-0"



2 SALES OFFICE DOMESTIC WATER PLAN  
SCALE: 1/4" = 1'-0"



3 SANITARY WASTE RISER DIAGRAM  
SCALE: NTS



5 DOMESTIC WATER RISER DIAGRAM  
SCALE: NTS

| PLUMBING FIXTURE SCHEDULE |                          |                                 |                    |                    |            |           |        |         |
|---------------------------|--------------------------|---------------------------------|--------------------|--------------------|------------|-----------|--------|---------|
| MARK                      | DESCRIPTION              | MODEL NUMBER ②                  | MOUNTING           | SIZE OF CONNECTION |            |           |        | REMARKS |
|                           |                          |                                 |                    | SAN/WASTE          | COLD WATER | HOT WATER | VENT   |         |
| WC-1                      | WATER CLOSET (TANK TYPE) | REFER TO BUILDER SPECIFICATIONS | 15" SEAT HEIGHT    | 3"                 | 1/2"       | -         | 2"     |         |
| LAV-1                     | BATH LAVATORY            | REFER TO BUILDER SPECIFICATIONS | 34" MAX RIM HEIGHT | 1-1/4"             | 1/2"       | 1/2"      | 1-1/4" |         |

4 PLUMBING SCHEDULES  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES**

1. NOT USED.

**KEYED NOTES ④**

1. 2" VENT PIPE UP TO ROOF.

# GATEWAY 156

# SFD SALES OFFICE

POMONA , CA



Architecture + Planning  
17911 Von Karman Ave.  
Suite 200  
Irvine, CA 92614  
ktgy.com  
949.851.2133

KTGY Project No: 211039

Project Contact: Priscila Wong  
Email: pwong@ktgy.com

Principal: Chris Texter  
Project Designer: David Obitz



CENTURY COMMUNITIES  
4695 MACARTHUR COURT,  
SUITE 300  
NEWPORT BEACH, CA 92660

PHONE NO. (909) 667-0142

GATEWAY 156  
SFD  
SALES OFFICE  
POMONA, CA



DIGITAL STAMP OF APPROVAL

TUP-020535-2023  
Approved 2/22/2023  
Vinny Tam, Senior Planner

It is the clients responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or clients subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

COVER SHEET

A-SO-01

## PROJECT DIRECTORY

CLIENT: CENTURY COMMUNITIES  
4695 MACARTHUR COURT, SUITE 300  
NEWPORT BEACH, CA 92660  
(909) 667-0142  
CONTACT: BRIAN TAYLOR  
brian.taylor@centurycommunities.com

ARCHITECT: THE KTOY GROUP, INC.  
17911 VON KARMAN AVE., SUITE 200  
IRVINE, CA 92614  
(949) 851-2133  
CONTACT: PRISCILA WONG  
pwong@ktgy.com

STRUCTURAL ENGINEER: VCA STRUCTURAL  
1845 W. ORANGEWOOD AVE. STE. 200  
ORANGE, CA 92668  
(714) 978-9780  
CONTACT: RICHARD SENTER II  
richard.senterii@vcastructural.com

MECH., PLUMB., ELEC., & ENERGY: DUCT TESTERS  
336 W. MAIN ST.  
RIPON, CA 95366  
(209) 579-5000  
M.E.P. CONTACT: JEREMIAH ELLIS  
jeremiah@ducttesters.com  
T-24 CONTACT: JEREMIAH ELLIS  
jeremiah@ducttesters.com

## PROJECT SCOPE

- THIS BUILDING PERMIT IS FOR:
  - TEMPORARY SALES OFFICE WITHIN PLAN 6B

## CODE DATA

TYPE OF CONSTRUCTION: V-B

OCCUPANCY TYPE: TYPE B

SALES OFFICE FLOOR AREA: 395 SQ. FT.

MAXIMUM FLOOR AREA ALLOWANCES: 100 SQ. FT. PER OCCUPANT

OCCUPANT LOAD: 4

THIS PROJECT SHALL COMPLY WITH THE:

2019 CALIFORNIA BUILDING CODE (CBC)  
2019 CALIFORNIA RESIDENTIAL CODE (CRC)  
2019 CALIFORNIA GREEN BUILDING CODE (CGBC)  
2019 CALIFORNIA MECHANICAL CODE (CMC)  
2019 CALIFORNIA PLUMBING CODE (CPC)  
2019 CALIFORNIA ELECTRICAL CODE (CEC)  
2019 CALIFORNIA GREEN BUILDING STANDARDS (CGBSC)  
2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS (CEES)

LOCAL AGENCY PLANNING CODE  
LOCAL AGENCY ZONING CODE  
LOCAL AGENCY CODE AMENDMENTS

AND ALL OTHER APPLICABLE REQUIREMENTS, ORDINANCES & REGULATIONS THAT ARE AMENDED & ADOPTED BY THE STATE GOVERNING AGENCIES.

## SHEET INDEX

### ARCHITECTURAL

| SHEET # | SHEET TITLE   |
|---------|---|
| A-SO-01 | COVER SHEET   |
| A-SO-1  | FLOOR PLAN, EXTERIOR ELEVATION, AND INTERIOR ELEVATIONS |
| A-SO-2  | COMMON & PUBLIC ARE ACCESSIBILITY NOTES                 |
| A-SO-3  | ARCHITECTURAL DETAILS                                   |

### MECHANICAL

|      |                  |
|------|------------------|
| M100 | SFD SALES OFFICE |
|------|------------------|

### ELECTRICAL

|      |                  |
|------|------------------|
| E600 | SFD SALES OFFICE |
|------|------------------|

## ABBREVIATIONS

|         |                    |          |                     |         |                     |          |                     |
|---------|--------------------|----------|---------------------|---------|---------------------|----------|---------------------|
| &<br>/  | AND                | E.W.C.   | ELECTRIC WATER      | MH.     | MANHOLE             | SQ.      | SQUARE              |
| @       | ANGLE              | F.A.     | COOLER              | MIN.    | MINIMUM             | S.S.K.   | SERVICE SINK        |
| CL      | AT                 | EXH.     | EXHAUST             | MIR.    | MIRROR              | SSSP     | SINGLE SHELF SINGLE |
| Ø       | CENTERLINE         | EXP.     | EXISTING            | MISC.   | MISCELLANEOUS       | SSDP     | POLE                |
| (E)     | DIAMETER OR ROUND  | EXP.     | EXPANSION           | MLD'G   | MOULDING            | SSDP     | SINGLE SHELF DOUBLE |
| d       | EXISTING           | EXT.     | EXPOSED             | M.O.    | MASONRY OPENING     | S.S.T.   | POLE                |
| t       | PENNY              | EXT.     | EXTERIOR            | MTD.    | MOUNTED             | STA.     | STATION             |
| #       | PROPERTY LINE      | EXT'G    | EXISTING            | MUL.    | MULLION             | STD.     | STANDARD            |
|         | FOUND OR NUMBER    |          |                     |         |                     | STL.     | STEEL               |
| A.B.    | ANCHOR BOLT        | F.A.U.   | FIRE ALARM          | N.      | NORTH               | STOR.    | STORAGE             |
| ABV.    | ABOVE              | F.B.     | FORCED AIR UNIT     | NAT     | NATURAL             | STRCL    | STRUCTURAL          |
| A/C     | AIR CONDENSER      | F.D.     | FLOOR DRAIN         | NG      | NATURAL GRADE       | STRUCTL  | STRUCTURAL          |
| ACOUS.  | ACOUSTICAL         | FDN.     | FOUNDATION          | N.I.C.  | NOT IN CONTRACT     |          |                     |
|         |                    | F.E.     | FIRE EXTINGUISHER   | NO.     | NUMBER              | STRUCT   | STRUCTURE           |
| A.D.    | AREA DRAIN         | F.E.C.   | FIRE EXTINGUISHER   | NOM.    | NOMINAL             | SUSP.    | SUSPENDED           |
| ADJ.    | ADJUSTABLE         |          | CABINET             | N.T.S.  | NOT TO SCALE        | SYM.     | SYMMETRICAL         |
| A.F.F.  | ABOVE FINISH FLOOR | F.FLR.   | FINISH FLOOR        | O/      | OVER                |          |                     |
| AGGR.   | AGGREGATE          | F.FL.    | FINISH FLOOR        | O.A.    | OVERALL             | T.B.     | TOWEL BAR           |
| AL.     | ALUMINUM           | F.G.     | FINISH GRADE / FUEL | OBS.    | OBSCURE             | T.O.CURB | TOP OF CURB         |
| ALT.    | ALTERNATE          | FGL.     | FIBERGLASS          | O.C.    | ON CENTER           | TEL.     | TELEPHONE           |
| ALUM.   | ALUMINUM           | F.H.C.   | FIRE HOSE CABINET   | O.D.    | OUTSIDE DIAMETER    | TEMP.    | TEMPERED            |
| APPROX. | APPROXIMATE        | FIN.     | FINISH              | OFF.    | OFFICE              | TER.     | TERRAZZO            |
|         |                    | FJ       | FLOOR JOIST         | O.H.C.  | OVERHEAD CABINET    | T&G      | TONGUE AND GROOVE   |
| ARCH.   | ARCHITECT          | FLASH.   | FLASHING            | OPNG.   | OPENING             | THK.     | THICK               |
| ARCH'L  | ARCHITECTURAL      |          |                     | OSA     | OUTSIDE AIR         | T.P.     | TOP OF PAVEMENT     |
| ASPH.   | ASPHALT            | FLASH'G  | FLASHING            |         |                     | T.P.D.   | TOILET PAPER        |
| AUTO.   | AUTOMATIC          |          |                     | PB      | PUSH BUTTON         | TRD.     | DISPENSER           |
|         |                    | FLR      | FLOOR               | PDR     | POWDER ROOM         | TRSM.    | TREAD               |
| BA.     | BATHROOM           | FLUOR.   | FLUORESCENT         | PRCST.  | PRECAST             | T.V.     | TRANSOM             |
| BD.     | BOARD              | F.O.C.   | FACE OF CONCRETE    |         |                     | TYP.     | TYPICAL             |
| BITUM.  | BITUMINOUS         | F.O.F.   | FACE OF FINISH      | PL.     | PLATE               | T.O.SHTG | TOP OF SHEATHING    |
|         |                    | F.O.M.   | FACE OF MULLION     | P.LAM.  | PLASTIC LAMINATE    |          |                     |
| BLDG.   | BUILDING           | F.O.S.   | FACE OF STUDS       | PLAS.   | PLASTER             |          |                     |
| BLK.    | BLOCK              | FPL      | FIREPLACE           | PLYWD.  | PLYWOOD             | T.O.C.   | TOP OF CONCRETE     |
| BLK'G   | BLOCKING           | FPRF.    | FIREPROOF           |         |                     | T.O.P.   | TOP OF PARAPET      |
| BLT.    | BOLT               | FR       | FRENCH              | PNL     | PANEL               | T.O.P.L. | TOP OF PLATE        |
| BNL.    | BEAM               | FRM'G    | FRAMING             | PTD.    | PAINTED             | T.O.W.   | TOP OF WALL         |
| BOT.    | BOTTOM             | F.S.     | FULL SIZE           | PLUMB.  | PLUMBING            |          |                     |
| BR.     | BEDROOM            | FT.      | FOOT OR FEET        |         |                     | UNF.     | UNFINISHED          |
| B.U.R.  | BUILT-UP ROOFING   | FTG.     | FOOTING             | P.O.C.  | POINT OF CONNECTION | UN.O.    | UNLESS NOTED        |
|         |                    | FURR.    | FURRING             |         |                     |          | OTHERWISE           |
|         |                    | FUT.     | FUTURE              | PR.     | PAIR                | U.O.N.   | UNLESS OTHERWISE    |
| CAB.    | CABINET            | FX       | FIXED               | PT.     | POINT               |          | NOTED               |
| C.B.    | CATCH BASIN        |          |                     | PREFAB. | PREFABRICATED       | UR.      | URNAL               |
| CEM.    | CEMENT             |          |                     |         |                     |          |                     |
| CER.    | CERAMIC            | GA.      | GAUGE               | P.T.D.  | PAPER TOWEL         | VCT      | VINYL COMPOSITION   |
| C.I.    | CAST IRON          | GALV.    | GALVANIZED          |         | DISPENSER           |          | TILE                |
| CIR.    | CIRCLE             | GAR      | GARAGE              | P.T.D/R | COMBINATION PAPER   | VERT.    | VERTICAL            |
| C.G.    | CORNER GUARD       | G.B.     | GROUND FAULT        |         | TOWEL DISPENSER &   | VEST.    | VESTIBULE           |
| CJ.     | CEILING JOIST      | GFI      | INTERUPTER          | PTN.    | RECEPTACLE          | VTR      | VENT THROUGH ROOF   |
| CLG.    | CEILING            | G.I.     | GALVANIZED IRON     | P.T.R.  | PARTITION           |          |                     |
| CLK'G.  | CAULKING           | GL.      | GLASS / GLAZING     |         | PAPER TOWEL         | W.       | WEST                |
| CLO.    | CLOSET             | GLB      | GLUE LAMINATED BEAM |         | RECEPTACLE          | W/       | WITH                |
| CLR.    | CLEAR / CLEARANCE  |          |                     | Q.T.    | QUARRY TILE         | W.C.     | WATER CLOSET        |
| CMU     | CONCRETE MASONRY   | GND.     | GROUND              |         |                     | WD.      | WOOD                |
|         | UNIT               | GR.      | GRADE               | R.      | RISER               | WDW.     | WINDOW              |
| C.O.    | CASED OPENING      | GSM      | GALVANIZED SHEET    | R.      | RADIUS              | W.H.     | WATER HEATER        |
| COL.    | COLUMN             |          | METAL               | RAD.    | RADIUS              | W.I.     | WROUGHT IRON        |
| CONC.   | CONCRETE           | GYP.     | GYP SUM             | R.A.G.  | RETURN AIR GRILLE   | W.I.C.   | WALK-IN-CLOSET      |
|         |                    | GYP. BD. | GYP SUM BOARD       | R.D.    | ROOF DRAIN          | W/O      | WITHOUT             |
| CONN.   | CONNECTION         | G.B.     | GYP SUM BOARD       | REF.    | REFERENCE           | WP       | WEATHERPROOF        |
|         |                    |          |                     | REFR.   | REFRIGERATOR        | WS       | WATER SOFTENER      |
| CONSTR. | CONSTRUCTION       |          |                     | REG.    | REGULAR             | WSCT.    | WAINSCOT            |
| CONT.   | CONTINUOUS         | H.B.     | HOSE BIBB           | REV     | REVERSE             | WT.      | WEIGHT              |
| C.O.F.  | CORNER OF FINISH   | HC       | HOLLOW CORE         | REIN    | REINFORCE           |          |                     |
| CORR.   | CORRIDOR           | HDR.     | HEADER              |         | REINFORCED          |          |                     |
| CPT     | CARPET             | HDWD.    | HARDWOOD            | RF'G    | REGISTER            |          |                     |
| CSMT    | CASEMENT           | HDWE.    | HARDWARE            | RGTR.   | REGISTER            |          |                     |
| CTSK.   | COUNTERSUNK        |          |                     | REQ.    | REQUIRED            |          |                     |
| CNTR.   | COUNTER            | HM       | HOLLOW METAL        | RESIL.  | RESILIENT           |          |                     |
| CTR.    | CENTER             | HORIZ.   | HORIZONTAL          | RJ      | RAFTER JOIST        |          |                     |
|         |                    | HR.      | HOUR                | RM.     | ROOM                |          |                     |
| DBL.    | DOUBLE             | HGT.     | HEIGHT              | R.O.    | ROUGH OPENING       |          |                     |
| DEPT.   | DEPARTMENT         | H.V.A.C. | HEATING VENTILATING | RWD.    | REDWOOD             |          |                     |
| D.F.    | DRINKING FOUNTAIN  | HORZ.    | AIR CONDITIONING    | R.W.L.  | RAIN WATER LEADER   |          |                     |
| DET.    | DETAIL             |          | HORIZONTAL          |         |                     |          |                     |
| DH      | DOUBLE HUNG        | I.D.     | INSIDE DIAMETER     | S.      | SOUTH               |          |                     |
| DIA.    | DIAMETER           | INSUL.   | INSULATION          | S.C.D.  | SOLID CORE          |          |                     |
| DIM.    | DIMENSION          | INT.     | INTERIOR            |         | SEAT COVER          |          |                     |
| DISP.   | DISPENSER          |          |                     | SCHED.  | DISPENSER           |          |                     |
| DIV.    | DIVERTER           | JAN.     | JANITOR             |         | SCHEDULE            |          |                     |
| DN.     | DOWN               | JOINT    | JOINT               | S.D.    | SOAP DISPENSER      |          |                     |
| D.O.    | DOOR OPENING       |          |                     | SECT.   | SECTION             |          |                     |
| DOOR    | DOOR               | KIT      | KITCHEN             | SERV.   | SERVICE             |          |                     |
| DS      | DOWNSPOUT          |          |                     | S.F.    | SQUARE FEET         |          |                     |
| D.S.P.  | DRY STANDPIPE      | LAB.     | LABORATORY          | SGD     | SLIDING GLASS DOOR  |          |                     |
| DW      | DISHWASHER         | LAM.     | LAMINATE            | SGL.    | SINGLE              |          |                     |
| DWG'S   | DRAWINGS           | LAV.     | LAVATORY            | SH      | SINGLE HUNG         |          |                     |
|         |                    | LKR.     | LOCKER              | SHR.    | SHOWER              |          |                     |
| DWR.    | DRAWER             | LT.      | LIGHT               | SHT.    | SHEET               |          |                     |
|         |                    |          |                     | SHT'G   | SHEATHING           |          |                     |
| E.      | EAST               |          |                     | SIM.    | SIMILAR             |          |                     |
| EA.     | EACH               |          |                     | SKYLT.  | SKYLIGHT            |          |                     |
| E.D.F.  | DRINK FOUNTAIN     | MAX.     | MAXIMUM             |         |                     |          |                     |
| E.J.    | EXPANSION JOINT    | M.B.     | MACHINE BOLT        | SL      | SLIDING             |          |                     |
| EL      | ELEVATION          | MBA      | MASTER BATHROOM     | SL      | SLOPE               |          |                     |
| ELEC.   | ELECTRICAL         | MBR      | MASTER BEDROOM      | S.N.D.  | SANITARY NAPKIN     |          |                     |
| ELEV.   | ELEVATOR           | MC       | MEDICINE CABINET    |         | DISPENSER           |          |                     |
| EMER.   | EMERGENCY          | MECH.    | MECHANICAL          |         | SANITARY NAPKIN     |          |                     |
| ENCL.   | ENCLOSED           | MED.     | MEDIUM              |         | SHUTOFF VALVE       |          |                     |
| E.P.    | ELECTRICAL         | MEMB.    | MEMBRANE            |         |                     |          |                     |
|         | PANELBOARD         | MET.     | METAL               |         |                     |          |                     |
| EQ.     | EQUAL              | MFG      | MANUFACTURING       |         |                     |          |                     |
| EQPT.   | EQUIPMENT          | MFR.     | MANUFACTURER        |         |                     |          |                     |

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF POMONA IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF THE RANCHO SAN JOSE, FINALLY CONFIRMED TO DALTON, PALOMARES AND VEJAR, IN THE CITY OF POMONA, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON MAP RECORDED IN BOOK 2 PAGES 292 AND 293 OF PATENTS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEASTERLY CORNER OF LOT 16 OF TRACT NO. 22650, AS PER MAP RECORDED IN BOOK 600 PAGES 25 TO 27 INCLUSIVE OF MAPS, RECORDS OF SAID COUNTY; THENCE NORTHERLY ALONG THE WESTERLY LINE OF GAREY AVENUE, 100 FEET WIDE AS GRANTED TO THE CITY OF POMONA, RECORDED ON SEPTEMBER 12, 1955 AS INSTRUMENT NO. 4089 IN BOOK 48913 PAGE 299, OFFICIAL RECORDS OF SAID COUNTY, A DISTANCE OF 422.00 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTHERLY ALONG SAID WESTERLY LINE OF GAREY AVENUE TO A POINT IN SAID WESTERLY LINE THAT IS DISTANT NORTHERLY THEREON 50 FEET FROM THE WESTERLY PROLONGATION OF THE CENTER LINE OF PHILADELPHIA STREET, AS SAID STREET IS SHOWN 70 FEET WIDE ON THE MAP OF THE WHIPP TRACT, AS RECORDED IN BOOK 83 PAGE 63 OF MISCELLANEOUS RECORDS OF SAID COUNTY; THENCE WESTERLY PARALLEL WITH THE WESTERLY PROLONGATION OF SAID CENTER LINE OF PHILADELPHIA STREET, A DISTANCE OF 550 FEET; THENCE SOUTHERLY PARALLEL WITH SAID WESTERLY LINE OF GAREY AVENUE, A DISTANCE OF 809.65 FEET, MORE OR LESS, TO A LINE WHICH BEARS NORTH 88° 20' 05" EAST, AND PASSES THROUGH THE TRUE POINT OF BEGINNING; THENCE NORTH 88° 20' 05" EAST TO THE TRUE POINT OF BEGINNING.

