

PROJECT SCOPE OF WORK:

353 S.F. ADDITION OF 1 BEDROOM/BATH TO EXISTING SINGLE FAMILY DWELLING

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- A-2 FLOOR PLAN (EXISTING/PROPOSED)
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- S-1 FOUNDATION PLAN
- S-2 FLOOR FRAMING PLAN
- S-3 ROOF FRAMING PLAN
- SD1 STRUCTURAL DETAILS
- SN1 STRUCTURAL NOTES
- SN2 STRUCTURAL NOTES

LOT COVERAGE:

EXISTING LOT COVERAGE: $\frac{1116}{9186} = 12.1\%$
NEW LOT COVERAGE: $(1,116+353) / 9,186 = 25.6 \% < 16.0\%$ (OK)

MAX. ALLOWABLE RFA:

MAX ALLOWABLE R.F.A. = 45%
LOT SIZE 0.45 x 9,186 SQ. FT. = 4,134 SQ. FT.

CALCULATED RFA.:

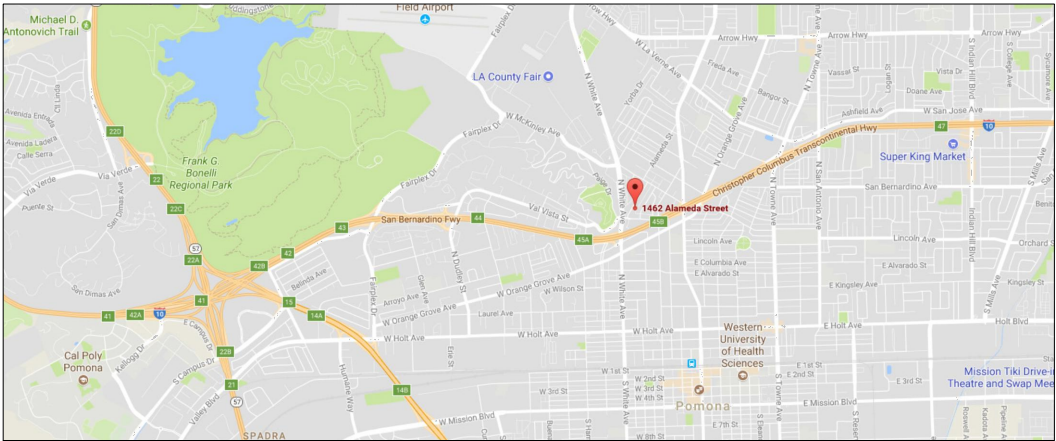
(E) SFD + (N) ADDITION
1,116 SQ. FT. + 353 SQ. FT. = 1,469 SQ. FT.
1,469 SQ. FT. < 4,134 SQ. FT. (OK)

LEGAL DESCRIPTION:

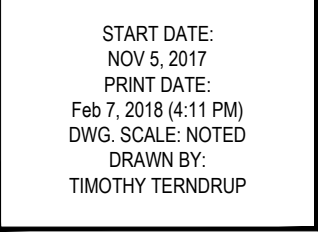
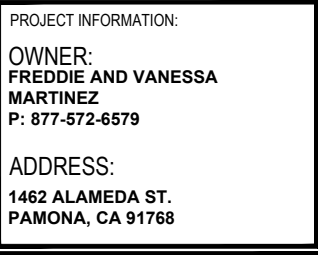
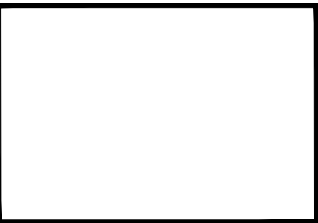
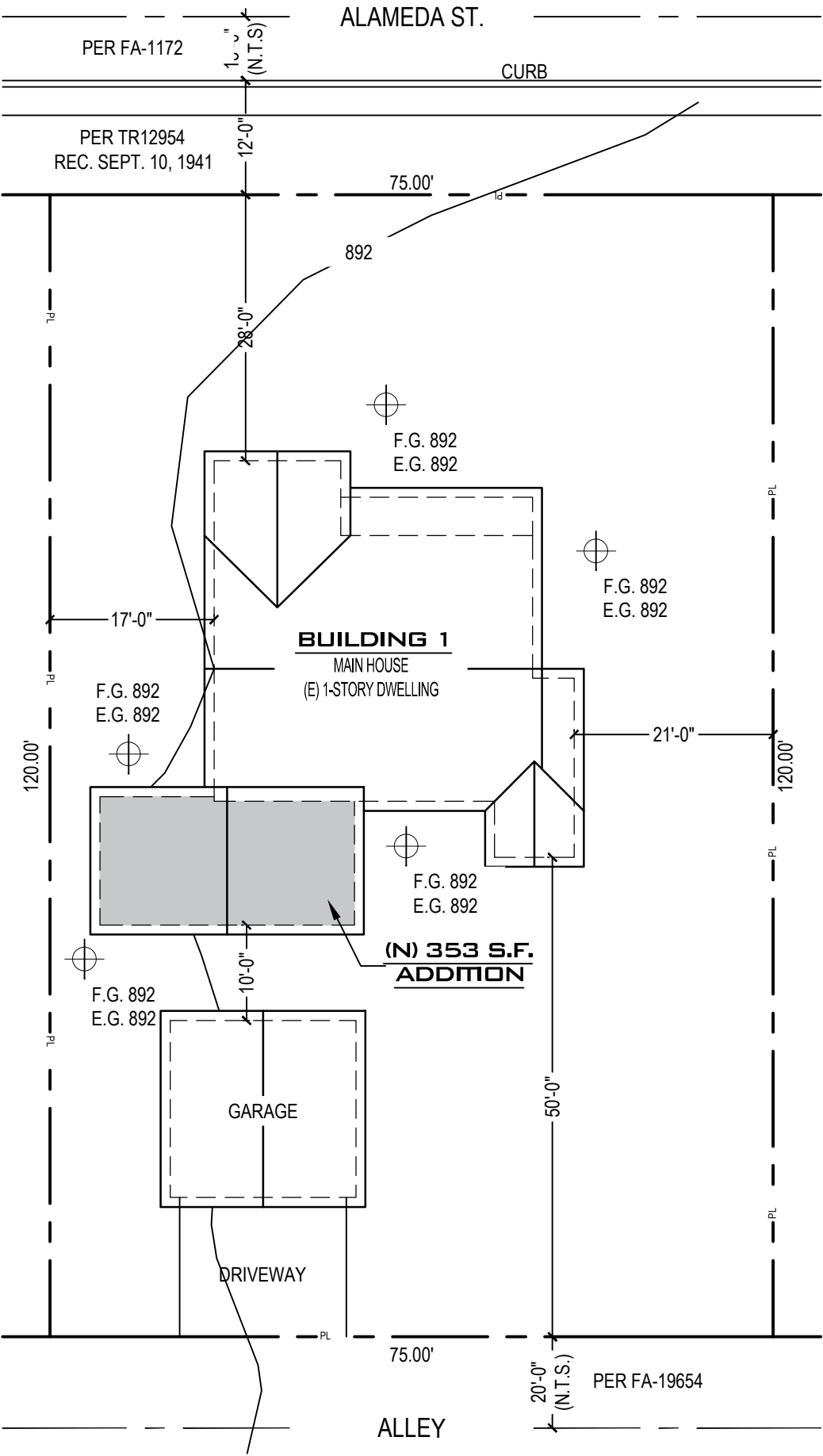
APN: 8359-020-013
LOT SIZE: 9,186 SQ. FT.
EXISTING BUILDING SIZE: 1,116 SQ. FT.
NEW BUILDING SIZE: 1,469 SQ. FT.
ZONING: R-1
LOT: 13
TRACT: TR 12934
TYPE OF CONSTRUCTION: TYPE V-B
NO. OF STORIES: 1
SPRINKLERS: NO

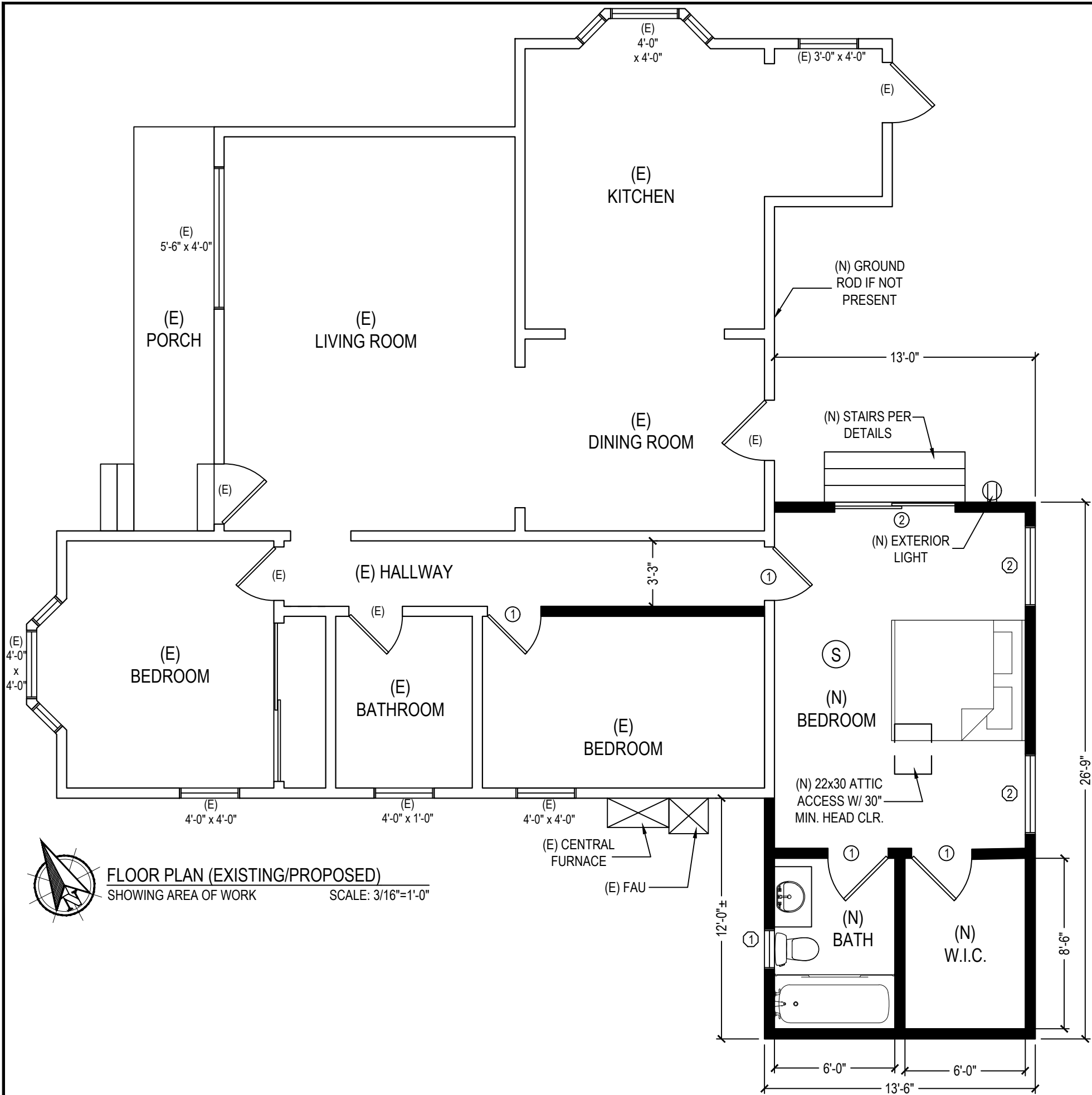
APPLICABLE CODES:

2016 CALIFORNIA BUILDING CODE (CBC)
2016 CALIFORNIA RESIDENTIAL CODE (CRC)




VICINITY MAP







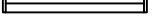
 **FLOOR PLAN (EXISTING/PROPOSED)**
SHOWING AREA OF WORK SCALE: 3/16"=1'-0"


LEGEND:


EXISTING WALLS: 


NEW WALLS: 

WALLS TO REMOVE: 

WINDOWS: 

DOORS: 

CARBON MONOXIDE: 

SMOKE DETECTOR: 

DOOR SCHEDULE		
#	SIZE	DESCRIPTION
①	2'-8" x 6'-8"	SINGLE HINGED
②	6'-0" x 6'-8"	SLIDING GLASS DOOR
(E)	EXISTING	EXISTING DOOR

WINDOW* SCHEDULE		
#	SIZE	DESCRIPTION
①	2'-0" x 1'-6"	SLIDER
②	4'-0" x 4'-0"	DOUBLE HUNG
(E)	EXISTING	EXISTING WINDOW

*U-FACTOR = 0.58
SHGC = 0.67

NOTES:
1. ALL NEW LIGHTING SHALL BE HIGH EFFICACY, PER CEC TABLE 150.0(k)

FINISH SCHEDULE	
LOCATION	DESCRIPTION
WALLS	DRYWALL
CEILING	DRYWALL
FLOOR	LAMINATE



PROJECT DESCRIPTION

353 S.F. ADDITION OF 1
BEDROOM/BATHROOM
TO EXISTING SINGLE
FAMILY DWELLING

PROJECT INFORMATION:

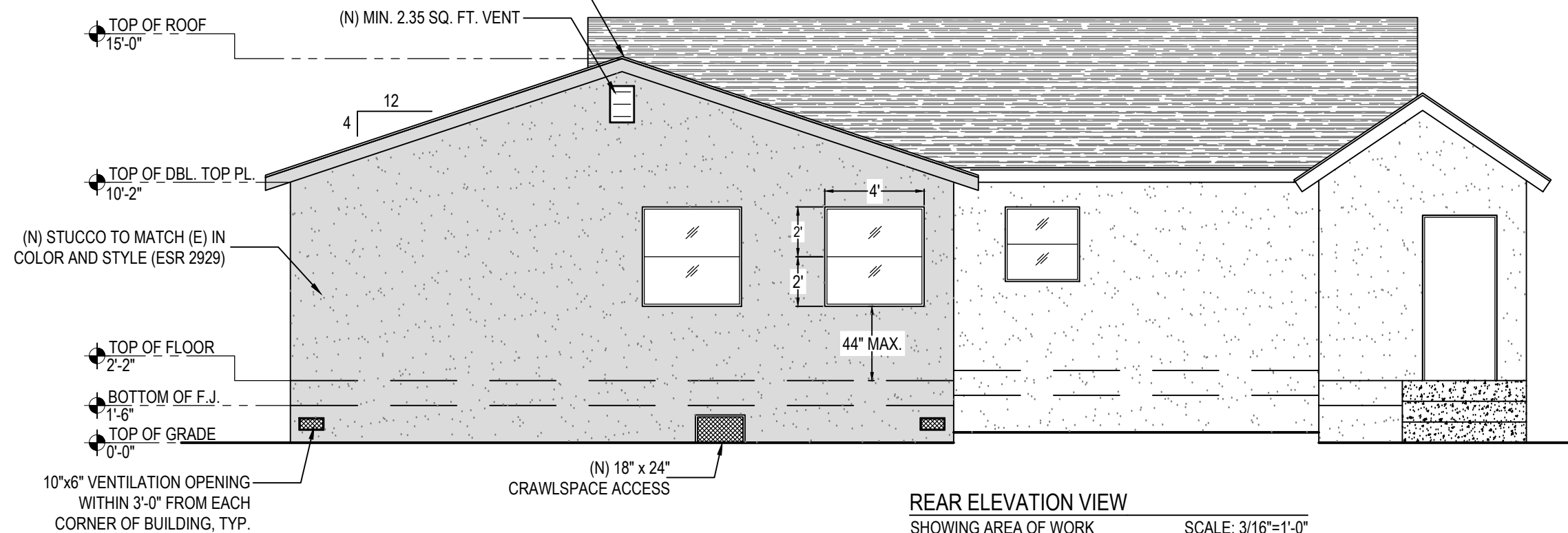
OWNER:
FREDDIE AND VANESSA
MARTINEZ
P: 877-572-6579

ADDRESS:
1462 ALAMEDA ST.
PAMONA, CA 91768

START DATE:
NOV 5, 2017
PRINT DATE:
Feb 7, 2018 (4:11 PM)
DWG. SCALE: NOTED
DRAWN BY:
TIMOTHY TERNDROP

FLOOR PLAN
(EXISTING/PROPOSED)

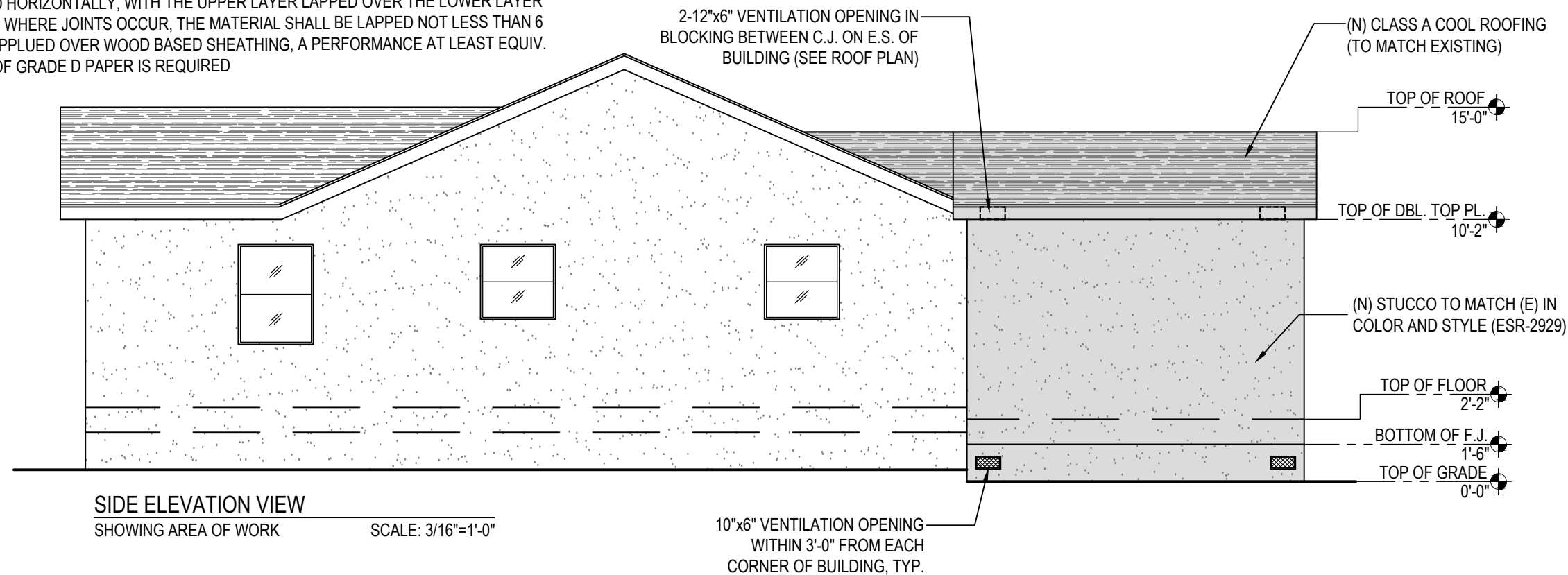
SHEET #:
A-2



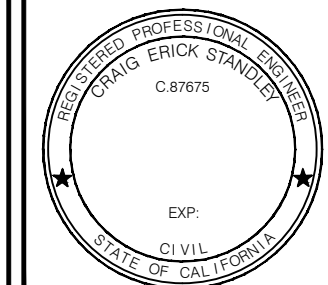
REAR ELEVATION VIEW
SHOWING AREA OF WORK SCALE: 3/16"=1'-0"

