POMONA RESIDENCE

1538 S. TOWNE AVE, POMONA, CA 91766



18472 COLIMA RD #210 **ROWLAND HEIGHTS CA 91748** Tel: (909) 810-2555 Fax: (626) 363-4083 www.appicancolima.com

PROJECT DATA

OWNER: JOB ADDRESS:

HUNG, KA KWUN 1538 S TOWNE AVE, POMONA, CA 91766 626-616-3399

JOB DESCRIPTION:

- 1.REMOVE THE EXISTING GARAGE AND STORAGE. 2.BUILD TWO NEW 2-STORY HOUSE. EACH HOUSE HAS
- 5 BEDROOMS AND 4 BATHROOMS. 3.BUILD A 6-CAR PARKING SPACE GARAGE FOR EXISTING
- HOUSE AND 2 NEW ADDITION HOUSE.

OCCUPANCY GATEGORY: R-1-E CONSTRUCTION TYPE: FIRE SPRINKLERS:

TOTAL LOT AREA: 19700.00 SQ.FT. 8328-007-006

BUILDING SUMMARY

EXISTING: 1088.00 SQ.FT.(ONE LEVEL) ADDITION: 3346.00 SQ.FT. (BUILDING A) 3432.00 SQ.FT. (BUILDING B) 7866.00 SQ.FT.

BUILDING A FIRST FLOOR

1669.00 SQ.FT. 1677.00 SQ.FT. SECOND FLOOR:

BUILDING B FIRST FLOOR 1712.00 SQ.FT. SECOND FLOOR: 1720.00 SQ.FT.

LOT COVERAGE EXISTING:

LOT COVERAGE

1088.00 SQ.FT. 1677.00 SQ.FT. **BUILDING A: BUILDING B:** 1720.00 SQ.FT. 1281.00 SQ.FT. GARAGE: TATAL 5766.00 SQ.FT. LOT SIZE 19700.00 SQ.FT.

LANDSCAPEING COVERAGE:

5440.00 SQ.FT. / 19700.00 SQ.FT. = 0.276

5766.00 SQ.FT. / 19700 SQ.FT. = 0.293 < 35%

SHEET INDEX

- A-0.1 TITLE SHEET PROJECT DATA
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- A-2.1 PROPOSED FLOOR PLAN AND ELECTRICAL LIGHTING PLAN
- A-2.2 PROPOSED GARAGE PLAN AND ELEVATIONS A-3.1 BUILDING A ROOF PLAN AND ELEVATIONS
- A-3.2 BUILDING B ROOF PLAN AND ELEVATIONS
- A-4.1 GRADING PLAN AND LANDSCAPE
- A-5.1 PHOTOS
- T-1.0 CALGREEN MANDATORY MEASURES FORMS
- AA-1 DOOR SPECIFICATION SHEET
- AA-2 WINDOW SPECIFICATION SHEET
- AA-3 LIGHT SPECIFICATION SHEET
- AA-4 TREE REMOVAL PLAN AA-5 WALL AND FENCING PLAN

APPLICABLE BUILDING CODE

THE PROJECT SHALL COMPLY WITH ANY AND ALL REQUIREMENS

OF THE LEGALLY CONSTITUTED AUTHORITIES

HAVING JURISDICTION INCLUDING THE FOLLOWING.

2016 CALIFORNIA BUILDING CODE (CBC)

2016 CALIFORNIA ELECTRICAL CODE (CEC)

2016 CALIFORNIA MECHANICAL CODE (CMC)

2016 CALIFORNIA PLUMBING CODE (CPC)

2016 T-24 ENERGY STANDARDS 2016 CALIFORNIA ENERGY CODE

2016 CALIFORNIA GREEN BUILDING STANDARDS CODE

2016 CALIFORNIA FIRE CODE

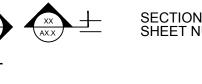
CITY OF POMONA MUNICIPAL CODE

Date

— POMONA, CA

REFERENCE SYMBOLS





RM

R.O

SHT.

SECTION REFERENCE SHEET NUMBER

INTERIOR ELEVATION REFERENCE SHEET NUMBER

DETAIL REFERENCE NUMBER

SHEET NUMBER

KX

SHEET NUMBER

WINDOW REFERENCE DOOR REFERNCE LAUNDRY FIXTURE / APPLIANCE REFERENCE

BATHROOM FIXTURE & ACCESSORIES REFERENCE GENERAL NOTE REFERENCE KITCHEN FIXTURE / APPLIANCE REFERENCE

DISCREPANCIES TO APPICAN LLC. BEFORE WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

WRITTEN CONSENT OF APPICAN LLC.

THE DESIGNS AND DRAWINGS REMAIN THE PROPERTY

ISSUED,OR REPRODUCED WITHOUT THE SPECIFIC

THE CONTRACTOR MUST CHECK AND VERIFY ALL

DETAILS AND DIMENSIONS OF THE JOB AND BE

OF APPICAN LLC. AND MAY NOT BE ALTERED

Signature

Key Plan

NOTES:

ABBREVIATIONS

AC.T.	ACOUSTIC TILE
AFF	ABOVE FINISH FLOOR
ALT	ALTERNATE
ALUM	ALUMINUM
ANCH	ANCHOR
APPROX	APPROXIMATELY
ARCH	ARCHITECT/ARCHITECTURAL
BR.CS.	BRICK COURSE
BLDG	BUILDING
BLK	BLOCK
B.M.	BENCH MARK
BM	BEAM
B.N.	BULL NOSE
BNT	BENT
BMT	BOTTOM
C.B.	CATCH BASIN
CEM	CEMENT
CER.T.	CERAMIC TILE
C.J.	CONTROL JOINT
CLR.	CLEAR
CLG	CEILING

CONCRETE MASONRY UNIT

COL COLUMN COMP COMPOSITION CONC. CONCRETE CONSTRUCTION CONT. CONTINUOUS CONTR CONTRACTOR CTR CENTER DET. DETAIL DRINKING FOUNTAIN DIA. DIAMETER DIM DIMENSION D.O. DOOR OPENING DOWNSPOUT DWG DRAWING EXT. INSULATION & FINISH SYSTEM EIFS **ELEVATION (SEA LEVEL)** ELEC. ELECTRICAL **ELEVATION** ELEV. **EXPANSION** EXP **EXPANSION JOINT** EXT **EXTERIOR**

FLOOR DRAIN

VICINITY MAP

E Phillips Blvd

E Franklin Ave

Simons Middle School

EFC Chino Hills

PROJECT LOCATION

Southern Calif

Dream Center

Telacu Housing

Pomona II

Central Mart

E Phillips Blvd

Fairfax Ln.

E Franklin Ave

Trevia Properties

FIRE EXTINGUISHER FIN FINISH FLR FLOOR FOUNDATION FOM FACE OF MASONRY FROST PROOF HOSE BIBB F.S. FULL SIZE OR FLOOR SINK FTG FOOTING **FURR FURRING** FVC FIRE VALVE CABINET GA. GAUGE GALV. GALVANIZED GEN GRFC GLASS FIBER REINFORCED CONCRETE GRFG GLASS FIBER REINFORCED GYPSUM GL GLASS/GLAZING G.S. **GRAVEL STOP** GYP.BD. GYPSUM BOARD **HDWE** HARDWARE HOSE BIBB **HOLLOW METAL** HYDRANT

Missionary Ba

E Franklin Ave E Franklin Ave

I.D. INSUL FIRE EXTINGUISHER FINISH **FLOOR** LAV FOUNDATION FACE OF MASONRY LLH FROST PROOF HOSE BIBB LLV FULL SIZE OR FLOOR SINK L.P. FOOTING **FURRING** FIRE VALVE CABINET GAUGE GALVANIZED GENERAL GLASS FIBER REINFORCED CONCRETE GLASS FIBER REINFORCED GYPSUM GLASS/GLAZING **GRAVEL STOP** MISC. GYPSUM BOARD M.O. HARDWARE

HOSE BIBB

HYDRANT

HOLLOW METAL

METTHRES

O/A OVERALL O/C ON CENTER O.D. **OUTSIDE DIAMETER** OVERHEAD O/O OUT TO OUT OPNG OPENING PIECE PLATE PLAS PLASTER PLBG PLUMBING NUMBER PLYWD PLYWOOD POL **POLISHED** PROJ PROJECT PTD PAINTED RADIUS R.D. **ROOF DRAIN** REINF. REQD.

SINK

SHEET

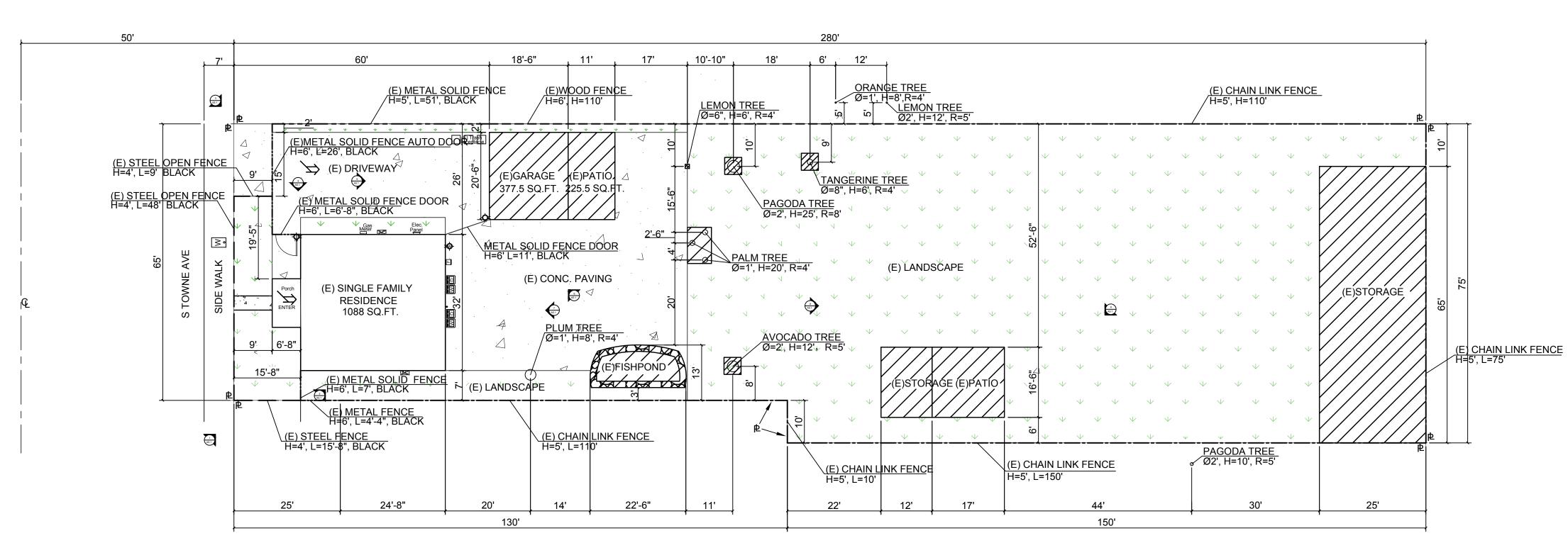
S.M. SQ. S.S. SPM S.STL STD STRUCT. SUSP T.D. TERR TYP VCT W.C. WD WT REINFORCEMENT / REINFORCED WWF REQUIRED ROOM **ROUGH OPENING**

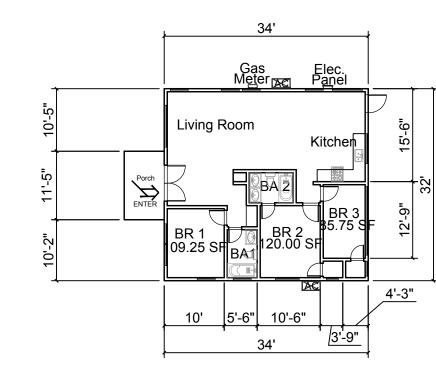
SHEET METAL SQUARE SLOP / SERVICE SINK SINGLE PLY MEMBRANE STAINLESS STEEL STANDARD STRUCTURAL SUSPENDED TOP OF TRENCH DRAIN TERRAZZO TYPICAL VINYL COMPOSITION TILE WATER CLOSET WOOD WEIGHT WELDED WIRE FABRIC

HUNG, KA KWUN
Location
1538 S TOWNE AVE
POMONA, CA
91766
Drawing title
TITLE SHEET PROJECT DATA

Date: 11-22-2017	Drawing no.
Scale:	_ A-0.1
Drawn by: MX	
Checked by:	Rev. No.
File name:	
Last edit date:	







LEGEND

— STEEL OPEN FENCE

---- METAL SOLID FENCE

——— CHAIN LINK FENCE

---- WOOD FENCE

EXISTING FLOOR PLAN

4 3 2 1 No. Revisions Date CK.