APN'S: 8344-033-901, 903, 904, 905 AND A PORTION OF 8344-033-902

EXISTING EASEMENTS:

THE FOLLOWING TITLE INFORMATION WAS DERIVED FROM AN AMENDED PRELIMINARY TITLE REPORT ISSUED BY FIDELITY NATIONAL TITLE COMPANY, ORDER NO.: 002-30024823-B-SG9 DATED JANUARY 22, 2019 AT 7:30 A.M., AMENDED: APRIL 12, 2019, AMENDMENT NO. B

- # DENOTES PLOTTED ITEM.
- 2 AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. (TO REMAIN)
- PURPOSE: PUBLIC STREET  
RECORDED: MARCH 12, 1957 IN BOOK 53888 PAGE 108, OF OFFICIAL RECORDS
- 3 AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. (TO REMAIN)
- PURPOSE: PUBLIC UTILITIES  
RECORDED: AUGUST 23, 1957 IN BOOK 55427 PAGE 251, OF OFFICIAL RECORDS
- 4 AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. (TO BE QUITCLAIMED)
- PURPOSE: PUBLIC UTILITIES  
RECORDED: JANUARY 2, 1959 IN BOOK D321 PAGE 264, OF OFFICIAL RECORDS
- 5 AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. (TO BE QUITCLAIMED)
- PURPOSE: PUBLIC UTILITIES  
RECORDED: JUNE 10, 1965 IN BOOK D2936 PAGE 13, OF OFFICIAL RECORDS
- 6 AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. (TO BE QUITCLAIMED)
- PURPOSE: PUBLIC UTILITIES  
RECORDED: DECEMBER 23, 1965 IN BOOK D3155PAGE 896, OF OFFICIAL RECORDS
- 8 AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. (TO BE QUITCLAIMED)
- PURPOSE: PUBLIC UTILITIES  
RECORDED: SEPTEMBER 11, 1968 AS INSTRUMENT NO. 4036 IN BOOK D4128 PAGE 870, OF OFFICIAL RECORDS
- 12 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS RESERVED IN A DOCUMENT. (TO BE QUITCLAIMED)
- PURPOSE: PUBLIC UTILITIES  
RECORDED: DECEMBER 15, 1986 AS INSTRUMENT NO. 86-1734636 OF OFFICIAL RECORDS
- 19 AN EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT. (TO BE QUITCLAIMED)
- PURPOSE: PUBLIC UTILITIES  
RECORDED: APRIL 24, 1986 AS INSTRUMENT NO. 86-505560 OF OFFICIAL RECORDS

NOTE:

CONSTRUCTION WATER: THE CONTRACTOR SHALL OBTAIN WATER UPON PROPER ARRANGEMENTS FOR METERING ITS USE FROM THE WATER RESOURCES DEPARTMENT PRIOR TO ANY WORK.

PROPOSED EASEMENTS:

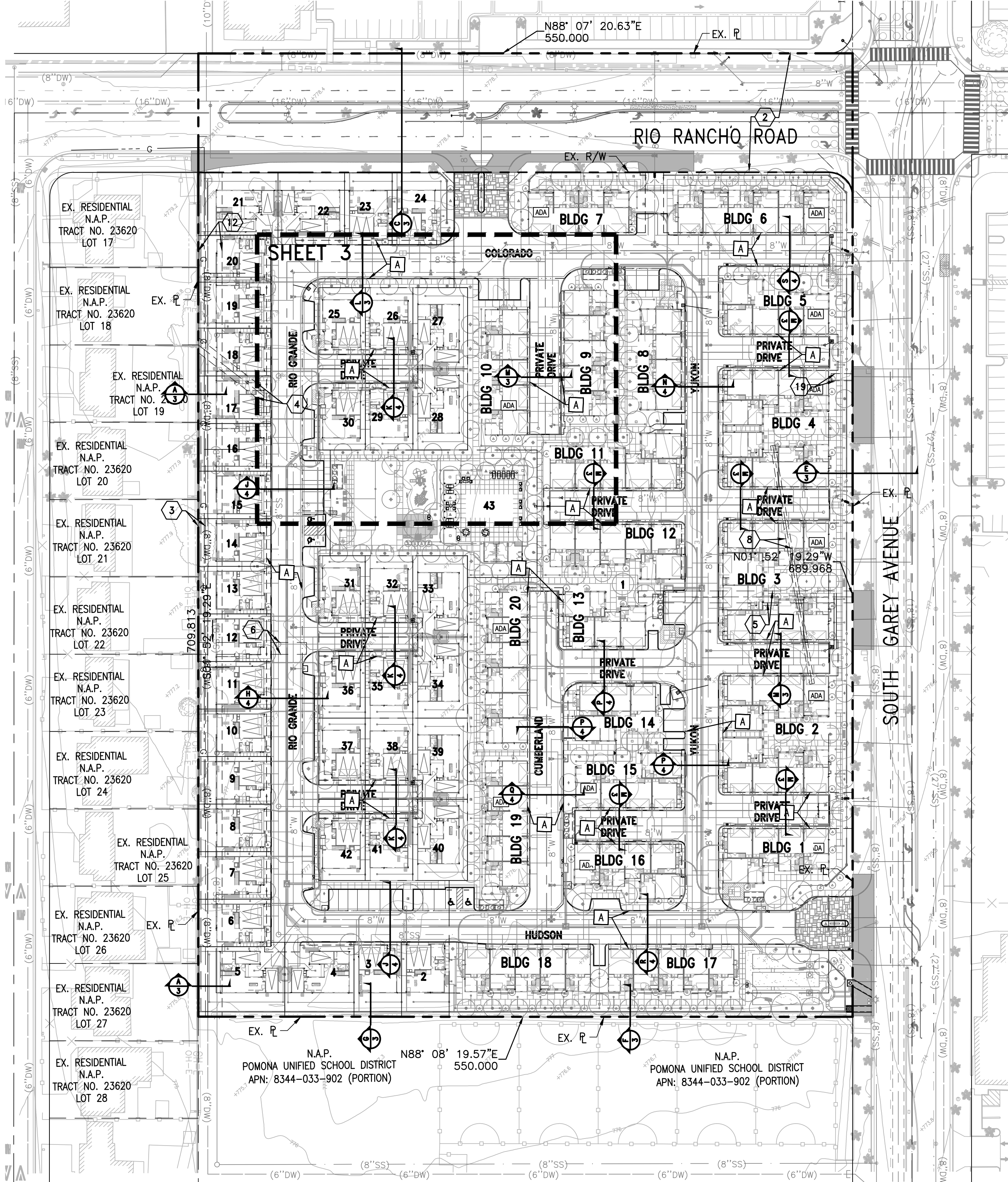
- A INDICATES AN EASEMENT FOR INGRESS AND EGRESS ACCESS, PUBLIC UTILITIES AND INCIDENTAL PURPOSES DEDICATED TO THE CITY OF POMONA PER THE FINAL MAP.

LEGEND:

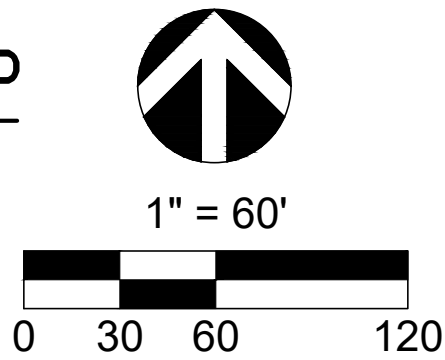
- CENTERLINE
- EX. TRACT BOUNDARY/  
RIGHT-OF-WAY LINE
- PROP. TRACT BOUNDARY/  
RIGHT-OF-WAY LINE
- LOT LINE
- EX. EASEMENT LINE
- PROP. EASEMENT LINE
- FLOW LINE

MODEL PRECISE GRADING PLAN

TRACT NO. 82889  
FOR CONDOMINIUM PURPOSES



INDEX MAP



FLOOD NOTE:

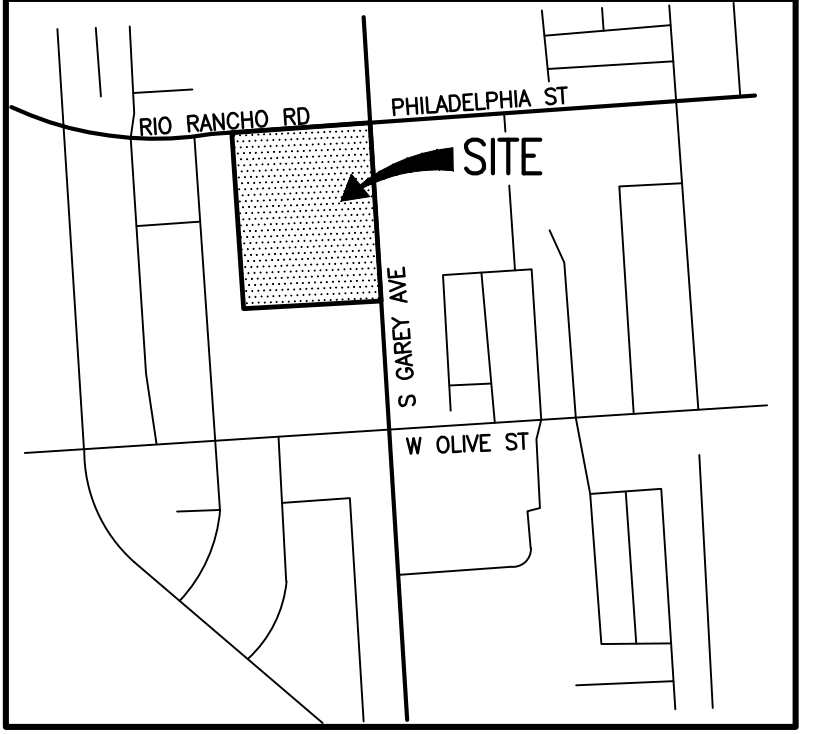
THE SUBJECT PROPERTY FALLS WITHIN "ZONE X - AREAS OF MINIMAL FLOOD HAZARD" PER FEMA MAP NO. 06037C1750P, A PRINTED PANEL, EFFECTIVE SEPTEMBER 26, 2008

TOPOGRAPHY NOTE:

TOPOGRAPHY AND CONTOURS SHOWN HEREON ARE BASED ON 1" CONTOUR INTERVALS FROM AERIAL PHOTOGRAMMETRY. THE RELATIVE POSITIONAL ACCURACY OF CALLED OUT IMPROVEMENTS SHOWN ON THE SURVEY IS WITHIN 0.1' +/- OF THEIR ACTUAL LOCATIONS.

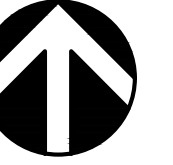
BASIS OF BEARING:

THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF SOUTH GAREY AVENUE BEING SOUTH 1°52'19" EAST, AS SHOWN AS BEING NORTH 1°34'10" WEST ON TRACT NO. 22680, M.B. 660/25-27.



VICINITY MAP

N.T.S.



SHEET INDEX

MODEL PRECISE GRADING TITLE SHEET  
MODEL PRECISE GRADING GENERAL NOTES AND DETAILS  
MODEL PRECISE GRADING PLAN

1  
2  
3

VESTED OWNER:

POMONA UNIFIED SCHOOL DISTRICT, A PUBLIC AGENCY OF THE STATE OF CALIFORNIA AND POMONA UNIFIED SCHOOL DISTRICT, A POLITICAL SUBDIVISION OF THE STATE OF CALIFORNIA, AS THEIR INTEREST APPEARS OF RECORD.

800 S GAREY AVE  
POMONA, CA 91766  
CONTACT: SANDRA GARCIA  
PHONE: (909) 397-4800

CIVIL ENGINEER:

C&V CONSULTING, INC.  
9830 IRVINE CENTER DRIVE  
IRVINE, CA 92618  
PHONE: (949) 916-3800  
CONTACT: DANE McDUGALL

LANDSCAPE ARCHITECT:

WEILAND DESIGN GROUP, INC.  
28924 OLD TOWN FRONT STREET, SUITE 202  
TEMECULA, CA 92590  
CONTACT: KIM LONGIRO  
PHONE: (619) 675-3426

DEVELOPER:

CENTURY COMMUNITIES  
4695 MACARTHUR COURT, SUITE 300  
NEWPORT BEACH, CA 92660  
PHONE: (949) 420-9531  
CONTACT: BRIAN TAYLOR

ARCHITECT:

SUMMA ARCHITECTURE  
5256 S. MISSION RD, SUITE 404  
BONSALE, CA 92003  
CONTACT: ERICK VAN WECHEL  
PHONE: (760) 724-1198

SOILS ENGINEER:

RMA GEOSCIENCE  
9854 GLENDALE BLVD.  
SUN VALLEY, CA 91351  
PHONE: (800)762-4396  
CONTACT: HAIYAN LIU

ABBREVIATIONS:

|      |                       |          |                     |
|------|-----------------------|----------|---------------------|
| BLDG | BUILDING              | L/S      | LANDSCAPE           |
| BS   | BOTTOM STEP           | MIN      | MINIMUM             |
| CF   | CURB FACE/ CUBIC FEET | N        | NORTH               |
| C    | CENTER LINE           | N.A.P.   | NOT A PART          |
| CMU  | CONCRETE MASONRY UNIT | NO.      | NUMBER              |
| DW   | DOMESTIC WATER        | NTS      | NOT TO SCALE        |
| E    | EAST                  | OH-E     | OVERHEAD POWERLINE  |
| EX.  | EXISTING              | P.O.C.   | POINT OF CONNECTION |
| FF   | FINISHED FLOOR        | PP       | POWER POLE          |
| FG   | FINISHED GRADE        | R        | PROPERTY LINE       |
| FH   | FIRE HYDRANT          | PROP./PR | PROPOSED            |
| FL   | FLOWLINE              | R        | RADIUS              |
| FS   | FINISHED SURFACE      | R/W      | RIGHT OF WAY        |
| FW   | FIRE WATER            | S        | SOUTH               |
| GB   | GRADE BREAK           | SD       | STORM DRAIN         |
| GF   | GARAGE FINISHED FLOOR | SS       | SANITARY SEWER      |
| HP   | HIGH POINT            | TC       | TOP OF CURB         |
| INV  | INVERT                | TYP.     | TYPICAL             |
| L    | LENGTH                | W        | WEST                |
| LP   | LOW POINT             | #" R     | RISE (IN INCHES)    |

UTILITY PURVEYORS:

TELEPHONE:  
VERIZON  
PHONE: (909) 469-6347

CABLE TV  
COMCAST  
PHONE: (323) 993-8130

GAS  
THE GAS COMPANY  
PHONE: (626) 815-4009

WATER:  
CITY OF POMONA PUBLIC WORKS DEPT.  
PHONE: (909) 620-2281

SEWER:  
CITY OF POMONA PUBLIC WORKS DEPT.  
PHONE: (909) 620-2281

ELECTRICITY:  
SOUTHERN CALIFORNIA EDISON  
PHONE: (417) 973-5616

WDID # 4 19C396601

GEOTECHNICAL STATEMENT:

THIS PLAN WAS REVIEWED BY RMA GEOSCIENCE AND IS IN CONFORMANCE WITH THE RECOMMENDATIONS AS OUTLINED IN THE REPORT TITLED "FOUNDATION UPDATE REPORT FOR GATEWAY 156, TRACT 82889 2115 S. GAREY AVENUE, POMONA, CA DATED AUGUST 23, 2022 BY RMA GEOSCIENCE. FROM A GEOTECHNICAL STANDPOINT, THE PROPOSED IMPROVEMENTS WOULD NOT ADVERSELY AFFECT ADJACENT PROPERTIES AND THE SITE IS SUITABLE FOR ITS INTENDED USE.

BY: HAIYAN LIU, PE  
CIVIL ENGINEER, C81463

DATE:

DEVELOPER:  
CENTURY COMMUNITIES  
4695 MACARTHUR COURT, SUITE 300  
NEWPORT BEACH, CA 92660  
PHONE: (949) 420-9531  
CONTACT: BRIAN TAYLOR

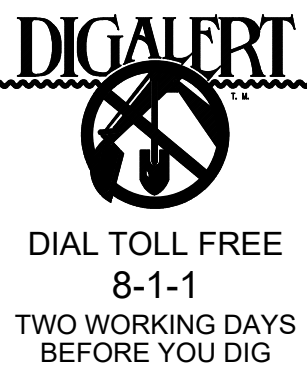
1 I HEREBY CERTIFY THAT:  
1. THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION;  
2. THE GRADING SHOWN HEREON WILL NOT DIVERT DRAINAGE FROM ITS NATURAL DOWNSLOPE COURSE OR OBSTRUCT THE DRAINAGE OF ADJACENT PROPERTIES;  
DANE P MCDUGALL 80705 11/1/22  
PROJECT ENGINEER RCE NO. DATE



C&V CONSULTING, INC.  
CIVIL ENGINEERING  
LAND PLANNING & SURVEYING  
9830 IRVINE CENTER DRIVE  
IRVINE, CALIFORNIA 92618  
(949) 916-3800  
INFO@CVC-INC.NET  
WWW.CVC-INC.NET

|                   |        |         |
|-------------------|--------|---------|
| REVISIONS         | DATE   | INITIAL |
| △ REVISED SHEET 3 | 1/5/23 | BW      |
| △                 |        |         |

