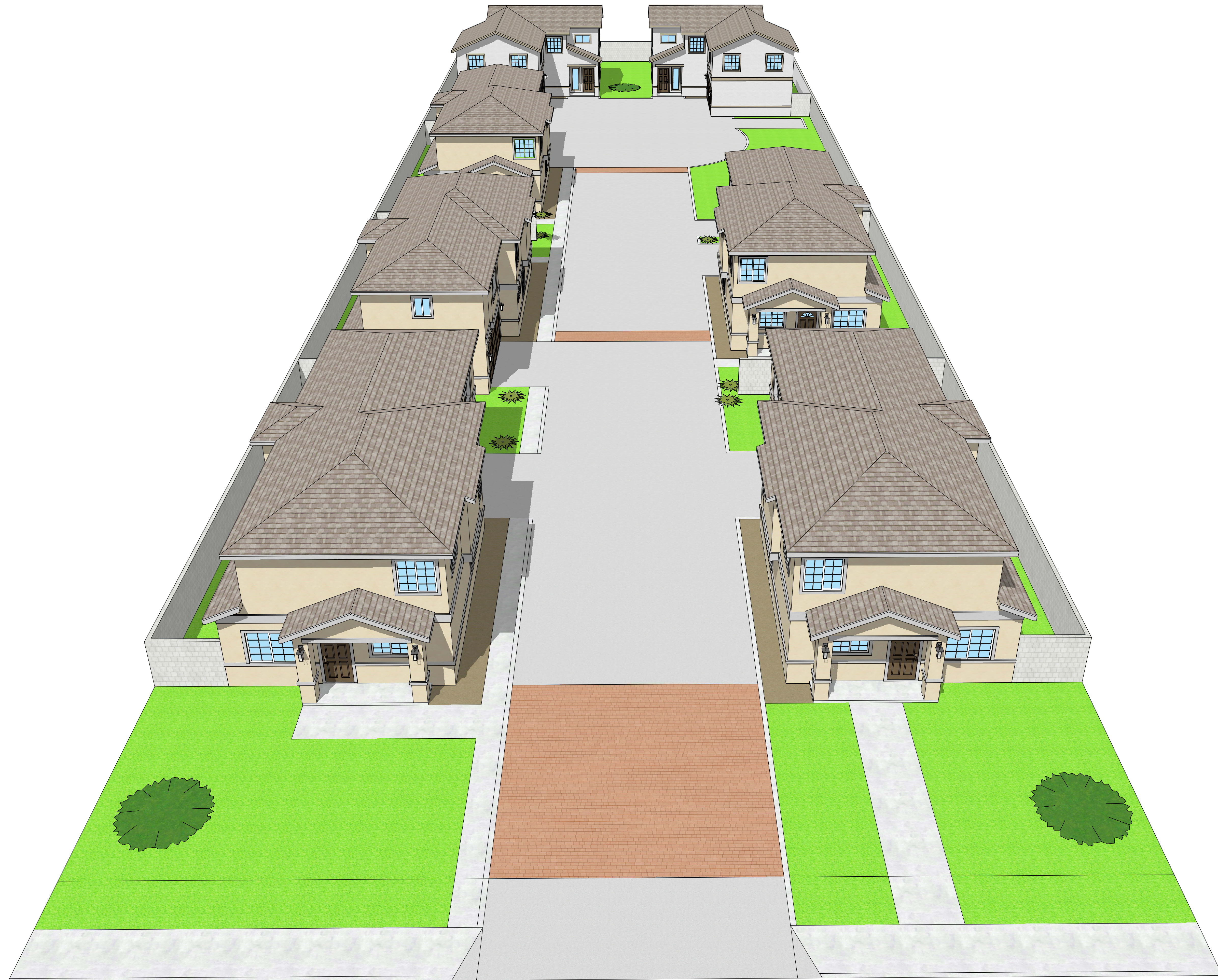


SITE PLAN

SCALE: 3/32"=1'-0"

XAVIER
DESIGN
GROUP

4481 Pondmoor Dr
Riverside
California 92505
951 830 2018



XAVIER
DESIGN
GROUP

4481 Pondmoor Dr
Riverside
California 92505
951 830 2018



FRONT ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 1/4"=1'-0"

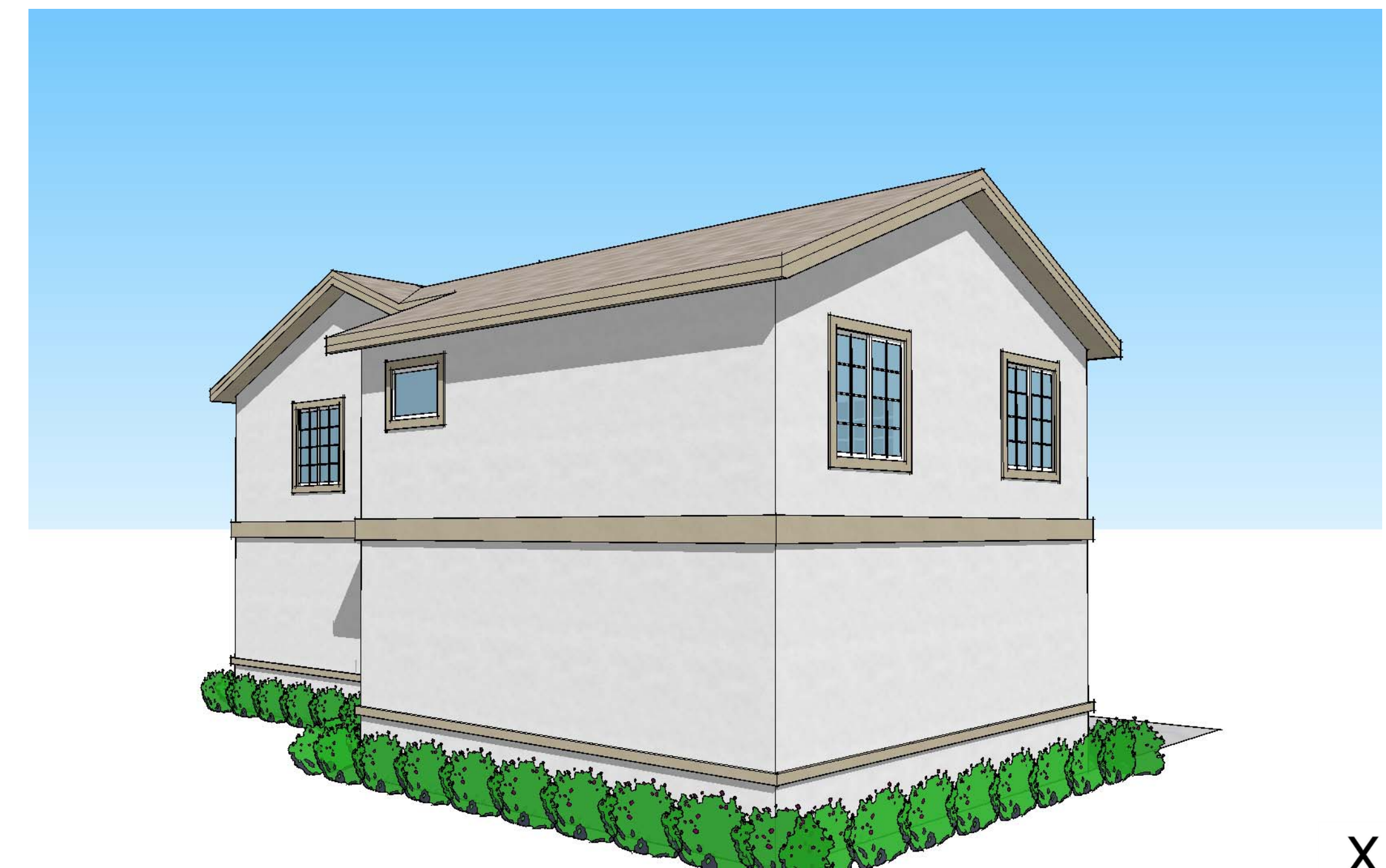


RIGHT ELEVATION

SCALE: 1/4"=1'-0"

XAVIER
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4481 Pondmoor Dr
Riverside
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951 830 2018



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DESIGN
GROUP

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951 830 2018



FRONT ELEVATION

SCALE: 1/4"=1'-0"



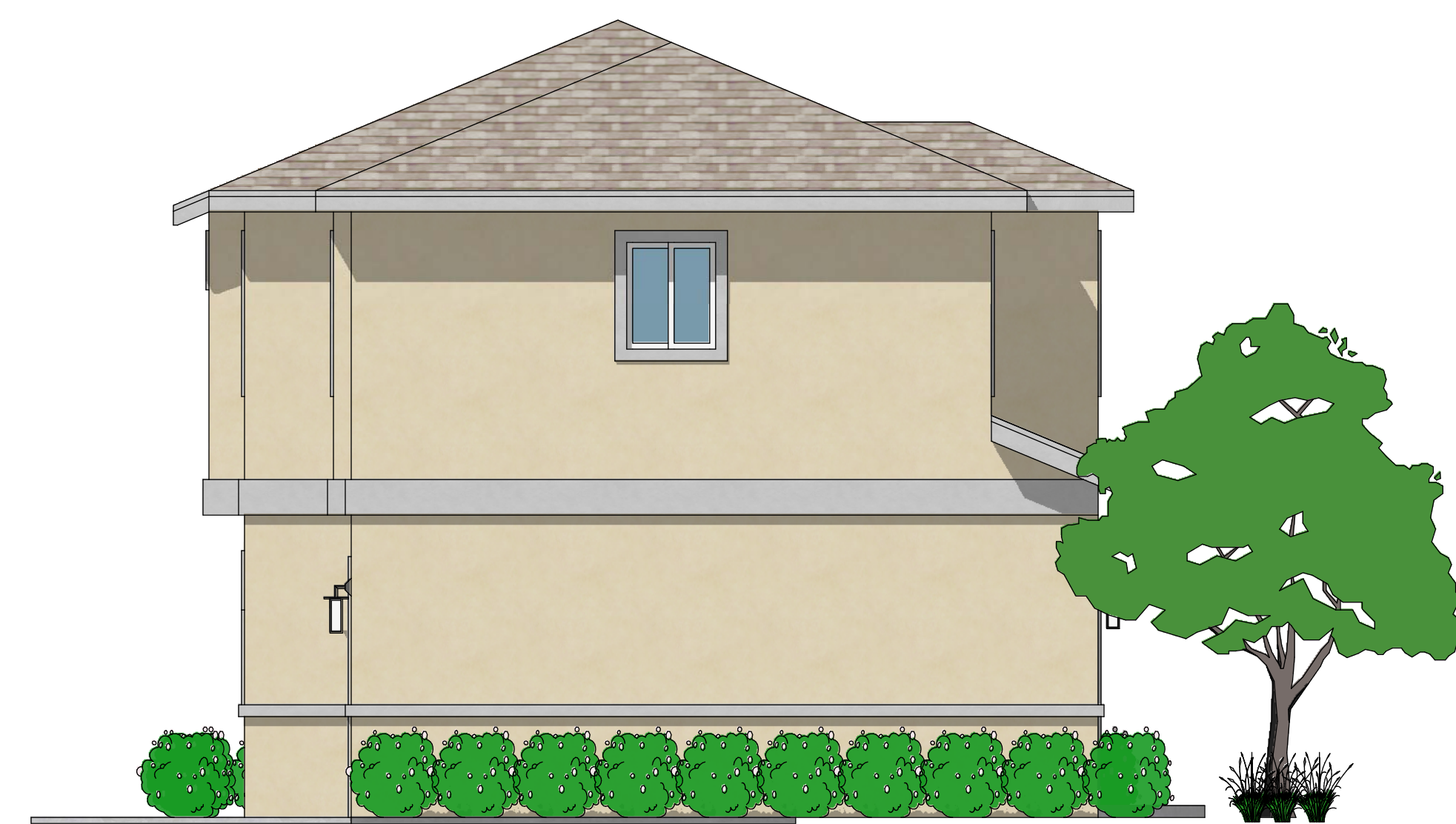
LEFT ELEVATION

SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 1/4"=1'-0"

