

WHITE AVENUE 12-UNIT

1452 WHITE AVENUE POMONA, CA • APN:8343-008-020



PROJECT DATA

LOT SQ. FT.:	35,190 SF (.81 AC)	<u>OPEN SPACE REQUIREMENTS</u>	
APN:	8347-027-025		
ZONING:	R-2	PRIVATE OPEN SPACE	150 SF / UNIT REQUIRED PER UNIT
GENERAL PLAN USE:	LOW DENSITY MULTIPLE FAMILY		
CONSTRUCTION TYPE:	TYPE - V - A	• UNIT 1	100 SF AT FIRST FLOOR / 60 SF AT SECOND FLOOR DECK
OCCUPANCY:	R-2 / U	• UNIT 2	163 SF AT FIRST FLOOR PATIO
DENSITY:	8-15 DU PER AC	• UNIT 3	164 SF AT FIRST FLOOR PATIO
	15 DU x .81 AC = 12 UNITS (12 PROVIDED)	• UNIT 4	163 SF AT FIRST FLOOR PATIO
	2 STORIES (35'-0" MAX. HT.)	• UNIT 5	163 SF AT FIRST FLOOR PATIO
		• UNIT 6	164 SF AT FIRST FLOOR PATIO
		• UNIT 7	100 SF AT FIRST FLOOR / 60 SF AT SECOND FLOOR DECK
		• UNIT 8	163 SF AT FIRST FLOOR PATIO
		• UNIT 9	163 SF AT FIRST FLOOR PATIO
		• UNIT 10	163 SF AT FIRST FLOOR PATIO
		• UNIT 11	163 SF AT FIRST FLOOR PATIO
		• UNIT 12	164 SF AT FIRST FLOOR PATIO
		COMMON OPEN SPACE	500 SF / UNIT (FOR 3-BR UNIT)
			400 SF / UNIT (FOR 2-BR UNIT)
		(8) BEDROOM UNITS	4,000 SF
		(2) BEDROOM UNITS	1,600 SF
		TOTAL REQUIRED	5,600 SF
		TOTAL PROVIDED (A+B+C)	5,605 SF

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- C-1 CONCEPTUAL GRADING PLAN
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- L-1 CONCEPTUAL LANDSCAPE PLAN



DESIGN CONCEPT STUDIO

2844 E. THIRD STREET #204 • LONG BEACH, CA • 90814

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WHITE AVENUE 12-UNIT

WF Feron LLC

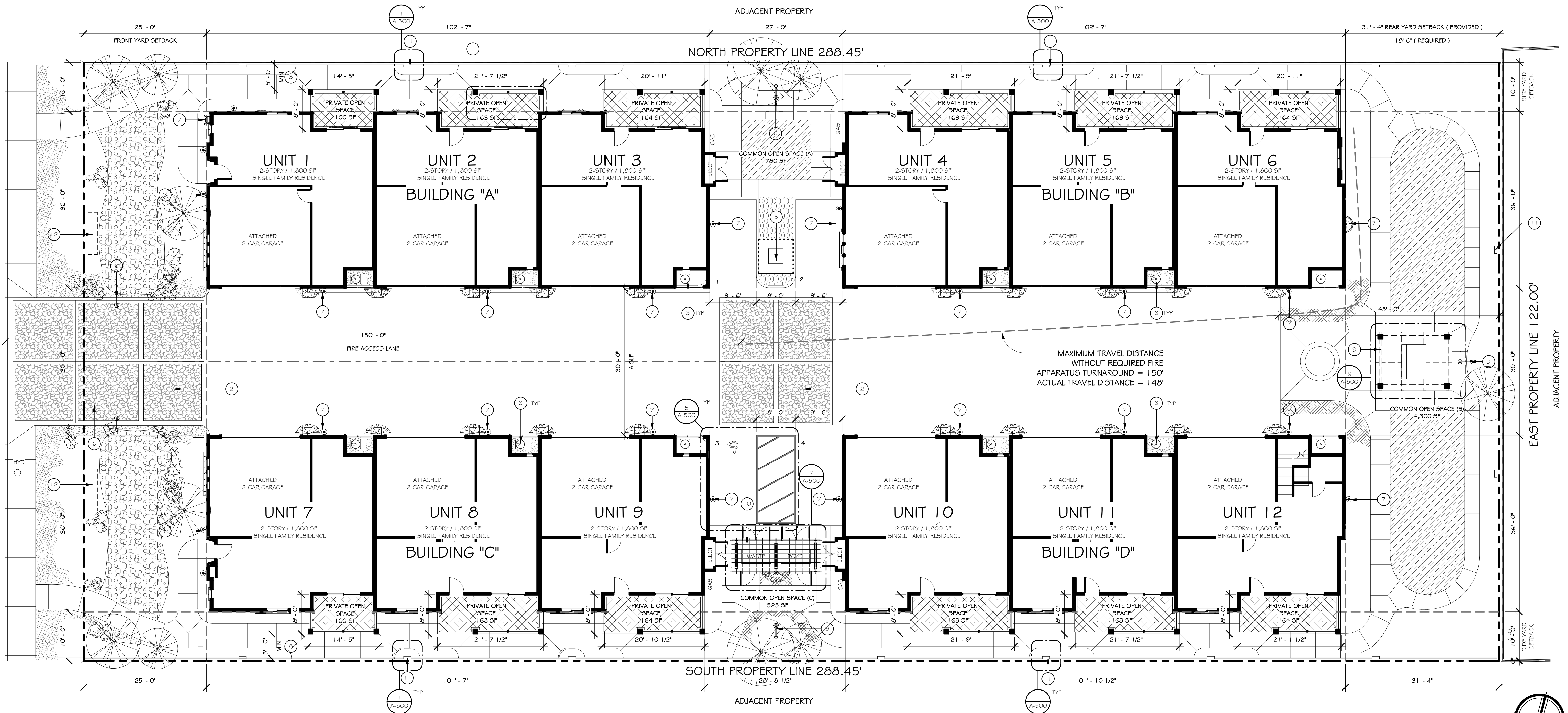
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REVIEWS	PROJECT NO.	1181014
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A-000

WHITE AVENUE

WEST PROPERTY LINE 122.00'



SITE PLAN

SCALE: 1" = 10'-0"

SITE PLAN KEYNOTES

- PRIVATE PATIO FENCE
 - 6" WOOD FRAMED COLUMNS W/ STUCCO FINISH.
 - 6" VINYL FENCE.
 - COUNTRY ESTATE FENCE, MODEL: LAKELAND/COLOR: ALMOND STREAK (OR APPROVED EQUAL)
- REFER TO DETAIL (A-500)
- STAMPED CONCRETE DETAIL.
- CONDENSER UNIT
- TRANSFORMER PER SCE STANDARDS.
- PERIMETER WALL (FENCE)
 - SPLIT FACE BLOCK COLOR: WHITE
- POST LIGHT FIXTURE.
- MOTION ACTIVATED SECURITY LIGHT
- 5' CONCRETE WALKWAY
- SHADE STRUCTURE
 - SPLIT FACE CMU COLUMNS COLOR: WHITE
 - WOOD FRAMED TRELLIS W/ PAINT FINISH COLOR: DUNN EDWARDS - WILD MUSTANG (DEA161)
- TRASH ENCLOSURE
 - SPLIT FACE CMU, COLOR: WHITE
 - WOOD FRAMED TRELLIS W/ PAINT FINISH COLOR: DUNN EDWARDS - WILD MUSTANG (DEA161)
- PILASTER
 - 16" SPLIT FACE CMU PILASTER COLOR: WHITE OR,
 - 16" SPLIT FACE CMU PILASTER WITH STUCCO FINISH, COLOR TO MATCH BUILDING. (TBD)
 - REFER TO DETAIL NOTED. REFER TO FENCE PLAN FOR LOCATIONS.
- PUBLIC ART. TO BE DETERMINED. PER SEPARATE PERMIT AND APPLICATION.

OPEN SPACE REQUIREMENTS

PRIVATE OPEN SPACE	150 SF / UNIT REQUIRED PER UNIT
UNIT 1	100 SF AT FIRST FLOOR / 60 SF AT SECOND FLOOR DECK.
UNIT 2	163 SF AT FIRST FLOOR PATIO
UNIT 3	164 SF AT FIRST FLOOR PATIO
UNIT 4	163 SF AT FIRST FLOOR PATIO
UNIT 5	163 SF AT FIRST FLOOR PATIO
UNIT 6	164 SF AT FIRST FLOOR PATIO
UNIT 7	100 SF AT FIRST FLOOR / 60 SF AT SECOND FLOOR DECK.
UNIT 8	163 SF AT FIRST FLOOR PATIO
UNIT 9	164 SF AT FIRST FLOOR PATIO
UNIT 10	163 SF AT FIRST FLOOR PATIO
UNIT 11	163 SF AT FIRST FLOOR PATIO
UNIT 12	164 SF AT FIRST FLOOR PATIO
COMMON OPEN SPACE	500 SF / UNIT (FOR 3-BR UNIT) 400 SF / UNIT (FOR 2-BR UNIT)
(8) BEDROOM UNITS	4,000 SF
(4) BEDROOM UNITS	1,600 SF
TOTAL REQUIRED	5,600 SF
TOTAL PROVIDED (A+B+C)	5,605 SF

DESIGN CONCEPT STUDIO

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WHITE AVENUE 12-UNIT

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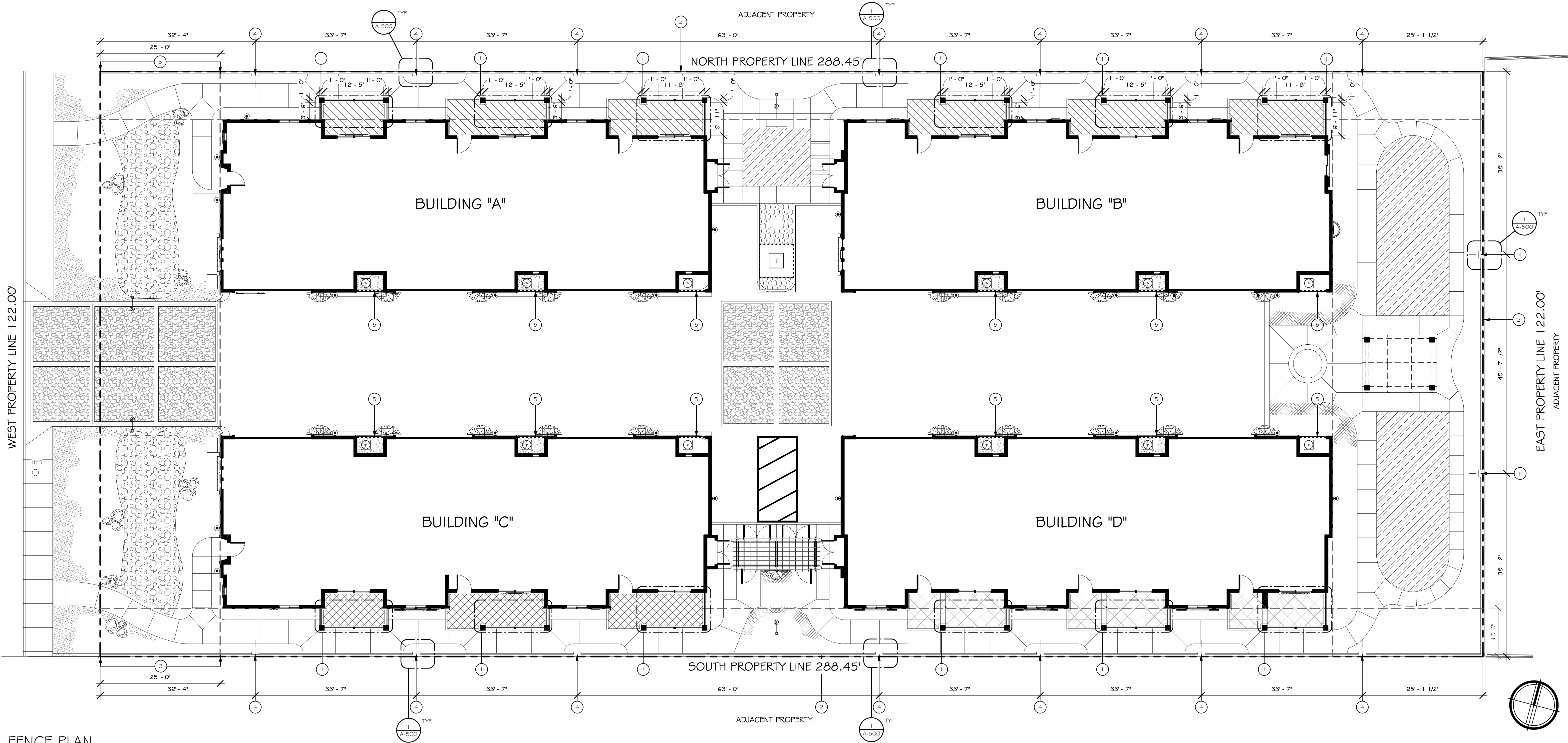
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REVISIONS
PROJECT NO. 11810-14
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A-100

WHITE AVENUE

WEST PROPERTY LINE 122.00'



FENCE PLAN

SCALE: 1" = 10'-0"

KEYNOTES

- PRIVATE PATIO FENCE**
 - 1 FT. SQ. & WOOD FRAMED COLUMNS W/ STUCCO FINISH.
 - 6" VINYL FENCE
 - COUNTRY ESTATE FENCE, MODEL: LAKELAND
 - COLOR: ALMOND STREAK (OR APPROVED EQUAL)
 - REFER TO DETAIL 2 (A-500)
- PERIMETER WALL (FENCE)**
 - SPLIT FACE BLOCK, COLOR: WHITE
- 3' HIGH CMU PERIMETER WALL, WITHIN 25' FRONT YARD SETBACK.**
 - SPLIT FACE BLOCK, COLOR: WHITE
- PILASTER**
 - 1 6" SPLIT FACE CMU PILASTER, COLOR: WHITE, OR,
 - 1 6" SPLIT FACE CMU PILASTER WITH STUCCO FINISH.
 - COLOR TO MATCH BUILDING. (TBD)
 - REFER TO DETAIL NOTED. REFER TO FENCE PLAN FOR LOCATIONS
- 6" VINYL FENCE AND 3' DOOR.**
 - COUNTRY ESTATE FENCE, MODEL: LAKELAND
 - COLOR: ALMOND STREAK (OR APPROVED EQUAL)