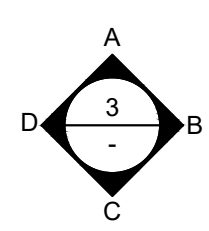
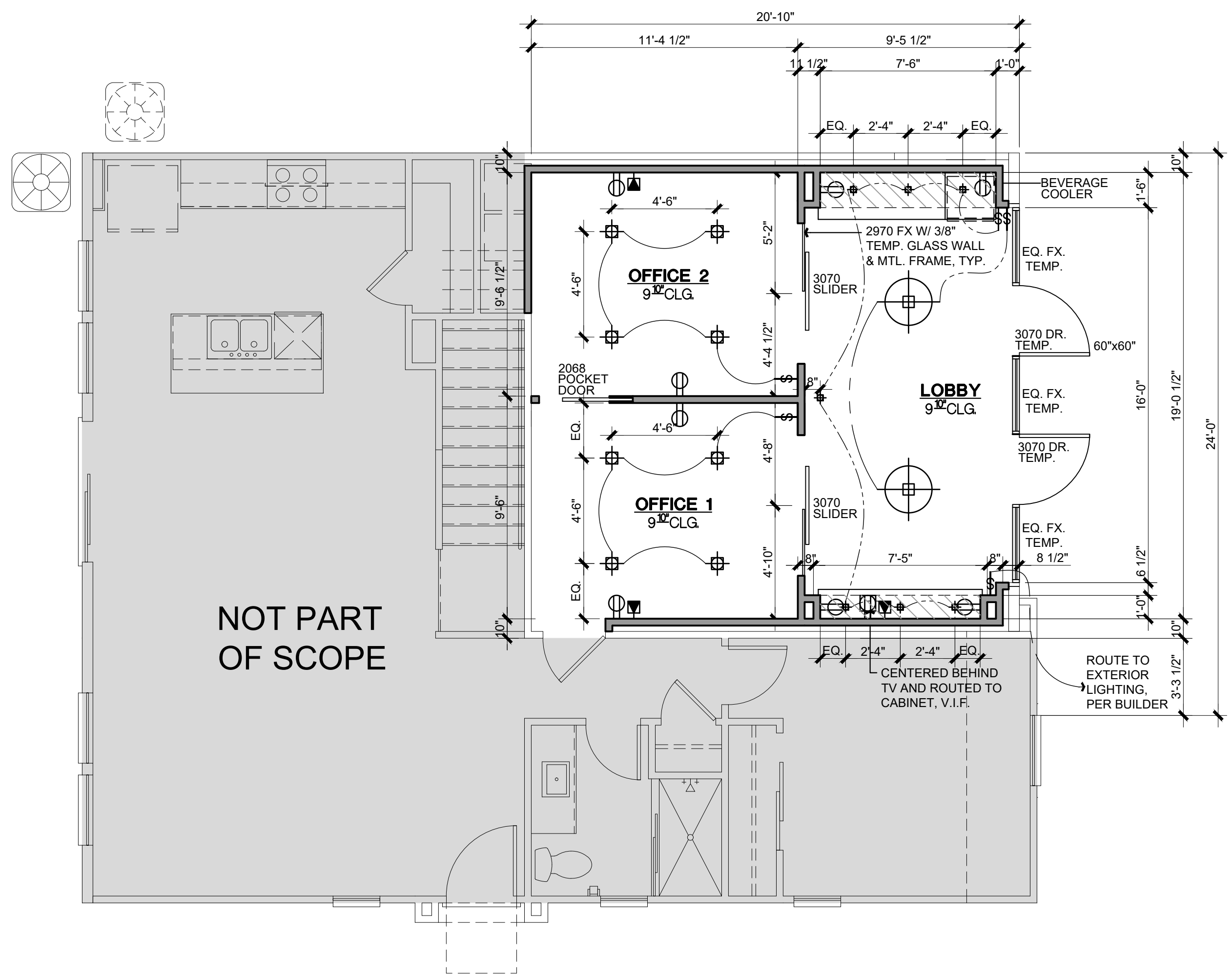
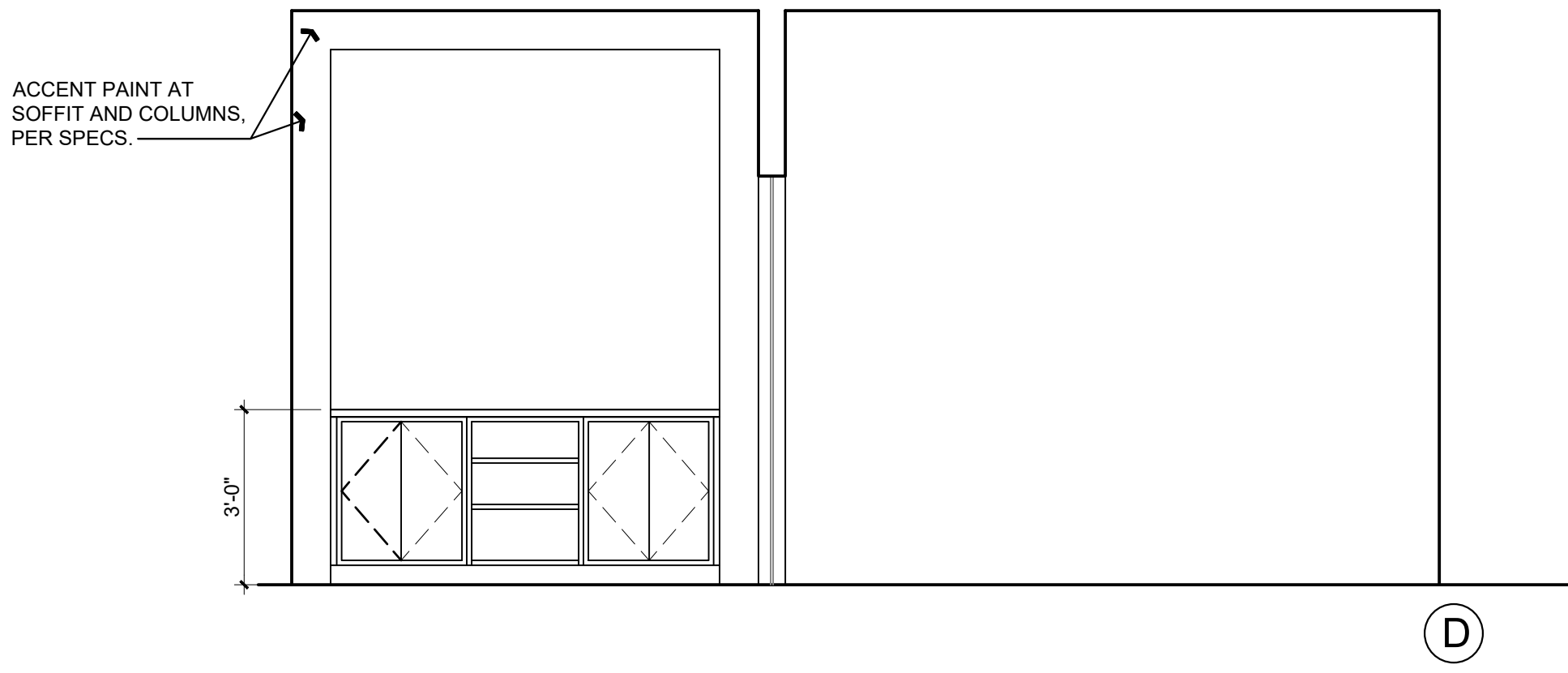
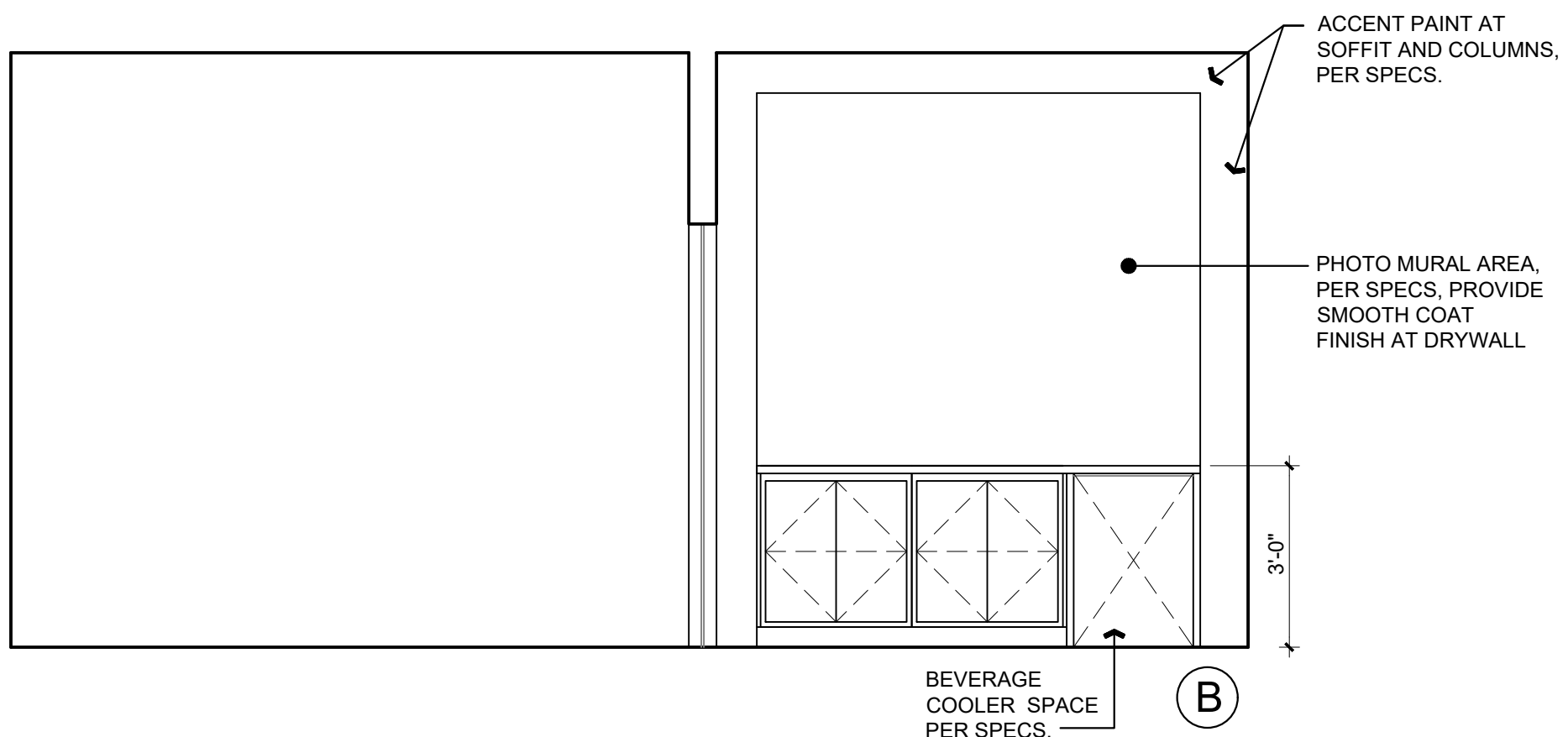
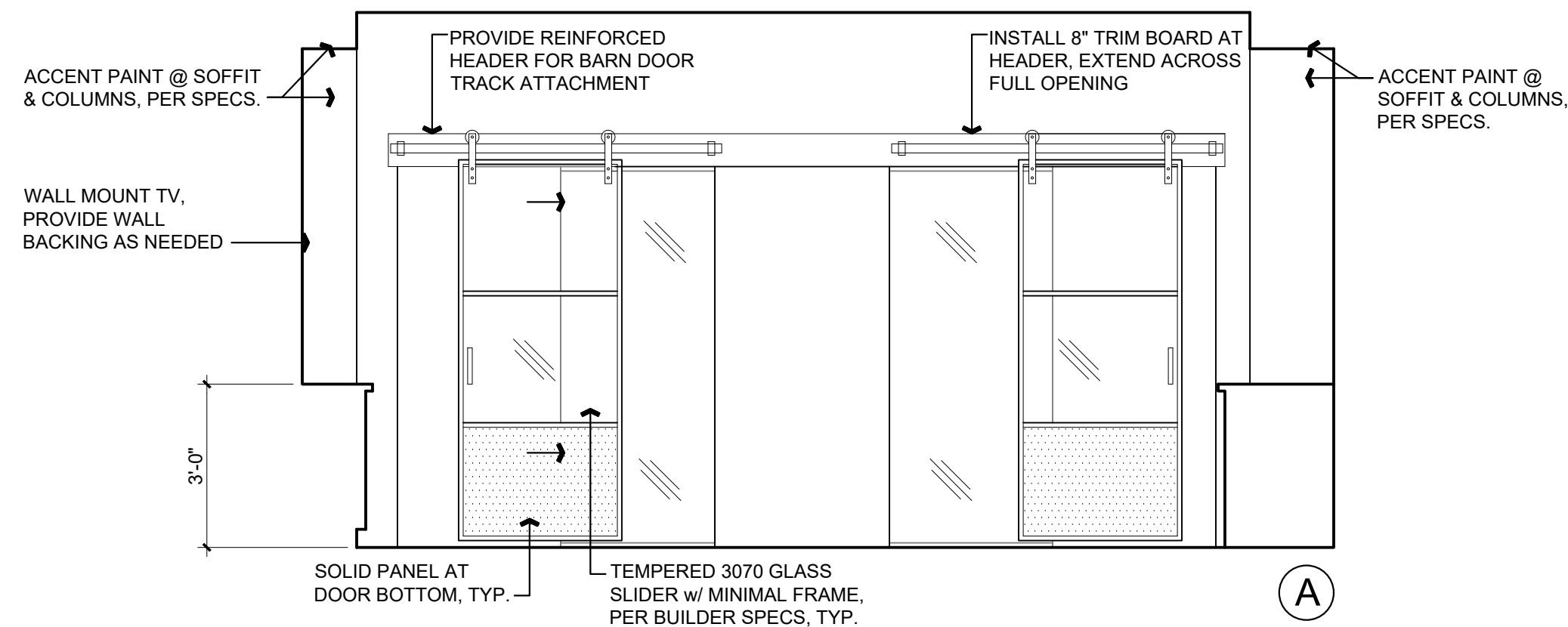
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| CONCURRED  |  |
| BY: _____  | DATE: _____  |
| CITY OF POMONA<br>PUBLIC WORKS DEPARTMENT/ENGINEERING DIVISION   |  |
| MODEL PRECISE GRADING PLAN                                       |  |
| TRACT NO. 82889<br>2115 SOUTH GAREY AVENUE<br>POMONA, CALIFORNIA |  |
| TITLE SHEET  |  |
| SCALE  | DESIGNED: _____<br>DRAWN: _____<br>CHECKED: _____<br>REVIEWED: _____ |
| PVT ENGR<br>PVT ENGR   | SHT. 1<br>OF<br>3<br>SHTS  |



BENCHMARK:  
LOS ANGELES COUNTY BENCHMARK  
NO. FG5101 ELEV = 777.865  
DESCRIBED AS: 7&LS TAG #5411 IN  
S CB 16.4FT W/O BOR @ SW COR  
RIO RANCHO RD & PARK AVE

BASIS OF BEARING:  
THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF SOUTH GAREY AVENUE BEING SOUTH 1°52'19" EAST, AS SHOWN AS BEING NORTH 1°34'10" WEST ON TRACT NO. 22680, M.B. 660/25-27.