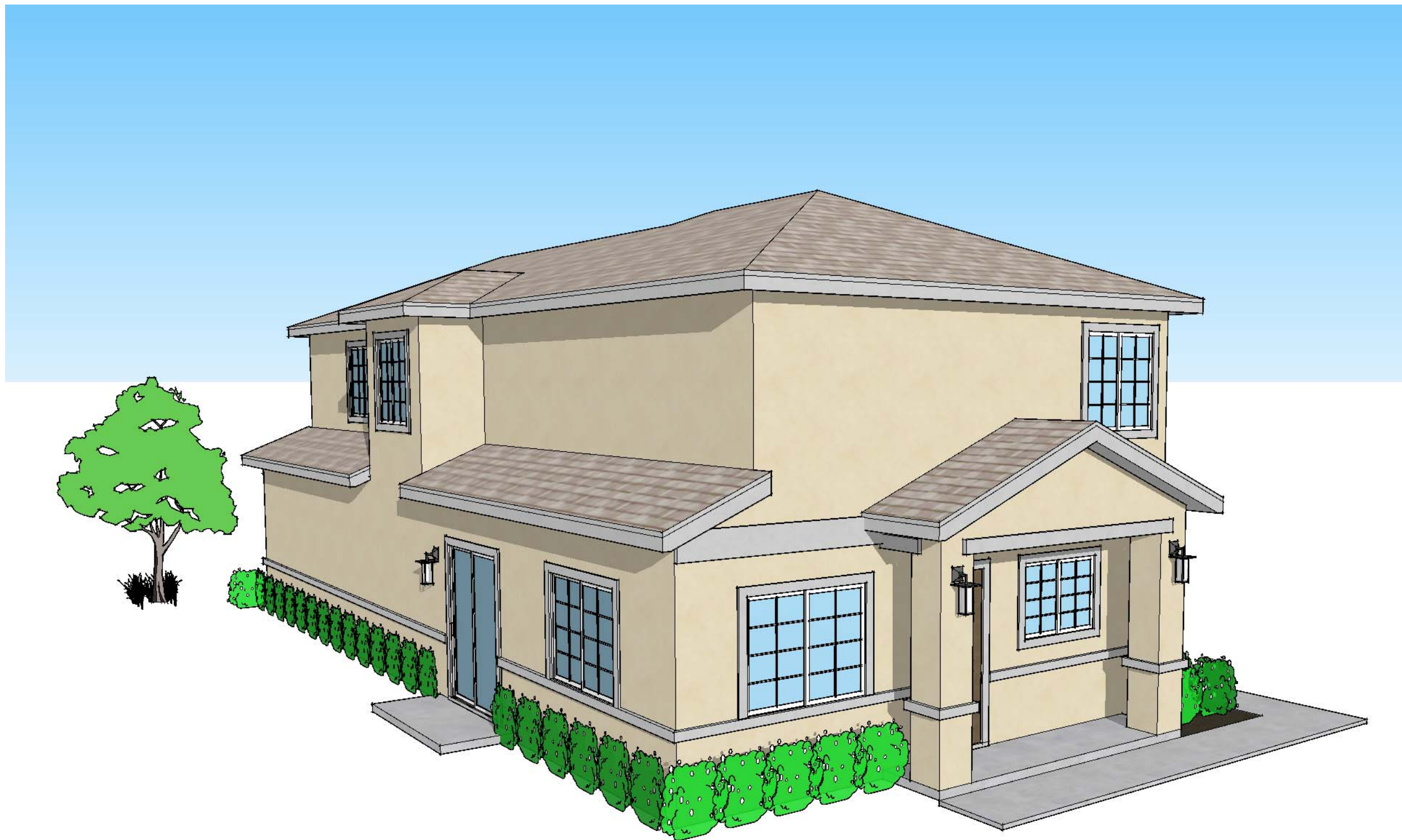
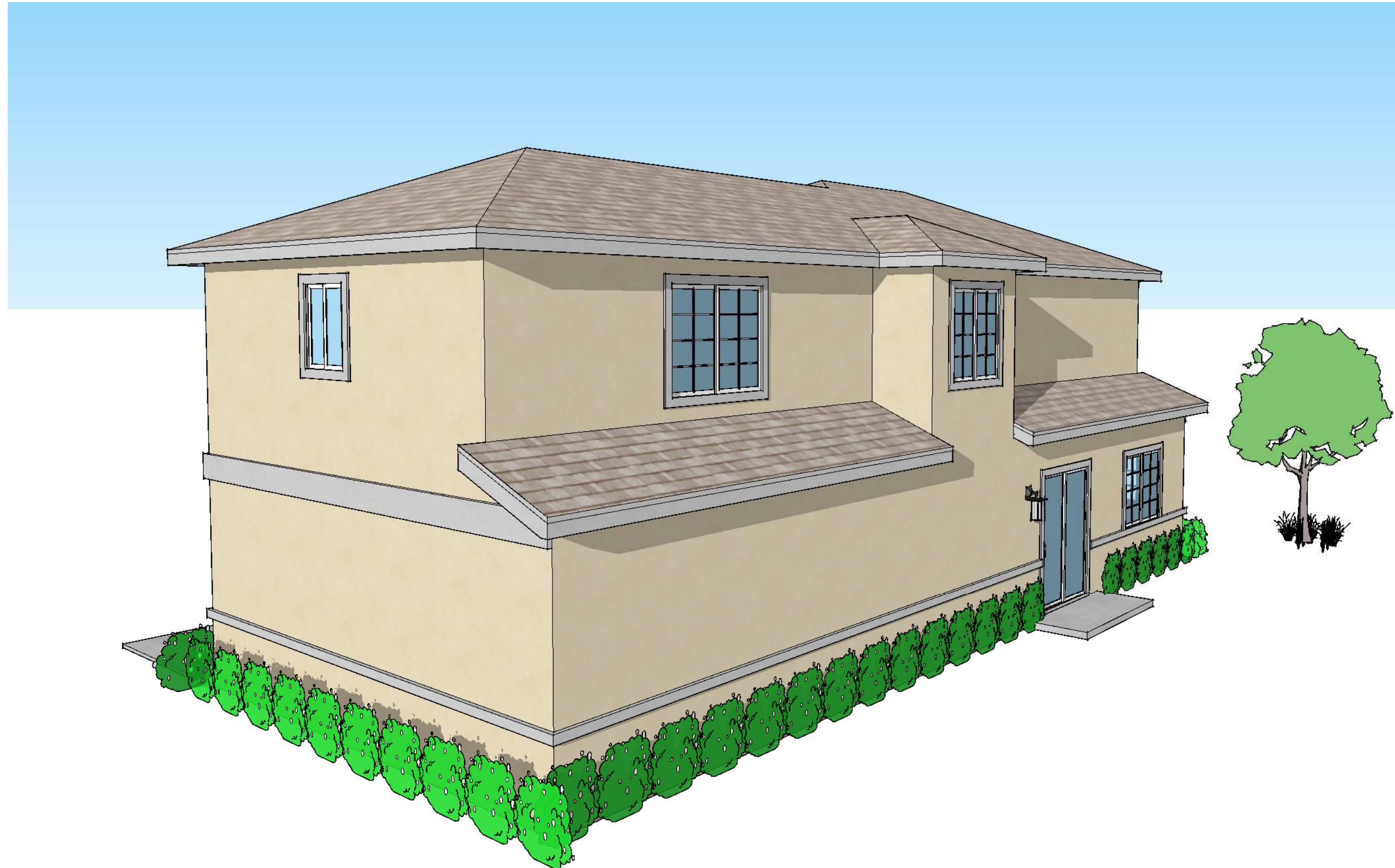
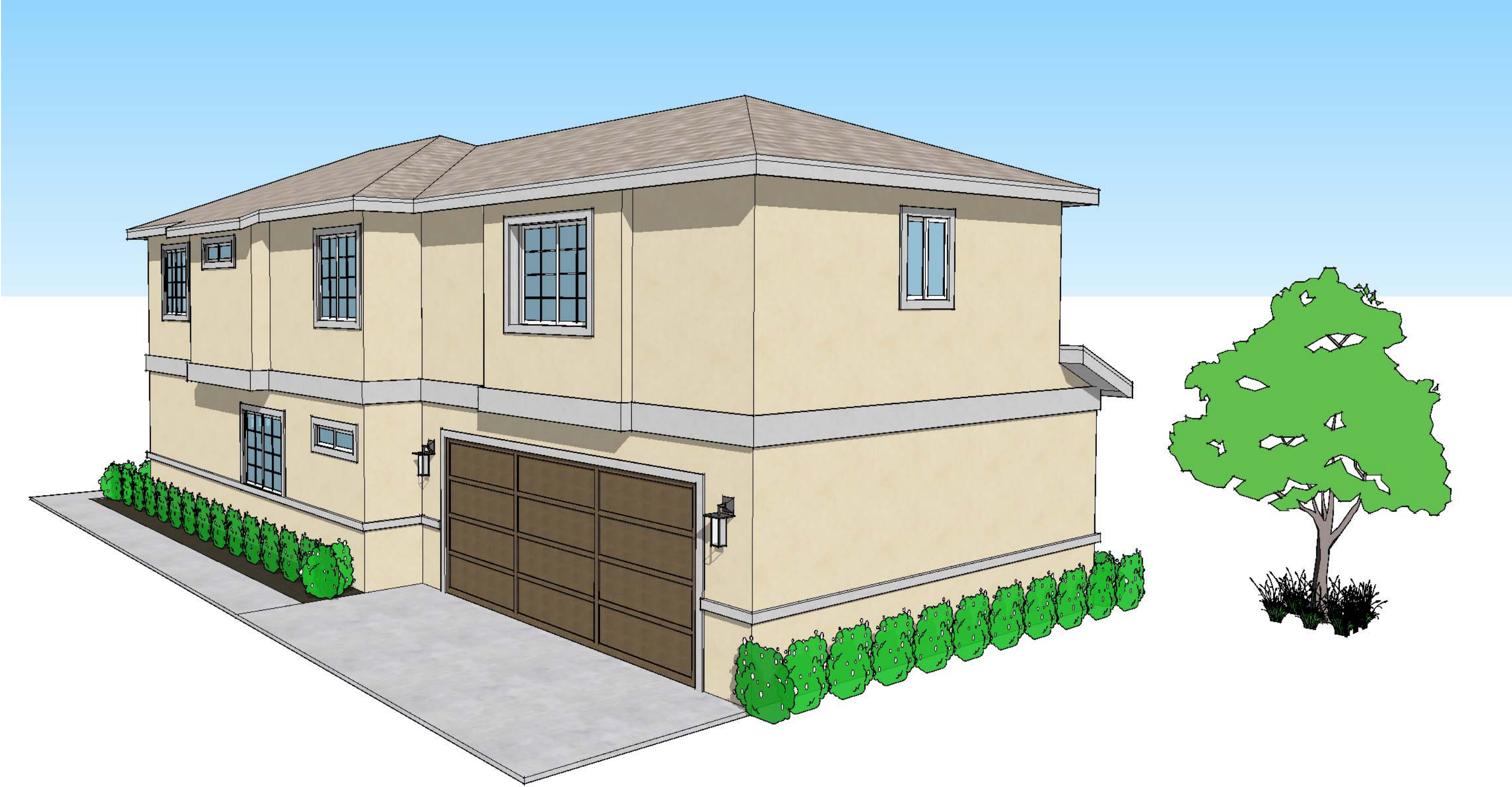