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WHITE AVENUE 12-UNIT

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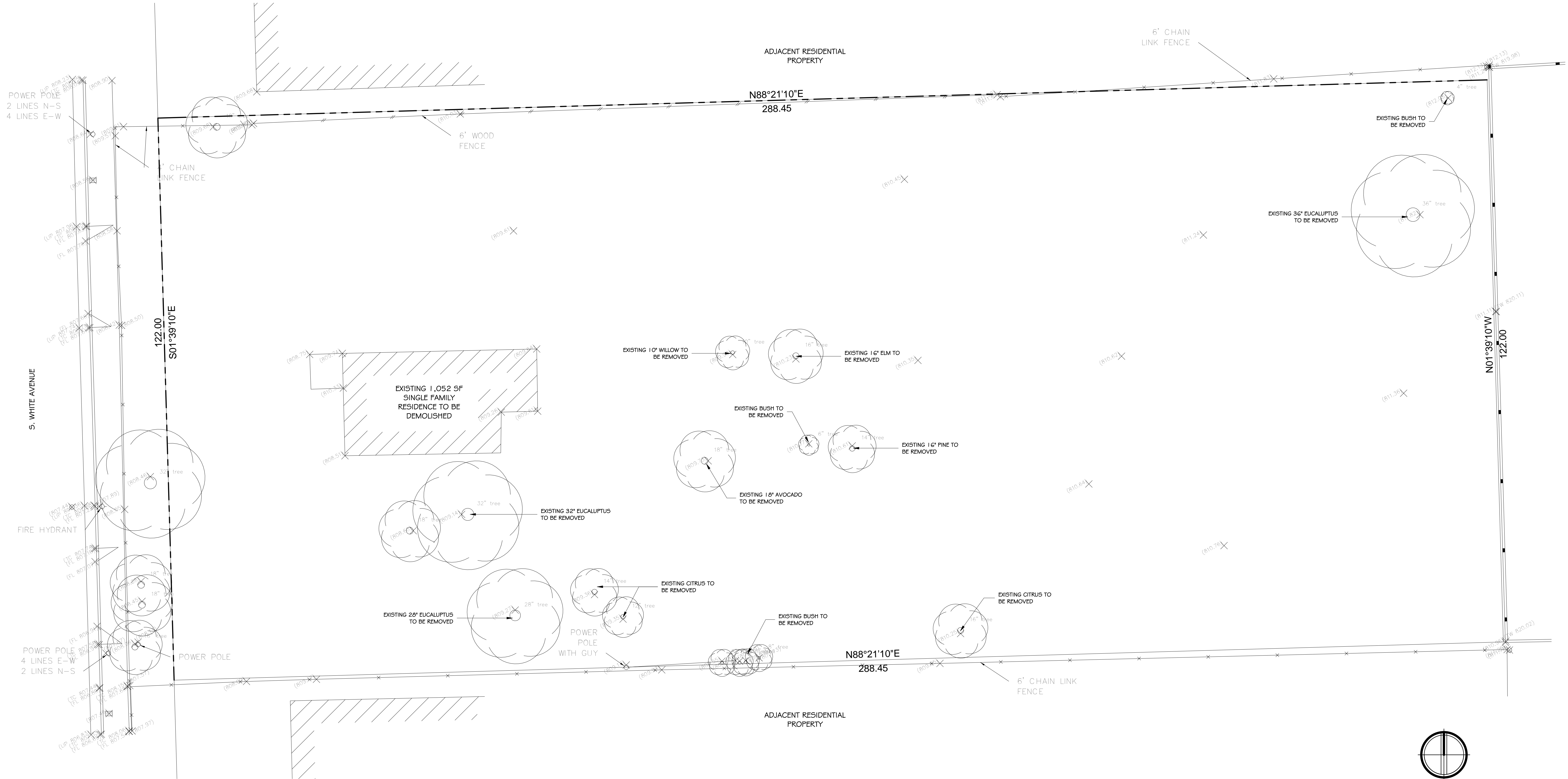
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A-101



EXISTING / DEMOLITION SITE PLAN
SCALE: 1" = 10'-0"

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WHITE AVENUE 12-UNIT

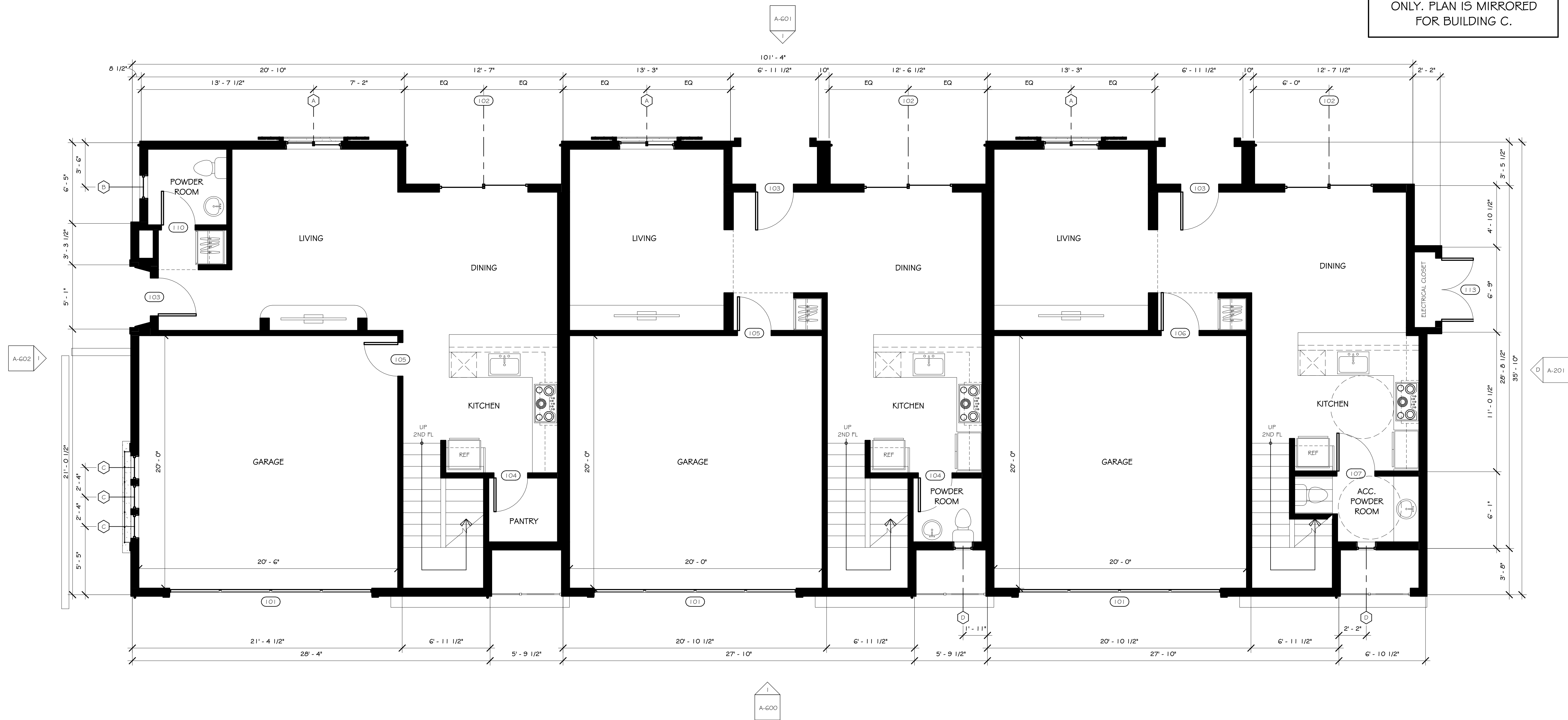
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A-102

THIS PLAN DEPICTS BUILDING
A & C FIRST FLOOR PLAN
ONLY. PLAN IS MIRRORED
FOR BUILDING C.



1 FIRST FLOOR PLAN (BUILDINGS A & C)
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- BUILDING SECTION**
SECTION REFERENCE
SHEET REFERENCE
- EXTERIOR ELEVATION**
ELEVATION REFERENCE
SHEET REFERENCE
- DETAIL**
DETAIL REFERENCE
SHEET REFERENCE
- KEYNOTE
REFER TO KEYNOTE LIST HEREIN
- WINDOW PER SCHEDULE
- DOOR PER SCHEDULE
REFER TO SHEET A-400 (U.O.N.)
- CARBON MONOXIDE ALARM.
REFER TO ADDITIONAL NOTES HEREIN.
- SMOKE ALARM.
REFER TO ADDITIONAL NOTES HEREIN.

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WHITE AVENUE 1 2-UNIT

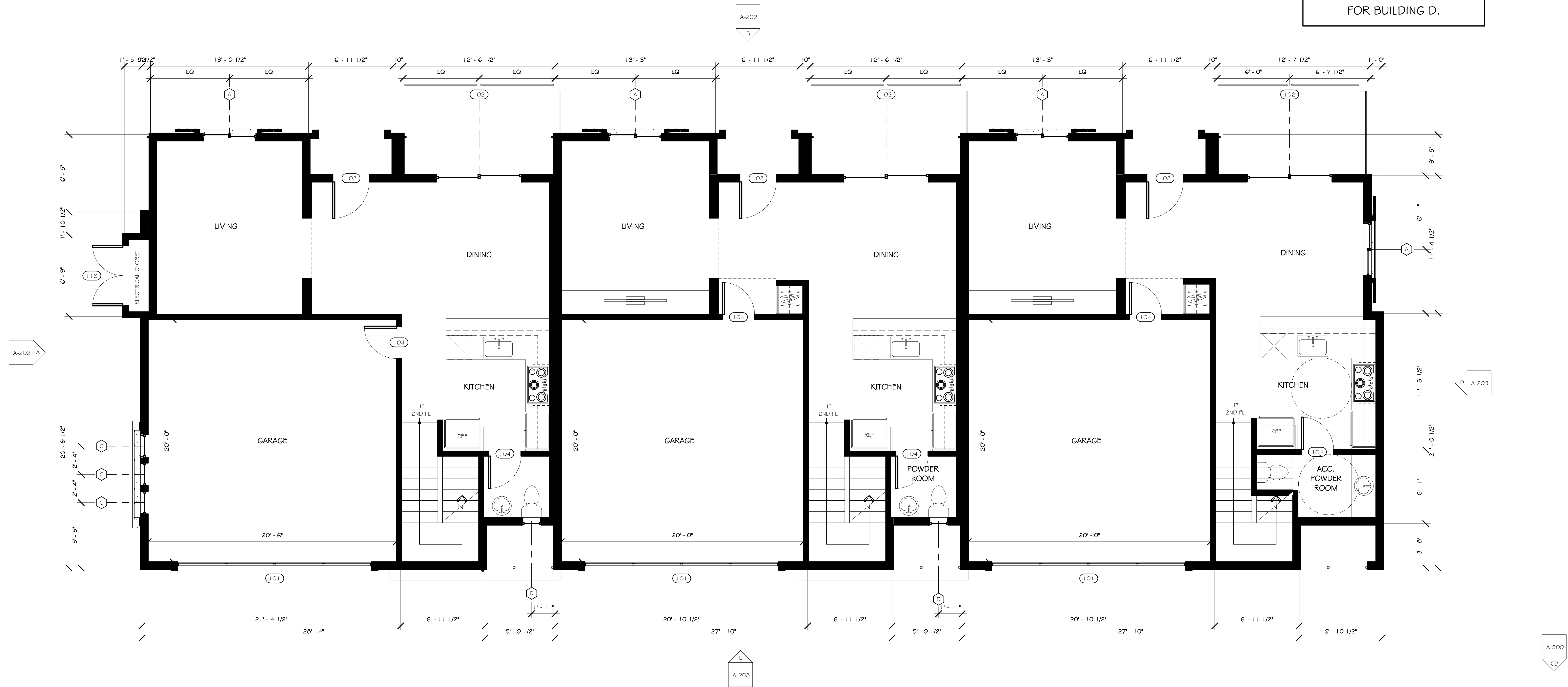
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A-103

THIS PLAN DEPICTS BUILDING B & D FIRST FLOOR PLAN ONLY. PLAN IS MIRRORED FOR BUILDING D.



FIRST FLOOR PLAN (BUILDINGS B & D)
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- BUILDING SECTION**

SECTION REFERENCE
SHEET REFERENCE
- EXTERIOR ELEVATION**

ELEVATION REFERENCE
SHEET REFERENCE
- DETAIL**

DETAIL REFERENCE
SHEET REFERENCE
- KEYNOTE**

REFER TO KEYNOTE LIST HEREIN
- WINDOW PER SCHEDULE**
- DOOR PER SCHEDULE**

REFER TO SHEET A-400 (U.O.N.)
- CARBON MONOXIDE ALARM.**

REFER TO ADDITIONAL NOTES HEREIN.
- SMOKE ALARM.**

REFER TO ADDITIONAL NOTES HEREIN.

DESIGN CONCEPT STUDIO

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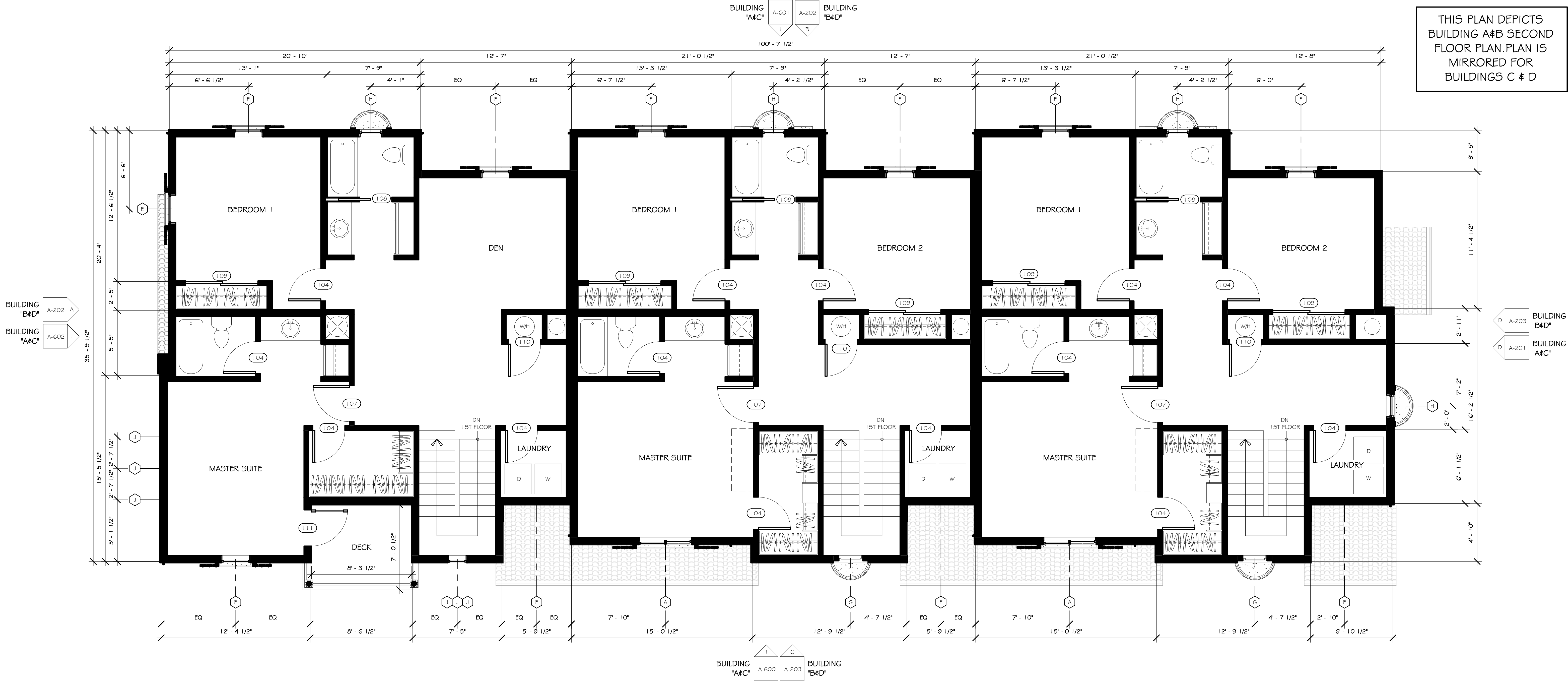
WHITE AVENUE 12-UNIT

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SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- BUILDING SECTION
SECTION REFERENCE
SHEET REFERENCE
- EXTERIOR ELEVATION
ELEVATION REFERENCE
SHEET REFERENCE
- DETAIL
DETAIL REFERENCE
SHEET REFERENCE
- KEYNOTE
REFER TO KEYNOTE LIST HEREIN
- WINDOW PER SCHEDULE
- DOOR PER SCHEDULE
REFER TO SHEET A-400 (U.O.N.)
- CARBON MONOXIDE ALARM.
REFER TO ADDITIONAL NOTES HEREIN.
- SMOKE ALARM.
REFER TO ADDITIONAL NOTES HEREIN.