APPICAN CONSTRUCTION TECHNOLOGY LLC 18472 COLIMA RD #210 ROWLAND HEIGHTS CA 91748

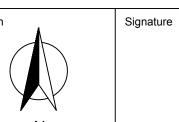
Tel: (909) 810-2555 Fax: (626) 363-4083 www.appicancolima.com



Key Plan	1538 S TOWNE POMONA, CA

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1538 S TOWNE AVE POMONA, CA

Drawing title

EXISTING SITE PLAN

AND PROPOSED SITE PLAN

Date: 11-22-2017	Drawing no.
Scale: 1/16"=1'	A-1.1
Drawn by: MX	
Checked by:	Rev. No.
File name:	
Last edit date:	

EXISTING SITE PLAN SCARE:1/16"=1"

50'	(E) METAL SOLID FENCE (E)WOOD FENC /H=5', L=51', BLACK /H=6', H=110'	280' CE		(E) CHAIN LINK FENCE H=5', H=110'	7
H=4', L=9' BLACK (E) STEEL OPEN FENCE H=4', L=48' BLACK	(E) ONE-STORY SINGLE FAMILY RESIDENCE 1088 SQ.FT. (N) METAL SOLID FÉNCE AUTO DOOR (E) ONE-STORY SINGLE 1088 SQ.FT.	(N) CONC. PAVING (N) ADDITION-A 2-STORY SINGLE FAMILY RESIDENCE 3346.00 SQ.FT. (N) LANDSCAPE ENTER	(N) ADDITION-B 2-STORY SINGLE FAMILY RESIDENCE 3432.00 SQ.FT.	DSCAPE (N) ADDITION-C 6-CAR GARAGE 1281.00 SQ.FT.	(E) CHAIN L H=5', L=75'
	(E) METAL SOLID FENCE H=6', L=7', BLACK (E) METAL FENCE H=6', L=4'-4", BLACK (E) STEEL OPEN FENCE H=4', L=20", BLACK (E) CHAIN LINK H=5', L=110'	FENCE (E) CHAIN LINK FENCE H=5', L=10' 43'	(N) LANDSCAPE (E) CHAIN LINK FENCE H=5', L=150' 43'	40'-10"	H=5', L=75'

PROPOSED SITE PLAN SCARE:1/16"=1"

LEGEND
◆ Wall Light☐ Elec. panel. 200A, 120/240V, 1Ø, 3W.
Gas meter
W Water meter
Existing furnace.
Existing Air conditioner.
Air conditioner. 13.0 - 13.2 SEER/ 10.8 - 11.0 EER (based on tested combinations)

LEGEND

CENTER LINE

PROPERTY LINE

REMOVE

NEW ADDITION

LANDSCAPE

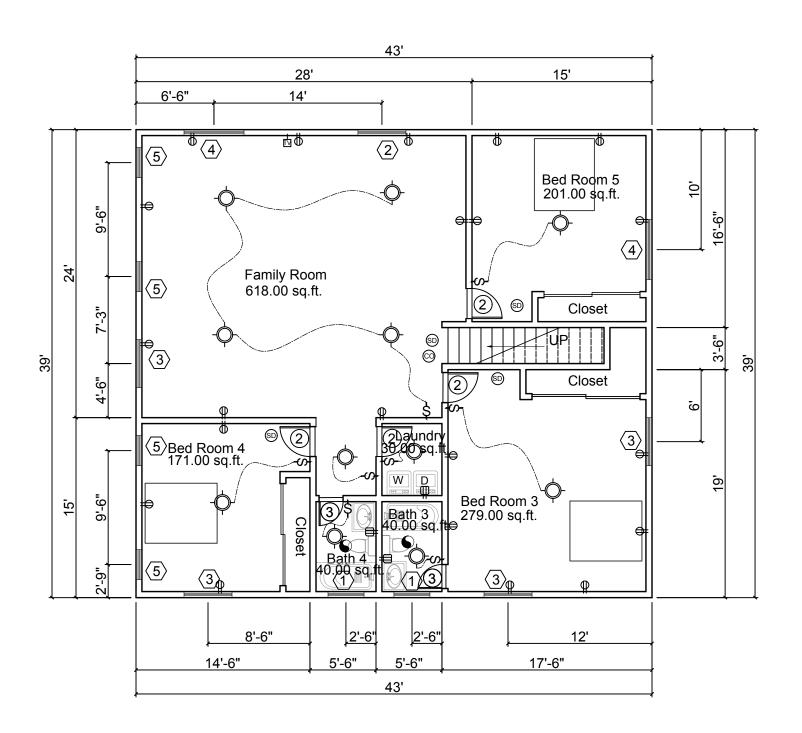
CONCRETE PAVING

NOTE: Roof mounted A/C units are not permitted.

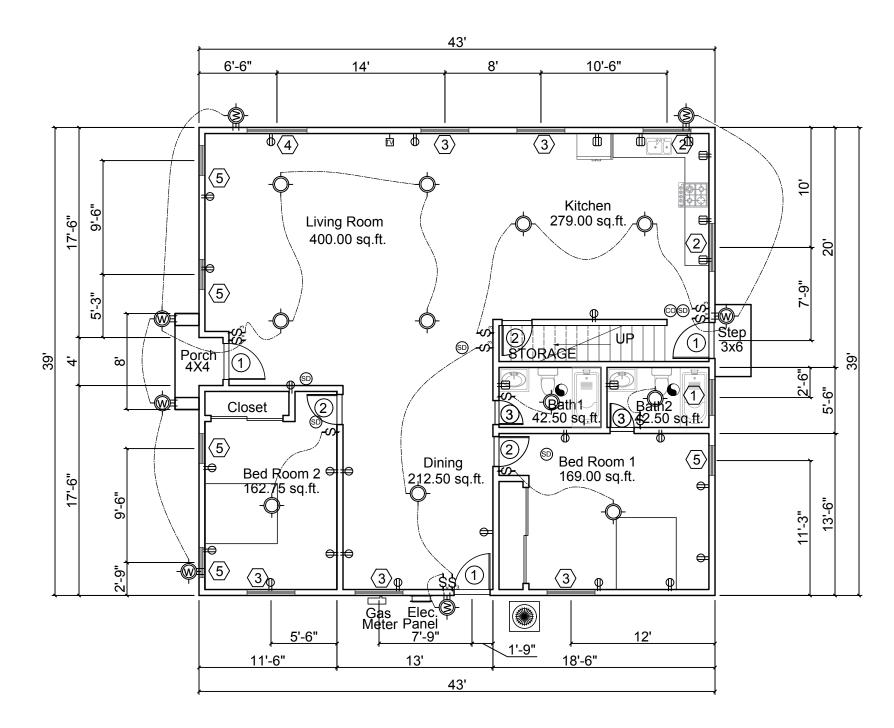
MINIMUM DEVELOPMENT STANDARDS

Subj	ects	Required	Proposed
	Front	15' min.	15'-8"
Setback	Side	5' min.	5'-6"
	Rear	20' min.	64'-4"
Lot Area (sq.ft.)		10,000 min.	19,700
Lot Dimensions	Width	65' min.	65'
	Depth	100' min.	280'
Coverage		Max. 35%	29.3%
Bldg.Height		35' max.	21'-10"
Dist.Bet.Bldgs.	Main Bldg.	35' min.	40'
	Accessory Bldg.	7' min.	
Parking	Covered Parking	6 Spaces	6 Spaces
r unung	Interior Dim.	20'x20'	20'x20'
Drive Width		20' min.	20'-6"





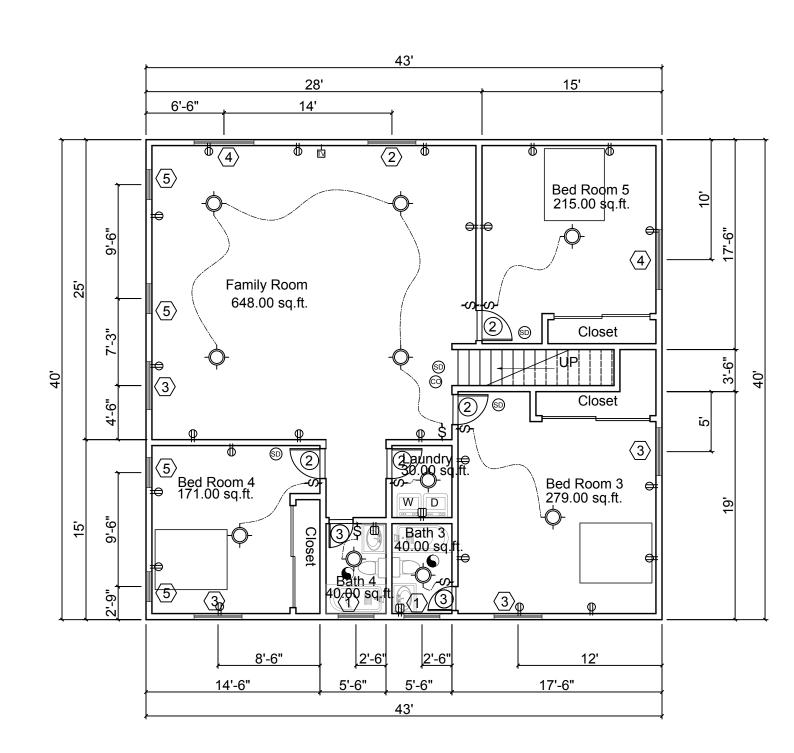
SECOND FLOOR 1677.00 SQ.FT.



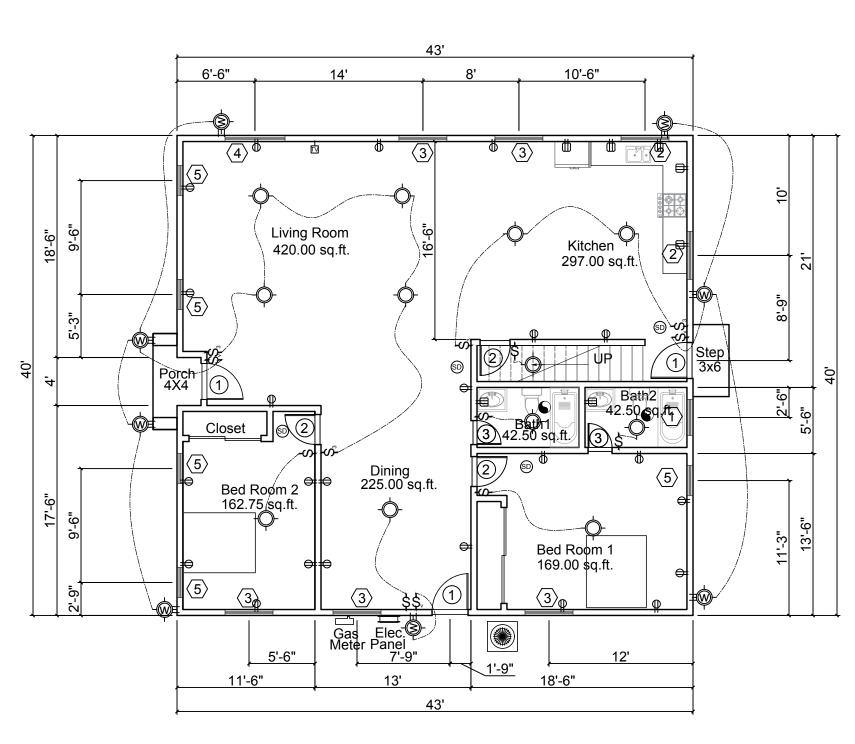
FIRST FLOOR 1669.00 SQ.FT.

PROPOSED FLOOR PLAN - BUILDING A

SCARE:1/8"=1'



SECOND FLOOR 1720.00 SQ.FT.

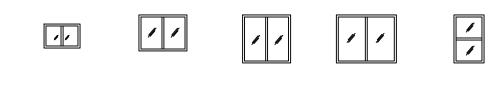


FIRST FLOOR 1712.00 SQ.FT.

PROPOSED FLOOR PLAN - BUILDING B

SCARE:1/8"=1'

WINDOW

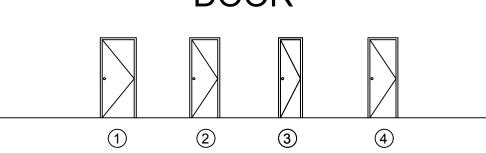


	1	<	2 <:	3	4	(5)		
		WIN	DOW (See specif	ication shee	et for details)	NO.	OF UN	IT
NO.	WIDTH	HEIGHT	GLASS	COLOR	TYPE	(A)	(B)	(C)
W1*	3'	2'	TEMPERED	WHITE	SLIDING	3	3	0
W2	4'	3'	LOW E	WHITE	SLIDING	3	3	0
W3	4'	4'	LOW E	WHITE	SLIDING	0	0	4
W4	5'	4'	LOW E	WHITE	SLIDING	3	3	0
W5	2'-6"	4'	LOW E	WHITE	DOUBLE HUNG	9	9	0

- * TEMPERED WINDOWS LOCATED IN BATHROOM WALLS.
- Emergency egress window provide he following
 5.7 sq.ft. of clear operable area, 5.0 sq.ft. at grade floor.
 Net openable height shall be 24" min.
- Net openable width shall be 20" min. - Finished sill height of 44" max. above floor
- 2. Tempered glass TYP. all glazing in hazardous locations must be

identified by a label (permanent if tempered) as saety glazing.

DOOR



DOOR (See specification sheet for details)						NO. OF UNIT		
NO.	WIDTH	HEIGHT	GLASS	TH	PLACE	(A)	(B)	(C)
D1	36"	80"	NO	1 1/2"	EXTERIOR DOOR	3	3	0
D2	30"	80"	NO	1 1/2"	INSIDE DOOR	7	7	0
D3	24"	80"	NO	1 1/2"	INSIDE DOOR	4	4	0
D4	30"	80"	NO	1 1/2"	GARAGE DOOR	0	0	1

LEGEND

- Wall Light
- Ceiling Fan & Light
- Ceiling Mounted Compact Fluorescent Light Fixture (Surfaced)
- Ceiling Mounted Compact Fluorescent Light Fixture (Recessed)
- \$ 3 Way Switch
- S Vacancy Sensor Control Switch
- ARC-Fault Circuit-Interrupter Duplex Receptacle Outlet
 Ground-Fault Circuit-Interrupter Duplex Receptacle Outlet
- □ Cable Television Jack
- Interconnected Hard-Wired Smoke Detector With Battery Back Up
- Interconnected Hard-Wired Carbon Monoxide Alarm (With Battery Back Up) Water Closet: ≤1.28 Gallons Per Flush.
- Tank-Type Water Closets Shall Be Certified To The Performance Criteria Of
- The U.S. EPA Watersense Specification For Tank-Type Toilets.
- Elec. panel. 200A, 120/240V, 1Ø, 3W.
- Gas meter
- F 80 variable speed 4-way multipoise furnace.
- Water heater. Indoor, outdoor, SCH 40 PVC Direct Ven. 0.5 gallons, 15-150 psi.
- Existing Wall Air conditioner.
- Heat&Cool Air conditioner. 13.0 13.2 SEER/ 10.8 11.0 EER (based on tested combinations)
- □ Electric Vehicle Capable. 208/240-volt branch circuit, 40-ampere mini.
- "ENERGY STAR" exhaust fan 50 CFM min. vented to outside air.
- Continuous "WHOLE- BUILDING" ventilation ceiling fan, close when the fan is off that are insulated with a min. insulation value of R-4.2.
- 1% Direction of flow.



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No.	Revisions	Date	CK.



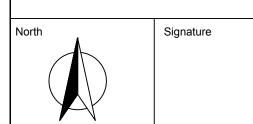
Key Plan POMONA, CA

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HUNG, KA KWUN

1538 S TOWNE AVE POMONA, CA

91766

Last edit date:

Drawing title PROPOSED FLOOR PLAN

AND ELECTRIC PLAN

Date: 11-22-2017	Drawing no.
Scale: 1/8"=1'	A-2.1
Drawn by: MX	
Checked by:	Rev. No.
File name:	

LEGEND

LEGEND

SLOPE: 1/4" PER FT.