RIGHT ELEVATION

SCALE: 1/4"=1'-0"

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951 830 2018



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GROUP

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Riverside
California 92505
951 830 2018

POMONA DEVELOPMENT INC.
590 W. GRAND AVE, POMONA, CA 91766

GENERAL NOTE	
<p>1. THE INTENT OF THESE DRAWINGS IS TO PROVIDE A COMPLETE AND FINISHED JOB IN ALL RESPECTS. CONTRACTOR IS TO MAKE ACCURATE FIELD INSPECTIONS OF ALL ASPECTS OF THE JOB, VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO STARTING WORK, AND NOTIFY THE OWNER/DESIGNER OF ANY DISCREPANCIES OR REQUIRED INFORMATION THAT DOES NOT APPEAR ON THE DRAWINGS.</p> <p>2. ALL WORK, CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE CURRENT EDITION OF ALL RELEVANT BUILDING, ZONING, MECHANICAL, PLUMBING, ELECTRICAL, ACCESSIBILITY AND FIRE SAFETY CODES IN EFFECT AND WITH ALL OTHER RULES, REGULATIONS AND ORDINANCES GOVERNING THE PLACE OF THE BUILDING. CODE REQUIREMENTS TAKE PRECEDENCE OVER THE DRAWINGS, AND IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO INSTALL OR PERFORM HIS WORK IN CONFORMANCE WITH AFOREMENTIONED CODES, AND TO BRING TO THE ATTENTION OF THE OWNER/DESIGNER ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND THE PROVISIONS OF THE CODE PRIOR TO CONSTRUCTION.</p> <p>3. WHERE ANY CONFLICT OCCURS BETWEEN THE REQUIREMENTS OF FEDERAL, STATE OR LOCAL LAWS, CODES, ORDINANCES, RULES OR REGULATIONS THE MOST STRINGENT SHALL GOVERN.</p> <p>4. CONTRACTOR TO SECURE NECESSARY DEMOLITION PERMITS PRIOR TO THE EXCAVATION OF THE WORK AND SHALL TAKE FULL RESPONSIBILITY FOR ANY AND ALL SHORING, GRIBBING, SCAFFOLDING, AND ANY AND ALL OTHER TEMPORARY SUPPORTING DEVICES REQUIRED FOR THE EXCAVATION OF THE WORK. CONTRACTOR SHALL ALSO MAKE NECESSARY ARRANGEMENTS WITH THE GOVERNING POWER, PHONE, CABLE, SEWER, WATER, STORM DRAIN, GAS, AND ALL OTHER MUNICIPAL, STATE, COUNTY AND UTILITY AGENCIES FOR ON-SITE SERVICE INTERRUPTION, LOCATION OF NEW AND EXISTING TO BE RELOCATED UTILITIES, TEMPORARY SERVICES, REALIGNMENTS OF SURFACE METERS, VAULTS AND PLATES OR ANY ASPECT OF THE PROJECT REQUIRING SIMILAR LIAISON AND COORDINATION. ALL UTILITY EQUIPMENT, METERS, PANELS, OVERHEAD LINES AND EXPOSED PIPING SHALL BE LOCATED PRECISELY AS SHOWN ON THE DRAWINGS; WHEN NOT SHOWN, COORDINATE LOCATION WITH OWNER/DESIGNER PRIOR TO COMMENCING WORK. NO EXTRAS WILL BE ALLOWED FOR RELOCATING INCORRECTLY POSITIONED VISIBLE EQUIPMENT, METERS, PANELS, WIRING, PIPING AND THE LIKE.</p> <p>5. OWNER SHALL PAY FOR THE PLAN CHECK AND BUILDING PERMIT FEES; CONTRACTOR SHALL PAY FOR ALL OTHER PERMITS AND FEES.</p> <p>6. CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY AND SECURITY PRECAUTION PROGRAMS IN CONNECTION WITH THE WORK.</p> <p>7. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND MEASUREMENTS AT THE JOB SITE. DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER/DESIGNER. CORRECTIONS OR INSTRUCTIONS SHALL BE ISSUED BY THE OWNER/DESIGNER PRIOR TO THE EXECUTION OF THE WORK. BY SUBMITTING A BID FOR THE WORK THE CONTRACTOR VERIFIES THAT HE AND APPROPRIATE SUBCONTRACTORS HAVE FAMILIARIZED THEMSELVES WITH ACTUAL SITE CONDITIONS VISIBLE FROM THE EXTERIOR OR INTERIOR OF THE PREMISES OR FROM ACCESSIBLE ATTIC AND UNDER-FLOOR AREAS. NO EXTRAS WILL BE ALLOWED FOR RECTIFYING CONDITIONS VISIBLE AT THE TIME OF BIDDING.</p> <p>8. ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT SHALL BE NEW AND FREE OF FAULTS AND DEFECTS. ENGAGE FULLY LICENSED AND INSURED MECHANICS AND SPECIALISTS IN THEIR TRADE FOR FIRST CLASS WORKMANSHIP THROUGHOUT ALL VISIBLE AREAS OF THE PROJECT.</p> <p>9. SHOP DRAWINGS, SAMPLES, CATALOG CUTS, PROJECT DATA, PERFORMANCE CHARTS, INSTRUCTION MANUALS, BROCHURES AND OTHER INFORMATION SHALL BE SUBMITTED TO THE OWNER/DESIGNER WHEN REQUESTED. NO PORTION OF SUCH WORK OR SUCH MATERIALS SHALL BE COMMENCED OR ORDERED UNTIL SUBMITTAL HAS BEEN APPROVED BY ARCHITECT AND OWNER.</p> <p>10. THE DESIGNER AS THE OWNER'S AGENT SHALL DECIDE ALL QUESTIONS AS TO THE INTENT OF THE DRAWINGS AND THE MERIT OF THE MATERIALS AND WORKMANSHIP. DESIGNER'S DECISION IN ALL MATTERS PERTAINING TO AESTHETICS SHALL BE FINAL.</p> <p>11. THE CONTRACTOR SHALL GUARANTEE ALL ASPECTS OF HIS WORK AGAINST DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE</p>	<p>DATE OF COMPLETION OF THE PROJECT. THIS IS IN ADDITION TO ANY OTHER EQUIPMENT AND MATERIAL WARRANTIES AND GUARANTEES IN EFFECT.</p> <p>12. OBTAIN ANY NECESSARY PERMIT FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE ISSUANCE OF GRADING PERMITS FOR ANY TRENCHES GREATER THAN 5 FEET IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND.</p> <p>13. ALL MATERIALS, EQUIPMENT, OR TRADES REQUIRING LEAD TIME OR ORDERING SHALL BE SCHEDULED BY CONTRACTOR TO ALLOW FOR THE TIMELY EXECUTION OF THE WORK. NO CHANGES OR EXTRAS WILL BE GRANTED FOR MATERIAL ORDERED WITH INSUFFICIENT TIME FOR THEIR PROPER CONSTRUCTION AND IMPLEMENTATION. CONTRACTOR SHALL NOTIFY THE OWNER/DESIGNER WITHIN 7 DAYS OF SIGNING THE CONTRACT FOR CONSTRUCTION OF ANY PROBLEMS IN OBTAINING THE MATERIALS AND FINISHES SPECIFIED.</p> <p>14. CONTRACTOR SHALL SUBMIT TO THE OWNER/DESIGNER WITHIN THREE WEEKS OF SIGNING THE CONTRACT FOR CONSTRUCTION A WEEK BY WEEK SCHEDULE FOR THE PROJECT AS IT IS OUTLINED AT THAT TIME. SUBSTANTIAL REVISIONS IN THIS SCHEDULE SHALL BE REPORTED TO THE OWNER/DESIGNER DURING THE COURSE OF CONSTRUCTION.</p> <p>15. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES DONE TO EXISTING WORK DURING CONSTRUCTION, AND SHALL REPAIR AND REFINISH SUCH DAMAGES TO FORMER CONDITION AT NO EXPENSE TO THE OWNER. CONTRACTOR SHALL PROTECT WORK AND ADJACENT NON-WORK AREAS FROM WEATHER, EQUIPMENT, DUST AND DEBRIS, AND SHALL BE RESPONSIBLE FOR MAINTAINING THE PREMISES IN A CLEAN AND SAFE CONDITION AT ALL TIMES.</p> <p>16. CONTRACTOR SHALL EMPLOY A COMPETENT SUPERINTENDENT IN ATTENDANCE AT THE PROJECT SITE AT ALL TIMES DURING THE PROGRESS OF THE WORK.</p> <p>17. UNLESS NOTED OTHERWISE IN THE DRAWINGS ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF STUD OF THE DIMENSIONED ASSEMBLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ALLOW FOR THE FINISH MATERIALS WHEN POSITIONING WALL, FLOOR, AND ROOF FRAMING AS REQUIRED TO YIELD THE VISIBLE LINES AND PLANES DESCRIBED IN THE DRAWINGS.</p> <p>18. TOP OF STEEL ELEVATIONS ARE PROVIDED IN THE DRAWINGS AS AN AID TO THE STEEL SUBCONTRACTOR; NOTWITHSTANDING, THE CONTRACTOR SHALL BEAR RESPONSIBILITY FOR VERIFYING ELEVATIONS IN GENERAL. SUBMISSION OF SHOP DRAWINGS SHALL BE CONSTRUED AS SAID VERIFICATION AND ACCEPTANCE. OWNER/DESIGNER SHALL BE NOTIFIED IMMEDIATELY OF ANY CONFLICTS OR INCONSISTENCIES.</p> <p>19. THE INTENT OF THIS PROJECT IS TO CONSTRUCT THE BUILDINGS DESCRIBED HEREIN. ADDITIONAL INFORMATION WILL BE PROVIDED BY THE DESIGNER AS REQUESTED BY THE CONTRACTOR IN SPECIFIC AREAS BUT ANY SUCH PROVISION SHALL IN NO WAY RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PROVIDE THE BUILDING DESCRIBED IN THE CONTRACT DOCUMENTS.</p> <p>20. THE CONTRACT DOCUMENTS CONSIST OF THE FOLLOWING: A. DRAWINGS AS LISTED IN SHEET INDEX HEREON. B. STRUCTURAL CALCULATIONS. C. TITLE 24 ENERGY CALCULATIONS. D. ALL ADDENDA AND MODIFICATION ISSUED PRIOR TO AND AFTER EXECUTION OF THE AGREEMENT. E. SOILS REPORT.</p> <p>21. THE OWNER RESERVES THE RIGHT TO ENTER UPON THE SITE AND INTO THE BUILDING, AND TO OCCUPY PORTIONS OF THE BUILDING PRIOR TO THE DATE OF SUBSTANTIAL COMPLETION, PROVIDED SAME DOES NOT INTERFERE WITH THE WORK UNDER THE CONTRACT. EXERCISE OF THIS RIGHT SHALL IN NO WAY BE DEEMED TO BE ACCEPTANCE BY THE OWNER OF THE WORK.</p> <p>22. WHEN REQUESTED IN THE DRAWINGS OR SPECIFICATION, THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO THE OWNER/DESIGNER. PRIOR TO SUBMISSION TO THE OWNER/DESIGNER, THE CONTRACTOR SHALL CHECK ALL SHOP DRAWINGS AND OTHER SUCH DATA FOR QUANTITY, SIZE AND DIMENSIONS. DESIGNER WILL ANSWER QUESTIONS RAISED AND WILL MAKE DETERMINATIONS REGARDING QUALITY OF MATERIALS AND EQUIPMENT, DESIGN AND ARRANGEMENT DECISIONS AND COLOR SELECTIONS BUT WILL NOT BE RESPONSIBLE FOR QUANTITY, SIZE OR DIMENSIONAL ERRORS. SUBMIT THREE COPIES OF DRAWINGS REQUESTED, ONE TO BE RETAINED BY THE DESIGNER.</p> <p>23. PROVIDE TEMPORARY TELEPHONE SERVICE AT THE SITE THROUGH THE DURATION OF THE WORK, AND MAKE AVAILABLE TO OWNER AND OWNER'S REPRESENTATIVES FOR CALL IN DIRECT CONNECTION WITH THE WORK.</p> <p>24. ALL BIDDERS SUBMITTING BIDS FOR THIS WORK SHALL FIRST EXAMINE THE SITE, AND ALL CONDITIONS AND LIMITATIONS THEREON AND THEREABOUTS. BIDS SHALL TAKE INTO CONSIDERATION ALL SUCH CONDITIONS AND LIMITATION, WHETHER OR NOT THE SAME ARE SPECIFICALLY SHOWN OR MENTIONED IN THE CONTRACT DOCUMENTS, AND BIDS SUBMITTED SHALL BE CONSTRUED AS INCLUDING SUMS NECESSARY TO COMPLETE THE WORK IN EVERY PART SHOWN, DESCRIBED, OR REASONABLY REQUIRED OR IMPLIED.</p> <p>25. IN CASE OF CONFLICTING INFORMATION WITHIN THE CONTRACT DOCUMENTS: A. LARGER SCALE DRAWINGS SHALL HAVE PRECEDENCE OVER SMALLER SCALE DRAWINGS. B. NOTES IN THE SPECIFICATIONS SHALL HAVE PRECEDENCE OVER UNNOTED DRAWINGS. C. NOTES IN THE DRAWINGS SHALL HAVE PRECEDENCE OVER NOTES IN THE SPECIFICATIONS. D. DIMENSIONS IN THE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.</p> <p>NOTIFY THE OWNER/DESIGNER IMMEDIATELY WHEN CONFLICT ARISES.</p> <p>26. THE OWNER EXPRESSLY RESERVES THE RIGHT TO LET OTHER CONTRACTS AND TO EMPLOY OTHER CONTRACTORS IN CONNECTION WITH THIS PROJECT. IN ADDITION, THE OWNER RESERVES THE RIGHT TO FURNISH VARIOUS MATERIALS, FIXTURES, AND EQUIPMENT TO BE INSTALLED BY THE CONTRACTOR IN CONNECTION WITH THIS PROJECT.</p> <p>27. THE OWNER RESERVES THE RIGHT, WITHOUT INVALIDATING THE CONTRACT, TO ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO OR DEDUCTING FROM THE WORK, WITH THE CONTRACT SUM BEING ADJUSTED</p> <p>BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES</p> <p>1. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.</p> <p>2. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.</p> <p>3. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS ARE TO BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO BE CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.</p> <p>4. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE OF DISPOSED OF AS SOLID WASTE.</p> <p>5. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.</p> <p>6. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.</p> <p>7. ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.</p> <p>SPECIAL NOTES:</p> <p>1. THIS PROJECT SHALL BE BUILT IN COMPLIANCE WITH THE FOLLOWING: i) PER ORDINANCE NO.2696, ALL NEW UTILITY SERVICES SHALL BE INSTALLED UNDERGROUND. ii) THE AMERICAN WITH DISABILITIES ACT (ADA) AND TITLE 24. iii) ORDINANCE NO. 3444, AND THE STATE CODES AS MANDATED TO BE ENFORCED BY THE CITY. iv) A GARBAGE DISPOSAL IS REQUIRED PER ORDINANCE 3854.</p> <p>2. i) SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HVAC, PLANTER CURB, DRAINAGE STRUCTURES ON SITE, GRADING, AC PAVING, BLOCK WALLS, ON-SITE SEWER AND DEMOLITION. ii) FOUNDATION/ GRADING TO BE CONSTRUCTED PER REGISTERED ENGINEER'S SOILS REPORTS AND RECOMMENDATIONS.</p>