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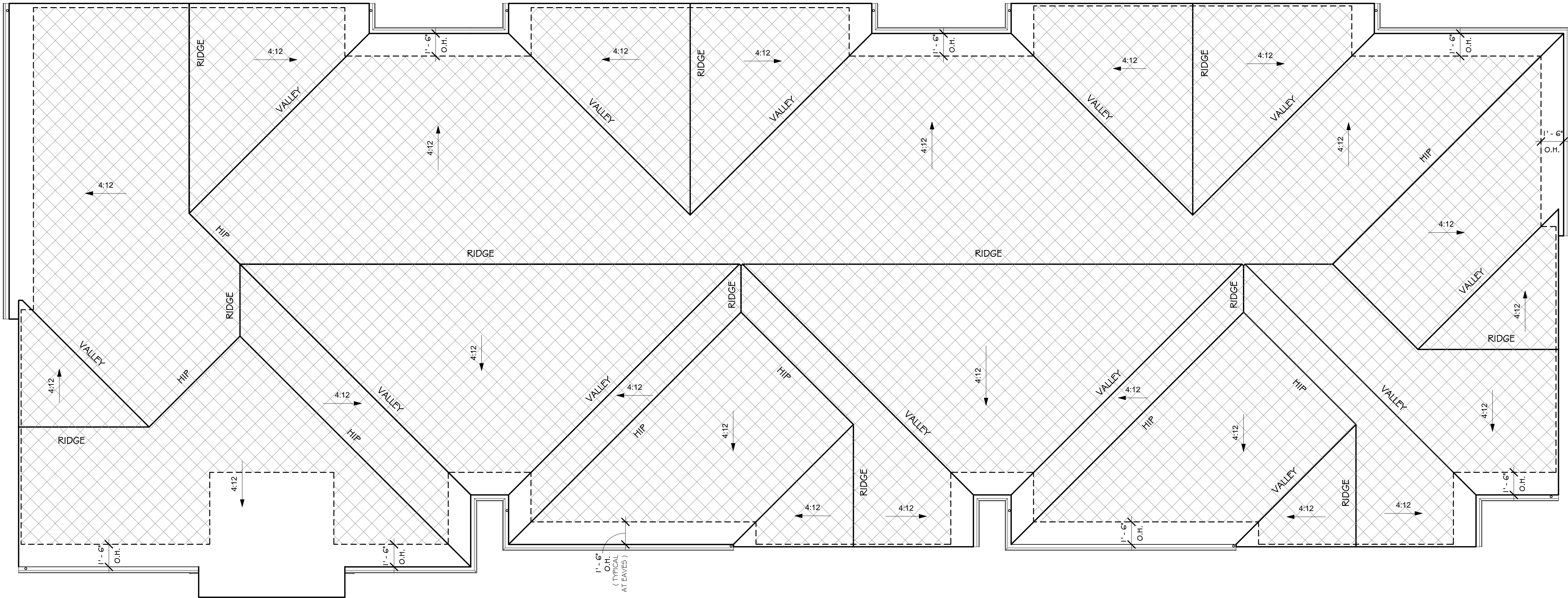
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A-105

BUILDING "A&C" A-601 A-202 BUILDING "B&D"

THIS PLAN DEPICTS BUILDING A & B ROOF PLAN ONLY. PLAN IS MIRRORED FOR BUILDINGS C & D.

BUILDING "B&D" A-202 A BUILDING "A&C" A-602 I



D A-203 BUILDING "B&D" D A-201 BUILDING "A&C"

BUILDING "A&C" I A-600 C A-203 BUILDING "B&D"

ROOF PLAN (TYPICAL)

SCALE: 1/4" = 1'-0"

ROOF NOTES

ROOFING:

EAGLE ROOFING PRODUCTS
BUILDER SELECT STANDARD WEIGHT ROOFING TILES
STYLE: MALIBU
COLOR: VALENCIA OR KONA RED RANGE (9.7 PSF; APPROX.)
CLASS 'A' TILE ROOFING ; KINGS CANYON BLEND,
ICC-ES ESR-1900(OR EQUAL)

ATTIC VENTILATION:

3,359 SQ. FT. OF ATTIC AREA X 1/150 = 22.4 SQ. FT. (3,325 SQ. IN.)

50% OF VENTILATION PROVIDED BY DORMER VENTS 3' ABOVE EAVE.
1,612.5 SQ. IN. OF VENTILATION REQUIRED AT DORMER VENTS. DORMER VENTS SHALL BE 24" HALF ROUND METAL VENT LOUVERS PROVIDING 100 SQ. IN. OF VENTILATION. (17 VENTS REQUIRED)
PAINT FINISH TO MATCH ROOFING COLOR.

50% OF VENTILATION PROVIDED BY EAVE VENTS.
1,612.5 SQ. IN. OF VENTILATION REQUIRED AT EAVE VENTS.
EAVE VENTS SHALL BE 6" X 14" PROVIDING 64 SQ. IN. OF VENTILATION. (20 VENTS REQUIRED)
PAINT FINISH TO MATCH EAVE COLOR.

EAVE VENTS SHALL BE PROVIDED WITH A CORROSION RESISTANT WIRE MESH WITH 1/16" MIN TO 1/4" MAX. OPENINGS, A MIN. OF 1" AIRSPACE MUST BE MAINTAINED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT LOCATIONS OF VENTS.

ALL VENTS SHALL BE COORDINATED TO PROVIDE PROPER CROOS VENTILATION AT ATTIC.

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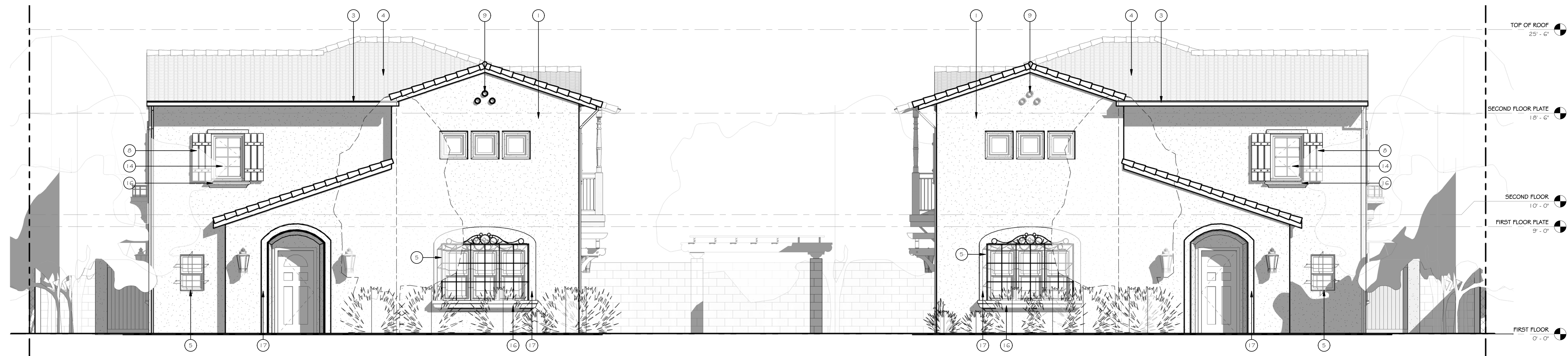
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A-106



A BUILDING A & C - WEST ELEVATION
NOT TO SCALE



B BUILDING A & C - INTERIOR SIDEYARD ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS

- 1 OMEGA STUCCO 1/2" FINISH O/ METAL LATH.
COLOR: #10 (OR APPROVED EQUAL.)
- 2 WOOD TRIM W/ PAINT FINISH.
COLOR: DUNN EDWARDS - WILD MUSTANG (DEA161)
- 3 PRE-FINISHED 5" ALUMINUM OGEE STYLE RAIN GUTTER W/ 2"x3" DOWNSPOUTS AND COLLECTOR BOX.
COLOR: BROWN
- 4 EAGLE STANDARD WEIGHT ROOFING TILES
STYLE: MALIBU
COLOR:
 - VALENCIA
 - KONA RED RANGE
 - OR APPROVED EQUAL
- 5 TUBE STEEL METALWORK
COLOR: DUNN EDWARDS - BLACK BEAN(DEG385)
- 6 WOOD FRAMED TRELLIS WITH PAINT FINISH.
COLOR: DUNN EDWARDS - WILD MUSTANG (DEA161)
- 7 6" VINYL FENCE
COUNTRY ESTATE FENCE; MODEL: LAKELAND
COLOR: ALMOND STREAK (OR APPROVED EQUAL.)
- 8 SHUTTERS - HENNIS ENTERPRISES
LOUVERED WITH TRIM (OR APPROVED EQUAL)
PAINT FINISH; COLOR: DUNN EDWARDS - BLUE STEEL (DEG342)
- 9 CLAY PIPE
- 10 WOOD FRAMED COLUMN W/ STUCCO FINISH.
COLOR TO MATCH BUILDING
- 11 WALL SCONCE
- 12 PREFINISHED SECTIONAL METAL GARAGE DOOR.
COLOR: BROWN
- 13 WOOD CORBEL W/ PAINT FINISH
COLOR: DUNN EDWARDS - WILD MUSTANG (DEA161)
- 14 VINYL WINDOWS
COLOR: TAN (TYPICAL.)
- 15 FOAM PROFILE WITH STUCCO FINISH
COLOR TO MATCH BUILDING
- 16 42" HIGH TUBE STEEL GUARDRAIL
COLOR: DUNN EDWARDS - BLACK BEAN(DEG385)
- 17 WOOD PROFILE WITH STUCCO FINISH
- 18 TURN POST DETAIL WITH PAINT FINISH
COLOR: DUNN EDWARDS - WILD MUSTANG (DEA161)

DESIGN CONCEPT STUDIO

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WHITE AVENUE 12-UNIT

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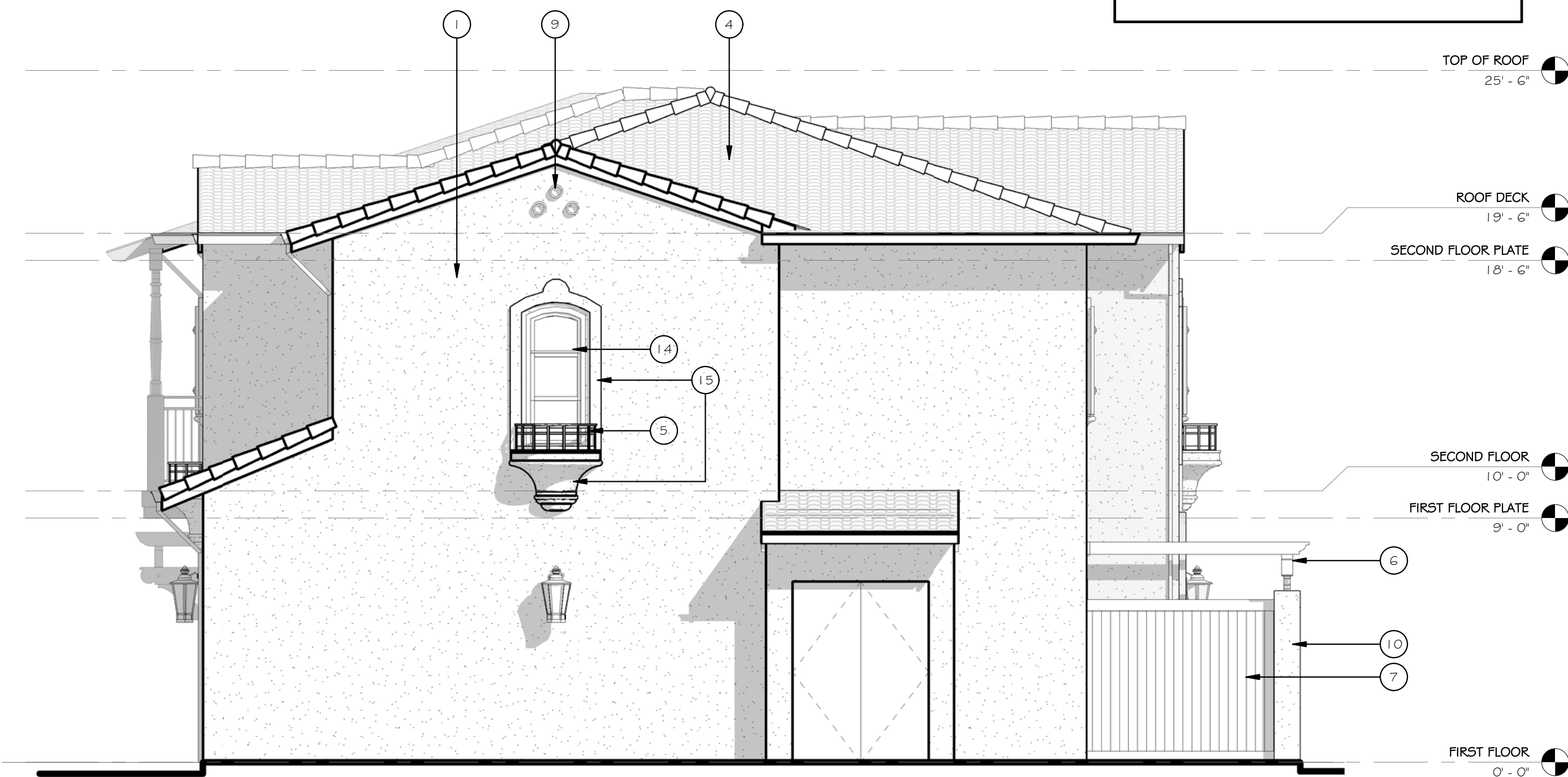
A-200

THIS ELEVATION DEPICTS
BUILDING A ONLY.
ELEVATION IS MIRRORED
FOR BUILDING C.



C BUILDING A & C - DRIVEWAY ELEVATION
SCALE: 1/4" = 1'-0"

THIS ELEVATION DEPICTS
BUILDING A ONLY.
ELEVATION IS MIRRORED
FOR BUILDING C.