NOTES:

- ONE LAYER OF NO. 15 ASPHALT FELT, COMPLYING WITH ASTM D 226 FOR TYPE 1 FELT, OR OTHER APPROVED WATER RESISTIVE BARRIER, IS REQUIRED FOR THE EXTERIOR. MATERIAL SHALL BE APPLIED HORIZONTALLY, WITH THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 2" WHERE JOINTS OCCUR, THE MATERIAL SHALL BE LAPPED NOT LESS THAN 6 INCHES. WHERE APPLIED OVER WOOD BASED SHEATHING, A PERFORMANCE AT LEAST EQUIV. TO TWO LAYERS OF GRADE D PAPER IS REQUIRED



SIDE ELEVATION VIEW
SHOWING AREA OF WORK SCALE: 3/16"=1'-0"



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PROJECT INFORMATION:

OWNER:

ADDRESS:

1462 ALAMEDA ST.
PAMONA, CA 91768

START DATE:

NOV 5, 2017

PRINT DATE:

Jan 9, 2018 (4:33 PM)

DWG. SCALE: NOTED

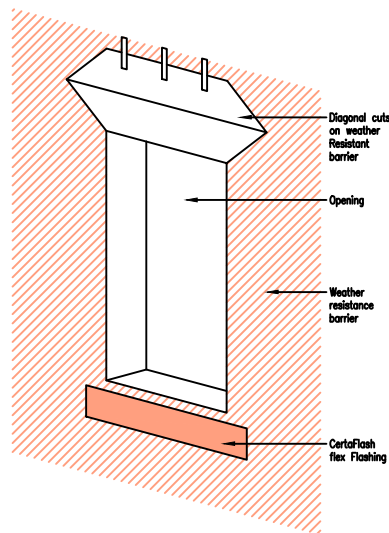
DRAWN BY:

TIMOTHY TERNDROP

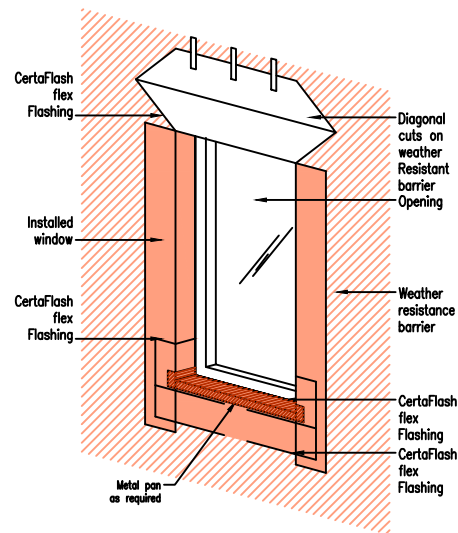
ELEVATION VIEWS
(PROPOSED)

SHEET #:

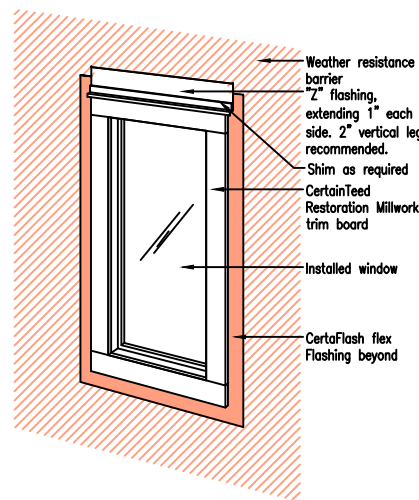
A-3



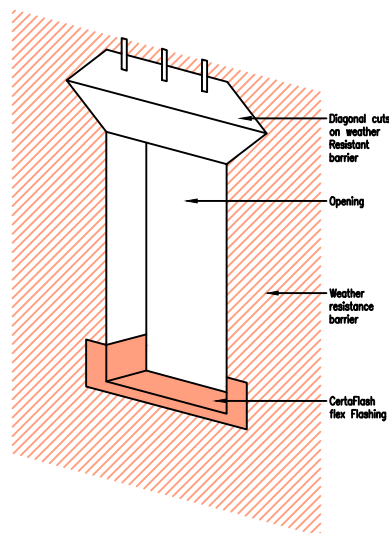
A FLASHING SEQUENCE SCALE: 3/4" = 1'-0"



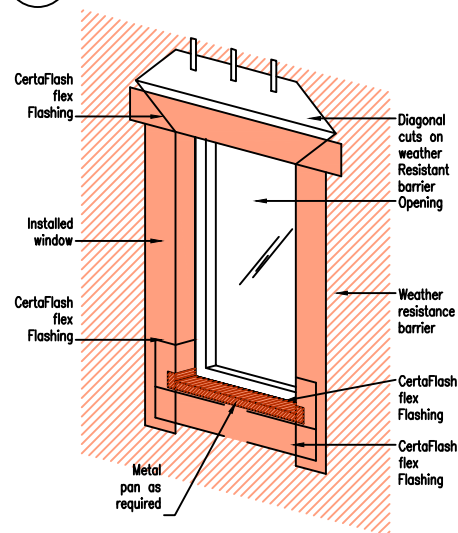
D FLASHING SEQUENCE SCALE: 3/4" = 1'-0"



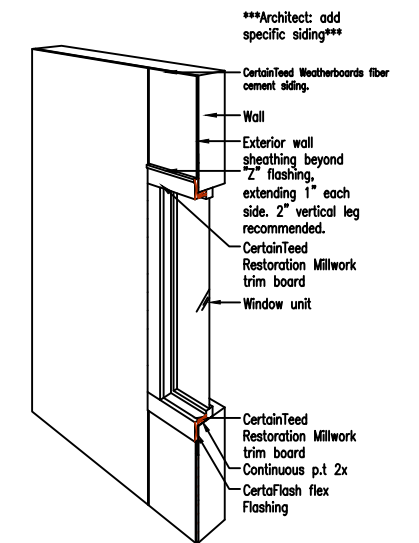
G ISOMETRIC SCALE: NTS



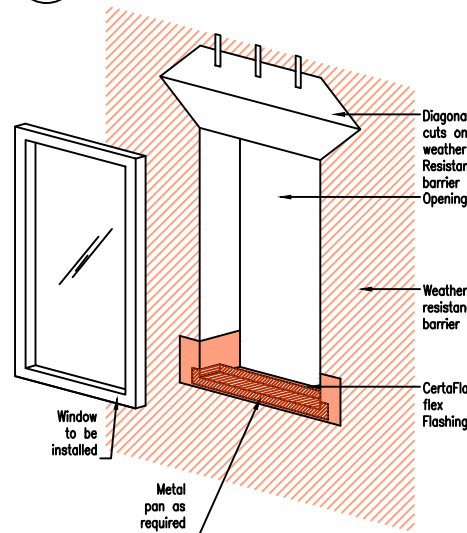
B FLASHING SEQUENCE SCALE: 3/4" = 1'-0"



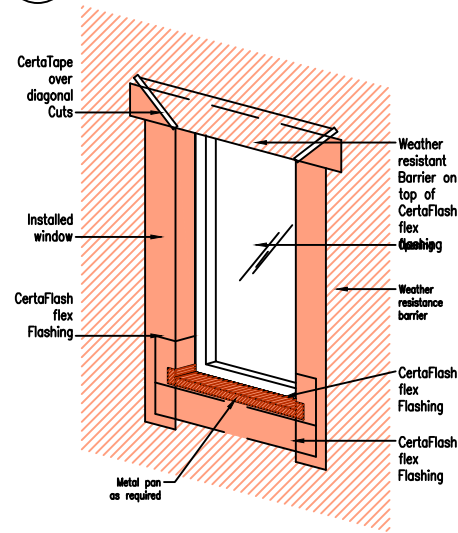
E FLASHING SEQUENCE SCALE: 3/4" = 1'-0"



H ISOMETRIC SECTION SCALE: 3/4" = 1'-0"



C FLASHING SEQUENCE SCALE: 3/4" = 1'-0"



F FLASHING SEQUENCE SCALE: 3/4" = 1'-0"

DOOR & WINDOW FLASHING DETAILS



PROJECT DESCRIPTION

353 S.F. ADDITION OF 1
BEDROOM/BATHROOM
TO EXISTING SINGLE
FAMILY DWELLING

PROJECT INFORMATION:

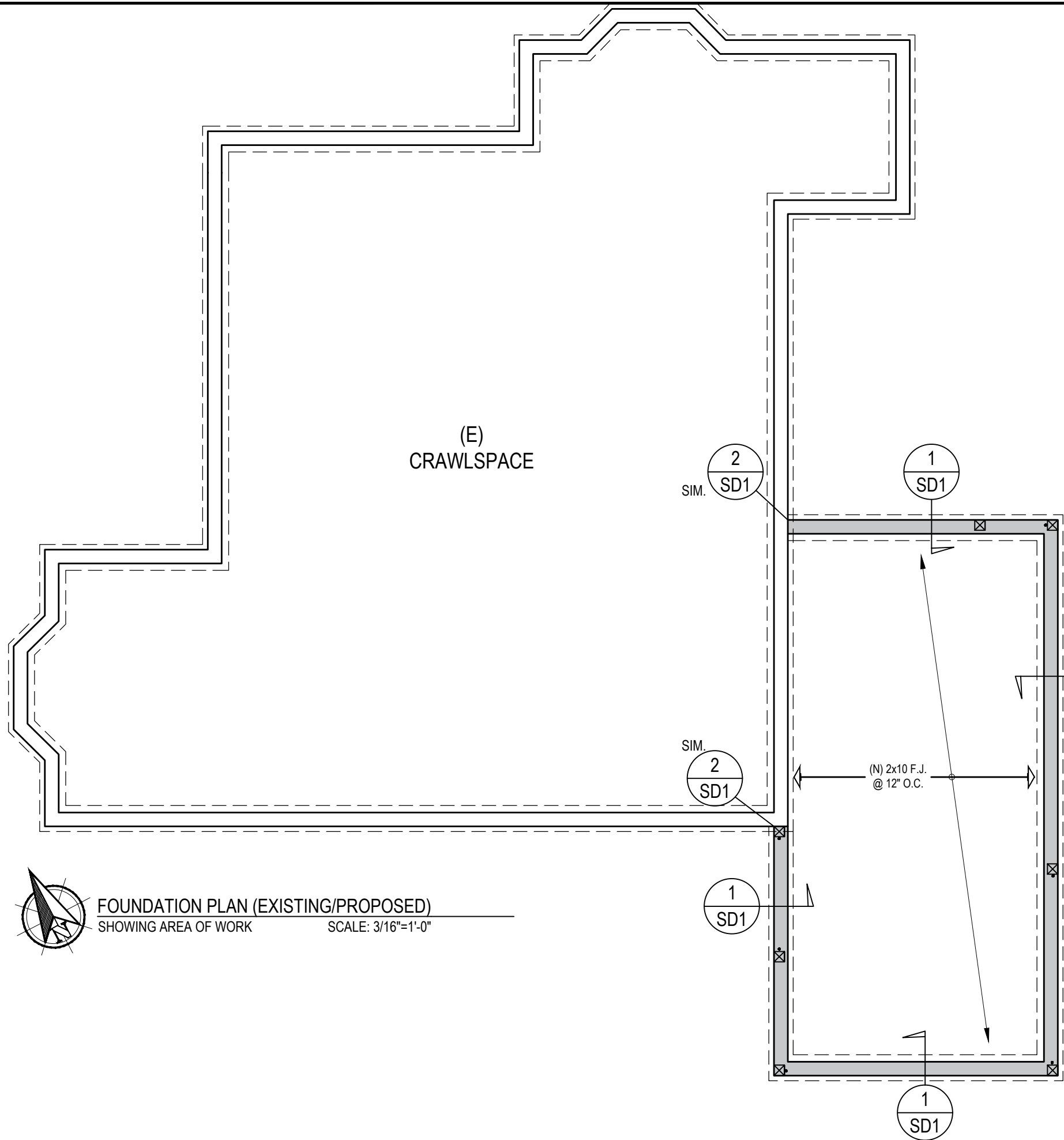
OWNER:

ADDRESS:
1462 ALAMEDA ST.
PAMONA, CA 91768

START DATE:
NOV 5, 2017
PRINT DATE:
Jan 9, 2018 (4:33 PM)
DWG. SCALE: NOTED
DRAWN BY:
TIMOTHY TERNDRUP

WINDOW FLASHING DETAILS

SHEET #:
A-4



LEGEND:

EXISTING:

NEW:

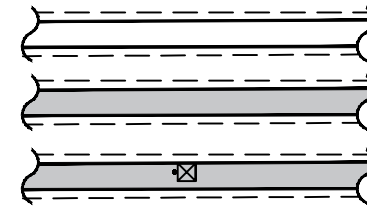
EXISTING FOOTING:

NEW FOOTING:

NEW 4x6 POST W/ "H DU4" HOLD-DOWN, PER DETAIL #3/SD1

(E)

(N)



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353 S.F. ADDITION OF 1
BEDROOM/BATHROOM
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FAMILY DWELLING

PROJECT INFORMATION:

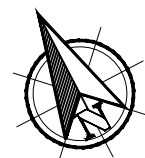
OWNER:

ADDRESS:
1462 ALAMEDA ST.
PAMONA, CA 91768

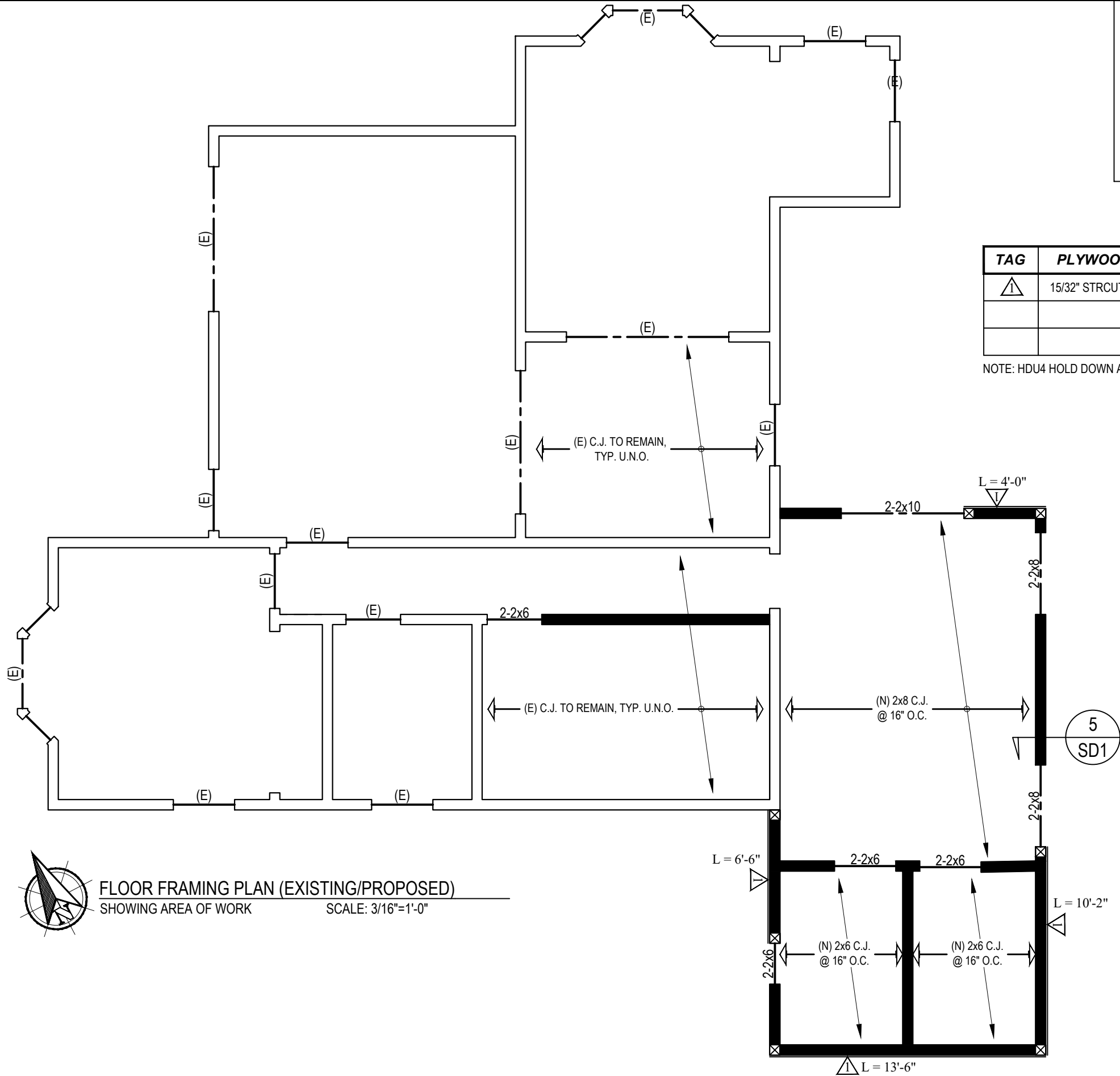
START DATE:
NOV 5, 2017
PRINT DATE:
Jan 9, 2018 (4:43 PM)
DWG. SCALE: NOTED
DRAWN BY:
TIMOTHY TERNDROP

**FOUNDATION PLAN
(PROPOSED)**

SHEET #:
S-1



FOUNDATION PLAN (EXISTING/PROPOSED)
SHOWING AREA OF WORK SCALE: 3/16"=1'-0"



LEGEND:

EXISTING WALLS:

NEW WALLS:

BEAMS/HDR

SHEARWALL CALLOUT: (SEE SCHEDULE ON SN2 AND DETAIL #4/SD1 "L" = LENGTH)

NEW 4x6 POST AT EACH END OF SHEARWALL

SHEARWALL SCHEDULE				
TAG	PLYWOOD	ROOF TO WALL	EDGE NAILING	CAPACITY
<div>1</div>	15/32" STRCUT. 1	LPT4 @ 16" O.C.	10d COM. @ 6" O.C.	

NOTE: HDU4 HOLD DOWN AT EACH END

FLOOR FRAMING PLAN (EXISTING/PROPOSED)

SHOWING AREA OF WORK

SCALE: 3/16"=1'-0"

SSD

STANDLEY STRUCTURAL DESIGN

CIVIL-STRUCTURAL ENGINEERS

REGISTERED PROFESSIONAL ENGINEER

CRAIG ERICK STANDLEY

C.87675

EXP:

CIVIL

STATE OF CALIFORNIA

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FAMILY DWELLING

PROJECT INFORMATION:

OWNER:

ADDRESS:
1462 ALAMEDA ST.
PAMONA, CA 91768

START DATE:
NOV 5, 2017

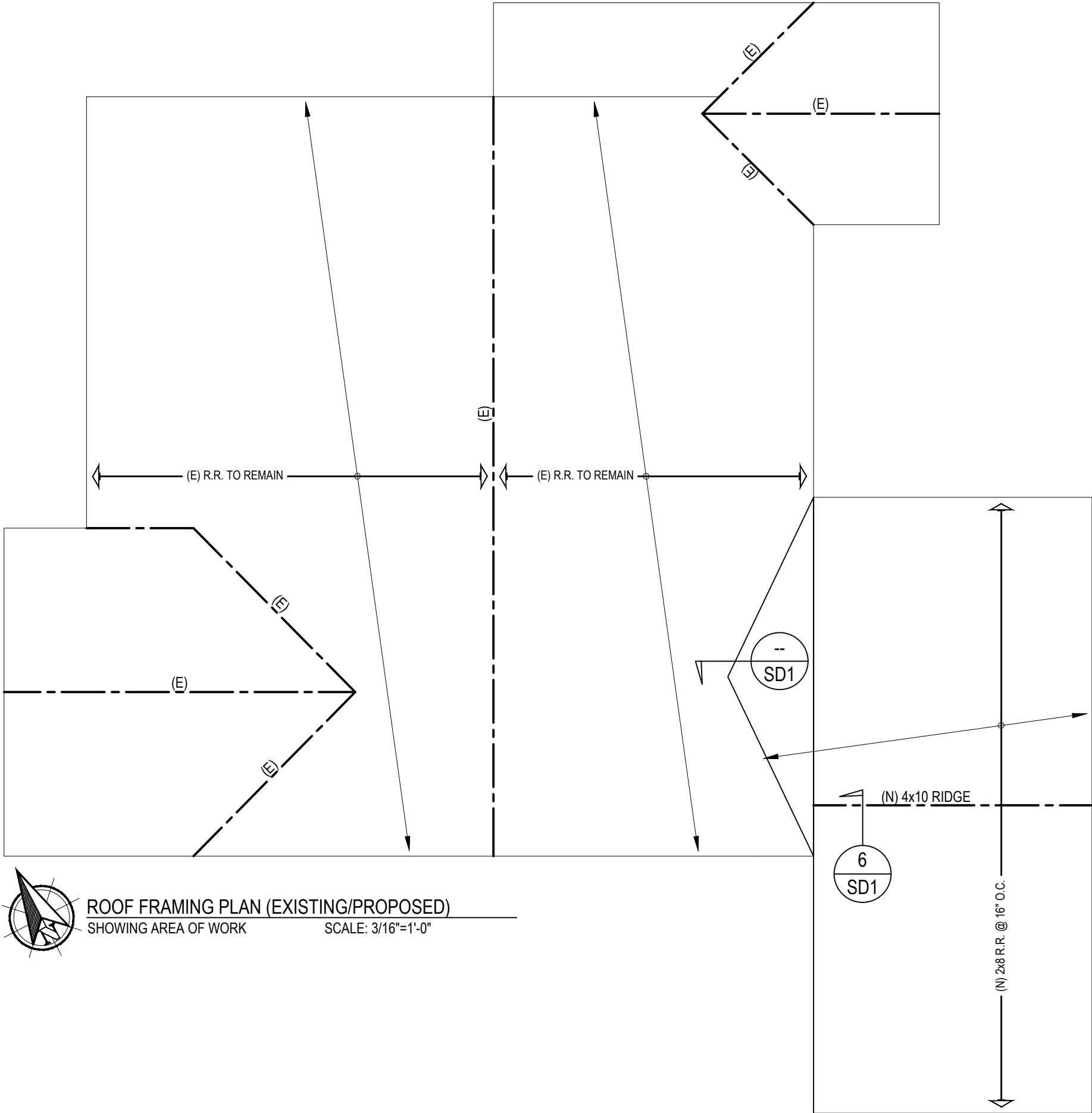
PRINT DATE:
Jan 9, 2018 (4:42 PM)


DWG. SCALE: NOTED

DRAWN BY:
TIMOTHY TERNDRUP

1ST FLOOR
FRAMING PLAN
(PROPOSED)

SHEET #:
S-2



 **ROOF FRAMING PLAN (EXISTING/PROPOSED)**
SHOWING AREA OF WORK SCALE: 3/16"=1'-0"

LEGEND:

BEAMS/HDR	
EXISTING:	(E)
NEW:	(N)

NOTES:

1. $\frac{1}{8}$ "- GAP AT ALL PLYWOOD PANEL EDGES REQUIRED
2. MINIMUM OF 1" OF AIRSPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT VENT LOCATION, PER CRC R806.3

ATTIC VENTILATION CALCULATIONS:

MIN. NET FREE VENTILATION AREA = $\frac{1}{300}$ OF VENTILATED SPACE.
ATTIC SIZE = 353 S.F.
 $\frac{1}{300} \times 353 = 1.18$ S.F. MINIMUM NET VENTILATION OPENING



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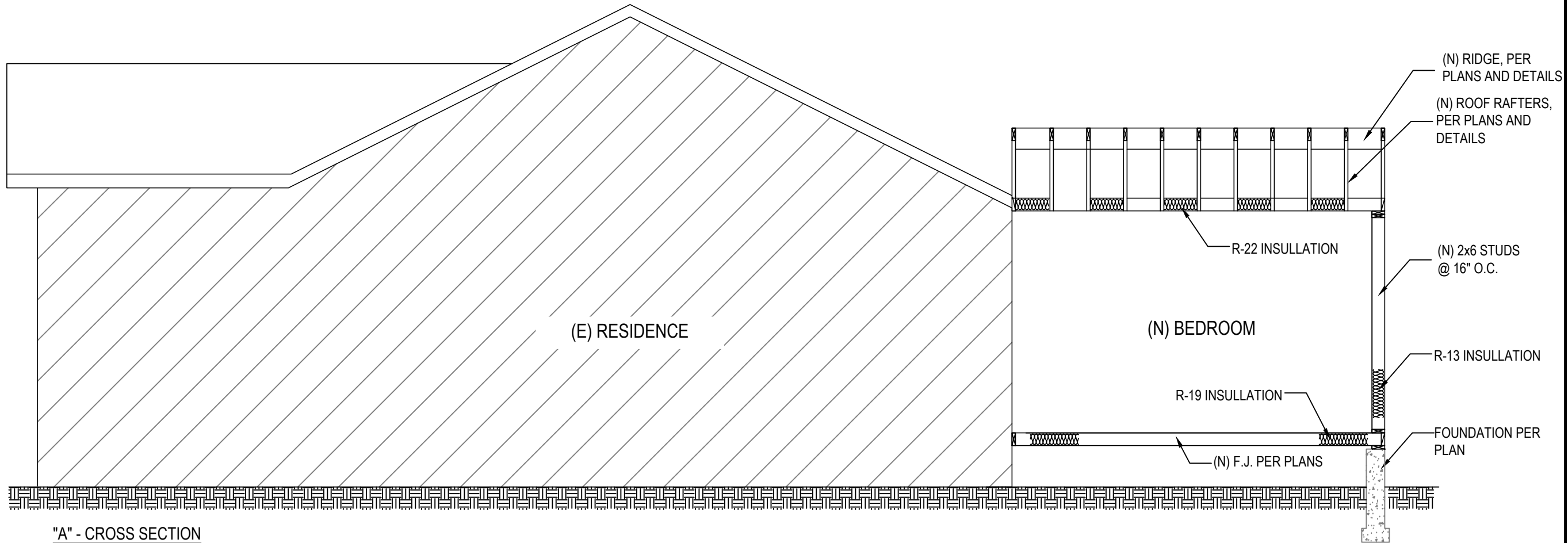
ADDRESS:
1462 ALAMEDA ST.
PAMONA, CA 91768

START DATE:
NOV 5, 2017
PRINT DATE:
Jan 9, 2018 (4:34 PM)
DWG. SCALE: NOTED
DRAWN BY:
TIMOTHY TERNDRUP

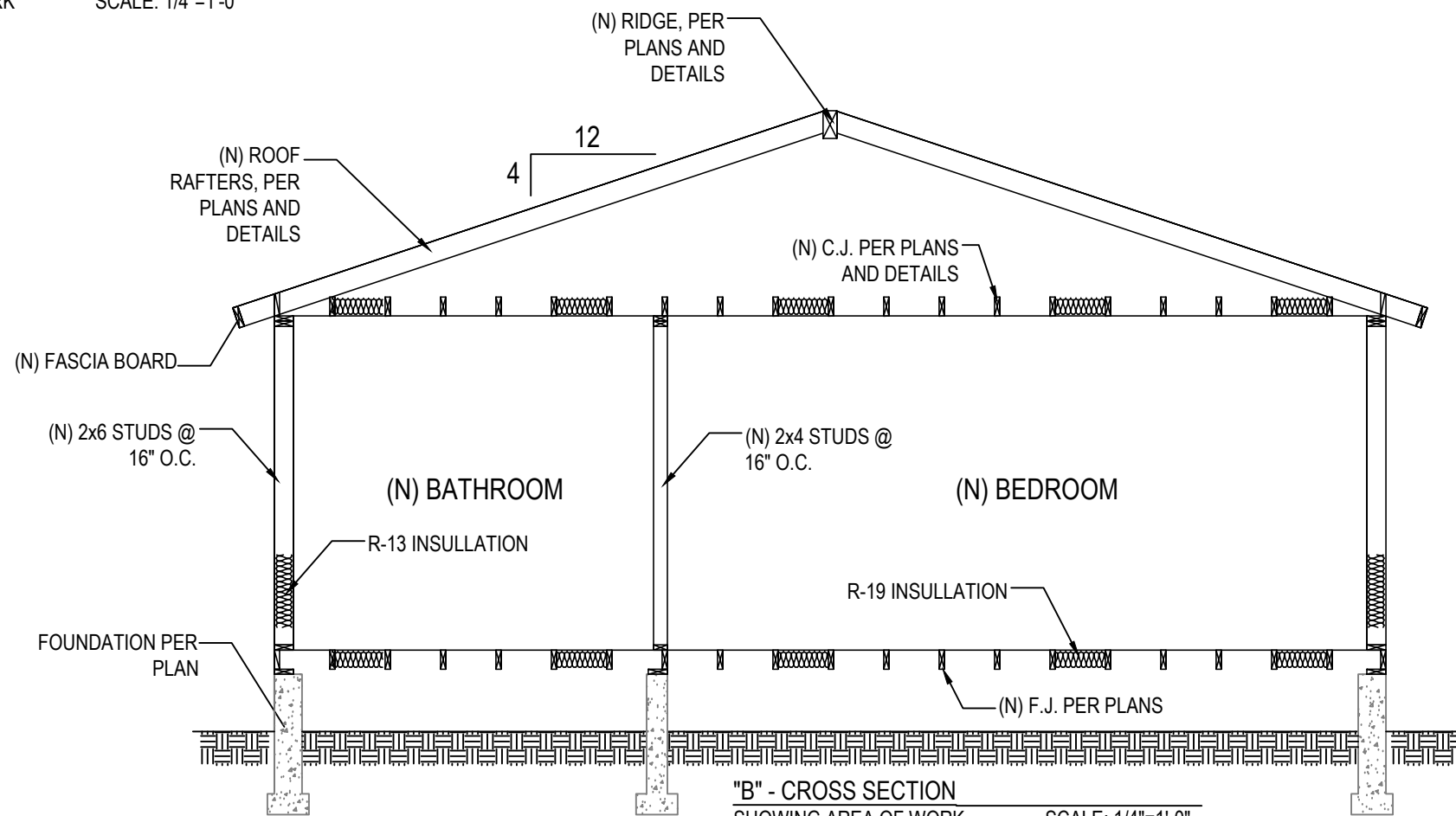
ROOF FRAMING
PLAN (PROPOSED)

SHEET #:

S-3



"A" - CROSS SECTION
SHOWING AREA OF WORK SCALE: 1/4"=1'-0"



"B" - CROSS SECTION
SHOWING AREA OF WORK SCALE: 1/4"=1'-0"



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FAMILY DWELLING

PROJECT INFORMATION:

OWNER:

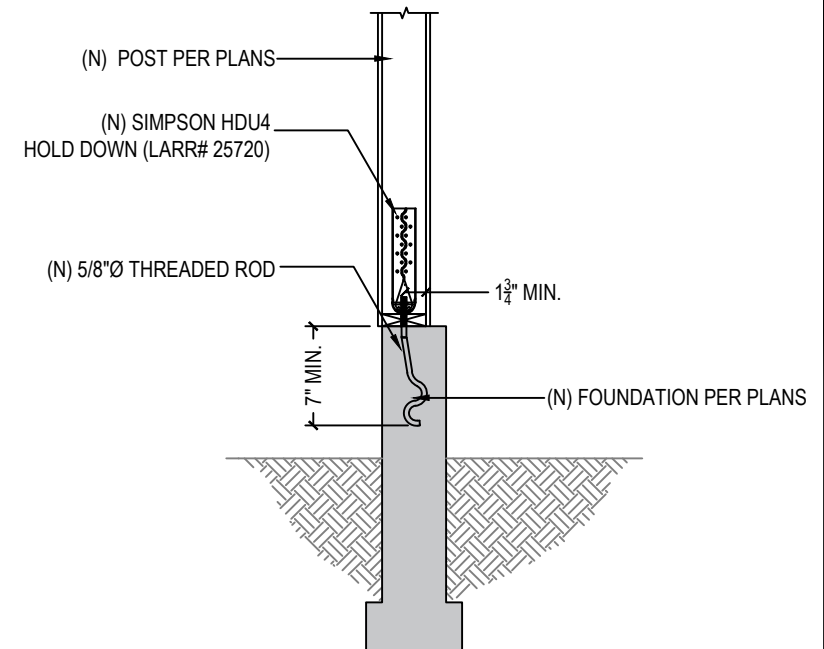
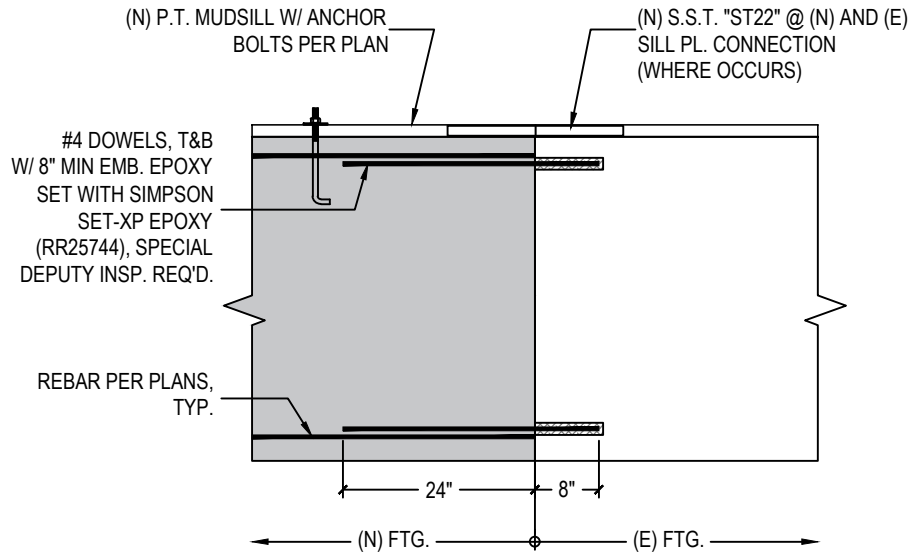
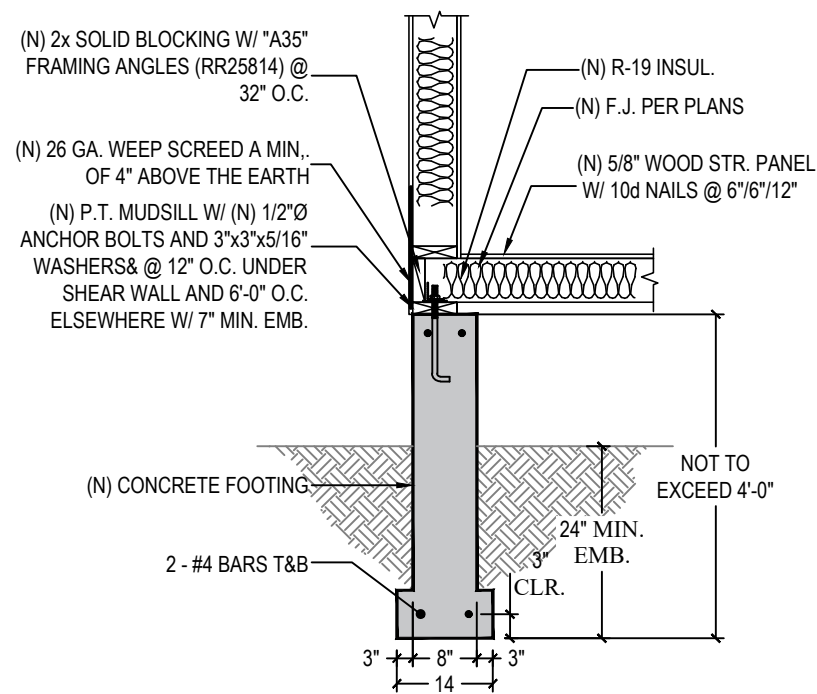
ADDRESS:
1462 ALAMEDA ST.
PAMONA, CA 91768

START DATE:
NOV 5, 2017
PRINT DATE:
Jan 9, 2018 (4:34 PM)
DWG. SCALE: NOTED
DRAWN BY:
TIMOTHY TERNDRUP

CROSS-SECTIONS

SHEET #:
S-4

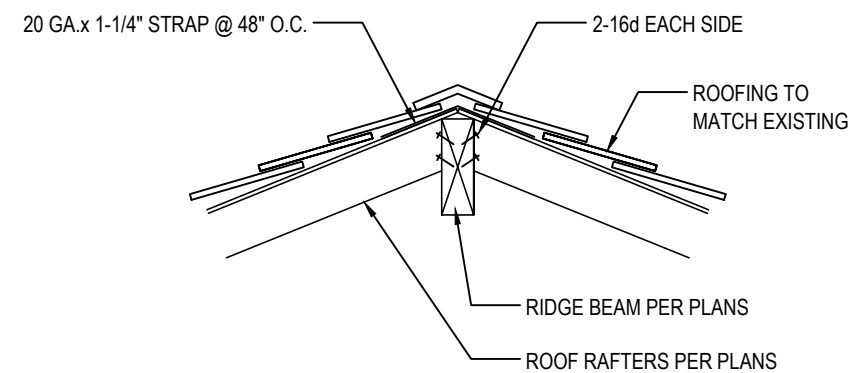
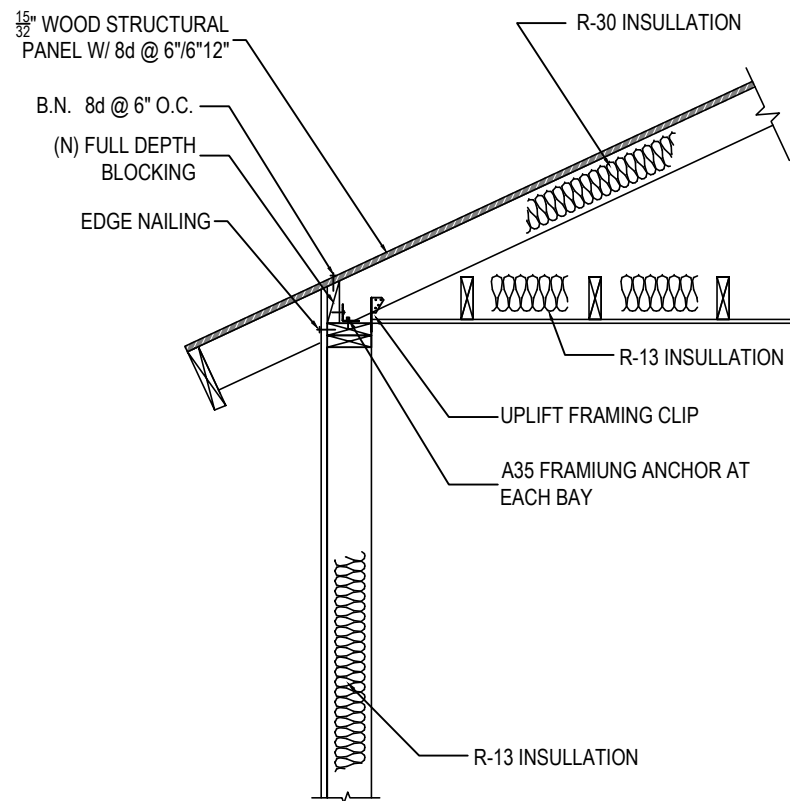
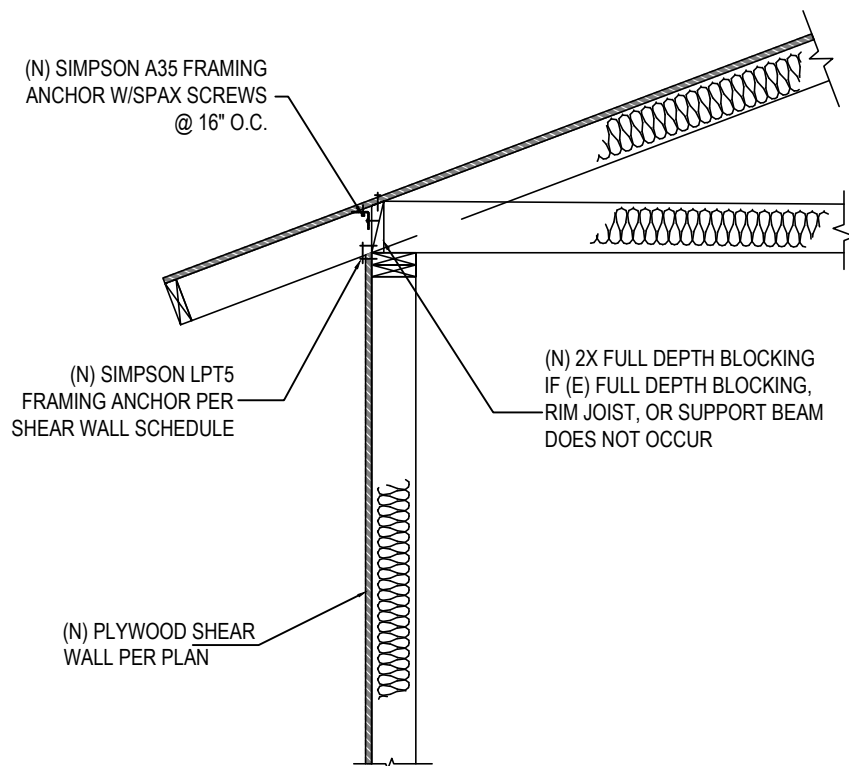
*VERTICAL REINFORCEMENT: #4 @ 48" O.C.



1 (N) FOUNDATION DETAIL

2 FOUNDATION CONNECTION DETAIL

3 HOLD DOWN DETAIL



4 SHEARWALL DETAIL

5 EAVE DETAIL

6 RIDGE DETAIL



PROJECT DESCRIPTION

353 S.F. ADDITION OF 1 BEDROOM/BATHROOM TO EXISTING SINGLE FAMILY DWELLING

PROJECT INFORMATION:

OWNER:

ADDRESS:
1462 ALAMEDA ST.
PAMONA, CA 91768

START DATE:
NOV 5, 2017
PRINT DATE:
Jan 9, 2018 (4:34 PM)
DWG. SCALE: NOTED
DRAWN BY:
TIMOTHY TERNDROP

STRUCTURAL
DETAILS

SHEET #:
SD1

GENERAL NOTES:

- 1.SMOKE DETECTORS SHALL BE PROVIDED IN EACH SLEEPING ROOM, ON THE CEILING OR WALL IMMEDIATELY OUTSIDE OF EACH SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY (907.2.11.2, R314.3)
2. THE POWER SOURCE FOR SMOKE DETECTORS SHALL BE AS FOLLOWS:
 - A. IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP
 - B. IN EXISTING SFD, SMOKE DETECTORS MAY BE BATTERY OPERATED
 - C. CARBON MONOXIDE ALARM IS REQUIRED PER SEC. 420.4 & R315
3. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PILL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
4. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 171, 874) (SEPARATE PLUMBING PERMIT IS REQUIRED).
5. PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
6. PROVIDE 70 INCH HIGH NON-ABSORBIENT WALL ADJACENT TO SHOWER AND APPROVED SHATTERRESISTANT MATERIALS FOR SHOWER ENCLOSURE.
7. PROVIDE ULTRA FLUSH WATER CLOSET FOR ALL NEW CONSTRUCTION, EXISTING SHOWERHEADS AND TOILETS MUST BE ADOPTED FOR LOW WATER CONSUMPTION
8. AN APPROVED CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLICATIONS ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE DETECTORS SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)
9. ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLES 4.504.1-4.504.3
- 10.THE APPROVAL OF PLANS AND SPECIFICATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE OR OTHER CITY ORDINANCE OR STATE LAWS.
- 11.WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLING OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE DETECTOR IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE DETECTORS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)
- 12.MECHANICAL, ELECTRICAL, AND PLUMBING PLANS ARE NOT REVIEWED AND ARE SUBJECT TO FIELD INSPECTION
- 13.EFFECTIVE JAN. 1, 201, SB 407 REQUIRES REPLACEMENT OF ALL NONCOMPLIANT PLUMBING FIXTURES IN PROPERTIES BUILT ON OR BEFORE JAN. 1, 2994 WITH WATER CONSERVING PLUMBING FIXTURES

LUMBER

1. MATERIAL DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE. (9.407.4)
2. ALL STUDS, JOISTS, RAFTERS, AND BLOCKING'S SHALL BE DF-L NO. 2 AS GRADED BY WWPGR, ALL POSTS AND BEAMS SHALL DF-L NO. 1 OR BETTER AS GRADED BY WWPGR. UNO.
3. ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE DF-LARCH PRESSURE TREATED.
4. ALL NEW SHEATHING USE FOR BRACING SHALL BE 15/32" CDX, 5-PLY PANEL CONSTRUCTION WITH SPAN RATING OF 32/16 OR BETTER AS RATED BY AMERICAN PLYWOOD ASSOC.
5. ANY NAIL IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
6. BUILDING MATERIAL WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOORING FRAMING SHALL NOT BE ENCLOSED UNTIL IT IS INSPECTED AND FOUND TO BE SATISFACTORY BY BUILDING INSPECTOR. (9.505.3)

CONSTRUCTION

1. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO STARTING OF WORK.
2. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PILL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF HOOK-UP.
3. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
4. CONTINUOUS SPECIAL INSPECTION BY A REGISTERED DEPUTY INSPECTOR IS REQUIRED FOR SPRAYED-ON FIREPROOFING AND HIGH LOAD DIAPHRAGMS
5. CONSTRUCTION WASTE WILL BE HANDLED BY CITY OF LOS ANGELES CERTIFIED HAULER AND SHALL BE REDUCED BY 50% OF ITS OVERALL WASTE. CALIFORNIA WASTE SERVICES, PERMIT# PER-09-058 621 W. 152ND ST., GARDENA, CA 90247

STEEL REINFORCEMENT

1. ALL STEEL REINFORCEMENT BARS SHALL BE 60,000 PSI YIELD STRENGTH CONFORMING TO ASTM STD A615, UNLESS NOTED OTHERWISE.
2. ALL STEEL REINFORCEMENT TIES AND STIRRUPS SHALL BE 40,000 PSI YIELD STRENGTH CONFORMING TO ASTM STD A615, UNLESS NOTED OTHERWISE.
3. ALL STEEL REINFORCEMENT HOOKS SHALL BE PER ACI318 STANDARD HOOKS SCHEDULE.
4. ALL BENDS IN REINFORCEMENT BARS SHALL BE MADE COLD.
5. STEEL REINFORCEMENT SHALL BE FREE OF LOOSE FLAKY RUST, MUD, OIL, AND OTHER COATINGS WHICH MAY REDUCE BOND STRENGTH.
6. STEEL REINFORCING SHALL BE ACCURATELY PLACED IN CONCRETE FORMS WITH THE APPROPRIATE CLEAR COVER MAINTAINED.
7. SPLICES IN STEEL REINFORCEMENT FOR SLABS AND RETAINING WALL SHALL BE A MINIMUM OF 40 BAR DIAMETER OR 24 INCHES WHICH EVER IS LARGER.
8. SHOP WELDING FOR STEEL REINFORCEMENT SHALL BE PERFORMED IN A LADBS LICENSED FABRICATION SHOP OR CALIFORNIA LICENSED FABRICATION SHOP.
9. FIELD WELDING FOR STEEL REINFORCEMENT SHALL BE PERFORMED BY A LADBS CERTIFIED WELDERS OR CALIFORNIA LICENSED WELDER. CONTINUOUS SPECIAL INSPECTION BY A REGISTERED DEPUTY INSPECTOR IS REQUIRED FOR FIELD WELDING.

SHORING

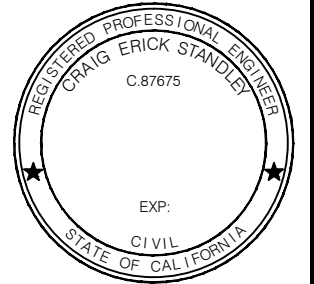
1. THERE SHALL BE NO TRENCHES OR EXCAVATIONS 5 FEET OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND WITHOUT THE INSTALLATION OF PROPER SHORING DEVICES, UNLESS NOTED OTHERWISE.
2. SHORING MUST BE PROVIDED TO ADEQUATELY SUPPORT ALL CONSTRUCTION LOADS.
3. TEMPORARY SHORING IS NOT TO BE REMOVED UNTIL ALL NEW CONSTRUCTION MATERIALS ARE IN PLACE AND HAVE ACHIEVED SPECIFIED DESIGN STRENGTH PER A CYLINDER TEST CONFORMING TO ASTM C31-69.
4. MAINTAIN A 45 DEGREE SETBACK WHEN SUPPORTING LOADS ADJACENT TO EXCAVATIONS, UNLESS NOTED OTHERWISE.