	<p>N.T.S.</p>
	<p>N.T.S.</p>
<p>PROJECT ARCHITECT</p>	
<p>AP DESIGN 626-458-8111</p>	
<p>CIVIL CONSULTANT</p>	
<p>TRITECH ASSOCIATES 135 N. San Gabriel Blvd. San Gabriel, CA 91776 Tel: 626-570-1918 Fax: 626-570-1212</p>	
<p>STRUCTURAL CONSULTANT</p>	
<p>T & W CONSULTING ENGINEERS 1168 San Gabriel Blvd. Suite N Rosemead, CA 91770 Tel: 626-288-0708</p>	
<p>LANDSCAPE CONSULTANT</p>	
<p>TERRY LEE DESIGN GROUP 220 W. Leslie Dr. San Gabriel, CA 91775 Tel: 626-285-6522 Fax: 626-285-6479</p>	

PROJECT SUMMARY

1. PROJECT ADDRESS: 590 W. GRAND AVE
POMONA, CA
2. OWNER: POMONA DEVELOPMENT INC.
P.O. BOX 11183, WHITTIER,
CA 90603-0183
3. APPLICANT: BILL WONG
1008 W. GRAND AVE.,
POMONA, CA 91766 (714) 773-1271
4. ARCHITECT: STEPHEN LAM & ASSOCIATES
(626) 300-5483
5. ASSESSOR'S PARCEL NUMBER:
APN #8343-005-042
6. LEGAL DESCRIPTION: POMONA TRACT W 98.33 FT
OF N 305 FT OF LOT 1 BLK 188.
7. LOT SIZE: 306.95'X 98.33' OR 30,181 S.F.
8. LOT COVERAGE:
FOOTPRINT TYPE A: 1,056 S.F.X2 UNITS=2,154 S.F.
TYPE B: 1,138 S.F.X5 " " =5,690 S.F.
TOTAL: 7,844 S.F.
7,844 S.F./ 30,181 S.F. X100% = 25.99%
9. FLOOR AREA:
TYPE A: 623 S.F.(1/F)+1,008 S.F.(2/F)= 1,631 S.F.
TYPE B: 701 S.F.(1/F)+946 S.F.(2/F)= 1,647 S.F.
10. OCCUPANCY TYPE: R-3
11. CONSTRUCTION TYPE: TYPE V-N
12. BUILDNG HEIGHT: 22'-5"±~22"-8"±
13. BUILDING SEPARATION: 15'-0" MIN.
14. SETBACK:
25'-0" F/Y;
5'-0" S/Y GARAGE SETBACK~
10'-6"~12'-0"± 2/F S/Y SETBACK (9'MIN. REQ'D)
20'-0" R/Y
15. PARKING INFO.: 2 CAR (GARAGED) PER DWELLING
2 GUEST PARKING (OPEN)
16. LANDSCAPED AREA: LANDSCAPE @ ALL COMMON
AREA & ALONG DRIVEWAY: 4,650 S.F.

CODE:
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA PLUMBING CODE

[illegible]

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Job Address:
7-UNITS CONDOMINIUM
590 W. Grand Ave.
Pomona, CA 91766

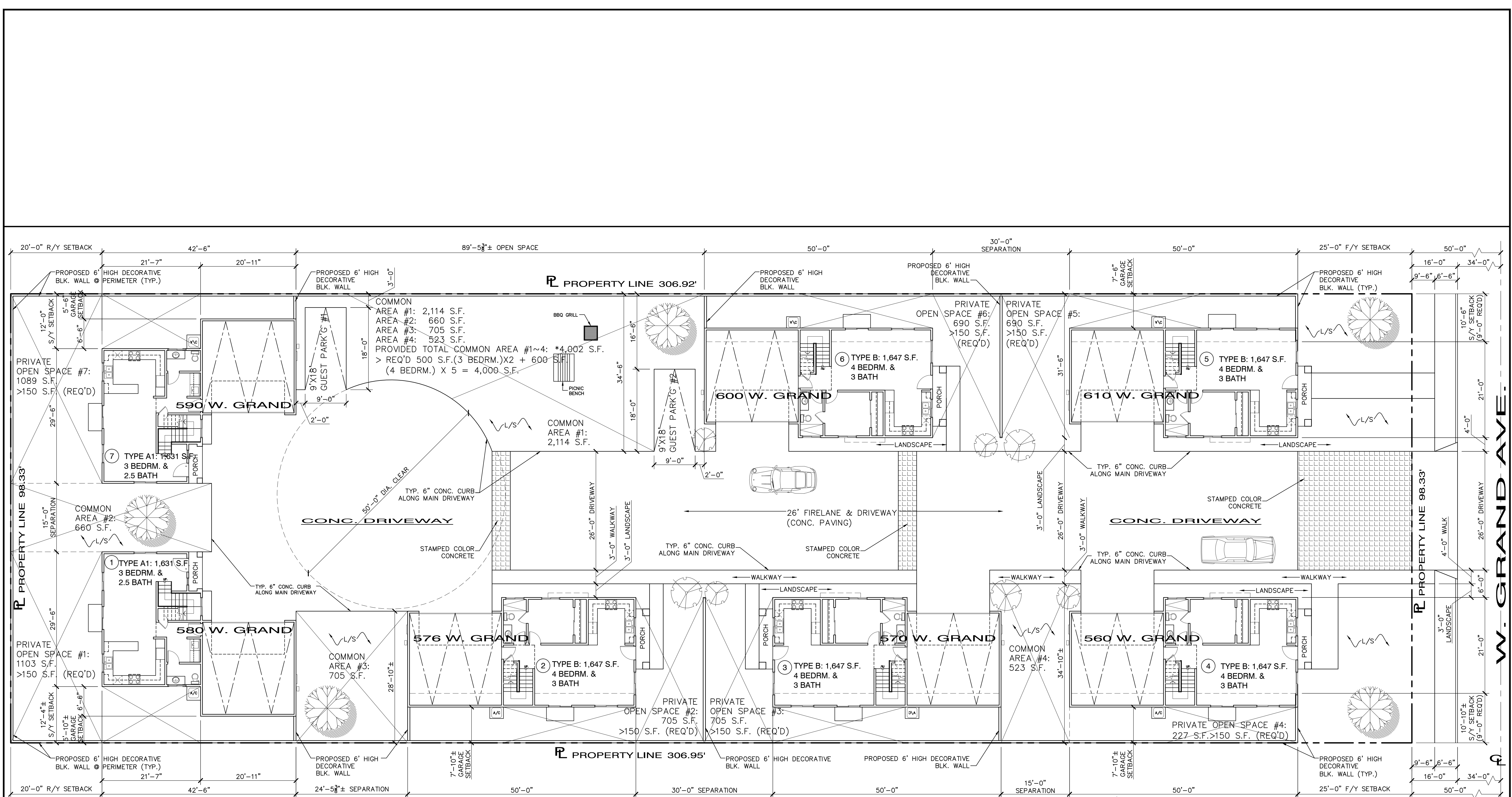
Sheet Content:
**GENERAL NOTES; PROJECT SUMMARY;
BEST MANAGEMENT PRACTICE NOTE;
VICINITY MAP.**

Scale: AS SHOWN

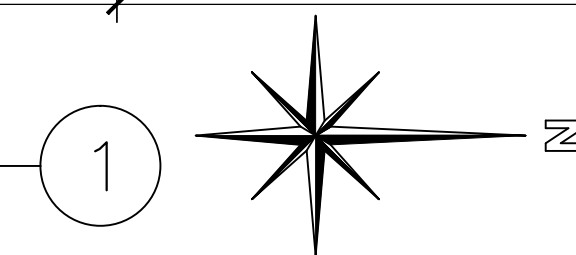
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SITE PLAN
SCALE: 1"=10'-0"