☒ ROOF DRAINAGE SCUPPER

- 1 7 STUCCO WALL (COLOR: BEIGE)
- ROOF TILE. (COLOR: VIEJO BLEND PER MANUFACTURER)
- FASCIA BOARD (COLOR: WHITE, PER MANUFACTURER; EAVE LENGTH: 2'
- RECESSED WINDOW STYLE, COLOR: WHITE; SEE WINDOW SCHEDULE AND SPECIFICATION SHEET FOR DETAILS.
- 5 RECESSED FRONT PORCH (ARCHITECTURAL STYLE MATCH
- THE EXISTING SPANISH STYLE) 6 DOWNSPOUT (WHITE, ALUMINUM, PER MANUFACTURER)
- 7 SCUPPER DRAIN (WHITE ,PER MANUFACTURER)
- 8 GARAGE DOOR (WHITE , PER MANUFACTURER)
- 9 LOUVERED VINYL EXTERIOR SHUTTER (MATERIAL:
- VINYL, COLOR: GARDEN RED) WALL LIGHT 1: 180-DEGREE MOTION SENSING OUTDOOR
- 11 WALL LIGHT 2: 180-DEGREE MOTION ACTIVATED OUTDOOR FLOOD LIGHT (SEE SPECIFICATION SHEET FOR DETAILS)

DECORATIVE LAMP (SEE SPECIFICATION SHEET FOR DETAILS)

GENERAL NOTES

- 1. At time of permit issuance, contractor shall show their valid workers' compensation insurance certifacate.
- 2. All work shall conform to all requirements of State of California Title 24 regardless of the information indicated on these plans. It is the responsibility of the individual supervising the construction to ensure that the work is done in accordance with Code requirements prior to
- 3. Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be
- 4. Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
- 5. Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
- 6. Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dipersal by wind.
- 7. Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface water. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately an disposed of in a proper manner. Spills may not be washed into the drainage system.
- The issuance of a permit shall not prevent the building official from requiring the correction of errors on these plans or from preventing any violation of the Codes adopted by the City, relevant laws, ordinances, rules and/or regulations.
- 9. Pedestrian traffic shall be protected by a fence and canopy constructed in accordance with the Building Code. Pedestrian protection shall not be erected until a permit has first been obtained by the Public Works Department. Pedestrian Protection shall be constructed in accordance with the Building Code, scaffolding shall not be incorporated into the pedestrian protection unless it complies with all clear height and width requirements of California Title 24 Disabled Access requirements, and the Americans with Disabilities Act (ADA). Contractors shall assume all responsibility for removal and replacement of percentiling pedestrian protection. shall assume all responsibility for removal and replacement of noncomplying pedestrian protection.
- The duties of the soils engineer of record, shall include the following:
 A. Observation of cleared and benches prepared to receive fill;
 B. Observation of the removal of all unsultable soils and other materials;
- The approval of soils to be used as fill materials; The inspection of placement and compaction of fill materials;
- The testing of completed fills;
- And the inspection or review of drainage devices. Compaction test shall not be performed by individuals other than the soils engineer or record unless requested by the soils engineer or record unless
- requested by the soils engineer of record and approved by the City Building Division.

ADMINISTRATIVE REQUIREMENT

- 1. The person with overall responsibility for construction or the person responsible for the installation of regulated manufactured devices shall post or make available with the building permit(s) issued for the building, the installation certificate(s) for manufactured devices regulated by the Appliance Efficiency Regulations or Part 6. Such installation certificate(s) shall be made available to the enforcement agency for all appropriate inspections. These certificates shall:
- A) Identify features required to verify compliance with the Appliance Efficiency Regulations and part 6.
- B) State the number of the building permit under which the construction or installation was performed. Sections of the certificate(s), for which submittal to a HERS provider data registry is required, shall display the unique registration number assigned by the HERS data registry.
- C) Include a statement indicating that the installed devices conform to the Appliance Efficiency Regulations and Part 6 and the requirements for such devices given in the plans and specifications approved by the
- D) Be signed by the individual eligible under Division 3 of the Business and Professional Code to accept responsibility for the building construction.

Sec. 10-103 (a) 3 A

 Alter installing wall, ceiling, or floor insulation, the installer shall make available to the enforcement agency
or post in a conspicuous location in the building a certificate signed by the installer stating that the installation
is consistent with the plans and specifications described in Sec. 10-103 (a) 2A. The certificate shall also state the manufacturer's name, material identification, and the installed R-value.

Sec. 10-103 (a) 4

- 3. The builder shall provide the building owner or the person(s) responsible for building maintenance (in case of multi-tenant or centrally operated buildings) at occupancy the following:
- A) Compliance information. The appropriate completed and signed Certificate(s) of Compliance (CF-1R), installation certificate(s) (CF-6R), and if applicable certificate(s) of Field Verification and Diagnostic
- B) Operating information. The appropriate Certificate(s) of compliance and a list of the features, materials, components, and mechanical devices installed in the building and instructions on how to operate them
- C) Maintenance information. Required routine maintenance actions shall be clearly stated and incorporated on a readily accessible label. The label may be limited to identifying the operation and maintenance manual.
- D) Ventilation information. A description of the quantity of outdoor air that the ventilation system is designed to provide to the building conditioned space, and instructions for proper operation and maintenance.

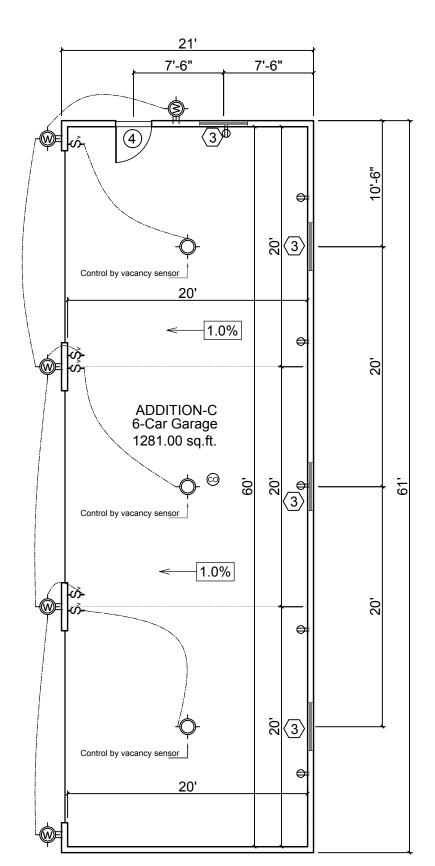
4. The Enforcement agency shall not issue a Certificate of Compliance until all required Certificates of Field Verification and Diagnostic Testing are posted or made available to the building department, and that all Certificates of Field Verification and Diagnostic Testing conform to the specifications of Section 10-103(a)5.

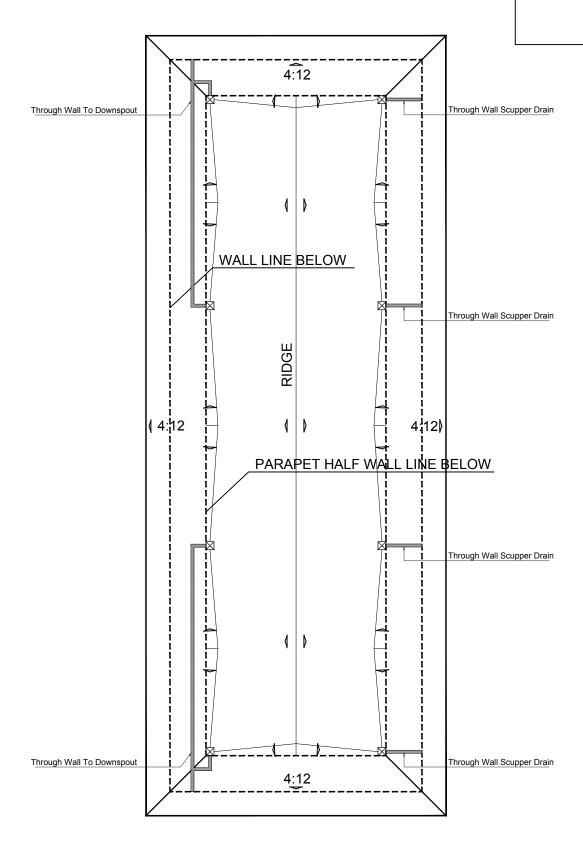
Sec. 10-103 (d) 2

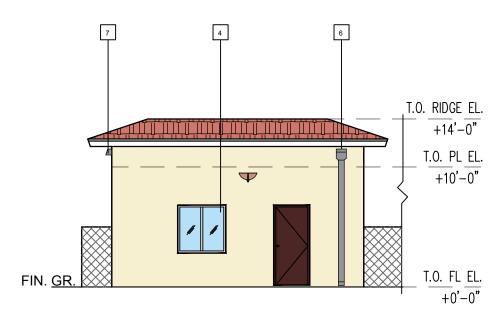
T.O. RIDGE EL.

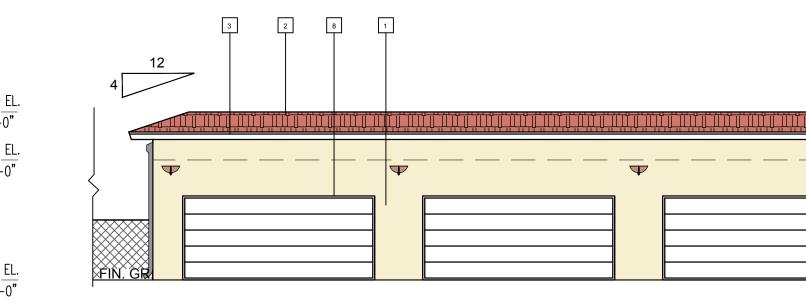
+14'-0"

T.O. PL EL. +10[']-0"



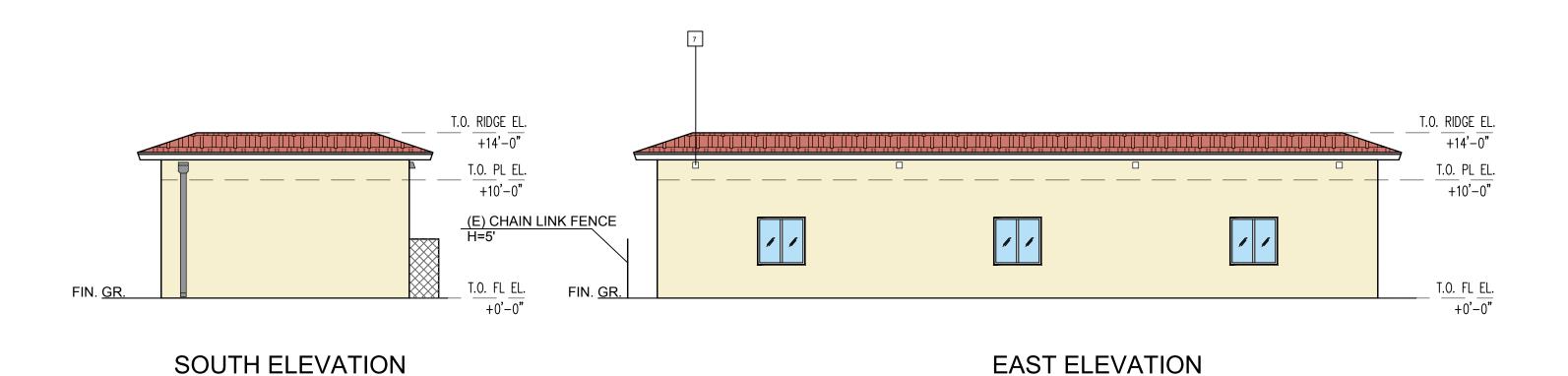






NORTH ELEVATION

WEST ELEVATION



PROPOSED FLOOR PLAN - GARAGE C

SCARE:1/8"=1'

PROPOSED ROOF PLAN - GARAGE C

SCARE:1/8"=1'

PROPOSED ELEVATIONS - GARAGE C

SCARE:1/8"=1'



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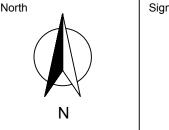
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No.	Revisions	Date	CK.



(E) CHAIN LINK FENCE Key Plan — POMONA, CA NOTES: THE DESIGNS AND DRAWINGS REMAIN THE PROPERT

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WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.



HUNG, KA KWUN

1538 S TOWNE AVE POMONA, CA

91766

Last edit date:

Drawing title NOTES, PROPOSED GARAGE FLOOR,

Date: 11-22-2017	Drawing no.
Scale: 1/8"=1'	A-2.2
Drawn by: MX	
Checked by:	Rev. No.

ROOF PLAN AND ELEVATIONS

File name:



NOTES

- 1.1 \(\frac{5}{8} \)" gypsum board on the garage side of walls.
- 1.2 5/8" gypsum board wall & ceiling on the garage side under habitable room.
- 1.3 Garage floor sloped to vehicle entry door.
- 1.4 Ducts penetrating wall or ceiling separations between a garage and a dwelling unit shall be constructed of min. 26 gage sheet metal and shall have no openings into the garage.(R302.5.2 CRC) See 7/AD-1 for detail.
- 1.5 Automatic garage door openers accordance with UL325.

2. STAIRWAY

- 2.1 Stairway width: 36", stair riser height: 7", stair tread run: 11".
- 2.2 Stairway clear headroom see stairway section on sheet A-4.1 for detail .

3. SMOKE ALARM

- 3.1 Smoke alarms shall be tested and maintained in accordance with the manufacturer's instructions. Smoke alarms that no longer function shall be replaced.
- 3.2 Smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all alarms.
- 3.3 Combination smoke and carbon monoxide alarms shall be permitted to be used in lieu of smoke alarms.
- 3.3 Smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all alarms. 3.4 Smoke alarms shall receive their primary power from the building wiring and be equipped with a battery backup.

4. CARBON MONOXIDE ALARM

- 4.1 Combination carbon monoxide and smoke alarms shall be permitted to be used in lieu of carbon monoxide alarms.
- 4.2 Carbon monoxide alarms shall receive their primary power from the building wiring and be equipped with a battery backup. 4.3 Carbon monoxide alarms shall be interconnected in a manner that activation of one alarm shall activate all of the alarms.

5. FIRE BLOCKING

- 5.1 In concealed spaces of studs and partitions, including furred spaces and parallel rows of studs or staggered studs, vertically at the ceiling and floor levels and horizontally at intervals not exceeding 10 feet.
- 5.2 At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings. 5.3 In concealed spaces between stair stringers at the top and bottom of the run.
- 5.4 At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist

6.1 ARC-Fault circuit-interruption shall be installed to provide protection of the branch circuit.

the free passage of flame and products of combustion.

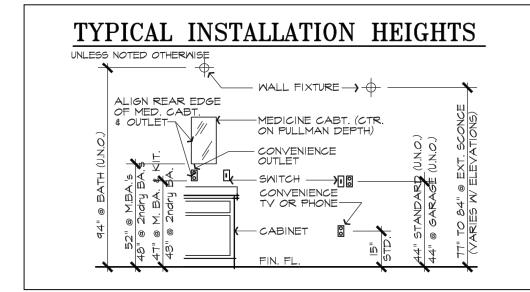
protected per CEC.210.8(A).

6.2 Tamper-resistant receptacles:

- All 120V 15- and 20- ampere receptacles installed in areas specified by CEC.210.52 shall be listed as temper-resistant type. All 120V 15- and 20- ampere receptacles shall have ARC-Fault circuit protection per CEC.210.12. - All 120V 15- and 20- ampere receptacles in dwelling unit garages, accessory building and basements shall be GFCI
- 6.3 Bathroom receptacles shall be served by a 20 amp circuit with no other outlets. The circuit may serve other bathroom
- 6.4 Laundry equipment receptacle shall be served by a separate 20 amp circuit with no other outlets. per CEC 210.11(C)(2). 6.5 Garage equipment receptacle shall be served by a separate 20 amp circuit with no other outlets. per CEC 210.11(C)(2).
- 6.6 Kitchen countertop outlet shall be served by a min. 2-20 amp circuit. these circuits may also serve the pantry, breakfast room, dining room or other similar areas. per CEC 210.52(B)(1).