FIRST FLOOR PLAN SCALE: 1/4"=1'-0" 1



**Architecture + Planning**  
17911 Von Karman Ave.  
Suite 200  
Irvine, CA 92614  
ktgy.com  
949.851.2133

**KTGY Project No:** 211039

Project Contact: Priscila Wong  
Email: pwong@ktgy.com

Principal: Chris Texter  
Project Designer: David Obitz



CENTURY COMMUNITIES  
4695 MACARTHUR COURT,  
SUITE 300  
NEWPORT BEACH, CA 92660

PHONE NO. (909) 667-0142

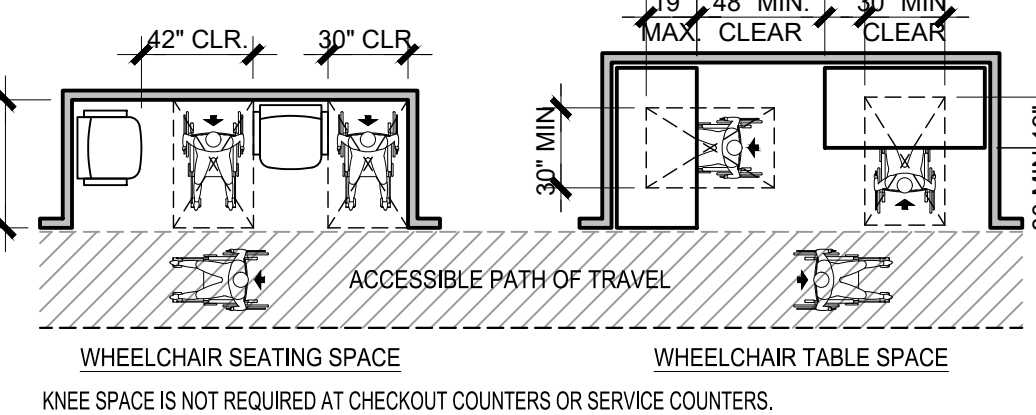

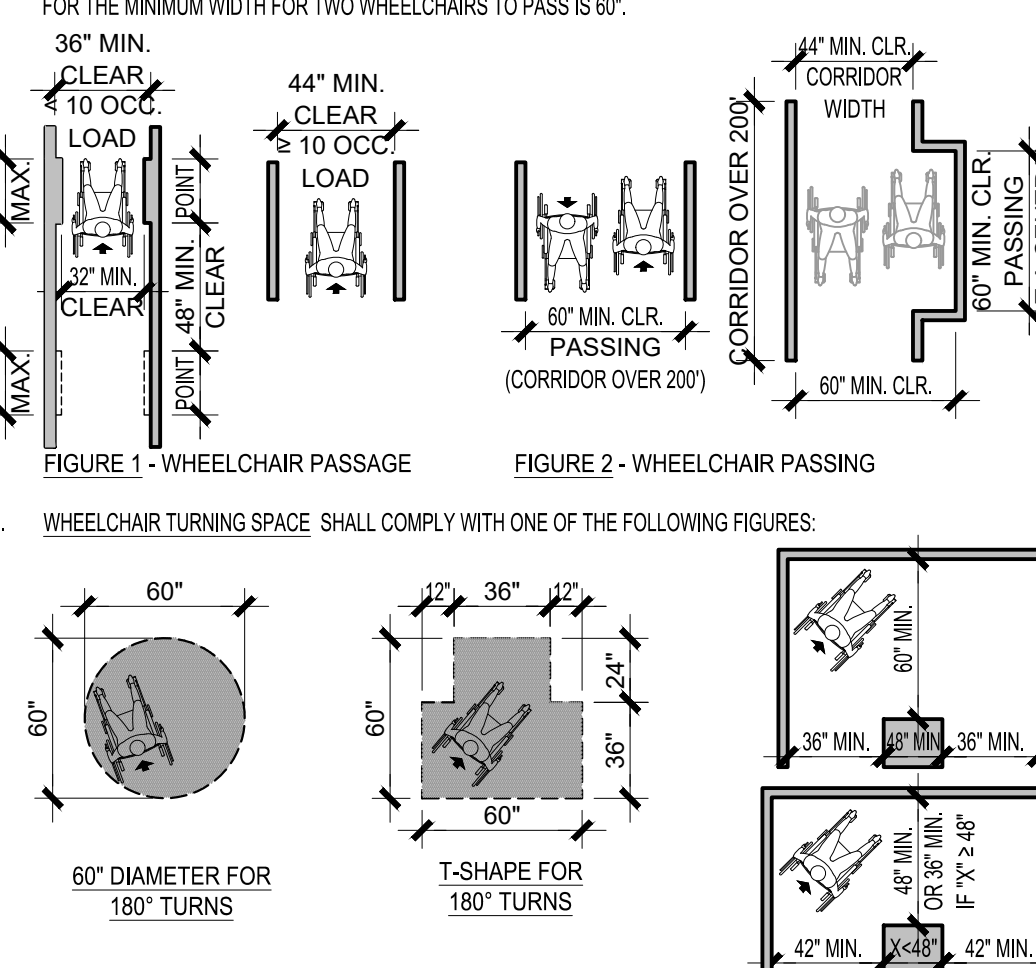
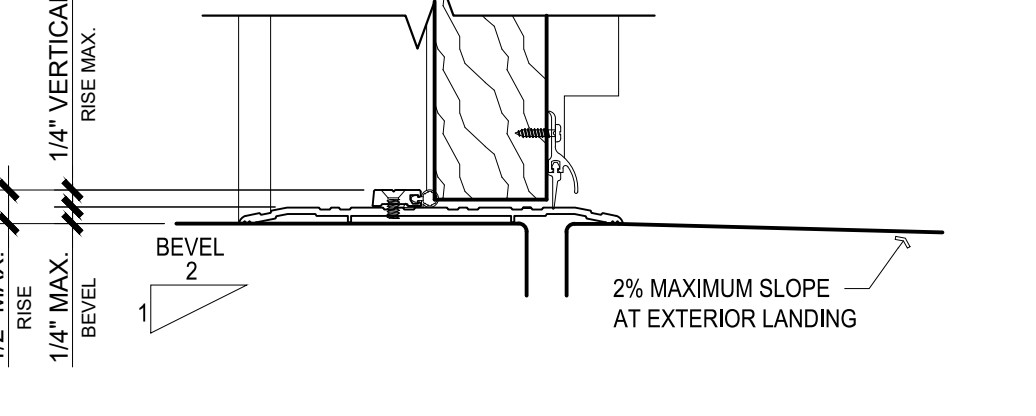
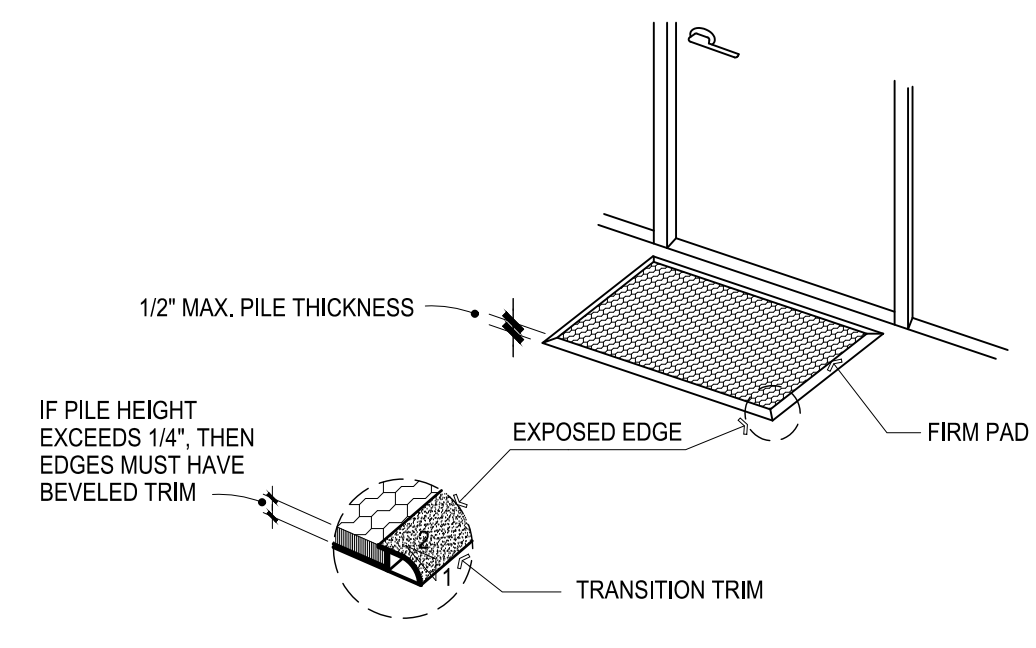
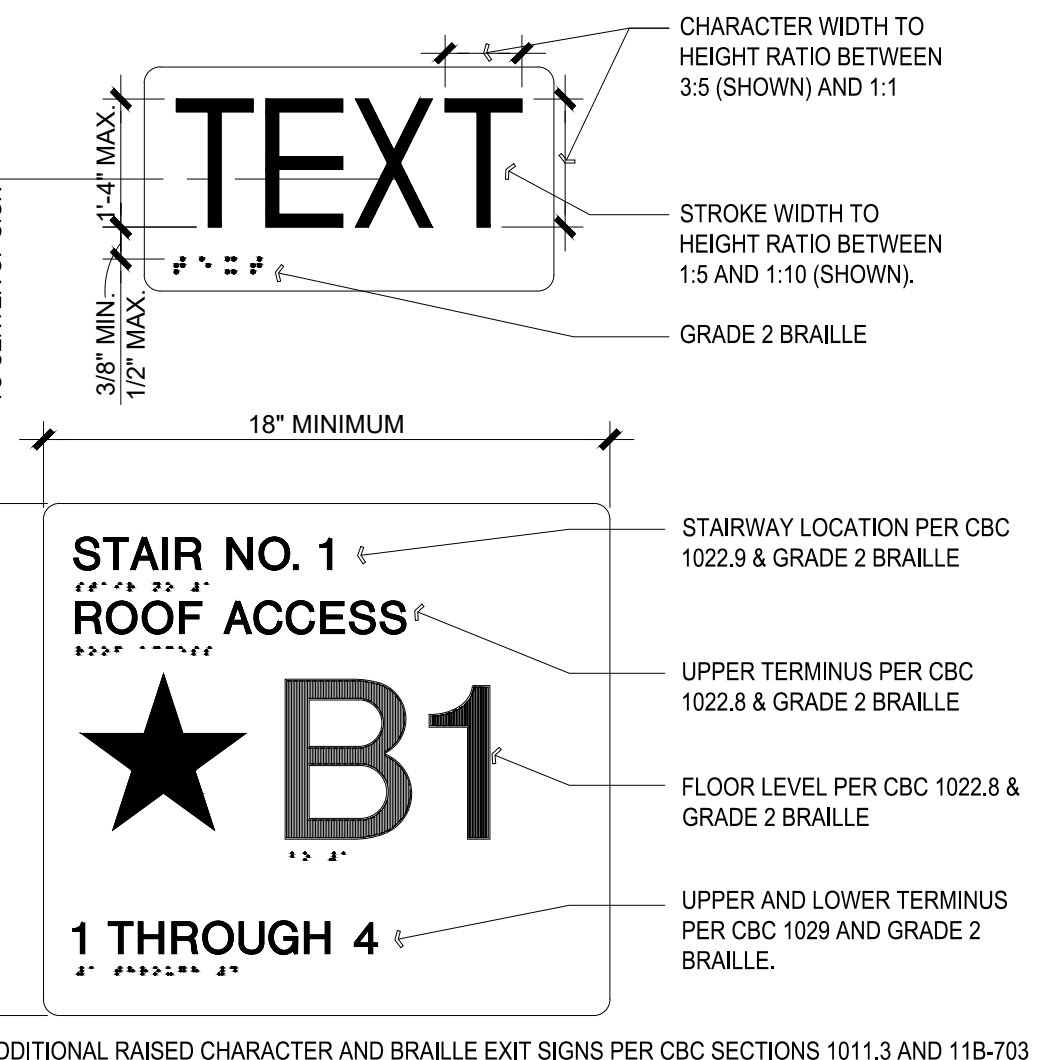
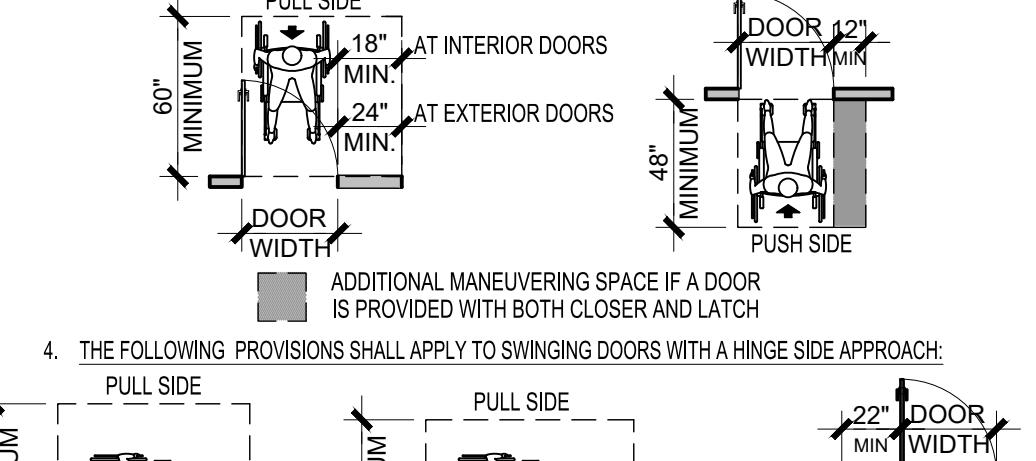
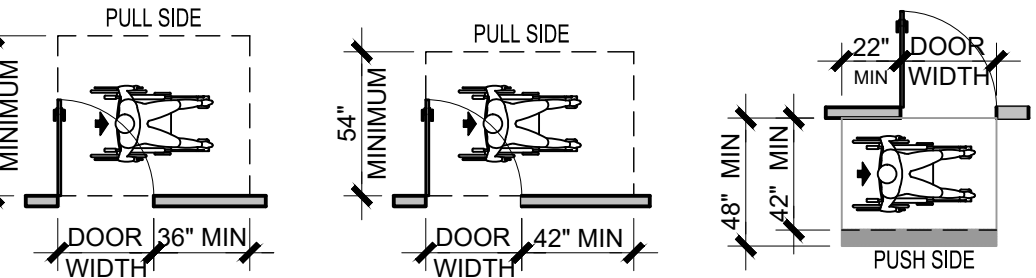
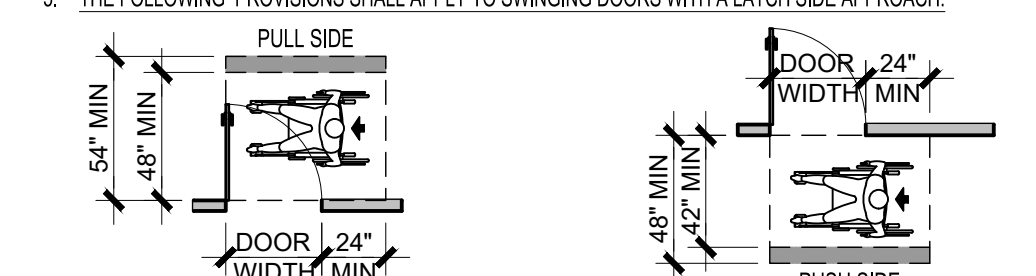
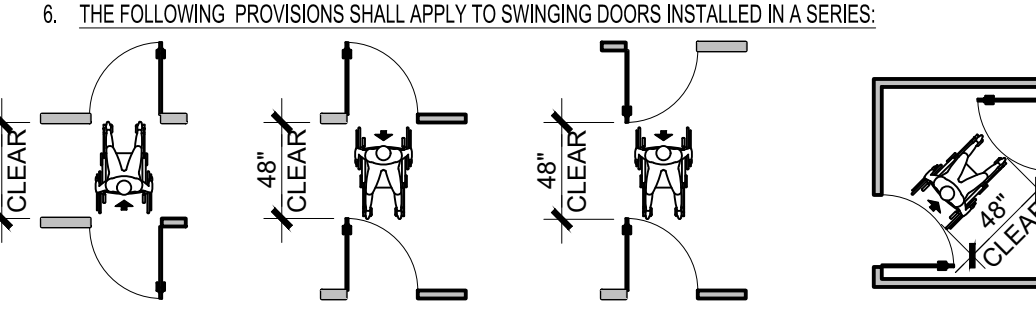
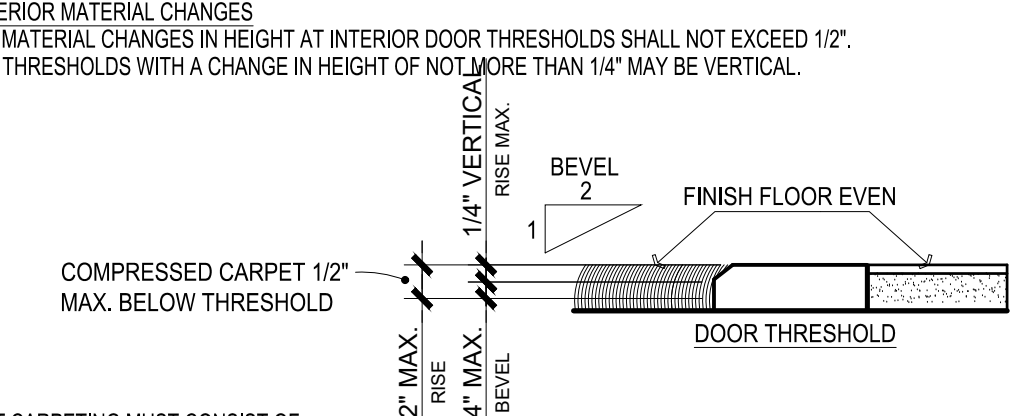
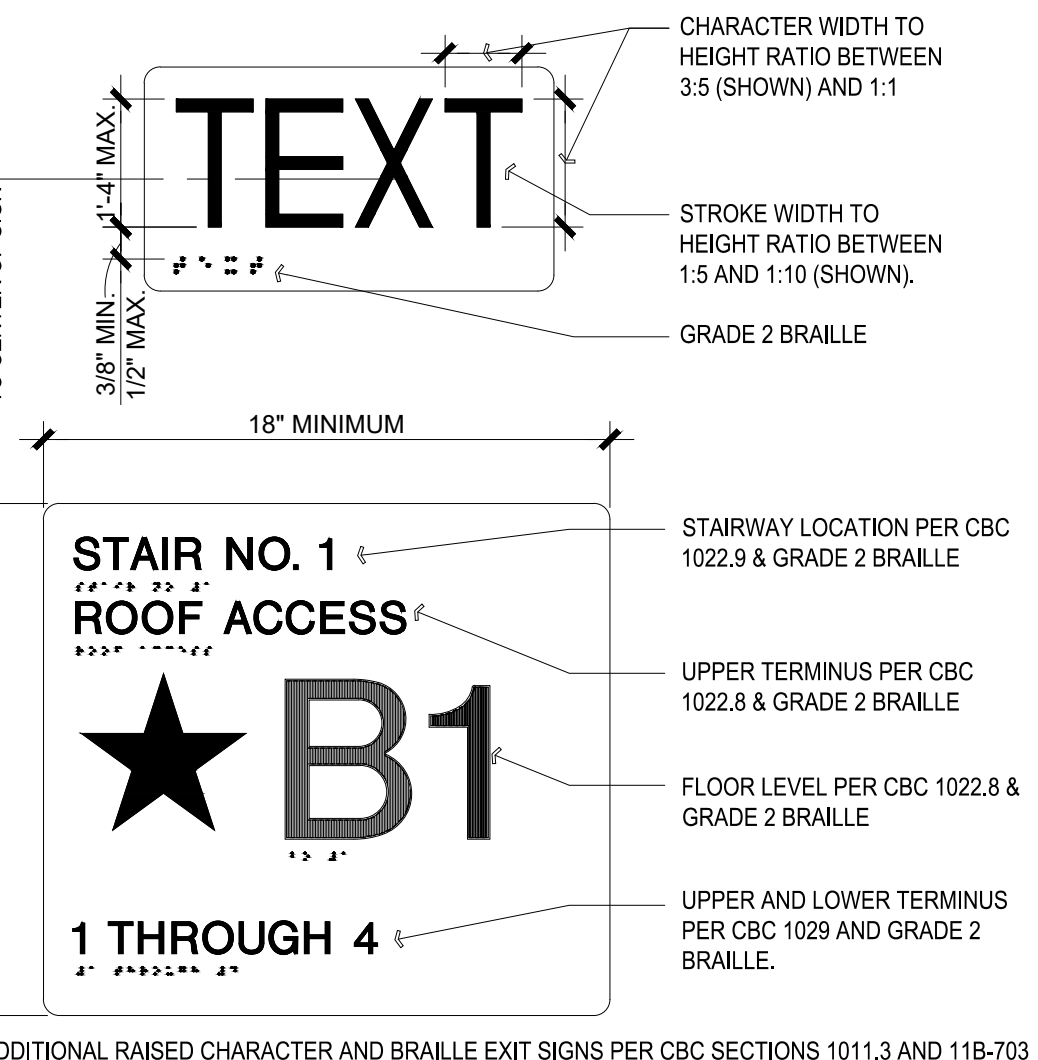
**GATEWAY 156**  
**SFD**  
**SALES OFFICE**  
POMONA, CA

| No. | Date     | Description  |
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|     | 12/12/22 | PROGRESS SET |
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FLOOR PLAN,  
EXTERIOR  
ELEVATIONS, AND  
INTERIOR ELEVATIONS