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626.458.8111

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POMONA, CA 91766

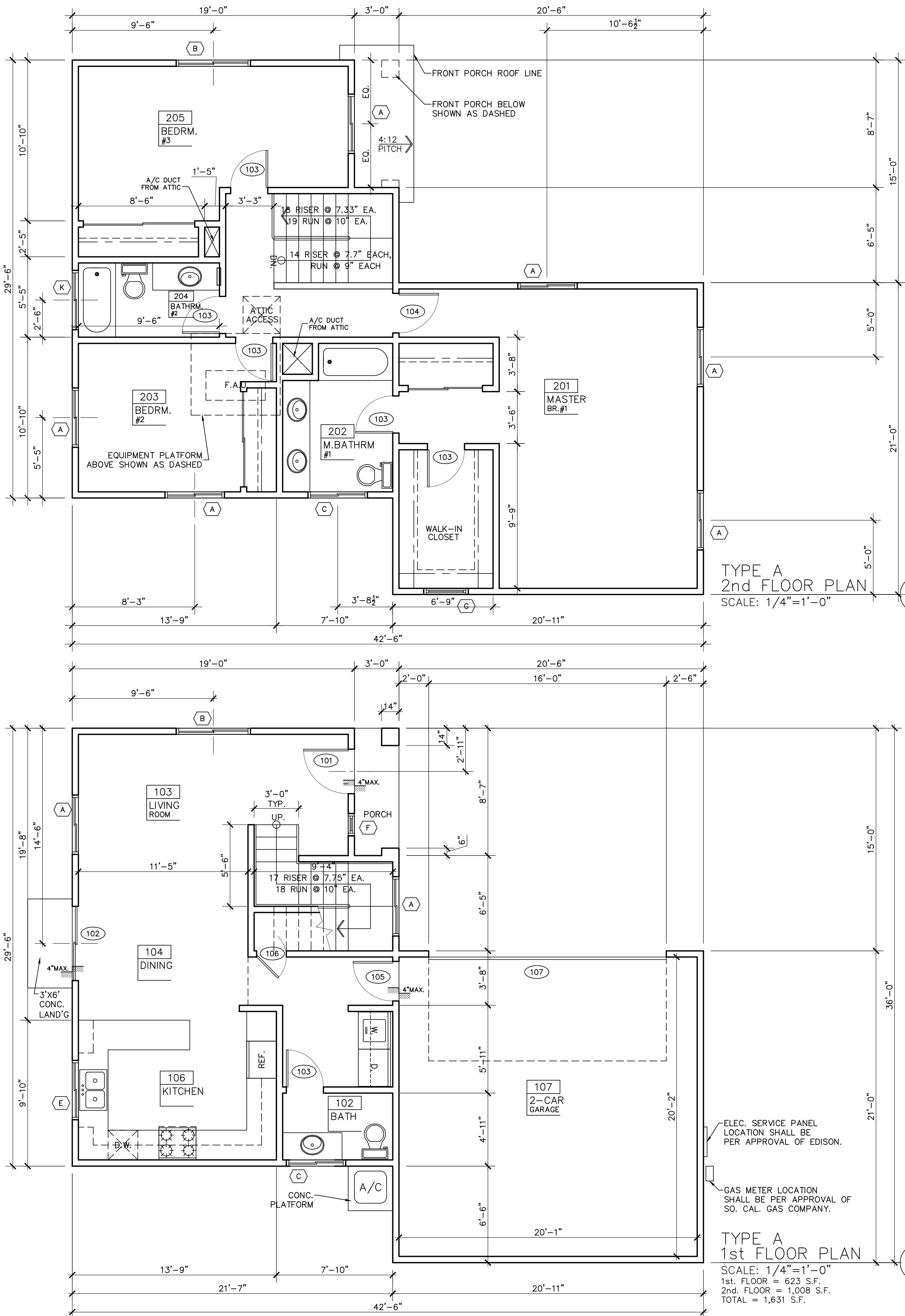
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SITE PLAN

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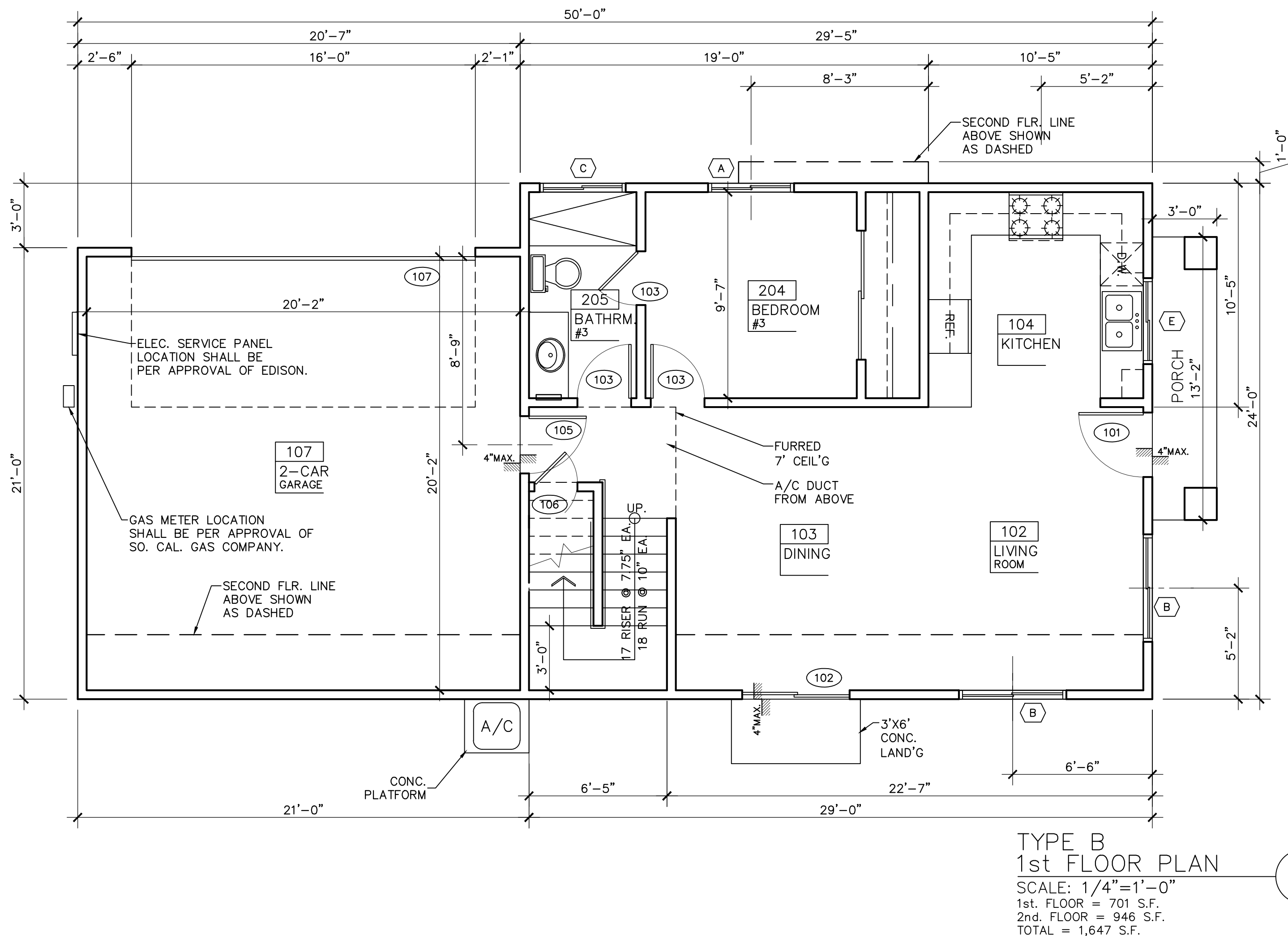
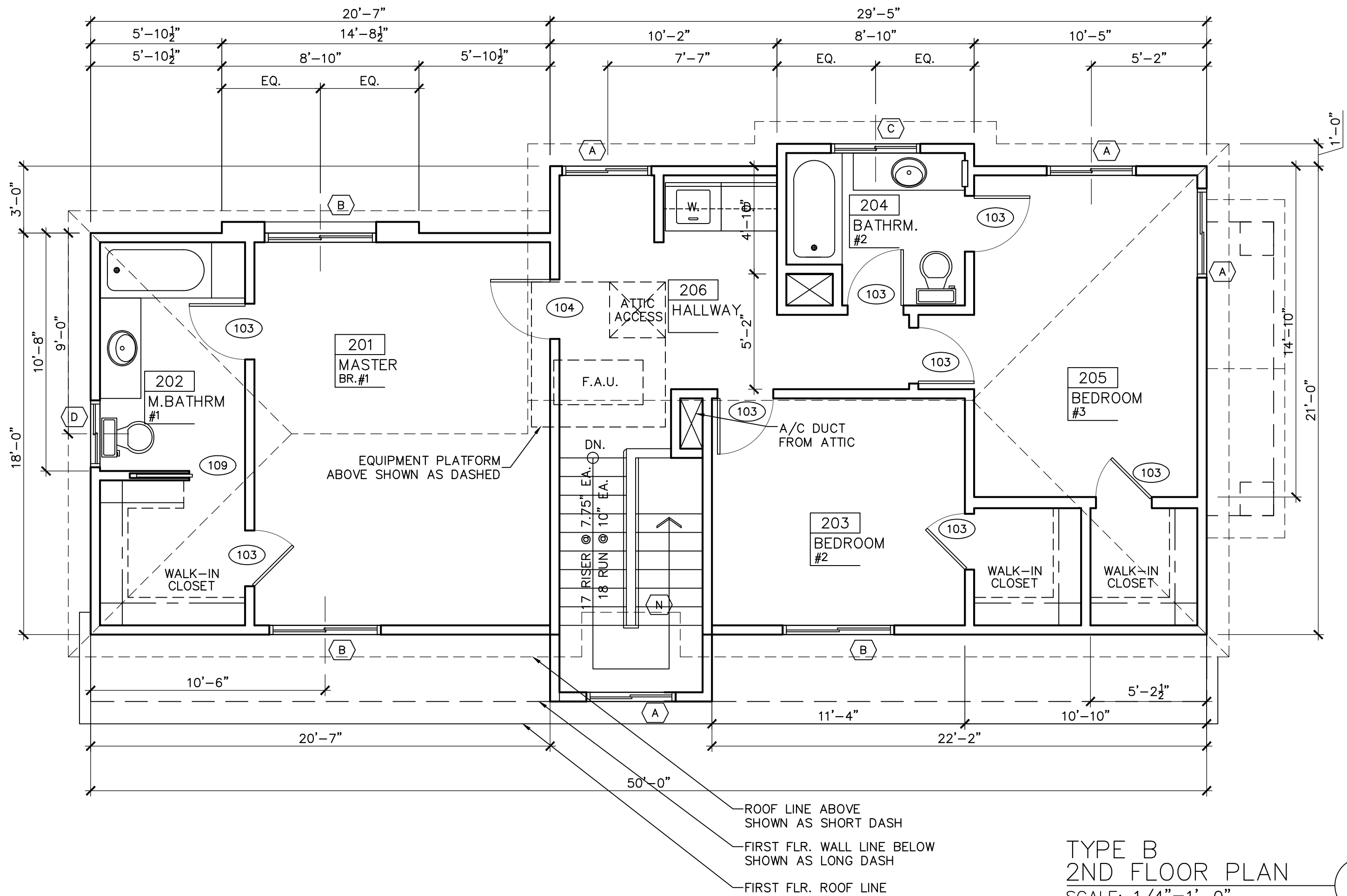
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Job Address:	
Sheet Content: FLOOR PLANS TYPE A (TYP. UNIT) TYPE B (TYP. UNIT)	
Date: 02-28-2017	
Scale: 1/4" = 1'-0"	
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Job Address:
7-UNITS CONDOMINIUM
590 W. Grand Ave.
Pomona, CA 91766

Sheet Content:
FLOOR PLANS
TYPE B
FLOOR PLAN NOTES
ELEC. NOTES

THESE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGN AND APPEARANCES REPRESENTED THEREIN, ARE THE SOLE PROPERTY OF AP DESIGN. NO PART THEREOF SHALL BE COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF AP DESIGN. YOUR CONTRACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE YOUR AGREEMENT TO THESE DRAWINGS. NO OTHER CONTRACTS, AGREEMENTS, OR SPECIFICATIONS SHALL HAVE PRECEDENCE OVER THESE DRAWINGS. NO DIMENSIONS OR CONDITIONS ON THE JOB AND THE CONTRACT SHALL BE CHANGED BY ANY HANDS FROM THE DRAWINGS, SHOP DETAIL MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW BEFORE PROCEEDING WITH THE FABRICATION.

