

TENTATIVE TRACT MAP NO.72816

IN THE CITY OF POMONA OF COUNTY OF LOS ANGELES, STATE OF CALIFORNIA
PORTION OF LOT 36 OF TRACT NO. 1928, IN THE CITY OF POMONA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA,
AS PER MAP RECORDED IN BOOK 21, PAGE 61 OF MAPS, IN THE COUNTY RECORDER OFFICE OF SAID COUNTY.
APN:APN: 8343-014-026

FOR CONDOMINIUM PURPOSES

OWNER/SUBDIVIDER:

PLAN RIVER INVESTMENT LLC
410 BALLENA DR.
DIAMOND BAR, CA 91765
909-319-7778

BENCHMARK:

COUNTY BENCHMARK NO. G 5109
PK NAIL IN S CB @ BCR @ SW
COR WHITE AVENUE & GRAND AVE.
ELEVATION: 817.485'

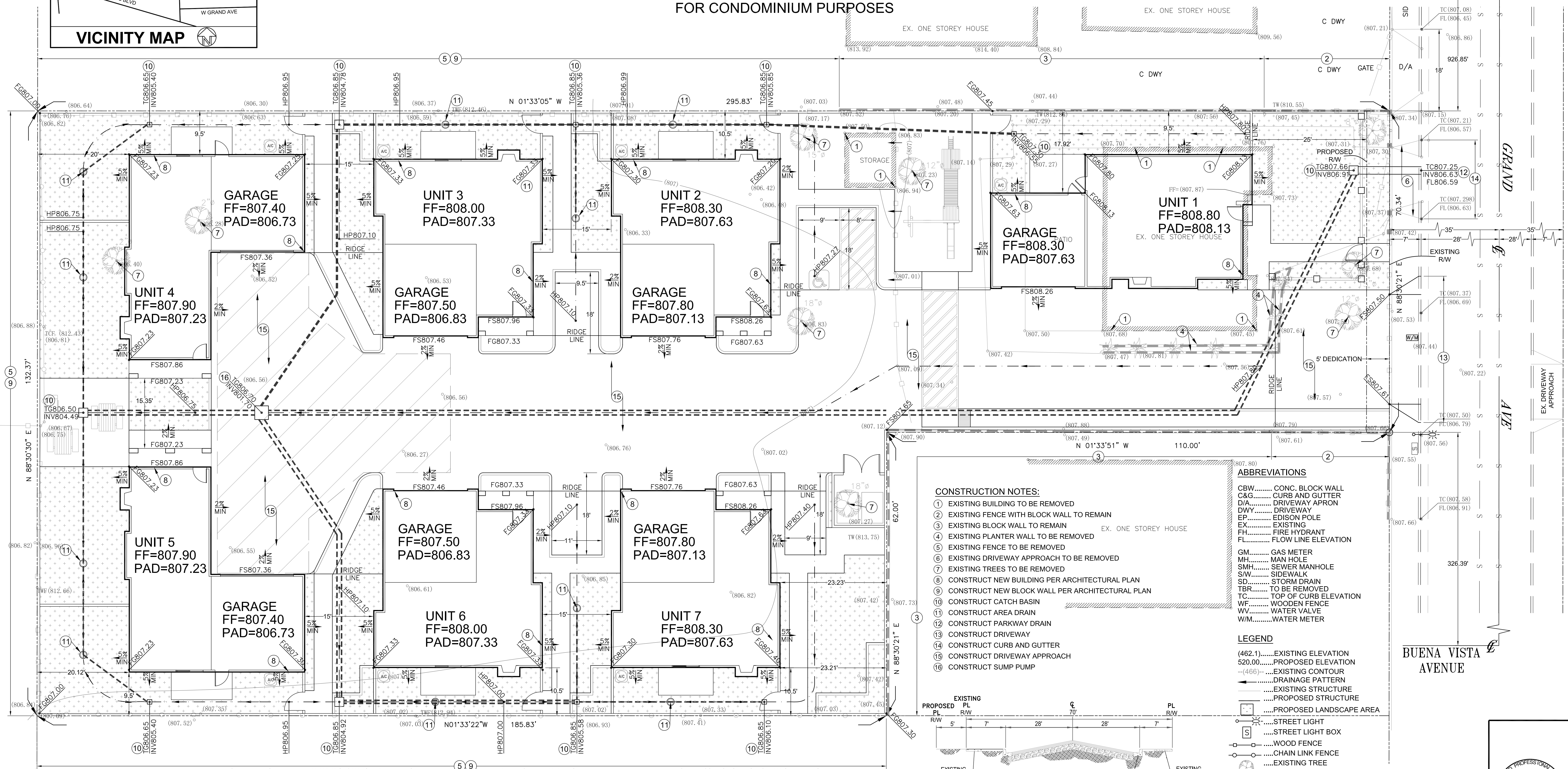
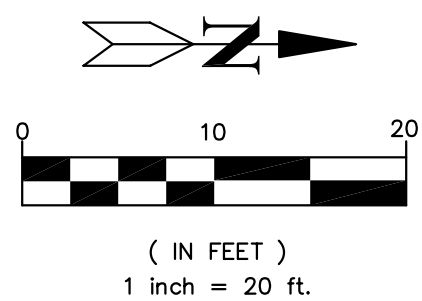
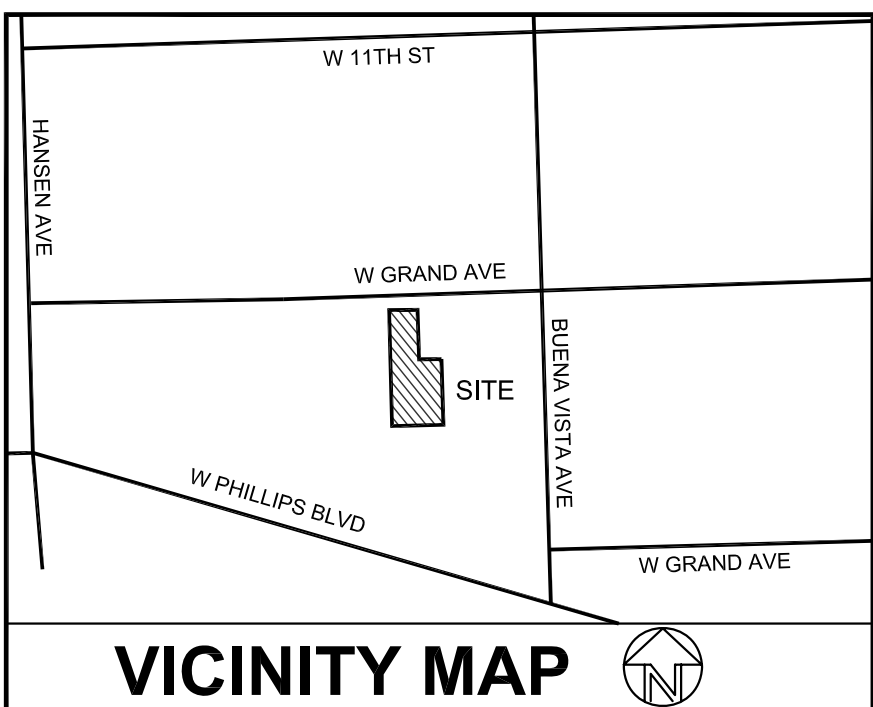
PREPARED BY:

JACK LEE, R.C.E. 40870
CAL LAND ENGINEERING, INC.
576 E. LAMBERT ROAD,
BREA, CA 92821
TEL: 714-671-1050
FAX: 714-671-1090

UTILITY SERVICES:

WATER - CITY OF POMONA
SEWER - CITY OF POMONA
GAS - SOUTHERN CALIFORNIA GAS CO.
ELECTRICAL - SOUTHERN CALIFORNIA EDISON CO.
TELEPHONE - VERIZON
SCHOOL - POMONA UNIFIED SCHOOL DISTRICT
FIRE - CITY OF POMONA FIRE DEPARTMENT
SHERIFF - CITY OF POMONA POLICE

HANSEN AVENUE



CONSTRUCTION NOTES:

- EXISTING BUILDING TO BE REMOVED
- EXISTING FENCE WITH BLOCK WALL TO REMAIN
- EXISTING BLOCK WALL TO REMAIN
- EXISTING PLANTER WALL TO BE REMOVED
- EXISTING FENCE TO BE REMOVED
- EXISTING DRIVEWAY APPROACH TO BE REMOVED
- EXISTING TREES TO BE REMOVED
- CONSTRUCT NEW BUILDING PER ARCHITECTURAL PLAN
- CONSTRUCT NEW BLOCK WALL PER ARCHITECTURAL PLAN
- CONSTRUCT CATCH BASIN
- CONSTRUCT AREA DRAIN
- CONSTRUCT PARKWAY DRAIN
- CONSTRUCT DRIVEWAY
- CONSTRUCT CURB AND GUTTER
- CONSTRUCT DRIVEWAY APPROACH
- CONSTRUCT SUMP PUMP

ABBREVIATIONS

CBW..... CONC. BLOCK WALL
C&G..... CURB AND GUTTER
D/A..... DRIVEWAY APRON
DWY..... DRIVEWAY
EP..... EDISON POLE
EX..... EXISTING
FH..... FIRE HYDRANT
FL..... FLOW LINE ELEVATION
GM..... GAS METER
MH..... MAN HOLE
SMH..... SEWER MANHOLE
S/W..... SIDEWALK
SD..... STORM DRAIN
TBR..... TO BE REMOVED
TC..... TOP OF CURB ELEVATION
WF..... WOODEN FENCE
WV..... WATER VALVE
WM..... WATER METER

LEGEND

(462.1).....EXISTING ELEVATION
520.00.....PROPOSED ELEVATION
-(466)-.....EXISTING CONTOUR
.....DRAINAGE PATTERN
.....EXISTING STRUCTURE
.....PROPOSED STRUCTURE
.....PROPOSED LANDSCAPE AREA
.....STREET LIGHT
.....STREET LIGHT BOX
.....WOOD FENCE
.....CHAIN LINK FENCE
.....EXISTING TREE

BUILDING DATA:

PROJECT ADDRESS: 1344 W GRAND AVE.
POMONA, CA 91766

PROJECT OWNER/
SUBDIVIDER: PLAN RIVER INVESTMENT LLC
410 BALLENA DR.
DIAMOND BAR, CA 91765

EXISTING USE: (1) SINGLE FAMILY RESIDENCE BUILDING

PROPOSED USE: MULTI-FAMILY RESIDENTIAL - CONDOMINIUMS

SITE AREA: (132.35' X 158.80') + (110.0' X 70.35') = 32,329 SF

ZONING: R-2-S
(LOW DENSITY MULTI-FAMILY W/
SUPPLEMENTAL OVERLAY)

ALLOWABLE DENSITY:

PROPOSED DENSITY:

PROPOSED LIVING AREA:

PROPOSED # OF BEDROOMS:

MIN. REQ'D FLOOR AREA:

ALLOWABLE BUILDING HEIGHT:

PROPOSED BUILDING HEIGHT:

PROPOSED WALL HEIGHT:

FRONT YARD:

32,329.13 SF / 2904 SF = 8.47 D.U.

7 D.U. = 4,041 SF / D.U.

SEE UNIT SUMMARY REPORT

SEE UNIT SUMMARY REPORT

1,500 SF (4 BEDROOM)

35'-0"

27'-4"

19'-2"

25'-0" REQUIRED; 25'-0" PROVIDED

9'-7" REQUIRED; 10'-0" PROVIDED

19'-0" REQUIRED; 19'-0" PROVIDED

(6,172 SF + 3,027 SF + 409 SF) / 32,329 SF = 29.7%

2 PARKING SPACES IN GARAGE PER UNIT

7 UNITS X 2 SPACES = 14 GARAGE SPACES REQUIRED

16 GARAGE SPACES PROVIDED

1 GUEST SPACE PER 4 UNITS

7 UNITS X 1/4 SPACES = 2 GUEST SPACES REQUIRED

4 GUEST SPACES PROVIDED

9'-7" REQUIRED; 10'-0" PROVIDED

19'-0" REQUIRED; 19'-0" PROVIDED

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REQUIRED COMMON OPEN SPACE: 600 SF X 7 UNITS
= 4200 SF (600 SF PER 4 BEDROOM UNIT)

COMMON SPACE PROVIDED:

#1 1,855 SF
#2 473 SF
#3 473 SF
#4 476 SF
#5 434 SF
#6 938 SF
#7 785 SF
TOTAL 5,434 SF

REQUIRED PRIVATE SPACE:

150 SF PER UNIT

OCCUPANCY GROUP:

R-3 (RESIDENCE) /
U (GARAGE)

TYPE OF CONSTRUCTION:

TYPE V - B

FLOOD ZONE
THE LAND SHOWN HEREON LIES ENTIRELY WITHIN FLOOD ZONE "X"
(UNSHADED), BEING DESCRIBED AS "AREAS DETERMINED TO BE
OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" PER FLOOD
INSURANCE RATE MAP (FIRM) - COMMUNITY PANEL NUMBER
06037C1725F, DATED SEPTEMBER 26, 2008.

BUS STOP
NO BUS STOP WITHIN 200 FT.

NO FILLED AREAS EXISTING WITHIN THE SUBDIVISION

NO UNDERGROUND EXCAVATIONS EXIST WITHIN THE SUBDIVISION

THIS PROJECT WILL COMPLY WITH CITY PARK/LAND DEDICATION
RESOLUTION NO. 89-200

PROJECT LOCATION:

1344 W GRAND AVE.,
POMONA, CA 91766

GRAND AVENUE

NOT TO SCALE

EXISTING SIDEWALK

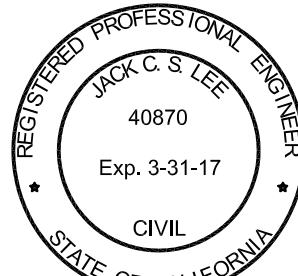
EXISTING CURB & GUTTER

EXISTING SIDEWALK

EXISTING IMPERVIOUS AREA: 3,820 SF
PROPOSED IMPERVIOUS AREA: 24,028 SF

CALLAND ENGINEERING, INC.
dba QUARTECH CONSULTANTS

576 E. LAMBERT ROAD, BREA, CA 92821
TEL: (714) 671-1050 FAX: (714) 671-1090



T-1

SHEET 1 OF 1

1344 W GRAND AVE., POMONA, CA 91766

7-UNITS RESIDENCE CONDOMINIUM PROJECT

DETACHED UNITS

UNIT SUMMARY REPORT									
UNIT #	TYPE	PLAN TYPE	DESCRIPTION	FIRST FLOOR	SECOND FLOOR	TOTAL LIVING AREA	GARAGE AREA	PORCH AREA	ARCHITECTURAL THEME
1	DETACHED CONDOMINIUM	'A'	4 BEDROOMS & 3 BATHS	1006 SF	1388 SF	2394 SF	431 SF	7 SF	SPANISH STYLE
2	DETACHED CONDOMINIUM	'B'	4 BED & 2-1/2 BATH	878 SF	1164 SF	2042 SF	423 SF	48 SF	SPANISH STYLE
3	DETACHED CONDOMINIUM	'B1'	4 BED & 2-1/2 BATH	878 SF	1164 SF	2042 SF	423 SF	48 SF	CRAFTSMEN STYLE
4	DETACHED CONDOMINIUM	"C"	4 BED & 2-1/2 BATH	810 SF	1213 SF	2023 SF	452 SF	72 SF	MEDITERRANEAN STYLE
5	DETACHED CONDOMINIUM	"C1"	4 BED & 2-1/2 BATH	810 SF	1213 SF	2023 SF	452 SF	72 SF	SPANISH STYLE
6	DETACHED CONDOMINIUM	"B-R"	4 BED & 2-1/2 BATH	878 SF	1164 SF	2042 SF	423 SF	48 SF	SPANISH STYLE
7	DETACHED CONDOMINIUM	"B1-R"	4 BED & 2-1/2 BATH	878 SF	1164 SF	2042 SF	423 SF	48 SF	CRAFTSMEN STYLE
TOTAL				6138 SF	8470 SF	14579 SF	3027 SF	343 SF	

ABBREVIATIONS

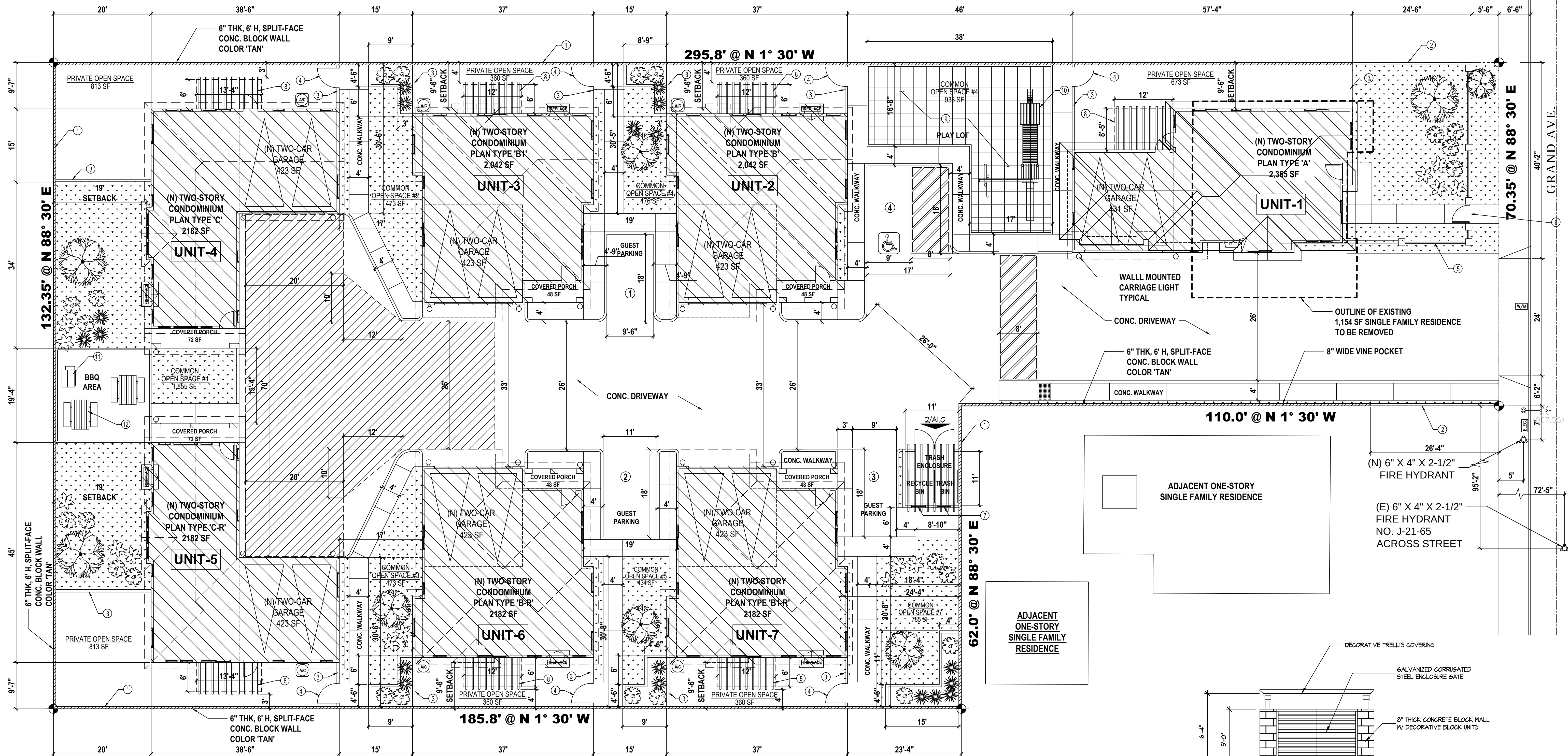
@	AT	INT	INTERIOR
AA	ADD ALTERNATE	JC	JANITOR CLOSET
AB	ANCHOR BOLT	JT	JOINT
ABV	ABOVE	LAM	LAMINATE
AC	ACOUSTICAL CEILING PANELS	LAV	LAVATORY
ADD'L	ADDITIONAL	LB	POUND
AFF	ABOVE FINISH FLOOR	LP	LIGHTING PANEL
AHV	AIR HANDLING UNIT	LTG	LIGHTING
ALUMN	ALUMINUM	LVL	LEVEL
ANG	ANGLE	MAX	MAXIMUM
AP	ACCESS PANEL	MFR	MANUFACTURER
ARCH	ARCHITECT /ARCHITECTURAL	MECH	MECHANICAL
BD	BOARD	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
BLK'G	BLOCKING	MO	MASONRY OPENING
BOT	BOTTOM	MTD	MOUNTED
BUR	BUILT UP ROOFING	MTL	METAL
CAB	CABINET	NIC	NOT IN CONTRACT
CAR	CARPET	N/A	NOT APPLICABLE
CEM	CEMENT	NOM	NOMINAL
¢	CENTERLINE	NTS	NOT TO SCALE
CI	CAST IRON	OC	ON CENTER
CLG	CEILING	OD	OUTSIDE DIAMETER
CLR	CLEAR	OPH	OPPOSITE HAND
CTR	COUNTER	OPNG	OPENING
COL	COLUMN	PA	PLANTING AREA
CONT	CONTINUOUS		PROPERTY LINE
CS	CONCRETE SEALER	PLT	PLATE
CT	CERAMIC TILE	PLAM	PLASTIC LAMINATE
DIA / Ø		PLWD	PLYWOOD
DIM	DIMENSION	PNTD	PAINTED
DISP	DISPENSER	RB	RUBBER BASE
DN	DOWN	RD	ROOF DRAIN
DR	DRAIN	REF	REFERENCE
DET	DETAIL	REFR	REFRIGERATOR
DWG	DRAWING	RF	RESINOUS FLOORS
DWR	DRAWER	RM	ROOM
(E)	EXISTING	RUB	RUBBER
EA	EACH	SC	SOLID CORE
EQ	EQUAL	SF	SQUARE FOOT/FEET
ELEC	ELECTRICAL	SIM	SIMILAR
ELEV	ELEVATION	SCHED	SCHEDULE
ELVR	ELEVATOR	SPEC	SPECIFICATIONS
EOS	EDGE OF SLAB	SQ	SQUARE
EQUIP	EQUIPMENT	SOG	SLAB ON GRADE
ES	EXPOSED STRUCTURE	SSF	SOLID SURFACE FINISH
FD	FLOOR DRAIN	ST STL	STAINLESS STEEL
FDN	FOUNDATION	STD	STANDARD
FEC	FIRE EXTINGUISHER CABINET	STL	STEEL
FF	FINISH FLOOR	STRUCT	STRUCTURE/STRUCTURAL
FG	FINISH GRADE	SUSP	SUSPENDED
FHC	FIRE HOSE CABINET	SV	SHEET VINYL
FIN	FINISH	TELE	TELEPHONE
FLR	FLOOR	TEMP	TEMPORARY
FOF	FACE OF FINISH	TOC	TOP OF CONCRETE
FOS	FACE OF STRUCTURE	TOR	TOP OF ROOF
FT	FEET	TOS	TOP OF SLAB
FTG	FOOTING	TOW	TOP OF WALL
FURR	FURRING	TRD	TREAD
GA	GAUGE	TYP	TYPICAL
GALV	GALVANIZED	UL	UNDERWRITERS LABORATORY
GB	GRAB BAR	UNO	UNLESS NOTED OTHERWISE
GEN	GENERAL	VCT	VINYL COMPOSITE TILE
GL	GLASS	VERT	VERTICAL
GYP	GYPSUM	VIF	VERIFY IN FIELD
HDR	HEADER	W/	WITH
HDWD	HARDWOOD	W/O	WITHOUT
HDWR	HARDWARE	WB	WOOD BASE
HGT	HEIGHT	WD	WOOD
INFO	INFORMATION	WP	WORKING POINT
INSUL	INSULATION	WPN	WOOD PANELING

DRAWING SYMBOLS

	DIRECTION VIEWED	SECTION
	DRAWING NUMBER	
	SHEET NUMBER	
	DIRECTION VIEWED	DETAIL
	DRAWING NUMBER	
	SHEET NUMBER	
	DIRECTION VIEWED	EXTERIOR ELEVATIONS
	DRAWING NUMBER	
	SHEET NUMBER	
	DIRECTION VIEWED	INTERIOR ELEVATIONS
	DRAWING NUMBER	
	SHEET NUMBER	
	REVISION NOTE; SEE TITLE BLOCK	REVISIONS
	VERTICAL LINES: NUMBER	
	HORIZONTAL LINES: LETTERS	
	WINDOW TAG	REFERENCES
	DOOR TAG	
	GLAZING TYPE	
	GENERAL NOTE	REFERENCES
	WALL TYPE	
	FINISH NOTE	