D BUILDING A & C - EAST ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS

- | | | | |
|---|--|----|--|
| 1 | OMEGA STUCCO 1/6"30 FINISH O/ METAL LATH.
COLOR: #10 (OR APPROVED EQUAL) | 9 | CLAY PIPE |
| 2 | WOOD TRIM W/ PAINT FINISH.
COLOR: DUNN EDWARDS - WILD MUSTANG (DEA161) | 10 | WOOD FRAMED COLUMN W/ STUCCO FINISH.
COLOR TO MATCH BUILDING |
| 3 | PRE-FINISHED 5" ALUMINUM OGEE STYLE RAIN GUTTER W/ 2"x3" DOWNSPOUTS AND COLLECTOR BOX.
COLOR: BROWN | 11 | WALL SCORCE |
| 4 | EAGLE STANDARD WEIGHT ROOFING TILES
STYLE: MALIBU
COLOR:
• VALENCIA
• KONA RED RANGE
• OR APPROVED EQUAL | 12 | PREFENISHED SECTIONAL METAL GARAGE DOOR.
COLOR: BROWN |
| 5 | TUBE STEEL METALWORK
COLOR: DUNN EDWARDS - BLACK BEAN(DE6385) | 13 | WOOD CORBEL W/ PAINT FINISH
COLOR: DUNN EDWARDS - WILD MUSTANG (DEA161) |
| 6 | WOOD FRAMED TRELLIS WITH PAINT FINISH.
COLOR: DUNN EDWARDS - WILD MUSTANG (DEA161) | 14 | VINYL WINDOWS
COLOR: TAN (TYPICAL) |
| 7 | 6" VINYL FENCE
COUNTRY ESTATE FENCE; MODEL: LAKELAND
COLOR: ALMOND STREAK (OR APPROVED EQUAL) | 15 | FOAM PROFILE WITH STUCCO FINISH
COLOR TO MATCH BUILDING |
| 8 | SHUTTERS - HEINIS ENTERPRISES
LOUVERED WITH TRIM (OR APPROVED EQUAL)
PAINT FINISH; COLOR: DUNN EDWARDS - BLUE STEEL (DE6342) | 16 | 42" HIGH TUBE STEEL GUARDRAIL
COLOR: DUNN EDWARDS - BLACK BEAN(DE6385) |
| | | 17 | WOOD PROFILE WITH STUCCO FINISH |
| | | 18 | TURN POST DETAIL WITH PAIN FINISH
COLOR: DUNN EDWARDS - WILD MUSTANG (DEA161) |

DESIGN CONCEPT STUDIO

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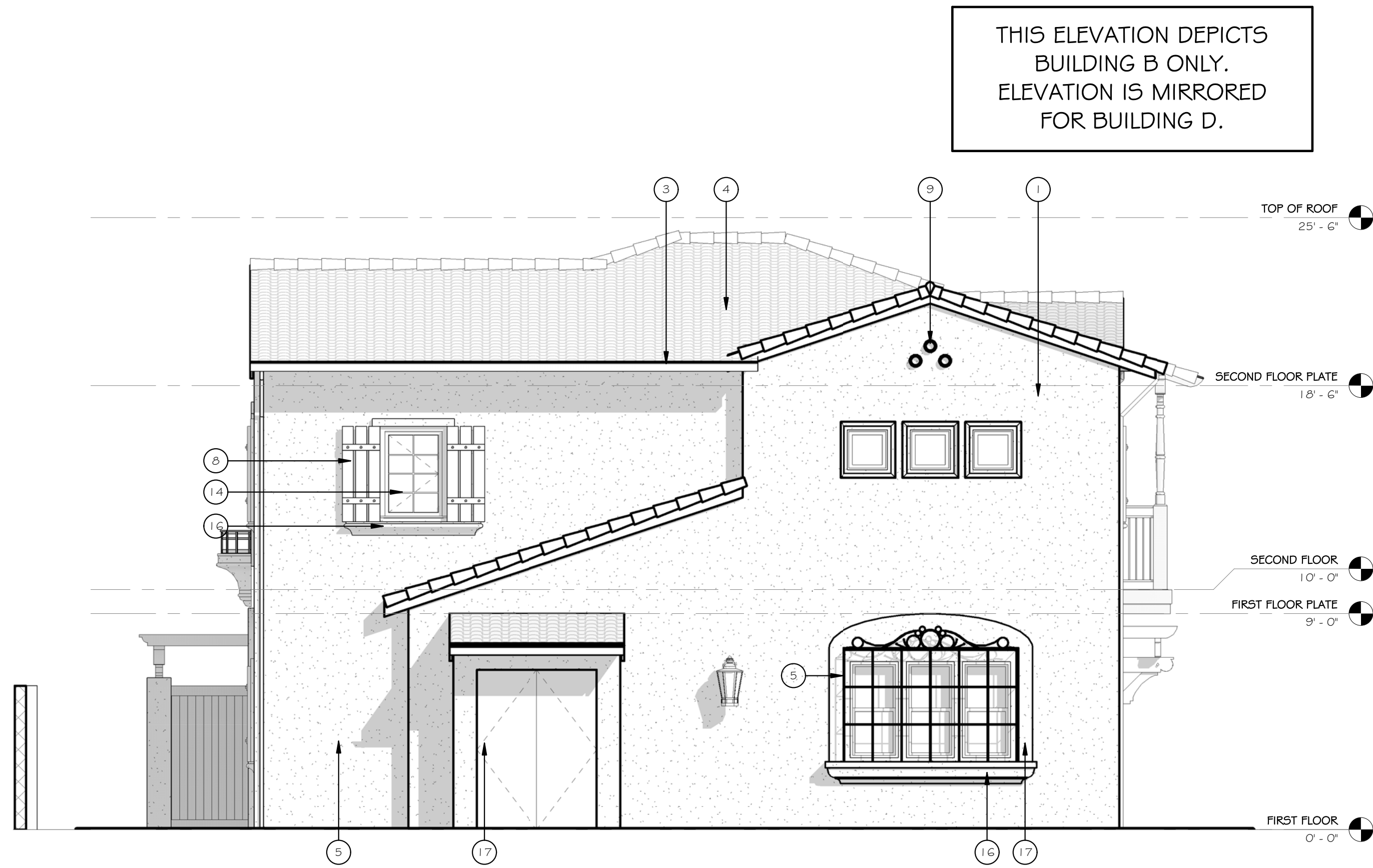
WHITE AVENUE 1 2-UNIT

WF Feron LLC

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REVISIONS	PROJECT NO.	11810-14
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A-201



A BUILDING B & D - WEST ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS

- | | | | |
|---|--|----|---|
| 1 | OMEGA STUCCO (6/30 FINISH OF METAL LATH. COLOR: #10 (OR APPROVED EQUAL.) | 9 | CLAY PIPE |
| 2 | WOOD TRIM W/ PAINT FINISH. COLOR: DUNN EDWARDS - WILD MUSTANG (DEA161) | 10 | WOOD FRAMED COLUMN W/ STUCCO FINISH. COLOR: TO MATCH BUILDING |
| 3 | PRE-FINISHED 5" ALUMINUM OGEE STYLE RAIN GUTTER W/ 2"x3" DOWNSPOUTS AND COLLECTOR BOX. COLOR: BROWN | 11 | WALL SCONCE |
| 4 | EAGLE STANDARD WEIGHT ROOFING TILES
STYLE: MALIBU
COLOR: <ul style="list-style-type: none">• VALENCIA• KONA RED RANGE• OR APPROVED EQUAL | 12 | PREFINISHED SECTIONAL METAL GARAGE DOOR. COLOR: BROWN |
| 5 | TUBE STEEL METALWORK
COLOR: DUNN EDWARDS - BLACK BEAN(DE6385) | 13 | WOOD CORBEL W/ PAINT FINISH
COLOR: DUNN EDWARDS - WILD MUSTANG (DEA161) |
| 6 | WOOD FRAMED TRELLIS WITH PAINT FINISH. COLOR: DUNN EDWARDS - WILD MUSTANG (DEA161) | 14 | VINYL WINDOWS
COLOR: TAN (TYPICAL) |
| 7 | 6" VINYL FENCE
COUNTRY ESTATE FENCE, MODEL: LAKELAND
COLOR: ALMOND STREAK (OR APPROVED EQUAL.) | 15 | FOAM PROFILE WITH STUCCO FINISH
COLOR: TO MATCH BUILDING |
| 8 | SHUTTERS - HENNIS ENTERPRISES
LOUVERED WITH TRIM (OR APPROVED EQUAL.)
PAINT FINISH.; COLOR: DUNN EDWARDS - BLUE STEEL (DE6342) | 16 | 42" HIGH TUBE STEEL GUARDRAIL
COLOR: DUNN EDWARDS - BLACK BEAN(DE6385) |
| | | 17 | WOOD PROFILE WITH STUCCO FINISH |
| | | 18 | TURN POST DETAIL WITH PAINT FINISH
COLOR: DUNN EDWARDS - WILD MUSTANG (DEA161) |

THIS ELEVATION DEPICTS BUILDING B ONLY. ELEVATION IS MIRRORED FOR BUILDING D.



B BUILDING B & D - INTERIOR SIDEYARD ELEVATION
SCALE: 1/4" = 1'-0"

DESIGN CONCEPT STUDIO

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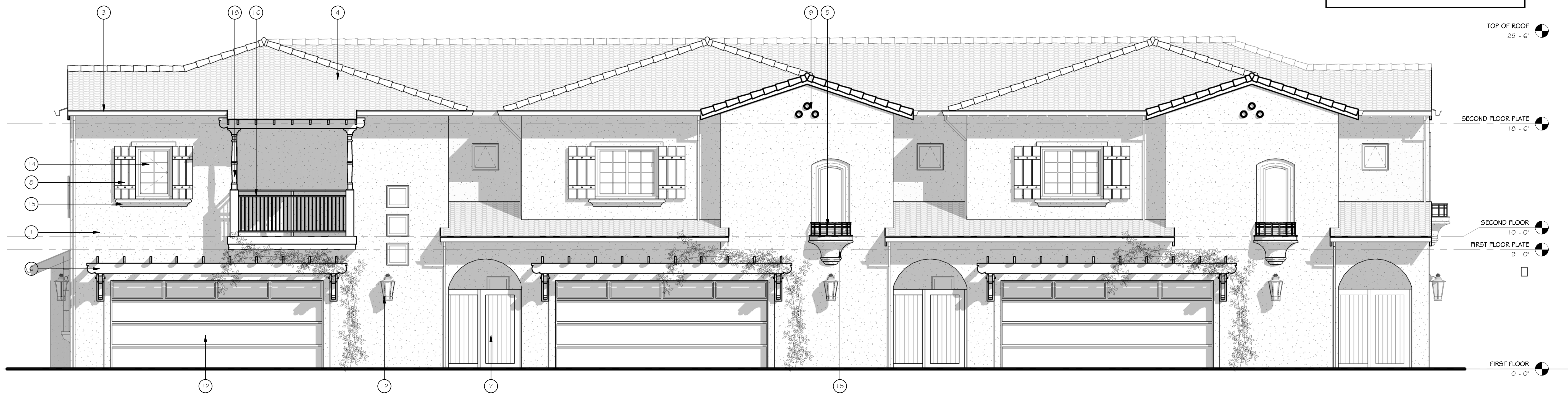
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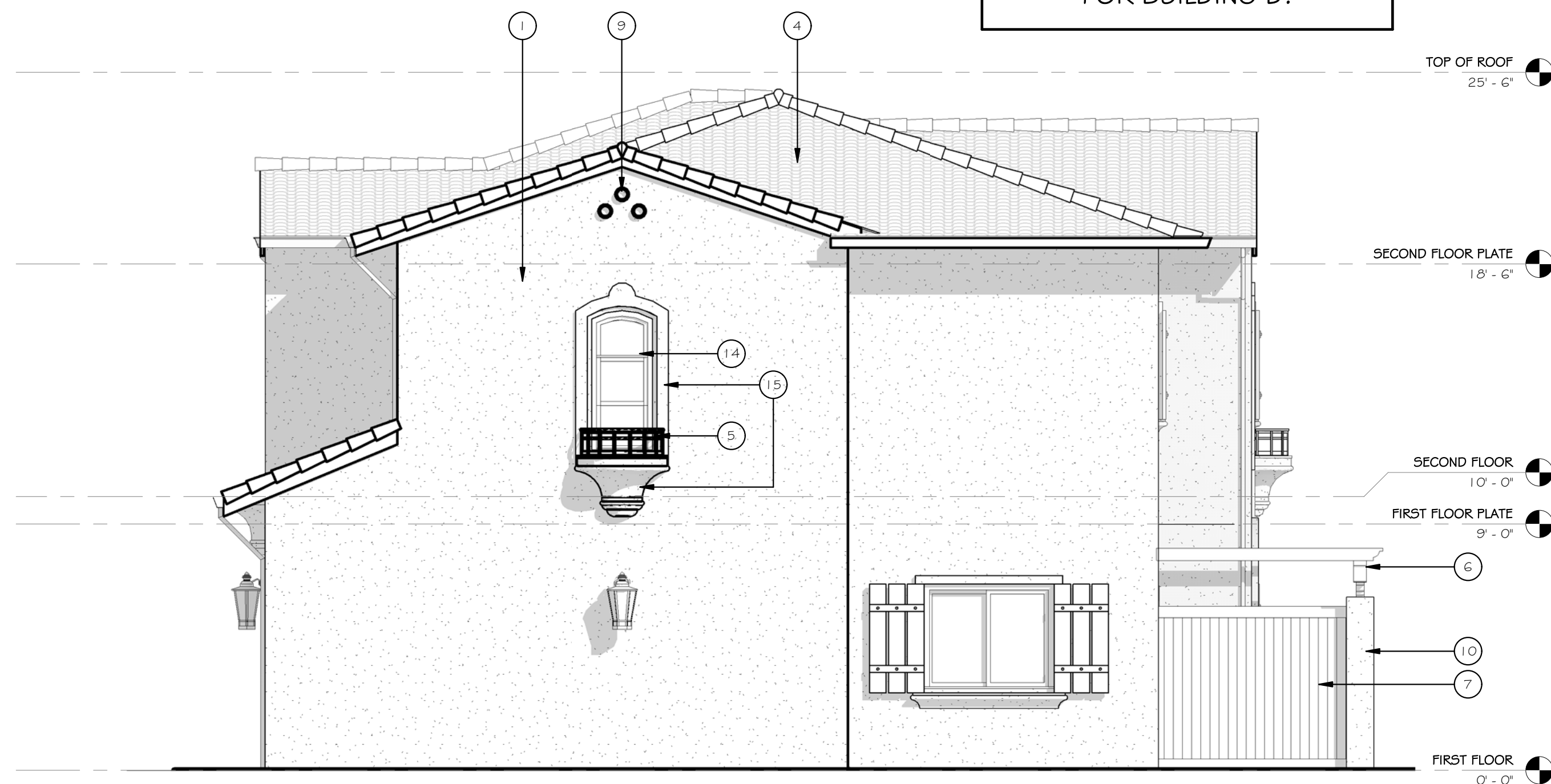
A-202

THIS ELEVATION DEPICTS
BUILDING B ONLY.
ELEVATION IS MIRRORED
FOR BUILDING D.



C BUILDING B & D - DRIVEWAY ELEVATION
SCALE: 1/4" = 1'-0"

THIS ELEVATION DEPICTS
BUILDING B ONLY.
ELEVATION IS MIRRORED
FOR BUILDING D.



D BUILDING B & D - EAST ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS

- | | | | |
|---|--|----|---|
| 1 | OMEGA STUCCO 1/630 FINISH O/ METAL LATH.
COLOR: #10 (OR APPROVED EQUAL) | 9 | CLAY PIPE |
| 2 | WOOD TRIM W/ PAINT FINISH.
COLOR: DUNN EDWARDS - WILD MUSTANG (DEA161) | 10 | WOOD FRAMED COLUMN W/ STUCCO FINISH.
COLOR TO MATCH BUILDING |
| 3 | PRE-FINISHED 5" ALUMINUM OGEE STYLE RAIN GUTTER W/ 2"x3" DOWNSPOUTS AND COLLECTOR BOX.
COLOR: BROWN | 11 | WALL SCOFF |
| 4 | EAGLE STANDARD WEIGHT ROOFING TILES
STYLE: MAIBU
COLOR:
• VALENCIA
• KONA RED RANGE
• OR APPROVED EQUAL | 12 | PREFINISHED SECTIONAL METAL GARAGE DOOR.
COLOR: BROWN |
| 5 | TUBE STEEL METALWORK.
COLOR: DUNN EDWARDS - BLACK BEAN(DEG385) | 13 | WOOD CORBEL W/ PAINT FINISH
COLOR: DUNN EDWARDS - WILD MUSTANG (DEA161) |
| 6 | WOOD FRAMED TRELLIS WITH PAINT FINISH.
COLOR: DUNN EDWARDS - WILD MUSTANG (DEA161) | 14 | VINYL WINDOWS
COLOR: TAN (TYPICAL) |
| 7 | 6" VINYL FENCE
COUNTRY ESTATE FENCE, MODEL: LAKELAND
COLOR: ALMOND STREAK (OR APPROVED EQUAL) | 15 | FOAM PROFILE WITH STUCCO FINISH
COLOR TO MATCH BUILDING |
| 8 | SHUTTERS - HENNIS ENTERPRISES
LOUVERED WITH TRIM (OR APPROVED EQUAL)
PAINT FINISH, COLOR: DUNN EDWARDS - BLUE STEEL (DEG342) | 16 | 42" HIGH TUBE STEEL GUARDRAIL
COLOR: DUNN EDWARDS - BLACK BEAN(DEG385) |
| | | 17 | WOOD PROFILE WITH STUCCO FINISH |
| | | 18 | TURN POST DETAIL WITH PAINT FINISH
COLOR: DUNN EDWARDS - WILD MUSTANG (DEA161) |

DESIGN CONCEPT STUDIO

2844 E. THIRD STREET #204 • LONG BEACH, CA • 90814

These drawings are rendered as instruments of service and are the intellectual property of the designer.

WHITE AVENUE 12-UNIT

WF Feron LLC

1452 WHITE AVENUE POMONA, CA • APN:8343-008-020

REVISIONS

PROJECT NO. 11810-14

DRAWN BY Author

DATE 6/21/2017 9:42:15 PM

A-203

DESIGN CONCEPT STUDIO

2844 E. THIRD STREET #204 • LONG BEACH, CA • 90814

These drawings are rendered as inturuments of service and are the intellectual property of the designer.

WHITE AVENUE 1 2-UNIT

WF Feron LLC

1452 WHITE AVENUE POMONA, CA • APN:8343-008-020

WINDOW SCHEDULE

NO.	SIZE		STYLE	TYPE	GLAZING	MATERIAL	COLOR	COMMENTS
	WIDTH	HEIGHT						
A	4' - 6"	3' - 8"	SLIDER			VINYL	TAN	
B	2' - 0"	3' - 0"	SINGLE HUNG		TEMPERED	VINYL	TAN	
C	2' - 0"	4' - 0"	SINGLE HUNG			VINYL	TAN	
D	1' - 8"	4' - 0"	CASEMENT			VINYL	TAN	
E	2' - 6"	3' - 8"	CASEMENT			VINYL	TAN	EGRESS
F	2' - 0"	2' - 0"	AWNING			VINYL	TAN	
G	2' - 0"	5' - 0"	FIXED ARCHTOP			VINYL	TAN	
H	2' - 0"	5' - 0"	SINGLE HUNG ARCHTOP			VINYL	TAN	
J	1' - 8"	1' - 8"	FIXED			VINYL	TAN	
M	2' - 0"	3' - 6"	SINGLE HUNG			VINYL	TAN	

DOOR SCHEDULE

NO.	WIDTH	HEIGHT	STYLE	COMMENTS
101	16' - 0"	6' - 8"	SECTIONAL GARAGE DOOR	REMOTE OPERATED
102	7' - 0"	6' - 8"	SLIDING GLASS	
103	3' - 0"	6' - 8"	HINGED PANEL	
104	2' - 8"	6' - 8"	HINGED PANEL	
105	2' - 8"	6' - 8"	HINGED PANEL	SELF-CLOSING, 20-MIN DOOR
106	3' - 0"	6' - 8"	HINGED PANEL	SELF-CLOSING, 20-MIN DOOR
107	3' - 0"	6' - 8"	HINGED PANEL	
108	2' - 8"	6' - 8"	POCKET	
109	6' - 0"	6' - 8"	WARDROBE BYPASS	
110	2' - 8"	6' - 8"	HINGED PANEL	100 SQ. IN. OF VENTILATION
111	3' - 0"	6' - 8"	HINGED PANEL	
112	5' - 8"	6' - 8"	DOUBLE METAL DOOR	
113	5' - 0"	6' - 8"	DOUBLE METAL DOOR	

REVISIONS

PROJECT NO.

11810-14

DRAWN BY

Author

DATE

6/21/2017 9:42:16 PM

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A-500

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS:

THE EXISTENCE AND APPROXIMATE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE DETERMINED BY A SEARCH OF THE AVAILABLE PUBLIC RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UNDERGROUND UTILITIES OR STRUCTURES EXCEPT AS SHOWN ON PLAN. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN AND ANY OTHER UTILITIES OR STRUCTURES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. ESTIMATED PROJECT START DATE: 12/01/17
ESTIMATED COMPLETION DATE: 12/01/18

GENERAL NOTES

- A. SUPERVISION OF CONSTRUCTION SHOWN ON THIS PLAN, INCLUDING GRADES, EARTHWORK OPERATION, PAVING AND DRAINAGE FACILITIES, WILL BE PERFORMED BY _____, A COPY OF THE GRADING PERMIT AND THE APPROVED GRADING PLAN SHALL BE MAINTAINED AT THE SITE AT ALL TIMES WHEN WORK IS IN PROGRESS.
- B. PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.
- C. THE SOILS ENGINEER SHALL OBSERVE, INSPECT AND TEST ALL EARTHWORK OPERATIONS INCLUDING, BUT NOT LIMITED TO, CLEARING AND GRUBBING, SUBGRADE PREPARATION, STRUCTURAL AND TRENCH EXCAVATION AND BACKFILL, AND PLACEMENT AND COMPACTION OF FILL. AFTER COMPLETION OF THE GRADING OPERATION, AND PRIOR TO REQUEST FOR FINAL INSPECTION THE SOILS ENGINEER SHALL SUBMIT TO THE REGISTERED CIVIL ENGINEER OF RECORD, A COPY OF DENSITY REPORTS, TOGETHER WITH HIS WRITTEN VERIFICATION THAT THE COMPLETED WORK CONFORMS TO THE INTENT OF THE PLANS, SPECIFICATIONS.
- E. ALL FILL SLOPE FACES SHALL BE COMPACTED. IF THE SLOPE IS TO BE LANDSCAPED, THE SURFACE SIX INCHES MAY BE LEFT UNCOMPACTED FOR PLANTING, AND SAFETY.
- F. CONTRACTOR SHALL PROVIDE PROTECTIVE MEASURES AND TEMPORARY DRAINAGE AND DESILTING FACILITIES TO PROTECT ADJOINING PROPERTIES FROM STORM WATERS ORIGINATING ON OR DIVERTED FROM CONSTRUCTION SITE.
- G. GRADE SHEETS FOR ALL CONCRETE CURB AND GUTTERS, CURBS, "Y" GUTTERS, SLABS, STORM DRAINS AND SEWERS SHALL BE PREPARED BY THE ENGINEER OF RECORD. COPIES OF THE GRADE SHEETS SHALL BE MAINTAINED AT THE JOB SITE FOR THE CITY ENGINEER'S REVIEW.
- H. GRADE STAKES SHALL BE SET AT 12.5' INTERVALS FOR ALL "Y" GUTTERS, CURB AND GUTTER, AND DRAINAGE SYSTEMS WITH FLOW LINE SLOPES OF LESS THAN 0.4%. CONTRACTOR SHALL PROVIDE GRADE SHEETS TO CITY ENGINEER'S OFFICE FOR ACCEPTANCE 48 HOURS PRIOR TO POURING CONCRETE.
- I. EXISTING CONTOURS AND OTHER EXISTING TOPOGRAPHIC FEATURES ARE A TRUE REPRESENTATION OF SITE CONDITION ON 10-27-16 PROVIDED BY AL THIELWELL, L.S. 6999
- J. THE CONTRACTOR SHALL KEEP ALL ADJACENT STREETS AND HAUL ROUTES CLEAR OF DIRT AND DEBRIS ORIGINATING FROM THE CONSTRUCTION SITE OR RESULTING FROM THE PROJECT WORK.
- K. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING LOW LEVELS OF NOISE AND DUST.
- L. THE CONTRACTOR SHALL SECURE ALL NECESSARY EXCAVATION AND CONSTRUCTION PERMITS FROM THE CITY OF POMONA FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY AND ASSOCIATED EASEMENTS. RETAINING WALLS REQUIRE A SEPARATE BUILDING PERMIT.
- M. ANY MODIFICATIONS OR CHANGES TO THIS PLAN MUST BE APPROVED BY THE CITY ENGINEER PRIOR TO THE INSTITUTION OF SAID MODIFICATION OR CHANGE.
- O. THE REGISTERED CIVIL ENGINEER OF RECORD CERTIFIES THAT HIS PLAN WAS PREPARED UNDER HIS SUPERVISION AND THAT THE PLAN DOES COMPLY WITH CITY OF POMONA ORDINANCES. HE WILL, UPON COMPLETION OF THE PROJECT AND PRIOR TO REQUEST FOR FINAL ACCEPTANCE, SUBMIT TO THE CITY ENGINEER WRITTEN VERIFICATION THAT THE COMPLETED WORK DOES CONFORM TO THIS PLAN.
- P. ALL WORK WITHIN STREET RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE CITY OF POMONA'S STANDARDS AND SPECIFICATIONS.
- Q. ALL EXISTING P.C.C. TO BE REMOVED SHALL BE SAW-CUT.
- R. ALL INTERFERING UTILITIES SHALL BE RELOCATED AT THE DEVELOPER'S EXPENSE.
- S. OBTAIN SEWER PERMIT FROM THE ENGINEERING DIVISION PRIOR TO CONNECTION TO THE CITY SEWER MAIN LINE.

NOTE: SEWER PERMITS CAN NOT BE ISSUED UNTIL THE DEVELOPER HAS PAID ALL FEES REQUIRED BY THE COUNTY SANITATION DISTRICT NO. 21 OF LOS ANGELES COUNTY, AND PRESENTS A RECEIPT TO THE ENGINEERING DIVISION AT THE TIME PERMITS ARE REQUESTED.

STANDARD GRADING NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF POMONA ORDINANCE NO. 3444 AND THE LATEST STATE CODES AS MANDATED TO BE ENFORCED BY THE CITY AND STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION, PLUS ANY SUPPLEMENTS.
- ** A BOND IS REQUIRED PER SECTION 3311 OF UNIFORM BUILDING CODE.
2. AN APPROVED SET OF PLANS SHALL BE ON THE JOB AT ALL TIMES.
3. NO WORK SHALL BE STARTED WITHOUT FIRST NOTIFYING THE BUILDING DIVISION AT (909) 620-2422.
4. ADEQUATE BARRICADES, LIGHTS, FLAGMEN, SIGNS AND OTHER SAFETY DEVICES SHALL BE PROVIDED AS SPECIFIED BY THE TRAFFIC MANUAL PUBLISHED BY THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION.
5. EXISTING CITY STREETS SHALL BE KEPT CLEAN OF ALL MATERIALS RESULTING FROM THE GRADING OPERATIONS. THE STREET RIGHT-OF-WAY SHALL BE CLEANED UP DAILY AND AS NECESSARY TO MAINTAIN PEDESTRIAN AND VEHICULAR PASSAGE OVER THE PUBLIC RIGHT-OF-WAY AT ALL TIMES.
6. THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING OFFICIAL AT LEAST 24 HOURS BEFORE THE GRADING OPERATION IS READY FOR EACH OF THE FOLLOWING:
- a. PRE-GRADE MEETING: WHEN THE PERMITTEE IS READY TO BEGIN WORK AND BEFORE ANY GRADING OR BRUSHING IS STARTED, THE FOLLOWING PEOPLE MUST BE PRESENT -- OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, BUILDING OFFICIAL OR THEIR REPRESENTATIVE.
- b. TOE INSPECTION: AFTER THE NATURAL GROUND IS EXPOSED AND PREPARED TO RECEIVE FILL AND BEFORE ANY FILL IS PLACED.
- c. EXCAVATION INSPECTION: AFTER THE EXCAVATION IS STARTED AND BEFORE THE DEPTH OF EXCAVATION EXCEEDS 10 FEET.
- d. FILL INSPECTION: AFTER THE AREA TO RECEIVE FILL HAS BEEN PREPARED AND INSPECTED BY THE SOILS ENGINEER.
- e. DRAINAGE DEVICE INSPECTION: AFTER FORMS, STEEL AND PIPE ARE IN PLACE, AND BEFORE ANY CONCRETE IS POURED.
- f. ROUGH GRADING: WHEN ALL ROUGH GRADING HAS BEEN COMPLETED.
- g. FINAL INSPECTION: WHEN ALL WORK, INCLUDING INSTALLATION OF ALL DRAINAGE STRUCTURES AND OTHER PROTECTIVE DEVICES HAS BEEN COMPLETED AND THE "AS-GRADED" PLAN AND REQUIRED REPORTS HAVE BEEN SUBMITTED AND APPROVED.

THE PERMITTEE SHALL WAIT FOR APPROVAL BY THE INSPECTOR BEFORE PROCEEDING WITH THE WORK.