Date: 02-28-2017

Scale: 1/4" = 1'-0"

Drawn: I.W.

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590 W. Grand Ave.
Pomona, CA 91766

Sheet Content:
ELEVATIONS
TYPE A

THESE DRAWINGS AND SPECIFICATIONS ARE IDEAS, CONCEPTS AND ARRANGEMENTS PREPARED BY THE CONTRACTOR AND SHALL REMAIN THE PROPERTY OF AP DESIGN. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF AP DESIGN. ANY CONTACT WITH AP DESIGN CONCERNING THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF THESE INTENTIONS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR, THE ACCURACY OF ALL DIMENSIONS. IF ANY DISCREPANCY MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAIL MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW BEFORE PROCEEDING WITH THE

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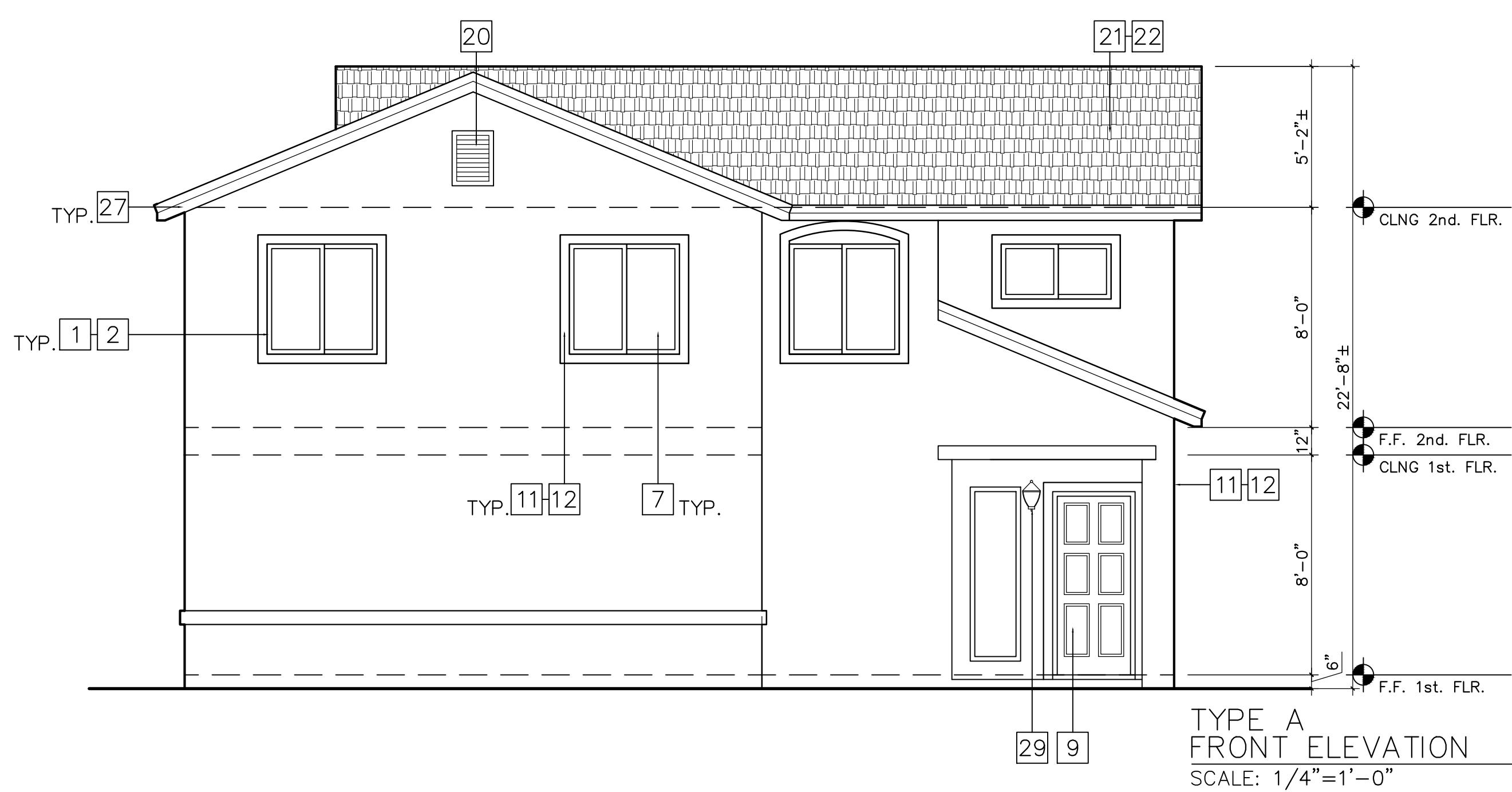
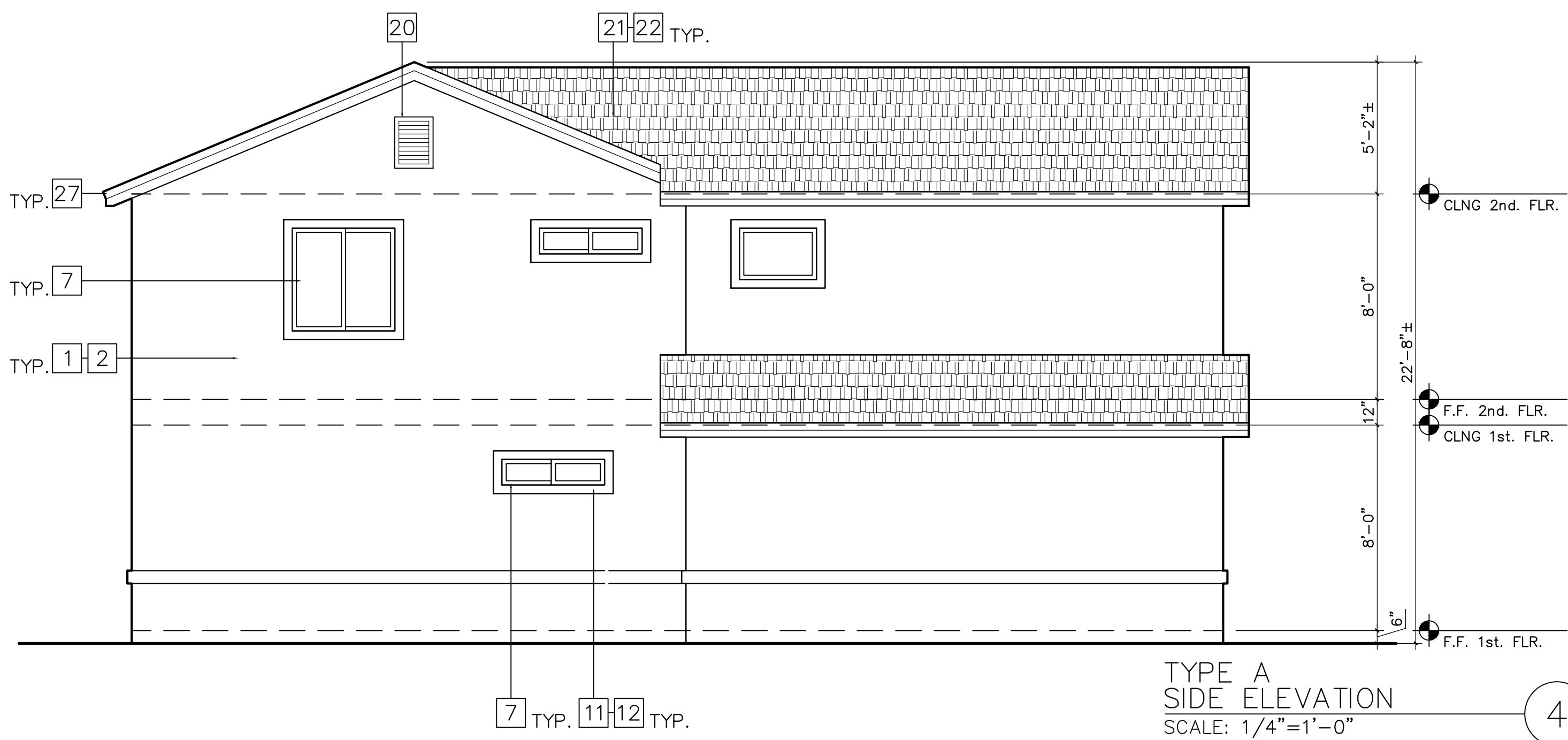
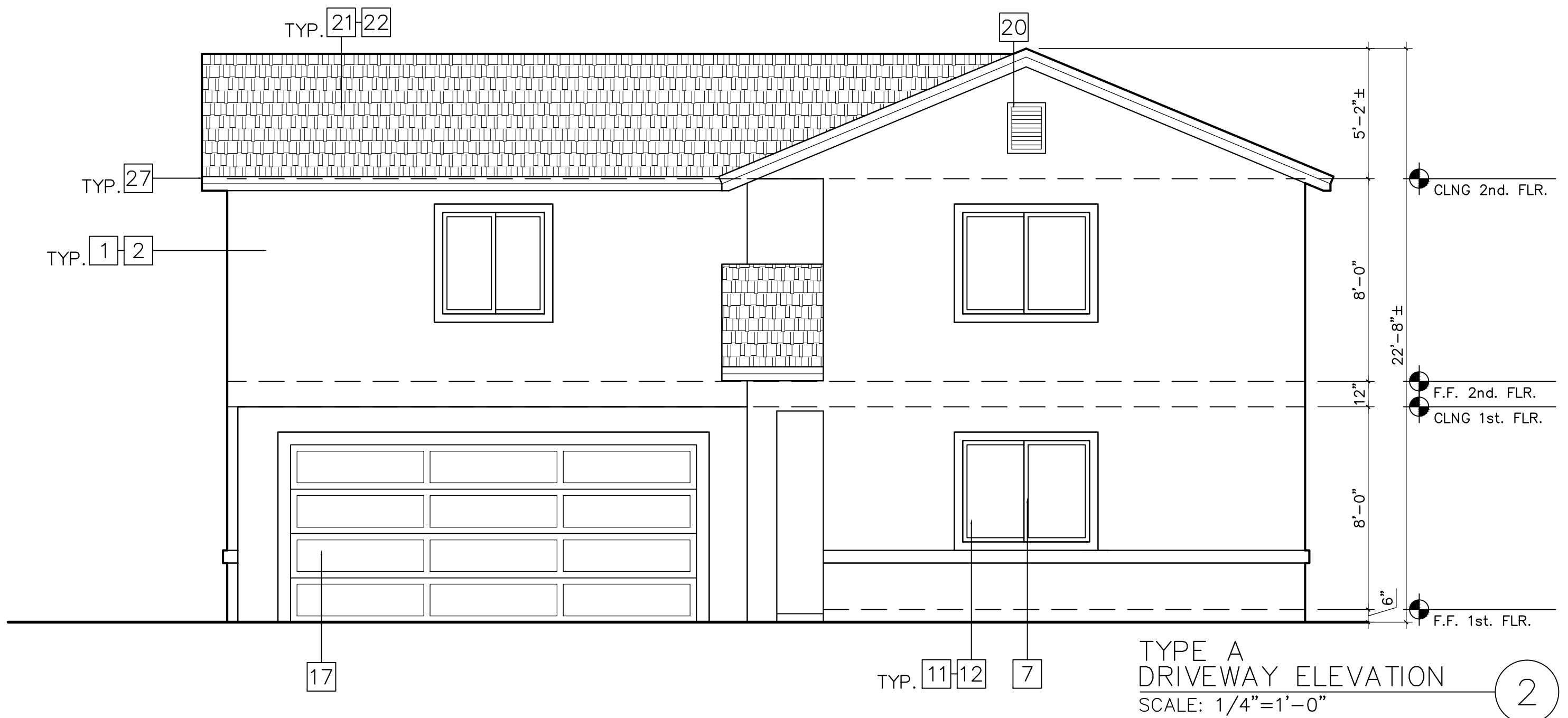
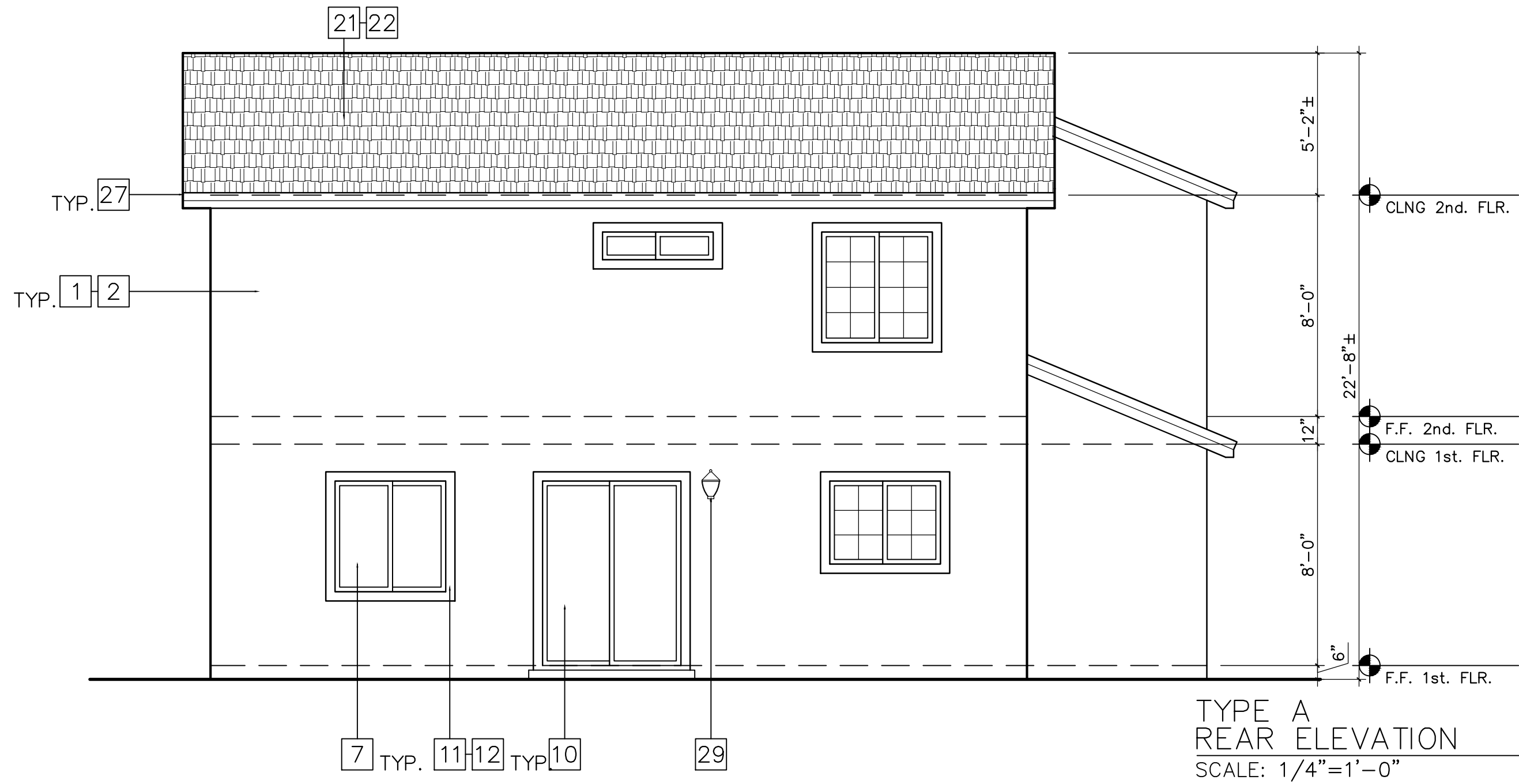
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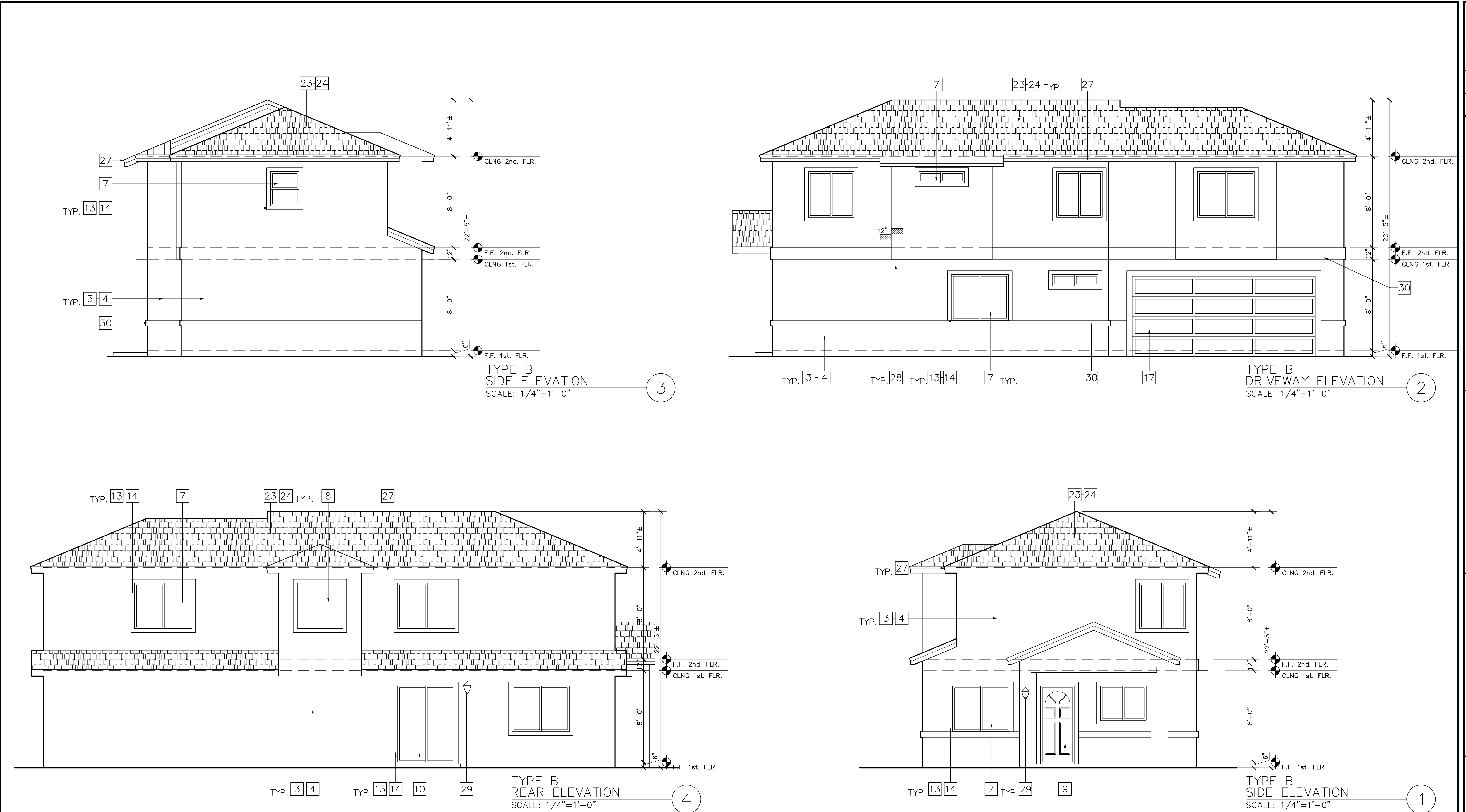
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LEGEND	DESCRIPTION	COLOR	MANUFACTURER/MODEL	LEGEND	DESCRIPTION	COLOR	MANUFACTURER/MODEL	LEGEND	DESCRIPTION	COLOR	MANUFACTURER/MODEL
[1] STUCCO (TYPE A)	7/8" EXTERIOR CEMENT PLASTER (SAND FINISH)	X48 MEADOWBROOK	LA HABRA STUCCO	[11] ACCENT TRIM (TYPE A)	2X WOOD FUR-OUT TRIM W/ STUCCO FINISH	X50 CRYSTAL WHITE	LA HABRA STUCCO	[21] ROOF (TYPE A)	ASPHALT SHINGLE (4:12 PITCH)	BARKWOOD	GAF-TIMBERLINE ULTRA HD SERIES