PIN TYPE HIGH EFFICACY

LIGHT FIXTURE SCHEDULE MANUFACTURER FINISH & REMARKS SEE LIGHT SPECIFICATION CONTROL BY VACANCY SENSOR PIN TYPE HIGH EFFICACY

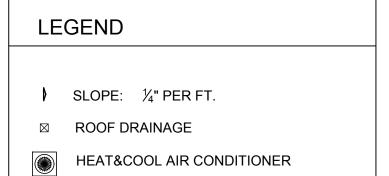


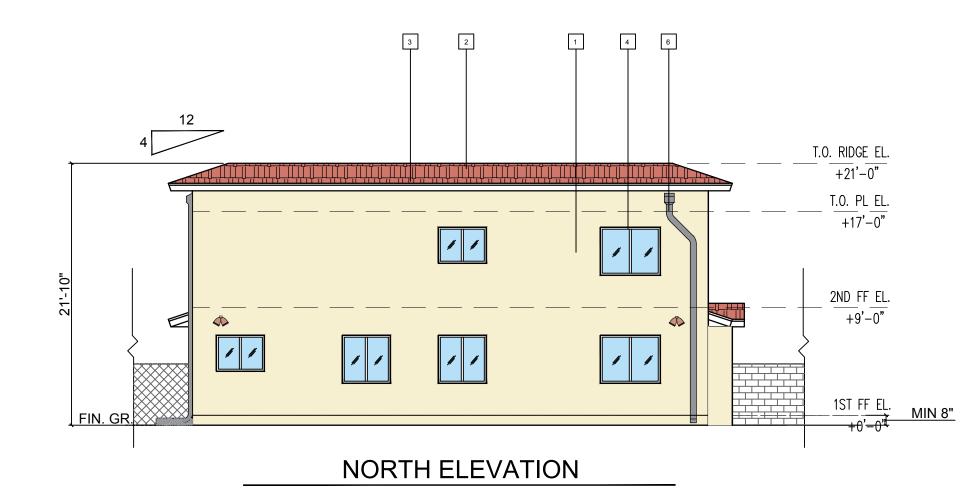


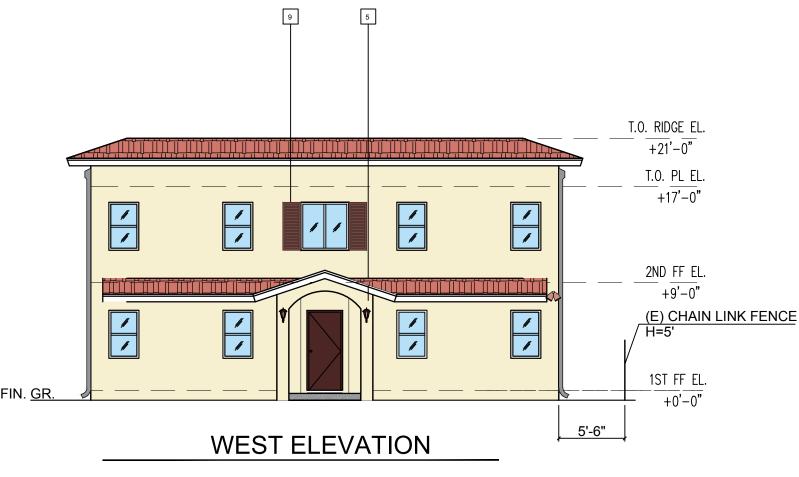
APPICAN CONSTRUCTION TECHNOLOGY LLC 18472 COLIMA RD #210 ROWLAND HEIGHTS CA 91748 Tel: (909) 810-2555 Fax: (626) 363-4083 www.appicancolima.com

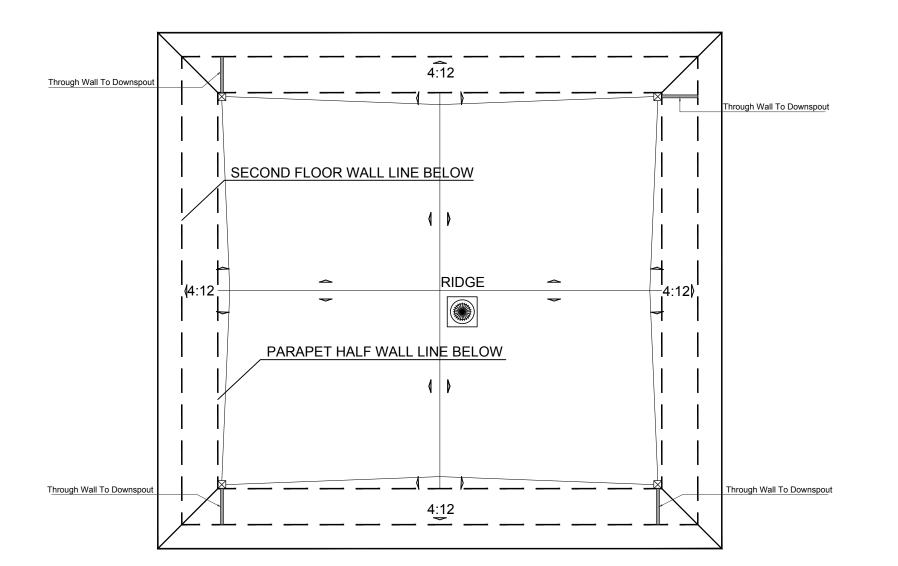
LEGEND

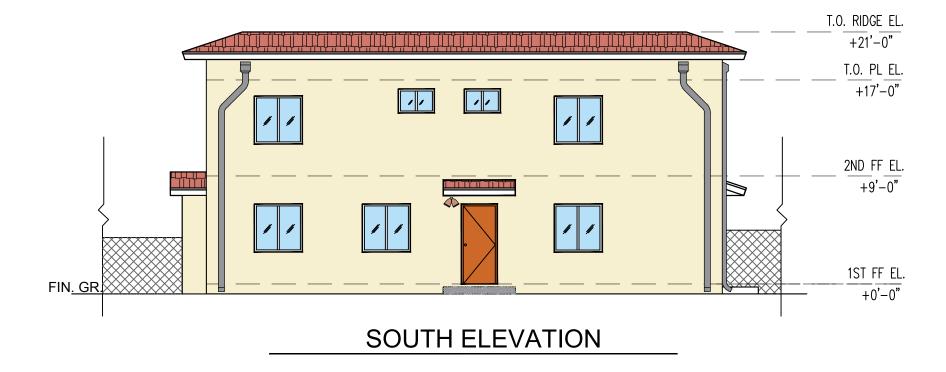
- $\frac{7}{8}$ " STUCCO WALL (COLOR: BEIGE)
- ROOF TILE. (COLOR: VIEJO BLEND PER MANUFACTURER)
- FASCIA BOARD (COLOR: WHITE, PER MANUFACTURER; EAVE LENGTH: 2'
- RECESSED WINDOW STYLE, COLOR: WHITE; SEE WINDOW SCHEDULE AND SPECIFICATION SHEET FOR DETAILS.
- 5 RECESSED FRONT PORCH (ARCHITECTURAL STYLE MATCH THE EXISTING SPANISH STYLE)
- 6 DOWNSPOUT (WHITE, ALUMINUM, PER MANUFACTURER)
- 7 SCUPPER DRAIN (WHITE ,PER MANUFACTURER)
- 8 GARAGE DOOR (WHITE , PER MANUFACTURER)
- 9 LOUVERED VINYL EXTERIOR SHUTTER (MATERIAL: VINYL, COLOR: GARDEN RED)
- 10 WALL LIGHT 1: 180-DEGREE MOTION SENSING OUTDOOR DECORATIVE LAMP (SEE SPECIFICATION SHEET FOR DETAILS)
- 11 WALL LIGHT 2: 180-DEGREE MOTION ACTIVATED OUTDOOR FLOOD LIGHT (SEE SPECIFICATION SHEET FOR DETAILS)

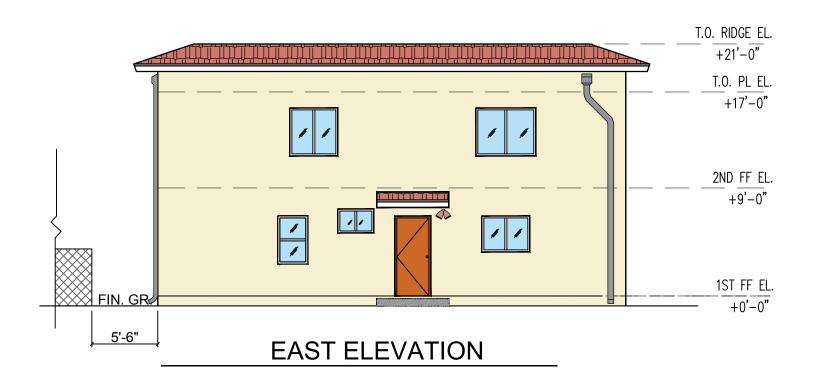










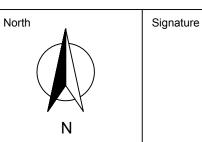






Key Plan — POMONA, CA NOTES: THE DESIGNS AND DRAWINGS REMAIN THE PROPERTY OF APPICAN LLC. AND MAY NOT BE ALTERED, ISSUED,OR REPRODUCED WITHOUT THE SPECIFIC WRITTEN CONSENT OF APPICAN LLC. THE CONTRACTOR MUST CHECK AND VERIFY ALL DETAILS AND DIMENSIONS OF THE JOB AND BE

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HUNG, KA KWUN

1538 S TOWNE AVE POMONA, CA

91766

Drawing title **BUILDING A FLOOR PLAN** AND ELEVATIONS

Date: 11-22-2017 Drawing no. Scale: 1/8"=1' A-3.1 Drawn by: MX Checked by: Rev. No. File name: Last edit date:

PROPOSED ROOF PLAN - BUILDING A

SCARE:1/8"=1'

PROPOSED ELEVATIONS - BUILDING A

SCARE:1/8"=1'

BUILDING A

SCARE:1/8"=1'



NOTES

- 7. ENERGY
- 7.1 All installed luminaires shall be hight-efficacy. per 150(k)1A& Table 150.0-A CEC.
- 7.2 Luminaires recessed into ceilings shall meet all of the following requirement. per 150(k)1C CEC.
- Be listed for zero ciearance insulation contact (IC).
 Have a label that certifies the luminaire is airtight with air leakage less than 2.0 CFM at 75 Pascals when tested in
- accordance with ASTM E283.

 Be sealed with a gasket or caulk between the luminaire housing and ceiling and shall have all air leak paths between
- conditioned and unconditioned spaces sealed with a gasket or caulk.

 For luminaires with hardwired ballasts or drivers, sloow ballast or driver maintenancee and replacement to be readily acessible to building occupants from below the ceiling without requiring the cutting of holes in the ceiling.
- Shall not contain screw base sockets.Shall contain light sources that are marked " J8A-2016-E".
- 7.3 Screw based luminires shall meet all of the following requirement.(150(k)1G CEC)

 The luminaires shall not be recessed downlight luminaires in ceilings
 - The luminaires shall not be recessed downing it it initialies in ceilings
 The luminaires shall contain lamps that comply with Reference Joint Appendix JA8
 The installed lamps shall be marked with "J8A-2016" or "JA8-2016-E"
- 7.4 All residential outdoor lighting permanently mounted to the residence or other buildings on the same lot be hight-efficacy. And controlled by photocontrol and automatic time control. Lights shall be controlled by a manual ON and OFF switch that does not override to ON the atomatic actions of above. (150(k)3A CEC)

8. PLUMBING

- 8.1 An approved backwater valve is required for drainage piping serving fixtures located below the elevation of the next upstream manhole cover. Fixtures above such elevation shall not discharge through the backwater valve. Clean outs for drains that pass through the backwater valve shall be clearly identified with a permanent label stating "backwater valve downstream." (710.1 CPC)
- 8.2 Shower and tub-shower combinations shall be provided with individual control valves of the pressure balance, theromostatic, or combination pressure balance/ thermostatic mixing valve type that provide scald and thermal shock protection. These valves shall conform to ASSE 1016 or ASME A112.18.1/CSA b125.1. Handle position stops shall be provided on such valves and shall be adjusted per the manufacturer's instructions to deliver a maximum mixed water setting of 120°F. Water heating thermostats shall not be considered a suitable control for meeting this provision. (CPC 408.3)
- 8.3 Shower heads water flow ≤ 2.0 gallons per minute at 80 psi. (408.2 CPC)
- 8.4 Lavatory faucets flow ≤1.2 gallons per minute at 60 psi.(07.2.1.2 CPC)
- 8.5 Kitchen faucets flow rate ≤ 1.8 gallons per minute at 60 psi.(407.2.1.1 CPC)
- 8.6 Domestic dishwashers require an approved dishwasher air gap fitting on the discharge side of the dishwasher. listed air gaps shall be installed with the flood-level marking at or above the flood-level of the sink or drainboard, whichever is higher. (CPC 807.3)
- 8.7 Gas water heater have following components as per 2016 California Energy Code Section 150.0(n)(1)
- A 120V electrical receptacle within 3' from the water heater and accessible with no obstructions.
 A Category III or IV vent, or a Type B vent with straight pipe between outside and water heater.
- A condensate drain that is no more than 2 inches higher than the base of the installed water heater and allows natural
- draining without pump assistance.A gas supply line with a capacity of at least 200,000 Btu/hr.

9. MECHANICAL

- 9.1 Condensate lines from mechanical equipment shall discharge to a plumbing fixture or storm drain by means of an indirect waste pipe. Condensate lines shall not drain over a public way. (310.1 CMC)
- 9.2 Exterior AC: A compressor or portion of a condensing unit supported from the ground shall rest on a concrete or other approved base extending not less than 3 inchs above the adjoining ground level.
- 9.3 Exhaust located in Laundry rooms directly to the outdoors at point of discharge.