7. SUFFICIENT TESTS OF SOIL PROPERTIES, INCLUDING SOIL TYPES AND SHEAR STRENGTH SHALL BE MADE DURING THE GRADING OPERATIONS TO VERIFY COMPLIANCE WITH DESIGN CRITERIA. THE RESULTS OF SUCH TESTING SHALL BE FURNISHED TO THE BUILDING OFFICIAL UPON COMPLETION OF GRADING OPERATIONS OR WHEN NECESSITATED BY FIELD CONDITIONS UPON REQUEST OF THE BUILDING OFFICIAL.
8. THE GRADING CONTRACTOR SHALL SUBMIT A WRITTEN STATEMENT VERIFYING THAT WORK DONE UNDER HIS DIRECTION WAS PERFORMED IN ACCORDANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF CHAPTER 13 OF THE UNIFORM BUILDING CODE OR DESCRIBING ALL VARIANCES FROM THE APPROVED PLANS AND REQUIREMENTS OF THE CODE.
9. THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
10. DUST SHALL BE CONTROLLED BY WATERING.
11. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE FROM THE BEGINNING TO COMPLETION OF GRADING OPERATIONS.
12. ALL GRADING SHALL CONFORM TO THE RECOMMENDATIONS IN THE APPROVED GEOTECHNICAL REPORT BY _____.
13. THE CONTRACTOR SHALL INCORPORATE EROSION CONTROL MEASURES TO BE USED DURING AND AFTER CONSTRUCTION. SEPARATE PLANS FOR DRAINAGE AND EROSION CONTROL MEASURES TO BE USED DURING AND AFTER CONSTRUCTION ARE TO BE IN COMPLIANCE WITH ALL APPLICABLE STORM WATER POLLUTION REQUIREMENTS.
14. THE ENGINEERING GEOLOGIST SHALL INSPECT AND APPROVE ALL CUT SLOPES.
15. PRIOR TO ISSUANCE OF THE BUILDING PERMITS, A SOIL EXPANSION TEST PERFORMED IN ACCORDANCE WITH THE PROCEDURES OF UNIFORM BUILDING CODE STANDARD NO. 18-2 IS REQUIRED.
16. PRIOR TO PLACING COMPACTED FILL, THE SURFACE SHALL BE STRIPPED OF VEGETATION AND THE SURFACE SCARIFIED TO A DEPTH OF 12 INCHES OR AS SPECIFIED BY THE SOILS ENGINEER AND APPROVED BY THE BUILDING OFFICIAL. GROUNDHOLE OPTIMUM MOISTURE CONTENT, RECOMPACTED TO 90% MAXIMUM DENSITY AND INSPECTED BY THE GRADING INSPECTOR AND THE SOIL TESTING AGENCY.
17. CUT SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.
18. FILLS SHALL BE COMPACTED THROUGHOUT TO 90% OF MAXIMUM DENSITY AS DETERMINED BY UNIFORM BUILDING CODE SECTION 3313, LATEST EDITION ADOPTED BY THE CITY, AND CERTIFIED BY THE SOILS ENGINEER. NOT LESS THAN ONE FIELD DENSITY TEST WILL BE MADE FOR EACH 2 FEET OF VERTICAL LIFT OF FILL NOR LESS THAN ONE SUCH TEST FOR EACH 1,000 CUBIC YARDS OF MATERIAL PLACED. AT LEAST ONE-HALF OF THE REQUIRED TESTS SHALL BE MADE AT THE LOCATION OF THE FINAL FILL SLOPE.

GENERAL STREET CONSTRUCTION NOTES:

1. ALL WORK SHALL CONFORM TO THE LATEST EDITION OF STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (THE GREENBOOK), STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION (A.P.W.A. STANDARDS), AND STANDARDS OF THE CITY OF POMONA PUBLIC WORKS DEPARTMENT.
2. APPLICATION FOR EXCAVATION AND INSPECTION IN CONNECTION WITH WORK SHOWN ON THIS PLAN MUST BE COMPLETED BY THE CONTRACTOR AT LEAST TWENTY-FOUR (24) HOURS PRIOR TO STARTING ANY WORK.
3. WORK IN PUBLIC STREETS ONCE BEGUN SHALL BE PROSECUTED WITHOUT DELAY SO AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND THE TRAVELING PUBLIC.
4. TRAFFIC CONTROL SHALL BE MAINTAINED IN ACCORDANCE WITH THE CALIFORNIA MUTCD.
5. CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AT ALL TIMES.
6. CONTRACTOR SHALL PROTECT EXISTING IRRIGATION LINES AND SPRINKLER HEADS BEHIND EXISTING CURB. THE CONTRACTOR SHALL REPLACE ANY DAMAGED LINES AND SPRINKLER HEADS AT HIS OWN EXPENSE.
7. CONTRACTOR SHALL REPLACE TRAFFIC STRIPES, LEGENDS, LOOP DETECTORS AND MARKINGS DAMAGED DURING THE CONSTRUCTION OF THIS PROJECT. TRAFFIC STRIPES, PAYMENT LEGENDS, RAISED PAVEMENT MARKERS AND LOOP DETECTORS SHALL BE PER THE 2014 CALIFORNIA MUTCD, CALTRANS STANDARD PLANS AND CALTRANS STANDARD SPECIFICATIONS 84, 85, AND 86, LATEST EDITIONS.
8. REFLECTORIZE ALL STRIPES AND LEGENDS. PAVEMENT MARKINGS SHALL BE THERMOPLASTIC AND SHALL MATCH CITY STENCILS, OR CALTRANS STANDARDS.
9. TRAFFIC STRIPES AND MARKINGS SHALL BE THERMOPLASTIC.
10. STRIPING SHALL BE CAT-TRACKED AND APPROVED BY THE CITY TRAFFIC ENGINEER PRIOR TO FINAL INSTALLATION.
11. CONTRACTOR SHALL RE-STRIP EXISTING STRIPING, MARKING ALL INTERSECTING, AND JOINING STREETS WITHIN 100' OF LIMITS OF PROJECT.
12. TYPE DB 2-WAY BLUE REFLECTIVE MARKERS SHALL BE INSTALLED ADJACENT TO EXISTING FIRE HYDRANTS WITHIN THE LIMITS OF CONSTRUCTION PER STATE AND CITY STANDARDS.
13. AS BUILTS OF THE COMPLETED PROJECT SHALL BE SUBMITTED FOR APPROVAL OF THE CITY ENGINEER.
14. CONTRACTOR SHALL NOTIFY ALL AFFECTED RESIDENCES IN WRITING AT LEAST TWO (2) FULL WORKING DAYS BEFORE ANY START OF CONSTRUCTION AS SPECIFIED.
15. CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALBERT (DIG ALERT) AT 811, TWO (2) FULL WORKING DAYS PRIOR TO START OF WORK. THE CONTRACTOR MUST OBTAIN AND MAINTAIN VALID DIG ALERT REFERENCE NUMBER THROUGH THE LIFE OF THE PROJECT AS NECESSARY FOR CONSTRUCTION.
16. CONTRACTOR SHALL PROJECT ALL CENTERLINE SURVEY MONUMENT AND CENTERLINE TIES AS SPECIFIED.
17. EXISTING STRIPES AND MARKINGS TO BE REMOVED SHALL BE DONE BY WET SANDBLASTING.
18. THE LOCATION OF EXISTING UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY THE FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
19. CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES (BMP'S) TO CONTROL EROSION AND SEDIMENT AND PRESERVE WATER QUALITY TO THE MAXIMUM EXTENT POSSIBLE.

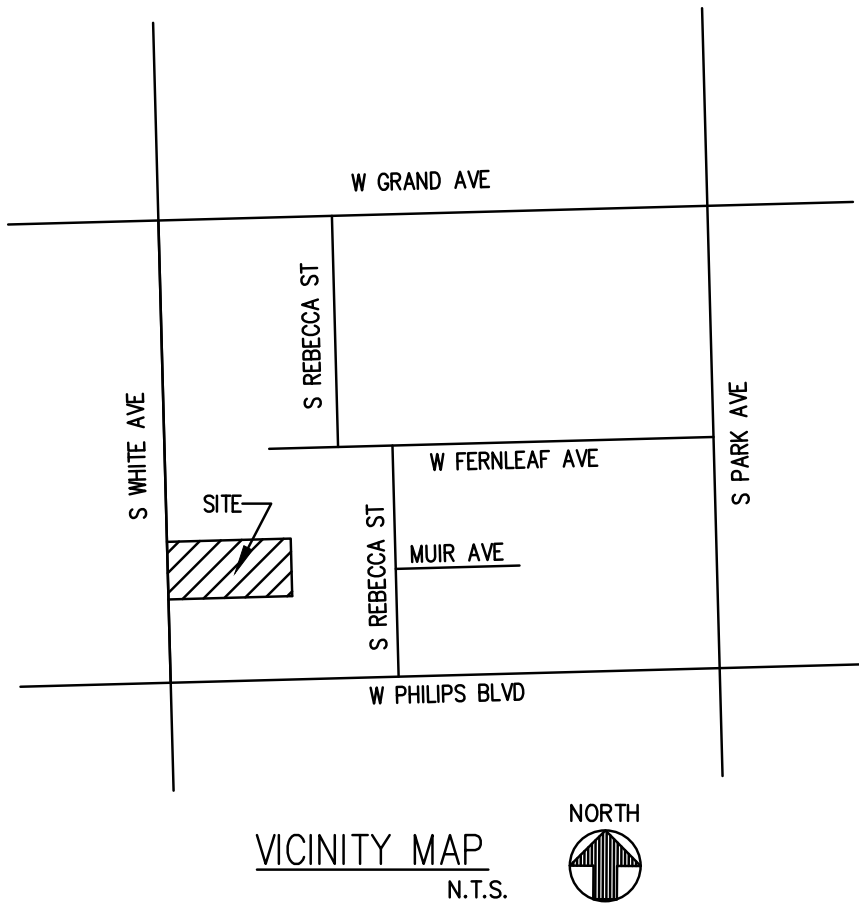
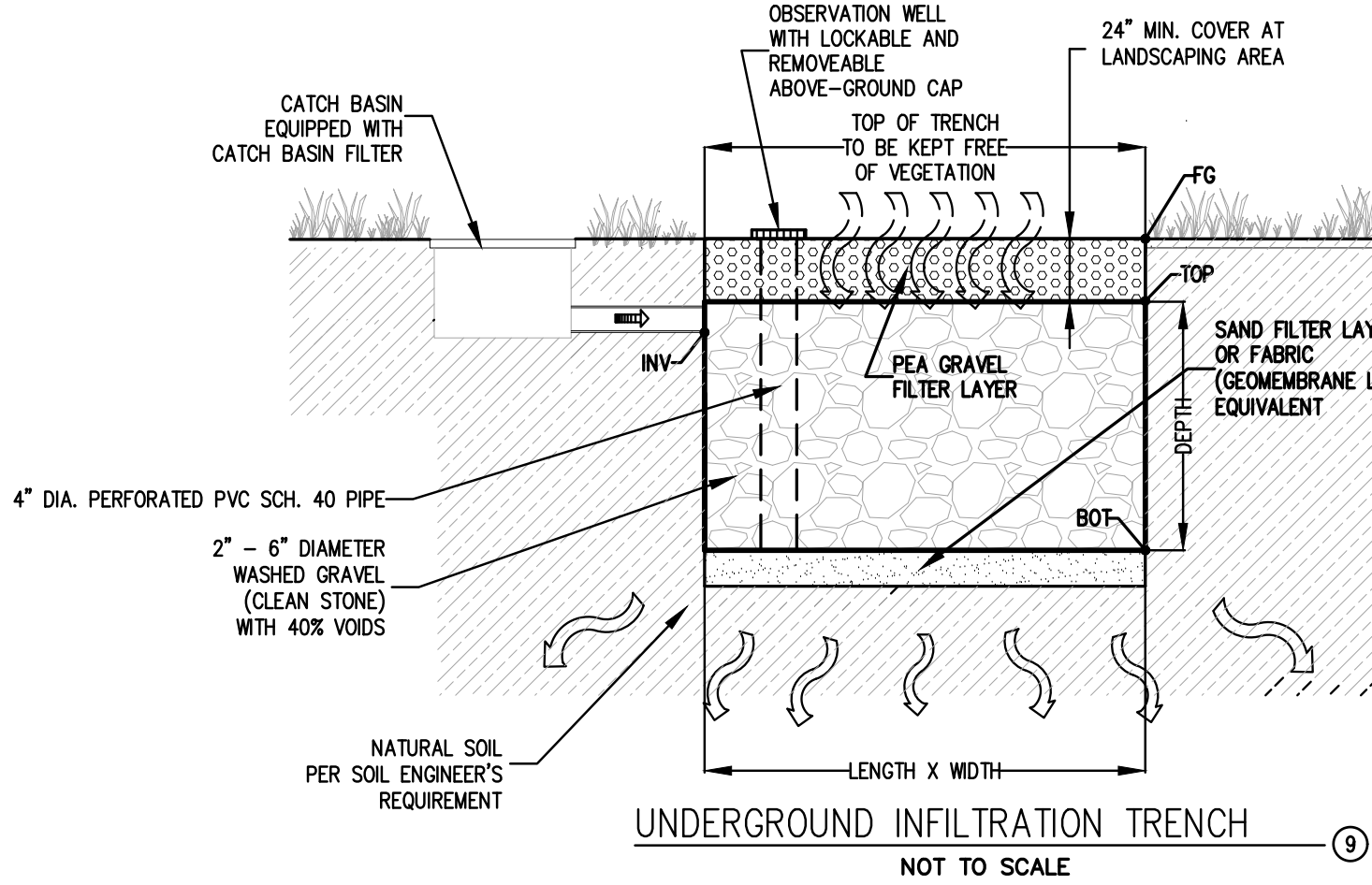
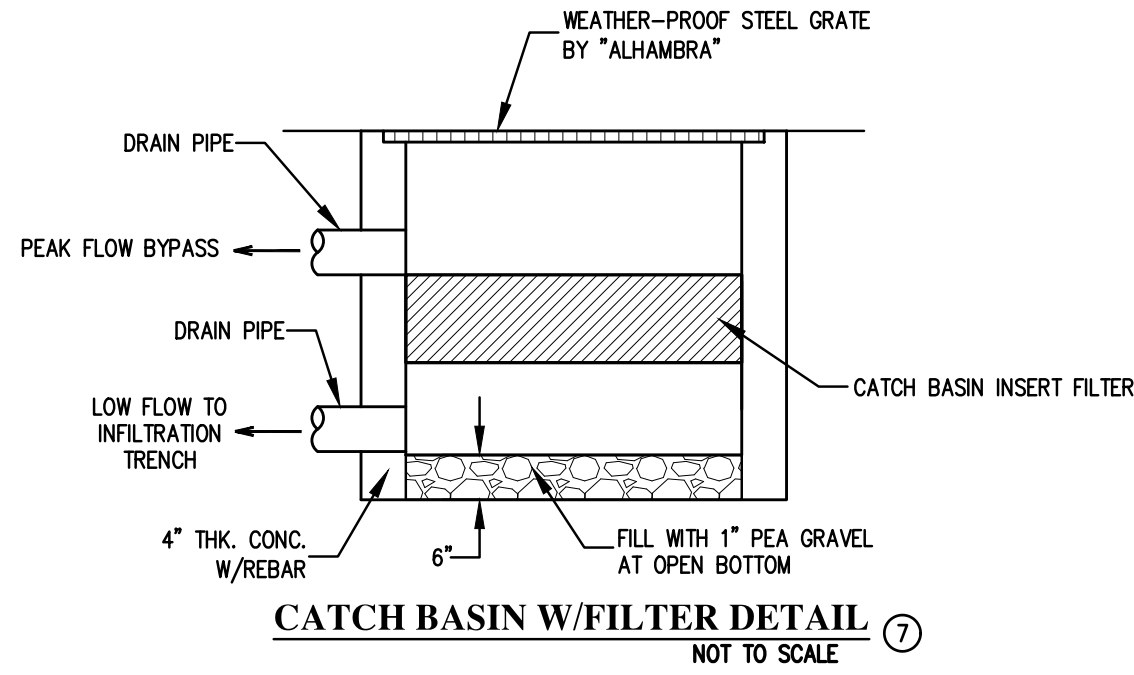
19. FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL AND SHALL BE COMPACTED TO NO LESS THAN 90% OF MAXIMUM DENSITY OUT TO THE FINISHED SURFACE. ALL FILL SLOPES GREATER THAN 5 FEET IN VERTICAL HEIGHT SHALL BE GRID ROLLED TO COMPACT THE OUTER 6" TO 6" TO AT LEAST 90% OF MAXIMUM DENSITY.

20. NO ROCK OR SIMILAR MATERIAL GREATER THAN 12 INCHES IN DIMENSION WILL BE PLACED IN THE FILL UNLESS RECOMMENDATIONS FOR SUCH PLACEMENT HAVE BEEN SUBMITTED BY THE SOILS ENGINEER IN ADVANCE AND APPROVED BY THE BUILDING OFFICIAL.

21. NO FILL SHALL BE PLACED UNTIL STRIPPING OF VEGETATION, REMOVAL OF UNSUITABLE SOILS AND INSTALLATION OF SUBDRAINS (IF REQUIRED) HAVE BEEN INSPECTED AND APPROVED BY THE SOILS ENGINEER AND THE CITY GRADING INSPECTOR.

22. CONTINUOUS INSPECTION BY THE SOILS ENGINEER OR HIS RESPONSIBLE REPRESENTATIVE WILL BE PROVIDED DURING ALL FILL PLACEMENT AND COMPACTION OPERATIONS.
23. ALL EXISTING FILLS SHALL BE APPROVED BY THE SOILS ENGINEER AND THE BUILDING OFFICIAL OR HIS REPRESENTATIVE BEFORE ANY ADDITIONAL FILLS ARE ADDED.
24. ALL TRENCH BACKFILLS SHALL BE TESTED AND CERTIFIED BY THE SOILS ENGINEER.
25. ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ONSITE SOILS SHALL BE CONSTRUCTED WITH TYPE 5 SIX (6) SACK CEMENT UNLESS SULFATE-CONTENT TESTS CONDUCTED BY THE SOILS ENGINEER SHOW IS TO BE UNNECESSARY.
26. THE CIVIL ENGINEER SHALL PROVIDE PROFESSIONAL INSPECTION WITHIN SUCH ENGINEER'S AREA OF TECHNICAL SPECIALTY, WHICH SHALL CONSIST OF OBSERVATION AND REVIEW AS TO THE ESTABLISHMENT OF LINE, GRADE AND SURFACE DRAINAGE OF THE DEVELOPMENT AREA.
27. THE SOILS ENGINEER SHALL PROVIDE SUFFICIENT INSPECTION DURING THE PREPARATION OF NATURAL GROUND AND PLACEMENT OF COMPACTION TO VERIFY THAT SUCH WORK IS BEING PERFORMED IN ACCORDANCE WITH THE CONDITIONS OF THE APPROVED PLAN AND THE REQUIREMENTS OF THE UNIFORM BUILDING CODE SECTION 3317.3 LATEST EDITION ADOPTED BY THE CITY. REVISED RECOMMENDATIONS RELATING TO CONDITIONS DIFFERING FROM THE APPROVED SOILS ENGINEERING REPORT SHALL BE SUBMITTED TO THE PERMITTEE, THE BUILDING OFFICIAL, AND THE CIVIL ENGINEER.
28. THE ENGINEERING GEOLOGIST SHALL PROVIDE A PROFESSIONAL INSPECTION OF THE BEDROCK EXCAVATION TO DETERMINE IF CONDITIONS ENCOUNTERED ARE IN ACCORDANCE WITH THE APPROVED REPORTS, THE PLANS, SPECIFICATIONS AND CODE WITHIN THEIR PURVIEW, IN ACCORDANCE WITH THE UNIFORM BUILDING CODE SECTION 3317.4, LATEST EDITION ADOPTED BY THE CITY.
29. THE PERMITTEE SHALL BE RESPONSIBLE FOR THE WORK TO BE PERFORMED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND IN CONFORMANCE WITH THE PROVISIONS OF THE UNIFORM BUILDING CODE SECTION 3317.5, AND THE PERMITTEE SHALL ENGAGE CONSULTANTS, IF REQUIRED, TO PROVIDE PROFESSIONAL INSPECTIONS ON A TIMELY BASIS. THE PERMITTEE SHALL ACT AS A COORDINATOR BETWEEN THE CONSULTANTS, THE CONTRACTOR AND THE BUILDING OFFICIAL IN THE EVENT OF CHANGED CONDITIONS. THE PERMITTEE SHALL BE RESPONSIBLE FOR INFORMING THE BUILDING OFFICIAL OF SUCH CHANGE AND SHALL PROVIDE REVISED PLANS FOR APPROVAL.
30. ANY REVISION MADE IN THE APPROVED GRADING AS SHOWN ON THE GRADING PLAN MUST BE SPECIFICALLY APPROVED BY THE BUILDING OFFICIAL OR HIS DESIGNATED REPRESENTATIVE.

31. PRIOR TO FINAL APPROVAL OF ROUGH GRADING THE CIVIL ENGINEER SHALL SUBMIT AN "AS-BUILT" GRADING PLAN, IN ACCORDANCE WITH SECTION 3318.1 FOR APPROVAL BY THE BUILDING OFFICIAL. THIS PLAN SHALL SHOW ORIGINAL GROUND SURFACE AND AS-GRADED GROUND SURFACE ELEVATIONS, ALL FEATURES SHOWN ON THE APPROVED GRADING PLAN, FINAL PAD GRADES, THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL SUBDRAINS, ROCK DISPOSAL SITES, KEYWAYS, BUTTRESS OR STABILITY FILLS AND ANY OTHER REMEDIAL GRADING, ANY VARIANCES BETWEEN THE FINISHED WORK AND THE APPROVED PLANS, ACTUAL YARDAGE MOVED (INCLUDING REMEDIAL GRADING) AND A CERTIFICATION THAT THE "AS-BUILT" PLANS SHOWS THE ABOVE ITEMS. ROUGH GRADING WILL NOT BE APPROVED UNTIL AFTER THE "AS-BUILT" GRADING PLAN.
32. FOR ROUGH GRADING THE CONTRACTOR SHALL CONSTRUCT BERMS AT THE TOP OF ALL MANUFACTURED SLOPES AS SHOWN PER DETAIL ON THIS PLAN.
33. FINISH GRADING WILL BE COMPLETED AND APPROVED AND SLOPE PLANTING AND IRRIGATION SYSTEM INSTALLED BEFORE OCCUPANCY OF ANY BUILDING AND BEFORE RELEASE OF ANY GRADING BONDS.
34. ALL CUT AND FILL SLOPES OVER 5 FEET IN VERTICAL HEIGHT SHALL BE PLANTED AND PROVIDED WITH AN IRRIGATION SYSTEM IN ACCORDANCE WITH AN APPROVED LANDSCAPE PLAN.
35. ALL REQUIREMENTS OF THE APPROVAL OF THE TENTATIVE TRACT NO. _____ TBD _____ APPLICABLE TO THE FINAL MAP SHALL BE MET BY THE APPLICANT.
36. ALL REQUIREMENTS OF THE PLANNING COMMISSION RESOLUTION NO. _____ TBD _____ SHALL BE MET.



LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PART OF LOT 5, IN BLOCK 188 OF THE CITY OF POMONA, AS PER MAP RECORDED IN BOOK 3, PAGES 90 AND 91, OF MISCELLANEOUS RECORDS OF SAID COUNTY.

APN: 8343-008-020

SURVEY WAS PROVIDED BY ALFRED J. THIELWELL, LS 6999 ON OCTOBER 27, 2016

EARTHWORK

CUT..... 200 CY

FILL..... 200 CY

SPECIAL NOTE: THE QUANTITIES SHOWN HEREON ARE FOR PERMIT AND BONDING PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY QUANTITIES PRIOR TO START OF GRADING.

LEGEND

- (89-02).....EXISTING ELEVATION
90.00.....PROPOSED ELEVATION
— 95 —.....PROPOSED CONTOUR
-- (89)--.....EXISTING CONTOUR
.....DRAINAGE PATTERN
.....PROPOSED STRUCTURE
-----PROPERTY LINE
- - - - -EXISTING WALL
RL.....RIDGE LINE
P.....PLANTER
EC.....END OF CONCRETE
EP.....END OF PAVEMENT
EX.....EXISTING
FG.....TOP GRATE
INV.....INVERT ELEVATION
FS.....FINISH SURFACE (WHEN CONCRETE, PAVED)
TC.....TOP OF CURB
F.L.....FLOW LINE
F.G.....FINISH GRADE
F.F.....FINISH FLOOR
H.P.....HIGH POINT
TOP.....TOP OF INFILTRATION BASIN
BOT.....BOTTOM OF INFILTRATION BASIN

SHEET INDEX:

- 1.....TITLE SHEET
2.....CONCEPTUAL GRADING & DRAINAGE PLAN

ACCEPTED

BY: _____ DATE: _____
PLANNING DIVISION

ACCEPTED

BY: _____ DATE: _____
BUILDING OFFICIAL

CONCURRED

BY: _____ DATE: _____
RENE GUERRERO, P.E., RCE NO. 66263, CITY ENGINEER

CITY OF POMONA
PUBLIC WORKS DEPARTMENT/ENGINEERING DIVISION
CONCEPTUAL GRADING PLAN
TITLE SHEET

1452 S. WHITE AVENUE POMONA, CA 91768

SCALE	DESIGNED: _____ P.V.T. ENG	SHT. 1
	DRAWN: _____ P.V.T. ENG	OF
	CHECKED: _____	
	REVIEWED: _____	2 SHTS

UNDERGROUND SERVICE ALERT



CALL: TOLL FREE

1-800
422-4133

TWO WORKING DAYS BEFORE YOU DIG

BENCHMARK:

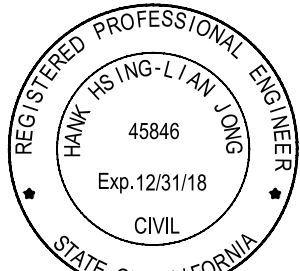
COUNTY BENCHMARK FGS109
PK NAIL IN S CB 0 BCR 0 SW COR WHITE AVE & GRAND AVE
ELEV 814.485

DEVELOPER:

WF CONSTRUCTION
620 ARROW HIGHWAY
LA VERNE, CA 91753
TEL: 909-599-4262
FAX:

OWNER:

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EGL Associates, Inc.

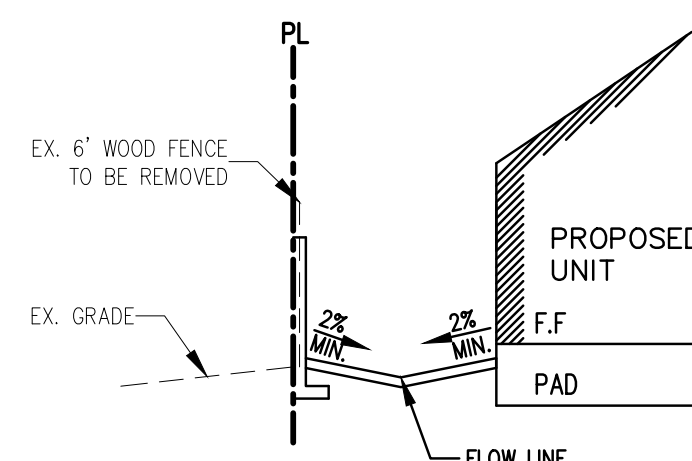
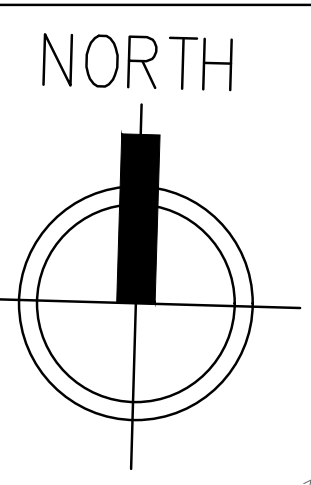
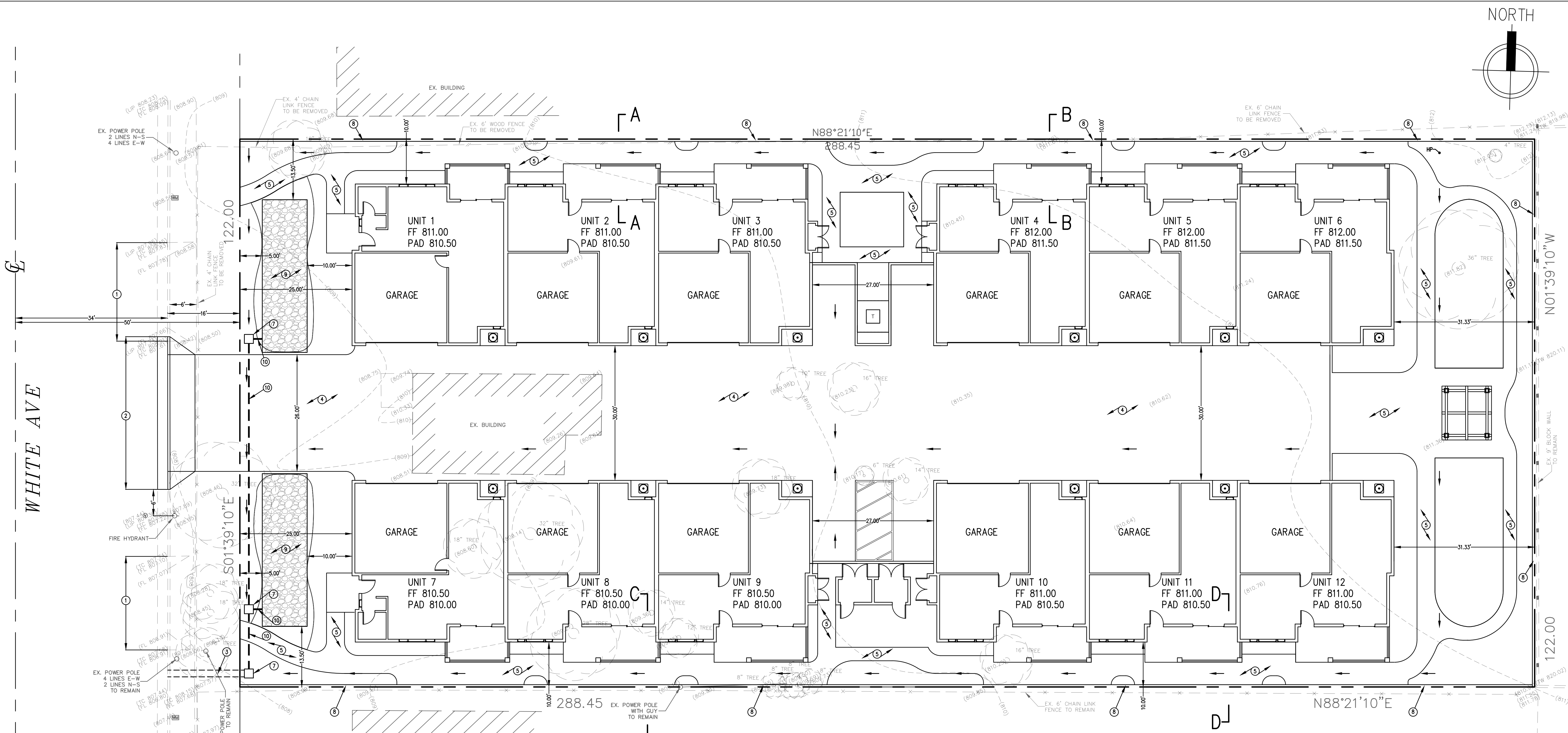
11819 GOLDRING ROAD, UNIT A
ARCADIA, CA 91006
TEL: (626)-263-3588
FAX: (626)-263-3599
E-mail: mail@egl88.com
EGL PROJECT NO. 16-240-003

REVISIONS

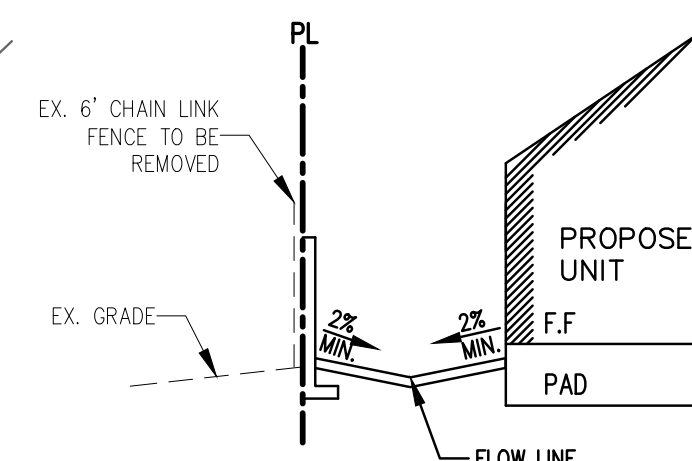
DATE

INITIAL

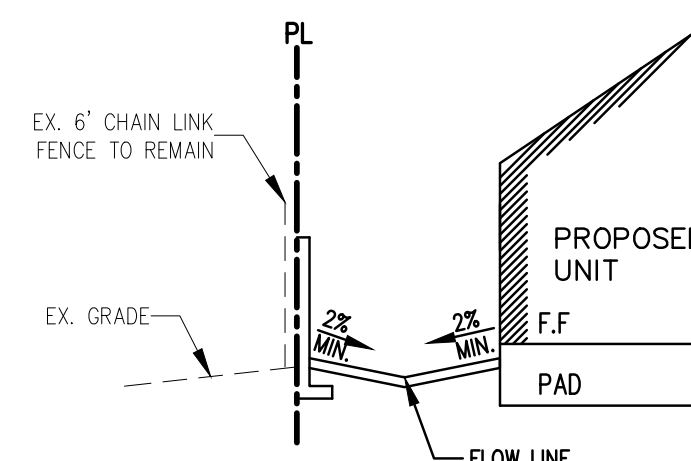
FK #### #



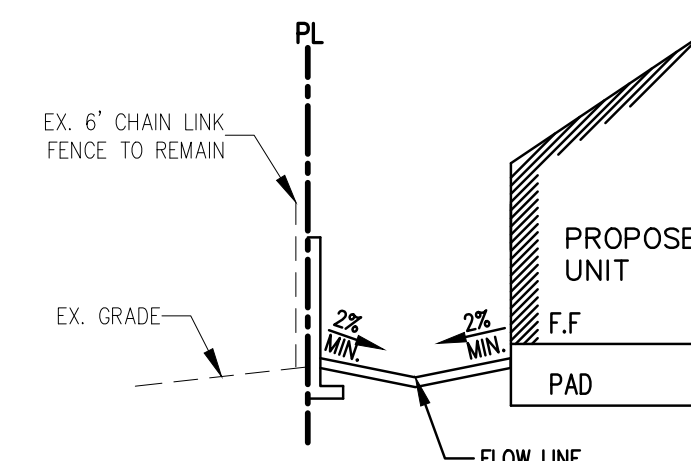
SECTION A-A
NOT TO SCALE



SECTION B-B
NOT TO SCALE



SECTION C-C
NOT TO SCALE



SECTION D-D
NOT TO SCALE

CONSTRUCTION NOTES

- 1 REMOVE EXISTING DRIVEWAY APPROACH.
- 2 CONSTRUCT DRIVEWAY APPROACH.
- 3 CONSTRUCT PARKWAY DRAIN.
- 4 CONSTRUCT CONCRETE DRIVEWAY.
- 5 CONSTRUCT CONCRETE WALKWAY.
- 6 CONSTRUCT CATCH BASIN.
- 7 CONSTRUCT CATCH BASIN WITH FILTER.
- 8 CONSTRUCT 6' HT. VINYL FENCE OR BLOCK WALL (TBD) PER ARCHITECTURAL PLAN.
- 9 CONSTRUCT UNDERGROUND INFILTRATION TRENCH.
- 10 CONSTRUCT PVC DRAINAGE PIPE.

UNDERGROUND SERVICE ALERT

CALL: TOLL FREE
1-800-422-4133

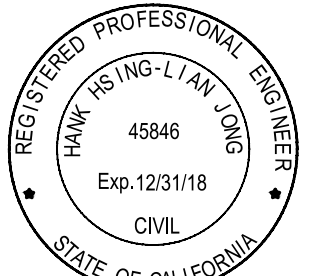
TWO WORKING DAYS BEFORE YOU DIG

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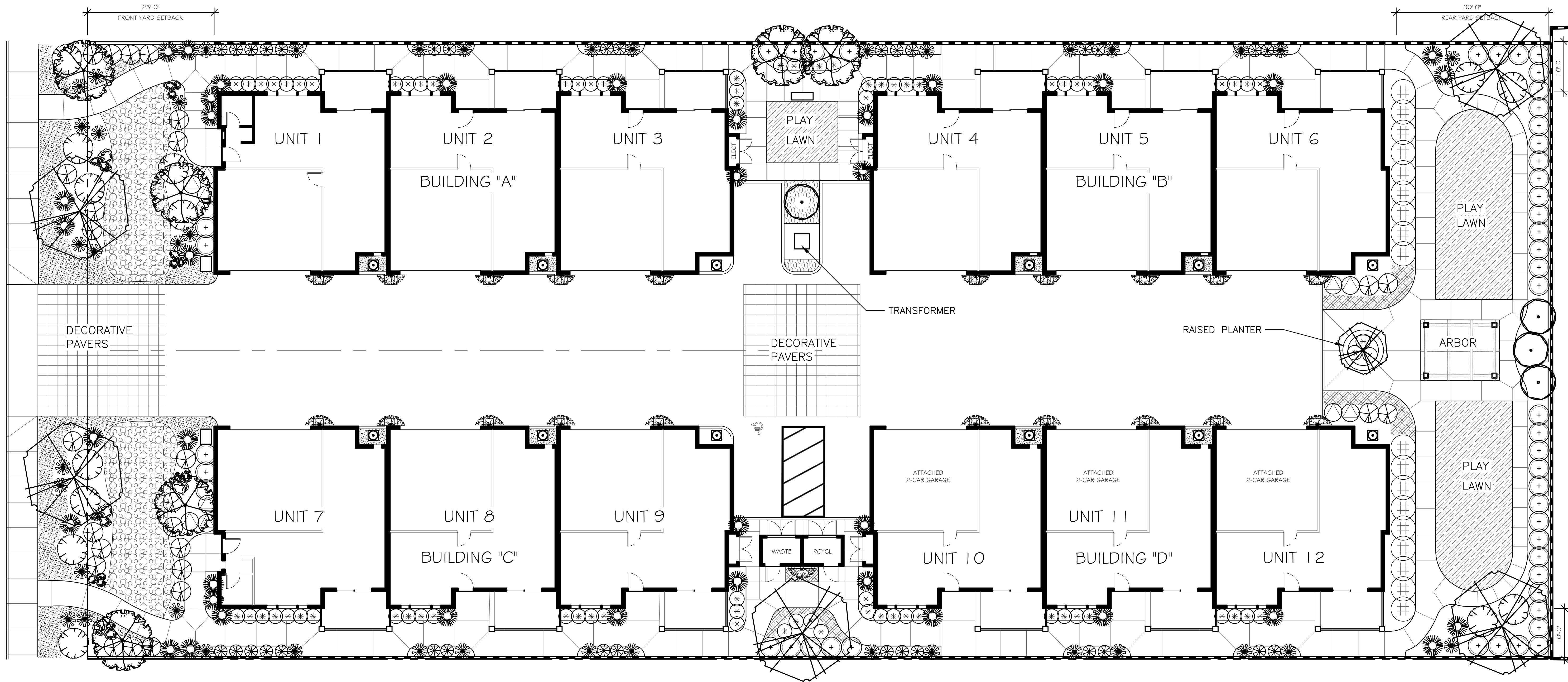
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FAX: (626)-263-3599
E-mail: mail@egl88.com
EGL PROJECT NO. 16-240-003

REVISIONS	DATE	INITIAL

ACCEPTED		
BY:	PLANNING DIVISION	DATE:
ACCEPTED		
BY:	BUILDING OFFICIAL	DATE:
CONCURRED		
BY:	RENE GUERRERO, P.E., RCE NO. 66263, CITY ENGINEER	DATE:
CITY OF POMONA PUBLIC WORKS DEPARTMENT/ENGINEERING DIVISION		
CONCEPTUAL GRADING PLAN CONCEPTUAL GRADING & DRAINAGE PLAN		
1452 S. WHITE AVENUE POMONA, CA 91768		
SCALE 1"=10' AS SHOWN	DESIGNED: DRAWN: CHECKED: REVIEWED:	PVT. ENG PVT. ENG SHT. 2 OF 2 SHTS



PRELIMINARY WATER EFFICIENT LANDSCAPE WORKSHEET								
1452 S. WHITE AVE., POMONA, CA, CA								
Reference Evapotranspiration (ETo):		47.50						
Hydrozone #/Planting Description ^A	Plant Factor (PF)	Irrigation Method ^B	Irrigation Efficiency (IE) ^C	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^D	Valves
REGULAR LANDSCAPE AREAS								
MW	0.40	ROTOR	0.78	0.51	1261.00	646.67	19044.33	
LW	0.30	DRIP	0.81	0.37	3927.00	1454.44	42833.39	
LWTR	0.30	BUBBLERS	0.80	0.38	400.00	150.00	4417.50	
TOTALS:					5588.00	2251.11		
ETWU TOTAL							66295.22	
Maximum Allowed Water Allowance (MAWA) ^E							90511.63	
ETAF CALCULATIONS								
REGULAR LANDSCAPE AREAS								
TOTAL ETAF x AREA				2251.11				
TOTAL AREA				5588.00				
AVERAGE ETAF				0.40				

^A Hydrozone # / Planting Description
MW = Moderate Water use Plants
LW = Low Water use Plants
LWTR = Low Water use Trees

^B Irrigation Method
R = Rotor
B = Bubbler
D = Drip

^C Irrigation Efficiency
0.80 for bubbler
0.81 for drip
0.78 Hunter MP Rotorator

^D ETWU (Annual Gallons Required)
ETo x 0.62 x ETAF x Area

Where 0.62 is a conversion factor that converts acre - inches per acre per year to gallons per square foot per year.

^E MAWA (Annual Gallons Allowed)
(ETo)(0.62)((ETAF x LA)

Where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet. ETAF is 0.55 for residential areas and 0.45 for non-residential areas.

PLANT LIST/LEGEND

TREES:	
ALIAS	SCIENTIFIC NAME
Agon.Bur.	Agonis flexuosa 'Burgundy'
Chil.TB	Chilopsis linearis 'Burgundy'
Ulm.TG	Ulmus parvifolia 'True Green'

SHRUBS

ALIAS	SCIENTIFIC NAME	COMMON NAME	QUANT.	SIZE	COMMENTS	WUCOLS
Arcto.PM	Arctostaphylos 'Pacific Mist'	Pacific Mist Manzanita	13	5-Gal	Train as ground cover	L M
Berb.aqui.	Berberis aquifolium 'Compacta'	Compact Oregon Grape	18	5-Gal	Alt: Mahonia Golden Abundance	x
Callist.LJ	Callistemon viminalis 'Little John'	Little John Bottlebrush	76	5-Gal		x
Cist.hyb.	Cistus hybridus	White Rockrose	26	5-Gal		x
Cup.TT.	Cupressus sempervirens 'Tiny Tower'	Tiny Tower Italian Cypress	32	1-Gal		x
Penn.set.	Pennisetum setaceum 'Purpureum'	Purple Fountain Grass	38	1-Gal		x
Phlo.frut.	Phlomis fruticosa	Jerusalem Sage	10	5-Gal		x
Salvia SB	Salvia leucantha 'Santa Barbara'	Santa Barbara Mex. Bush Sage	41	5-Gal.		x
West.WG	Westringia fruticosa 'Wynabbie Gem'	Wynabbie Gem Coast Rosemary	49	5-Gal		x

VINES

ALIAS	SCIENTIFIC NAME	COMMON NAME	QUANT.	SIZE	COMMENTS	WUCOLS
Lon.jap.	Lonicera japonica 'Halliana'	Hall's Honeysuckle	21	1-Gal	Train on trash enclosure wall & on garage trellises	L M

GROUND COVERS:

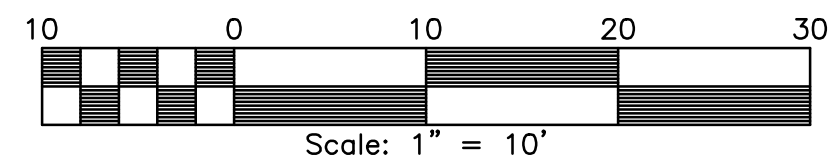
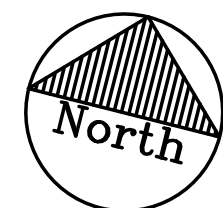
SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	WUCOLS
	Aptenia 'Red Apple'	Red Apple Ice Plant	Flats	Plant at 12" o.c.	L M
	Dymondia margaritae	Dymondia Daisy	Flats	Plant at 12" o.c.	x
	Lippia nodiflora	Kurapia	Sod		x
	Mulch	Gorilla Hair shredded mulch	-	Spread min. 3" deep around all shrubs	
	Stabilized decomposed granite	California Gold Stabilized DG	-	Spread 2" deep over landscape fabric	

NOTES:

Hydrozones:
- All planting areas except rear play lawns and north common use area are low water use. Refer to preliminary water use calculations for square footages of these areas.

Planting areas:
- All plant areas shall have 3" of mulch

Irrigation:
- Water utility equipment such as backflow devices, etc., will be screened from public view with shrubs. Locations for these devices have not yet been determined.



REVISIONS	BY

ROYAL OAK DESIGN

Sylvia E. Lyons, Landscape Architect #1549
2456 Hummingbird Way
La Verne, CA 91750-2371
Telephone: (909)593-4158
Email: royaloakdesign@verizon.net

PRELIMINARY LANDSCAPE PLAN

PROJECT: 12 UNITE MULTI-FAMILY DEVELOPMENT

ADDRESS: 1452 S. WHITE AVE., POMONA, CA
DEVELOPER: WF CONSTRUCTION



DRAWN
J.S./S.L.
DATE
6/19/2017
SCALE
1" = 10'
JOB NO.
5221
SHEET