[2] STUCCO (TYPE A VAR)	7/8" EXTERIOR CEMENT PLASTER (SAND FINISH)	X73 EGGSHELL	LA HABRA STUCCO	[12] ACCENT TRIM (TYPE A VAR)	2X WOOD FUR-OUT TRIM W/ STUCCO FINISH	X215 MESA VERDE	LA HABRA STUCCO	[22] ROOF (TYPE A VAR)	ASPHALT SHINGLE (4:12 PITCH)	SHAKEWOOD	GAF-TIMBERLINE ULTRA HD SERIES
[3] STUCCO (TYPE B)	7/8" EXTERIOR CEMENT PLASTER (SAND FINISH)	X25 SADDLEBACK	LA HABRA STUCCO	[13] ACCENT TRIM (TYPE B)	2X WOOD FUR-OUT TRIM W/ STUCCO FINISH	X830 CLAY	LA HABRA STUCCO	[23] ROOF (TYPE B)	ASPHALT SHINGLE (4:12 PITCH)	CHARCOAL	GAF-TIMBERLINE ULTRA HD SERIES
[4] STUCCO (TYPE B VAR)	7/8" EXTERIOR CEMENT PLASTER (SAND FINISH)	X86 SANDSTONE	LA HABRA STUCCO	[14] ACCENT TRIM (TYPE B VAR)	2X WOOD FUR-OUT TRIM W/ STUCCO FINISH	X17 MISTY	LA HABRA STUCCO	[24] ROOF (TYPE B VAR)	ASPHALT SHINGLE (4:12 PITCH)	SLATE	GAF-TIMBERLINE ULTRA HD SERIES
[5]				[15]				[25]			
[6]				[16]				[26]			
[7] WINDOW	ALUMINUM WINDOW HORIZONTAL SLIDER/SINGLE HUNG	WHITE	INTERNATIONAL WINDOW	[17] GARAGE DOOR	RAISED PANEL PLYWOOD GARAGE DOOR	NATURAL	-	[27] FASCIA	2X FASCIA BD.	WHITE	-
[8] WINDOW	ALUMINUM WINDOW FIXED PICTURE WINDOW	WHITE	INTERNATIONAL WINDOW	[18] RAILING	ORNAMENTAL WROUGHT IRON GUARDRAIL	BLACK	-	[28] CORBEL/DENTIL BLOCK	DECORATIVE WD. CORBEL/DENTIL	COLOR TO MATCH TRIM	-
[9] DOOR	1-3/4" SOLID WOOD ENTRY DOOR	CLEAR STAIN (TYP.)	T.M. COBB/ MODEL #66	[19] ATTIC VENT	18" DIA. CIRCLE GABLE VENT	PAINT TO MATCH WALL	MID-AMERICA BUILDING PRODUCTS	[29] LIGHTING	EXTERIOR DECORATIVE WALL-MOUNTED LANTERN	BLACK	HAMPTON BAY
[10] DOOR	ALUMINUM SLIDING PATIO DOOR	WHITE	INTERNATIONAL WINDOW	[20] ATTIC VENT	18"x24" ATTIC VENT	PAINT TO MATCH WALL	MID-AMERICA BUILDING PRODUCTS	[30] ACCENT TRIM	2X WOOD FUR-OUT TRIM W/ STUCCO FINISH	COLOR TO MATCH WALL	LA HABRA STUCCO