CONCRETE

1. ALL EXISTING FOUNDATIONS & FOOTINGS SHALL BE CLEANED OFF PRIOR TO POURING OF NEW CONCRETE FOR PROPER BONDING.
2. CEMENT SHALL CONFORM TO THE SPECIFICATION FOR PORTLAND CEMENT ASTM C150.
3. WATER USED IN MIXING CONCRETE SHALL BE CLEAN AND FREE FROM INJURIOUS AMOUNTS OF OILS, ACIDS, ALKALIS, SALTS, ORGANIC MATERIALS, OR OTHER SUBSTANCES THAT MAY BE DELETERIOUS TO CONCRETE OR REINFORCEMENT BARS.
4. ALL CONCRETE WORK SHALL BE DONE WITH MINIMUM OF 2500PSI CONCRETE, UNLESS NOTED OTHERWISE.
5. CONTINUOUS SPECIAL INSPECTION BY A REGISTERED DEPUTY INSPECTOR IS REQUIRED FOR CONCRETE STRENGTH GREATER THAN 2500 PSI, DRIVEN DEEP FOUNDATION, CAST-IN PLACE DEEP FOUNDATIONS, ENGINEERING MASONRY, PRE-STRESSED CONCRETE, HIGH LOAD DIAPHRAGMS AND SPECIAL MOMENT-RESISTING CONCRETE FRAMES.
6. CONTINUOUS INSPECTION BY THE SOILS ENGINEER OR GEOLOGIST IS REQUIRED FOR CONSTRUCTION OF CONCRETE PILES, CAISSONS OR PIERS, & CONCRETE GRADE BEAMS.
7. NON-STRUCTURAL SLABS, POURED-IN-PLACE SLABS, SLABS-ON GRADE, & STRUCTURAL SLABS SHALL BE BUILT WITH A MINIMUM f'c = 2500 PSI, UNLESS NOTED OTHERWISE.
8. ALL CONCRETE SHALL BE 2,500 PSI IN 28 DAYS & DEPUTY INSPECTION IS REQUIRED, UNLESS NOTED OTHERWISE.
9. PLACEMENT OF STEEL REINFORCEMENT IN CONCRETE SHALL BE AS FOLLOVED:
 - A. 3 INCHES FROM FACE OF CONCRETE CAST IF IT IS AGAINST AND/OR PERMANENTLY EXPOSED TO EARTH
 - B. 2 INCHES FROM FACE OF CONCRETE CAST IF IT IS EXPOSED TO EARTH AND/OR WEATHER.
 - C. 1-1/2" INCHES FROM FACE OF CONCRETE CAST IF IT IS NOT EXPOSED TO WEATHER AND/OR IN CONTACT WITH EARTH.

GROUT

1. ALL NON-EPOXY GROUT SHALL BE RAPID SET BRAND OR EQUIV. INSTALLED PER THE MANUFACTURERS SPEC'S, LARR24654.
2. ALL EPOXY TYPE GROUT SHALL BE SIMPSON SET BRAND STRUCTURAL EPOXY OR EQUIV. INSTALLED PER THE MANUFACTURERS SPECIFICATIONS, LA RR#25279.
3. CLEAN OUT ALL DRILLED BORINGS AND CRACKS PRIOR TO APPLICATION OF GROUT. DEPUTY INSPECTION REQUIRED AT ALL TIME OF PROCEDURE.
4. CONTINUOUS SPECIAL INSPECTION BY A REGISTERED DEPUTY INSPECTOR IS REQUIRED FOR HIGH-LIFT GROUTING.



PROJECT DESCRIPTION

353 S.F. ADDITION OF 1
BEDROOM/BATHROOM
TO EXISTING SINGLE
FAMILY DWELLING

PROJECT INFORMATION:

OWNER:

ADDRESS:

1462 ALAMEDA ST.
PAMONA, CA 91768

START DATE:
NOV 5, 2017
PRINT DATE:
Jan 9, 2018 (4:34 PM)
DWG. SCALE: NOTED
DRAWN BY:
TIMOTHY TERNDRUP

STRUCTURAL NOTES

SHEET #:

SN1

SPECIAL NOTES

1. THE APPROVAL OF PLANS AND SPECIFICATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE OR OTHER CITY ORDINANCE OR STATE LAWS.
2. PLANS SHALL COMPLY WITH 2016 CALIFORNIA BUILDING CODES (CBC), 2016 CALIFORNIA RESIDENTIAL CODES (CRC), 2016 INTERNATIONAL BUILDING CODES (IBC) AND 2016 INTERNATIONAL RESIDENTIAL CODES (IRC).
3. THE VOC CONTENT VERIFICATION CHECKLIST, FORM GREEN FORM 2, SHALL BE COMPLETED AND VERIFIED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING VOC CONTENT FOR ALL APPLICATION PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION.
4. ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLES 4.504.1-4.504.3
5. ALL RECOMMENDATIONS OF THE CONSULTING GEOLOGIST MUST BE INCORPORATED INTO THE DESIGN OR SHOWN AS NOTES ON THE PLANS.
6. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 171, 874) (SEPARATE PLUMBING PERMIT IS REQUIRED).
7. WATER HEATER MUST BE STRAPPED TO WALL.
8. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000) (R314.6.2)
9. AN APPROVED SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLING WITH MORE THAN ONE STORY. PROVIDE SMOKE DETECTORS AT THE TOP OF COMMON STAIRWELLS SERVING TWO OR MORE TENANTS. (HEALTH AND SAFETY CODE 13113.7).
- 10.SMOKE DETECTORS SHALL BE INSTALLED AS FOLLOWS:

A. INTERCONNECTED SO THAT ACTUATION OF ONE SMOKE DETECTORS ACTIVATE ALL THE SMOKE DETECTORS.

B. IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL.

C. IN EXISTING CONSTRUCTION SMOKE DETECTORS MAY BATTERY OPERATED.
- 11.WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLING OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE DETECTOR IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE DETECTORS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)
- 12.AN APPROVED CARBON MONOXIDE DETECTORS SHALL BE INSTALLES IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLICATIONS ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE DETECTORS SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)

EARTHWORK

1. PRE-MOISTEN EXCAVATIONS FOR FOOTING & SLAB PRIOR TO POURING CONCRETE. THE CONSULTING SOILS ENGINEER SHALL CHECK MOISTURE CONDITIONS.

PLAN CHECK NOTES

1. FIELD CUTTING ENDS, NOTCHES, AND DRILLED HOLES IN PRESERVATIVE TREATED WOOD SHALL BE TREATED IN THE FIELD IN ACCORDANCE WITH AWPA M4
2. HOLD DOWN HARDWARE MUST BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION
3. FASTENERS FOR PRESERVATIVE-TREATED OR FIRE-RETARDANT-TREATED WOOD SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL IN ACCORDANCE WITH ASTM A 153. PER CRC R317.3
4. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST TEN FEET, PER CRC R401.3
5. GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOOR ASSEMBLIES SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS, PER CRC R308.3 AND CRC R308.4
6. APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITHIN 180 DAYS FOLLOWING THE DATE OF APLICATION SHALL AUTOMATICALLY EXPIRE (R105.3.2 CRC)
7. EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE OR IF THE WORK AUTHORAIZED IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS. A SUCCESSFUL INSPECTION MUST BE OBTAINED WITHIN 180 DAYS.
8. PROVIDE SAFETY GLASS FOR BATHROOM WINDOW
9. IT IS THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO REPAIR ALL DAMAGE TO THE EXISTING PUBLIC IMPROVEMENTS DUE TO THE PROPOSED CONSTRUCTION ACTIVITIES AND TO ADDRESS ALL REPAIRS REQUESTED BY THE PUBLIC WORKS INSPECTOR BASED ON THE INSPECTOR'S REVIEW OF THE CURRENT CONDITION OF THE SAID PUBLIC IMPROVEMENT
- 10.UNDERGROUNDING OF ALL EXISTING AND PROPOSED UTILITY LINES IS REQUIRED AS PER CITY OF POMONA MUNICIPAL CODE SECTION 62-31(b)(1); CONTACT THE B&S DEPARTMENT FOR FURTHER STEPS REQUIRED TO BE TAKEN IN ORDER TO COMPLY WITH THIS REQUIREMENT
- 11.THE PARKWAY LANDSCAPING SHALL BE MAINTAINED BY THE PROPERTY OWNER PER CITY OF POMONA MUNICIPAL CODE SECTION 46-496

PLAN CHECK NOTES CONT.

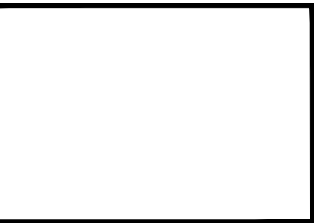
1. ALL OUTDOOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON AND ONE OF THE FOLLOWING:

A. CONTROLLED BY PHOTOCELL AND MOTION SENSOR

B. PHOTO CONTROL AND AUTOMATIC SWITCH CONTROL

C. ASTRONOMICAL TIME CLOCK

D. ENERGY MANAGEMENT CONTROL SYSTEM
2. ATTIC ACCESS DOORS SHALL HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS. THE ATTIC ACCESS SHALL BE GASKETED TO PREVENT LEAKAGE, PER CEC 150(a) 2
3. PROVIDE SEPARATE SWITCH FOR EXHAUST FAN, PER CALIFORNIA ENERGY CODE 150.0(k) 2B.
4. IN BATHROOMS, LAUNDRY ROOMS, UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR, PER CEC 150.0(k) 2J.



PROJECT DESCRIPTION

353 S.F. ADDITION OF 1
BEDROOM/BATHROOM
TO EXISTING SINGLE
FAMILY DWELLING

PROJECT INFORMATION:

OWNER:
**FREDDIE AND VANESSA
MARTINEZ**
P: 877-572-6579

ADDRESS:
**1462 ALAMEDA ST.
PAMONA, CA 91768**

START DATE:
NOV 5, 2017

PRINT DATE:
Feb 7, 2018 (4:12 PM)

DWG. SCALE: NOTED

DRAWN BY:
TIMOTHY TERNDRUP