SITE PLAN LEGEND

- 6" HIGH, 6" THICK SPLIT FACED CONCRETE BLOCK WALL W/ CONCRETE WALL CAP
- 3' HIGH, 6" THICK SPLIT FACED CONCRETE BLOCK WALL W/ CONCRETE WALL CAP
- 6' HIGH WOOD FENCE
- 4' HIGH WOOD GATE
- 3'-6" HIGH W.J. FENCE W/ 12" X 12" X 4' HIGH PILASTERS
- 3'-6" HIGH W.J. GATE
- PEDESTRIAN WALK-UP TRASH / RECYCLE BIN ACCESS DOOR
- CONCEPTUAL PATIO/TRELLIS LOCATION TO BE BUILT IN FUTURE AT OWNER'S DISCRETION
- INTERLOCKING RUBBER PLAYGROUND TILE
- PLAYGROUND EQUIPMENT - SEE SPEC 1 ON SHEET A1.4
- BBQ GRILL - SEE SPEC 2 ON SHEET A1.4
- OUTDOOR TABLE AND BENCH COMBO - SEE SPEC 3 ON SHEET 1.4



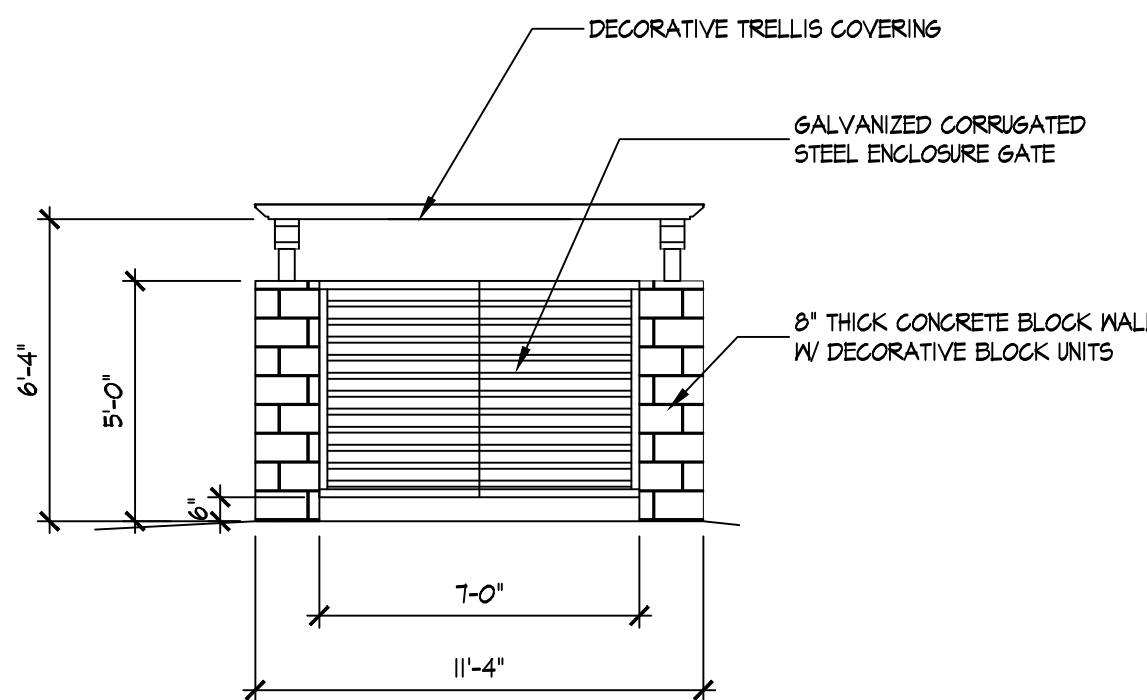
NO HIGH VOLTAGE TRANSMISSION LINES NEAR THE PROPERTY

NO EXISTING OR PROPOSED PHOTOVOLTAIC SYSTEMS ON BUILDING ROOFTOPS

1 PROJECT SITE PLAN
SCALE: 1" = 10'-0"



2 TRASH ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"



Project:

7 UNITS CONDOMINIUM

Drawing Title

PROJECT SITE PLAN

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Designer

James Hu

2440 S. Barrington Ave., #312
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Revisions

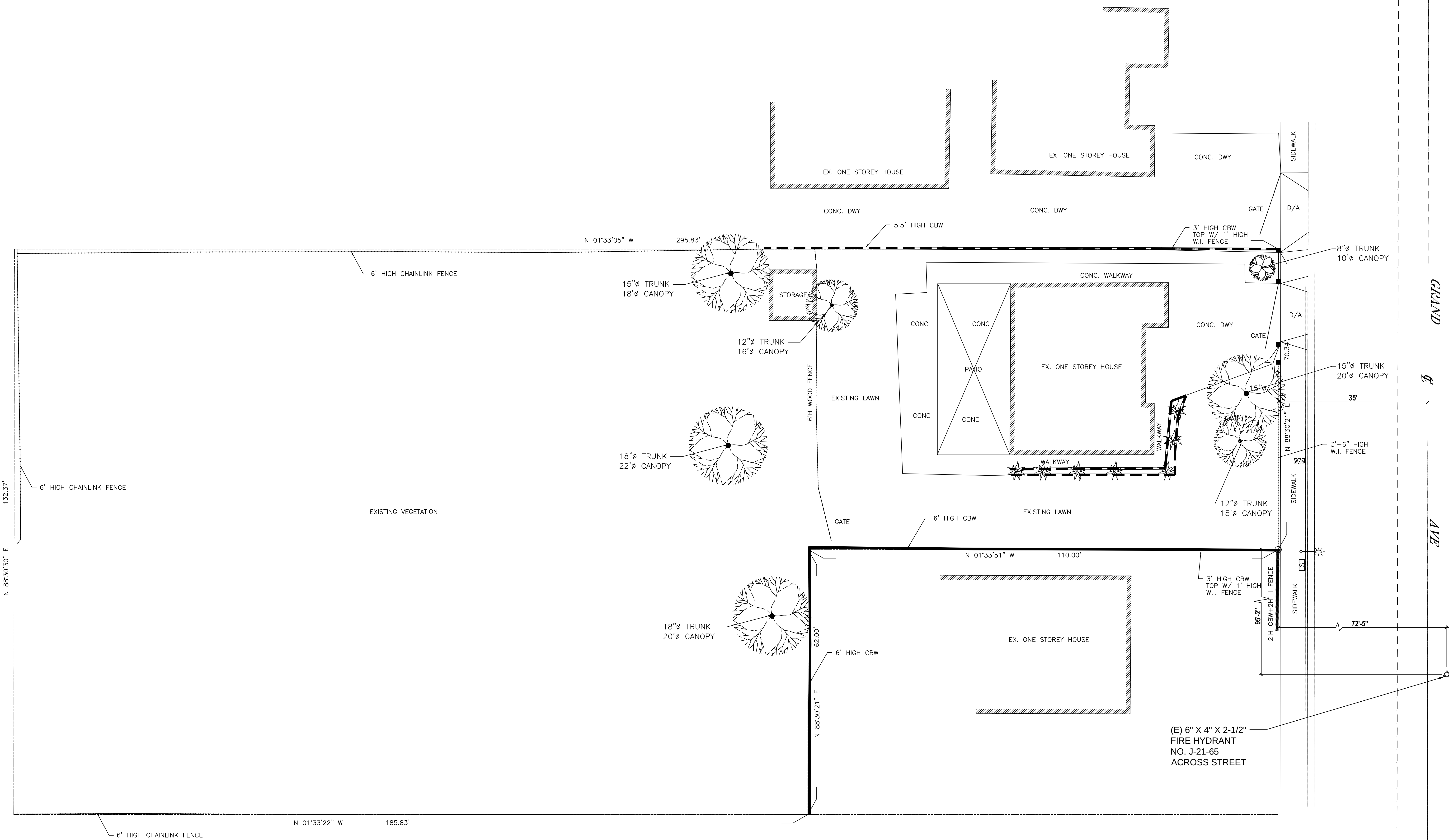
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1344 W. GRAND AVENUE
POMONA, CA 91766
Assessor Parcel No:
8343-014-026

Drawn By: J.H.
Scale: AS SHOW
Date: 11.24.2014

Drawing No.

A1.0

1344 W. Grand Avenue
Pomona, CA 91766



1 EXISTING SITE CONDITIONS
SCALE: 1" = 10'-0"



Project:
7 UNITS CONDOMINIUM
1344 W. Grand Avenue
Pomona, CA 91766

Drawing Title
EXISTING SITE
CONDITIONS

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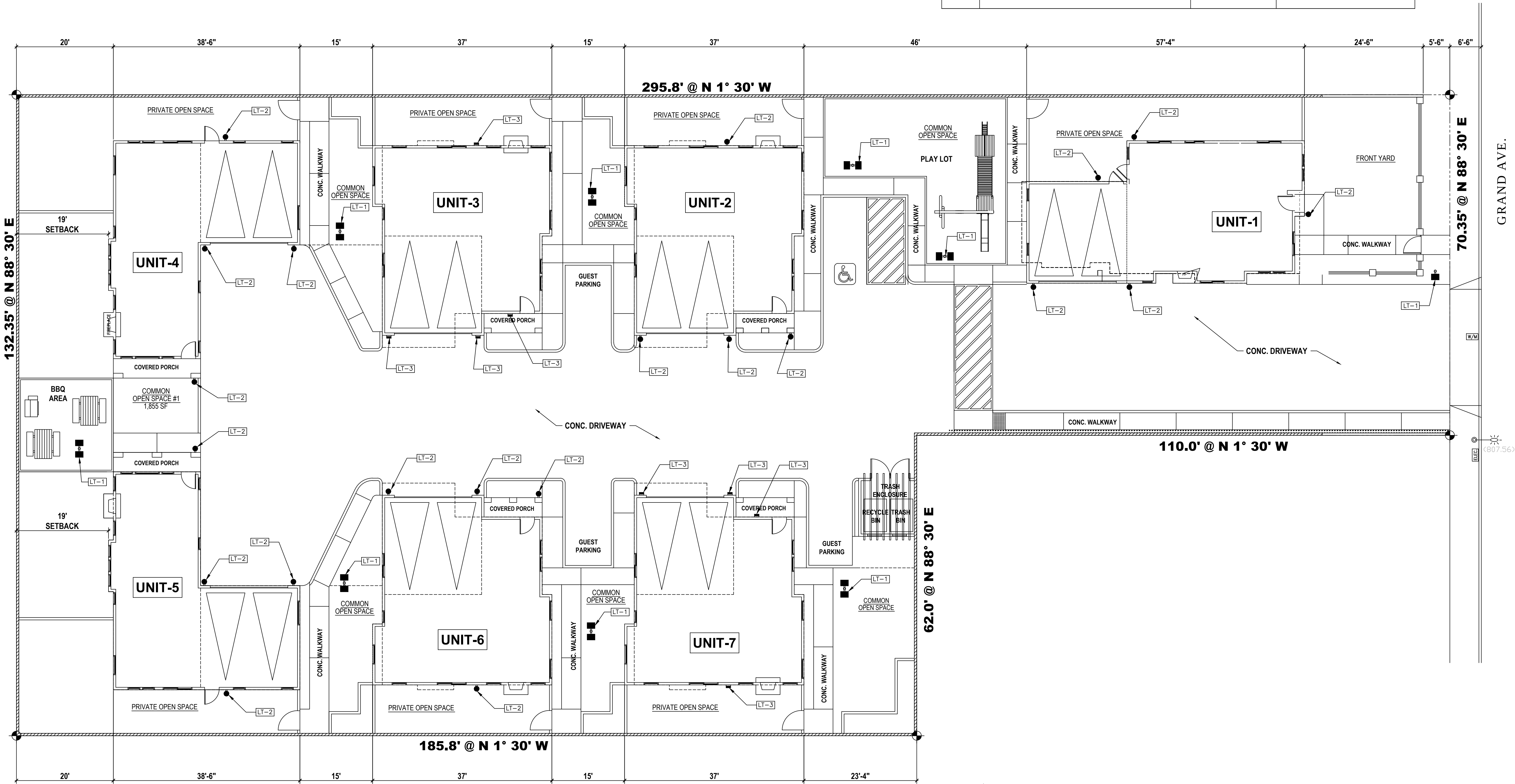
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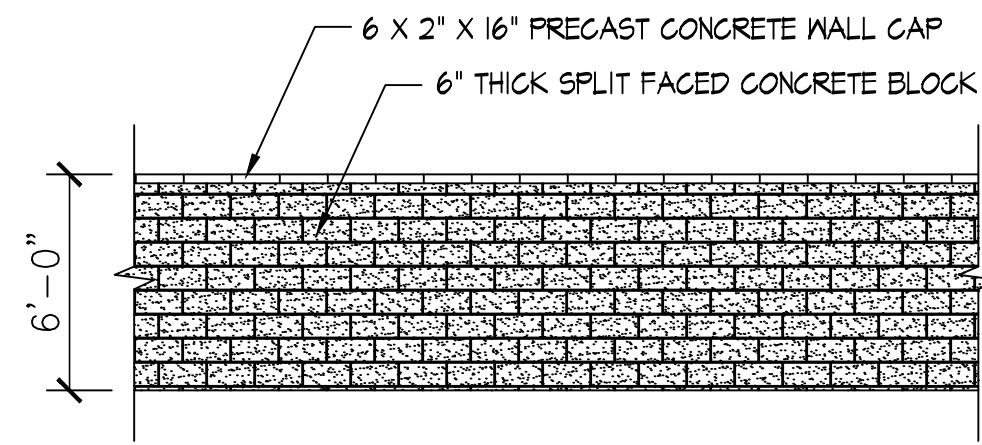
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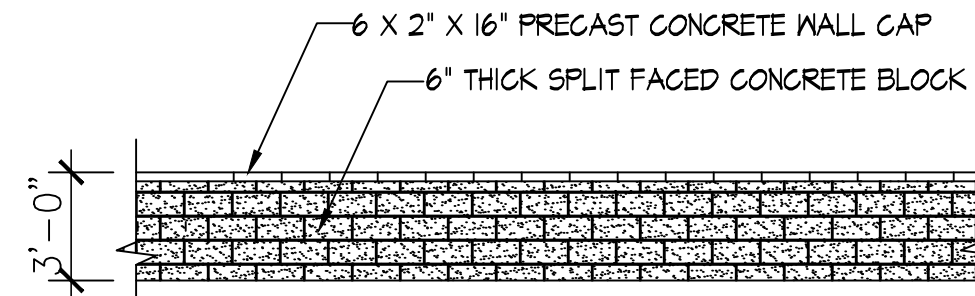
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A1.1

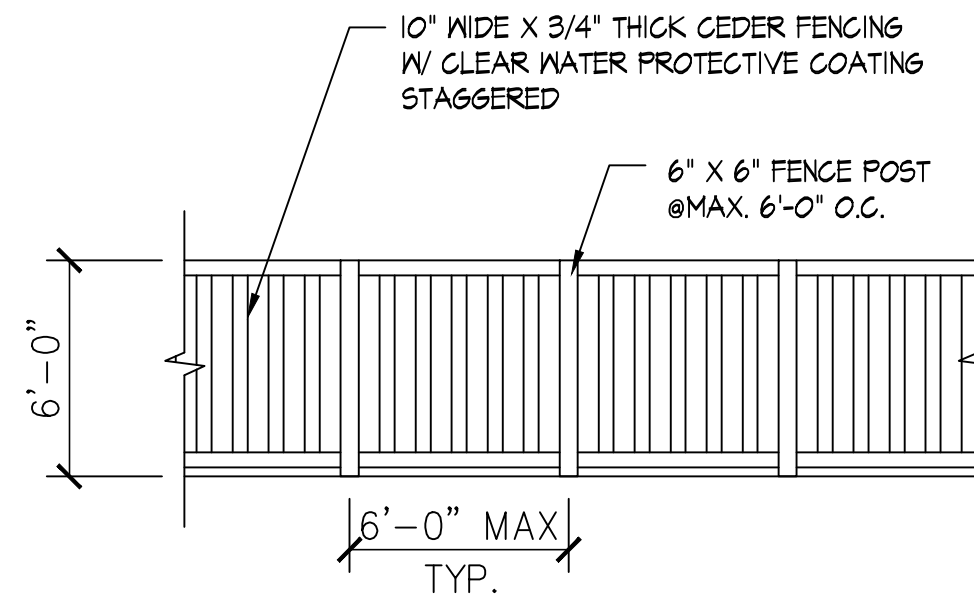




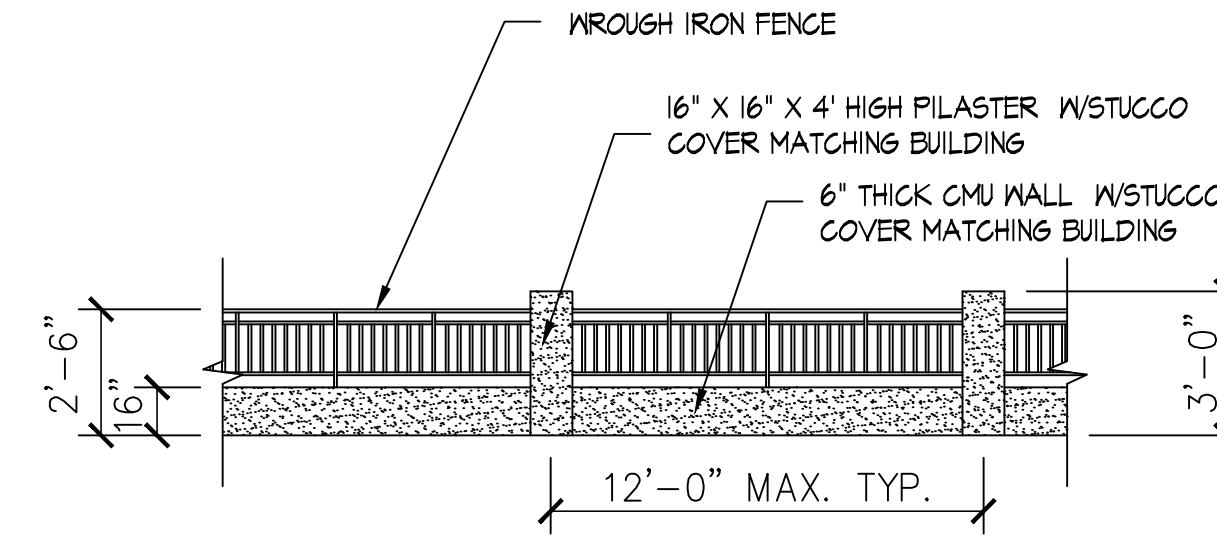
① 6' HIGH PERIMETER WALL



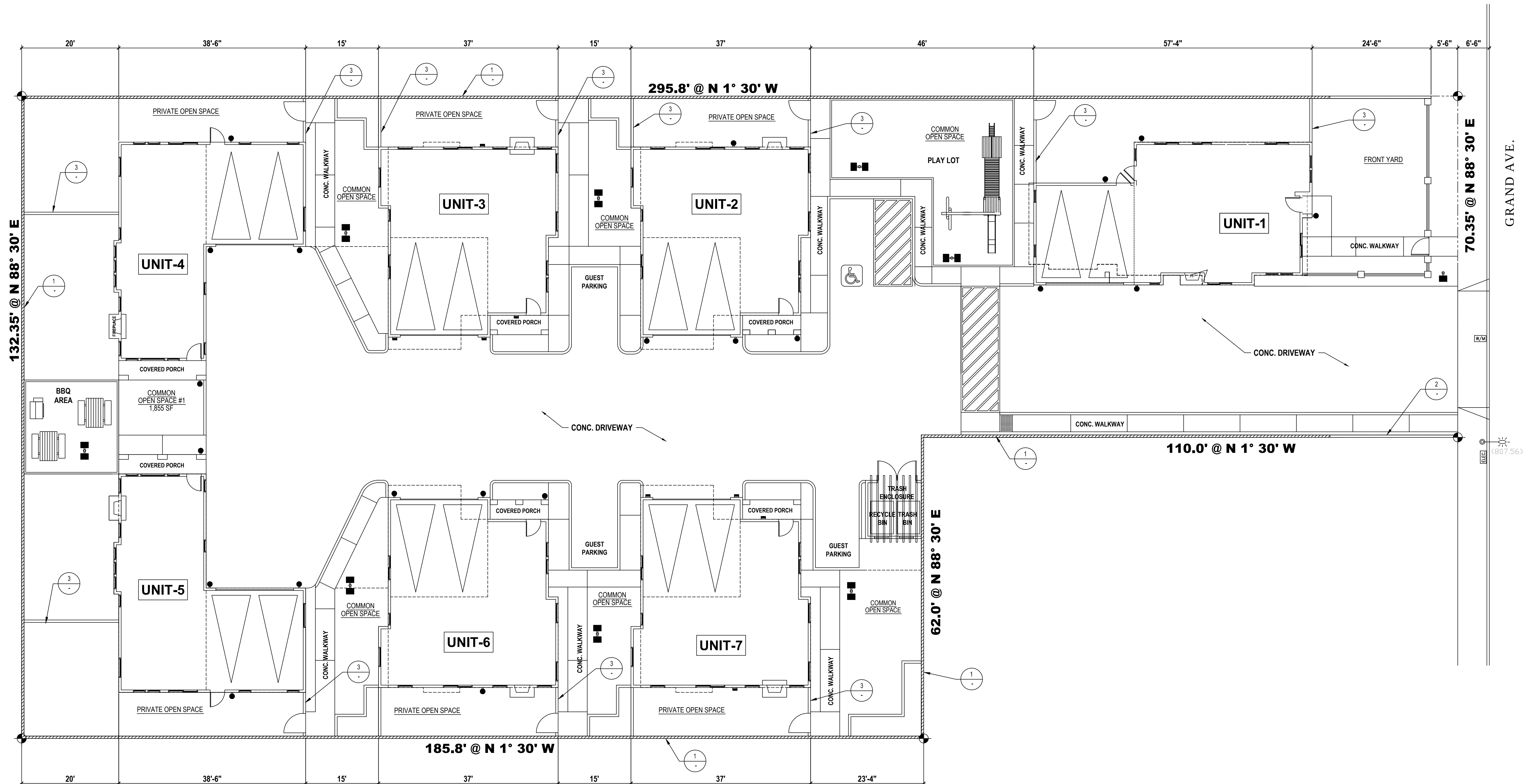
② 3' HIGH PERIMETER WALL



③ PERIMETER WOOD FENCE



④ FRONT YARD WALL



① SITE FENCING PLAN
SCALE: 1" = 10'-0"