**A-SO-1**

12/12/2022 PROGRESS SET

|   |   |  |  |   |
|---|---|--|--|---|
| <p>CONTROLS AND OPERATING MECHANISMS SHALL COMPLY WITH CBC SECTIONS 1138A.4, 1142A AND 11B-309.</p> <p>A. GENERAL CONTROLS AND OPERATING MECHANISMS IN ACCESSIBLE SPACES, ALONG ACCESSIBLE ROUTES OR AS PART OF ACCESSIBLE ELEMENTS AND THOSE REQUIRED TO BE ACCESSIBLE BY CBC SECTION 1.9.1 SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:</p> <p>B. CLEAR FLOOR SPACE: A CLEAR FLOOR SPACE THAT ALLOWS A FORWARD OR PARALLEL APPROACH BY A PERSON USING A WHEELCHAIR SHALL BE PROVIDED AT CONTROLS AND OPERATING MECHANISMS.</p> <p>C. HEIGHT: CONTROLS AND OPERATING MECHANISMS SHALL BE LOCATED NO HIGHER THAN 48" AND NO LOWER THAN 15" ABOVE FINISHED FLOOR MEASURED TO THE CENTER OF THE GRIP. IF THE REACH IS OVER AN OBSTRUCTION (FOR EXAMPLE, WASTER OR DRYER), CONTROLS AND OPERATING MECHANISMS SHALL BE LOCATED WITHIN THE REACH RANGES SPECIFIED IN SECTION 1138A.3. SEE DETAIL 22 ON THIS SHEET. CONTROLS AND OPERATING MECHANISMS THAT DO NOT SATISFY THESE SPECIFICATIONS ARE ACCEPTABLE, PROVIDED THAT COMPARABLE MECHANISMS, CONTROLS OR OUTLETS, THAT PERFORM THE SAME FUNCTIONS, ARE PROVIDED WITHIN THE SAME AREA AND ARE ACCESSIBLE.</p> <p>D. OPERATION: CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS OF FORCE.</p> <p>E. INSTALLATION HEIGHTS OF ELECTRICAL SWITCHES AND RECEPTACLE OUTLETS:</p> <ol style="list-style-type: none"> <li>ELECTRICAL SWITCHES, CONTROLS AND SWITCHES INTENDED FOR USE BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES OR COOLING, HEATING AND VENTILATING EQUIPMENT SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE OUTLET BOX NOR LESS THAN 15" FROM THE BOTTOM OF THE OUTLET BOX TO THE FINISH FLOOR OF THE WORKING PLATFORM.</li> <li>ELECTRICAL RECEPTACLE OUTLETS: ELECTRICAL RECEPTACLE OUTLETS ON BRANCH CIRCUITS OF 30 AMPERES OR LESS AND COMMUNICATION SYSTEM RECEPTABLES SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE OUTLET BOX NOR LESS THAN 15" FROM THE BOTTOM OF THE OUTLET BOX TO THE FINISH FLOOR OR THE WORKING PLATFORM. EXCEPTIONS INCLUDE TO FOLLOWING CONDITIONS: <ul style="list-style-type: none"> <li>RECEPTACLE OUTLETS INSTALLED AS PART OF PERMANENTLY INSTALLED BASEBOARD HEATERS ARE EXEMPT.</li> <li>REQUIRED RECEPTACLE OUTLETS SHALL BE PERMITTED IN FLOORS WHEN ADJACENT TO SLIDING PANELS OR WALLS.</li> <li>BASEBOARD ELECTRICAL OUTLETS USED IN RELOCATABLE PARTITIONS, WINDOW WALLS OR OTHER ELECTRICAL CONVENIENCE FLOOR OUTLETS ARE NOT SUBJECT TO THE MINIMUM HEIGHT REQUIREMENTS.</li> <li>IN EXISTING BUILDINGS WHEN THE ENFORCING AGENCY DETERMINES THAT COMPLIANCE WITH THESE STANDARDS WOULD CREATE AN UNREASONABLE HARDSHIP.</li> </ul> </li> </ol> | <p>STORAGE SHALL COMPLY WITH CBC SECTIONS 1127A.11 AND 11B-811.</p> <p>IF FIXED STORAGE FACILITIES SUCH AS CABINETS AND SHELVES, CLOSETS AND DRAWERS ARE PROVIDED WHERE ACCESS IS REQUIRED (BY CBC SECTIONS 18.2.1.2 AND 1102A), AT LEAST ONE OF EACH TYPE OF FACILITY PROVIDED SHALL COMPLY WITH THE FOLLOWING ITEMS. ADDITIONAL STORAGE MAY BE PROVIDED OUTSIDE OF THE REACH RANGES.</p> <ol style="list-style-type: none"> <li>A CLEAR FLOOR SPACE AT LEAST 30" BY 48" COMPLYING WITH CBC SECTION 1138A.14 THAT ALLOWS EITHER A FORWARD OR PARALLEL APPROACH BY A PERSON USING A WHEELCHAIR SHALL BE PROVIDED AT ACCESSIBLE STORAGE FACILITIES.</li> <li>ACCESSIBLE STORAGE SPACES AND CLOTHES RODS SHALL BE WITHIN AT LEAST ONE OF THE REACH RANGES SPECIFIED IN SECTION 1138A.3.</li> <li>HARDWARE FOR ACCESSIBLE STORAGE FACILITIES SHALL COMPLY WITH CBC SECTION 1138A.4. TOUCH LATCHES AND U-SHAPED PULLS ARE ACCEPTABLE.</li> </ol> <p>FIXED OR BUILT-IN SEATING, TABLES AND COUNTERS SHALL COMPLY WITH CBC SECTIONS 1127A.12 AND 1122B. WHERE FIXED OR BUILT-IN SEATING, TABLES OR COUNTERS ARE PROVIDED IN ACCESSIBLE PUBLIC USE OR COMMON USE AREAS, 5 PERCENT, BUT NEVER LESS THAN ONE, SHALL BE ACCESSIBLE AS FOLLOWS:</p> <ol style="list-style-type: none"> <li>ACCESSIBLE ROUTE OF TRAVEL: A ROUTE OF TRAVEL SHALL LEAD TO AND THROUGH SUCH FIXED OR BUILT-IN SEATING AREAS OR TABLES.</li> <li>SEATING: IF SEATING SPACES FOR PERSONS IN WHEELCHAIRS ARE PROVIDED AT FIXED TABLES OR COUNTERS, CLEAR FLOOR SPACE SHALL BE PROVIDED PER DETAIL 22 ON THIS SHEET. SUCH CLEAR FLOOR SPACE SHALL NOT OVERLAP KNEE SPACE BY MORE THAN 19".</li> <li>KNEE CLEARANCE: WHEN SEATING SPACES FOR PERSONS IN WHEELCHAIRS ARE PROVIDED AT FIXED TABLES OR COUNTERS, KNEE SPACES AT LEAST 27" HIGH SHALL COMPLY WITH THE FOLLOWING FIGURES.</li> </ol>  <ol style="list-style-type: none"> <li>HEIGHT OF WORK SURFACES: THE TOPS OF TABLES AND COUNTERS SHALL BE 28" TO 34" FROM THE FLOOR TO THE GROUND.</li> </ol> | <p>SYMBOLS OF ACCESSIBILITY SHALL COMPLY WITH CBC SECTION 11B-703.7.</p> <ol style="list-style-type: none"> <li>11B-703.7.1 FINISH AND CONTRAST: SYMBOLS OF ACCESSIBILITY AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. SYMBOLS OF ACCESSIBILITY SHALL CONTRAST WITH THEIR BACKGROUND WITH EITHER A LIGHT SYMBOL ON A DARK BACKGROUND OR A DARK SYMBOL ON A LIGHT BACKGROUND.</li> <li>11B-703.2.1 INTERNATIONAL SYMBOL OF ACCESSIBILITY: THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL COMPLY WITH FIGURE 11B-703.2.1. THE SYMBOL SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE COLOR BLUE SHALL APPROXIMATE FS 1509 IN FEDERAL STANDARD 595C.</li> </ol>    | <p>ACCESSIBLE ROUTE(S) THROUGH WITHIN THE MULTIFAMILY DEVELOPMENT SHALL COMPLY WITH BUT NOT BE LIMITED TO CBC SECTIONS 1117A, 1119A, 1121A AND 11B-DIVISION 4.</p> <ol style="list-style-type: none"> <li>GENERAL: WHEN A BUILDING OR A PORTION OF A BUILDING IS REQUIRED TO BE ACCESSIBLE OR ADAPTABLE, AN ACCESSIBLE ROUTE SHALL BE PROVIDED TO ALL PORTIONS OF THE BUILDING, ACCESSIBLE BUILDING ENTRANCES, TO COVERED MULTIFAMILY DWELLING UNITS AND BETWEEN THE BUILDING AND THE PUBLIC WAY. ALL WALLS, HALLS, CORRIDORS, RAMPERS, SKYWALKS, TUNNELS AND OTHER SPACES THAT ARE PART OF THE ACCESSIBLE ROUTE SHALL COMPLY WITH THE APPLICABLE PROVISIONS OF THE APPLICABLE CODES. AT LEAST ONE ACCESSIBLE ROUTE WITHIN THE BOUNDARY OF THE SITE SHALL BE PROVIDED FROM THE PUBLIC TRANSPORTATION STOPS, ACCESSIBLE PASSANGER LOADING ZONES AND PUBLIC STREETS OR SIDEWALKS TO THE ACCESSIBLE BUILDING ENTRANCE THEY SERVE. THE ACCESSIBLE ROUTE SHALL, TO THE MAXIMUM EXTENT FEASIBLE, COINCIDE WITH THE ROUTE FOR THE GENERAL PUBLIC AND OTHER BUILDING RESIDENTS. ACCESSIBLE ROUTES SHALL NOT PASS THROUGH KITCHENS, STORAGE ROOMS, RESTROOMS, CLOSETS OR OTHER SPACES USED FOR SIMILAR PURPOSES EXCEPT WITHIN AN INDIVIDUAL DWELLING UNIT. ACCESSIBLE ROUTES SHALL BE PROVIDED AS FOLLOWS: <ol style="list-style-type: none"> <li>WHERE MORE THAN ONE ROUTE OF TRAVEL IS PROVIDED, ALL ROUTES SHALL BE ACCESSIBLE.</li> <li>AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDING OR FACILITY ENTRANCES WITH ALL ACCESSIBLE SPACES, ELEMENTS AND COVERED MULTIFAMILY DWELLING UNITS.</li> <li>AN ACCESSIBLE ROUTE SHALL CONNECT AT LEAST ONE ACCESSIBLE PRIMARY ENTRANCE OF EACH COVERED MULTIFAMILY DWELLING UNIT WITH INTERIOR AND EXTERIOR SPACES AND FACILITIES THAT SERVE THE UNIT.</li> </ol> </li> <li>WHERE ELEVATORS ARE PROVIDED FOR VERTICAL ACCESS ONLY ONE IS REQUIRED, HOWEVER ALL ELEVATORS PROVIDED SHALL BE ACCESSIBLE.</li> <li>FLOORING: SHALL COMPLY WITH THE REQUIREMENTS OF DETAIL 22, ITEM D OF THIS SHEET.</li> <li>RECESSED DOOR MATS: SHALL COMPLY WITH THE REQUIREMENTS OF DETAIL 6 OF THIS SHEET.</li> <li>PRIMARY ENTRANCES AND GROUND FLOOR EXITS: ALL ENTRANCES AND ALL EXTERIOR GROUND FLOOR EXITS SHALL BE ACCESSIBLE.</li> <li>SEPARATE DWELLING UNIT ENTRANCES: WHEN A GROUND-FLOOR DWELLING UNIT OF A BUILDING HAS A SEPARATE ENTRANCE, EACH SUCH GROUND-FLOOR DWELLING UNIT SHALL BE SERVED BY AN ACCESSIBLE ROUTE EXCEPT WHERE THE SITE TERRAIN PROHIBITS AN ACCESSIBLE ROUTE (SEE CBC SECTION 1150A).</li> <li>MULTIPLE ENTRANCES: ONLY ONE ENTRANCE TO COVERED MULTIFAMILY BUILDINGS IS REQUIRED TO BE ACCESSIBLE. IF ANY ONE GROUND-FLOOR BUILDING EXITS EXCEPT WHEN AN INDIVIDUAL DWELLING UNIT HAS A SEPARATE EXTERIOR ENTRANCE, WHERE THE BUILDING CONTAINS CLUSTERS OF DWELLING UNITS WITH EACH CLUSTER SHARING A DIFFERENT EXTERIOR ENTRANCE, MORE THAN ONE ENTRANCE MAY BE REQUIRED TO BE ACCESSIBLE AS DETERMINED BY ANALYSIS OF THE SITE TERRAIN. IN EVERY CASE, THE ACCESSIBLE ENTRANCE SHALL BE ON AN ACCESSIBLE ROUTE TO THE COVERED MULTIFAMILY DWELLING UNIT IT SERVES.</li> <li>INTERIOR WIDTHS AND LENGTHS: SHALL COMPLY WITH THE REQUIREMENTS OF DETAIL 22, ITEM A OF THIS SHEET. IF A PERSON IN A WHEELCHAIR MUST MAKE A TURN AROUND CORNER OR OBSTRUCTION THE ACCESSIBLE ROUTE SHALL COMPLY WITH DETAIL 22, ITEM B OF THIS SHEET.</li> <li>CHANGES IN LEVEL NOT EXCEEDING 1/2": ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2" WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1 UNIT VERTICAL IN 2 UNITS HORIZONTAL (50% SLOPE). CHANGES IN LEVEL NOT EXCEEDING 1/4" MAY BE VERTICAL.</li> <li>CHANGES IN LEVEL GREATER THAN 1/2": CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE MADE BY MEANS OF A SLOPED SURFACE WITH A SLOPE NOT GREATER THAN 1 UNIT VERTICAL IN 20 UNITS HORIZONTAL (5% SLOPE), OR A CURB RAMP PER CBC SECTION 1112A, A RAMP PER CBC SECTION 1114A EXTERIOR RAMPS OR 1122A INTERIOR RAMPS, ELEVATOR PER CBC SECTION 3003 OR PLATFORM WHEELCHAIR LIFT PER CBC SECTION 1124A. WHEN STAIRS ARE LOCATED ALONG OR ADJACENT TO AN ACCESSIBLE ROUTE THEY SHALL COMPLY WITH CBC SECTION 1115A EXTERIOR STAIRWAYS OR 1123A INTERIOR STAIRWAYS.</li> </ol> | <p>THIS SHEET IS FOR REFERENCE ONLY AND ILLUSTRATES CODE-REQUIRED MINIMUM STANDARDS FOR COMMON AND PUBLIC USE FACILITIES WITHIN A MULTIFAMILY DEVELOPMENT. SEE PERTINENT SHEETS, DRAWINGS, AND SPECIFICATIONS FOR APPLICATION OF THESE STANDARDS TO THIS SPECIFIC PROJECT.</p> <p>THE INFORMATION CONTAINED WITHIN THESE SHEETS ARE EXCERPTS FROM THE CALIFORNIA BUILDING CODE (CBC) AND APRIL 1998 FAIR HOUSING ACT (FHA) DESIGN MANUAL AND INTENDED TO PROVIDE THE CONTRACTOR THE GENERAL REQUIREMENTS OF ACCESSIBILITY FOR THIS PROJECT. THE GENERAL CONTRACTOR SHALL BE KNOWLEDGEABLE OF AND SHALL BUILD TO ALL APPLICABLE ACCESSIBILITY CODE REQUIREMENTS. IF FURTHER INFORMATION OR CLARIFICATION IS REQUIRED, CONSULT THE ARCHITECT OR REFERENCE THE CBC AND FHA DESIGN MANUAL PRIOR TO FABRICATION OR INSTALLATION OF THE WORK.</p> <p>COMMON USE FACILITIES SHALL COMPLY WITH CBC CHAPTER 11A AND ANSI A117.1 AS REFERENCED BY THE FAIR HOUSING ACT (FHA) DESIGN MANUAL. IF COMMON USE FACILITIES ARE MADE AVAILABLE TO THE PUBLIC, IF ONLY PERIODICALLY, THEY MUST COMPLY WITH CBC CHAPTER 11B IN ADDITION TO THE REQUIREMENTS LISTED ABOVE DURING PERIODS OF PUBLIC USE.</p> <p>WHEN PROVIDED, COMMON USE AREAS AND FACILITIES IN COVERED MULTIFAMILY DEVELOPMENTS SHALL BE ACCESSIBLE TO PERSONS WITH DISABILITIES. COMMON USE FACILITIES INCLUDE, BUT ARE NOT LIMITED TO: LOBBIES, TOILET AND BATHING FACILITIES, LAUNDRY FACILITIES, COMMUNITY ROOMS, CLUBHOUSES, HEALTH AND FITNESS FACILITIES, GAME ROOMS AND PORTIONS OF COMMON USE TENANT STORAGE. ALL ENTRANCES, DOORS, FIXTURES AND CONTROLS SHALL BE ON AN ACCESSIBLE ROUTE.</p> <p>PUBLIC USE FACILITIES AND AREAS SHALL COMPLY WITH CBC CHAPTER 11B, CBC CHAPTER 11A AND THE FHA DESIGN MANUAL REQUIREMENTS SHALL NOT BE USED WITHIN PUBLIC USE FACILITIES. WHEN PROVIDED, PUBLIC USE FACILITIES AND AREAS FACILITIES IN COVERED MULTIFAMILY DEVELOPMENTS SHALL BE ACCESSIBLE TO PERSONS WITH DISABILITIES.</p> <p>WHEN PROVIDED, PUBLIC USE FACILITIES IN COVERED MULTIFAMILY DEVELOPMENTS SHALL BE ACCESSIBLE TO PERSONS WITH DISABILITIES. PUBLIC USE FACILITIES INCLUDE, BUT ARE NOT LIMITED TO: RENTAL OFFICES, SALES OFFICES AND MAINTENANCE FACILITIES. THESE AREAS, BY THEIR NATURE, ARE OPEN TO PEOPLE OTHER THAN RESIDENTS AND THEIR GUESTS. THEY, THEREFORE, MUST COMPLY.</p>   |
| <p>CONTROLS &amp; OPERATION</p>   | <p>13</p> <p>STORAGE &amp; BUILT-INS</p> <p>10</p>   | <p>SYMBOL OF ACCESSIBILITY</p> <p>7</p> <p>LANDINGS AND THRESHOLDS SHALL COMPLY WITH CBC SECTIONS 1010.1.6, 1010.1.7, 1126A.2 AND 11B-302, 11B-303</p>  <p>DOOR LANDINGS</p> <ol style="list-style-type: none"> <li>THE FLOOR OR LANDING ON EACH SIDE OF AN EXIT DOOR SHALL BE LEVEL.</li> </ol> <p>DOOR THRESHOLDS</p> <ol style="list-style-type: none"> <li>THRESHOLDS AND CHANGES IN ELEVATION AT DOORS SHALL NOT BE MORE THAN 1/2" LOWER THAN THE TOP OF THE THRESHOLD OF THE DOORWAY.</li> <li>THRESHOLDS WITH A CHANGE IN HEIGHT OF NOT MORE THAN 1/4" MAY BE VERTICAL.</li> <li>CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1 VERTICAL UNIT TO 2 UNITS HORIZONTAL. CHANGES GREATER THAN 1/2" SHALL BE ACCOMPLISHED BY MEANS OF A RAMP.</li> </ol> <p>DOOR MATS</p> <ol style="list-style-type: none"> <li>IF A DOORMAT IS USED IN A COMMON-USE AREA OR PUBLIC-USE AREA, IT SHALL HAVE A FIRM BACKING OR NO BACKING. THE MAXIMUM PILE HEIGHT SHALL BE 1/2".</li> <li>EXPOSED EDGES OF THE DOORMAT SHALL BE FASTENED TO THE FLOOR SURFACE AND HAVE TRIM ALONG THE ENTIRE LENGTH OF EXPOSED EDGES THAT SHALL COMPLY WITH THE REQUIREMENTS FOR CHANGES IN LEVEL: <ol style="list-style-type: none"> <li>CHANGES IN LEVEL SHALL NOT EXCEED 1/2".</li> <li>WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1 UNIT VERTICAL IN 2 UNITS HORIZONTAL (50% SLOPE).</li> <li>CHANGES IN LEVEL NOT EXCEEDING 1/4" MAY BE VERTICAL.</li> <li>CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE MADE BY MEANS OF A SLOPED SURFACE WITH A SLOPE NOT GREATER THAN 1 UNIT VERTICAL IN 20 UNITS HORIZONTAL (5% SLOPE).</li> </ol> </li> <li>RECESSED DOOR MATS SHALL BE LEVEL WITH THE ADJACENT SURFACE AND BE ADEQUATELY ANCHORED TO PREVENT INTERFERENCE WITH WHEELCHAIR TRAFFIC.</li> </ol>  | <p>ACCESSIBLE ROUTE</p> <p>4</p> <p>SIGNS, WHEN SIGNS AND OR IDENTIFICATION DEVICES ARE PROVIDED THEY SHALL COMPLY WITH CBC SECTION 1143A &amp; 11B-703.</p> <ol style="list-style-type: none"> <li>WHEN SIGNS IDENTIFY PERMANENT ROOMS AND SPACES OF A BUILDING, THEY SHALL COMPLY WITH NOTES E, F, H, I AND J BELOW.</li> <li>WHEN SIGNS DIRECT OR GIVE INFORMATION ABOUT PERMANENT ROOMS AND SPACES OF A BUILDING, THEY SHALL COMPLY WITH NOTES E, F AND G BELOW.</li> <li>WHEN SIGNS IDENTIFY, DIRECT OR GIVE INFORMATION ABOUT ACCESSIBLE ELEMENTS AND FEATURES OF A BUILDING, THEY SHALL INCLUDE THE APPROPRIATE SYMBOL OF ACCESSIBILITY AND COMPLY WITH NOTES E AND J BELOW.</li> <li>IDENTIFICATION SIGNS SHALL COMPLY WITH ALL REQUIREMENTS. DIRECTION AND INFORMATION SIGNS SHALL COMPLY WITH FINISH, PROPORTIONS, AND CHARACTER HEIGHT. ACCESSIBILITY SIGNS SHALL COMPLY WITH FINISH AND CONTRAST.</li> <li>FINISH AND CONTRAST: CHARACTERS, SYMBOLS, AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND.</li> <li>PROPORTION: CHARACTERS ON SIGNS SHALL BE SELECTED FROM FONTS WHERE THE WIDTH OF THE UPPERCASE LETTER "O" IS 60% MINIMUM AND 110 PERCENT MAXIMUM OF THE HEIGHT OF THE UPPERCASE LETTER "I".</li> <li>CHARACTER HEIGHT: CHARACTERS AND NUMBERS ON SIGNS SHALL SIZED ACCORDING TO THE VIEWING DISTANCE FROM WHICH THEY ARE TO BE READ. THE MINIMUM HEIGHT IS MEASURED USING AN UPPERCASE "X". LOWERCASE CHARACTERS ARE PERMITTED. FOR SIGNS SUSPENDED OR PROJECTED ABOVE THE FINISH FLOOR GREATER THAN 80", THE MINIMUM CHARACTER HEIGHT SHALL BE 3".</li> <li>RAISED CHARACTERS AND PICTORIAL SYMBOL SIGNS: WHEN RAISED CHARACTERS ARE REQUIRED, PICTORIAL SYMBOLS ARE USED ON SUCH SIGNS, THEY SHALL CONFORM TO THE FOLLOWING REQUIREMENTS: <ol style="list-style-type: none"> <li>CHARACTERS ON SIGNS SHALL BE RAISED 1/8" MINIMUM AND SHALL BE SANS-SERIF UPPERCASE CHARACTERS ACCOMPANIED BY GRADE 2 BRAILLE COMPLYING WITH "F" BELOW.</li> <li>RAISED CHARACTERS SHALL BE A MINIMUM 1/8" AND A MAXIMUM OF 2" HIGH.</li> <li>PICTORIAL SYMBOL SIGNS SHALL BE ACCOMPANIED BY THE VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE OUTSIDE DIMENSION OF THE PICTOGRAM FIELD SHALL BE A MINIMUM OF 6" IN HEIGHT.</li> <li>CHARACTERS AND BRAILLE SHALL BE IN A HORIZONTAL FORMAT. BRAILLE SHALL BE PLACED A MINIMUM 1/8" AND A MAXIMUM 1/2" DIRECTLY BELOW THE TACTILE CHARACTERS. FLUSH LEFT OR CENTERED. WHEN TACTILE TEXT IS MULTILINE, ALL BRAILLE SHALL BE PLACED TOGETHER BELOW ALL LINES OF TACTILE TEXT.</li> </ol> </li> <li>LOCATION: WHEN A TACTILE SIGN IS PROVIDED AT A DOOR, THE SIGN SHALL BE LOCATED ALONGSIDE THE DOOR AT THE LATCH SIDE. WHEN A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH ONE ACTIVE LEAF, THE SIGN SHALL BE LOCATED ON THE INACTIVE LEAF. WHEN THE SIGN IS LOCATED WITH TWO ACTIVE LEAFS, THE SIGN SHALL BE LOCATED TO THE RIGHT OF THE RIGHT HAND DOOR, WHEN THERE IS NO WALL SPACE AT THE LATCH SIDE OF A SINGLE DOOR OR AT THE RIGHT SIDE OF DOUBLE DOORS. SIGNS SHALL BE LOCATED ON THE NEAREST ADJACENT WALL. SIGNS CONTAINING TACTILE CHARACTERS SHALL BE LOCATED SO THAT A CLEAR FLOOR SPACE OF 18" MINIMUM BY 18" MINIMUM, CENTERED ON THE TACTILE CHARACTERS IS PROVIDED BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION AND 45 DEGREE OPEN POSITION.</li> <li>HEIGHT: SIGNS WITH RAISED CHARACTERS SHALL BE LOCATED 48" MINIMUM ABOVE THE FINISH FLOOR, MEASURED FROM THE BASELINE OF THE LOWEST BRAILLE CELLS AND 60" MAXIMUM ABOVE THE FINISH FLOOR, MEASURED FROM THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS.</li> <li>BRAILLE: CONTRACTED GRADE 2 BRAILLE SHALL BE USED WHENEVER BRAILLE IS REQUIRED. BRAILLE DOTS SHALL HAVE A DOMED OR ROUNDED SHAPE AND SHALL COMPLY WITH CBC SECTION 1143A.7 AND CBC SECTION 11B-703.3.</li> </ol>   | <p>GENERAL NOTES</p> <p>1</p> <p>DOORS THAT PROVIDE ACCESS TO COMMON USE AREAS SHALL COMPLY WITH SECTION 1126A AND 11B-404. THIS SHEET FOR LANDINGS AND THRESHOLDS. THE COMMON USE OR PUBLIC SIDE OF PRIMARY ACCESS DOORS TO DWELLING UNITS SHALL COMPLY WITH NOTES F AND G BELOW.</p> <ol style="list-style-type: none"> <li>DOORWAYS SHALL PERMIT THE INSTALLATION OF A DOOR NOT LESS THAN 36" IN WIDTH, NOT LESS THAN 80" IN HEIGHT AND PROVIDE A CLEAR OPENING OF NOT LESS THAN 32" IN WIDTH, MEASURED WITH THE DOOR OR DOORS POSITIONED AT AN ANGLE OF 90 DEGREES FROM THE CLOSED POSITION.</li> <li>DOORS SHALL BE CAPABLE OF OPENING AT LEAST 90 DEGREES.</li> <li>A PAIR OF DOORS, MANUAL OR AUTOMATIC, MUST HAVE AT LEAST ONE LEAF THAT PROVIDES A CLEAR WIDTH OF NOT LESS THAN 32" MEASURED WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION. AT DOUBLE EGRESS DOORS EACH LEAF MUST PROVIDE THE CLEAR WIDTH.</li> <li>THE WIDTH OF ANY COMPONENT OF THE EGRESS SYSTEM SHALL NOT BE LESS THAN THE MINIMUM WIDTH REQUIRED BY SECTION 1008.</li> <li>PER CBC SECTION 1008.1.5, THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF THE DOOR. SUCH FLOOR OR LANDING SHALL BE THE SAME ELEVATION ON EACH SIDE OF THE DOOR. LANDINGS SHALL BE LEVEL EXCEPT FOR EXTERIOR LANDINGS, WHICH ARE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 1/4" VERTICAL TO 12" HORIZONTAL (2 PERCENT SLOPE). SEE DETAIL 6 FOR ADDITIONAL INFORMATION.</li> <li>MANEUVERING CLEARANCES AT DOORS: <ol style="list-style-type: none"> <li>THE LEVEL FLOOR OR LANDING OF AN EXIT DOOR SHALL HAVE A LENGTH IN THE DIRECTION OF THE DOOR SWING OF AT LEAST 60" AND A LENGTH OPPOSITE OF THE DOOR SWING OF AT LEAST 44" MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION. SEE FIGURES BELOW.</li> <li>THE WIDTH OF LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS SHALL EXTEND AT LEAST 18" PAST THE STRIKE EDGE OF THE DOOR FOR INTERIOR DOORS AND AT LEAST 24" PAST THE STRIKE EDGE OF THE DOOR FOR EXTERIOR DOORS.</li> <li>THE FOLLOWING PROVISIONS SHALL APPLY TO SWINGING DOORS WITH A FRONT APPROACH:</li> </ol> </li> </ol>  <ol style="list-style-type: none"> <li>THE FOLLOWING PROVISIONS SHALL APPLY TO SWINGING DOORS WITH A HINGE SIDE APPROACH:</li> </ol>  <ol style="list-style-type: none"> <li>THE FOLLOWING PROVISIONS SHALL APPLY TO SWINGING DOORS WITH A LATCH SIDE APPROACH:</li> </ol>  <ol style="list-style-type: none"> <li>THE FOLLOWING PROVISIONS SHALL APPLY TO SWINGING DOORS INSTALLED IN A SERIES:</li> </ol>  <ol style="list-style-type: none"> <li>MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8 1/2 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS. SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THESE STANDARDS. WHEN FIRE DOORS ARE REQUIRED THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MINIMUM ALLOWABLE BY THE APPROPRIATE ENDORSEMENT AGENCY, NOT TO EXCEED 30 POUNDS.</li> <li>IF THE DOOR HAS A CLOSURE, THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3 INCHES FROM THE LATCH. MEASURED TO THE LANDING EDGE OF THE DOOR.</li> <li>THE TYPE OF LATCH AND LOCK FOR ALL DOORS SHALL BE IN ACCORDANCE WITH CBC SECTION 1008.</li> <li>HAND-ACTIVATED DOOR LATCHING, LOCKING AND OPENING HARDWARE SHALL BE CENTERED BETWEEN 30" AND 44" ABOVE THE FLOOR. LATCHING AND LOCKING DEVICES OR AUTOMATIC DOOR OPERATORS SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE HARDWARE.</li> <li>DOOR EXIT DOORS SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE HARDWARE.</li> <li>PREVENT CATCHING OF CLOTHING OF PERSONS DURING EGRESS.</li> <li>AT LEAST ONE OF ALL DOORS AND/OR GATES SHALL HAVE A SMOOTH, UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE NARROW FRAME DOORS ARE USED A 10" HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR.</li> <li>EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT (CBC 1101.0.9).</li> </ol> |
| <p>NOT USED</p>   | <p>14</p> <p>NOT USED</p>   | <p>LANDINGS &amp; THRESHOLDS</p> <p>9</p> <p>INTERIOR MATERIAL CHANGES</p> <ol style="list-style-type: none"> <li>MATERIAL CHANGES IN HEIGHT AT INTERIOR DOOR THRESHOLDS SHALL NOT EXCEED 1/2".</li> <li>THRESHOLDS WITH A CHANGE IN HEIGHT OF NOT MORE THAN 1/4" MAY BE VERTICAL.</li> </ol>  <p>MAT CARPETING MUST CONSIST OF:</p> <ol style="list-style-type: none"> <li>LEVEL LOOP</li> <li>TEXTURED LOOP</li> <li>LEVEL CUT PILE</li> <li>LEVEL CUT/UN CUT PILE</li> </ol>   | <p>SIGNAGE</p> <p>6</p> <p>STAIR NO. 1 ROOF ACCESS</p>    | <p>DOORS</p> <p>3</p> <p>COMMON &amp; PUBLIC AREA ACCESSIBILITY NOTES</p>   |
| <p>NOT USED</p>   | <p>15</p> <p>SPACE &amp; REACH REQUIREMENTS</p> <p>12</p>   | <p>LANDINGS &amp; THRESHOLDS</p> <p>9</p>  | <p>SIGNAGE</p> <p>6</p>  | <p>DOORS</p> <p>3</p>   |



**Architecture + Planning**  
17911 Von Karman Ave.  
Suite 200  
Irvine, CA 92614  
ktgy.com  
949.851.2133

**KTGY Project No:** 211039

**Project Contact:** Priscila Wong  
**Email:** pwong@ktgy.com

**Principal:** Chris Texter  
**Project Designer:** David Obitz



CENTURY COMMUNITIES  
4695 MACARTHUR COURT,  
SUITE 300  
NEWPORT BEACH, CA 92660

**PHONE NO.** (909) 667-0142

**GATEWAY 156**  
**SFD**  
**SALES OFFICE**  
POMONA, CA

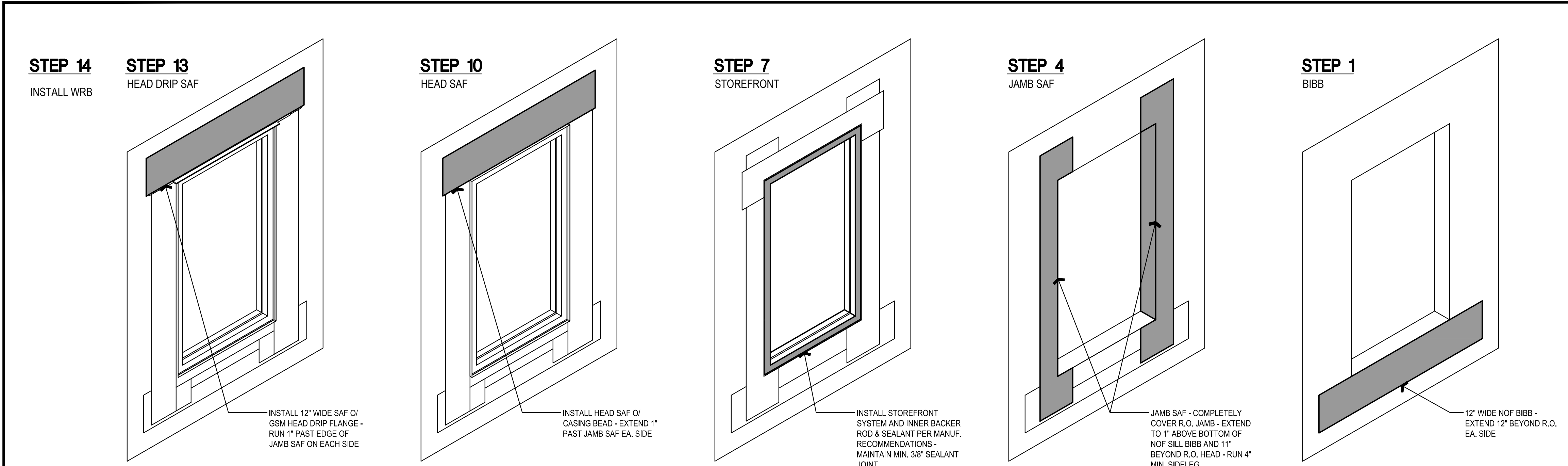
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**COMMON & PUBLIC AREA ACCESSIBILITY NOTES**

**A-SO-2**

12/12/2022 PROGRESS SET



LEGEND AND NOTES (APPLIES TO ENTIRE SHEET)

WRB --- WEATHER RESISTIVE BARRIER  
MINIMUM 2-LAYERS FORTIFIBER 60 MINUTE SUPER JUMBO TEX

SAF --- SELF ADHERED FLASHING  
FORTIFIBER FORTIFLASH BUTYL 30 MIL AT SILL,  
20 MIL AT HEAD AND JAMBS U.N.O.

NOF --- NAIL ON FLASHING  
FORTIFIBER MOISTOP NEXT

BACKER ROD & SEALANT  
ØK

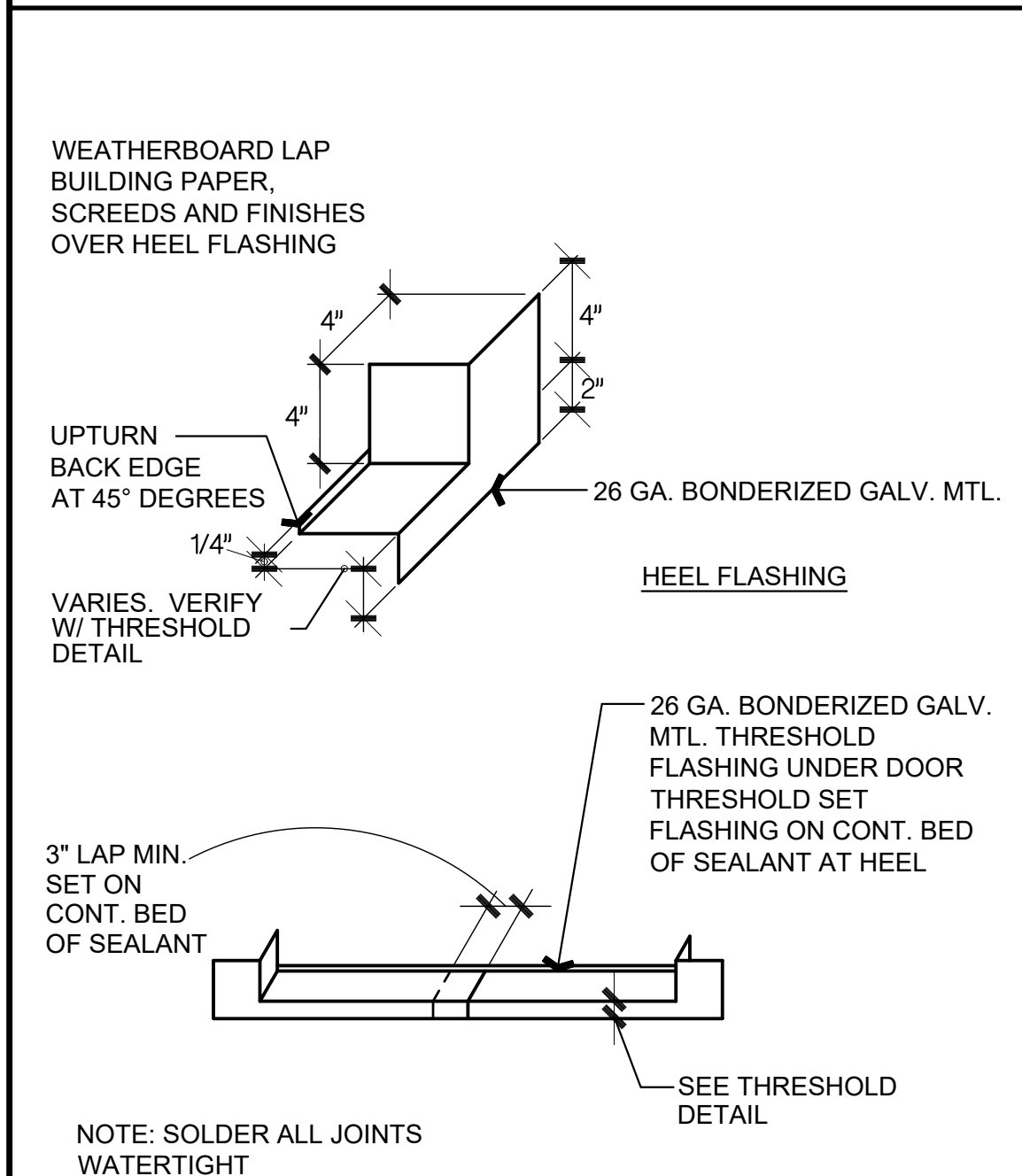
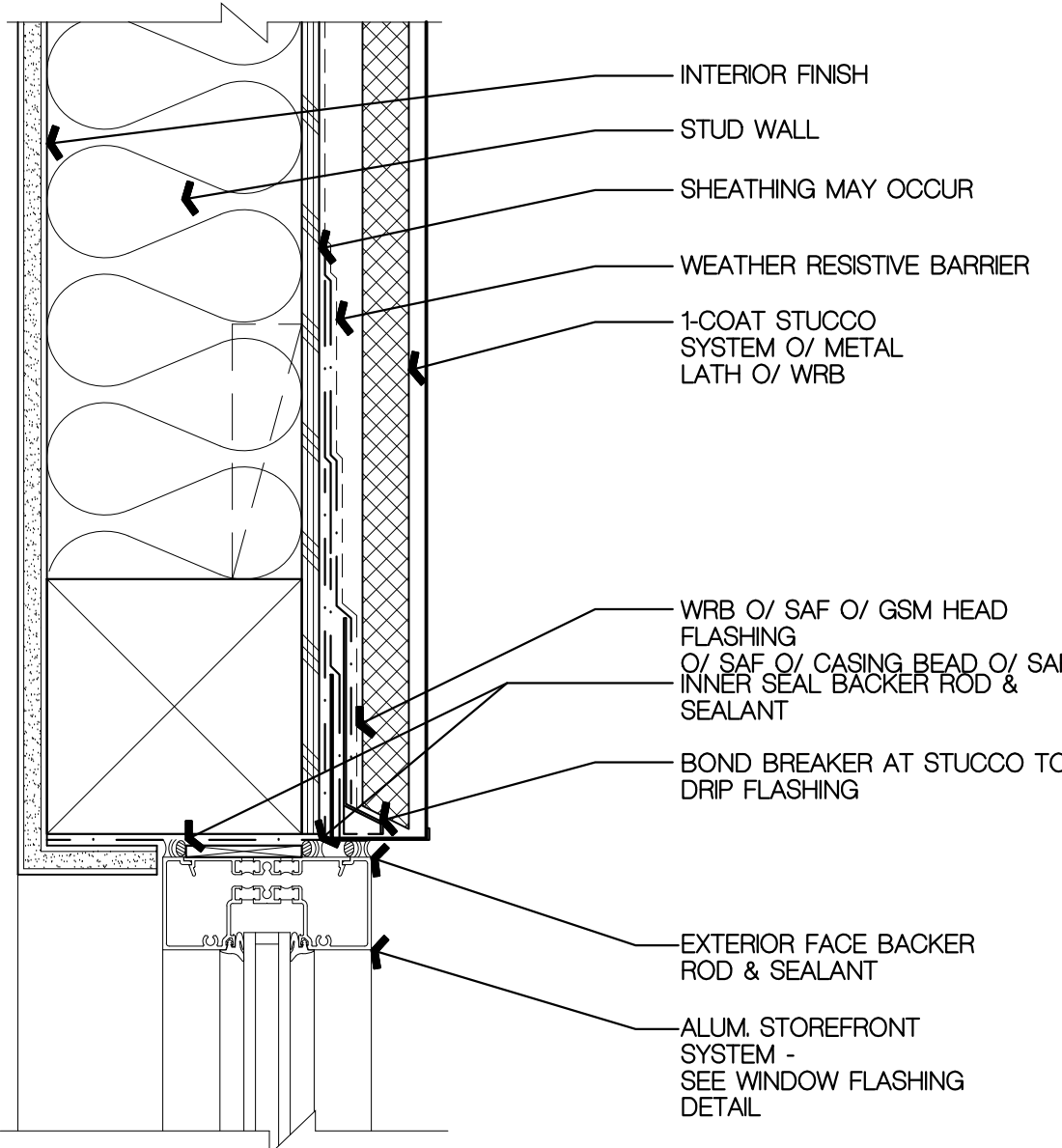
AT INNER SEAL - MOISTOP SEALANT:  
AT EXTERIOR FACE - GE SILPRUF 2000 OR DOW CORNING 795  
WITH COMPATIBLE OPEN CELL BACKER ROD - 3/8" MIN.  
SEALANT JOINT WIDTH

GENERAL NOTES

1. VERIFY WINDOW INSTALLATION WITH WINDOW MANUFACTURER'S WRITTEN INSTRUCTIONS. PROVIDE FIELD MOCKUP OF WINDOW INSTALLATION FOR APPROVAL BY OWNER.
2. UNLESS SUPERSEDED BY WINDOW MANUFACTURER, THE ROUGH OPENING SHOULD BE 1/2" GREATER IN WIDTH AND HEIGHT THAN THE NET FRAME SIZE OF THE WINDOW.
3. VERIFY ROUGH OPENING IS SQUARE, PLUMB, AND LEVEL. WINDOW SILL TO BE SET UPON LEVEL FRAMING SILL WITH CONTINUOUS SUPPORT.
4. SUBSTRATES SHALL BE CLEAN, DRY, PRIMED AS REQUIRED, AND UNIFORM/SMOOTH PRIOR TO FLASHING APPLICATION.
5. WANE LUMBER WILL NOT BE USED @ ROUGH OPENINGS LOCATIONS.
6. FIELD VERIFY ALL DIMENSIONS PRIOR TO CUTTING AND INSTALLING FLASHING COMPONENTS. VERIFY MANUFACTURER REQUIREMENTS.
7. PROVIDE MINIMUM 12" SOLID WOOD BACKING OR SHEATHING AT ALL SIDES OF OPENING TO SECURE FLASHING.
8. ADHERE SELF ADHERED FLASHING TO CLEAN DUST FREE BACKING TYPICAL.
9. USE CHEMICALLY COMPATIBLE PRIMERS, WRB, AND SEALANT AS REQUIRED BY MANUFACTURER.
10. GSM TO BE MIN. 26 GA G90 GALVANIZED U.N.O.
11. PROVIDE GSM SILL PAN AT STOREFRONT TO FLOOR CONDITION - SEE DOOR SILL PAN DETAILS FOR SIM. INFORMATION

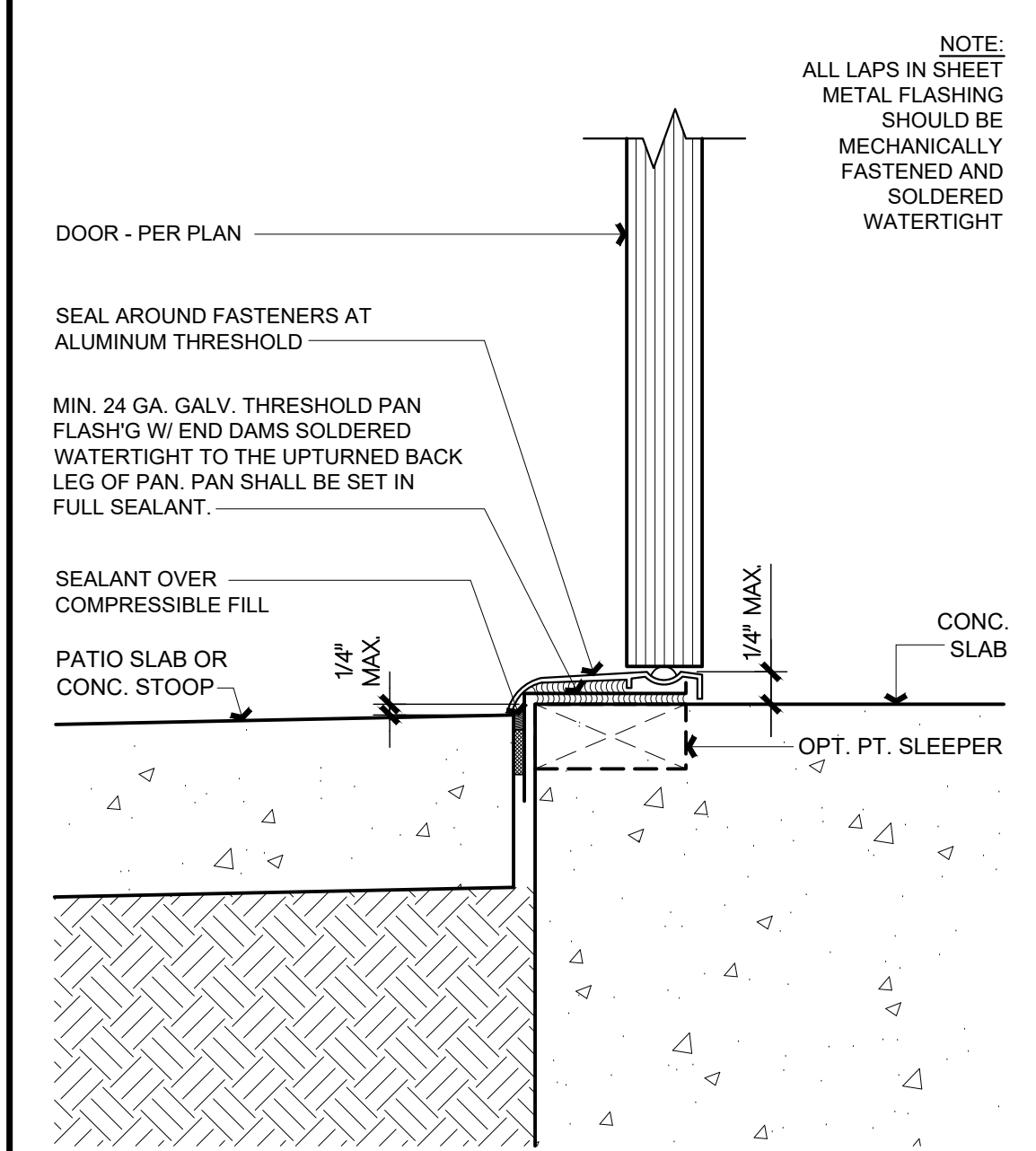
DETAILS LEGEND AND NOTES

1



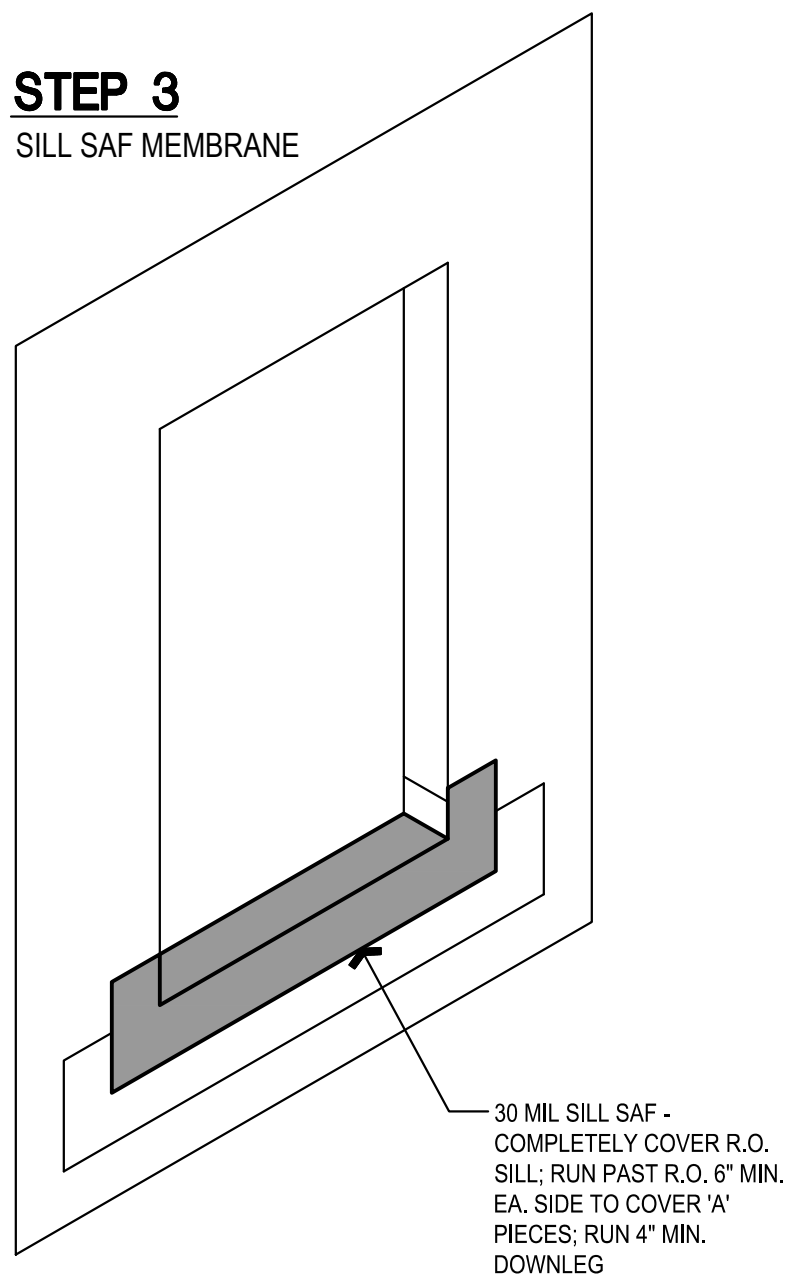
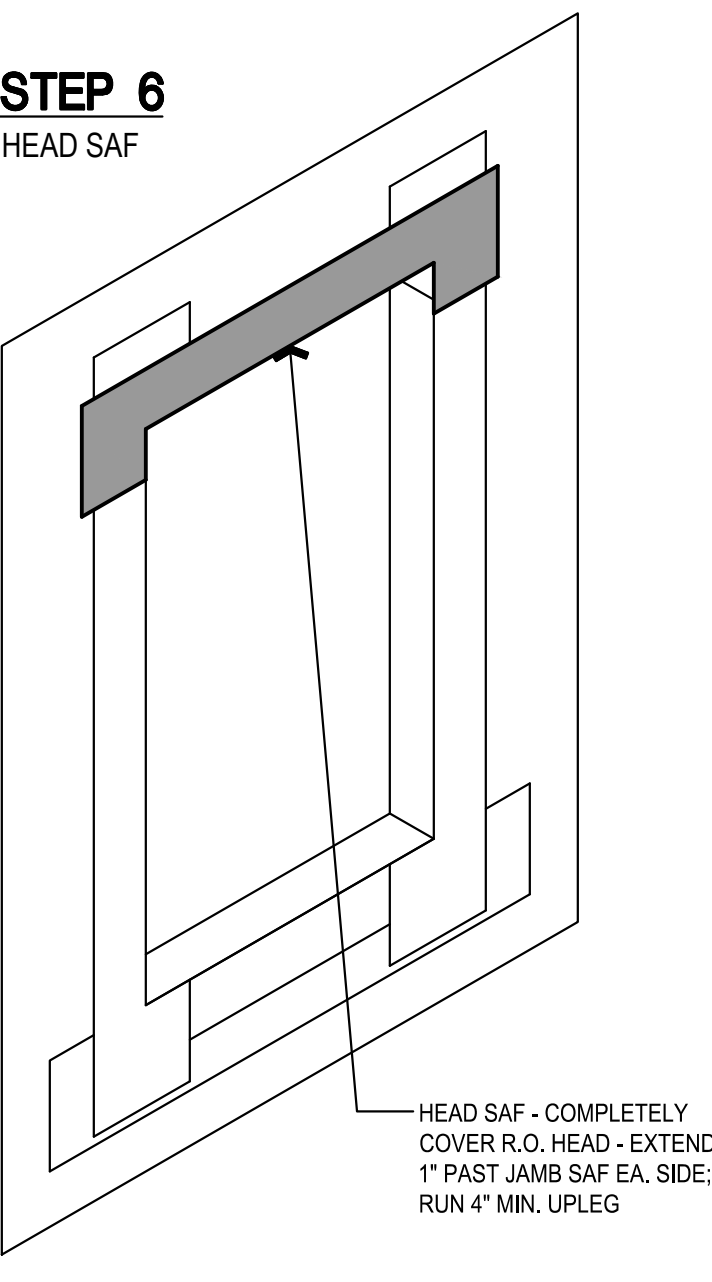
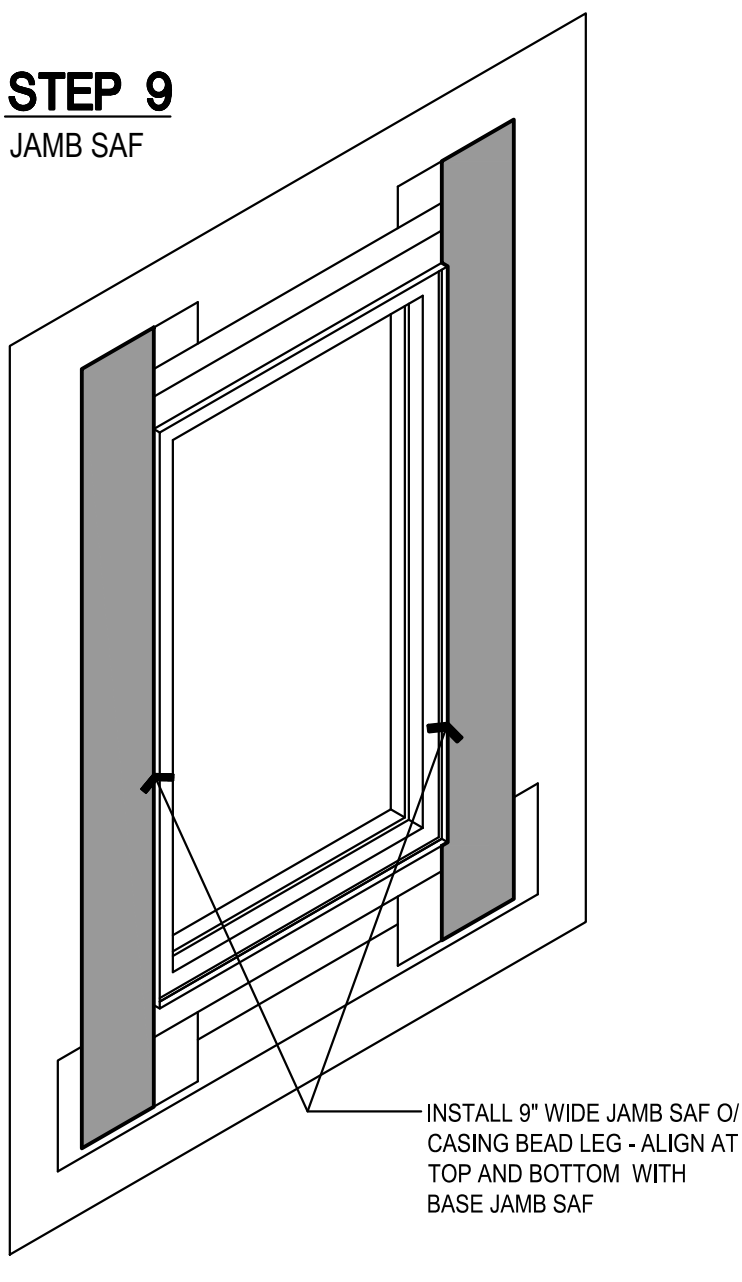
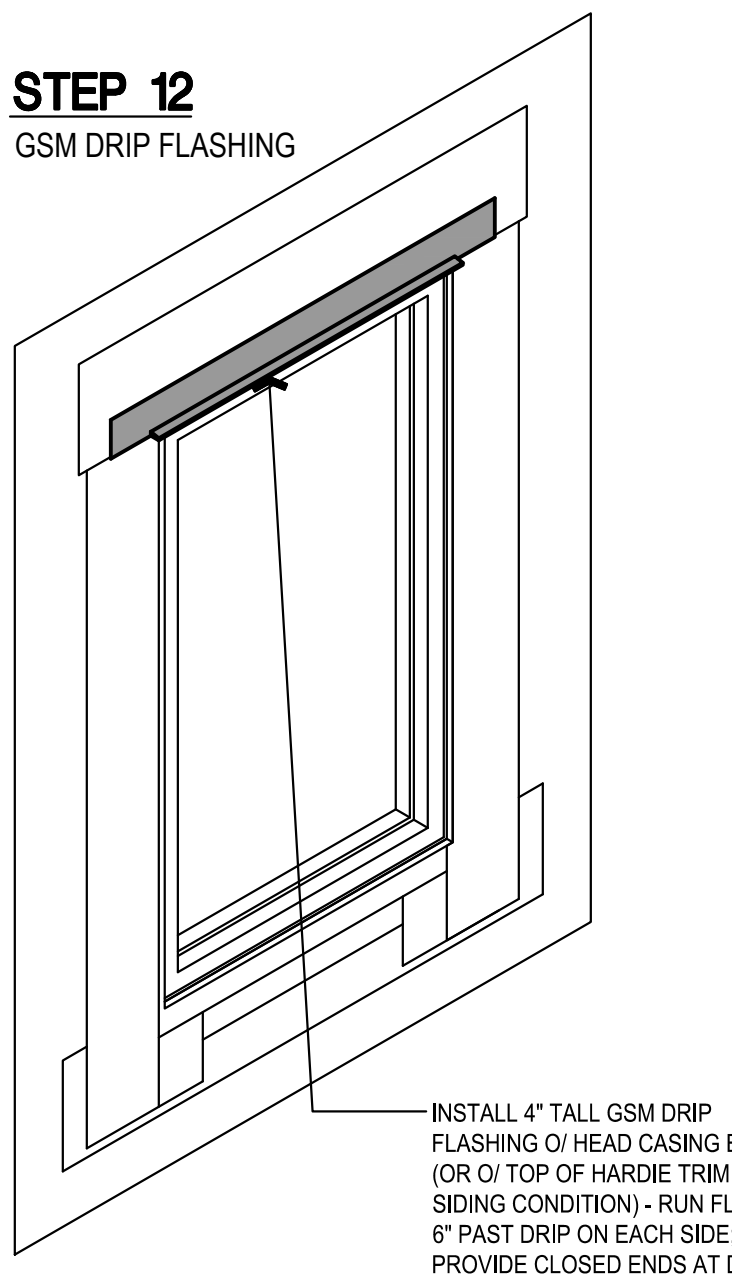
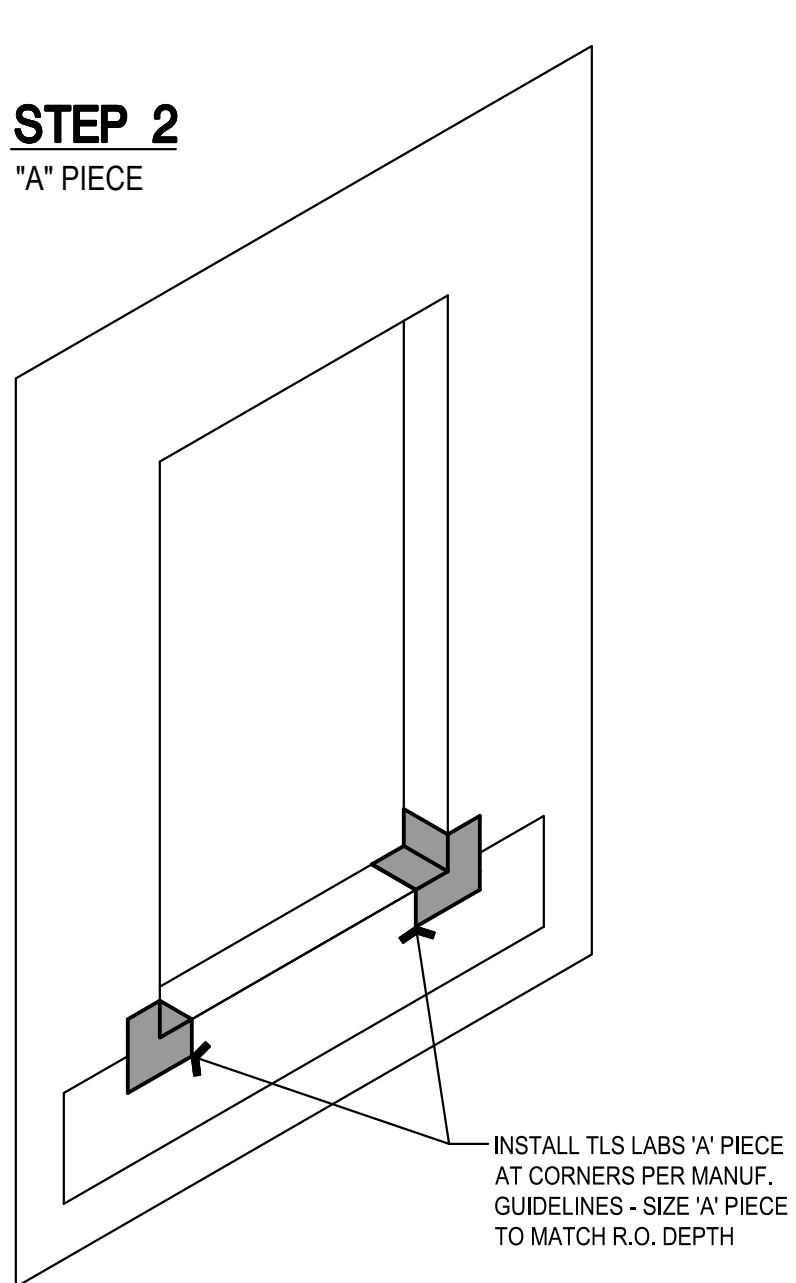
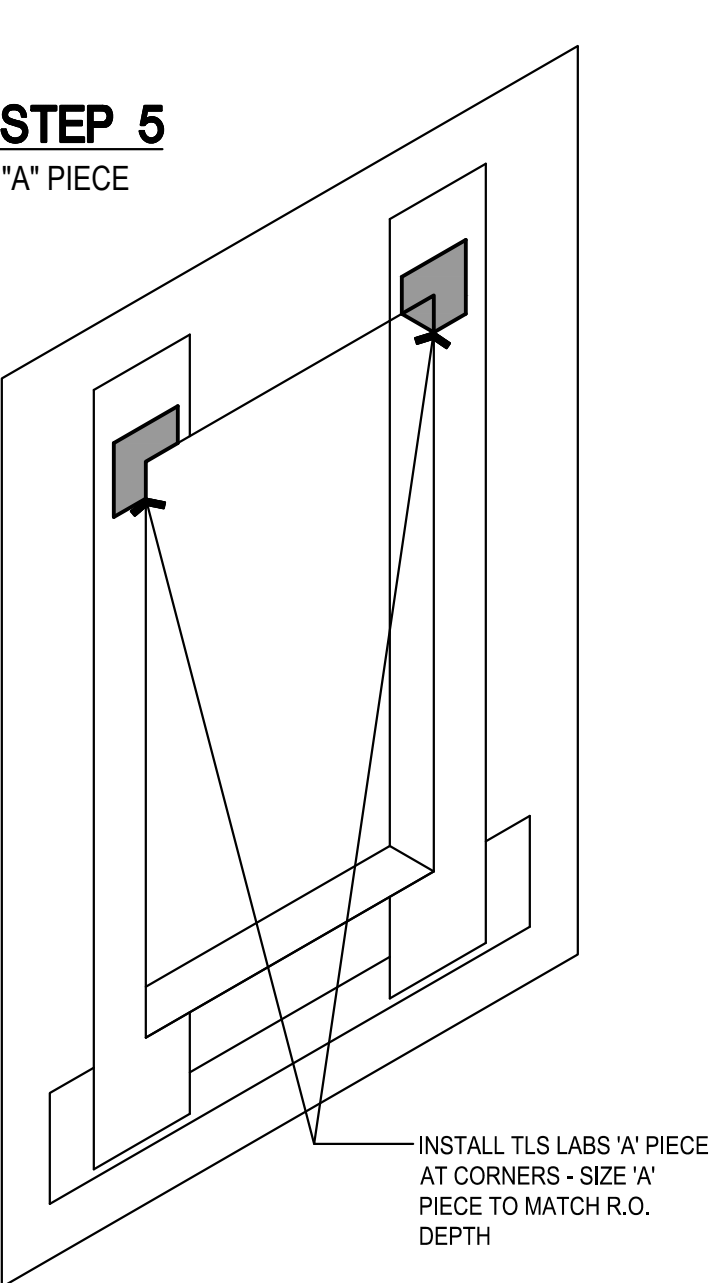
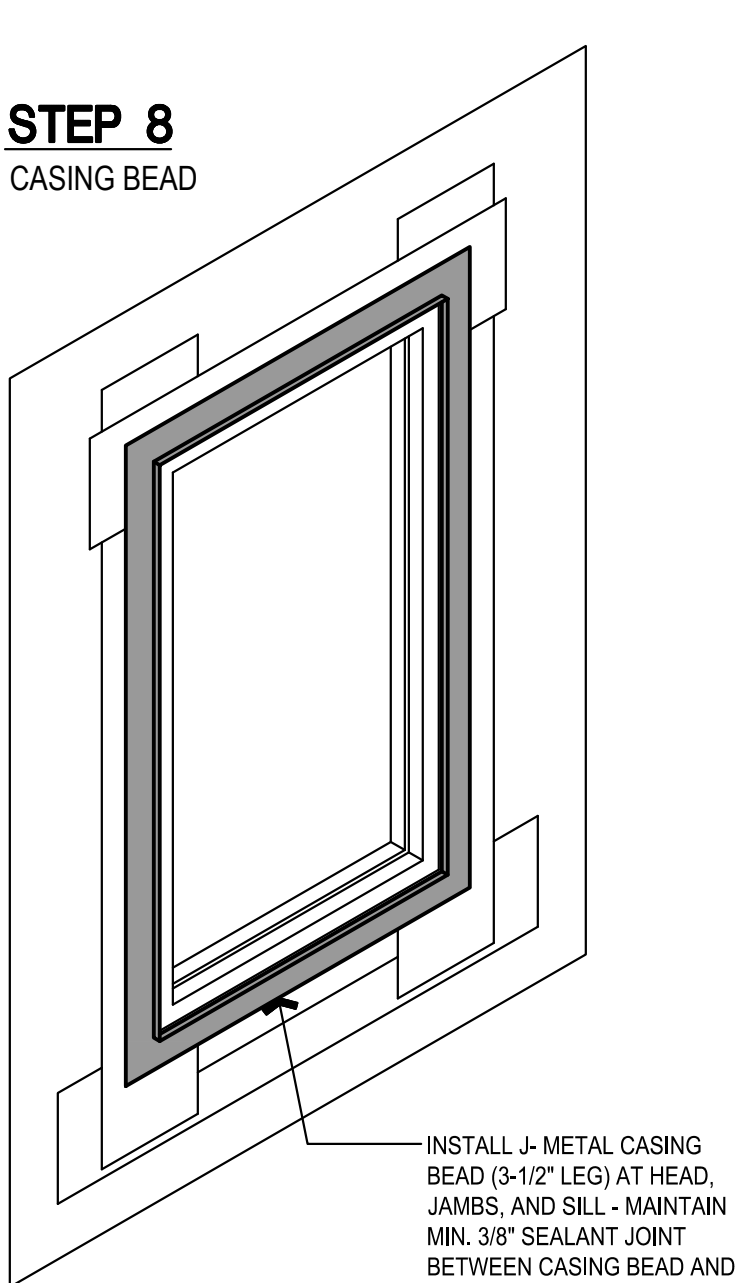
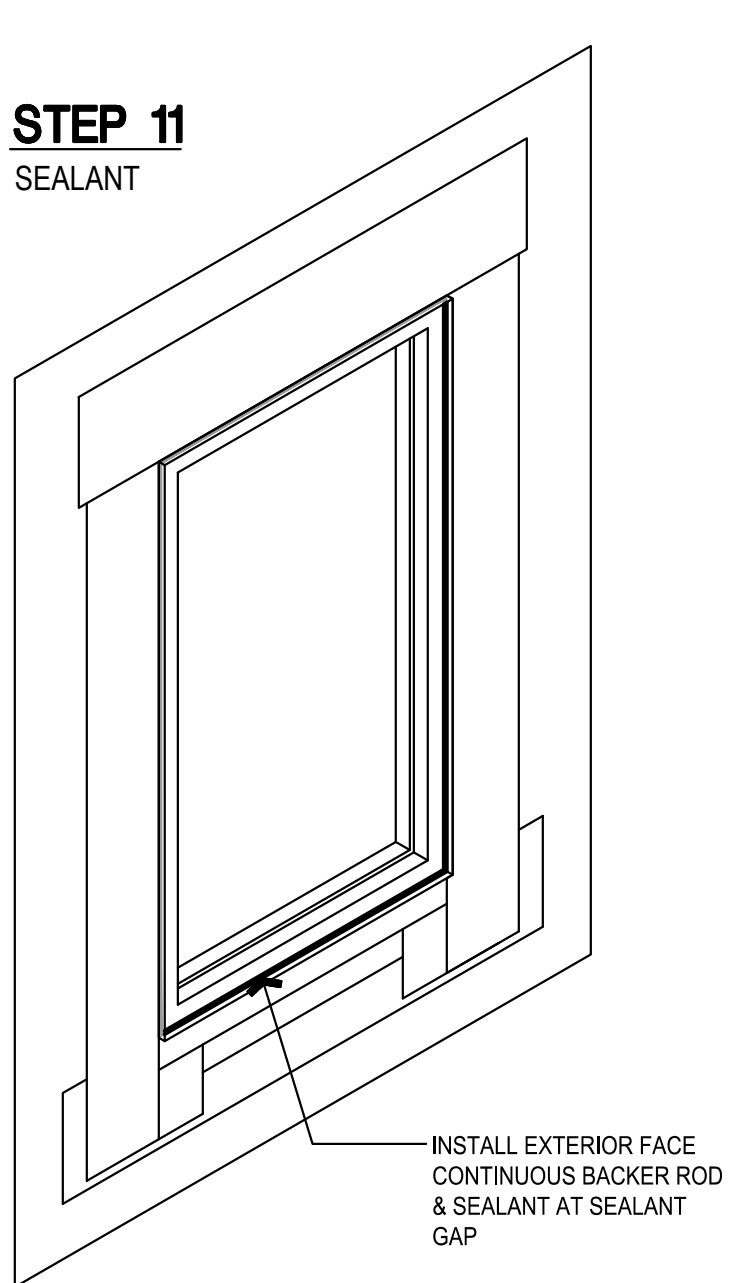
THRESHOLD FLASHING AT GRADE

14



ACCESSIBLE DOOR THRESHOLD

15

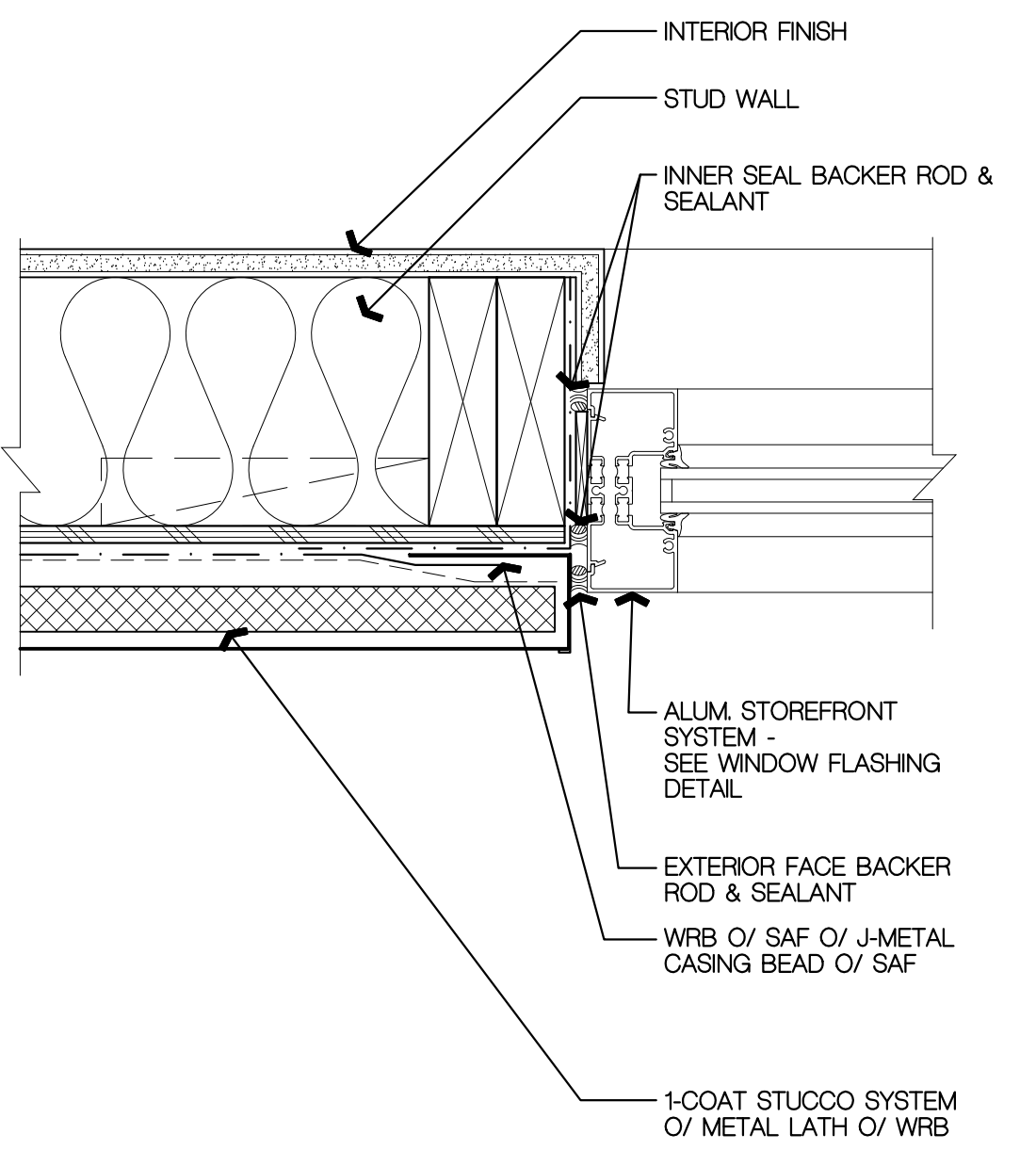


STOREFRONT FLASHING - FLUSH CONDITION

6

SF WINDOW HEAD (STUCCO)

2



SF WINDOW JAMB (STUCCO)

3



**Architecture + Planning**  
17911 Von Karman Ave.  
Suite 200  
Irvine, CA 92614  
ktgy.com  
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CENTURY COMMUNITIES  
4695 MACARTHUR COURT,  
SUITE 300  
NEWPORT BEACH, CA 92660

**PHONE NO.** (909) 667-0142

**GATEWAY 156**  
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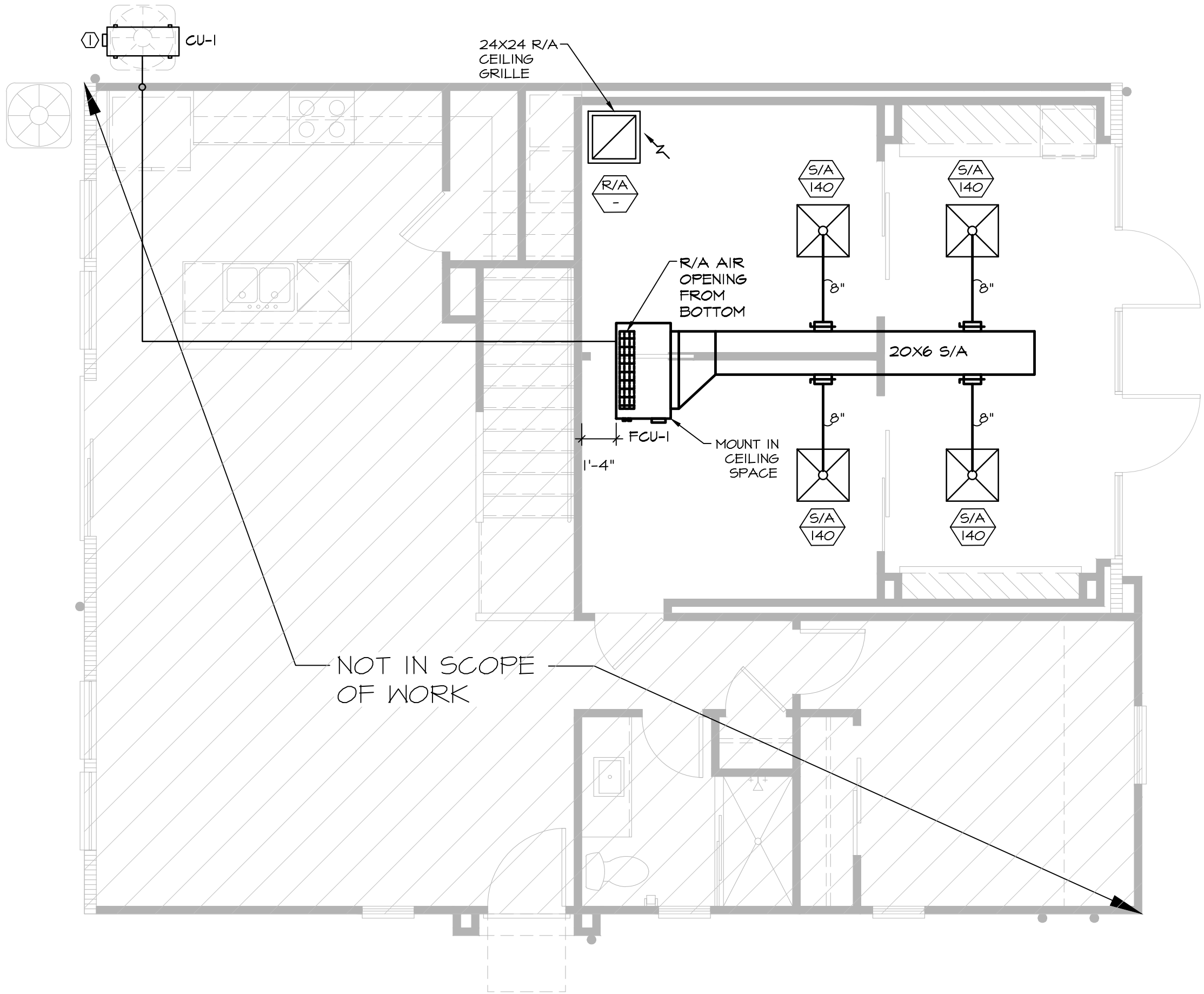
**ARCHITECTURAL  
DETAILS**

**A-SO-3**

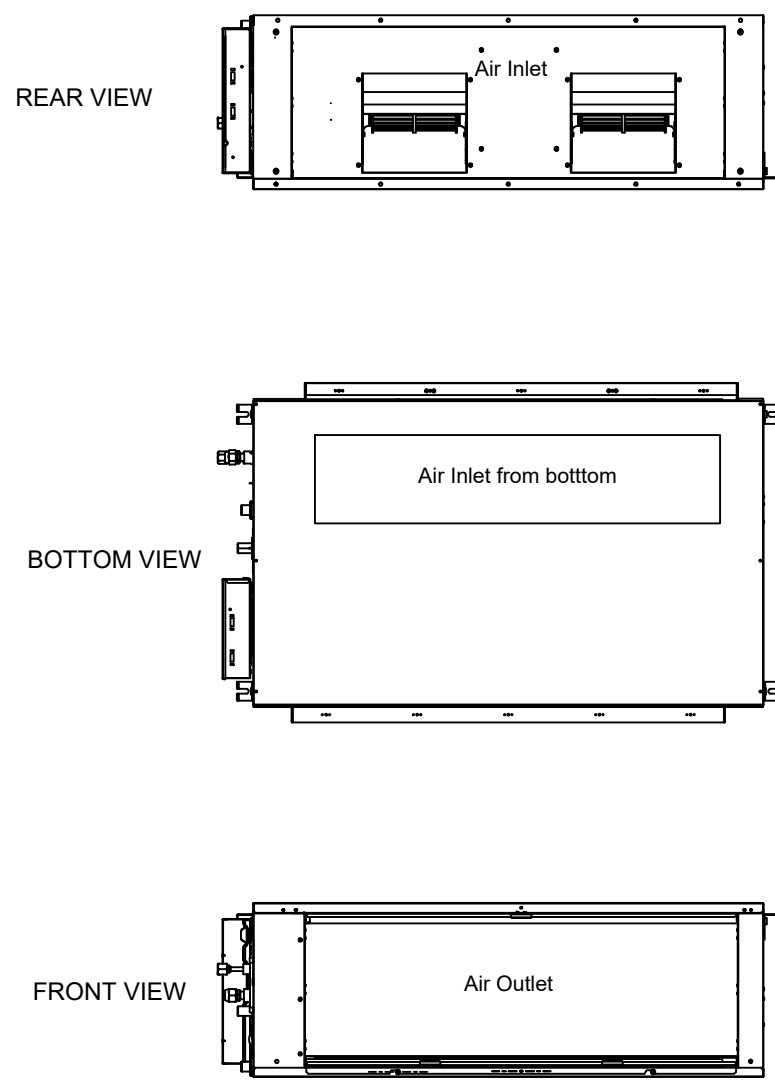
| MINI DUCTLESS SPLIT-SYSTEM AIR CONDITIONING UNIT SCHEDULE |                 |            |     |     |                    |                |                       |        |               |             |              |               |     |     |                |         |                        |                       |       |
|---|-----------------|------------|-----|-----|--------------------|----------------|-----------------------|--------|---------------|-------------|--------------|---------------|-----|-----|----------------|---------|------------------------|-----------------------|-------|
| INDOOR UNIT   |                 |            |     |     |                    |                |                       |        |               |             | OUTDOOR UNIT |               |     |     |                |         |                        |                       |       |
| EQPT TAG  | NOMINAL TONNAGE | SUPPLY CFM |     |     | COIL MODEL         | CAPACITY (MBH) | POWER CONSUMPTION (W) |        | ELECTRIC DATA |             | EQPT TAG     | ELECTRIC DATA |     |     | CAPACITY (MBH) |         | MANUFACTURER AND MODEL | EQUIPMENT WEIGHT (LB) | NOTES |
|   |                 | L          | M   | H   |                    |                | INPUT                 | OUTPUT | MCA           | V/PH/Hz     |              | V/PH/Hz       | MCA | MOP | COOLING        | HEATING |                        |                       |       |
| FCU-1   | 2.0             | 553        | 684 | 955 | CARRIER - 40MBDQ24 | 24.0           | 200                   | 160    | 1.2           | 208-230//60 | CU-1         | 208-230//60   | 20  | 30  | 24             | 24      | CARRIER - 38MAQB24R-3  | 145                   | ①     |

① EQUIVALENT MANUFACTURER APPROVED BY BUILDER.

**KEYED NOTES** ①  
1. COORDINATE EXACT LOCATION OF CONDENSING UNIT.




① **SALES OFFICE MECHANICAL LAYOUT**  
SCALE: 1/4" = 1'-0"



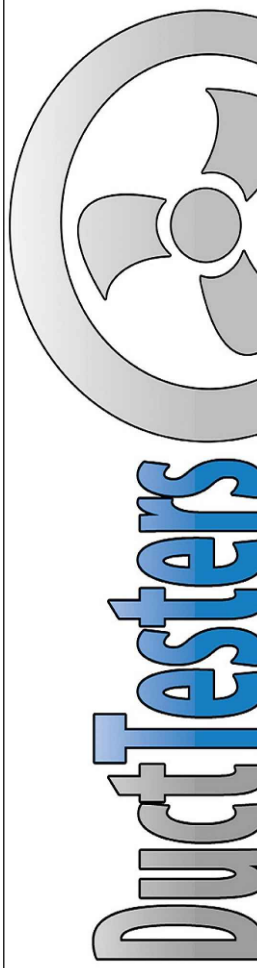
① **DUCTLESS FAN COIL DETAIL**  
NOT TO SCALE

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8390 E. Crescent Parkway, Suite 650  
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Suite 1155  
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PEGC2043.00

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“QUALITY ENERGY CONSULTING WITH THE TESTING TO PROVE IT”

SCALE:  
AS NOTED

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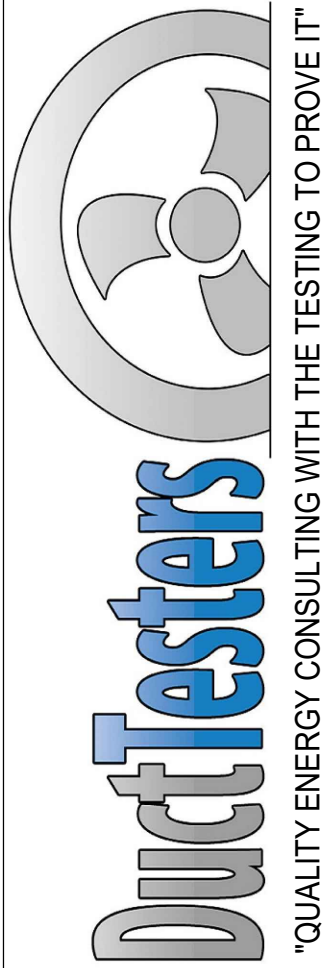
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12/01/2022

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Date

Revision

Tag









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Ripon, CA 95366  
(209)579-5000




**PEG**  
3975 Fair Ridge Drive,  
SUITE 1155  
FAIRFAX, VA 22033  
PHONE: 703.627.7777  
WWW.PEGENV.COM  
PEGC22007.00

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GATEWAY, CA

CENTURY  
COMMUNITIES  
8390 E. Crescent  
Parkway, Suite 650  
Greenwood Village, CO

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| OPTIONAL FEEDER AND SERVICE LOAD CALCULATIONS         |   |   |                 |       |   |                          |  |       |  |
|---|---|---|-----------------|-------|---|--------------------------|--|-------|--|
| BASED ON NEC TABLE 220                                |   |   |                 |       |   |                          |  |       |  |
| VOLTAGE (PHASE-GROUND/PHASE)                          |   |   | 120             | 240   |   | PEG                      |  |       |  |
| PHASE   | 1   |   |                 |       |   | 3975 FAIR RIDGE, DRIVE   |  |       |  |
| WIRE  | 3   |   |                 |       |   | FAIRFAX, VA 22033        |  |       |  |
| 8   | RECEPTACLE LOAD                                     |   |                 |       |   | 1440                     |  | WATTS |  |
| 1   | MINI- FRIDGE  |   |                 |       |   | 1200                     |  | WATTS |  |
| 1   | 55" TV  |   |                 |       |   | 340                      |  | WATTS |  |
| 1   | HP PRINTER  |   |                 |       |   | 400                      |  | WATTS |  |
|   |   |   |                 |       |   | 0                        |  | WATTS |  |
|   |   |   |                 |       |   | 0                        |  | WATTS |  |
| TOTAL CALCULATED LOAD (LESS HVAC)                     |   |   |                 |       |   | 3380                     |  | WATTS |  |
| SERVICE DEMANDS                                       |   |   |                 |       |   |                          |  |       |  |
| GENERAL LOAD  |   |   |                 |       |   |                          |  |       |  |
| FIRST 10KW OF TOTAL CALCULATED LOAD(LESS HVAC) @ 100% |   |   |                 |       |   | 3380                     |  | WATTS |  |
| REMAINDER OF TOTAL CALCULATED LOAD (LESS HVAC) @ 50%  |   |   |                 |       |   | 0                        |  | WATTS |  |
| TOTAL GENERAL NONCONTINUOUS LOADS                     |   |   |                 |       |   | 3380                     |  | WATTS |  |
| 415   | GENERAL LIGHTING (CONTINUS LOADS)                   |   |                 |       |   | 1815.63                  |  | WATTS |  |
| TOTAL GENERAL LOADS                                   |   |   |                 |       |   | 5195.63                  |  | WATTS |  |
| HVAC LOAD   |   |   |                 |       |   |                          |  |       |  |
| 1   | AIR CONDITIONING LOAD @ 100% (VOLTS X AMPS = WATTS) |   |                 |       |   | 288                      |  | WATTS |  |
| 1   | FURNACE/AIR HANDLER LOAD (VOLTS X AMPS = WATTS)     |   |                 |       |   | 4800                     |  | WATTS |  |
| TOTAL HVAC LOAD                                       |   |   |                 |       |   | 5088                     |  | WATTS |  |
|   |   |   |                 |       |   |                          |  |       |  |
| TOTAL GENERAL LOAD                                    |   | + | TOTAL HVAC LOAD |       | = | CALCULATED SERVICE LOAD  |  |       |  |
| 5195.625  | WATTS   | + | 5088            | WATTS | = | 10283.625                |  | WATTS |  |
|   |   |   |                 |       |   |                          |  |       |  |
| CALCULATED SERVICE LOAD                               |   | ÷ | SERVICE VOLTAGE |       | = | MINIMUM SERVICE AMPACITY |  |       |  |
| 10283.625   | WATTS   | ÷ | 240             | VOLTS | = | 42.85                    |  | AMPS  |  |