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LEGEND

- 1 7 STUCCO WALL (COLOR: BEIGE)
- ROOF TILE. (COLOR: VIEJO BLEND PER MANUFACTURER)
- FASCIA BOARD (COLOR: WHITE, PER MANUFACTURER; EAVE LENGTH: 2'
- RECESSED WINDOW STYLE, COLOR: WHITE; SEE WINDOW SCHEDULE AND SPECIFICATION SHEET FOR DETAILS.
- 5 RECESSED FRONT PORCH (ARCHITECTURAL STYLE MATCH
- THE EXISTING SPANISH STYLE)

 6 DOWNSPOUT (WHITE, ALUMINUM, PER MANUFACTURER)
- _
- 7 SCUPPER DRAIN (WHITE ,PER MANUFACTURER)
- 8 GARAGE DOOR (WHITE, PER MANUFACTURER)9 LOUVERED VINYL EXTERIOR SHUTTER (MATERIAL:
- VINYL, COLOR: GARDEN RED)
- DECORATIVE LAMP (SEE SPECIFICATION SHEET FOR DETAILS)

 11 WALL LIGHT 2: 180-DEGREE MOTION ACTIVATED OUTDOOR

FLOOD LIGHT (SEE SPECIFICATION SHEET FOR DETAILS)

10 WALL LIGHT 1: 180-DEGREE MOTION SENSING OUTDOOR

LEGEND

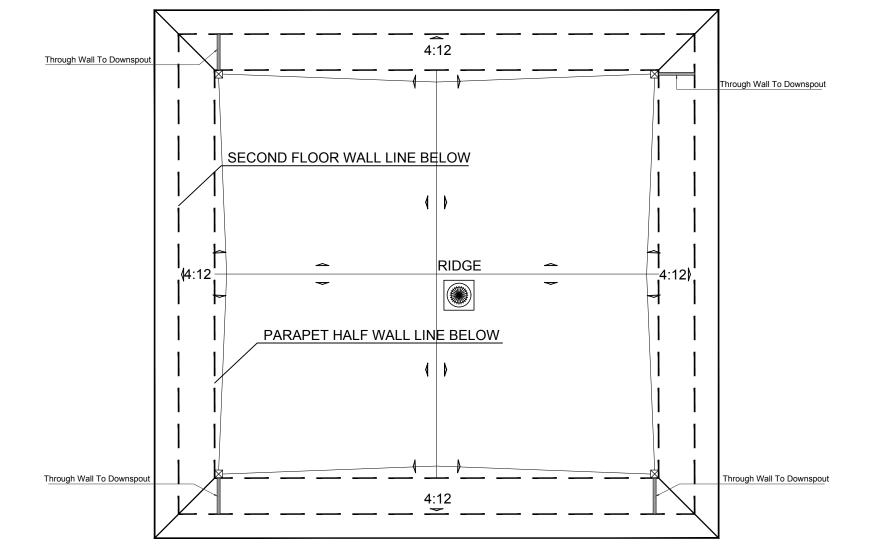
- SLOPE: ¼" PER FT.
- HEAT&COOL AIR CONDITIONER

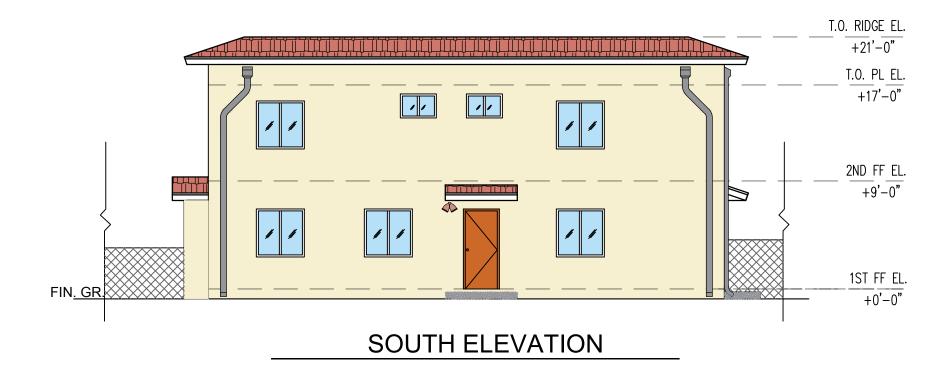
10. RIDGE ELL
+21'-0"

10. PL EL
+17'-0"

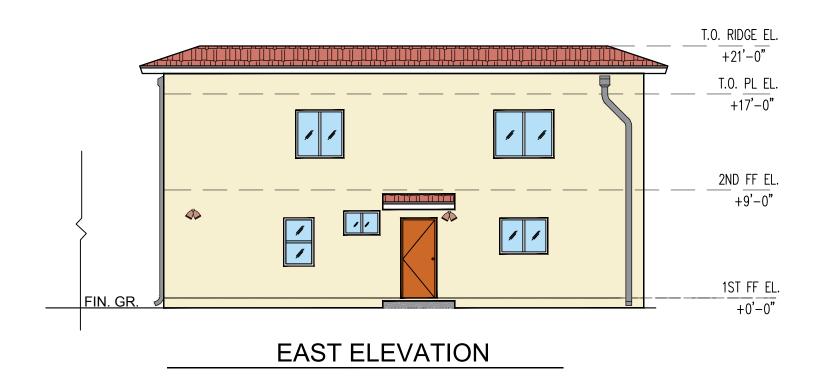
2ND FF EL.
+9'-0"







NORTH ELEVATION



No. Revisions

Date

CK.



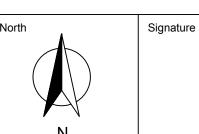
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SCALED DIMENSIONS.

Client
HUNG, KA KWUN

ocation 1538 S TOWNE AVE POMONA, CA

91766

Last edit date:

Drawing title
BUILDING B FLOOR PLAN

AND ELEVATIONS

Date: 11-22-2017

Scale: 1/8"=1'

Drawing no.

A-3.2

Drawn by: MX

Checked by:

Rev. No.

PROPOSED ROOF PLAN - BUILDING B

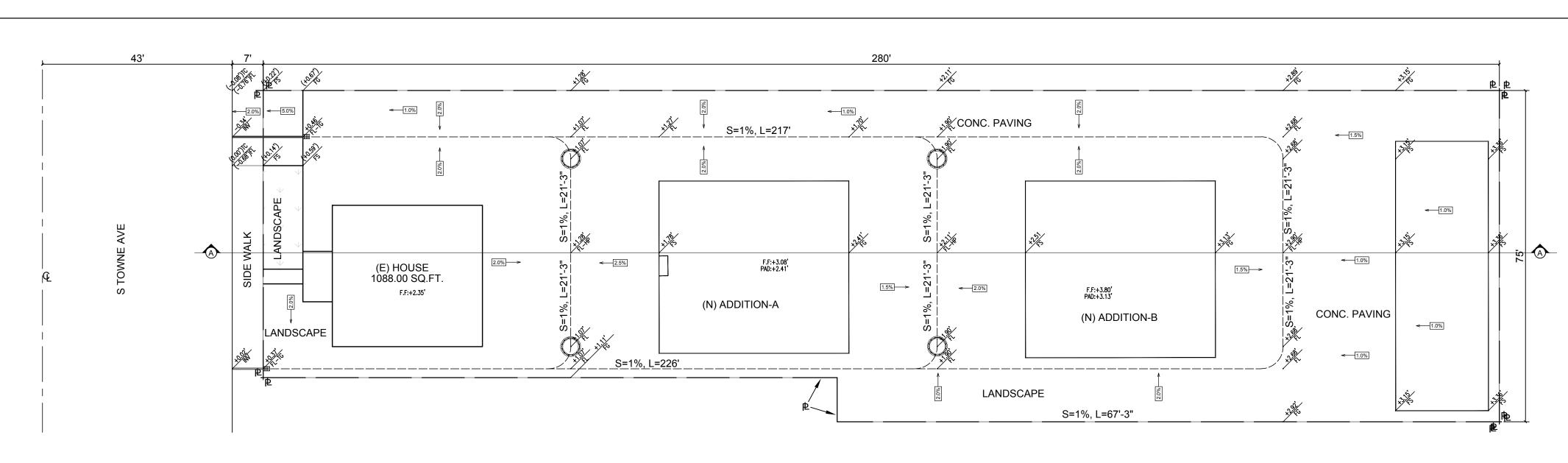
SCARE:1/8"=1'

PROPOSED ELEVATIONS - BUILDING B

SCARE:1/8"=1'

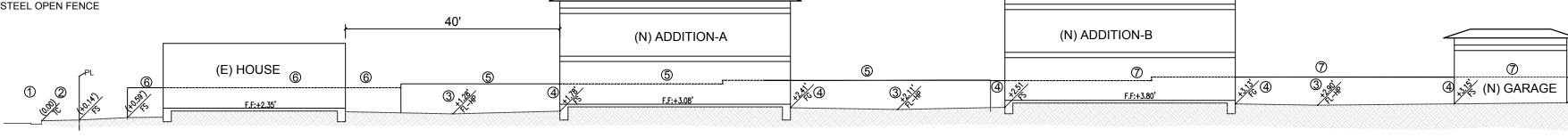
BUILDING B

SCARE:1/8"=1'

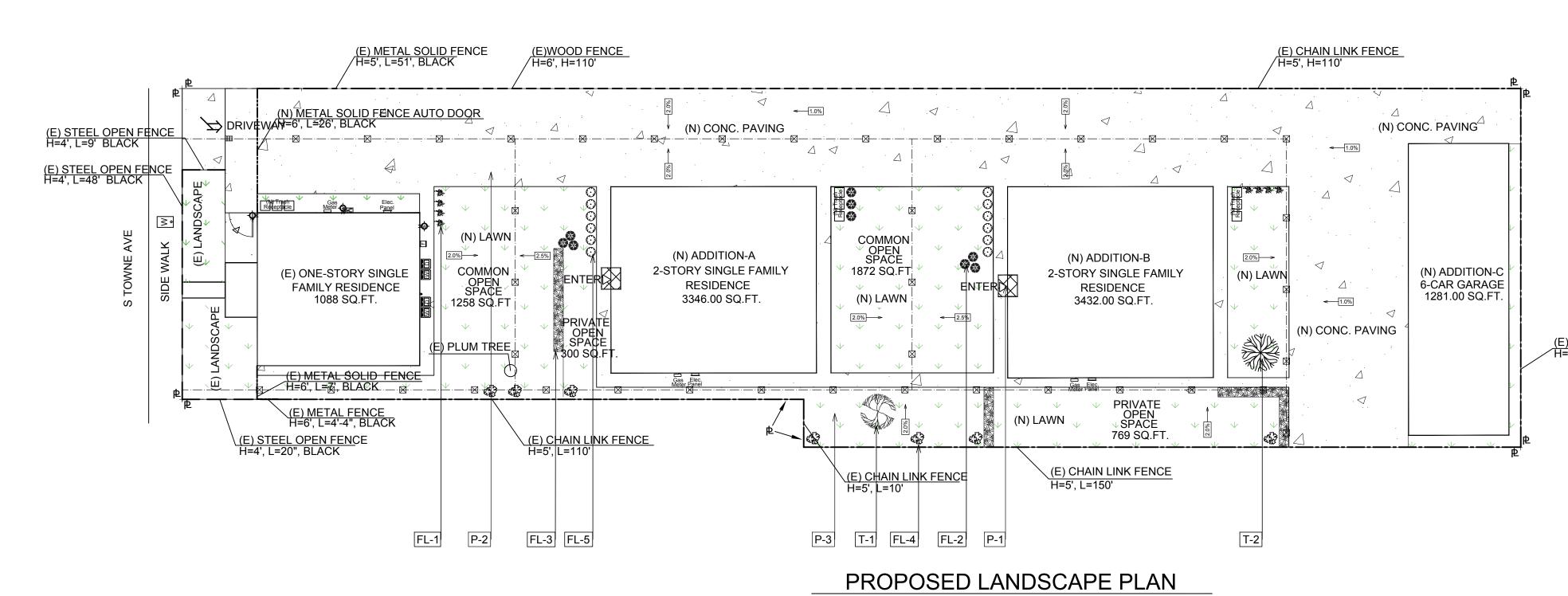


GRADING PLAN

- ① EXISTING S TOWNE ST.
- ② EXISTING CONCRETE SIDE WORK 3 FLOW LINE
- ④ FINAL GRADE
- ⑤ EXISTING WOOD FENCE
- **6** EXISTING METAL SOLID FENCE ② EXISTING STEEL OPEN FENCE



CROSS SECTION (A)





- FL FLOW LINE EXISTING GRADE
- FINAL GRADE
- FINAL SURFACE
- TOP OF CURB TOP OF GRADE
- ASPHALT PAVING SURFACE FL-HP FLOW LINE - HIGH POINT
- S=1% 1% SLOPE INV INVERT
- ④ FINAL GRADE ⑤ NEW BLOCK WALL (HIGHT=6')
 - 6 EXISTING METAL WALL

③ FLOW LINE

① EXISTING S TOWNE ST.

CROSS SECTION NOTES

② EXISTING CONCRETE SIDE WORK

LEGEND				
<u> </u>	PVC DRAIN PIPE			
	DRAIN			
<2%	DIRECTION OF FLOW			
===	BLOCK WALL FENCE			
	2'X2' CONCRETE CATCH BASIN			
	3-3" Ø ABS PIPES CONNECT TO STREET CURB			

PAVING SCHEDULE

SYMBOL	KEY	DESCRIPTION	DETAIL	COMMENTS
	P-1	Stone Paving		-
. Ab.	P-2	Concrete Paving		_
	P-3	Grass		_

LANDSCAPE CALCULATION

LO	T SIZE	19700.00 SQ.FT.	RATIO
BU	IILDING COVERAGE	5766.00 SQ.FT.	
1	EXISTING HOUSE	1088.00 SQ.FT.	
2	ADDITION - A	1677.00 SQ.FT.	0.293<35%
3	ADDITION - B	1720.00 SQ.FT.	
4	ADDITION - C	1281.00 SQ.FT.	
PA	VING AREA	8510.00 SQ.FT.	0.432
LA	NDSCAPE AREA	5424.00 SQ.FT.	0.275>20%

WATER EFFICIENT LANDSCAPE WORKSHEET Reference Evapotranspiration(ETo):47.5

	Hydrozone #/Planting Description	Location	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PE/IE)	Landscape Area (sq.ft)	ETAF X Area	Estimated Total Water Use (ETWU)
Reg	ular Landscape	e Area							
1	Shrub	Front & Side Yard	0.2	Drip emitter	81%	0.247	117	29	1377.5
2	Vines	Front & Side Yard	0.2	Drip emitter	81%	0.247	80	20	950
3	Groundcovers	Side & Rear Yard	0.2	Drip emitter	81%	0.247	170	42	1995
4	Lawn	Side & Rear Yard	0.8	Spray nozzles	71%	1.127	5057	5699	270702.5
						TOTAL	5424	5790	275025

PLANTING SCHEDULE

SYMBOL		KEY	BOTANICAL	COMMON NAME	SIZE	SPACING	AMOUNT	COMMENTS
TREES	\$	T-1	Citrus Orange	Lemon Tree	24"	Per plan	1	Have root barriers
IKEES	*	T-2	Eucalyptus Ficifolia	Silver Dollar Gum Tree	24"	Per plan	1	Have root barriers
	*	FL-1	Rosa rugosa Thunb	Rose	1 gal	Per plan	8	
SHRUBS	0	FL-2	Ligustrum japonicum Thunb.	Privet	1 gal	Per plan	9	
		FL-3	Xylosma Congestum	Shiny JXylosma	5 gal	Per plan	18	
VINES		FL-4	Bougainvillea spp.	Bougainvillea	5 gal	Per plan	6	
GROUNDCOVERS	0	FL-5	Cistus spp.	Rockrose	1 gal	Per plan	12	