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SITE FENCING PLAN

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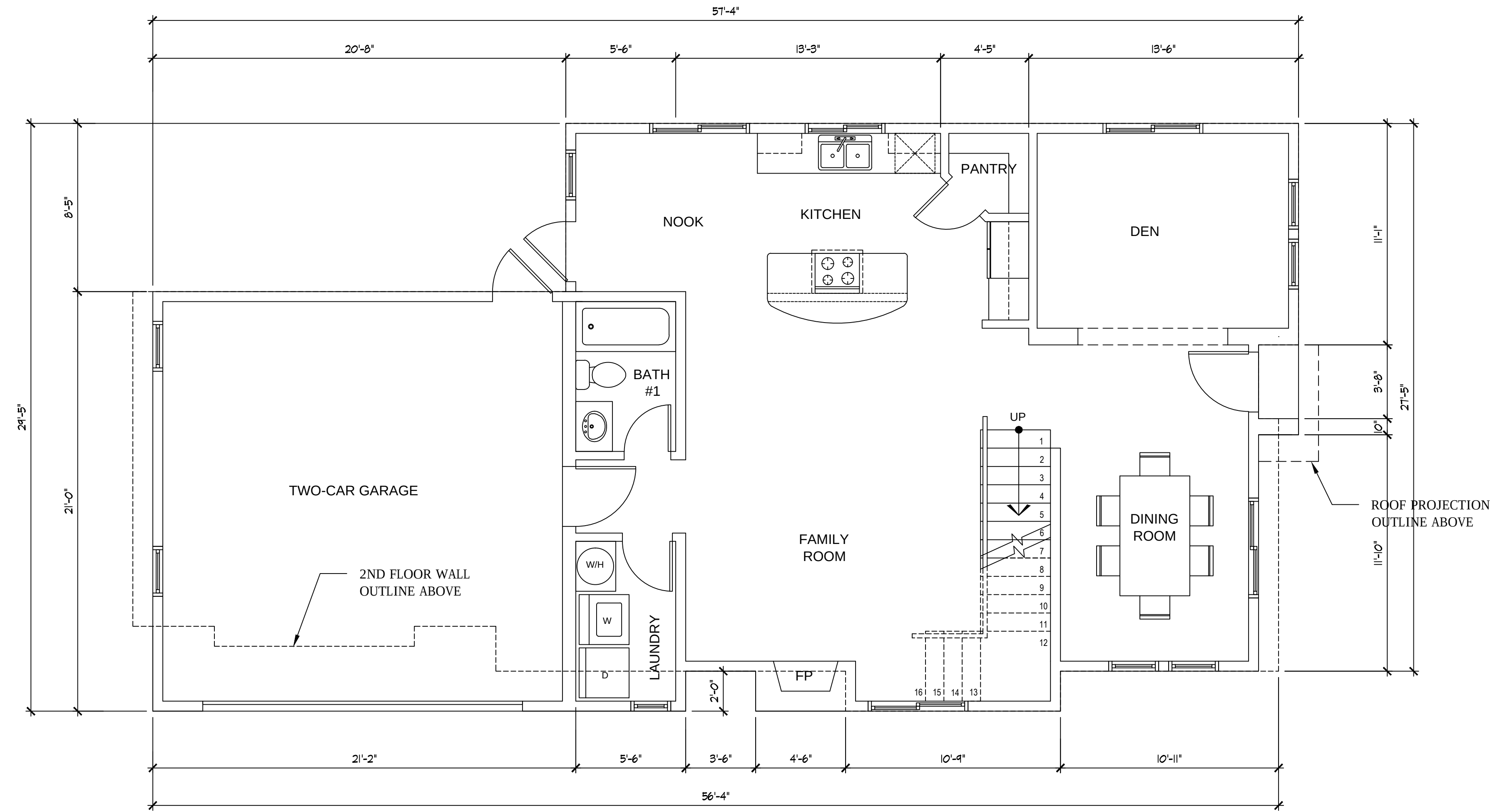
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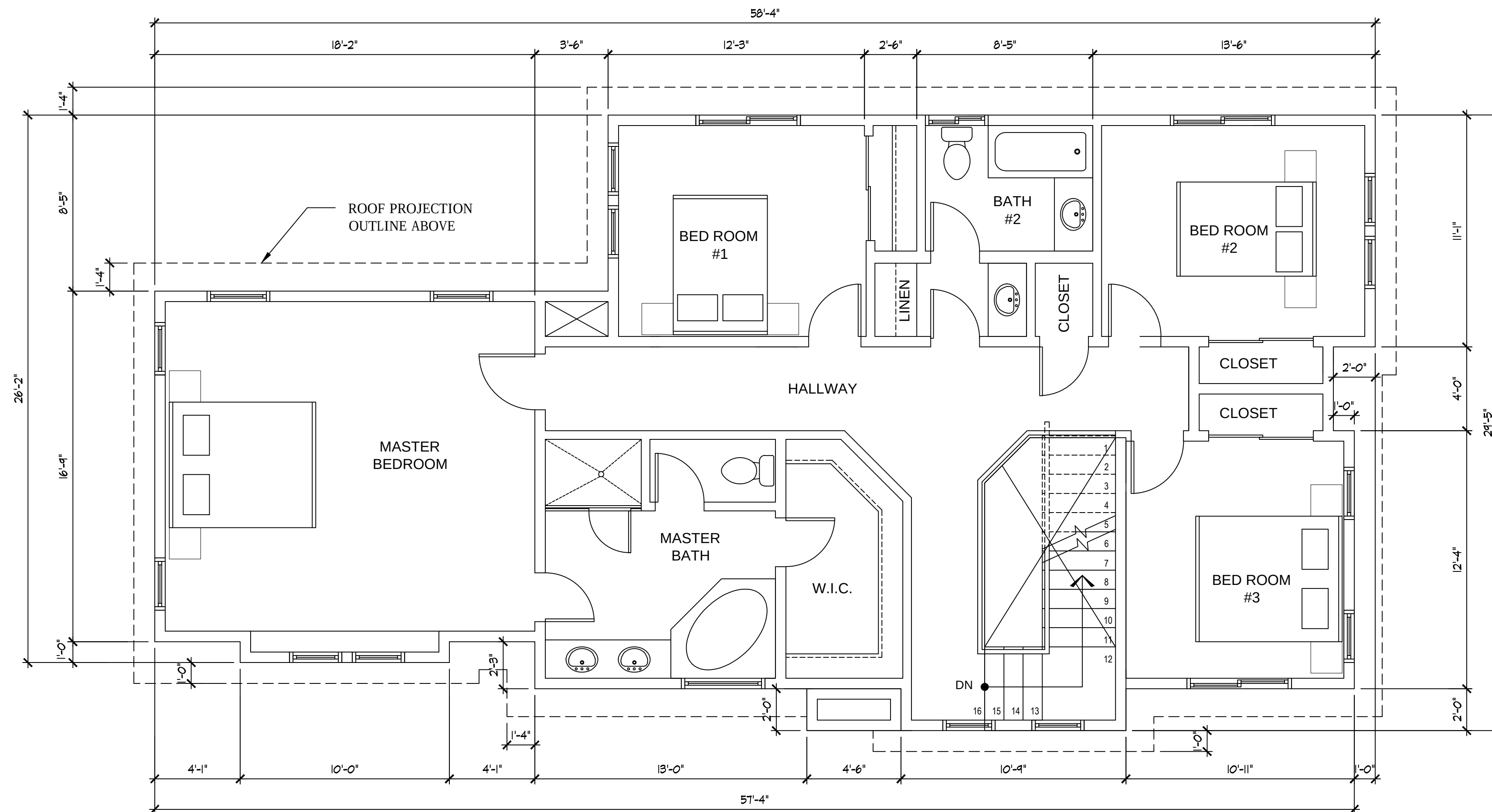
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Scale: AS SHOW
Date: 11.24.2014

Drawing No.

A1.3



A FIRST FLOOR PLAN - TYPE 'A'
SCALE: 1/4" = 1'-0"



B SECOND FLOOR PLAN - TYPE 'A'
SCALE: 1/4" = 1'-0"

Project:
7 UNITS CONDOMINIUM

1344 W. Grand Avenue
Pomona, CA 91766

Drawing Title

TYPE 'A'
FLOOR PLANS

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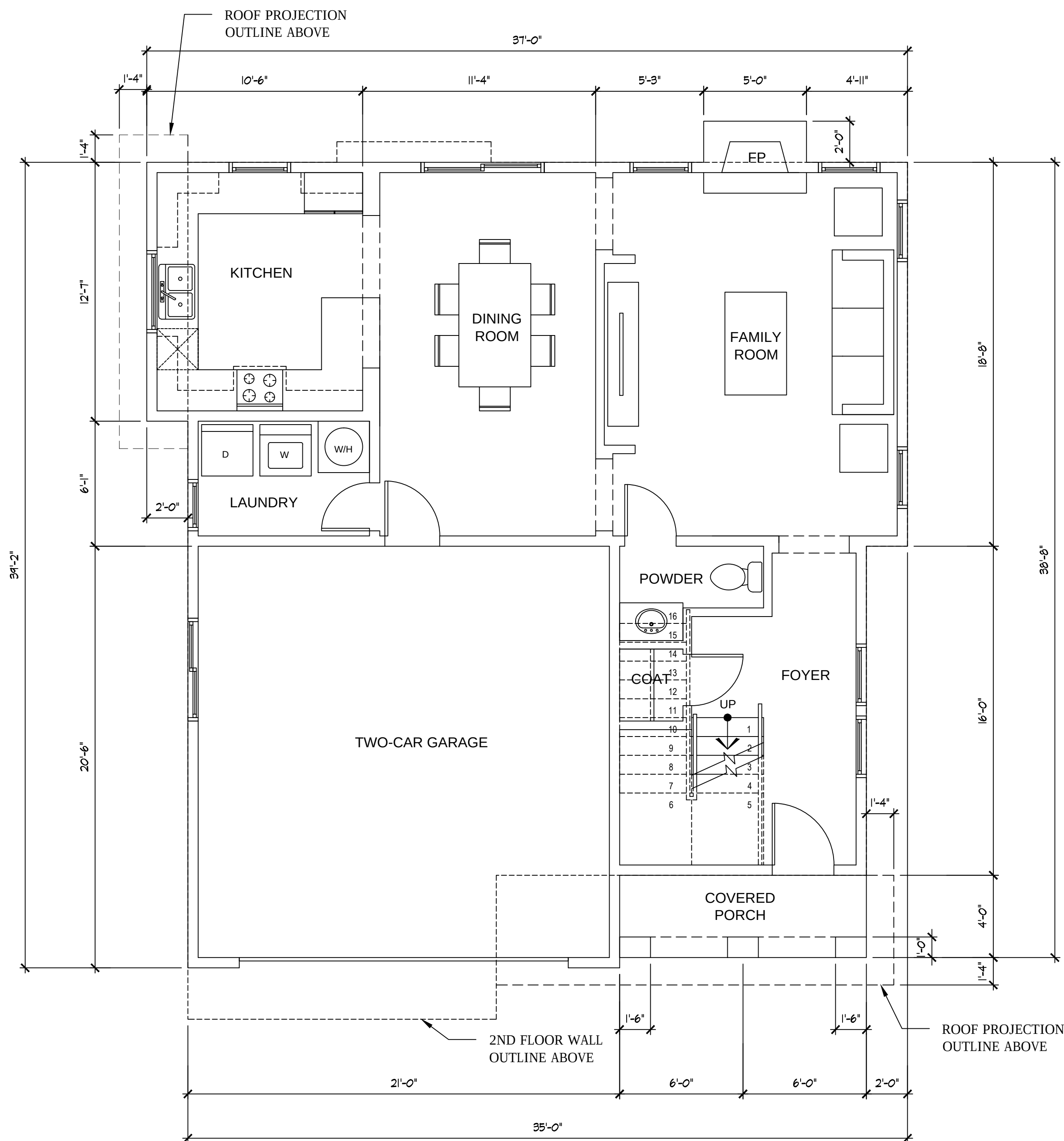
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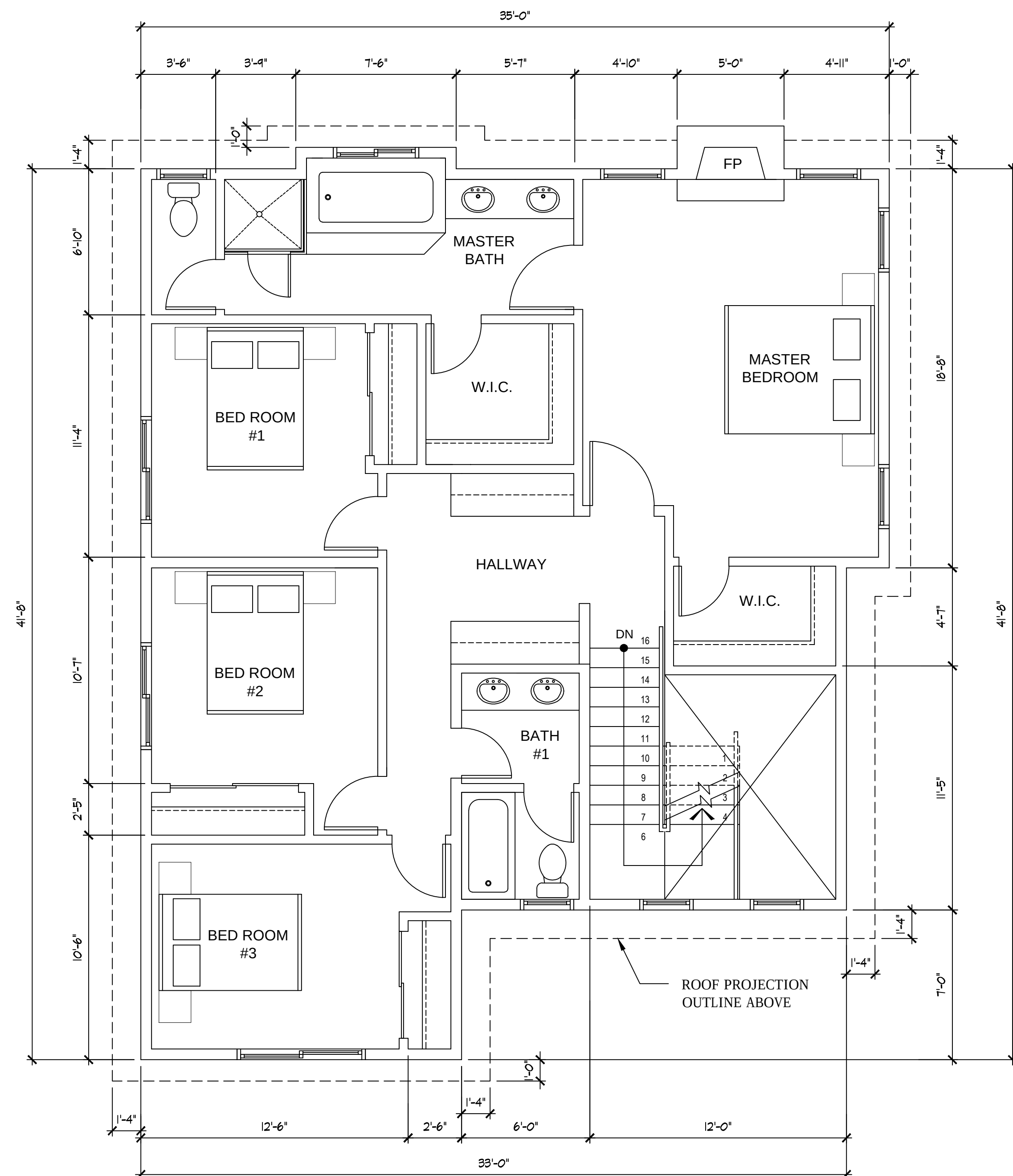
Drawn By: J.H.
Scale: AS SHOW
Date: 11.24.2014

Drawing No.

A2.0



A FIRST FLOOR PLAN - TYPE 'B' & 'B-R'
SCALE: 1/4" = 1'-0"



B SECOND FLOOR PLAN - TYPE 'B' & 'B-R'
SCALE: 1/4" = 1'-0"

Project:
7 UNITS CONDOMINIUM
1344 W. Grand Avenue
Pomona, CA 91766

Drawing Title
TYPE 'B' & 'B-R'
FLOOR PLANS

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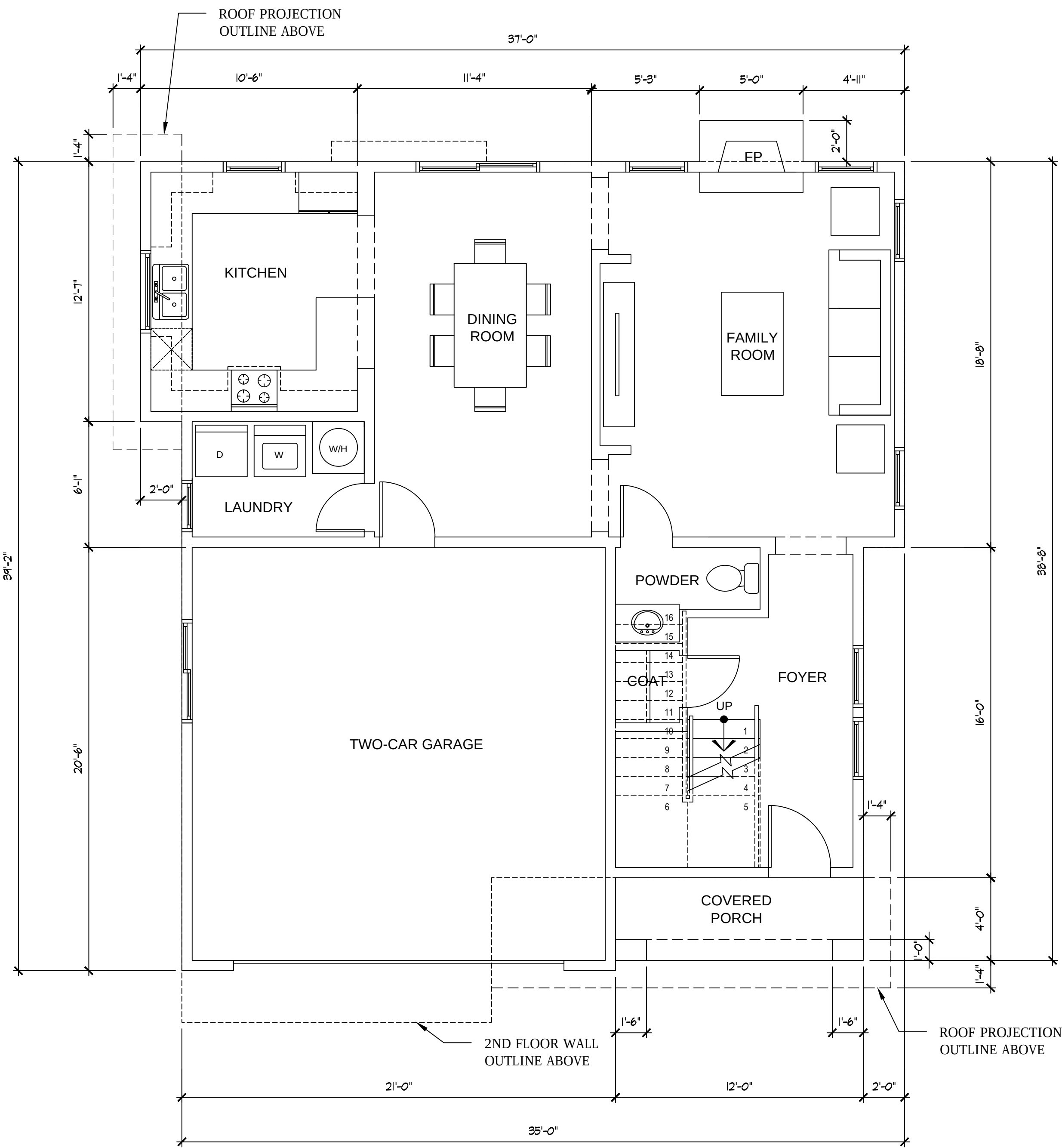
Revisions

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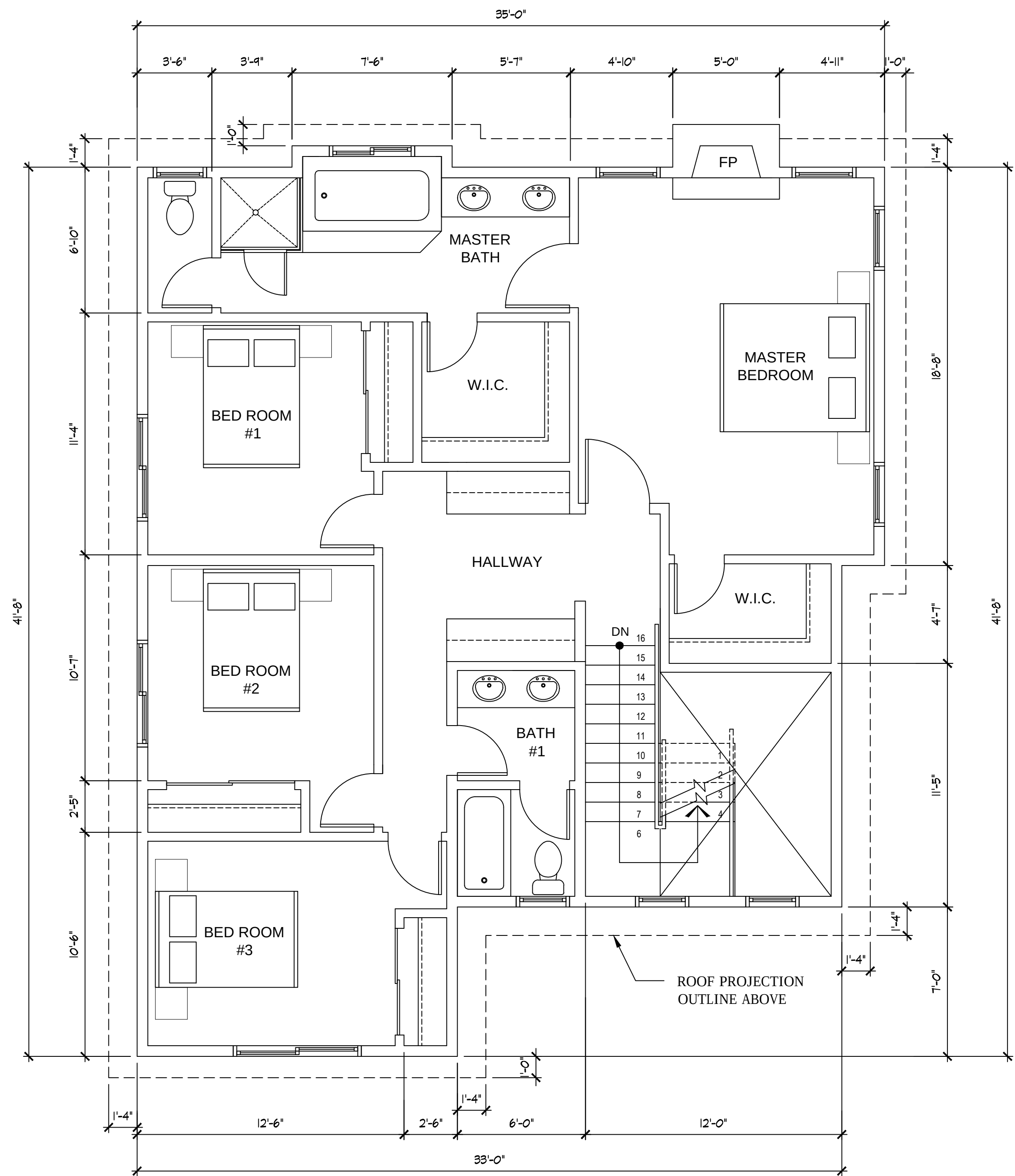
Drawn By: J.H.
Scale: AS SHOW
Date: 11.24.2014

Drawing No.