LEGEND	DESCRIPTION	COLOR	MANUFACTURER/MODEL	LEGEND	DESCRIPTION	COLOR	MANUFACTURER/MODEL	LEGEND	DESCRIPTION	COLOR	MANUFACTURER/MODEL
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[2] STUCCO (TYPE A VAR)	7/8" EXTERIOR CEMENT PLASTER (SAND FINISH)	X73 EGGSHELL	LA HABRA STUCCO	[12] ACCENT TRIM (TYPE A VAR)	2X WOOD FUR-OUT TRIM W/ STUCCO FINISH	X215 MESA VERDE	LA HABRA STUCCO	[22] ROOF (TYPE A VAR)	ASPHALT SHINGLE (4:12 PITCH)	SHAKEWOOD	GAF-TIMBERLINE ULTRA HD SERIES
[3] STUCCO (TYPE B)	7/8" EXTERIOR CEMENT PLASTER (SAND FINISH)	X25 SADDLEBACK	LA HABRA STUCCO	[13] ACCENT TRIM (TYPE B)	2X WOOD FUR-OUT TRIM W/ STUCCO FINISH	X830 CLAY	LA HABRA STUCCO	[23] ROOF (TYPE B)	ASPHALT SHINGLE (4:12 PITCH)	CHARCOAL	GAF-TIMBERLINE ULTRA HD SERIES
[4] STUCCO (TYPE B VAR)	7/8" EXTERIOR CEMENT PLASTER (SAND FINISH)	X86 SANDSTONE	LA HABRA STUCCO	[14] ACCENT TRIM (TYPE B VAR)	2X WOOD FUR-OUT TRIM W/ STUCCO FINISH	X17 MISTY	LA HABRA STUCCO	[24] ROOF (TYPE B VAR)	ASPHALT SHINGLE (4:12 PITCH)	SLATE	GAF-TIMBERLINE ULTRA HD SERIES
[5]				[15]				[25]			
[6]				[16]				[26]			
[7] WINDOW	ALUMINUM WINDOW HORIZONTAL SLIDER/SINGLE HUNG	WHITE	INTERNATIONAL WINDOW	[17] GARAGE DOOR	RAISED PANEL PLYWOOD GARAGE DOOR	NATURAL	-	[27] FASCIA	2X FASCIA BD.	WHITE	-
[8] WINDOW	ALUMINUM WINDOW FIXED PICTURE WINDOW	WHITE	INTERNATIONAL WINDOW	[18] RAILING	ORNAMENTAL WROUGHT IRON GUARDRAIL	BLACK	-	[28] CORBEL/ DENTIL BLOCK	DECORATIVE WD. CORBEL/DENTIL BLOCK	COLOR TO MATCH TRIM	-
[9] DOOR	1-3/4" SOLID WOOD ENTRY DOOR	CLEAR STAIN (TYP.)	T.M. COBB/ MODEL #66	[19] ATTIC VENT	18" DIA. CIRCLE GABLE VENT	PAINT TO MATCH WALL	MID-AMERICA BUILDING PRODUCTS	[29] LIGHTING	EXTERIOR DECORATIVE WALL-MOUNTED LANTERN	BLACK	HAMPTON BAY
[10] DOOR	ALUMINUM SLIDING PATIO DOOR	WHITE	INTERNATIONAL WINDOW	[20] ATTIC VENT	18"x24" ATTIC VENT	PAINT TO MATCH WALL	MID-AMERICA BUILDING PRODUCTS	[30] ACCENT TRIM	2X WOOD FUR-OUT TRIM W/ STUCCO FINISH	COLOR TO MATCH WALL	LA HABRA STUCCO

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ELEVATIONS

TYPE B

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Date: 03-28-2017

Scale: 1/4" = 1'-0"

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ROOM FINISH SCHEDULE (TYPE A)

#	NAME	FINISHES										REMARK	
		FLOOR			WALLS			CEILING					
		SEALED CONC.	CARPET	VINYL TILE	OTHER	1/2" GYP. BD.	5/8" TYPE "X" GYP. BD.	1/2" WATERPROOF GYP. BD.	OTHER	1/2" GYP. BD.	5/8" TYPE "X" GYP. BD.		OTHER
101	FOYER		●			●				●			-
102	PWDR.			●				●					-
103	LIVING ROOM		●			●				●			-
104	DINING ROOM		●			●				●			-
105	FAMILY ROOM		●			●				●			-
106	KITCHEN/NOOK			●		●		●		●			-
107	2-CAR GARAGE	●					●			●			-
201	M. BEDRM.#1		●			●				●			-
202	M. BATHRM.#1			●		●		●		●			-
203	BEDROOM #2		●			●				●			-
204	BATHROOM #2			●		●		●		●			-
205	BEDROOM #3		●			●				●			-
-	HALLWAY		●			●				●			-

ROOM FINISH SCHEDULE (TYPE B)

#	NAME	FINISHES										REMARK		
		FLOOR		WALLS		CEILING								
		SEALED CONC.	CARPET	VINYL TILE	OTHER	1/2" GYP. BD.	5/8" TYPE "X" GYP. BD.	1/2" WATERPROOF GYP. BD.	OTHER	1/2" GYP. BD.	5/8" TYPE "X" GYP. BD.		OTHER	
101	FOYER			●		●				●				-
102	LIVING ROOM		●			●				●				-
103	DINING ROOM		●			●				●				-
104	KITCHEN/NOOK			●		●		●		●				-
105	FAMILY ROOM		●			●				●				-
106	PWDR.			●		●		●		●				-
107	2-CAR GARAGE	●					●				●			-
201	M. BEDRM. #1		●			●				●				-
202	M. BATHRM. #1			●		●		●		●				-
203	BEDROOM #2		●			●				●				-
204	BATHROOM #2			●		●		●		●				-
205	BEDROOM #3		●			●				●				-
206	HALLWAY		●			●				●				-
-	WALK-IN CLOSET		●			●				●				-

DOOR SCHEDULE (TYPE A & B)

SYMBOL			LOCATION	SIZE		TYPE																REMARK								
				WIDTH	HEIGHT	THK.	FRAME				MODE		GLAZING				TRANSOM	SIDE LITE	THRESHOLD	SECURITY LOCK	SELF-CLOSER									
							1-3/4"	1-3/8"	MFG. SPEC.	WOOD	ALUMINUM	PLYWD./STL.	HOLLOW CORE	SOLID CORE	SWING	SLIDING							SECTIONAL	SINGLE	DOUBLE	TEMPERED	MUNTINS	NONE		
101			FOYER	3'-0"	6'-8"	●																								
102			DINING RM	5'-0"	6'-8"			●		●						●										●	●			PATIO DOOR
103			BEDRM, BATHRM.	2'-6"	6'-8"		●			●						●														
104			BEDRM	2'-8"	6'-8"			●				●													●					-
105			GARAGE	2'-8"	6'-8"		●			●						●	●									●	●	●		20 MIN., TIGHT FITTING, SELF-CLOSING DOOR
106			STORAGE	2'-0"	6'-8"		●					●																		
107			GARAGE	16'-0"	7'-0"			●				●							●							●				GARAGE DOOR
108																														
109			BATH	2'-6"	6'-8"				●	●			●						●											POCKET DOOR

ADDITIONAL NOTE:
1. DOOR SIZES AS CALLED FOR IN THIS SCHEDULE ARE ACTUAL FRAME SIZES UNLESS NOTED OTHERWISE.
2. DOOR SWING PATTERN SHOWN IS FOR ILLUSTRATION PURPOSE. REFER TO FLOOR PLAN FOR ACTUAL SWING DIRECTION.
3. TEMPERED GLASS SHALL BE USED AT LOCATIONS AS REQUIRED BY CODE.
4. VERIFY ALL DOOR SIZES IN FIELD PRIOR TO ORDERING. NOTIFY OWNER/DESIGNER IMMEDIATELY IF THERE IS ANY DISCREPANCIES IN THE DIMENSIONS AND/OR FIELD CONDITIONS.

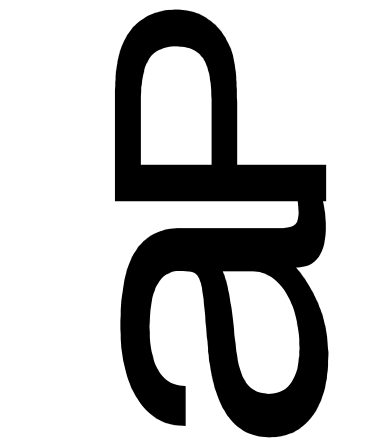
WINDOW SCHEDULE (TYPE A1)

SYMBOL			SIZE		TYPE										REMARK			
			R.O.WIDTH	R.O.HEIGHT	FRAME		MODE		GLAZING			EGRESS	OBSURE					
					ALUMINUM	I	I	SLIDING	SHUNG	FIXED	SINGLE			DOUBLE		TEMPERED	GRIDS	I
A			4'-0"	4'-0"	●			●					●					
B			5'-0"	4'-0"	●			●					●					
C			4'-0"	1'-0"	●			●					●					
D			2'-6"	3'-0"	●			●					●					
E			4'-0"	3'-0"	●			●										
F			1'-6"	6'-0"				●	●									
G			3'-0"	2'-0"	●				●	●								

ADDITIONAL NOTE:
1. WINDOW SIZES AS CALLED FOR IN THIS SCHEDULE ARE ROUGH OPENING FRAME SIZES UNLESS NOTED OTHERWISE.
2. TEMPERED GLASS SHALL BE USED AT LOCATIONS AS REQUIRED BY CODE.
3. VERIFY ALL WINDOW SIZES IN FIELD PRIOR TO ORDERING. NOTIFY OWNER/DESIGNER IMMEDIATELY IF THERE IS ANY DISCREPANCIES IN THE DIMENSIONS AND/OR FIELD CONDITIONS.
4. ALL WINDOWS SHALL HAVE GRIDS PER SCHEDULE.
5. VERIFY WINDOW HARDWARE STYLE & COLOR W/ OWNER BEFORE ORDERING.

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Sheet Content:
DOOR & WINDOW SCHEDULE
ROOM FINISH SCHEDULE

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Date: 02-28-2017

Scale: AS SHOWN

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