

SAN ANTONIO ST

SITE PLAN

LOT SIZE 24,039 & 22,472 S.F.
= 46,511 S.F.
TOTAL = 1.07 ACRE

NUMBERS OF UNITS:
MAXIMUM ALLOWABLE UNITS : 15 UNITS / ACRE
= 1.07 X 15 = 16 UNITS

TOTAL NUMBER OF PROVIDED UNITS = 14 UNITS

FOOT PRINT
BLDGs = (3,503 + 4,116 + 2,308 + 3,425 + 3,425)
= 16,777 S.F.

LOT COVERAGE:
16,777 S.F. / 46,511 = 36 %

UNIT MIX:
10 UNITS 3 BDRMS & LOFT + 2.5 BATH -2 CAR GARAGE
4 UNITS 4 BDRMS + 2.5 BATH -2 CAR GARAGE

REQUIRED OPEN SPACE

PRIVATE OPEN SPACE : 150 S.F. / UNIT
COMMON OPEN SPACE :
BR. 400 S.F. + 100 S.F. FOR EACH ADD. BEDROOM
10-3 BEDROOMS UNITS = 10X500 = 5,000 S.F.
4-4 BEDROOMS UNITS = 4X600 = 2,400 S.F.

TOTAL REQUIRED OPEN SPACE:
5,000 + 2,400 = 7,400 SQ. FT.

PROVIDED OPEN SPACE

COMMON: AREA (A) = 3,055 S.F.
(B) = 3,232 S.F.
(C) = 635 S.F.
(D) = 605 S.F.
(E) = 545 S.F.
(F) = 545 S.F.

TOTAL = 8,620 S.F. OK

PRIVATE : UNITS # 1,2,3 = 260 S.F. EACH
UNITS # 4,5 = 350 S.F. EACH
UNIT # 6 = 425 S.F.
UNITS # 7,8,9,10,11,12,13,14 = 265 S.F. EACH

PRIVATE OPEN SPACE PER UNIT 260 S.F. TO 425 S.F. .OK

PAVED AREA

TOTAL = 8,035 S.F. DRIVEWAYS
1,660 S.F. PARKING AREAS
9,695 / 46,511 = 20.8 %

TOTAL LANDSCAPING AREA :

1,565+650+2,340+620+7,545 (NORTH) = 12,720 S.F.
12,720/ 46,511 = 27.3 %

PARKING REQUIRED:

2 CAR GARAGE PER UNIT
14 UNITS X 2 = 28
1 GUEST SPACE / 4 UNITS
14 UNITS / 4 = 3.5 SPACES

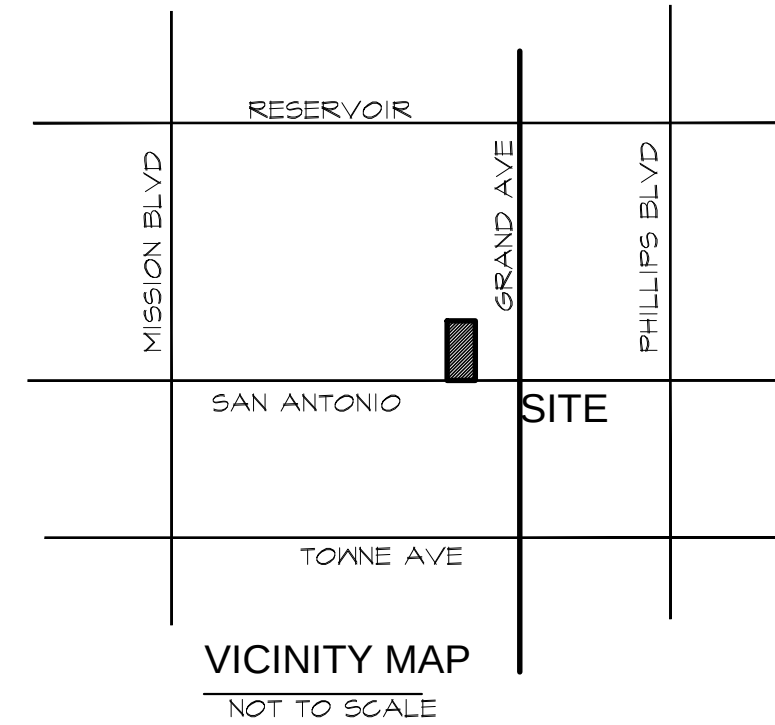
PARKING PROVIDED:

2 CAR GARAGE / UNIT = 28
OPEN SPACE GARAGE = 9
HANDICAPPED GARGAGE = 1

TOTAL REQUIRED
28+4 = 32 STALLS

TOTAL PROVIDED
38 STALLS

UNIT #	# OF BATH	1st Floor	2nd floor	LIVING AREA
1	2.5	683 SF	965 SF	1,648 SF
2		624 SF	1008 SF	1,632 SF
3		665 SF	965 SF	1,630 SF
4		668 SF	880 SF	1,548 SF
5		1030 SF	900 SF	1,930 SF
6		1030 SF	900 SF	1,930 SF
7		664 SF	982 SF	1,646SF
8		678 SF	982 SF	1,660 SF
9		644 SF	966 SF	1,610 SF
10		700 SF	1,076 SF	1,776 SF
11		644 SF	966 SF	1,610 SF
12		644 SF	965 SF	1,609 SF
13		700 SF	1,076 SF	1,776 SF
14		675 SF	977 SF	1,652 SF
TOTAL:				23,657 SF



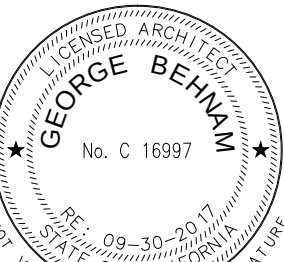
REVISIONS

DATE

OWNER

PROJECT CASPIAN CONDOS

NEW 14 CONDOMINIUMS
1198 AND 1236
S. SAN ANTONIO AVE
POMONA, CA 91766



GEORGE BEHNAM
ARCHITECT

1150 E. ORANGETHORPE # 109
PLACENTIA, CA 92676
(714) 572-2388

PROJECT NO: 140106

CAD DWG FILE:

DRAWN BY: E.T.

CHECKED BY: M.M.

DRAWING SCALE: NOTED

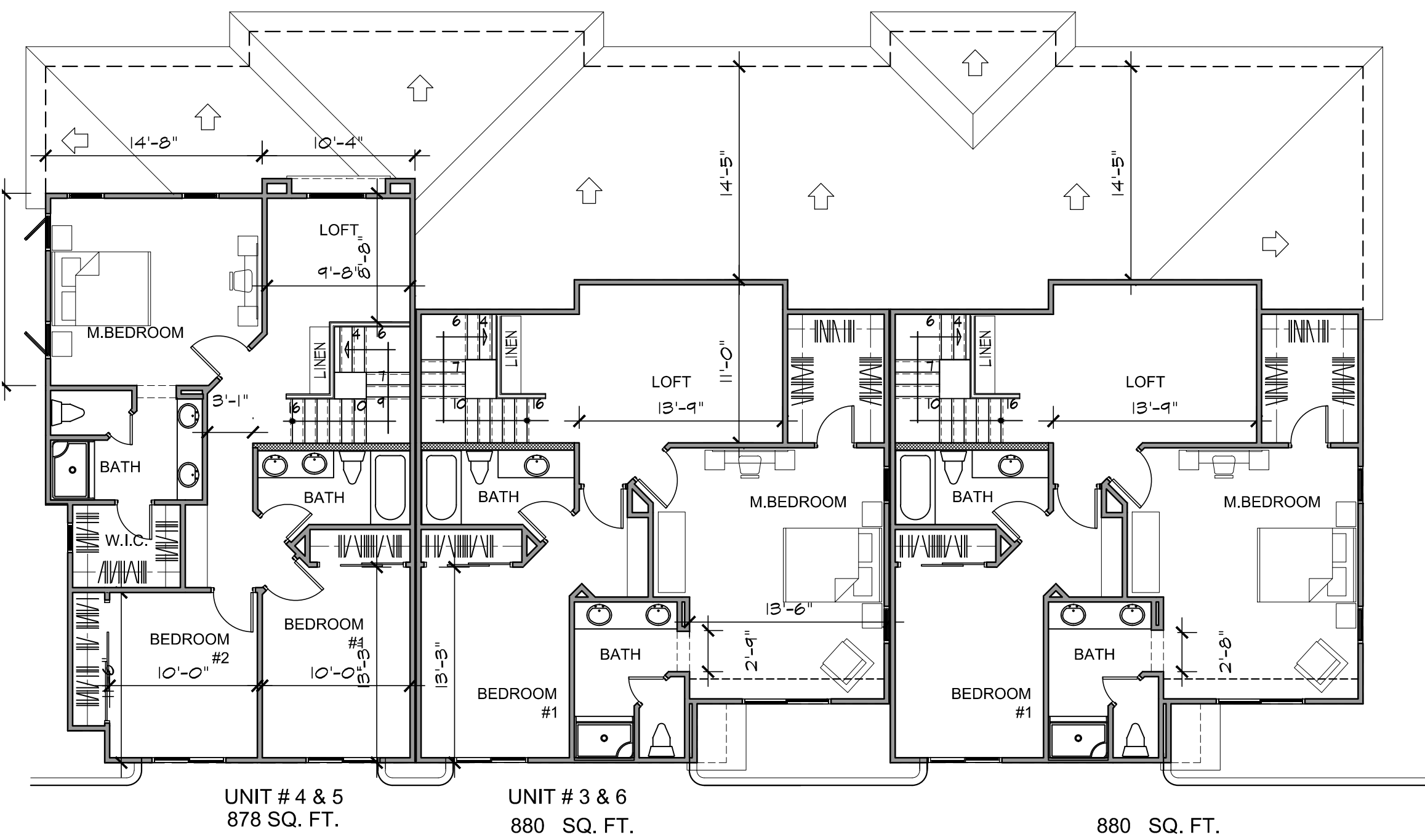
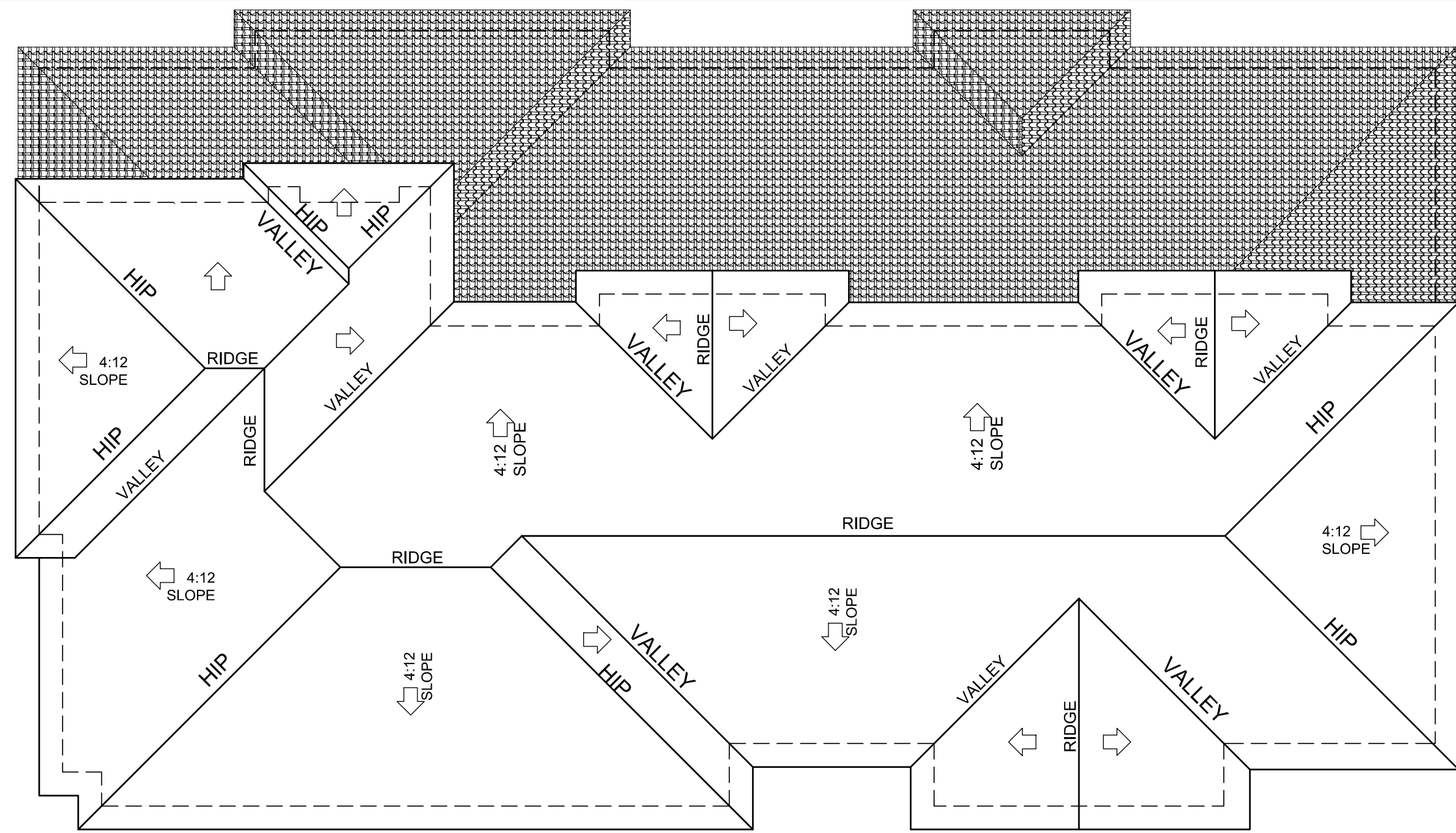
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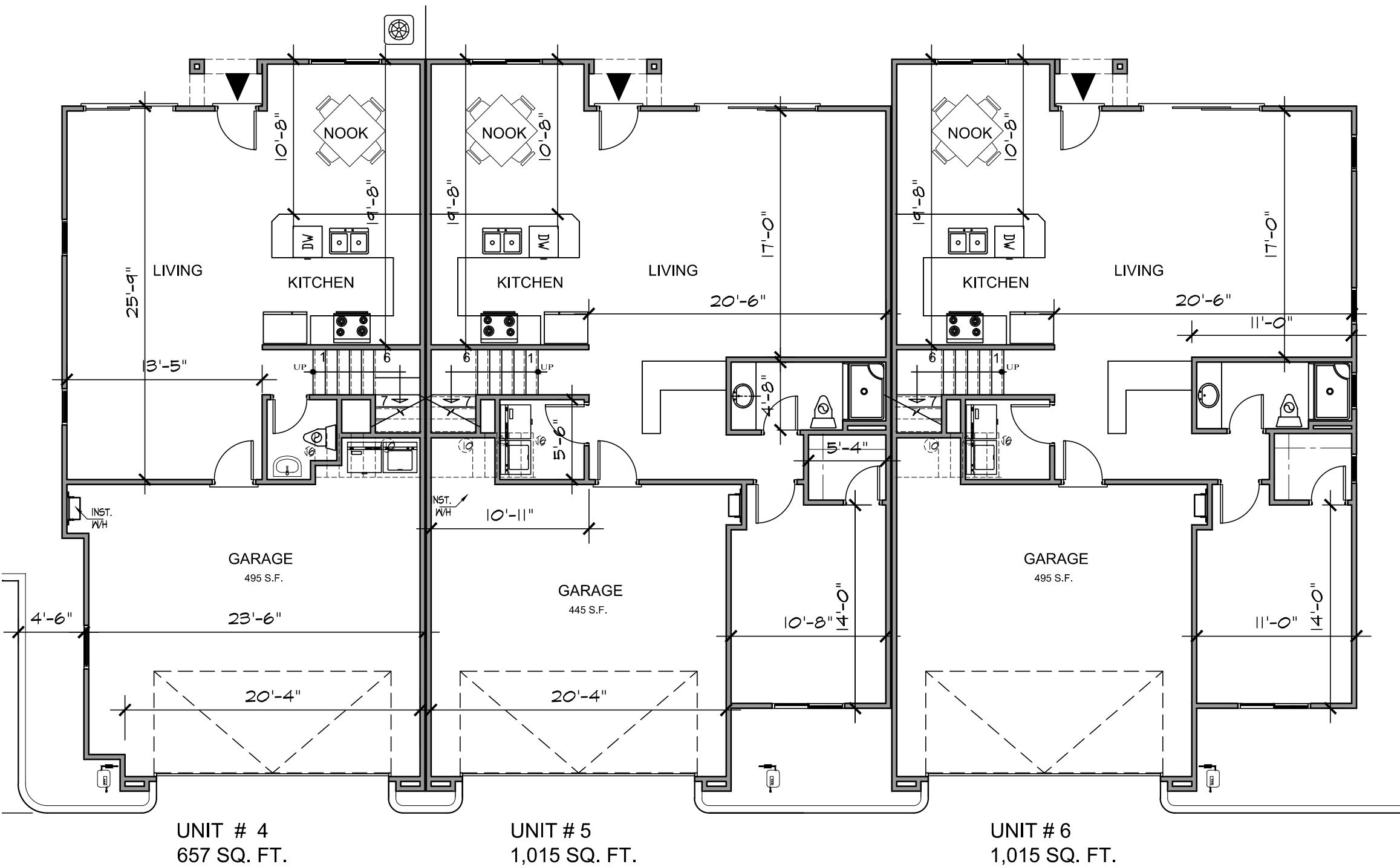
SITE PLAN
&
TABULATIONS

SHEET
SP
1 OF 5

TORK INC.
639 E. VALE ST.
ONTARIO, CA 91764



BLDG - 2 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



BLDG - 2 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



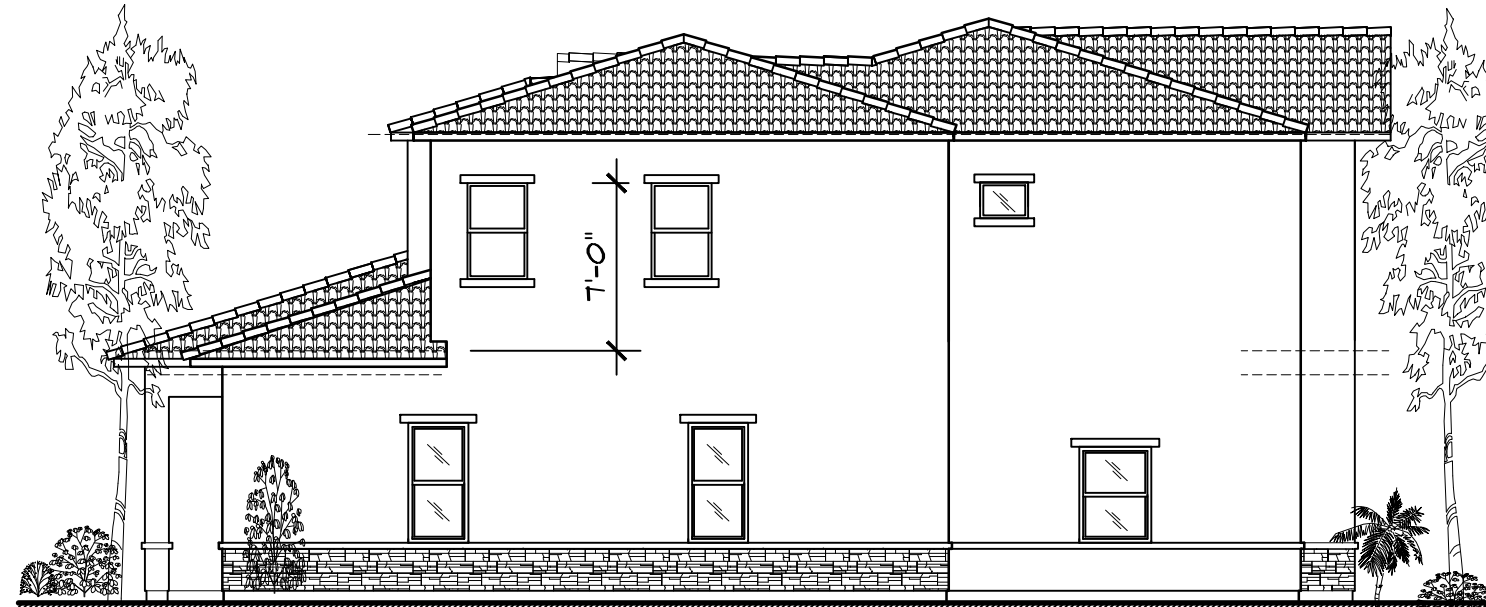
NORTH ELEVATION - BUILDINGS # 2
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION - BUILDIN # 2
SCALE: 1/8" = 1'-0"



SIDE ELEVATION - BUILDINGS # 2
SCALE: 1/8" = 1'-0"



SIDE ELEVATION - BUILDINGS # 2
SCALE: 1/8" = 1'-0"

ELEVATIONS LEGEND

- 1- CONCRETE ROOF TILE BY EAGLE IGC # ESR-1400
- 2- STUCCO WINDOW SURROUNDING
- 3- VINYL WINDOWS
- 4- STUCCO SAND FINISH
- 5- SECTIONAL GARAGE DOOR
- 6- LIGHTING FIXTURE
- 7- STUCCO CORBELS OVER FOAM CONGO BY DUNN-EDWARDS
- 8- STONE VENEER (BY CORONADO MATTERED EDGE BRECKENRIDGE COLOR)
- 9- WINDOWS SHUTTER

NOTES

- 1- FIRST FLOOR STUCCO OVER WOOD TRIM AROUND WINDOWS AND DOORS
- 2- SECOND FLOOR STUCCO OVER FOAM TRIM AROUND WINDOWS AND DOORS

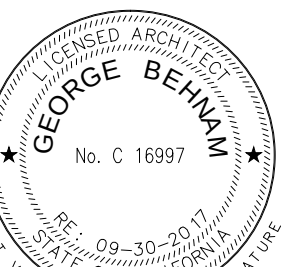
REVISIONS

DATE

TORK INC.
639 E. VALE ST.
ONTARIO, CA 91764

OWNER

PROJECT
CASPIAN CONDOS
NEW 14 CONDOMINIUMS
1198 AND 1236
S. SAN ANTONIO AVE
POMONA, CA 91766



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PROJECT NO: 140106

CAD DWG FILE:

DRAWN BY: E.T.

CHECKED BY: M.M.

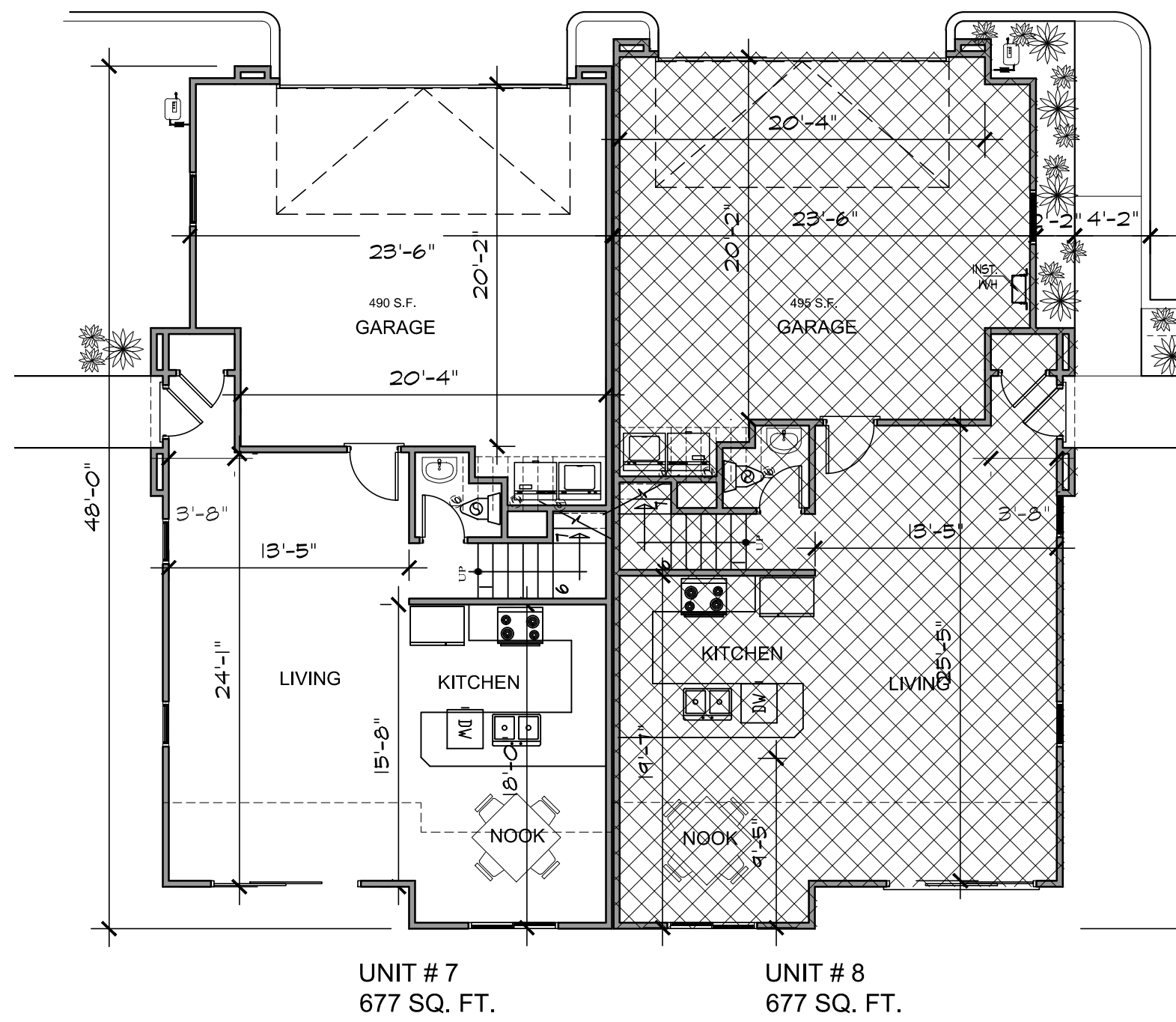
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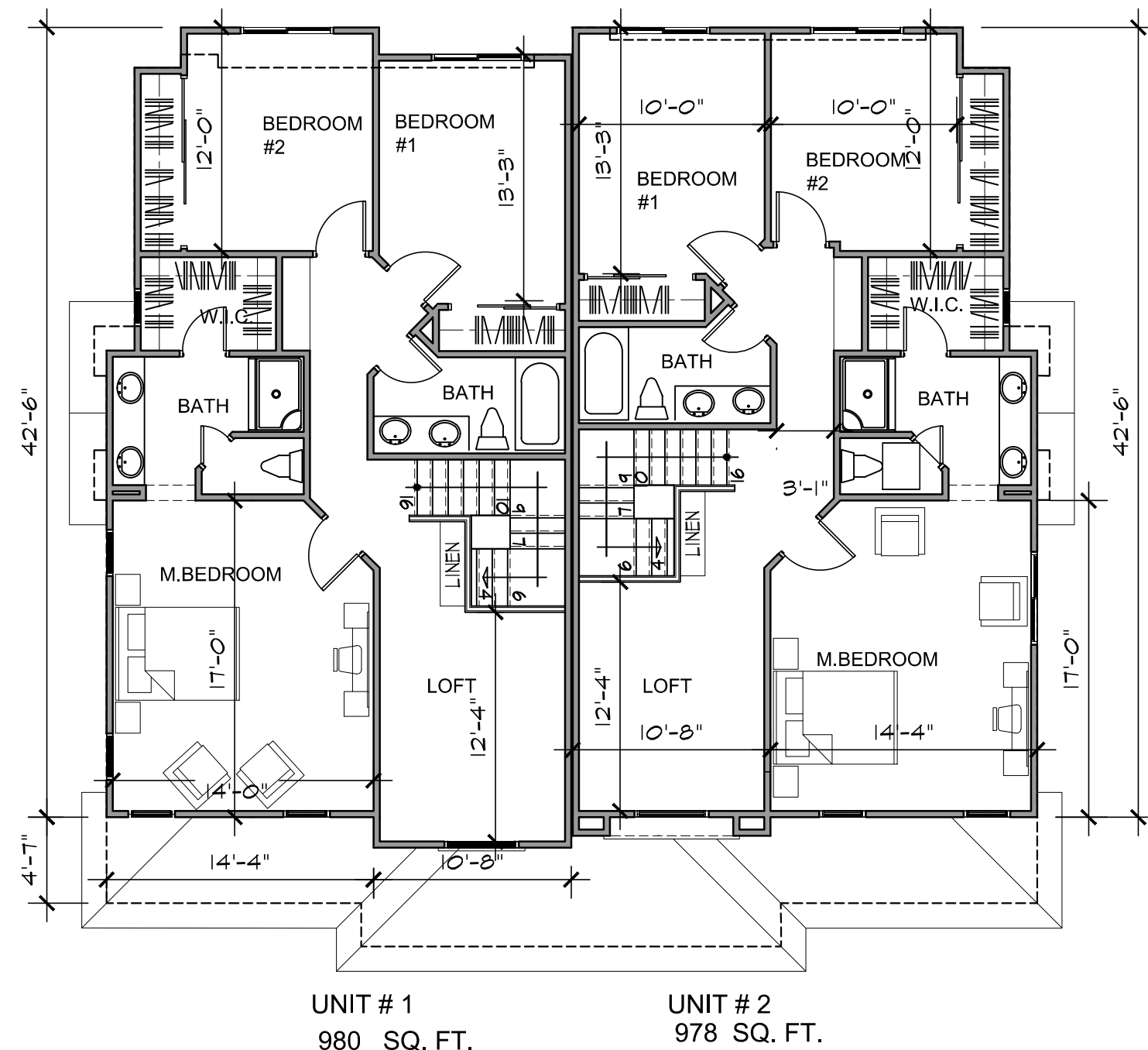
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BLDG - 2,
FLOOR PLANS
&
ELEVATIONS

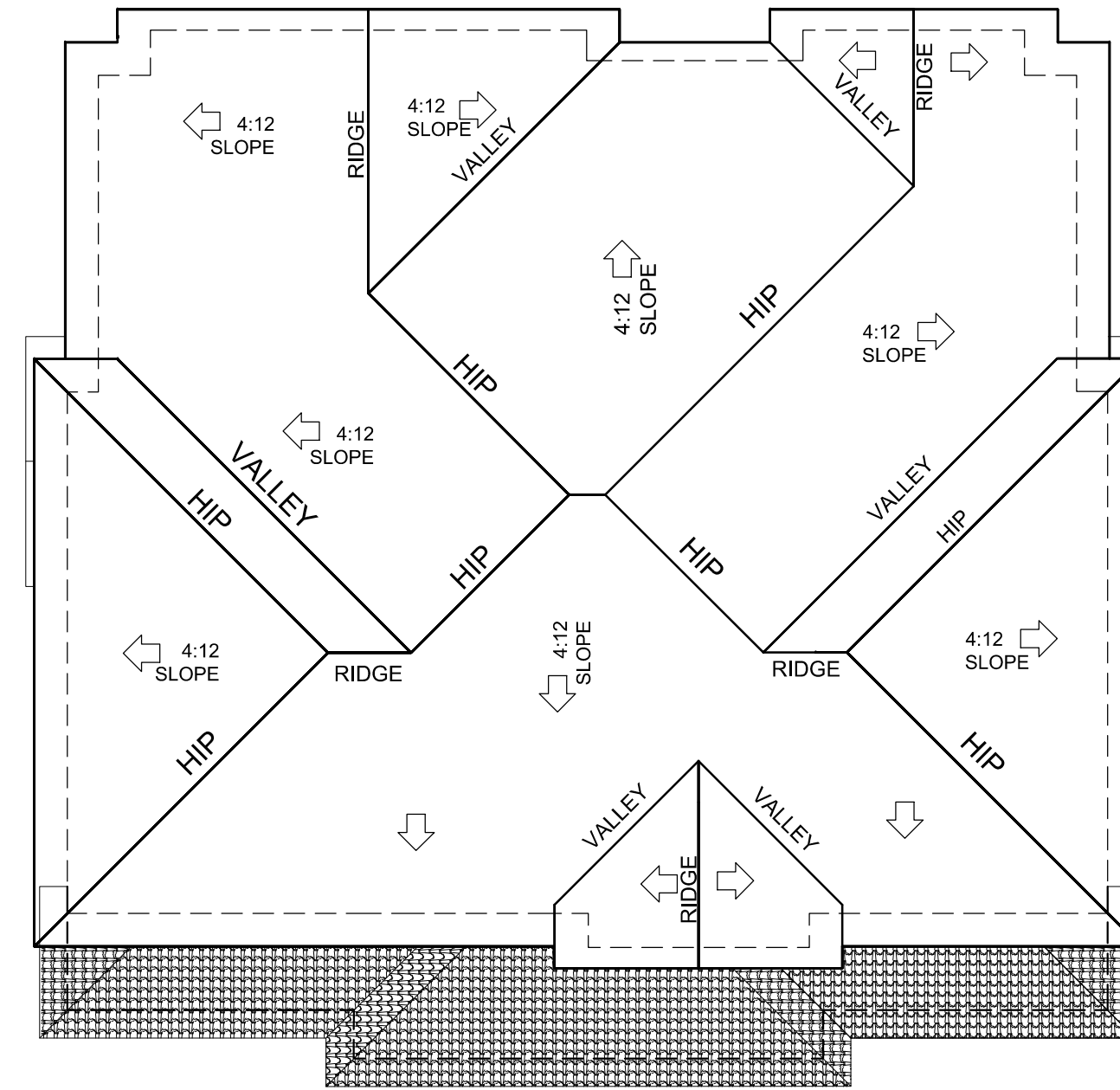
SHEET
A-2
3 OF 6



BLDG - 3 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



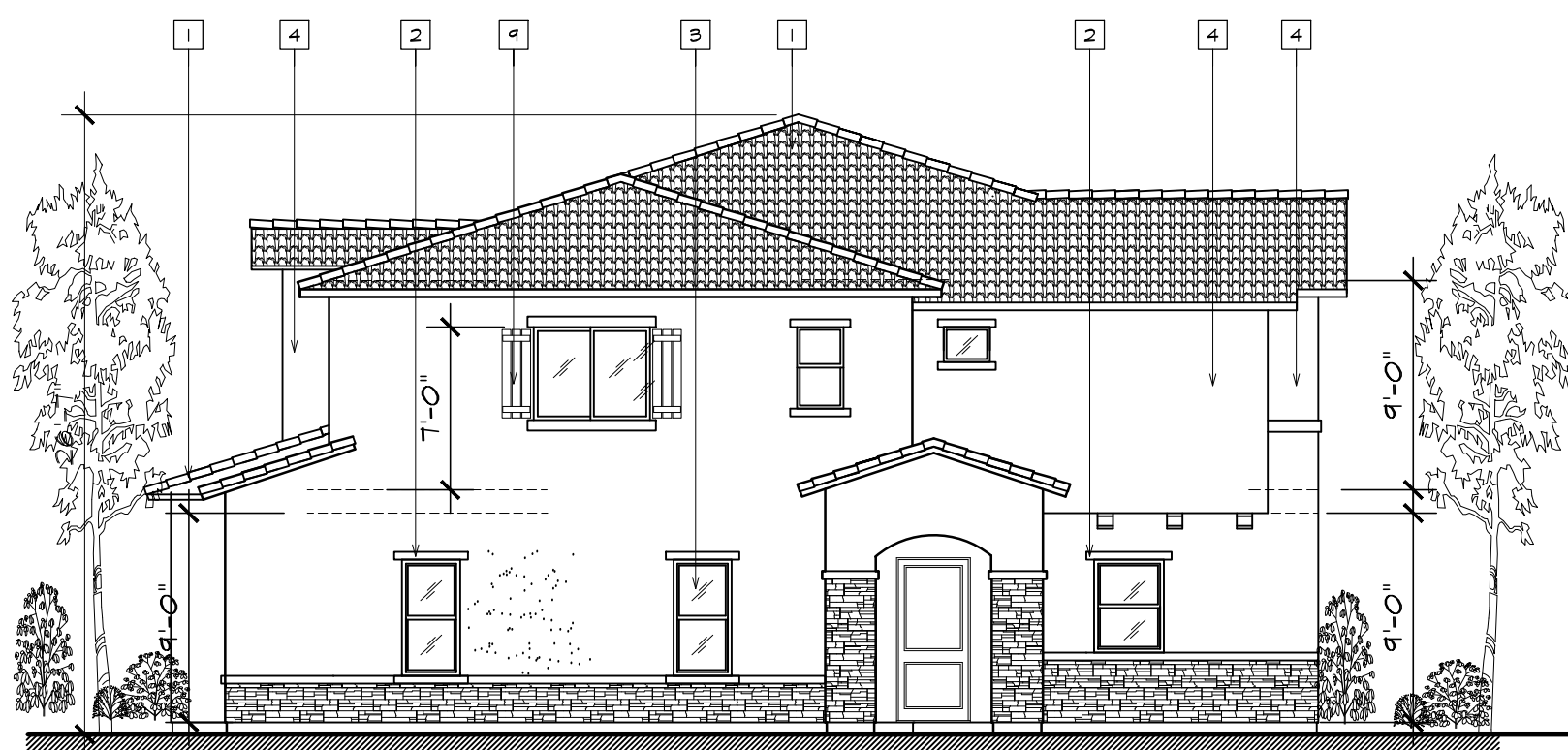
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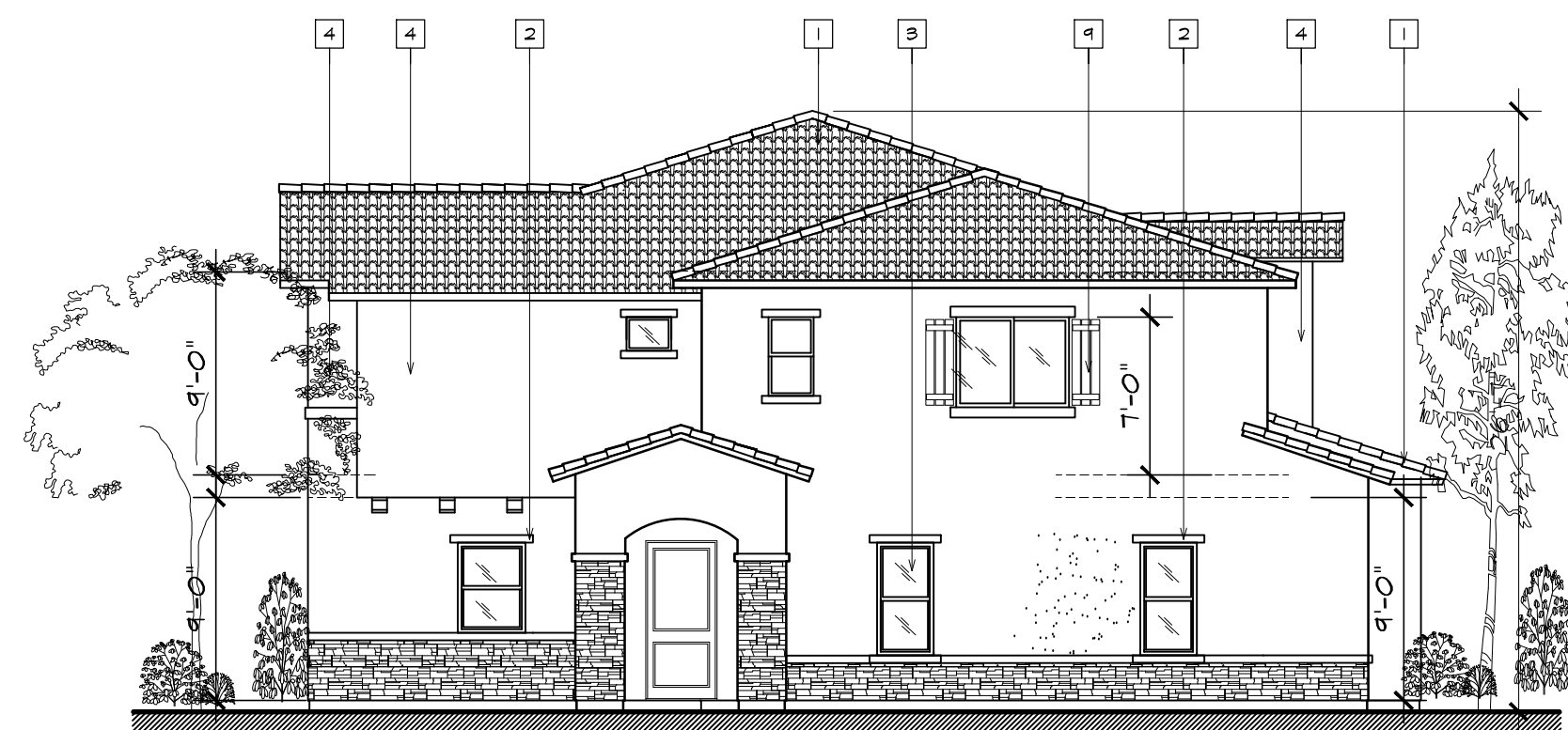
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SCALE: 1/8" = 1'-0"



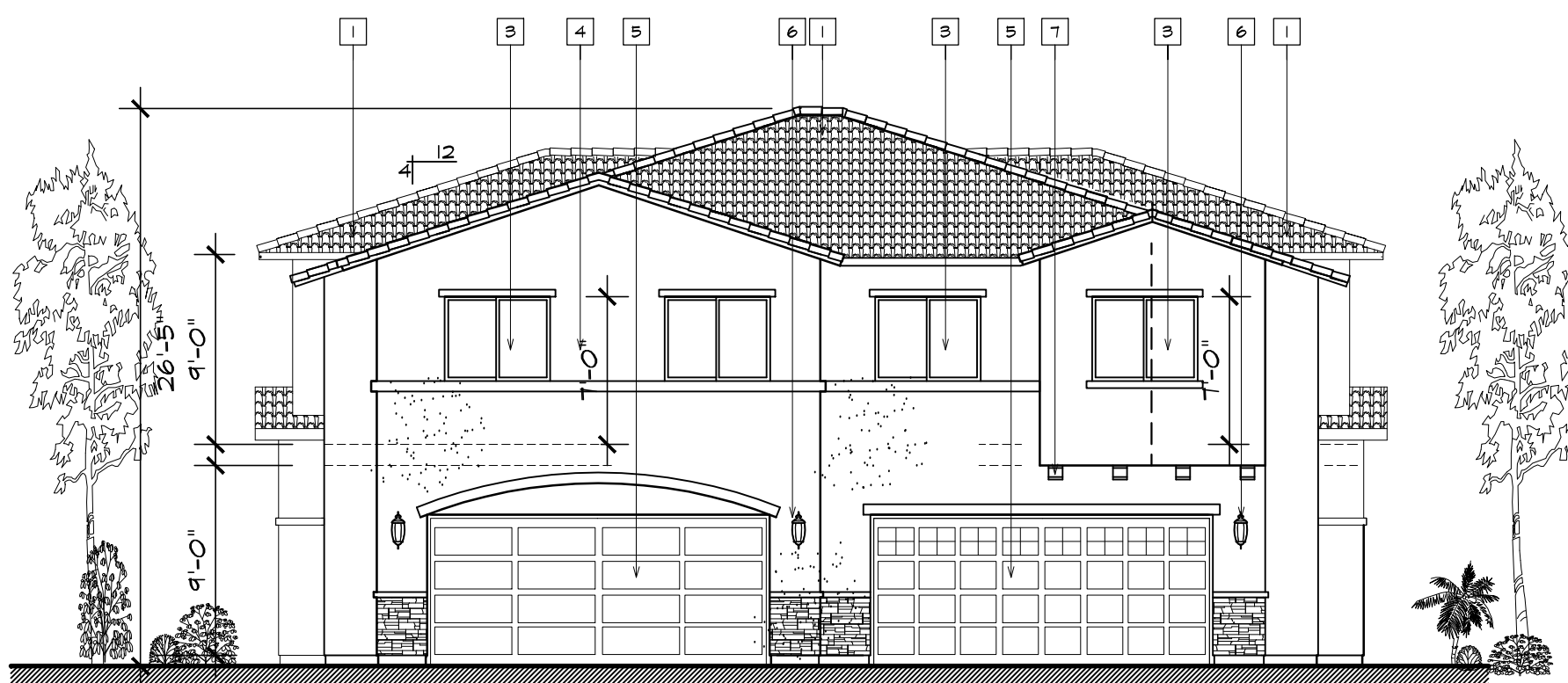
SOUTH ELEVATION - BUILDING #3
SCALE: 1/8" = 1'-0"



EAST ELEVATION BUILDING #3
SCALE: 1/8" = 1'-0"



STREET-WEST ELEVATION BUILDING #3
SCALE: 1/8" = 1'-0"



NORTH ELEVATION - BUILDING #3
SCALE: 1/8" = 1'-0"

NOTES

- FIRST FLOOR STUCCO OVER WOOD TRIM AROUND WINDOWS AND DOORS
- SECOND FLOOR STUCCO OVER FOAM TRIM AROUND WINDOWS AND DOORS

ELEVATIONS LEGEND

- CONCRETE ROOF TILE BY EAGLE
- ICC # EBR-1400
- STUCCO WINDOW SURROUNDING
- VINYL WINDOWS
- STUCCO SAND FINISH
- SECTIONAL GARAGE DOOR
- LIGHTING FIXTURE
- STUCCO CORBELS OVER FOAM, CONGO BY DUNN-EDWARDS
- STONE VENEER (BY CORONADO WATERED EDGE BRECKENRIDGE COLOR)
- WINDOWS SHUTTER

REVISIONS

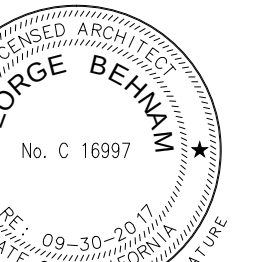
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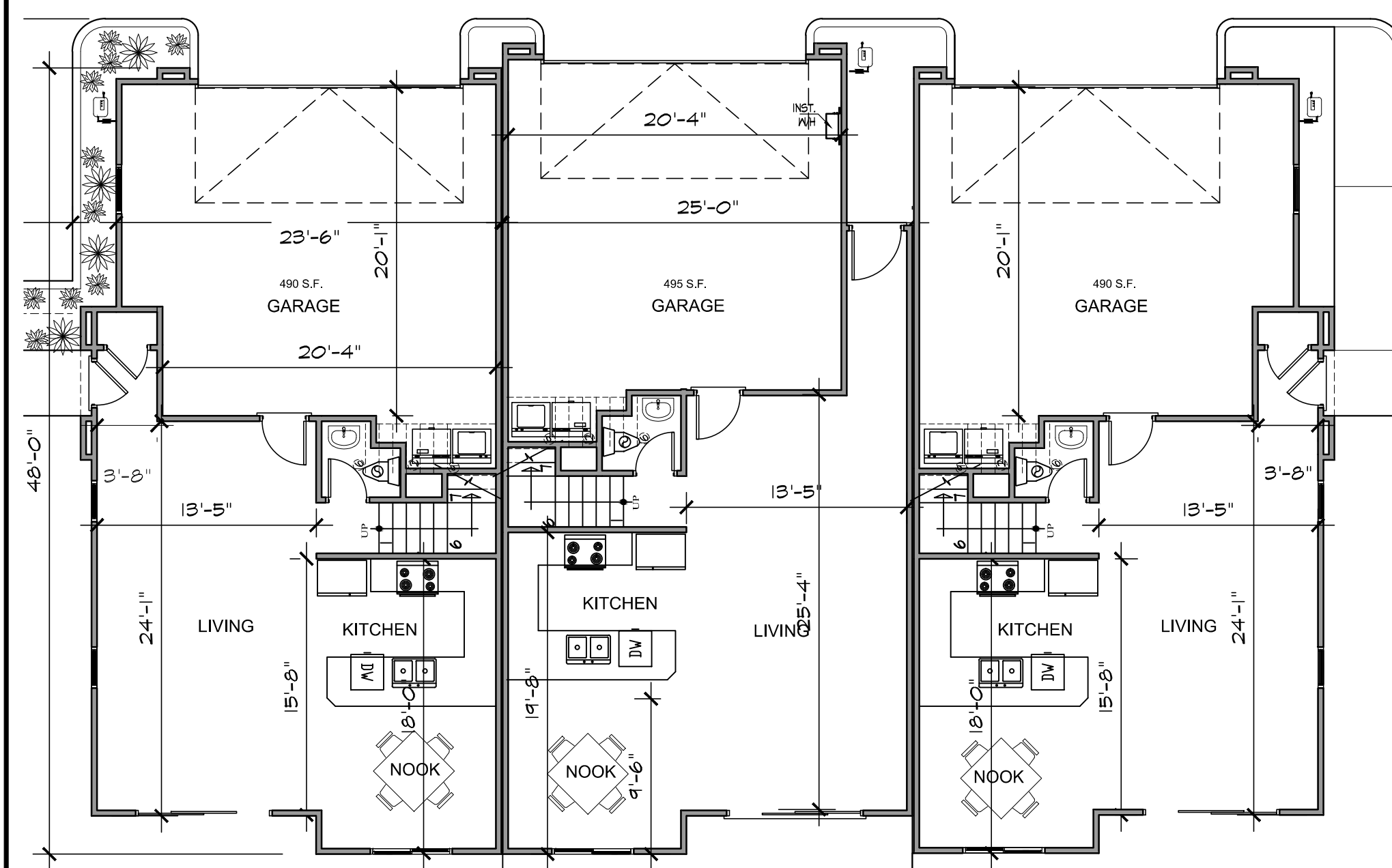


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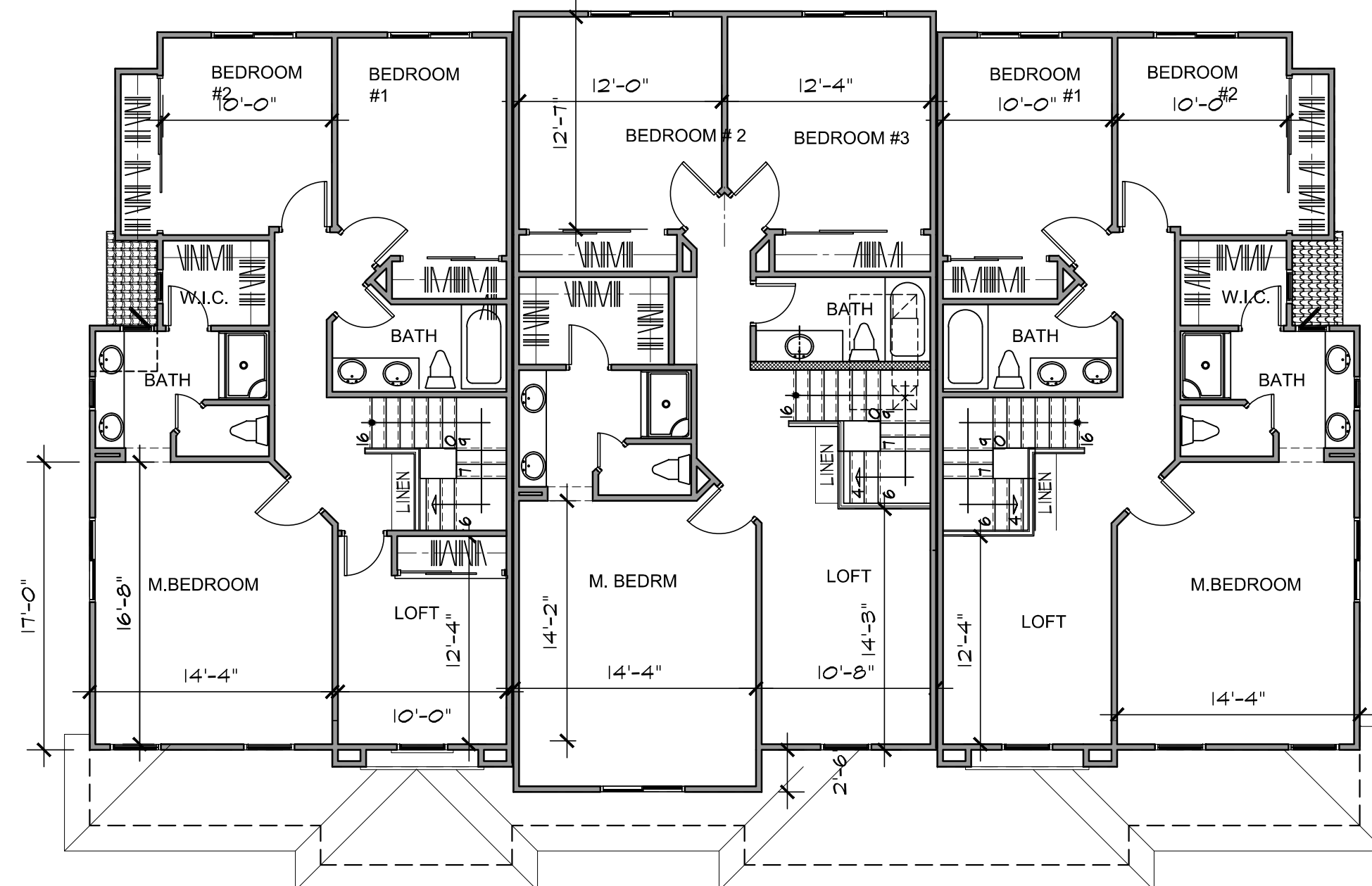
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BLDG - 3
FLOOR PLANS
&
ELEVATIONS

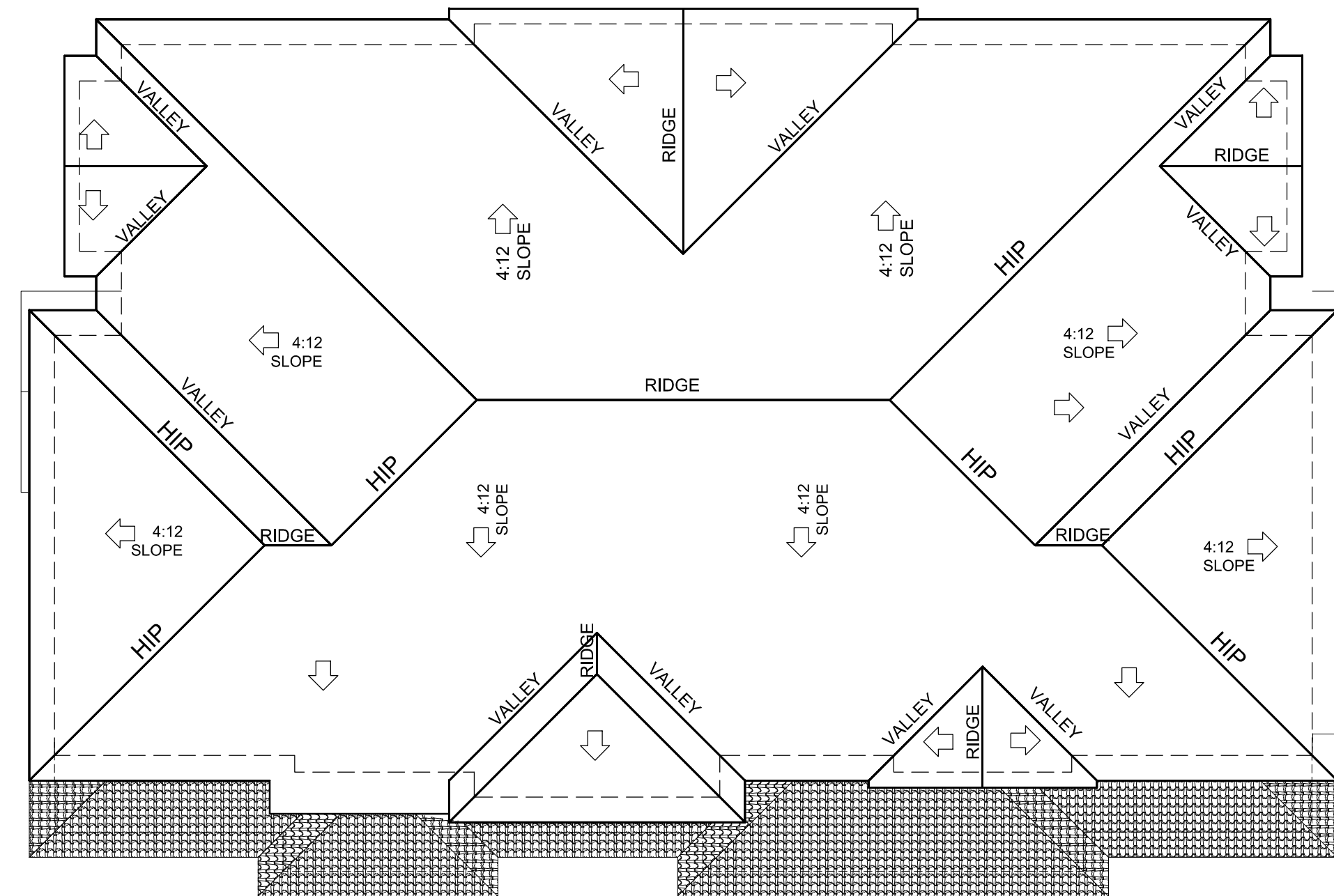
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A-3
4 OF 5



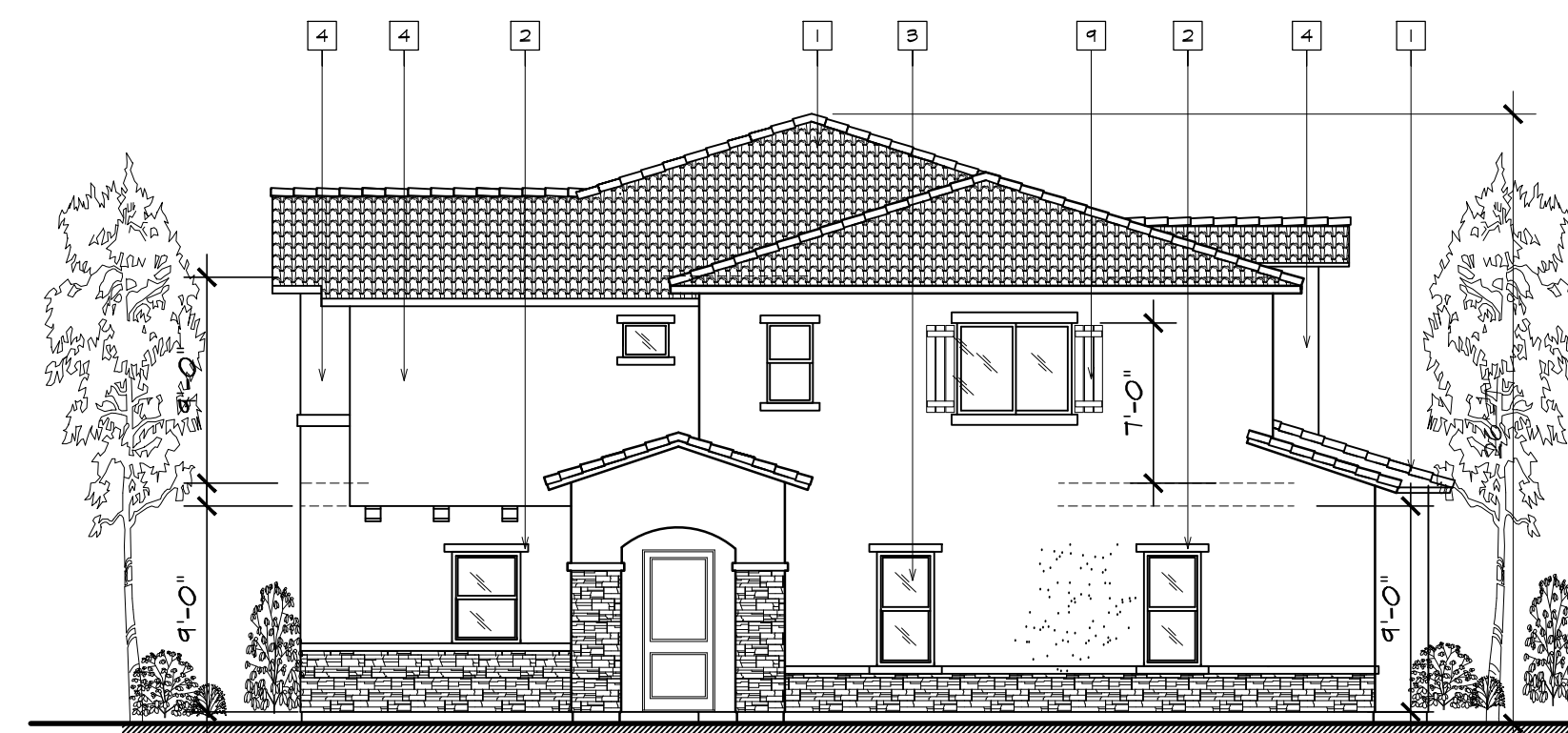
BLDG - 4 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



BLDG - 4 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



BLDG - 4 ROOF PLAN
SCALE: 1/8" = 1'-0"



WEST ELEVATION BUILDING #4
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION - BUILDING #4
SCALE: 1/8" = 1'-0"

ELEVATIONS LEGEND

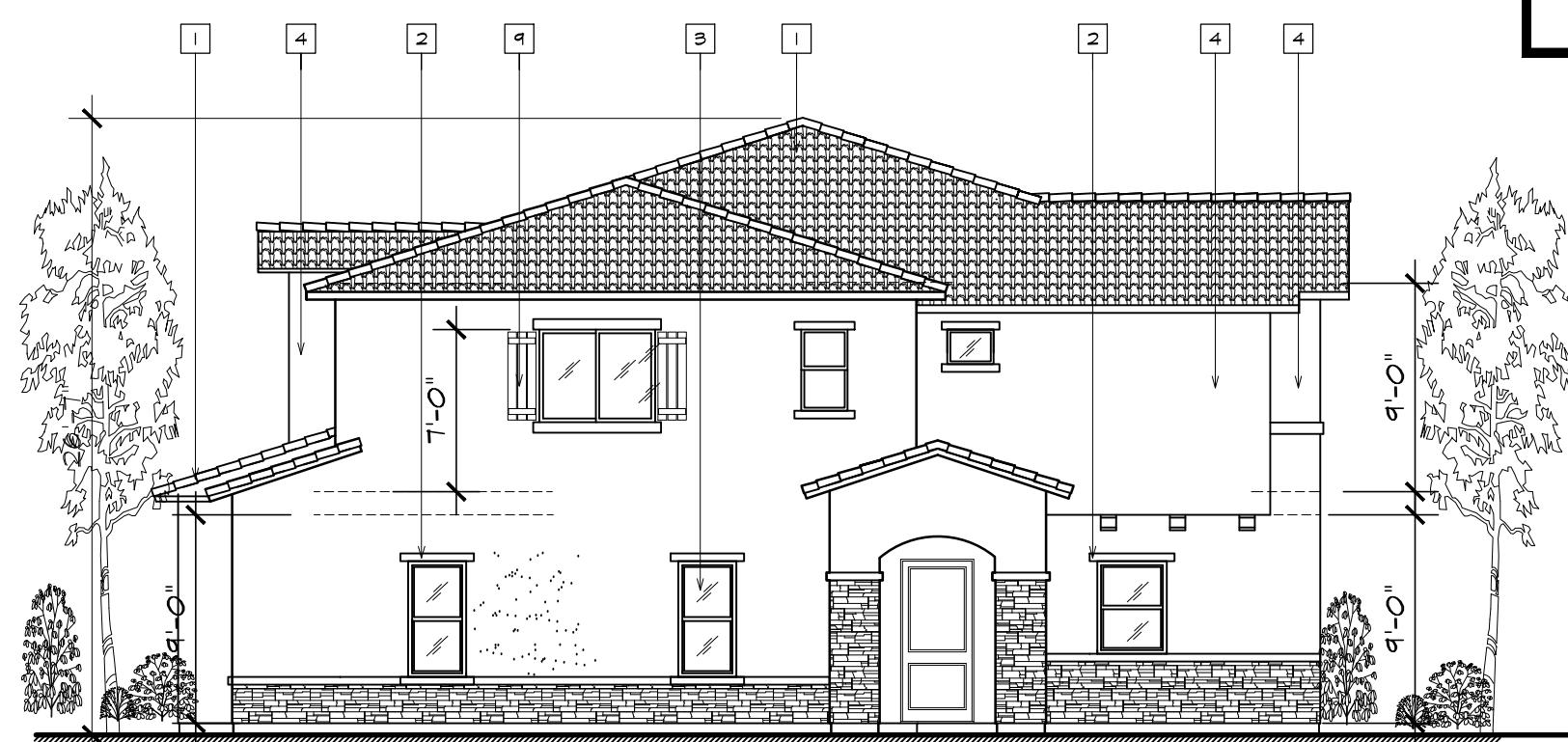
- 1- CONCRETE ROOF TILE BY EAGLE
ICC # EBR-1900
- 2- STUCCO WINDOW SURROUNDING
- 3- VINYL WINDOWS
- 4- STUCCO SAND FINISH
- 5- SECTIONAL GARAGE DOOR
- 6- LIGHTING FIXTURE
- 7- STUCCO CORBELS OVER FOAM,
CONGO BY DUNN-EDWARDS
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- 9- WINDOWS SHUTTER

NOTES

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NORTH ELEVATION - BUILDING #4
SCALE: 1/8" = 1'-0"



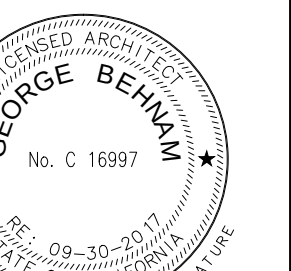
EAST SIDE ELEVATION - BUILDING #4
SCALE: 1/8" = 1'-0"

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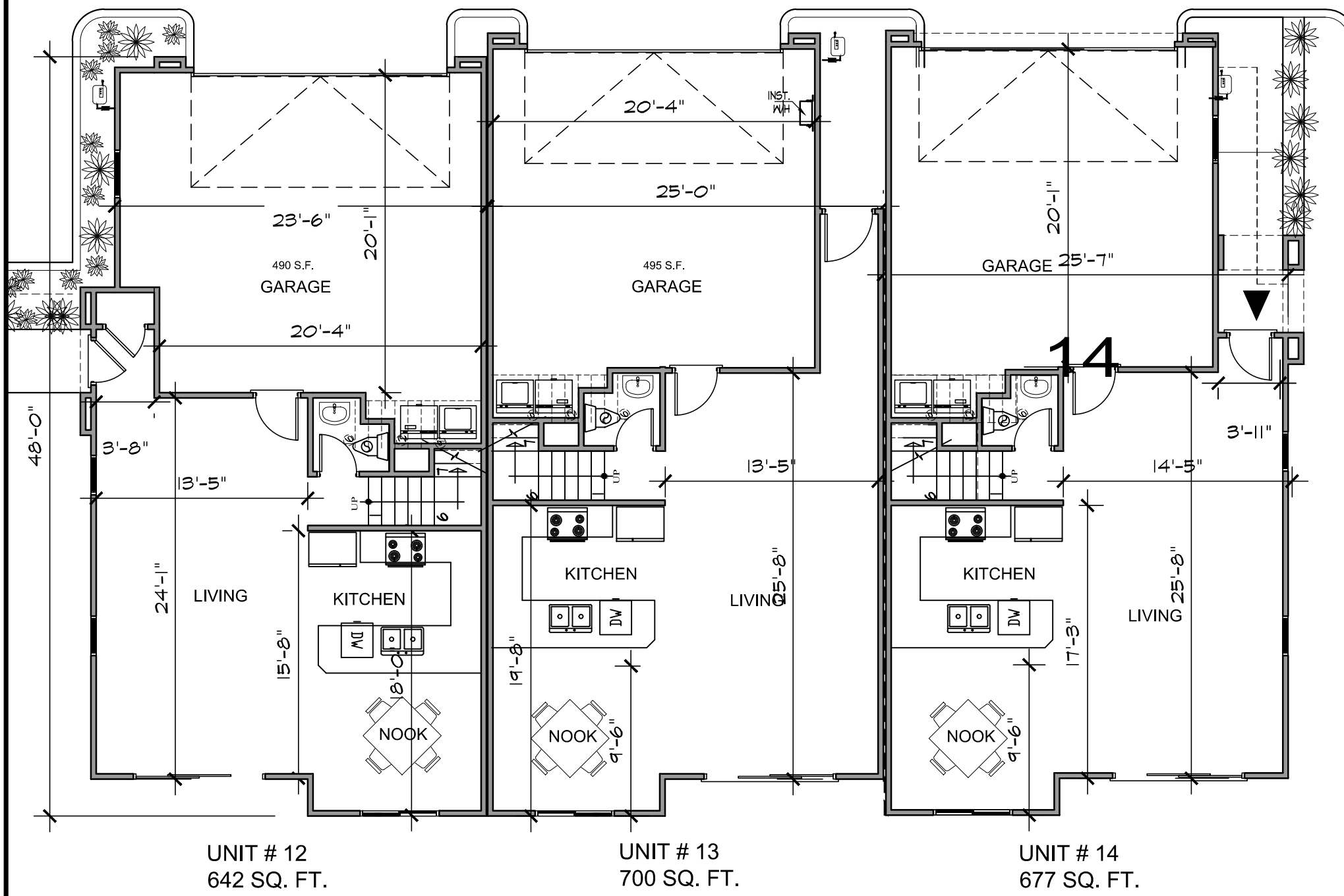
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CAD DWG FILE:
DRAWN BY: E.T.
CHECKED BY: M.M.
DRAWING SCALE: NOTED
DATE: 07-20-17

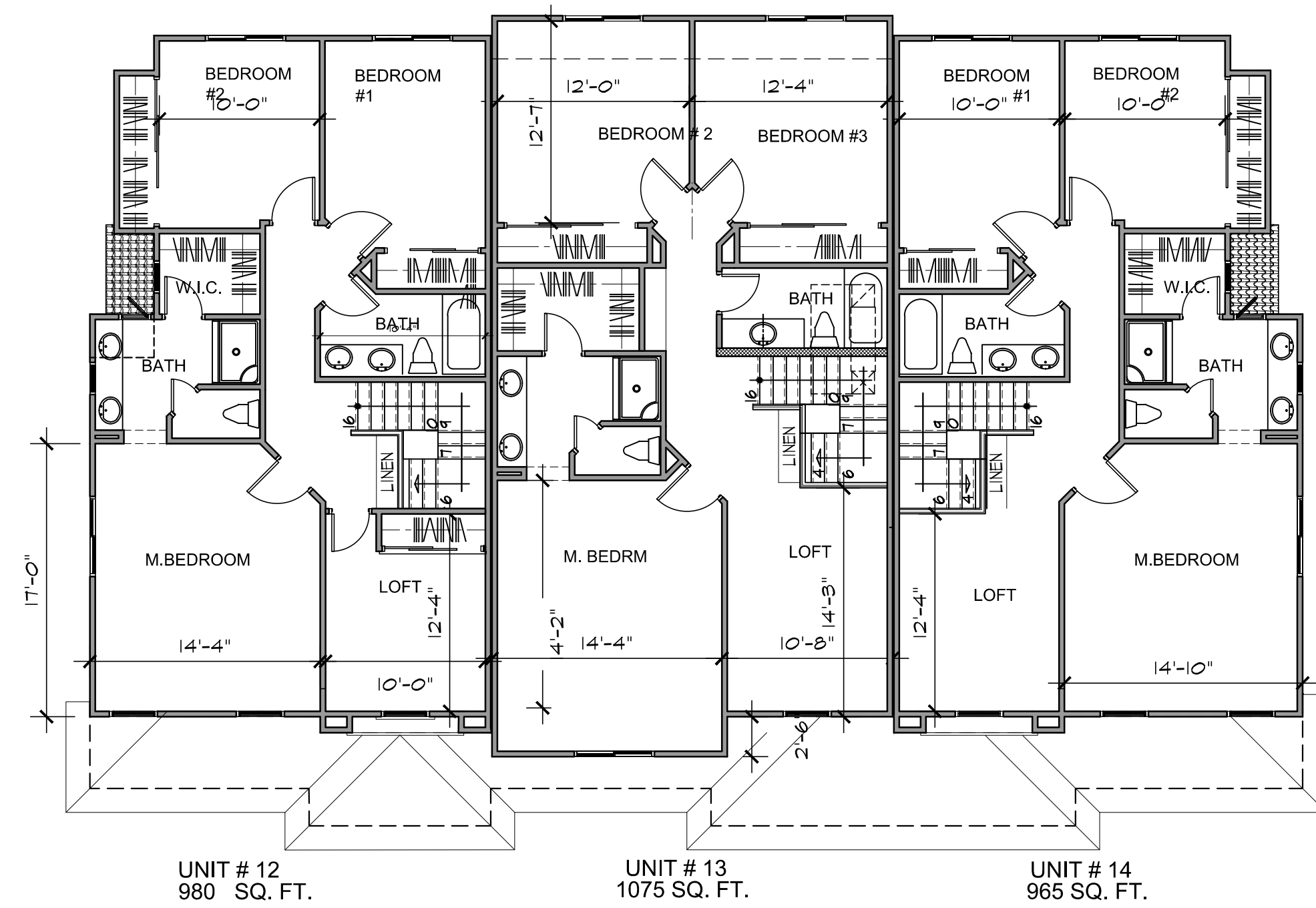
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BLDG - 4
FLOOR PLANS
&
ELEVATIONS

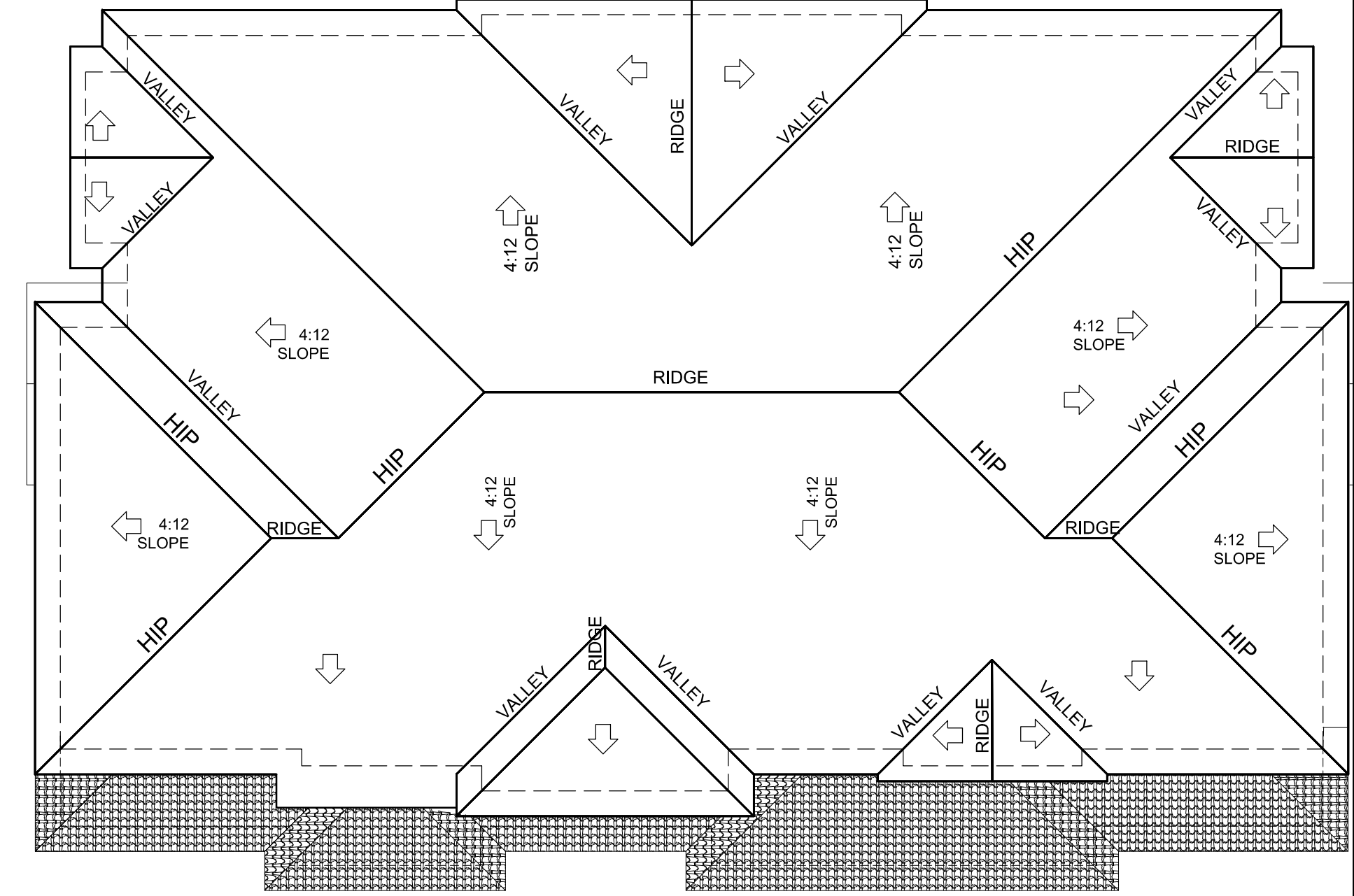
SHEET
A-4
5 OF 6



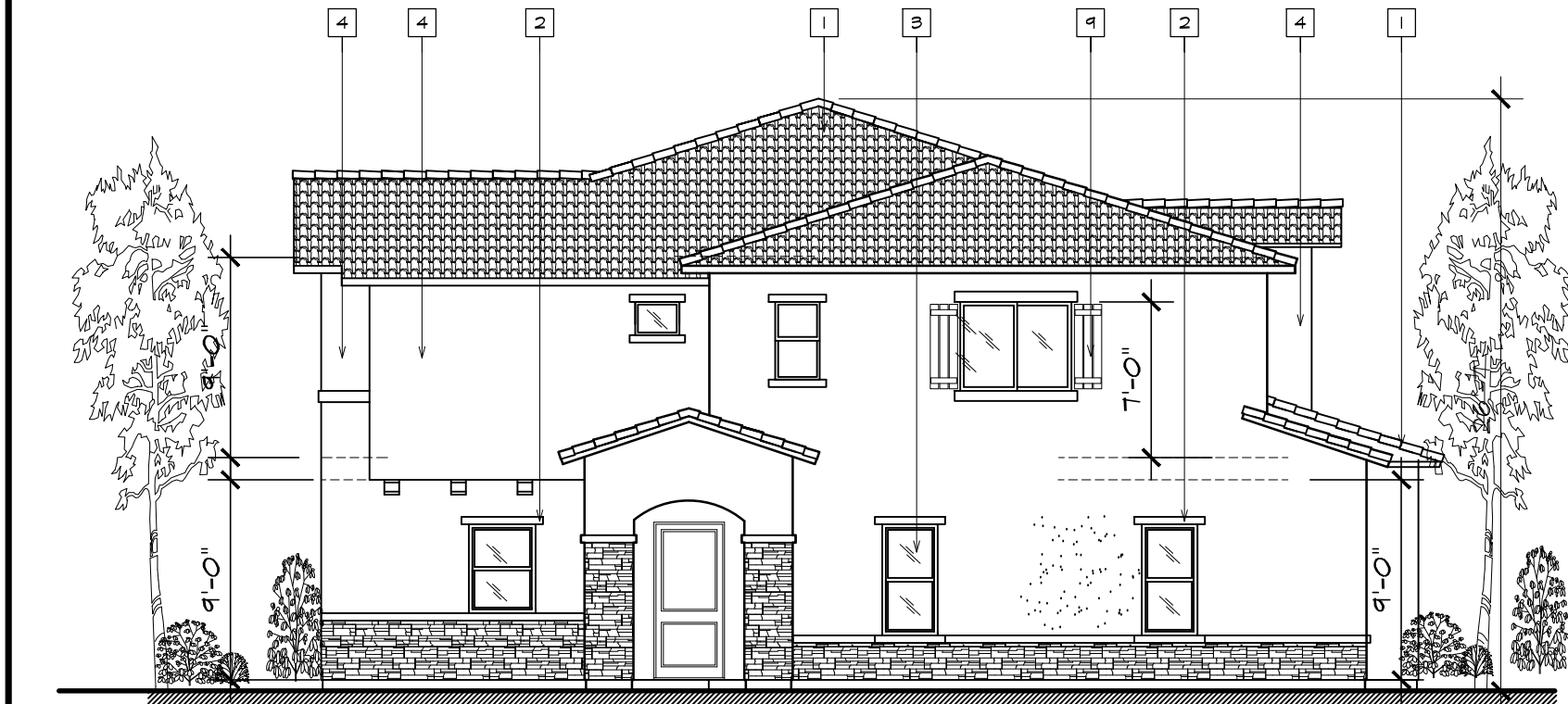
BLDG - 5 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



BLDG - 5 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



BLDG - 5 ROOF PLAN
SCALE: 1/8" = 1'-0"



WEST SIDE ELEVATION - BUILDING # 5
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION - BUILDING # 5
SCALE: 1/8" = 1'-0"

ELEVATIONS LEGEND

- 1- CONCRETE ROOF TILE BY EAGLE
ICC # ESR-1900
- 2- STUCCO WINDOW SURROUNDING
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NOTES

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NORTH ELEVATION - BUILDING # 5
SCALE: 1/8" = 1'-0"



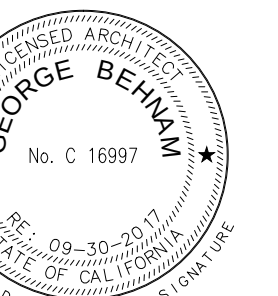
EAST SIDE ELEVATION - BUILDING # 5
SCALE: 1/8" = 1'-0"

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PROJECT NO: 140106
CAD DWG FILE:
DRAWN BY: E.T.
CHECKED BY: M.M.
DRAWING SCALE: NOTED
DATE: 07-20-17

SHEET TITLE:

BLDG - 5
FLOOR PLANS
&
ELEVATIONS

SHEET
A-5
6 OF 6