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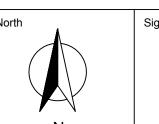
Key Plan POMONA, CA

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THE CONTRACTOR MUST CHECK AND VERIFY ALL



HUNG, KA KWUN

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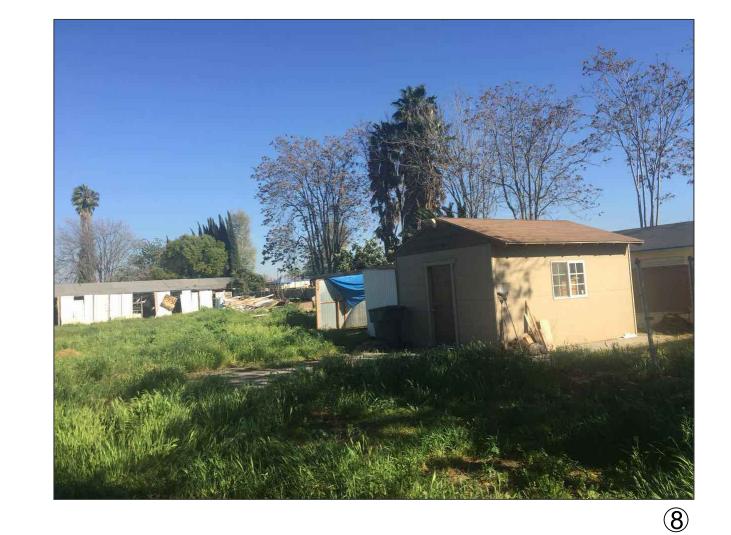
Drawing title PROPOSED GRADING PLAN CROSS SECTION, AND LANDSCAPE PLAN

Date: 11-22-20	17 Drawing n	ю.
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Drawn by: MX		
Checked by:	Rev. No.	
File name:		
Last edit date:		





















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	Simons Middle School 🕾			

Key Plan

1538 S TOWNE AVE
POMONA, CA
91766

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North

Client

HUNG, KA KWUN

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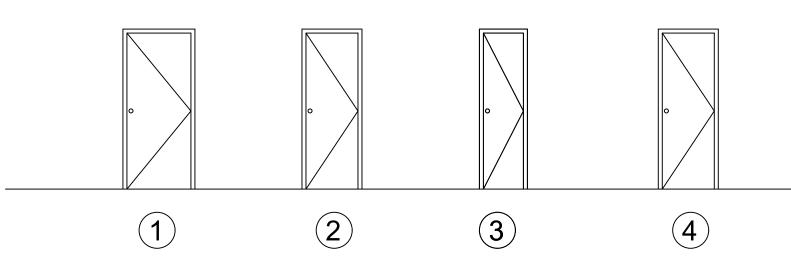
1538 S TOWNE AVE POMONA, CA 91766

Drawing title
PHOTOS

Date: 11-22-2017	Drawing no.
Scale:	A-5.1
Drawn by: MX	
Checked by:	Rev. No.

File name:

DOOR SCHEDULE



				DOOR		NC	D. OF UI	VIT
NO.	WIDTH	HEIGHT	GLASS	TH	PLACE	(A)	(B)	(C)
D1	36"	80"	NO	1 1/2"	EXTERIOR DOOR	3	3	0
D2	30"	80"	NO	1 1/2"	INSIDE DOOR	7	7	0
D3	24"	80"	NO	1 1/2"	INSIDE DOOR	4	4	0
D4	30"	80"	NO	1 1/2"	GARAGE DOOR	0	0	1

DOOR 1a (D1)

DOOR 1b

(D1/D4)

PROFILE: MainDoor SIZE: 36"X80" LOCATION: Front exterior door SELL BY: Homedepot Model # SH-904-PH-RH

Door Height (in.)

Jamb Size (in.) 4-9/16" Rough Opening Height (In.) Door Width (in.) Rough Opening Width (In.) Double Bore Color Family Hinge Type Ball Bearing Mahogany Rustic Antique Distressed finish Door Configuration Single Door Material Door Handing Left-Hand/Inswing Number of Hinges Panel Type 2 Panel Door Type 160lb Exterior Prehung Product Weight (lb.) 90-Day Features Weatherstripping Back,Basement Entry,Front,Side Finish Type Stained Suggested Application Frame Material Warranty / Certifications Manufacturer Warranty Energy Star Qualified Not Qualified

SPECIFICATIONS:

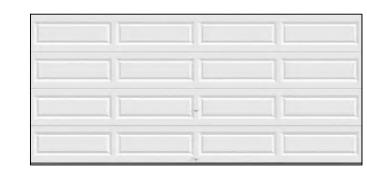
SPECIFICATIONS:



PROFILE: Masonite LOCATION: Back and Side exterior door, SELL BY: Homedepot Model # 87292

Dimensions			
Door Height (in.)	80	Fits Opening Height (in.)	80 to 81
Door Thickness (in.)	1.75 in	Fits Opening Width (in.)	36 to 36 3/8
Door Width (in.)	36		
Details			
Bore Type	No Bore	Features	No Additional Features
Color Family	Unfinished Wood	Finish Type	Unfinished
Color/Finish	Unfinished	Included	Instructions,No Additional Items Included
Door Configuration	Single Door	Material	Wood
Door Handing	Universal/Reversible	Panel Type	6 Panel
Door Style	Classic	Product Weight (lb.)	60lb
Door Type	Exterior Slab	Suggested Application	Front
Door Type Warranty / Certifications	Exterior Slab	Suggested Application	Front
Energy Star Qualified	Not Qualified	Manufacturer Warranty	1 Year Limited Warranty

GARAGE DOOR



PROFILE: Clopy SIZE: 16'x7' LOCATION: Garage door SELL BY: Homedepot

Model# HDBL_SW_SOL

SPECIFICATIONS:

Dimensions			
Garage Door Size	16'x7'	Product Height (in.)	84
Product Depth (in.)	2	Product Width (in.)	192
Details			
Color Family	White	Included	Instructions
Door Configuration	Double Door	Insulation R-Value	0.0
Features	Paintable	Material	Steel
Garage Door Collection	Classic	Product Weight (lb.)	216 lb
Garage Door Color	White	Returnable	90-Day
Garage Door Style	Classic	WindCode Rating	W1

Paint System - 15 yrs., Windows - 10 yrs.,

DOOR 2 (D2)

SPECIFICATIONS:

Manufacturer Warranty



DOOR 3

(D3)

PROFILE: Masonite SIZE: 30"X80" LOCATION: Interior door SELL BY: Homedepot Model # 61094

Dimensions			
Door Height (in.)	80	Fits Opening Height (in.)	80 to 80 7/8
Door Thickness (in.)	1.38 in	Fits Opening Width (in.)	30 to 30 3/8
Door Width (in.)	30		
Details			
Bore Type	Single Bore	Features	Easy Install
Color Family	White	Finish Type	Primed
Color/Finish	Primed White	Included	Instructions,No Additional Items Included
Core Type	Hollow	Material	Composite
Core Type	Hollow Core	Panel Type	6 Panel
Door Handing	Universal/Reversible	Product Weight (lb.)	25lb
Door Type	Interior Slab	Returnable	90-Day
Warranty / Certifications			
Manufacturer Warranty	1 Year Limited Warranty		

SPECIFICATIONS:



PROFILE: Masonite SIZE: 24"X80" LOCATION: Interior door SELL BY: Homedepot Model # 61070

Dimensions			
Door Height (in.)	80	Fits Opening Height (in.)	80 to 80 7/8
Door Thickness (in.)	1.38 in	Fits Opening Width (in.)	24 to 24 3/8
Door Width (in.)	24		
Details			
Bore Type	Single Bore	Features	Easy Install
Color Family	White	Finish Type	Primed
Color/Finish	Primed White	Included	Instructions, No Additional Items Included
Core Type	Hollow	Material	Composite
Core Type	Hollow Core	Panel Type	6 Panel
Door Handing	Universal/Reversible	Product Weight (lb.)	23lb
Door Type	Interior Slab	Returnable	90-Day
Warranty / Certifications			
Manufacturer Warranty	1 Year Limited Warranty		



18472 COLIMA RD #210 ROWLAND HEIGHTS CA 91748 Tel: (909) 810-2555 Fax: (626) 363-4083 www.appicancolima.com

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Signature

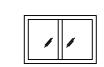
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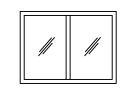
1538 S TOWNE AVE POMONA, CA 91766

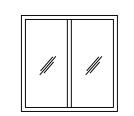
Drawing title DOOR SPECIFICATIONS

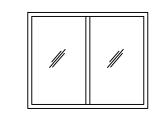
Date: 11-22-2017 Drawing no. AA-1 Drawn by: MX Checked by: Last edit date:

WINDOWS SCHEDULE

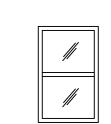








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		WIN	DOW			NO.	OF UN	IT
NO.	WIDTH	HEIGHT	GLASS	COLOR	TYPE	(A)	(B)	(C)
W1*	3'	2'	TEMPERED	WHITE	SLIDING	3	3	0
W2	4'	3'	LOW E	WHITE	SLIDING	3	3	0
W3	4'	4'	LOW E	WHITE	SLIDING	9	9	4
W4	5'	4'	LOW E	WHITE	SLIDING	3	3	0
W5	2'-6"	4'	LOW E	WHITE	DOUBLE HUNG	9	9	0

PROFILE: JELD-WEN SIZE: 35.5"X23.5" GLASS: V-2500 TYPE: Sliding SELL BY: Homedepot



SPECIFICATIONS:

Dimensions			
Grid Width (in.)	None	Product Width (in.)	35.5
Jamb Depth (in.)	2.875	Rough Opening Height (In.)	24
Product Depth (in.)	3.125	Rough Opening Width (in.)	36
Product Height (in.)	23.5	Width (in.) x Height (in.)	35.5 x 23,5
Details			
Exterior Color/Finish Family	White	Privacy glass	No
Features	Hardware Included,Low-E Glass,Screen Included	Product Weight (lb.)	18.0)6
Frame Material	Vinyl	Solar Heat Gain Coefficient	.33
Glazing Type	Double-Pane	Tinted glass	No
Grid Pattern	None	U-Factor	.33
Hardware Color/Finish Family	White	Window Handing	Left-Handed
Interior Color/Finish Family	White	Window Type	Sliding Window
Lock Type	Cam Action	Window Use Type	New Construction, Replacement
Number of Locks	1		
Warranty / Certifications			
Energy Star Qualified	Northern,South-Central,Southern	Manufacturer Warranty	Lifetime

PROFILE: JELD-WEN SIZE: 47.5"X35.5" GLASS: V-2500 TYPE: Sliding SELL BY: Homedepot



SPECIFICATIONS:

Grid Width (in.)	None	Product Width (in.)	47.5
Jamb Depth (in.)	2.875	Rough Opening Height (In.)	36
Product Depth (in.)	3.125	Rough Opening Width (In.)	48
Product Height (in.)	35.5	Width (in.) x Height (in.)	47.5 x 35.5
Details			
Exterior Color/Finish Family	White	Privacy glass	No
Features	Hardware Included,Low-E Glass,Screen Included	Product Weight (lb.)	36.0lb
Frame Material	Vinyl	Solar Heat Gain Coefficient	.33
Glazing Type	Double-Pane	Tinted glass	No
Grid Pattern	None	U-Factor	.33
Hardware Color/Finish Family	White	Window Handing	Left-Handed
Interior Color/Finish Family	White	Window Type	Sliding Window
Lock Type	Cam Action	Window Use Type	New Construction,Replacement
Number of Locks	1		
Warranty / Certifications			
Energy Star Qualified	North-Central,Northern,South-Central,Southern	Manufacturer Warranty	Lifetime

PROFILE: JELD-WEN

SIZE: 47.5"X47.5" GLASS: V-2500 TYPE: Sliding SELL BY: Homedepot

Model # 8A0584

W1

W2



PROFILE: JELD-WEN

SELL BY: Homedepot

SIZE: 59.5"X47.5"

GLASS: V-2500

TYPE: Sliding

Model # 8A0590

SPECIFICATIONS:

Grid Width (in.)	None	Product Width (in.)	47.5
Jamb Depth (in.)	2.875	Rough Opening Height (In.)	48
Product Depth (in.)	3.125	Rough Opening Width (In.)	48
Product Height (in.)	47.5	Width (in.) x Height (in.)	47.5 x 47.5
Details			
Exterior Color/Finish Family	White	Privacy glass	No
Features	Hardware included,Low-E Glass,Screen included	Product Weight (lb.)	48.0lb
Frame Material	Vinyl	Solar Heat Gain Coefficient	.33
Glazing Type	Double-Pane	Tinted glass	No
Grid Pattern	None	U-Factor	.33
Hardware Color/Finish Family	White	Window Handing	Left-Handed
Interior Color/Finish Family	White	Window Type	Sliding Window
Lock Type	Cam Action	Window Use Type	New Construction,Replacement
Number of Locks	1		
Warranty / Certifications			
Energy Star Qualified	North-Central, Northern, South-Central, Southern	Manufacturer Warranty	Lifetime

SPECIFICATIONS:

Grid Width (in.)	None	Product Width (in.)	59.5
Jamb Depth (in.)	2.875	Rough Opening Height (In.)	48
Product Depth (in.)	3,125	Rough Opening Width (In.)	60
Product Height (in.)	47.5	Width (in.) x Height (in.)	59.5 x 47.5
Details			
Exterior Color/Finish Family	White	Privacy glass	No
Features	Hardware Included,Low-E Glass,Screen Included	Product Weight (lb.)	60.0lb
Frame Material	Vinyl	Solar Heat Gain Coefficient	.33
Glazing Type	Double-Pane	Tinted glass	No
Grid Pattern	None	U-Factor	.33
Hardware Color/Finish Family	White	Window Handing	Left-Handed
Interior Color/Finish Family	White	Window Type	Sliding Window
Lock Type	Cam Action	Window Use Type	New Construction,Replacement
Number of Locks	1		
Warranty / Certifications			
Energy Star Qualified	North-Central, Northern, South-Central, Southern	Manufacturer Warranty	Lifetime

W4

W3

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W5

HUNG, KA KWUN

1538 S TOWNE AVE POMONA, CA

Last edit date:

WINDOW SPECIFICATIONS

ate: 11-22-2017	Drawing no.
ale:	AA-2
awn by: MX	
necked by:	Rev. No.
e name:	

Energy Star Qualified

PROFILE: American Craftsman SIZE: 31.75"X49.25" TYPE: Double hung SELL BY: Homedepot Model # 3250786



SPECIFICATIONS:

Difficusions			
Grid Width (in.)	None	Product Width (in.)	31.75
Jamb Depth (in.)	3.25	Rough Opening Height (in.)	50
Product Depth (in.)	4.5	Rough Opening Width (In.)	32
Product Height (in.)	49.25	Width (in.) x Height (in.)	31.75 x 49.25
Details			
Exterior Color/Finish Family	White	Number of Locks	2
Features.	Hardware Included,Low-E Glass,Screen Included,Tilt-In Cleaning	Product Weight (lb.)	33lb
Frame Material	Vinyl	Returnable	90-Day
Glazing Type	Double-Pane	Solar Heat Gain Coefficient	0.25
Grid Pattern	None	U-Factor	0.29
Hardware Color/Finish Family	White	Window Type	Double Hung
Interior Color/Finish Family	White	Window Use Type	Replacement
Lock Type	Multi-Point Single Actuator		

North-Central, South-Central, Southern

Manufacturer Warranty

Limited Lifetime Warranty

LIGHTS SPECIFICATIONS



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WALL LIGHT 2



WALL LIGHT 1



PROFILE: Hampton BAY TYPE: Outdoor PLACE: Porch wall light

SELL BY: Homedepot Model # HBI-4192-BK



PROFILE: Defiant TYPE: Outdoor PLACE: Exterior wall light

SELL BY: Homedepot Model # DFI-5412-WH

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Key Plan	1538 S TOWNE AVE — POMONA, CA 91766

Date: 11-22-2017 Drawing no. AA-3 Drawn by: MX Checked by: File name:

Last edit date:

Dimensions			
Product Depth (in.)	8.5	Product Length (in.)	8.5 in
Product Height (in.)	18.5 in	Product Width (in.)	7 in
Details			
Exterior Lighting Product Type	Outdoor Lanterns	Number of Bulbs Required	1
Fixture Color/Finish	Black	Outdoor Lighting Features	Adjustable Detection Sensitivity,Dusk to Dawn,Timer,Weather Resistant
Fixture Material	Metal	Power Type	Hardwired
Glass/Lens Type	Clear	Product Weight (lb.)	4.54 lb
Included	Hardware Included,Motion Sensor,Timer	Recommended Light Bulb Shape Code	A19
Light Bulb Base Code	Medium	Returnable	90-Day
Light Bulb Type Included	No Bulbs Included	Style	Classic
Maximum Bulb Wattage	100	UL Listing	1-UL Listed
Maximum Wattage (watts)	100		
Warranty / Certifications			
Certifications and Listings	1-UL Listed	Manufacturer Warranty	One Year Limited Warranty

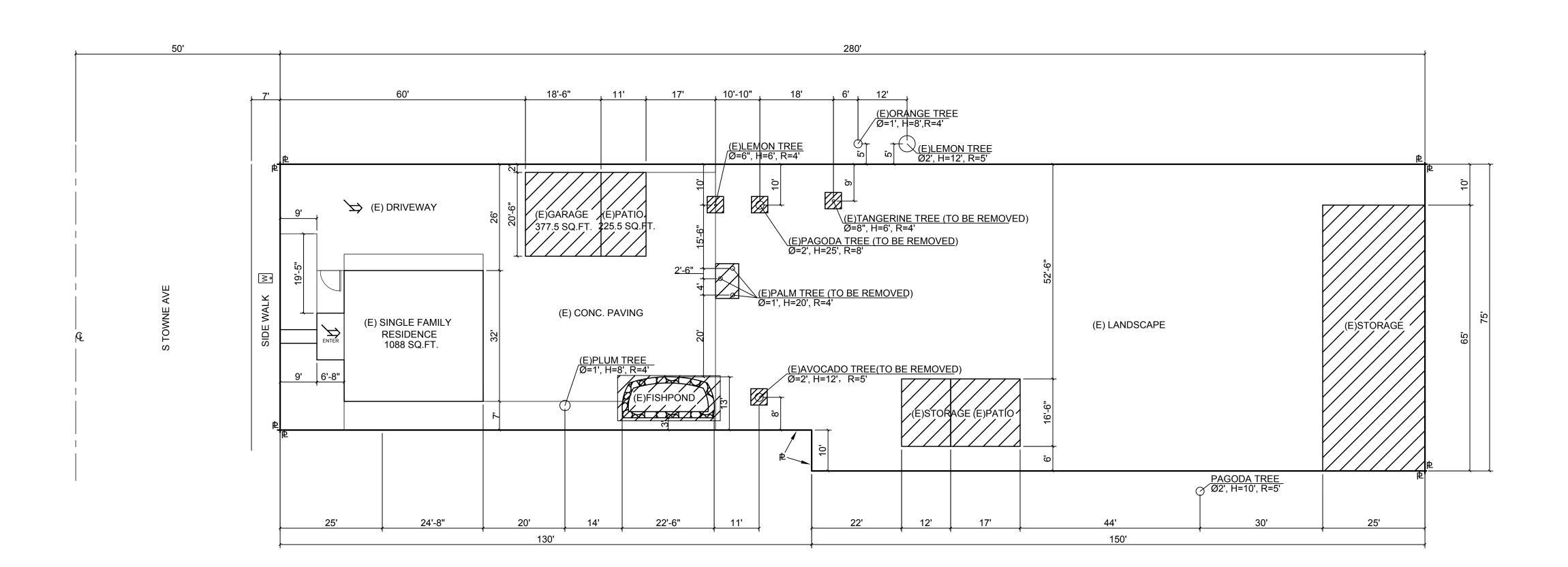
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Dimensions				OF APPICAN LLC. AND MA ISSUED, OR REPRODUCE WRITTEN CONSENT OF A	D WITHOUT THE SPECIFIC
Product Depth (in.)	8.5	Product Length (in.)	15.00	THE CONTRACTOR MUST DETAILS AND DIMENSION DISCREPANCIES TO APPI COMMENCING WORK.	
Product Height (in.)	5.12	Product Width (In.)	9:45	WRITTEN DIMENSIONS SHALL TAKE PRECEDER SCALED DIMENSIONS.	
Details				North	Signature
Adjustable Detection Sensitivity	Yes	Maximum Wattage (watts)	240		
Adjustable Lamp Head	Yes	Motion Sensing	Yes		
Detection Range (ft.)	70	Number of Bulbs Required	2	Client HUNG, KA KWUN	
Dusk to Dawn	No	Outdoor Lighting Features	Adjustable Detection Sensitivity,Adjustable Lamp Head,Motion Sensing,Timer,Weather Resistant		
Exterior Lighting Product Type	Floodlights	Power Type	Hardwired	Location	
Fixture Color/Finish	White	Product Weight (lb.)	1_47lb	1538 S TOWNE POMONA, CA 91766	
Fixture Material	Metal	Range of Motion	180	91700	
Glass/Lens Type	No glass/lens	Recommended Light Bulb Shape Code	PAR38	Drawing title	
Included	Hardware Included, Motion Sensor, Timer	Returnable	90-Day	LIGHTS SPEC	IFICATIONS
Light Bulb Base Code	Medium	Timer included	Yes		
Light Bulb Type Included	No Bulbs Included	UL Listing	1-UL Listed		
Maximum Bulb Wattage	120			Date: 11-22-2017	Drawing no.
				Scale:	AA-3



POMONA RESIDENCE TREE REMOVAL PLAN

1538 S. TOWNE AVE, CA 91766 APN: 8328-007-006

LEGEND	
Ģ.	CENTER LINE
Æ	PROPERTY LINE
	REMOVE





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Key Plan	1538 S TOWNE A
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North

Signature

Client
HUNG, KA KWUN

Location 1538 S TOWNE AVE POMONA, CA

91766

Last edit date:

Drawing title
TREE REMOVAL PLAN

Date: 11-22-2017

Scale: 1/16"=1'

Drawn by: MX

Checked by:

Rev. No.

TREE REMOVAL PLAN

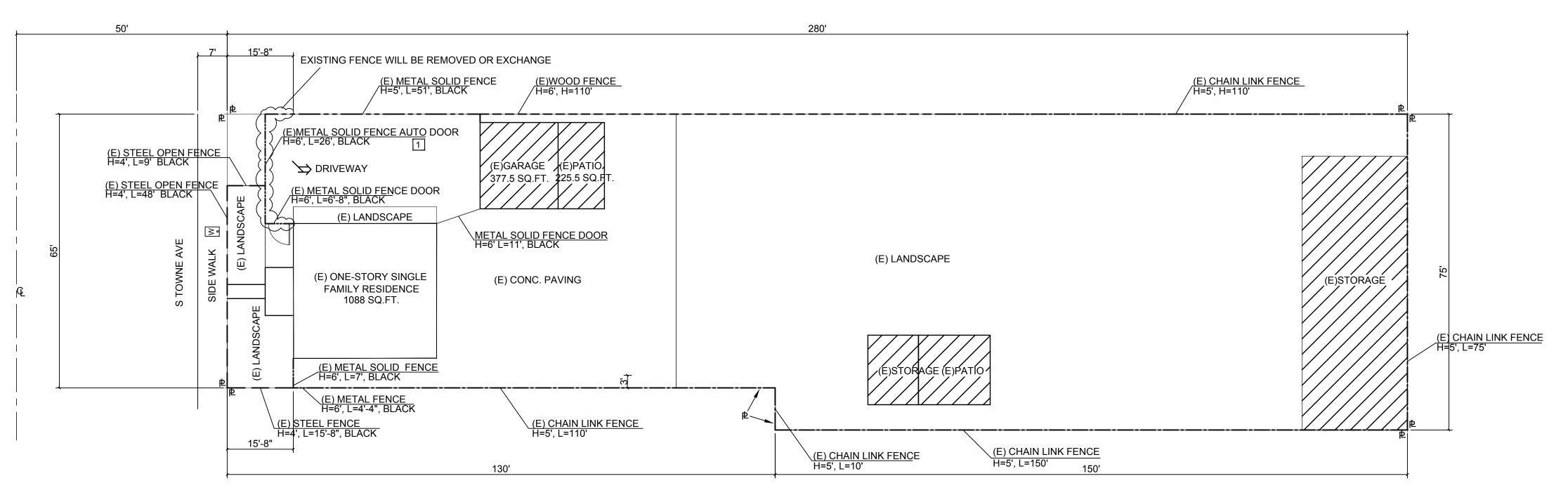
POMONA RESIDENCE WALL & FENCING PLAN

1538 S. TOWNE AVE, CA 91766 APN: 8328-007-006





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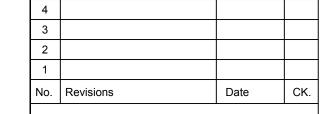


EXISTING WALL & FENCING PLAN

LEGEND	
	STEEL OPEN FENCE
	METAL SOLID FENCE
	WOOD FENCE
	CHAIN LINK FENCE

MATERIAL: METAL (MATCH EXISTING METAL SOLID FENCE)

COLOR: BLACK HEIGHT: 6 FT.





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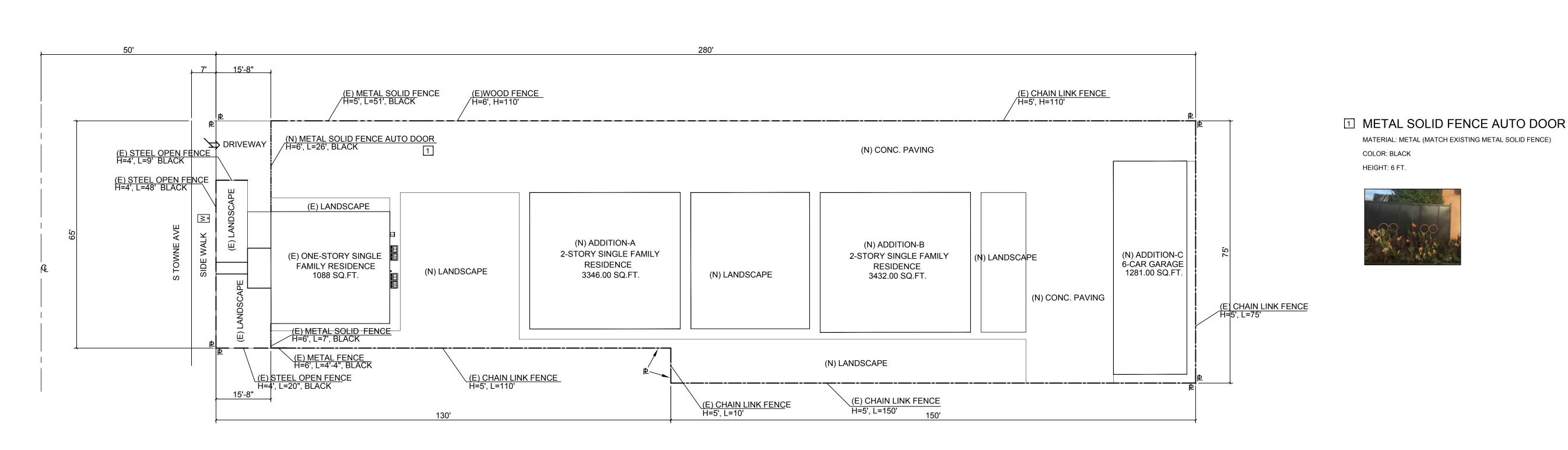
Signature

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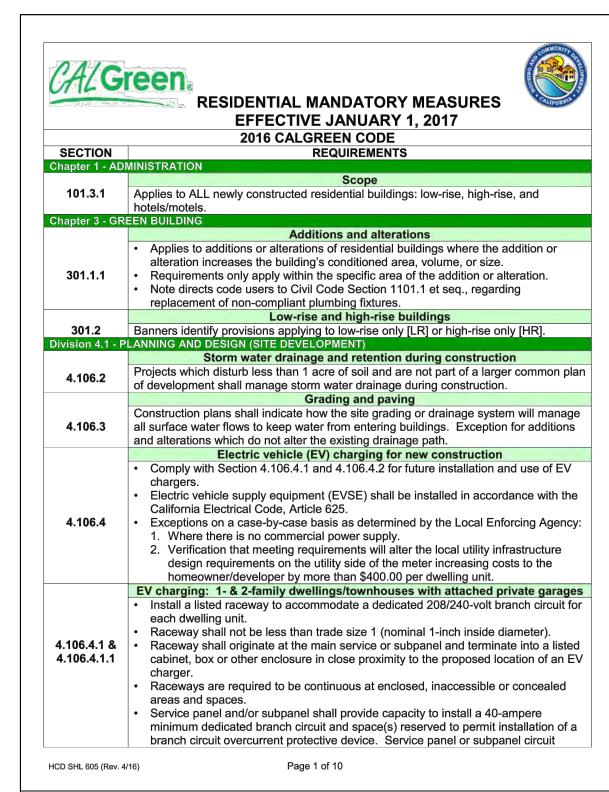
1538 S TOWNE AVE POMONA, CA 91766

Drawing title FENCING PLAN

Date: 11-22-2017	Drawing no.
Scale: 1/16"=1'	AA-5
Drawn by: MX	
Checked by:	Rev. No.
File name:	
Last edit date:	



PROPOSED WALL & FENCING PLAN



CALGreen. RESIDENTIAL MANDATORY MEASURES **EFFECTIVE JANUARY 1, 2017** 2016 CALGREEN CODE SECTION REQUIREMENTS directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be 4.106.4.1.1 permanently and visibly marked as "EV CAPABLE". continued EV charging for multifamily dwellings Applies to building sites with 17 or more multifamily dwelling units constructed on 3% of the total number of parking spaces provided for all types of parking facilities, but in no case less than one, shall be electric vehicle charging spaces (EV spaces) capable of supporting future EVSE. Calculations for the number of EV spaces shall be rounded up to the nearest whole number. **Note:** Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. EV charging space (EV space) locations Construction documents shall indicate the location of proposed EV spaces. At least 1 EV space shall be located in common use areas and available for use by all When EV chargers are installed, EV spaces required by Section 4.106.4.2.2, 4.106.4.2.1 Item 3, shall comply with at least 1 of the following options: The EV space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. 2. The EV space shall be located on an accessible route to the building, as defined in the California Building Code, Chapter 2. EV charging space (EV space) dimensions EV spaces shall be designed to comply with the following: . The minimum length of each EV space shall be 18 feet. 2. The minimum width of each EV space shall be 9 feet. 4.106.4.2.2 3. One in every 25 EV spaces, but not less than 1, shall also have an 8-foot wide minimum aisle. A 5-foot wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet. a) Surface slope for this EV space and aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083% slope) in any direction. Single EV space required Install listed raceway capable of accommodating a 208/240-volt dedicated branch The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space.