A2.1



A FIRST FLOOR PLAN - TYPE 'B1' & 'B1-R'
SCALE: 1/4" = 1'-0"



B SECOND FLOOR PLAN - TYPE 'B1' & 'B1-R'
SCALE: 1/4" = 1'-0"

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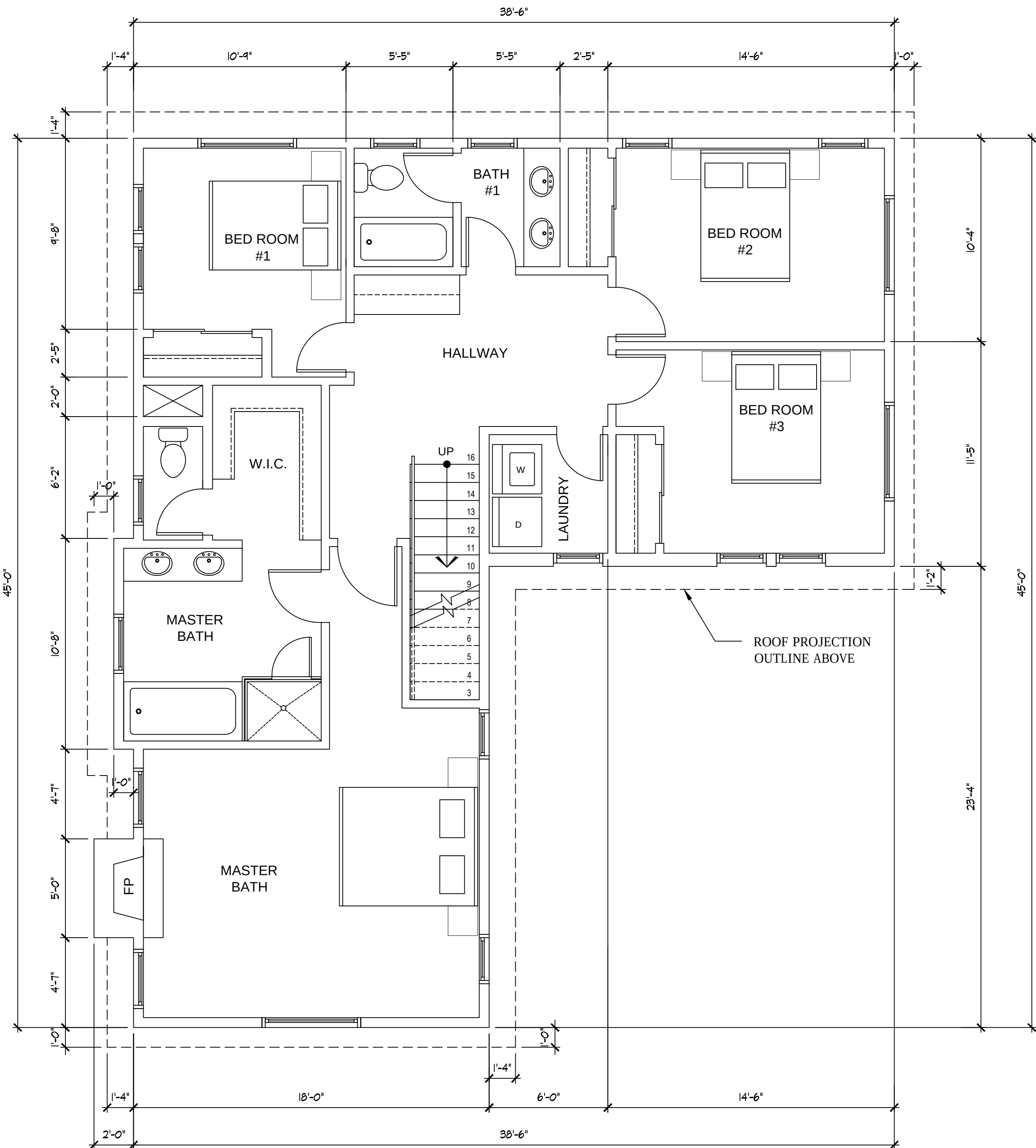
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Revisions

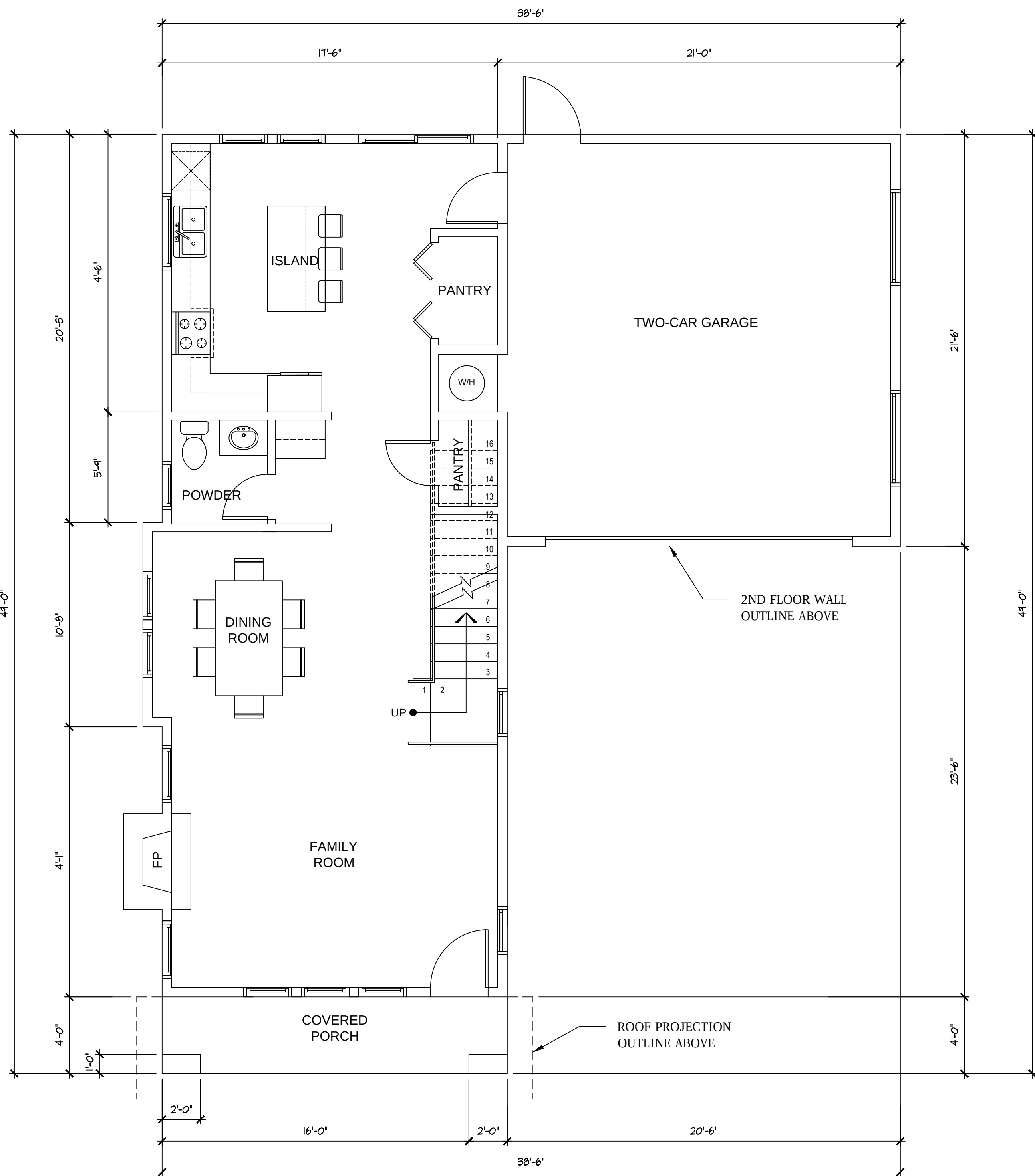
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Drawn By: J.H.
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Date: 11.24.2014

Drawing No.



A FIRST FLOOR PLAN - TYPE 'C'
SCALE: 1/4" = 1'-0"



B SECOND FLOOR PLAN - TYPE 'C'
SCALE: 1/4" = 1'-0"

Drawing Title
TYPE 'C'
FLOOR PLANS

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Designer
James Hu

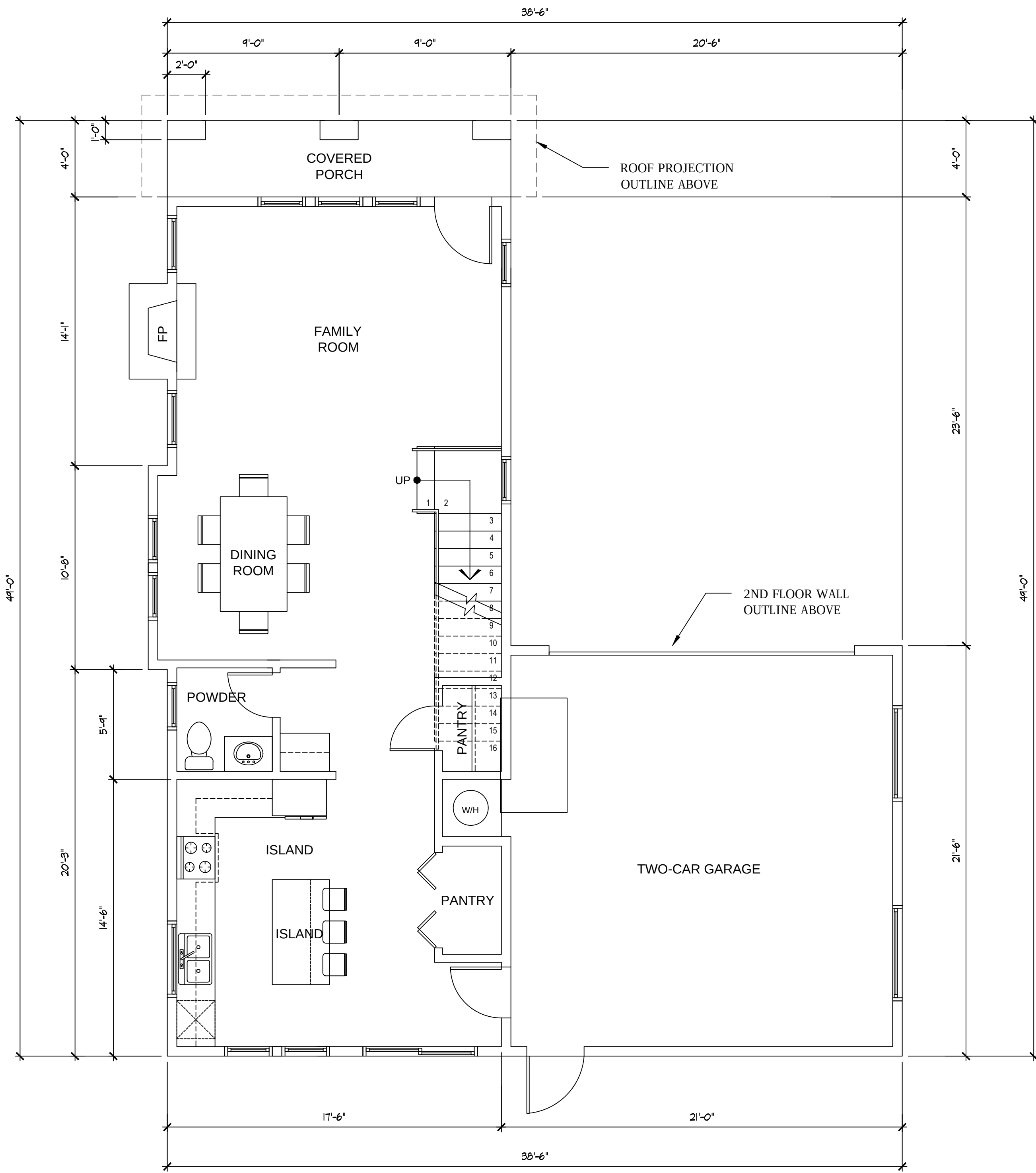
2440 S. Barrington Ave., #312
Los Angeles, CA 90064
(310) 736 - 8367

Revisions

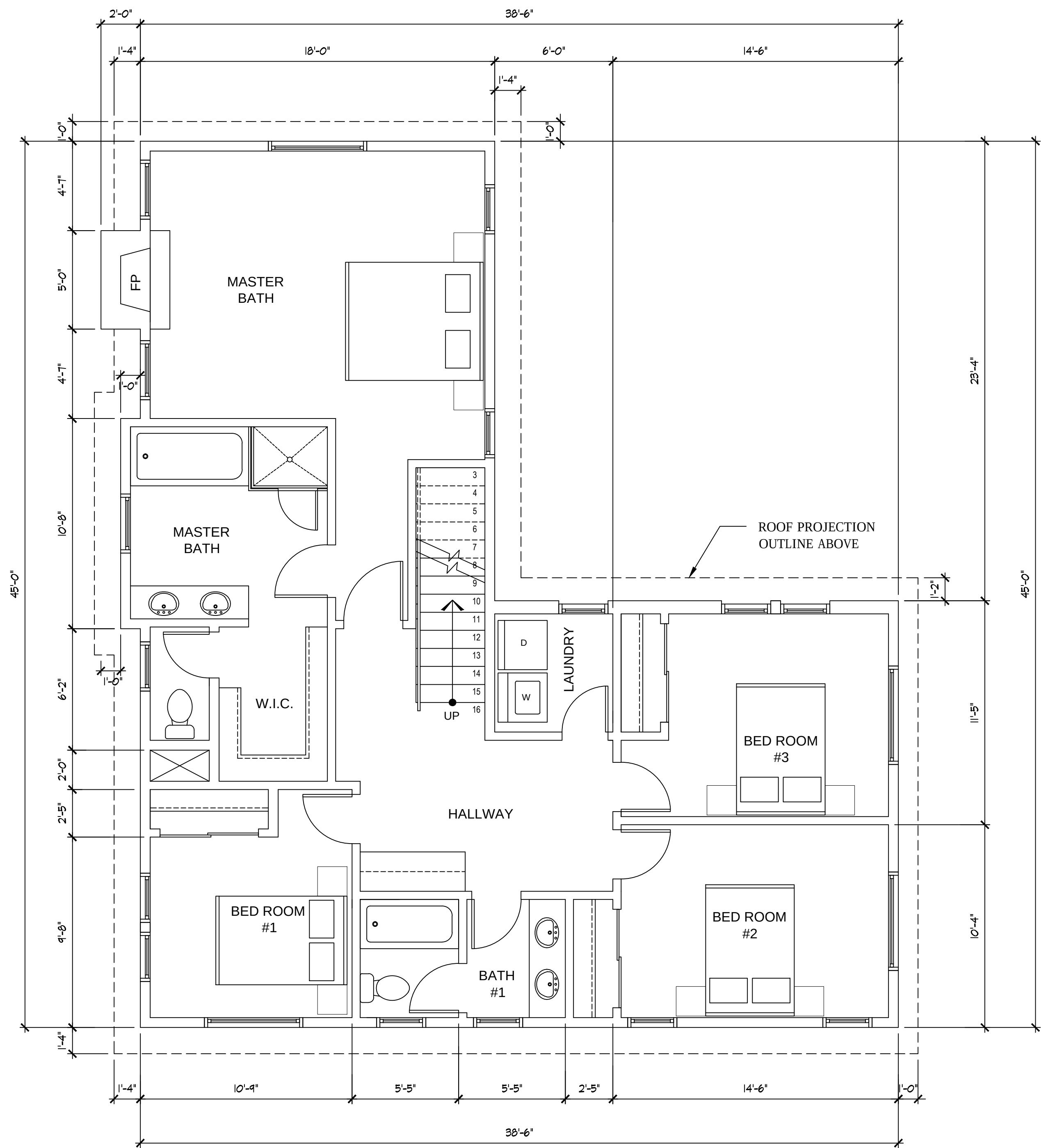
Project Address:
1344 W. GRAND AVENUE
POMONA, CA 91766
Assessor Parcel No:
8343-014-026

Drawn By: J.H.
Scale: AS SHOW
Date: 11.24.2014

Drawing No.



A FIRST FLOOR PLAN - TYPE 'C1'
SCALE: 1/4" = 1'-0"



B SECOND FLOOR PLAN - TYPE 'C1'
SCALE: 1/4" = 1'-0"

Drawing Title
TYPE 'C1'
FLOOR PLANS

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Designer
James Hu

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Revisions

Project Address:
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8343-014-026

Drawn By: J.H.
Scale: AS SHOW
Date: 11.24.2014

Drawing No.



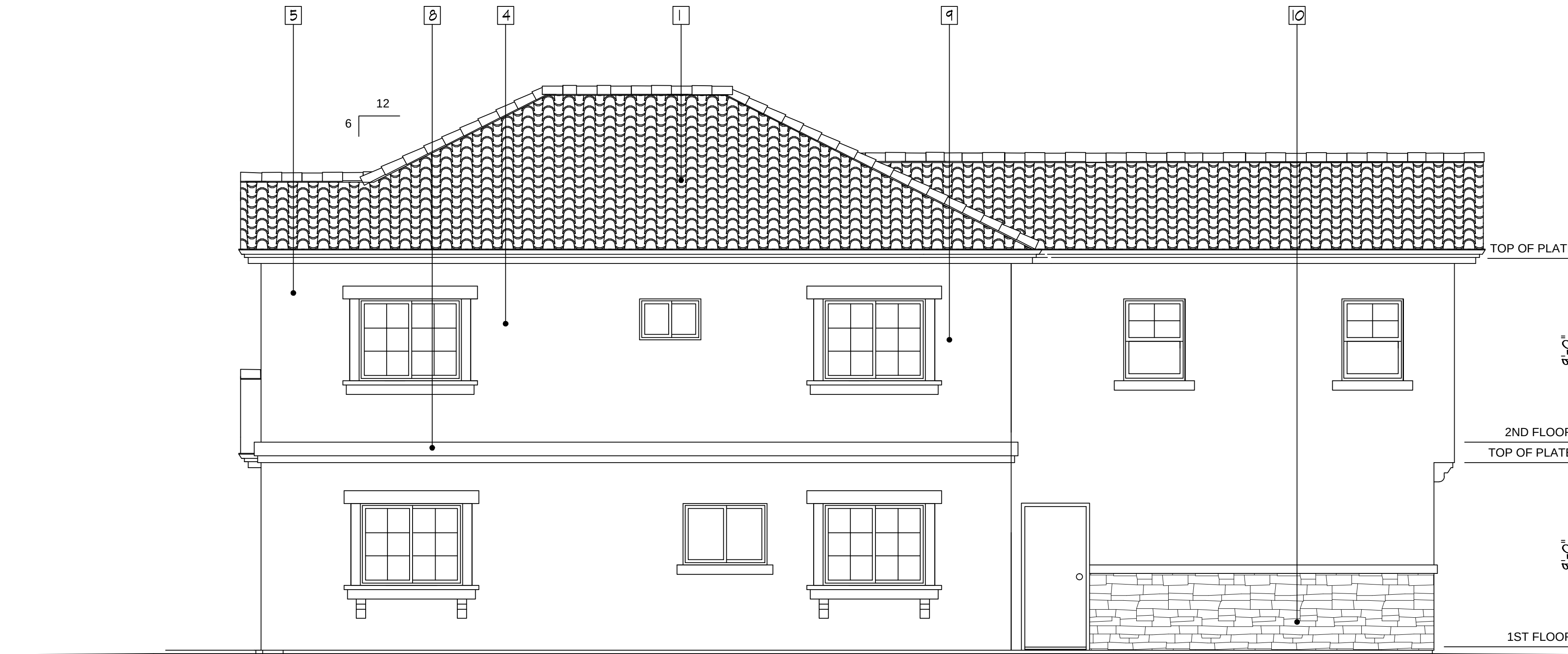
A REAR SIDE ELEVATION - TYPE 'A'
SCALE: 1/4" = 1'-0"



C FRONT SIDE ELEVATION - TYPE 'A'
SCALE: 1/4" = 1'-0"



B LEFT SIDE ELEVATION - TYPE 'A'
SCALE: 1/4" = 1'-0"



D RIGHT SIDE ELEVATION - TYPE 'A'
SCALE: 1/4" = 1'-0"

ALL WINDOWS ARE RECESSED 2" FROM EXTERIOR WALL FINISH SURFACE

KEYED LEGEND			
1	EAGLE ROOFING TILE, PRODUCT NO. 3123 NAME: ADOBE BLEND, STYLE: CAPISTRANO ICC# ESR- 1900	2	EAGLE ROOFING TILE, PRODUCT NO. SHET100, STAGGERED APPLICATION NAME: BENNINGTON BLEND, STYLE: AMERICAN HEIRLOOM ICC# ESR- 1900
3	EAGLE ROOFING TILE, PRODUCT NO. 5645 NAME: SUNRISE BLEND, STYLE: PONDEROSA ICC# ESR- 1900	4	EXTERIOR CEMENT PLASTER STUCCO, LA HABRA, X-82 HACIENDA (BASE 200) SAND FINISH
5	EXTERIOR CEMENT PLASTER STUCCO, LA HABRA, X-942 TUGSON (BASE 100) SAND FINISH	6	EXTERIOR CEMENT PLASTER STUCCO, LA HABRA, X-820 SILVERADO (BASE 100) SAND FINISH
7	EXTERIOR CEMENT PLASTER STUCCO, LA HABRA, X-501 CORTEZ (BASE 200) SAND FINISH	8	EXTERIOR CEMENT PLASTER STUCCO, LA HABRA, X-86 SANDSTONE (BASE 200) SAND FINISH
9	TYPICAL WINDOW, MILGARD TUSCANY SERIES, VINYL CLAD WINDOW FACTORY FINISH WHITE, RECESSED 2" FROM EXTERIOR WALL SURFACE.	10	STONE VENEER, CORONADO STONE PRODUCTS, IDAHO DRYSTACK, COLOR: CARMEL MOUNTAIN
11	STONE VENEER, CORONADO STONE PRODUCTS, DESERT RIDGE, COLOR: SUNHILL BLEND	12	VINYL SIDING, GEORGIA PACIFIC, FOREST RIDGE, COLOR: PEARL
12	CHIMNEY IV SPARK ARRESTOR		

Project:

7 UNITS CONDOMINIUM

Drawing Title

TYPE 'A'
ELEVATIONS

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Designer

James Hu

2440 S. Barrington Ave., #312
Los Angeles, CA 90064

(310) 736 - 8367

Revisions

Project Address:
1344 W. GRAND AVENUE
POMONA, CA 91766
Assessor Parcel No:
8343-014-026

Drawn By: J.H.
Scale: AS SHOW
Date: 11.24.2014

Drawing No.

A3.0

1344 W. Grand Avenue
Pomona, CA 91766



A REAR SIDE ELEVATION - TYPE 'B' & 'B-R'
SCALE: 1/4" = 1'-0"



B LEFT SIDE ELEVATION - TYPE 'B' & 'B-R'
SCALE: 1/4" = 1'-0"



C FRONT SIDE ELEVATION - TYPE 'B' & 'B-R'
SCALE: 1/4" = 1'-0"



D RIGHT SIDE ELEVATION - TYPE 'B' & 'B-R'
SCALE: 1/4" = 1'-0"

KEYED LEGEND			
1	EAGLE ROOFING TILE, PRODUCT NO. 3123 NAME: ADOBE BLEND, STYLE: CARISTRANO ICCA ESR- 1900	2	EAGLE ROOFING TILE, PRODUCT NO. SHERT00, STAGGERED APPLICATION NAME: BENNINGTON BLEND, STYLE: AMERICAN HEIRLOOM ICCA ESR- 1900
3	EAGLE ROOFING TILE, PRODUCT NO. 5645 NAME: SUNRISE BLEND, STYLE: PONDEROSA ICCA ESR- 1900	4	EXTERIOR CEMENT PLASTER STUCCO: LA HABRA, X-82 HACIENDA (BASE 200) SAND FINISH
5	EXTERIOR CEMENT PLASTER STUCCO: LA HABRA, X-82 TUCSON (BASE 100) SAND FINISH	6	EXTERIOR CEMENT PLASTER STUCCO: LA HABRA, X-820 SILVERADO (BASE 100) SAND FINISH
7	EXTERIOR CEMENT PLASTER STUCCO: LA HABRA, X-501 CORTEZ (BASE 200) SAND FINISH	8	EXTERIOR CEMENT PLASTER STUCCO: LA HABRA, X-86 SANDSTONE (BASE 200) SAND FINISH
9	TYPICAL WINDOW, MILGARD TUSCANY SERIES, VINYL GLAD WINDOW FACTORY FINISH WHITE. RECESSED 2" FROM EXTERIOR WALL SURFACE.	10	STONE VENEER: CORONADO STONE PRODUCTS, IDAHO DRYSTACK COLOR: GARMEL MOUNTAIN
11	STONE VENEER: CORONADO STONE PRODUCTS, DESERT RIDGE COLOR: SUNHILL BLEND	12	VINYL SIDING: GEORGIA PACIFIC, FOREST RIDGE COLOR: PEARL
13	CHIMNEY IV SPARK ARRESTOR		

ALL WINDOWS ARE RECESSED 2" FROM EXTERIOR WALL FINISH SURFACE

Project:

7 UNITS CONDOMINIUM

Drawing Title

TYPE 'B' & 'B-R'
ELEVATIONS

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Designer

James Hu

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Los Angeles, CA 90064

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Revisions

Project Address:
1344 W. GRAND AVENUE
POMONA, CA 91766
Assessor Parcel No:
8343-014-026

Drawn By: J.H.
Scale: AS SHOW
Date: 11.24.2014

Drawing No.

A3.1

1344 W. Grand Avenue
Pomona, CA 91766



A REAR SIDE ELEVATION - TYPE 'B1' & 'B1-R'
SCALE: 1/4" = 1'-0"



B LEFT SIDE ELEVATION - TYPE 'B1' & 'B1-R'
SCALE: 1/4" = 1'-0"



C FRONT SIDE ELEVATION - TYPE 'B1' & 'B1-R'
SCALE: 1/4" = 1'-0"



D RIGHT SIDE ELEVATION - TYPE 'B1' & 'B1-R'
SCALE: 1/4" = 1'-0"

KEYED LEGEND			
1	EAGLE ROOFING TILE, PRODUCT NO. 3723 NAME: ADOBE BLEND, STYLE: CALISTRAND 1204 ESR-1400	2	EAGLE ROOFING TILE, PRODUCT NO. SHERIDG, STAGGERED APPLICATION NAME: BENNINGTON BLEND, STYLE: AMERICAN HEIRLOOM 1204 ESR-1400
3	EAGLE ROOFING TILE, PRODUCT NO. 3645 NAME: SANJSE BLEND, STYLE: PONDEROSA 1204 ESR-1400	4	EXTERIOR CEMENT PLASTER STUCCO: LA HABRA, X-82 HACIENDA (BASE 200) SAND FINISH
5	EXTERIOR CEMENT PLASTER STUCCO: LA HABRA, X-542 TUCSON (BASE 100) SAND FINISH	6	EXTERIOR CEMENT PLASTER STUCCO: LA HABRA, X-820 SILVERADO (BASE 100) SAND FINISH
7	EXTERIOR CEMENT PLASTER STUCCO: LA HABRA, X-501 CORTAZ (BASE 200) SAND FINISH	8	EXTERIOR CEMENT PLASTER STUCCO: LA HABRA, X-86 SANDSTONE (BASE 200) SAND FINISH
9	TYPICAL WINDOW, MILBARD TUSCANY SERIES, VINYL CLAD WINDOW FACTORY FINISH WHITE, RECESSED 2" FROM EXTERIOR WALL SURFACE.	10	STONE VENEER, CORONADO STONE PRODUCTS, IDAHO DRYSTACK COLOR: CARMEL MOUNTAIN
11	STONE VENEER, CORONADO STONE PRODUCTS, DESERT RIDGE COLOR: SUNHILL BLEND	12	VINYL SIDING, GEORGIA PACIFIC, FOREST RIDGE COLOR: PEARL
13	CHIMNEY IV SPARK ARRESTOR		

ALL WINDOWS ARE RECESSED 2" FROM EXTERIOR WALL FINISH SURFACE

Project:

7 UNITS CONDOMINIUM

Drawing Title

TYPE 'B1' & 'B1-R'
ELEVATIONS

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Designer

James Hu

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Los Angeles, CA 90064

(310) 736 - 8367

Revisions

Project Address:
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POMONA, CA 91766
Assessor Parcel No:
8343-014-026

Drawn By: J.H.
Scale: AS SHOW
Date: 11.24.2014

Drawing No.

A3.2

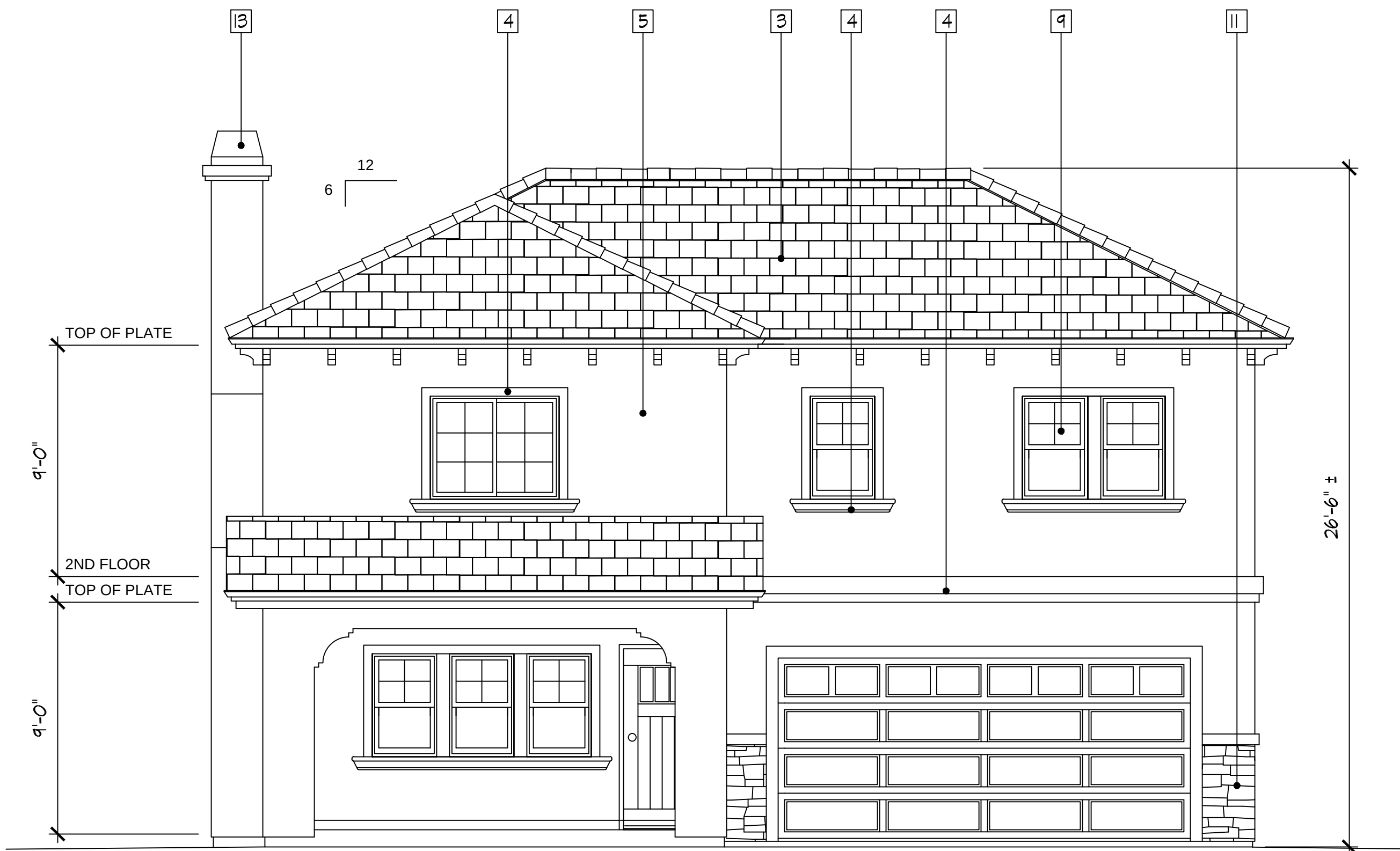
1344 W. Grand Avenue
Pomona, CA 91766



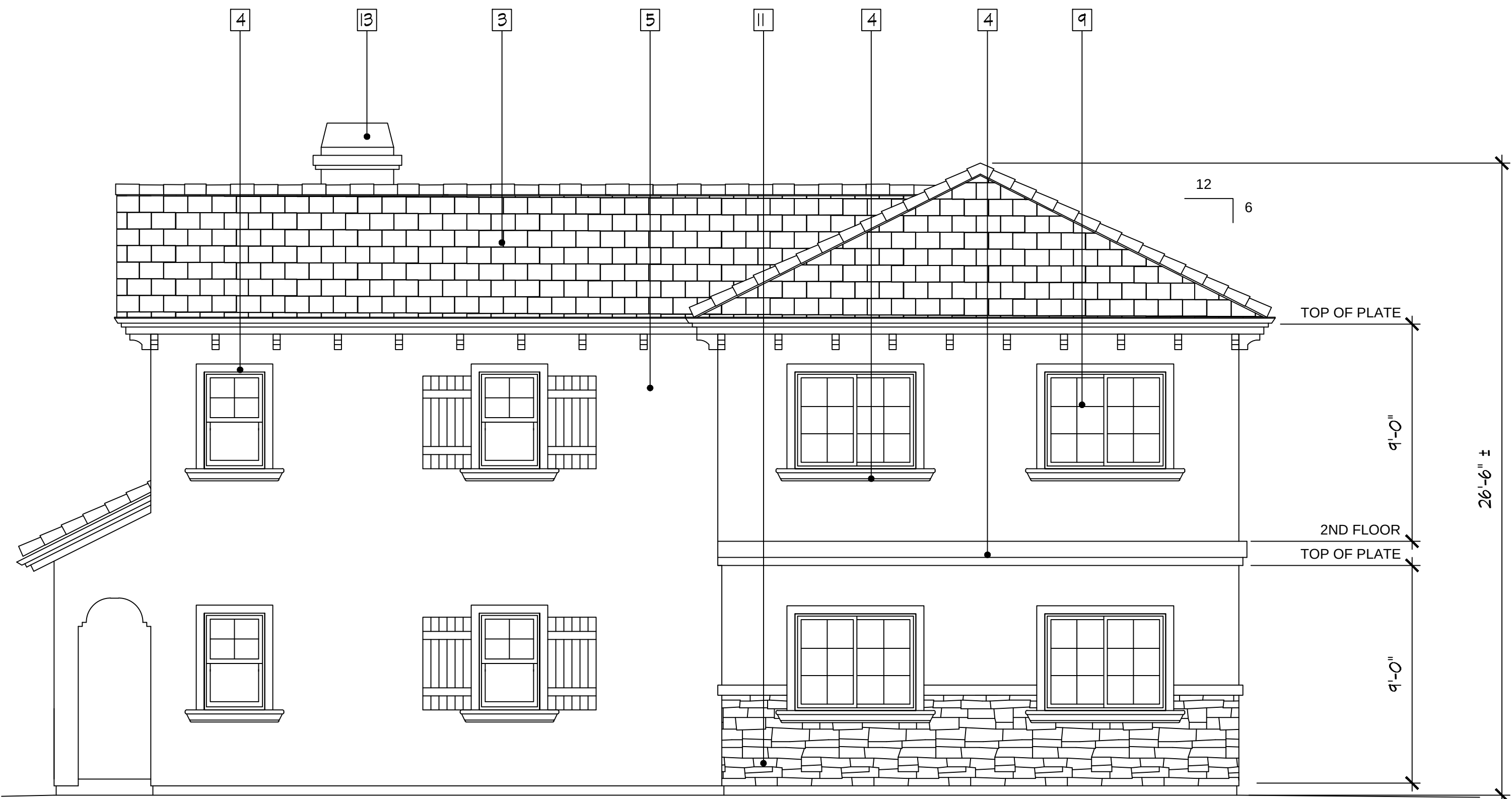
A REAR SIDE ELEVATION - TYPE 'C'
SCALE: 1/4" = 1'-0"



B LEFT SIDE ELEVATION - TYPE 'C'
SCALE: 1/4" = 1'-0"



C FRONT SIDE ELEVATION - TYPE 'C'
SCALE: 1/4" = 1'-0"



D RIGHT SIDE ELEVATION - TYPE 'C'
SCALE: 1/4" = 1'-0"

KEYED LEGEND			
1	EAGLE ROOFING TILE, PRODUCT NO. 9723 NAME: ADOS BLEND, STYLE: CAPSTRAND 1004 ESR- 1900	2	EAGLE ROOFING TILE, PRODUCT NO. SHERTOO, STAGGERED APPLICATION NAME: BENNINGTON BLEND, STYLE: AMERICAN HERLOOM 1004 ESR- 1900
3	EAGLE ROOFING TILE, PRODUCT NO. 9645 NAME: SUNRISE BLEND, STYLE: PONDEROSA 1004 ESR- 1900	4	EXTERIOR CEMENT PLASTER STUCCO, LA HABRA, X-82 HACIENDA (BASE 200) SAND FINISH
5	EXTERIOR CEMENT PLASTER STUCCO, LA HABRA, X-592 TUCSON (BASE 100) SAND FINISH	6	EXTERIOR CEMENT PLASTER STUCCO, LA HABRA, X-820 SILVERADO (BASE 100) SAND FINISH
7	EXTERIOR CEMENT PLASTER STUCCO, LA HABRA, X-501 CORTEZ (BASE 200) SAND FINISH	8	EXTERIOR CEMENT PLASTER STUCCO, LA HABRA, X-86 SANDSTONE (BASE 200) SAND FINISH
9	TYPICAL WINDOW, 'MILSARD TUSCANY' SERIES, VINYL GLAD WINDOW FACTORY FINISH WHITE, RECESSED 2" FROM EXTERIOR WALL SURFACE	10	STONE VENEER, CORONADO STONE PRODUCTS, IDAHO DRYSTACK COLOR: CARMEL MOUNTAIN
11	STONE VENEER, CORONADO STONE PRODUCTS, DESERT RIDGE COLOR: SUNHILL BLEND	12	VINYL SIDING, GEORGIA PACIFIC, FOREST RIDGE COLOR: PEARL
13	CHIMNEY W/ SPARK ARRESTOR		

ALL WINDOWS ARE RECESSED 2" FROM EXTERIOR WALL FINISH SURFACE

Project:
7 UNITS CONDOMINIUM
1344 W. Grand Avenue
Pomona, CA 91766

Drawing Title

TYPE 'C'
ELEVATIONS

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Designer
James Hu

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Los Angeles, CA 90064

(310) 736 - 8367

Revisions

Project Address:
1344 W. GRAND AVENUE
POMONA, CA 91766
Assessor Parcel No:
8343-014-026

Drawn By: J.H.
Scale: AS SHOW
Date: 11.24.2014

Drawing No.

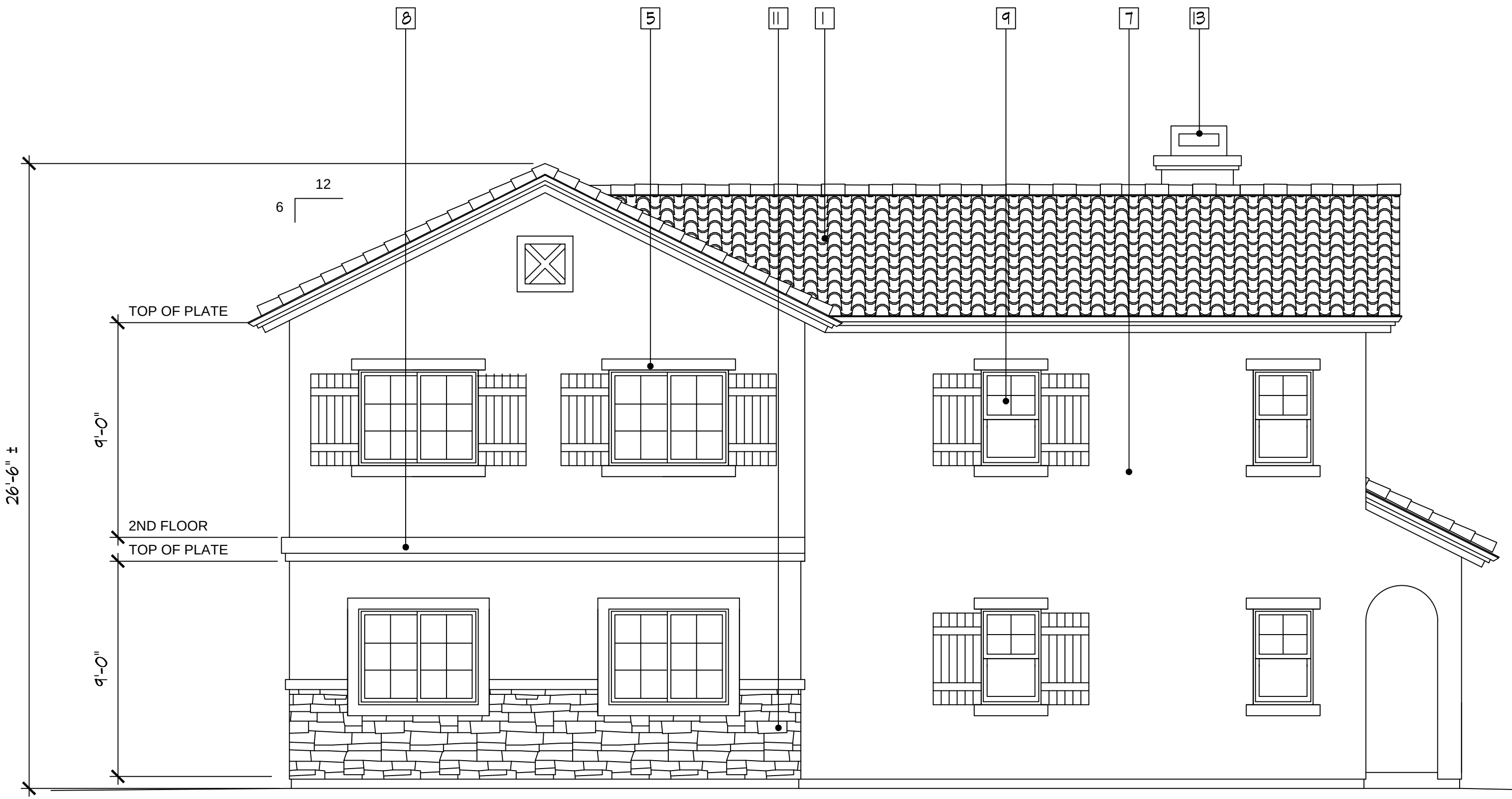
A3.3

ALL WINDOWS ARE RECESSED 2" FROM EXTERIOR WALL FINISH SURFACE

KEYED LEGEND			
1	EAGLE ROOFING TILE, PRODUCT NO. 9123 NAME: ADOBE BLEND, STYLE: CAPISTRANO ICC# ESR- 1900	2	EAGLE ROOFING TILE, PRODUCT NO. 9123, STAGGERED APPLICATION NAME: BENNINGTON BLEND, STYLE: AMERICAN HEIRLOOM ICC# ESR- 1900
3	EAGLE ROOFING TILE, PRODUCT NO. 9645 NAME: SUNRISE BLEND, STYLE: PONDEROSA ICC# ESR- 1900	4	EXTERIOR CEMENT PLASTER STUCCO, LA HABRA, X-82 HACIENDA (BASE 200) SAND FINISH
5	EXTERIOR CEMENT PLASTER STUCCO, LA HABRA, X-842 TUCSON (BASE 100) SAND FINISH	6	EXTERIOR CEMENT PLASTER STUCCO, LA HABRA, X-820 SILVERADO (BASE 100) SAND FINISH
7	EXTERIOR CEMENT PLASTER STUCCO, LA HABRA, X-501 CORTEZ (BASE 200) SAND FINISH	8	EXTERIOR CEMENT PLASTER STUCCO, LA HABRA, X-86 SANDSTONE (BASE 200) SAND FINISH
9	TYPICAL WINDOW, MILGARD TUSCANY SERIES, VINYL CLAD WINDOW FACTORY FINISH WHITE, RECESSED 2" FROM EXTERIOR WALL SURFACE.	10	STONE VENEER, CORONADO STONE PRODUCTS, IDAHO DRYSTACK COLOR: CARMEL MOUNTAIN
11	STONE VENEER, CORONADO STONE PRODUCTS, DESERT RIDGE COLOR: SUNHILL BLEND	12	VINYL SIDING, GEORGIA PACIFIC, FOREST RIDGE COLOR: PEARL
13	CHIMNEY IV SPARK ARRESTOR		



A REAR SIDE ELEVATION - TYPE 'C1'
SCALE: 1/4" = 1'-0"



B LEFT SIDE ELEVATION - TYPE 'C1'
SCALE: 1/4" = 1'-0"



C FRONT SIDE ELEVATION - TYPE 'C1'
SCALE: 1/4" = 1'-0"



D RIGHT SIDE ELEVATION - TYPE 'C1'
SCALE: 1/4" = 1'-0"

Project:

7 UNITS CONDOMINIUM

Drawing Title

TYPE 'C1'
ELEVATIONS

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Designer

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Revisions

Project Address:
1344 W. GRAND AVENUE
POMONA, CA 91766
Assessor Parcel No:
8343-014-026

Drawn By: J.H.
Scale: AS SHOW
Date: 11.24.2014

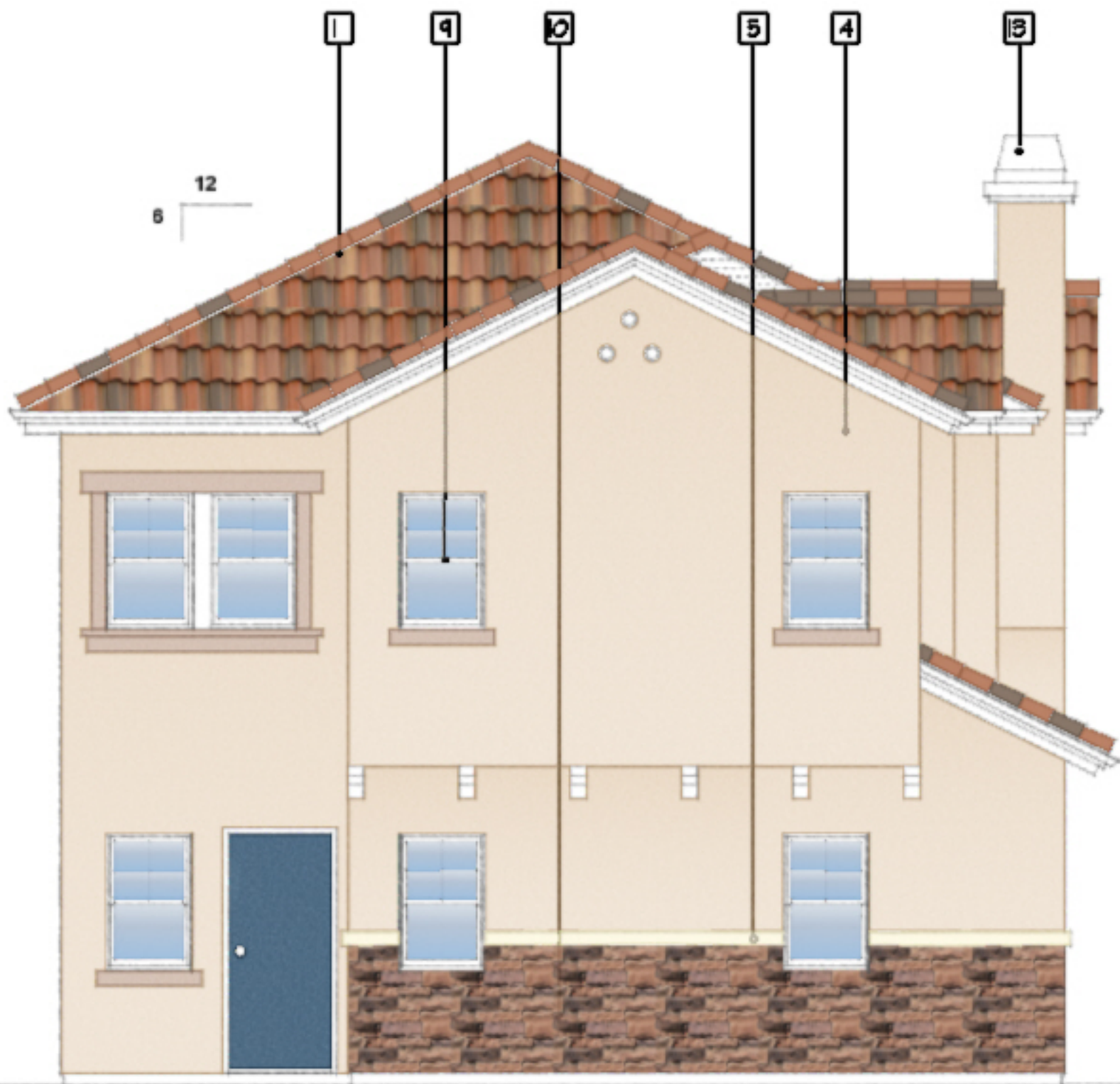
Drawing No.

A3.4

1344 W. Grand Avenue
Pomona, CA 91766

ALL WINDOWS ARE RECESSED 2" FROM EXTERIOR WALL FINISH SURFACE

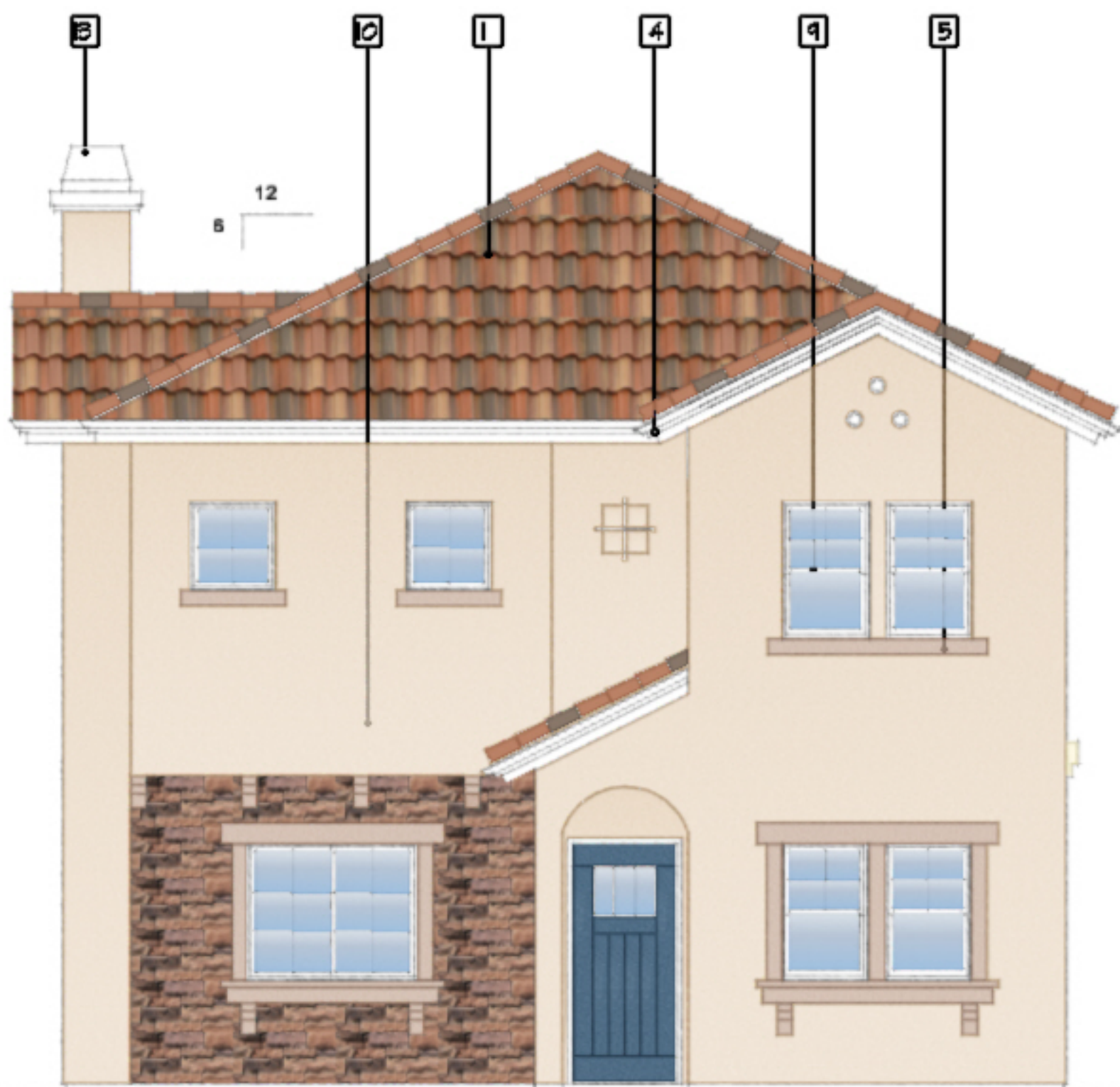
KEYED LEGEND			
1	SAFLE ROOFING TILE, PRODUCT NO. 9125 NAME: ADGEE BLEND, STYLE: CAPRIANO KCP EBR- RCO	2	SAFLE ROOFING TILE, PRODUCT NO. 9125, STAGGERED APPLICATION NAME: BENNINGTON BLEND, STYLE: AMERICAN REBLOOM KCP EBR- RCO
3	SAFLE ROOFING TILE, PRODUCT NO. 9145 NAME: SUPRE BLEND, STYLE: MONDROSA KCP EBR- RCO	4	EXTERIOR CEMENT PLASTER STUCCO LA HABRA, X-80 HACIENDA (BASE 200) SAND FINISH
5	EXTERIOR CEMENT PLASTER STUCCO LA HABRA, X-80 TESSON (BASE 100) SAND FINISH	6	EXTERIOR CEMENT PLASTER STUCCO LA HABRA, X-80 SILVERADO (BASE 100) SAND FINISH
7	EXTERIOR CEMENT PLASTER STUCCO LA HABRA, X-80 CORTES (BASE 200) SAND FINISH	8	EXTERIOR CEMENT PLASTER STUCCO LA HABRA, X-80 SANDSTONE (BASE 200) SAND FINISH
9	TYPICAL FINISH, MILANO TUSCANY SERIES VINYL GLAZ FINISH FACTORY FINISH WHITE, RECESSED 2" FROM EXTERIOR WALL SURFACE	10	STONE VENEER, CORONADO STONE PRODUCTS, IDAHO DRYSTACK COLOR: CAMEL MOUNTAIN
11	STONE VENEER, CORONADO STONE PRODUCTS, DESERT RIDGE COLOR: SPARKS BLEND	12	VINYL SIDING, ACORANA PACIFIC, FOREST RIDGE COLOR: PEARL
13	CHIMNEY IN SPARKS APPLICATOR		



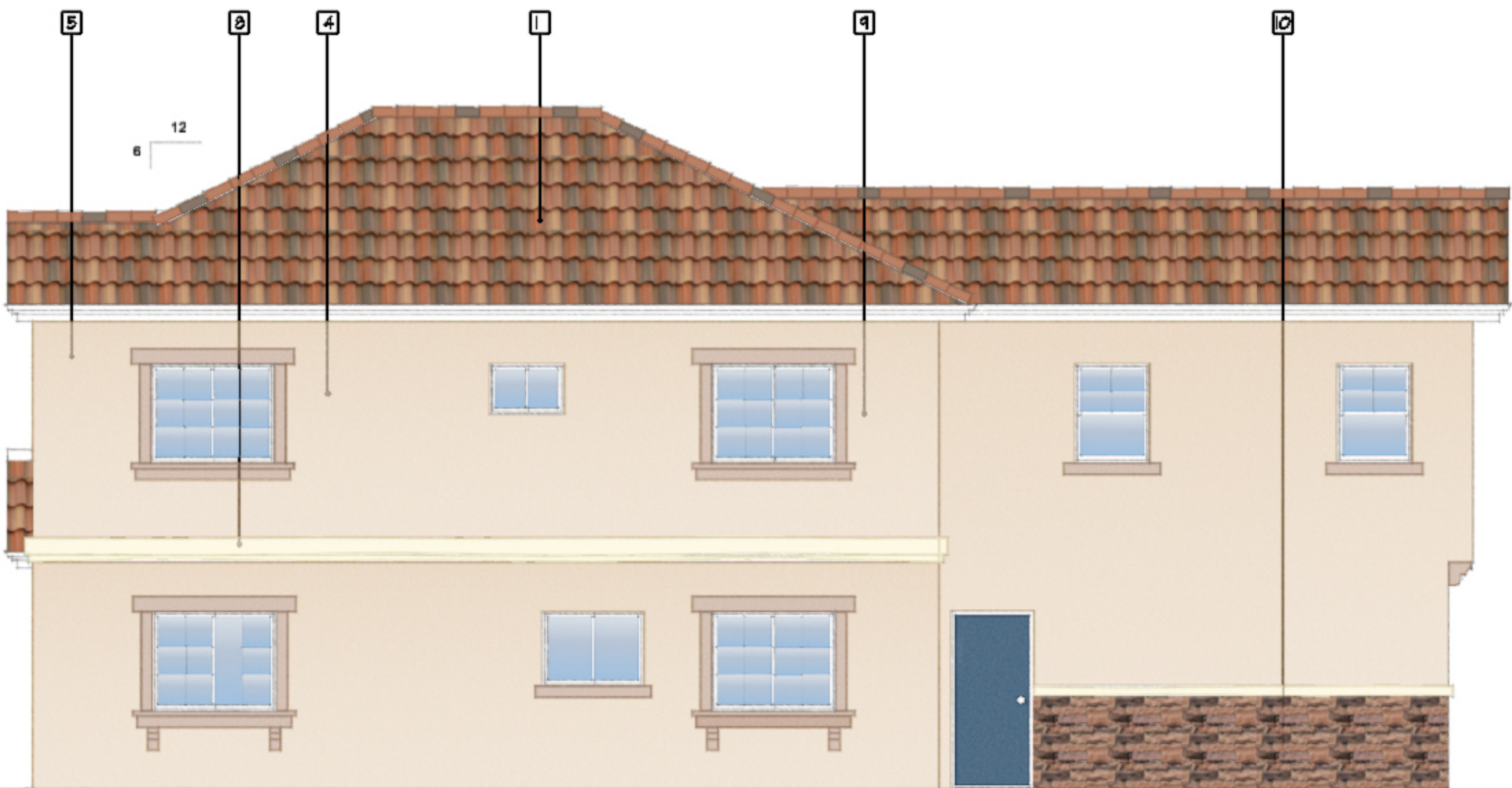
A REAR SIDE ELEVATION - TYPE 'A'
SCALE: 1/4" = 1'-0"



B LEFT SIDE ELEVATION - TYPE 'A'
SCALE: 1/4" = 1'-0"



C FRONT SIDE ELEVATION - TYPE 'A'
SCALE: 1/4" = 1'-0"



D RIGHT SIDE ELEVATION - TYPE 'A'
SCALE: 1/4" = 1'-0"

Project:

7 UNITS CONDOMINIUM

Drawing Title

TYPE 'A'
ELEVATIONS

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Designer

James Hu

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Revisions

Project Address:
1344 W. GRAND AVENUE
POMONA, CA 91766
Assessor Parcel No:
8343-014-026

Drawn By: J.H.
Scale: AS SHOW
Date: 11.24.2014

Drawing No.

A3.5

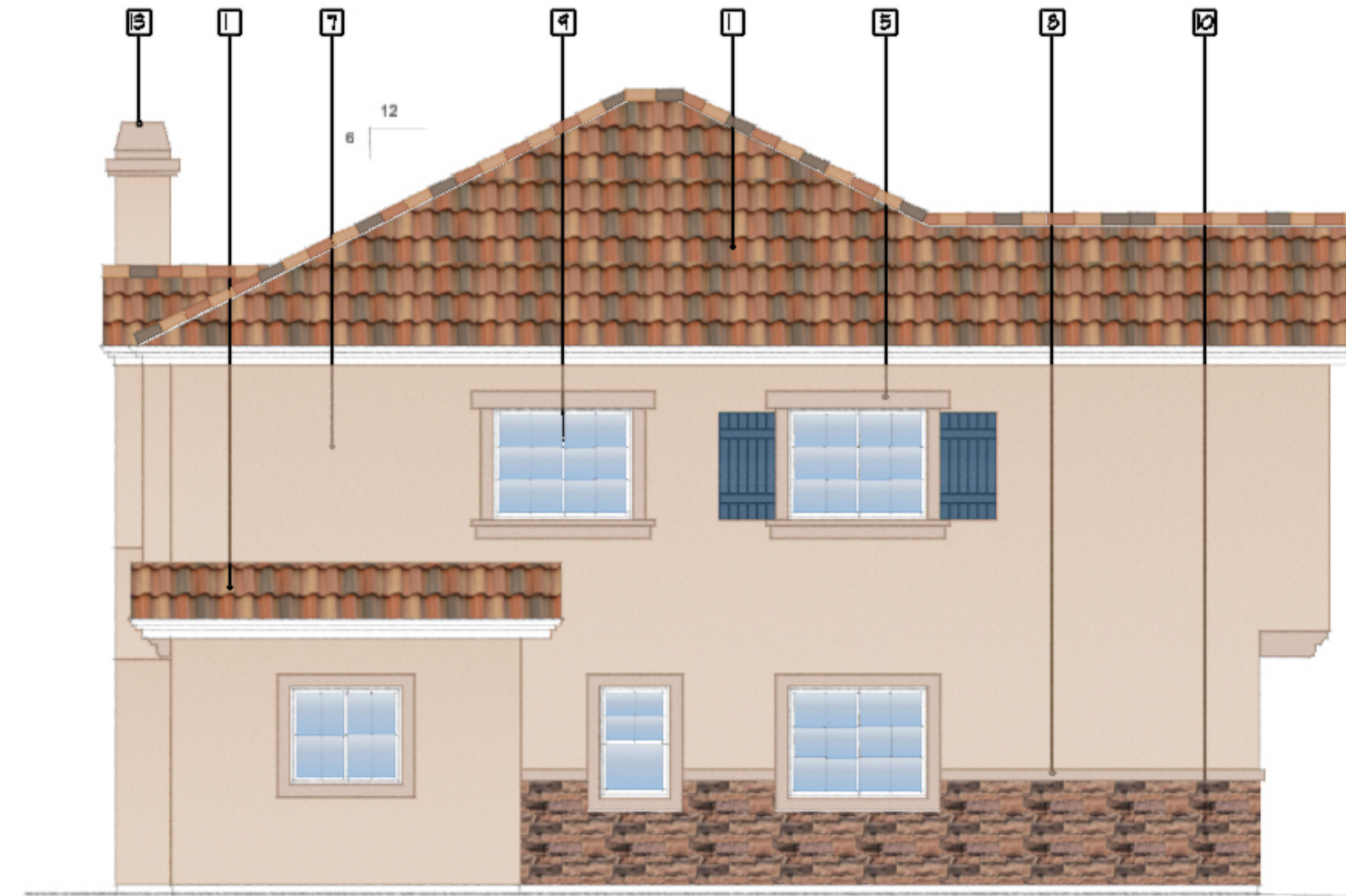
1344 W. Grand Avenue
Pomona, CA 91766

ALL WINDOWS ARE RECESSED 2" FROM EXTERIOR WALL FINISH SURFACE

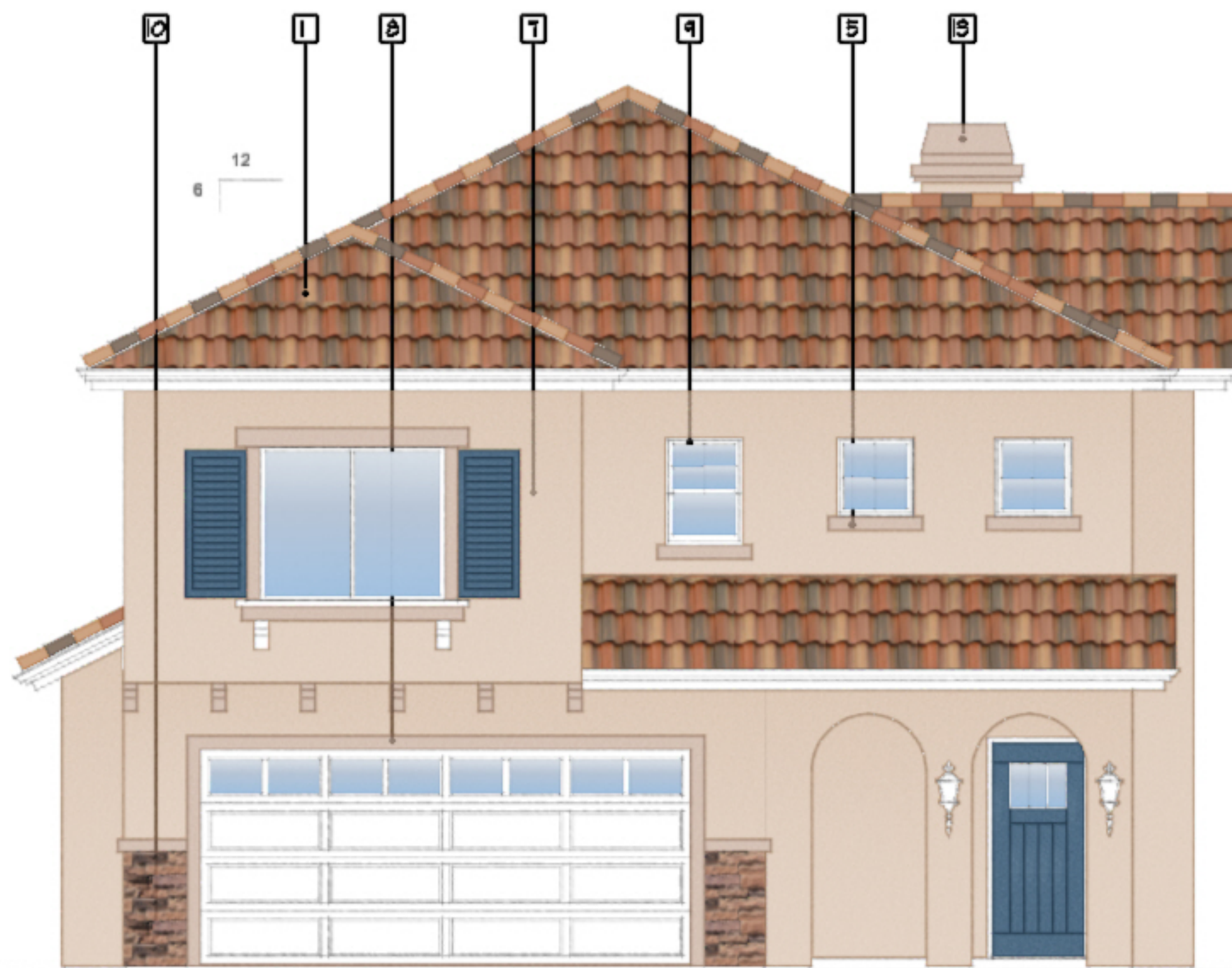
KEYED LEGEND	
1 SINGLE ROOFING TILE, PRODUCT NO. 5125 NAME: ADORSE BLEND, STYLE: CAMPESANO 100% ESP- 1000	2 SINGLE ROOFING TILE, PRODUCT NO. 5125, STAGGERED APPLICATION NAME: BERRINGTON BLEND, STYLE: AMERICAN HERRLOON 100% ESP- 1000
2 SINGLE ROOFING TILE, PRODUCT NO. 5045 NAME: SURFUSE BLEND, STYLE: PONDEROSA 100% ESP- 1000	3 EXTERIOR CEMENT PLASTER STUCCO: LA HABRA, X-002 TUCSON (BASE 100 SAND FINISH)
3 EXTERIOR CEMENT PLASTER STUCCO: LA HABRA, X-001 CORTES (BASE 200 SAND FINISH)	4 EXTERIOR CEMENT PLASTER STUCCO: LA HABRA, X-000 SILVERADO (BASE 100 SAND FINISH)
4 TYPICAL FINISH: MILANO TUSCANY SERIES VINYL GLAZ MIRROR FACTORY FINISH FINISH, RECESSED 2" FROM EXTERIOR WALL SURFACE	5 STONE VENEER: CORONADO STONE PRODUCTS, SAND DRYSTACK COLOR: CARMEL MOUNTAIN
5 STONE VENEER: CORONADO STONE PRODUCTS, DESERT RIDGE COLOR: SURREAL BLEND	6 VINYL SIDING: GEORGIA PACIFIC, FOREST RIDGE COLOR: PEARL
6 CHIMNEY IV SPARK ARRESTOR	



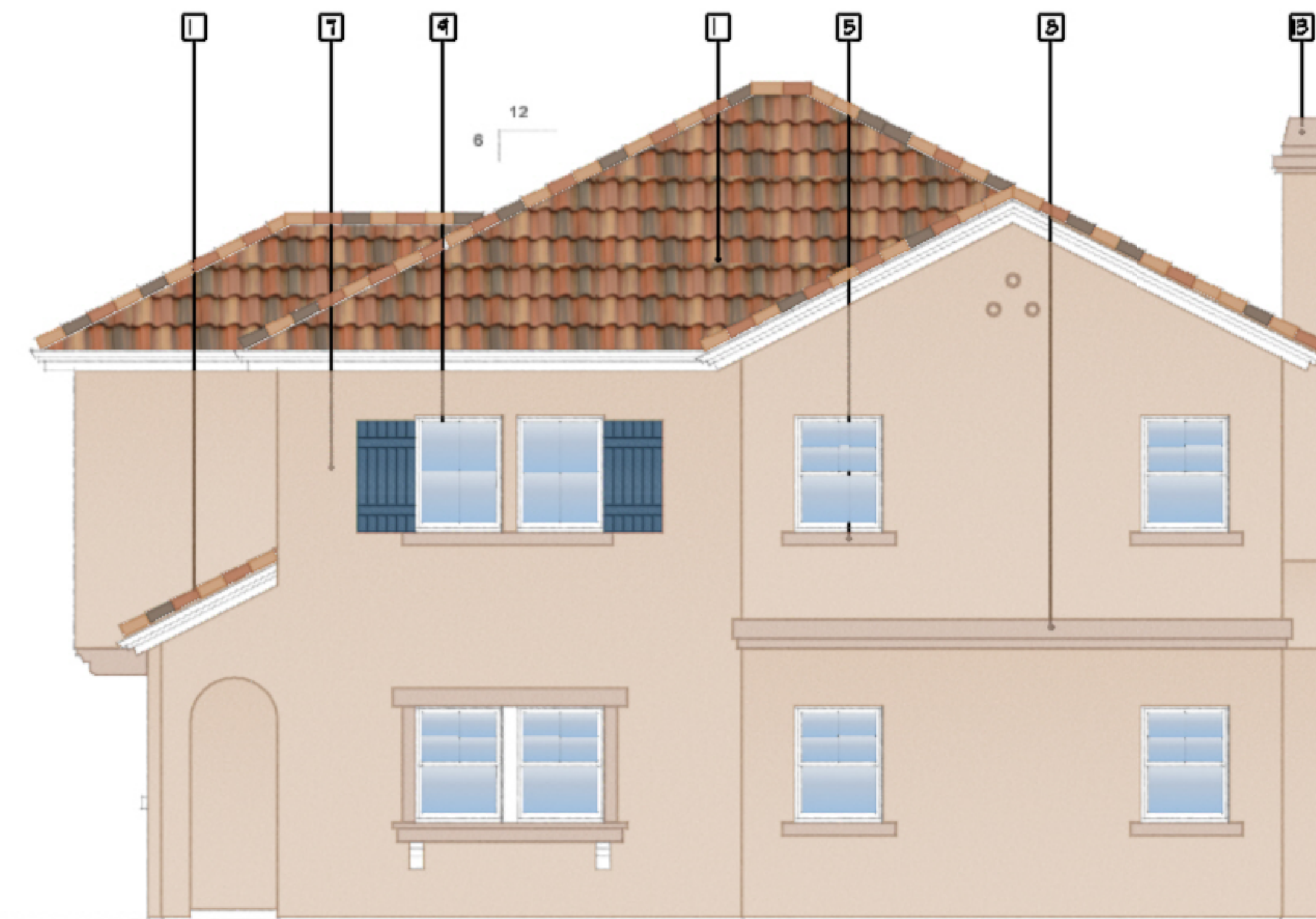
A REAR SIDE ELEVATION - TYPE 'B' & 'B-R'
SCALE: 1/4" = 1'-0"



B LEFT SIDE ELEVATION - TYPE 'B' & 'B-R'
SCALE: 1/4" = 1'-0"



C FRONT SIDE ELEVATION - TYPE 'B' & 'B-R'
SCALE: 1/4" = 1'-0"



D RIGHT SIDE ELEVATION - TYPE 'B' & 'B-R'
SCALE: 1/4" = 1'-0"

Project:

7 UNITS CONDOMINIUM

1344 W. Grand Avenue
Pomona, CA 91766

Drawing Title

TYPE 'B' & 'B-R'
COLOR ELEVATIONS

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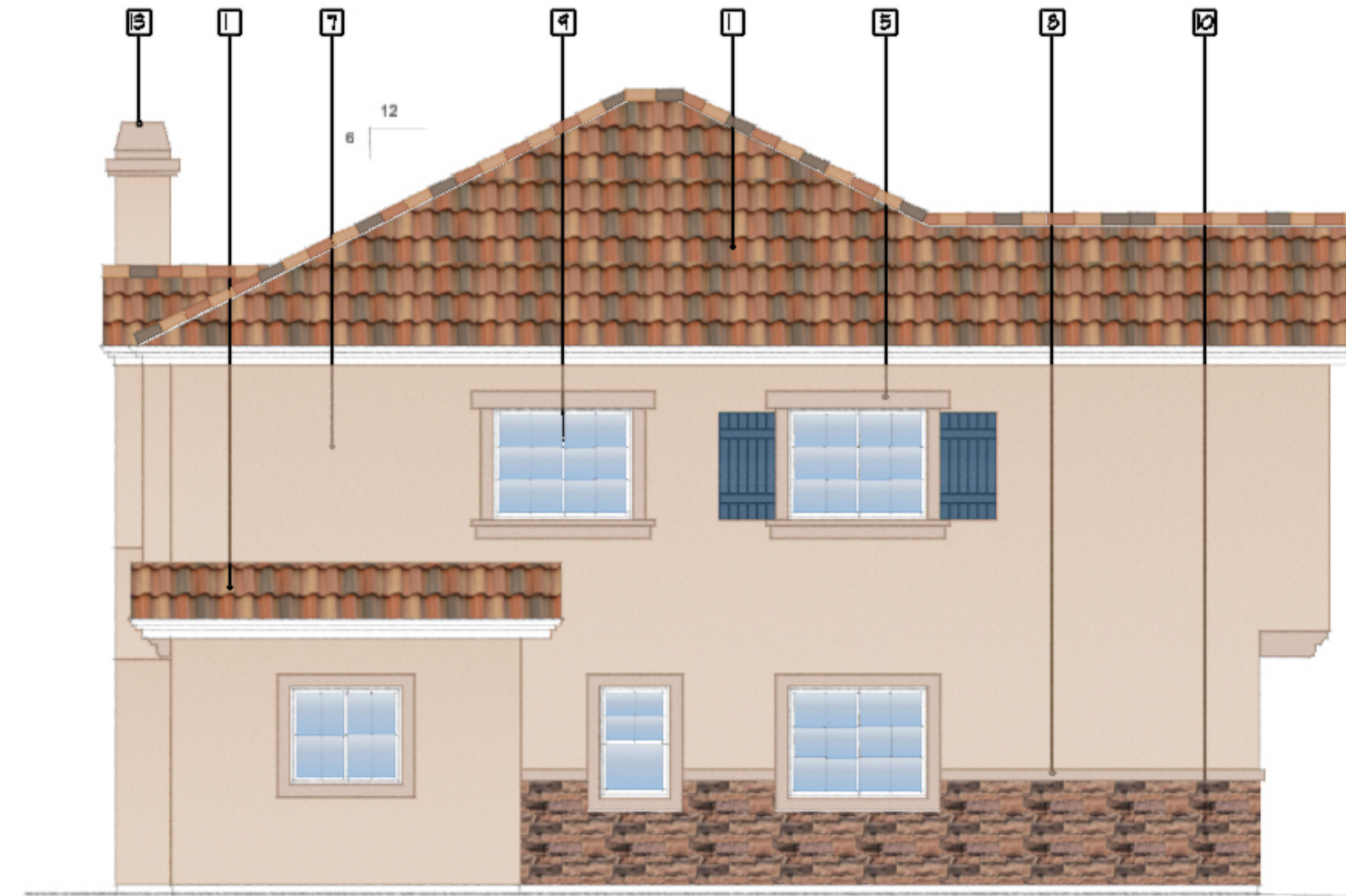
A3.6

ALL WINDOWS ARE RECESSED 2" FROM EXTERIOR WALL FINISH SURFACE

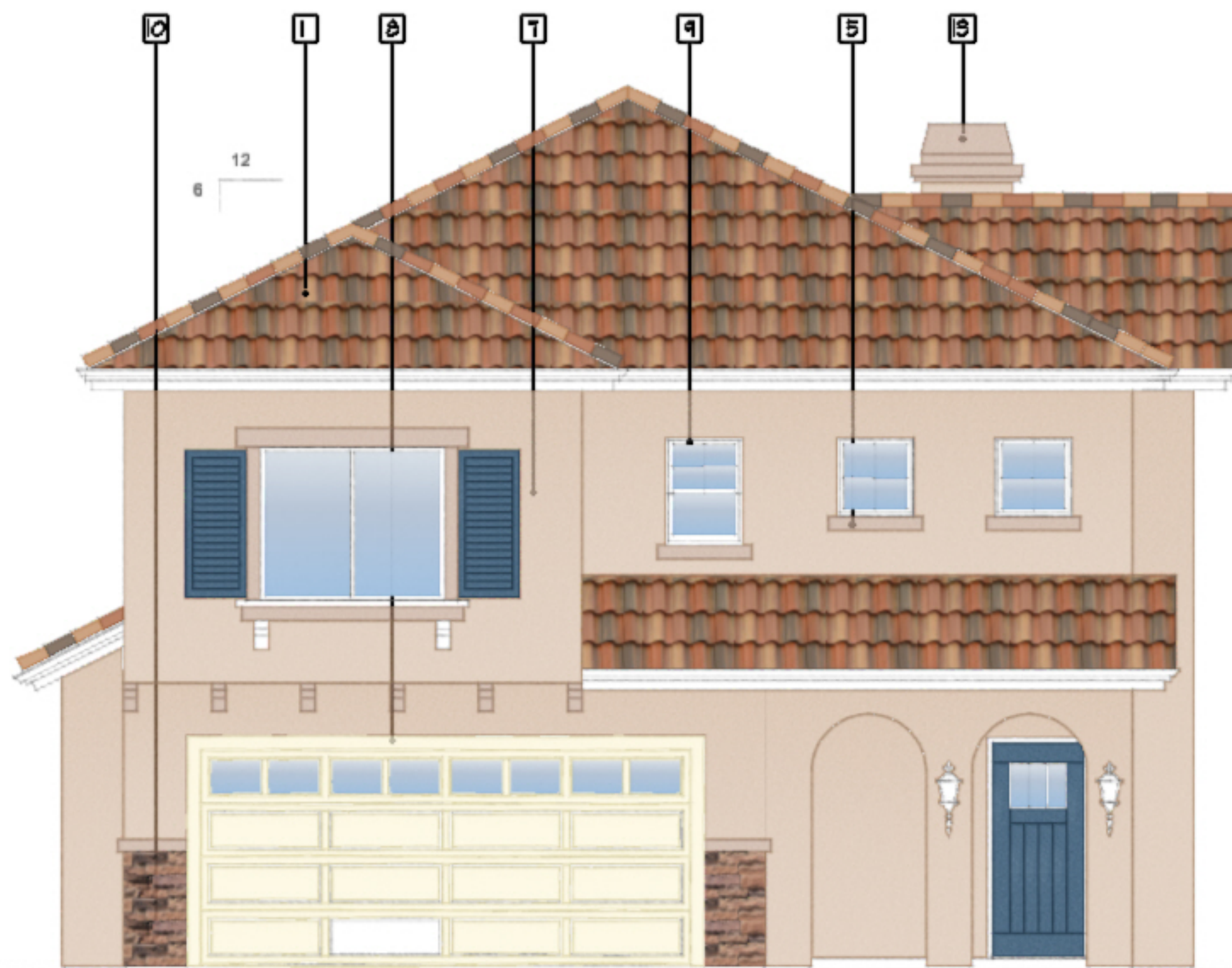
KEYED LEGEND	
1 SINGLE ROOFING TILE, PRODUCT NO. 5125 NAME: ADORSE BLEND, STYLE: CAMPESANO 1001 ESP- 100	2 SINGLE ROOFING TILE, PRODUCT NO. 5125, STAGGERED APPLICATION NAME: BENNINGTON BLEND, STYLE: AMERICAN HERBLOOM 1001 ESP- 100
3 SINGLE ROOFING TILE, PRODUCT NO. 5045 NAME: SURPRISE BLEND, STYLE: PONDEROSA 1001 ESP- 100	4 EXTERIOR CEMENT PLASTER STUCCO: LA HABRA, X-00 HACIENDA (BASE 200) SAND FINISH
5 EXTERIOR CEMENT PLASTER STUCCO: LA HABRA, X-02 TUCSON (BASE 100) SAND FINISH	6 EXTERIOR CEMENT PLASTER STUCCO: LA HABRA, X-00 SILVERADO (BASE 100) SAND FINISH
7 EXTERIOR CEMENT PLASTER STUCCO: LA HABRA, X-01 CORTES (BASE 200) SAND FINISH	8 EXTERIOR CEMENT PLASTER STUCCO: LA HABRA, X-00 SANDSTONE (BASE 200) SAND FINISH
9 TYPICAL FINISH: MILANO TUSCANY SERIES VINYL GLAZED WINDOW FACTORY FINISH FINISH, RECESSED 2" FROM EXTERIOR WALL SURFACE	10 STONE VENEER: CORONADO STONE PRODUCTS, SAND DRYSTACK COLOR: CARMEL MOUNTAIN
11 STONE VENEER: CORONADO STONE PRODUCTS, DESERT RIDGE COLOR: SURREAL BLEND	12 VINYL SIDING: GEORGIA PACIFIC, FOREST RIDGE COLOR: PEARL
13 CHIMNEY IV DRYWALL ARRESTOR	



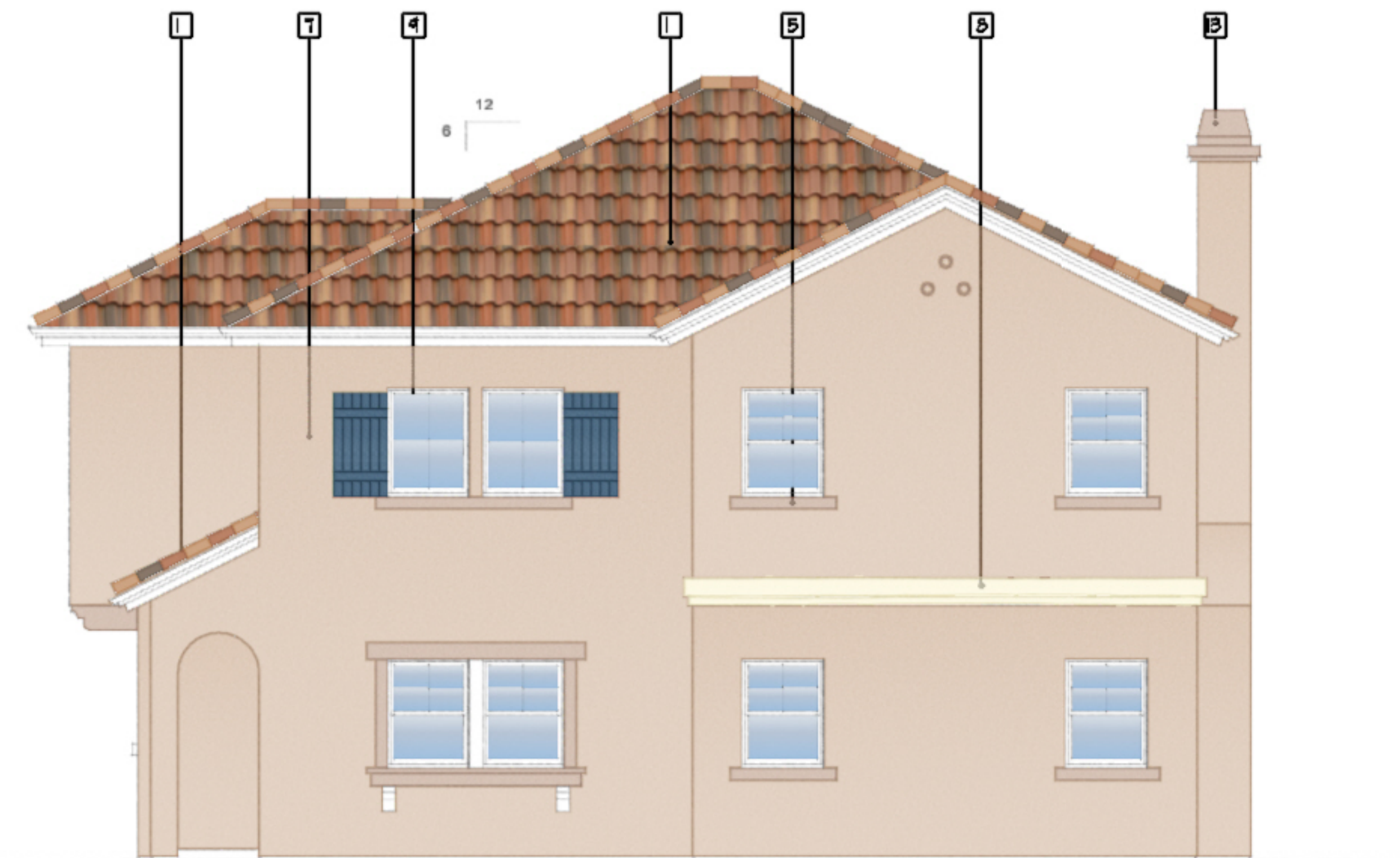
A REAR SIDE ELEVATION - TYPE 'B' & 'B-R'
SCALE: 1/4" = 1'-0"



B LEFT SIDE ELEVATION - TYPE 'B' & 'B-R'
SCALE: 1/4" = 1'-0"



C FRONT SIDE ELEVATION - TYPE 'B' & 'B-R'
SCALE: 1/4" = 1'-0"



D RIGHT SIDE ELEVATION - TYPE 'B' & 'B-R'
SCALE: 1/4" = 1'-0"

Project:

7 UNITS CONDOMINIUM

Drawing Title

TYPE 'B' & 'B-R'
COLOR ELEVATIONS

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Designer
James Hu

2440 S. Barrington Ave., #312
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(310) 736 - 8367

Revisions

Project Address:
1344 W. GRAND AVENUE
POMONA, CA 91766
Assessor Parcel No:
8343-014-026

Drawn By: J.H.
Scale: AS SHOW
Date: 11.24.2014

Drawing No.

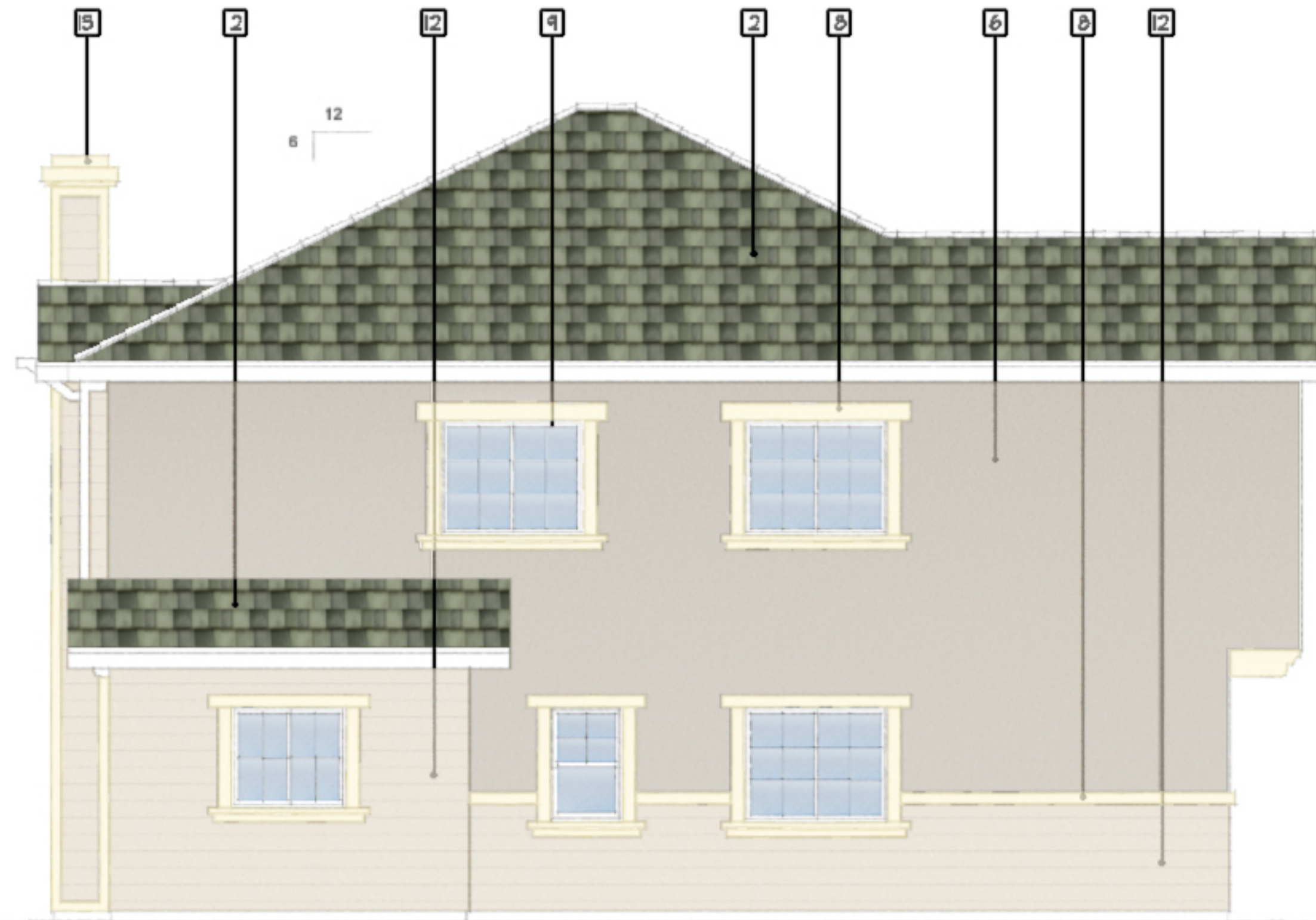
A3.6

1344 W. Grand Avenue
Pomona, CA 91766

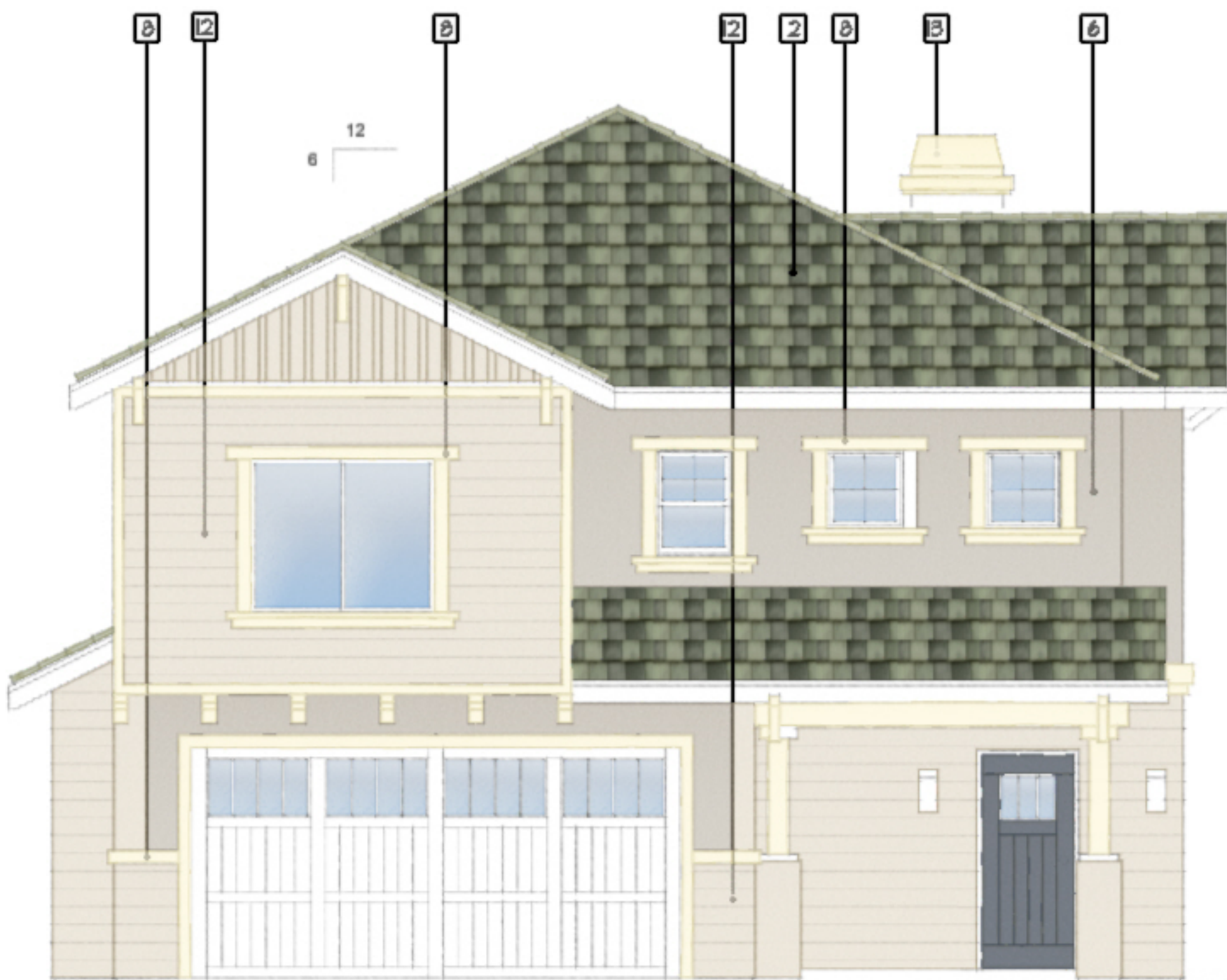
ALL WINDOWS ARE RECESSED 2" FROM EXTERIOR WALL FINISH SURFACE

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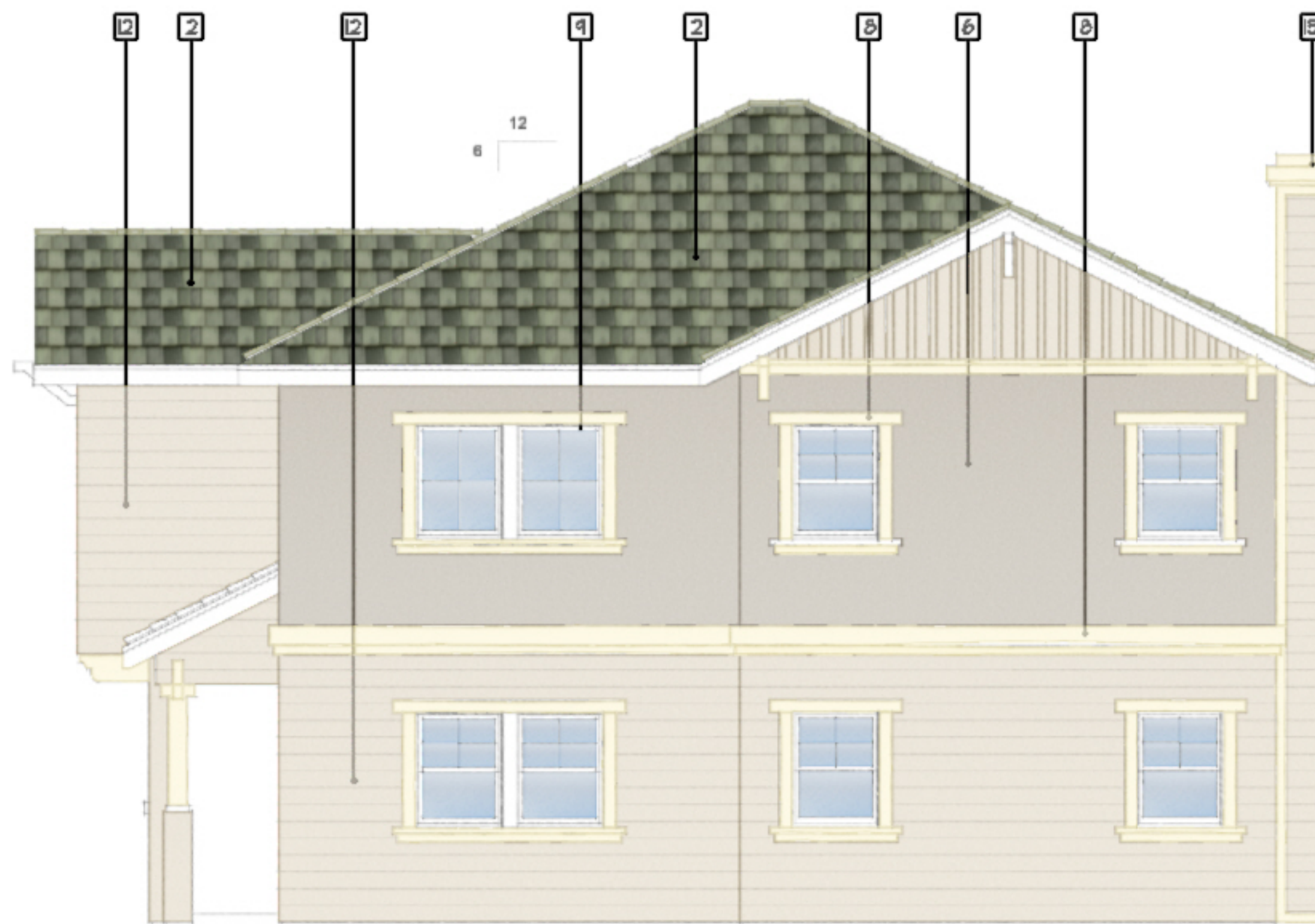
A REAR SIDE ELEVATION - TYPE 'B1' & 'B1-R'
SCALE: 1/4" = 1'-0"



(B) LEFT SIDE ELEVATION - TYPE 'B1' & 'B1-R'
SCALE: 1/4" = 1'-0"



C FRONT SIDE ELEVATION - TYPE 'B1' & 'B1-R'
SCALE: 1/4" = 1'-0"



(D) RIGHT SIDE ELEVATION - TYPE 'B1' & 'B1-R'
SCALE: 1/4" = 1'-0"

Project: 7 UNI

Drawing Title

TYPE 'B1' & 'B1-R' ELEVATIONS

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Revisions

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POMONA, CA 91766
Assessor Parcel No:
8343-014-026

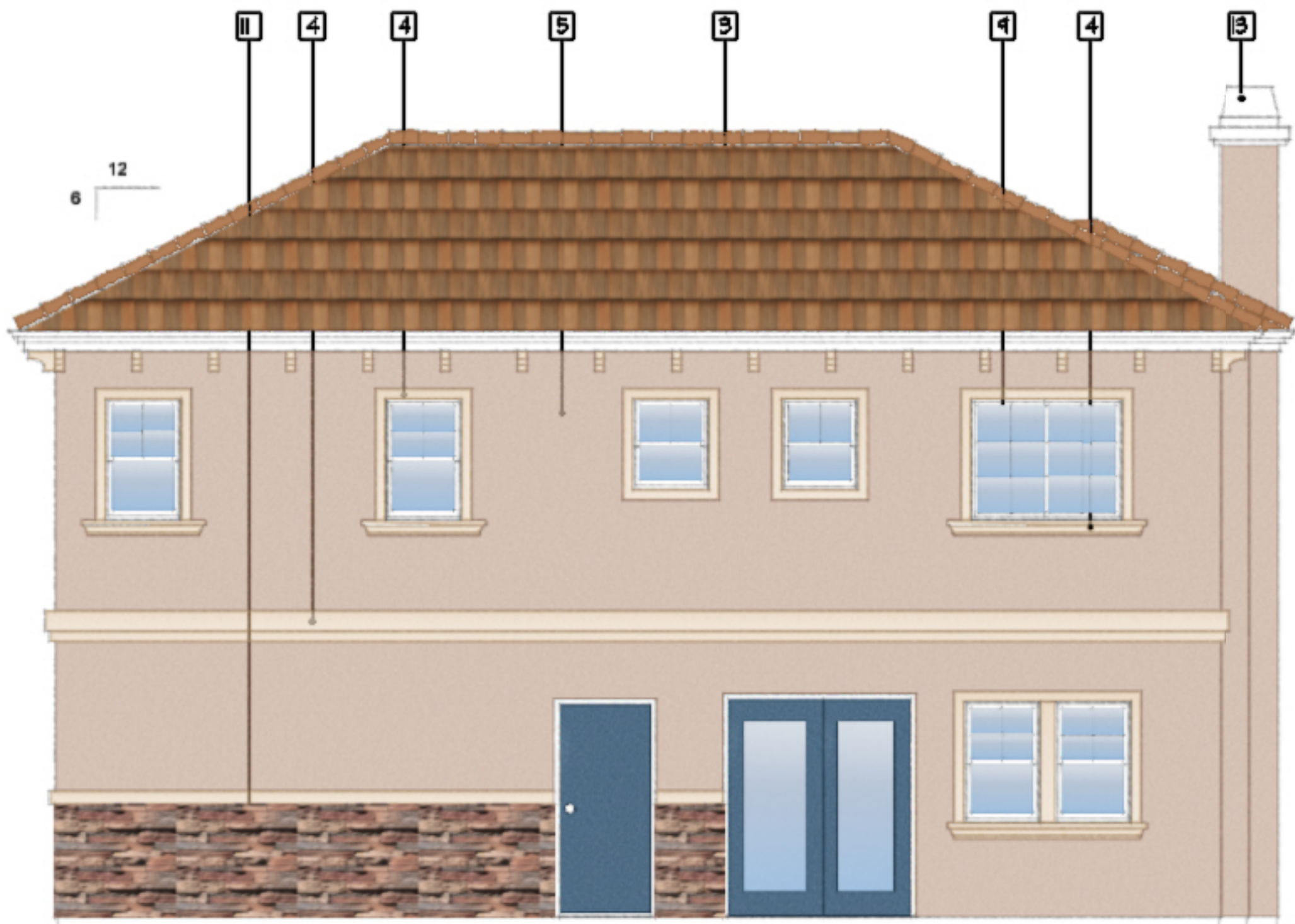
Drawn By: J.H.
Scale: AS SHOW
Date: 11.24.2014

Drawing No.

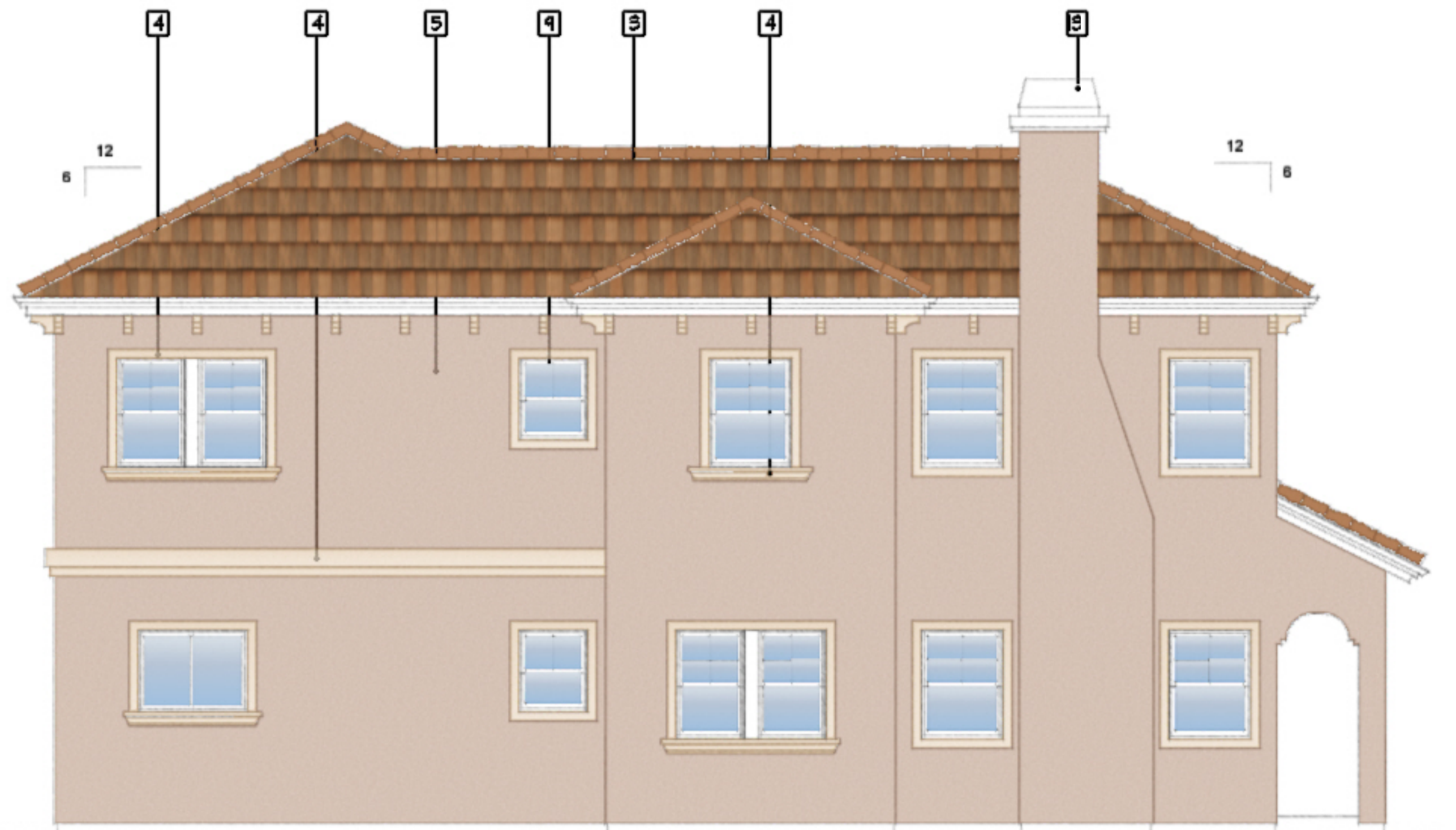
A3.7

1344 W. Grand Avenue
Pomona, CA 91766

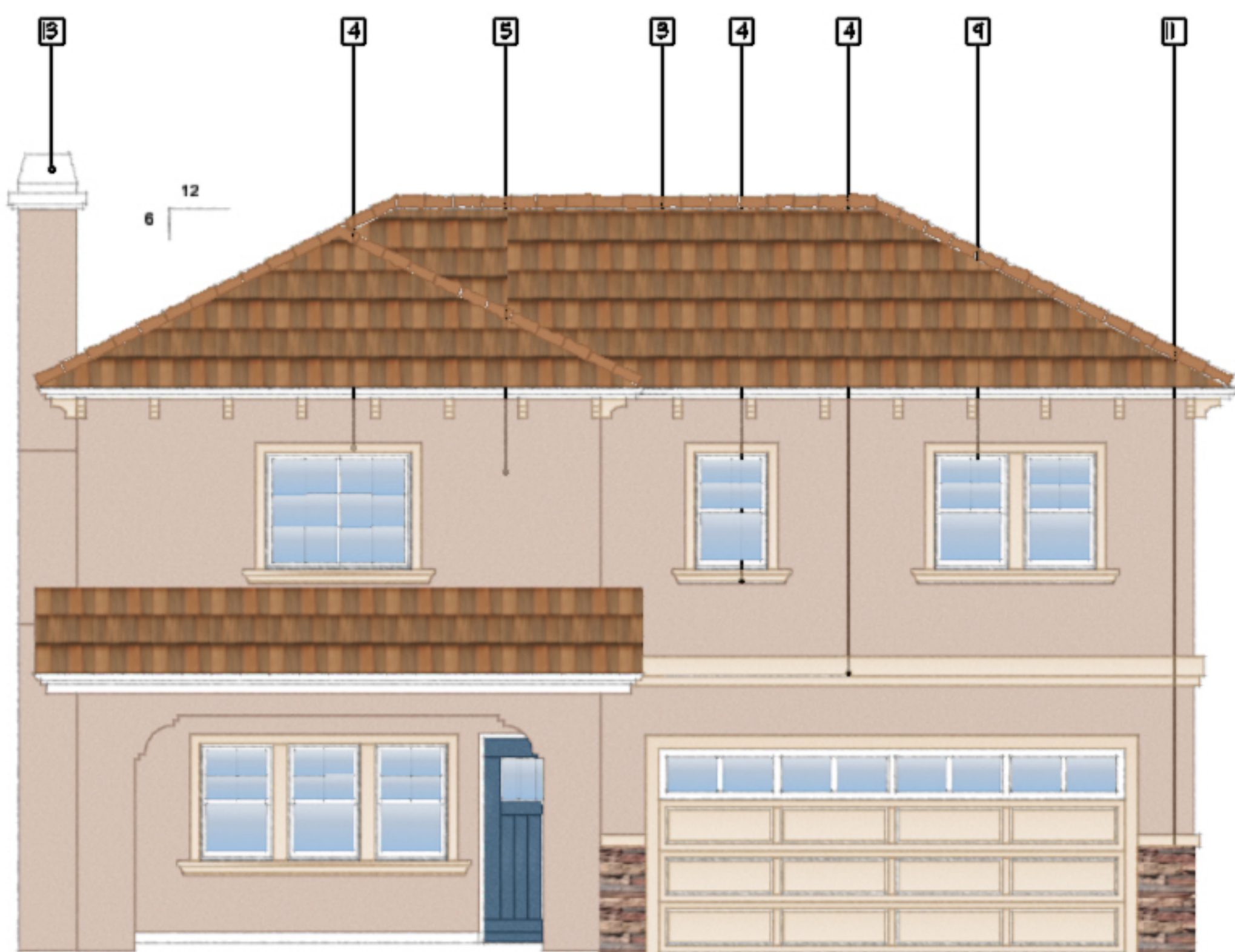
ALL WINDOWS ARE RECESSED 2" FROM EXTERIOR WALL FINISH SURFACE

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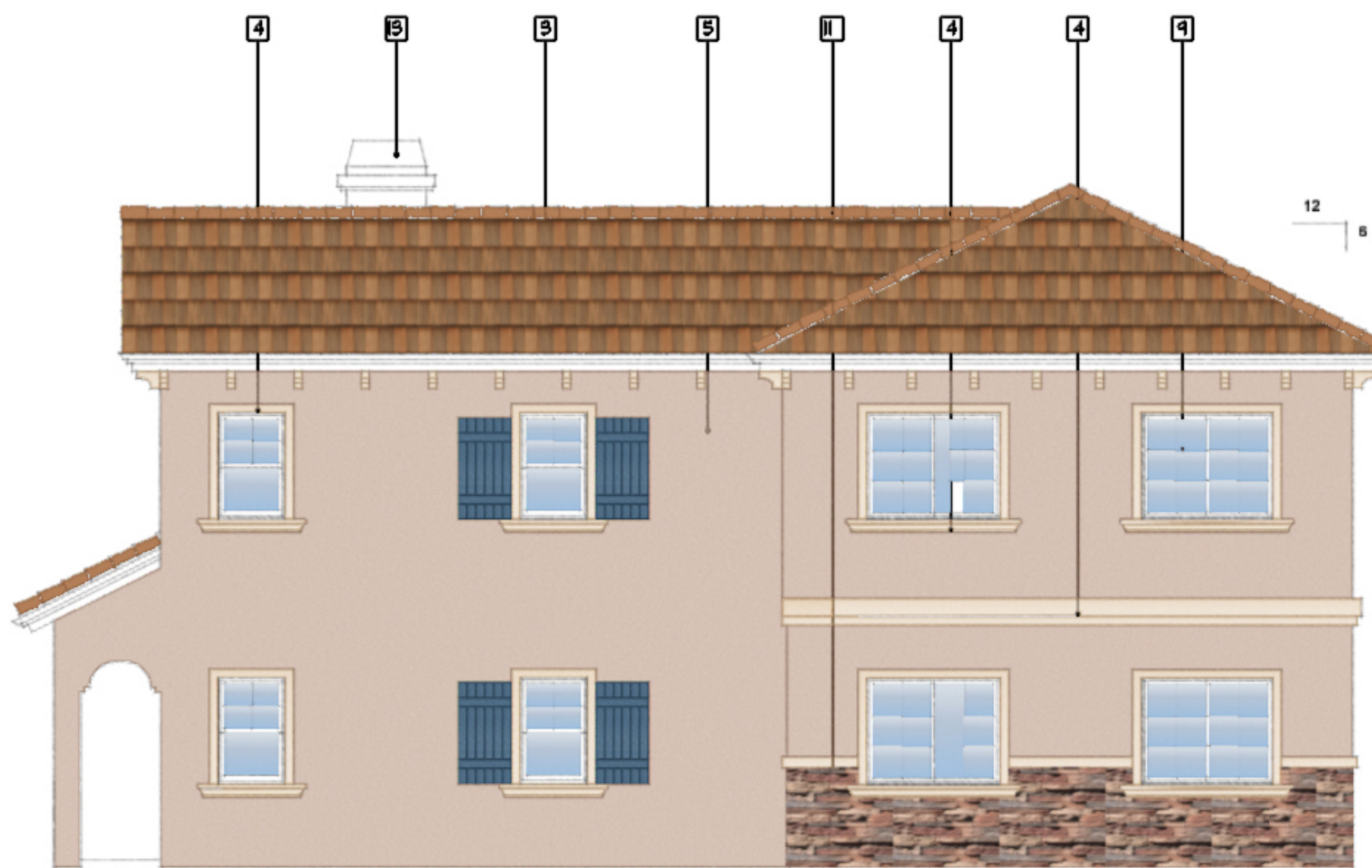
A REAR SIDE ELEVATION - TYPE 'C'
SCALE: 1/4" = 1'-0"



B LEFT SIDE ELEVATION - TYPE 'C'
SCALE: 1/4" = 1'-0"



C FRONT SIDE ELEVATION - TYPE 'C'
SCALE: 1/4" = 1'-0"



(D) RIGHT SIDE ELEVATION - TYPE 'C'
SCALE: 1/4" = 1'-0"

Project:
7 UNITS CONDOMINIUM

1344 W. Grand Avenue
Pomona, CA 91766

Drawing Title

TYPE 'C' ELEVATIONS

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Revisions

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Assessor Parcel No:
8343-014-026

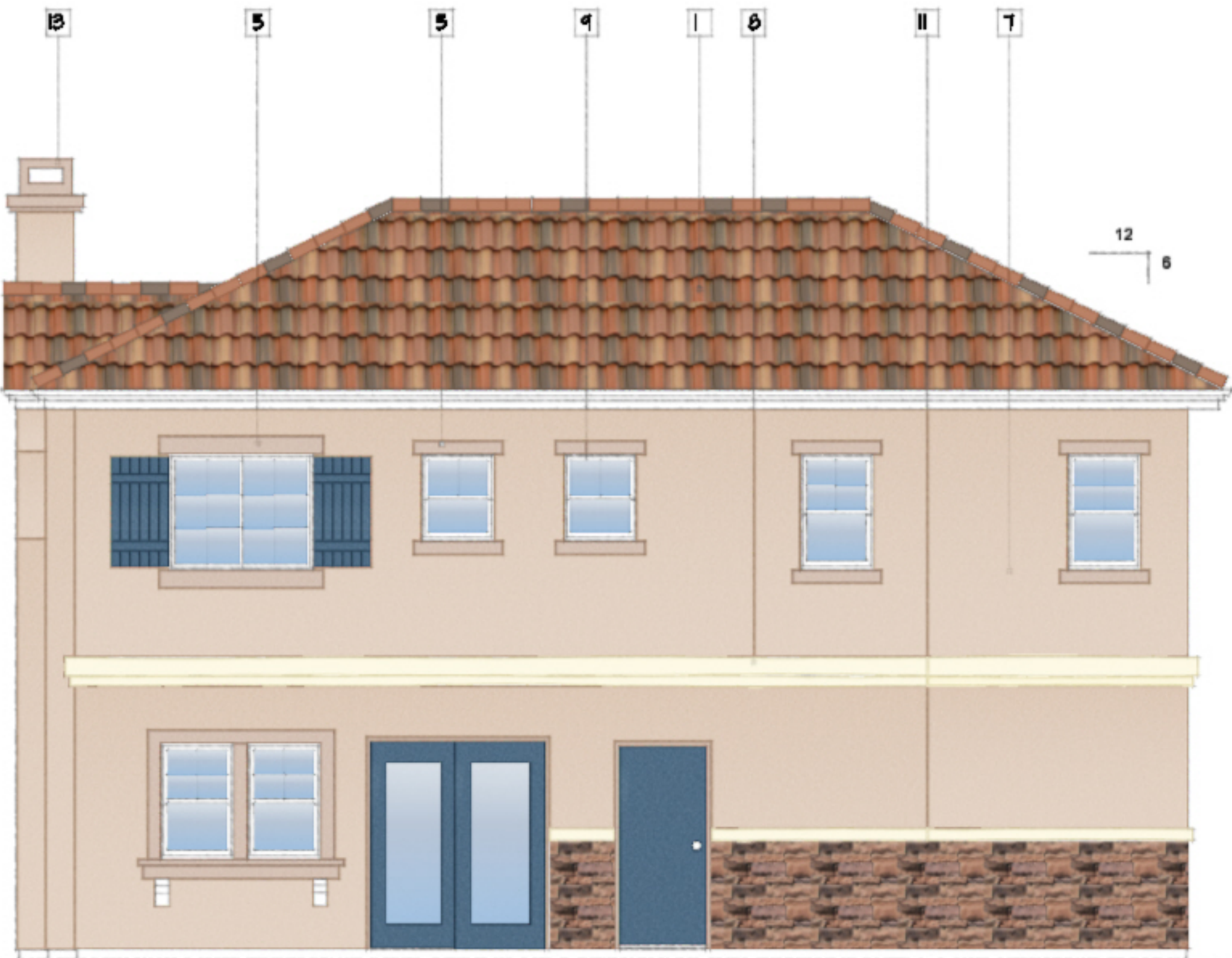
Drawn By: J.H.
Scale: AS SHOW
Date: 11.24.2014

Drawing No.

A3.8

ALL WINDOWS ARE RECESSED 2" FROM EXTERIOR WALL FINISH SURFACE

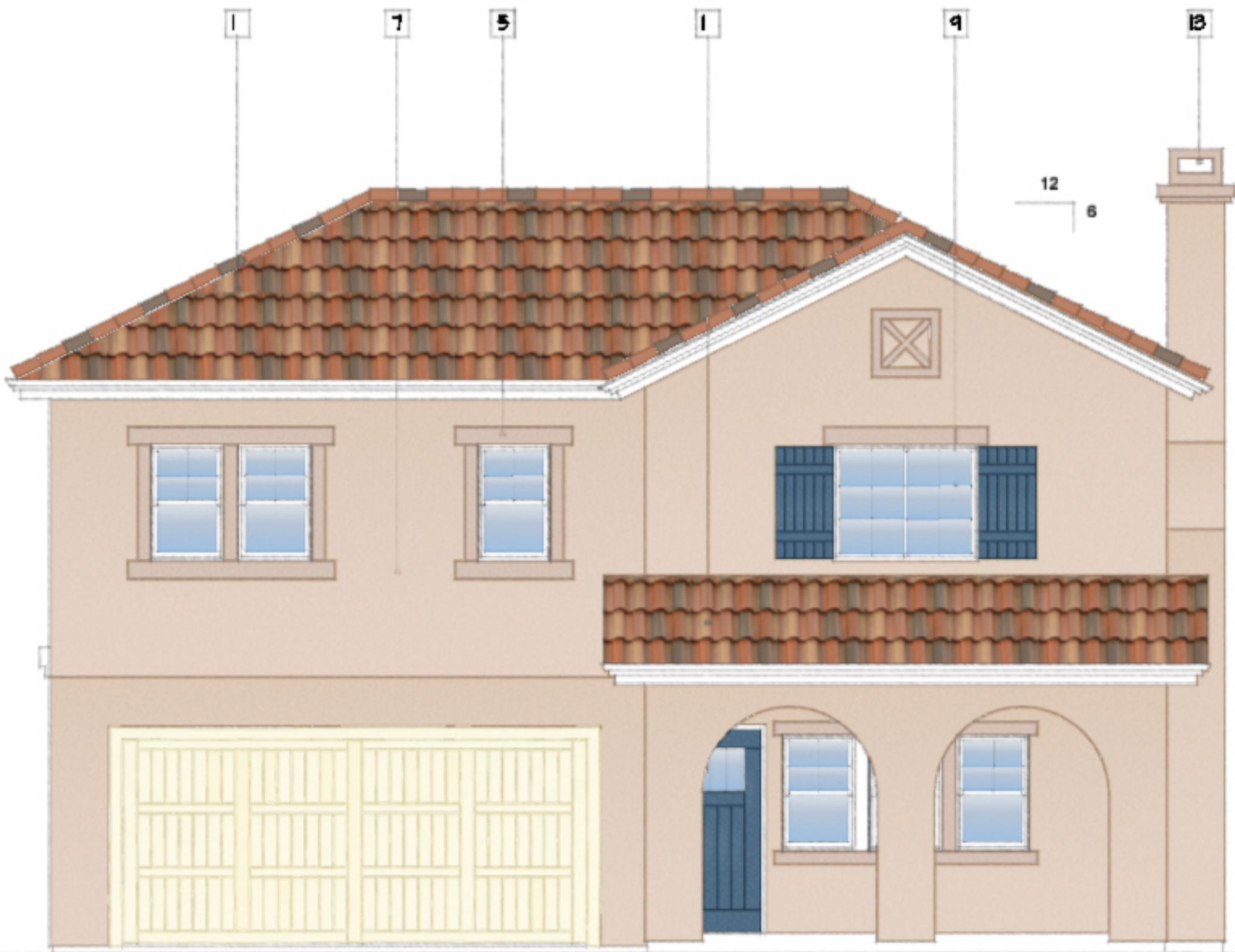
KEYED LEGEND	
1. EAGLE ROOFING TILE, PRODUCT NO. 8123 NAME: ADORIS BLEND, STYLE: GARDENLAND 1200 ESP-100	2. EAGLE ROOFING TILE, PRODUCT NO. 812300, STAGGERED APPLICATION NAME: BENNINGTON BLEND, STYLE: AMERICAN HEIRLOOM 1200 ESP-100
3. EAGLE ROOFING TILE, PRODUCT NO. 8648 NAME: SUMMIT BLEND, STYLE: PIONEER 1200 ESP-100	4. EXTERIOR CEMENT PLASTER STUCCO: LA HABRA, X-82 HACIENDA (BASE 200) SAND FRESH
5. EXTERIOR CEMENT PLASTER STUCCO: LA HABRA, X-82 TIGON (BASE 100) SAND FRESH	6. EXTERIOR CEMENT PLASTER STUCCO: LA HABRA, X-82 SILVERADO (BASE 10) SAND FRESH
7. EXTERIOR CEMENT PLASTER STUCCO: LA HABRA, X-81 CORTES (BASE 200) SAND FRESH	8. EXTERIOR CEMENT PLASTER STUCCO: LA HABRA, X-86 SANDSTONE (BASE 200) SAND FRESH
9. TYPICAL WINDOW, MILANO TURCANI SERIES, VINYL CLAD WINDOW FACTORY FINISH WHITE, RECESSED 2" FROM EXTERIOR WALL SURFACE	10. STONE VENEER: GORGONADO STONE PRODUCTS, ISLAND DRystack COLOR: GARNET MOUNTAIN
11. STONE VENEER: GORGONADO STONE PRODUCTS, DESERT RIDGE COLOR: SUNNALL BLEND	12. VINYL SIDING: BOSTONIA PACIFIC, FOREST RIDGE COLOR: PEARL
13. GUNNEY IV SPARK ARRESTOR	



A REAR SIDE ELEVATION - TYPE 'C1'
SCALE: 1/4" = 1'-0"



B LEFT SIDE ELEVATION - TYPE 'C1'
SCALE: 1/4" = 1'-0"



C FRONT SIDE ELEVATION - TYPE 'C1'
SCALE: 1/4" = 1'-0"



D RIGHT SIDE ELEVATION - TYPE 'C1'
SCALE: 1/4" = 1'-0"

Project:

7 UNITS CONDOMINIUM

Drawing Title

TYPE 'C1'
ELEVATIONS

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Designer

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Drawn By: J.H.
Scale: AS SHOW
Date: 11.24.2014

Drawing No.

A3.9

1344 W. Grand Avenue
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