Page 2 of 10

CALGreen. RESIDENTIAL MANDATORY MEASURES **EFFECTIVE JANUARY 1, 2017** 2016 CALGREEN CODE SECTION REQUIREMENTS Construction documents shall identify the raceway termination point. 4.106.4.2.3 • The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device Multiple EV spaces required Construction documents shall indicate raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and electrical load calculations to verify electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have 4.106.4.2.4 sufficient capacity to simultaneously charge all EVs at all required EV spaces at full rated amperage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Raceways and related components planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code 4.106.4.2.5 | 1. The California Department of Transportation adopts and publishes the "California Manual on Uniform Traffic Control Devices (California MUTCD)" to provide uniform standards and specifications for all official traffic control devices in California. Zero Emission Vehicle Signs and Pavement Markings can be found in the New Policies & Directives Number 12-01. Website: http://www.dot.ca.gov/hq/traffops/policy/13-01.pdf See Vehicle Code Section 22511 for EV charging space signage in off-parking facilities and for use of EV charging spaces. . The Governor's Office of Planning and Research (OPR) published a "Zero-Emission Vehicle Community Readiness Guidebook" which provides helpful information for local governments, residents and businesses.

Website: http://opr.ca.gov/docs/ZEV Guidebook.pdf

nonresidential chapters of CALGreen.

Energy efficiency requirements for low-rise residential (Section 4.201.1) and high-

minimum energy efficiency beyond those required by the 2016 California Energy

rise residential/hotels/motels (Section 5.201.1) are now in both residential and

Standards for residential buildings do not require compliance with levels of

RESIDENTIAL MANDATORY MEASURES

EFFECTIVE JANUARY 1, 2017

REQUIREMENTS

Page 3 of 10

2016 CALGREEN CODE

Division 4.2- ENERGY EFFICIENCY

5.201.1

RESIDENTIAL MANDATORY MEASURES **EFFECTIVE JANUARY 1, 2017** 2016 CALGREEN CODE SECTION REQUIREMENTS Division 4.3 - WATER EFFICIENCY AND CONSERVATION (INDOOR WATER USE) Water conserving plumbing fixtures and fittings Plumbing fixtures and fittings shall comply with the following: 4.303.1.1 Water Closets: ≤ 1.28 gal/flush 4.303.1.2 Wall Mounted Urinals: ≤ 0.125 gal/flush; all other urinals ≤ 0.5 gal/flush 4.303.1.3.1 Single Showerheads: ≤ 2.0 gpm @ 80 psi 4.303.1.3.2 Multiple Showerheads: combined flow rate of all showerheads controlled by a single valve shall not exceed 2.0 gpm @ 80 psi, or only one shower outlet is to be in operation at a time 4.303.1.4.1 Residential Lavatory Faucets: Maximum Flow Rate ≤ 1.2 gpm @ 60 psi; Minimum Flow Rate ≥ 0.8 gpm @ 20 psi 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas of Residential Buildings: ≤ 0.5 gpm @ 60 psi 4.303.1.4.3 Metering Faucets: ≤ 0.25 gallons per cycle 4.303.1.4.4 Kitchen Faucets: ≤ 1.8 gpm @ 60 psi; temporary increase to 2.2 gpm allowed but shall default to 1.8 gpm Standards for plumbing fixtures and fittings Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet applicable standards referenced in Table 1701.1 of the Division 4.3 – WATER EFFICIENCY AND CONSERVATION (OUTDOOR WATER USE) Outdoor potable water use in landscape areas After December 1, 2015, new residential developments with an aggregate landscape area equal to or greater than 500 square feet shall comply with one of the following: 1. A local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent, or

CAL Green.

2. Projects with aggregate landscape areas less than 2500 square feet may comply with the MWELO's Appendix D Prescriptive Compliance Option. Division 4.4 – MATERIAL CONSERVATION & RESOURCE EFFICIENCY (ENHANCED DURABILITY & REDUCED MAINTENANCE) Rodent proofing Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be closed with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency to prevent passage of

Division 4.4 – MATERIAL CONSERVATION & RESOURCE EFFICIENCY (CONSTRUCTION WASTE REDUCTION, DISPOSAL & RECYCLING) Construction waste reduction of at least 65% Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous

construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4; OR meet a more stringent local construction and demolition waste management ordinance. HCD SHL 605 (Rev. 4/16)

RESIDENTIAL MANDATORY MEASURES

EFFECTIVE JANUARY 1, 2017

Resources Code Section 42649.82 (a)(2)(A) et. seq. are not required to comply with the organic waste portion of this section. HCD SHL 605 (Rev. 4/16)

HCD SHL 605 (Rev. 4/16)

CAL Green

Exceptions:

diversion facility.

examination during construction.

requirement in Section 4.408.1.

requirement in Section 4.408.1.

(BUILDING MAINTENANCE & OPERATION)

be placed in the building.

Division 4.4 – MATERIAL CONSERVATION & RESOURCE EFFICIENCY

SECTION

continued

RESIDENTIAL MANDATORY MEASURES **EFFECTIVE JANUARY 1, 2017** 2016 CALGREEN CODE

RESIDENTIAL MANDATORY MEASURES

REQUIREMENTS

2. Alternative waste reduction methods developed by working with local enforcing

agencies if diversion or recycle facilities capable of compliance with this item do

. The enforcing agency may make exceptions to the requirements of this section

when isolated jobsites are located in areas beyond the haul boundaries of the

Construction waste management plan

Waste management company

Waste stream reduction alternative

(LR) Projects that generate a total combined weight of construction and demolition

waste disposed in landfills, which do not exceed 3.4 pounds per square foot of the

waste disposed in landfills, which do not exceed 2 pounds per square foot of the

Operation and maintenance manual

At the time of final inspection, a manual, compact disc, web-based reference or other

media acceptable to the enforcing agency which covers 10 specific subject areas shall

Recycling by occupants

Where 5 or more multifamily dwelling units are constructed on a building site, provide

depositing, storage and collection of non-hazardous materials for recycling, including

Exception: Rural jurisdictions that meet and apply for the exemption in Public

4.410.2 (at minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals

or meet a lawfully enacted local recycling ordinance, if more restrictive.

Page 5 of 10

readily accessible area(s) that serves all buildings on the site and is identified for the

Utilize a waste management company, approved by the enforcing agency, which can

provide verifiable documentation that diverted construction and demolition waste

building area shall meet the minimum 65% construction waste reduction

Projects that generate a total combined weight of construction and demolition

building area, shall meet the minimum 65% construction waste reduction

Submit a construction waste management plan meeting Items 1 through 5 in

Section 4.408.2. Plans shall be updated as necessary and shall be available for

EFFECTIVE JANUARY 1, 2017

2016 CALGREEN CODE

not exist or are not located reasonably close to the jobsite.

Documentation is required per Section 4.408.5.

Excavated soil and land-clearing debris.

naterials meet the requirements in Section 4.408.1

SECTION REQUIREMENTS Special inspection Special inspectors must be qualified and able to demonstrate competence to the enforcing agency in the discipline in which they are inspecting. Documentation of compliance shall include, but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the local enforcing agency. Other specific documentation

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APPICAN CONSTRUCTION TECHNOLOGY LLC 18472 COLIMA RD #210 ROWLAND HEIGHTS CA 91748 Tel: (909) 810-2555 Fax: (626) 363-4083 www.appicancolima.com

No. Revisions Date

Southern Calif
Dresser Center Key Plan — POMONA, CA

THE CONTRACTOR MUST CHECK AND VERIFY ALL DETAILS AND DIMENSIONS OF THE JOB AND BE DISCREPANCIES TO APPICAN LLC. BEFORE COMMENCING WORK.

SCALED DIMENSIONS.

Signature

HUNG, KA KWUN

1538 S TOWNE AVE

Drawing title CALIFORNIA GREEN BUILDING

Date: 11-22-2017 Drawing no. T-1.0 Drawn by: MX Checked by: Rev. No.

Last edit date:

RESIDENTIAL MANDATORY MEASURES **EFFECTIVE JANUARY 1, 2017 2016 CALGREEN CODE** SECTION REQUIREMENTS Division 4.5 – ENVIRONMENTAL QUALITY (FIREPLACES) General Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with all applicable local ordinances. Division 4.5 – ENVIRONMENTAL QUALITY (POLLUTANT CONTROL Protection during construction At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air intake and distribution component openings shall be covered. Tape, plastic sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris entering the system may be used. Adhesives, sealants and caulks Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply: 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCAQMD Rule 1168 VOC limits, as shown in Tables 4.504.1 or 4.504.2, as applicable. Such products shall also comply with Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroentylene), except for aerosol products as specified in Subsection 2 below. 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of the California Code of Regulations (CCR), Title 17, commencing with Section 94507. Paints and coatings Architectural paints and coatings shall comply with VOC limits in Table 1 of the Air Resources Board Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. 4.504.2.2 The VOC content limit for coatings that do not meet the definitions for the specialty coatings catergories listed in Table 4.504.3 shall be determined by classifying the coating as Flat, Nonflat, or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37, of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat, or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.

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RESIDENTIAL MANDATORY MEASURES **EFFECTIVE JANUARY 1, 2017** 2016 CALGREEN CODE SECTION REQUIREMENTS Aerosol paints and coatings Aerosol paints and coatings shall meet the Product-Weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Section 94522(e)(1) and (f)(1) of the CCR, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District shall additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49. Carpet installed in the building interior shall meet the testing and product requirements of 1 of the following: I. Carpet and Rug Institute's Green Label Plus Program 2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350) 3. NSF/ANSI 140 at the Gold level 4. Scientific Certifications Systems Indoor Advantage™ Gold Carpet cushion Carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label Plus Program. Carpet adhesive 4.504.3.2 Carpet adhesives shall meet the requirements of Table 4.504.1. Resilient flooring systems Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall comply with one or more of the following: I. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products . Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools Program) 3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program I. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350) Composite wood products Hardwood plywood, particleboard and medium density fiberboard composite wood 4.504.5 products used on the interior or exterior of the building shall meet the requirements

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SECTION

for formaldehyde as specified in the Air Resources Board's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et. seq.), as shown in Table 4.504.5. Documentation is required per Section 4.504.5.1. Definition of Composite Wood Products: Composite wood products include continued hardwood plywood, particleboard, and medium density fiberboard. "Composite wood products" do not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists, or finger-joined lumber, all as specified in CCR, Title 17, Section 93120.1(a). Documentation Verification of compliance shall be provided as requested by the enforcing agency, and as required in Section 4.504.5.1. Division 4.5 - ENVIRONMENTAL QUALITY (INTERIOR MOISTURE CONTROL) Concrete slab foundations Concrete slab foundations or concrete slab-on-ground floors required to have a vapor retarder by the California Building Code, Chapter 19, or the California Residential Code, Chapter 5, respectively, shall also comply with this section. Capillary break A capillary break shall be installed in compliance with at least 1 of the following: 1. A 4-inch thick base of 1/2-inch or larger clean aggregate shall be provided with a vapor retarder in direct contact with concreate and a concrete mix design which will address bleeding, shrinkage and curling shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06. 2. Other equivalent methods approved by the enforcing agency. 3. A slab design specified by a licensed design professional. Moisture content of building materials Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be verified in compliance with the following: 1. Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements in Section 101.8. 4.505.3 2. Moisture readings shall be taken at a point 2 feet to 4 feet from the grade-stamped end of each piece to be verified. 3. At least 3 random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Manufacturers' drying recommendations shall be followed for wet-applied insulation products prior to enclosure. HCD SHL 605 (Rev. 4/16) Page 8 of 10

2016 CALGREEN CODE REQUIREMENTS Division 4.5 - ENVIRONMENTAL QUALITY (INDOOR AIR QUALITY & EXF Bathroom exhaust fans Each bathroom shall be mechanically ventilated and shall comply with the following: 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control. a) Humidity controls shall be capable of manual or automatic adjustment between a relative humidity range of less than 50% to a maximum of 80%. b) A humidity control may be a separate component to the exhaust fan and is not required to be integral or built-in. Note: For CALGreen a "bathroom" is a room which contains a bathtub, shower, or tub/shower combination. Fans or mechanical ventilation is required in each bathroom Division 4.5 – ENVIRONMENTAL QUALITY (ENVIRONMENTAL COMFORT) Heating and air conditioning system design Heating and air conditioning systems shall be sized, designed, and equipment selected using the following methods: 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J -2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. **4.507.2** 2. Duct systems are sized according to ANSI/ACCA 1 Manual D – 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S – 2014 (Residential Equipment Selection) or other equivalent design software or methods. Exception: Use of alternate design temperatures necessary to ensure the systems functions are acceptable. CHAPTER 7 - INSTALLER & SPECIAL INSPECTOR QUALIFICATION (QUALIFICATIONS, VERIFICATIONS) Installer training HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognized training or certification program. Examples of acceptable HVAC training and certification programs include but are not limited to the following: State certified apprenticeship programs. 2. Public utility training programs. 3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.

4. Programs sponsored by manufacturing organizations.

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5. Other programs acceptable to the enforcing agency.

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or special inspections necessary to verify compliance are specified in appropriate sections of CALGreen.

NOTES: THE DESIGNS AND DRAWINGS REMAIN THE PROPERTY OF APPICAN LLC. AND MAY NOT BE ALTERED ISSUED, OR REPRODUCED WITHOUT THE SPECIFIC WRITTEN CONSENT OF APPICAN LLC.

WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER

POMONA, CA 91766

STANDARDS CODE MANDATORY MEASURE

File name: