

## PROJECT TEAM

## SITE ACQUISITION

## PLANNING

**ARCHITECT:**

**SURVEYOR:**

**UTILITY COORDINATOR:**

**PROFESSIONAL ENGINEER:**

**VERIZON WIRELESS SIGNATURE BLOCK**

## PROJECT DESCRIPTION

THIS PROJECT IS A VERIZON WIRELESS UNMANNED TELECOMMUNICATION WIRELESS FACILITY. IT WILL CONSIST OF THE FOLLOWING:

- ### VICINITY MAP

APPLICANT/LESSEE

ASSESSOR'S PARCEL NUMBER

APN: 8348-005-008

APPLICANT'S REPRESENTATIVE

PROPERTY OWNER:

PROPERTY INFORMATION:

## CONSTRUCTION INFORMATION

## GENERAL CONTRACTOR NOTES

## DO NOT SCALE DRAWINGS

## CODE COMPLIANCE

- ## ISSUE STATUS



**DELTA GROUPS  
ENGINEERING, INC.**  
CONSULTING ENGINEERS

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF  
DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO  
VERIZON WIRELESS

ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES  
TO VERIZON WIRELESS IS STRICTLY PROHIBITED



**WEST HOLT**  
**1600 WEST HOLT AVENUE**  
**POMONA, CA 91768**

SHEET TITLE:

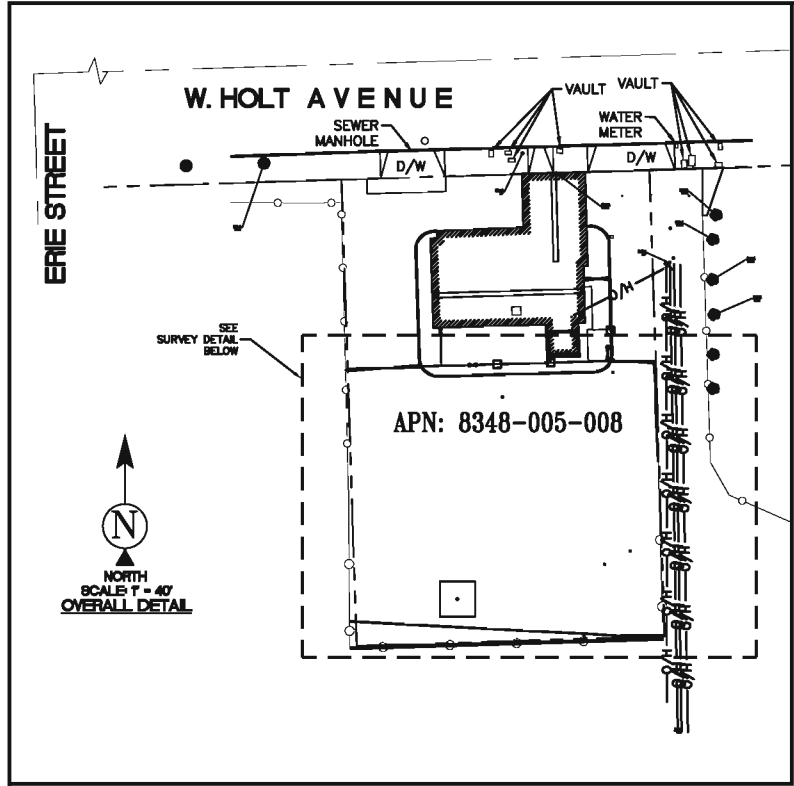
# TITLE SHEET

# T-1



Know what's **below**.  
**Call** before you dig.

TO OBTAIN LOCATION OF PARTICIPANTS  
UNDERGROUND FACILITIES BEFORE  
YOU DIG IN CALIFORNIA (SOUTH), CALL  
DIG ALERT  
TOLL FREE: 1-800-227-2600 OR  
[www.digalert.org](http://www.digalert.org)  
CALIFORNIA STATUTE  
REQUIRES MIN OF 2  
WORKING DAYS NOTICE  
BEFORE YOU EXCAVATE



LEGEND			
CLF	CHAIN LINK FENCE	○	POWER POLE
B	BUILDING	○	LIGHT POLE
C	CONCRETE	○	AIR CONDITIONING UNIT
CMU	CONCRETE MASONRY UNIT	○	SEWER MANHOLE
FC	FACE OF CURB	○	POSITION OF GEODETIC COORDINATES
AP	ASPHALT	○	SPOT ELEVATION
D/W	DRIVEWAY	○	LEASE AREA LIMITS
WIF	WROUGHT IRON FENCE	○	WROUGHT IRON FENCE
SW	SIDEWALK	○	CHAIN LINK FENCE
NG	NATURAL GRADE	○	CMU WALLS
		○	MINOR CONTOUR INTERVAL

**UTILITY NOTES**  
SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS ARE DEFINITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION, REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

**BENCHMARK**  
PROJECT ELEVATIONS ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS BY APPLICATION OF NGS 'GEOID 12B' MODELED SEPARATIONS TO ELLIPSOID HEIGHTS DETERMINED BY OBSERVATIONS OF THE 'SMARTNET' REAL TIME NETWORK. ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD88.

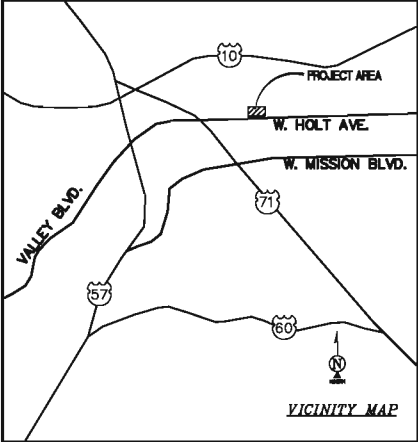
**BASIS OF BEARING**  
BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM CALIFORNIA STATE PLANE COORDINATE ZONE FIVE, DETERMINED BY GPS OBSERVATIONS.

**SURVEY DATE**  
05/17/16

**DIRECTIONS TO SITE**  
(FROM VERIZON WIRELESS OFFICES IN IRVINE, CA.)  
HEAD SOUTHEAST ON WATERWORKS WAY TOWARD SAND CANYON TRAIL; TURN LEFT ONTO SAND CANYON AVE; TURN LEFT TO MERGE ONTO THE I-5 N; TAKE THE CA-57 N. EXIT TOWARD POMONA; CONTINUE ONTO CA-57 N.; TAKE THE TEMPLE AVE. EXIT; TURN LEFT ONTO W. TEMPLE AVE.; TURN LEFT ONTO W. MISSION BLVD.; TURN LEFT ONTO HUMANE WAY; TURN RIGHT ONTO VALLEY BLVD.; CONTINUE ONTO W. HOLT AVE.; DESTINATION WILL BE ON THE RIGHT.

**SURVEYOR'S NOTES**  
SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE ISSUED. THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.

**FLOOD ZONE**  
THIS PROJECT APPEARS TO BE LOCATED WITHIN FLOOD ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP(S), MAP ID #06037C1725F, DATED SEPTEMBER 26, 2008.



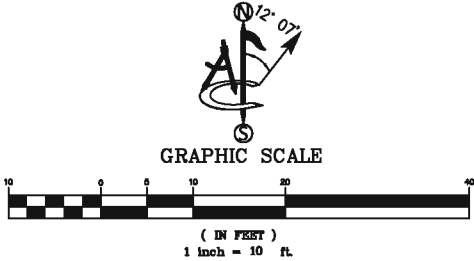
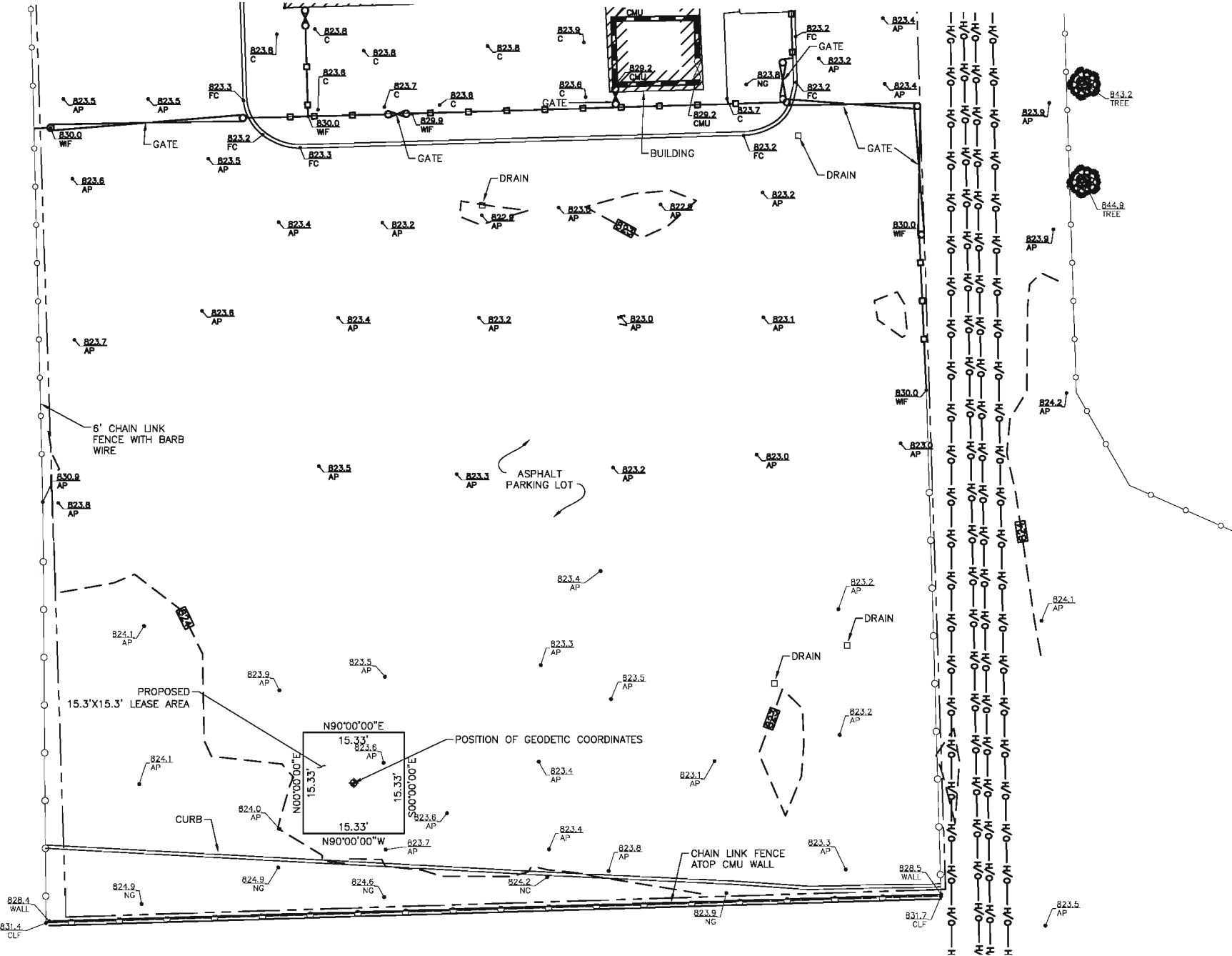
**SCHEDULE "B" NOTE**  
REFERENCE IS MADE TO THE TITLE REPORT ORDER #08025691, ISSUED BY COMMONWEALTH LAND TITLE COMPANY, DATED JUNE 3, 2015. ALL EASEMENTS CONTAINED WITHIN SAID TITLE REPORT AFFECTING THE IMMEDIATE AREA SURROUNDING THE LEASE HAVE BEEN PLOTTED.

NOTE: ITEM(S) #1, 2, AND 4-7 ARE NOT SURVEY MATTERS OR HAVE NO AFFECT ON THE LEASE AREA AND HAVE NOT BEEN PLOTTED.

3. A LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN.  
LESSOR: FRANCIS D. REIDER, A MARRIED MAN  
LESSEE: BLUE STAR DAIRY DRIVE-IN, A GENERAL PARTNERSHIP  
RECORDING DATE: SEPTEMBER 20, 1965  
RECORDING NO: 2558 OFFICIAL RECORDS  
THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE AND OTHER MATTERS AFFECTING THE INTEREST OF THE LESSEE ARE NOT SHOWN HEREIN. (BLANKETS IN NATURE)

THE SURVEYORS OPINION IS THAT NO SCHEDULE "B" ITEMS PROVIDED BY SAID REPORT AFFECT THE PROPOSED LEASE AREA PREMISES SHOWN HEREON.

**LESSOR'S LEGAL DESCRIPTION**  
ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:  
THE EASTERLY 133.68 FEET OF THAT PORTION OF THE NORTH 10 ACRES OF THE WEST 20 ACRES OF LOT 40 OF J. E. PACKARD'S ORANGE GROVE TRACT, IN THE CITY OF POMONA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 25, PAGE 84 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, SAID ACRES BEING COMPUTED TO THE CENTERLINE OF ADJOINING STREETS, AS SHOWN ON SAID MAP, LYING EAST OF THE FOLLOWING DESCRIBED LINE:  
BEGINNING AT A POINT IN THE SOUTHERLY LINE OF HOLT AVENUE, THAT IS DISTANT, THEREON NORTH 88° 39' EAST 390.7 (590.7) FEET FROM THE EAST LINE OF ERIE AVENUE AS SAID STREETS ARE SHOWN ON SAID MAP; THENCE SOUTH 0° 05' EAST 538.8 FEET TO THE SOUTH LINE OF SAID NORTH 10 ACRES, EXCEPT THEREFROM THE SOUTHERLY 325 FEET OF SAID LAND.



NOTED: THE ORIGINAL SIZE OF THIS PLAN IS 34" x 46". SCALE SHOWN IS NOT VALID FOR REDUCED OR ENLARGED SIZE SHEET.

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	05/19/16	PRELIMINARY	CK
1	06/29/16	LEASE AREA	MF

**DELTA GROUPS ENGINEERING, INC.**  
CONSULTING ENGINEERS  
2362 MCGAW AVE. IRVINE, CA 92614  
TEL: 949-622-0333  
FAX: 949-417-2663  
DGE JOB # 113W083A

**PROPRIETARY INFORMATION**  
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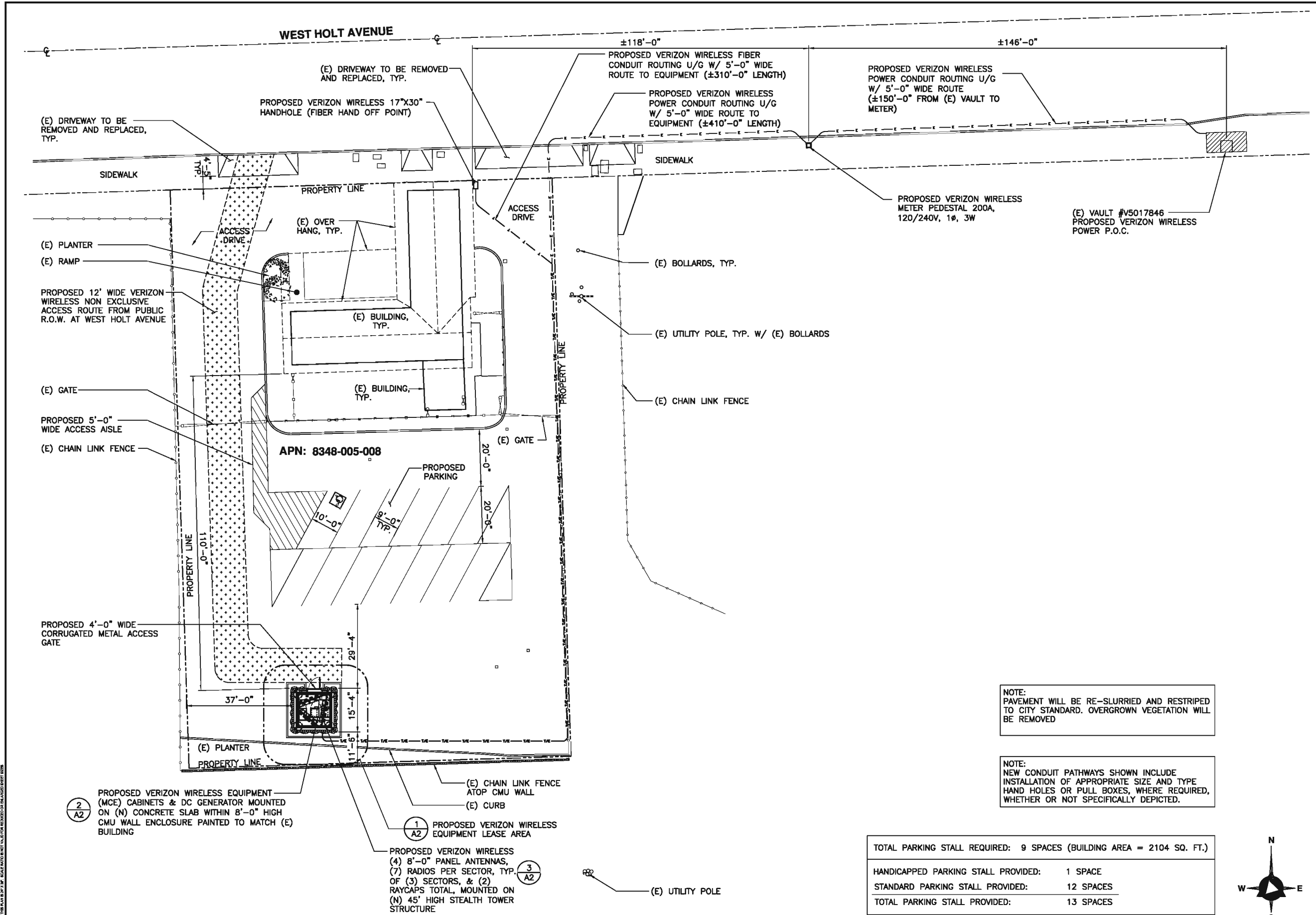
**verizon**  
15505 SAND CANYON AVENUE, D1  
IRVINE, CA 92618

**Ambit**  
428 MAIN STREET, SUITE 206  
HUNTINGTON BEACH, CA 92648 (480)859-4072

WEST HOLT  
1600 WEST HOLT AVENUE  
POMONA, CA 91768  
LOS ANGELES COUNTY

SHEET TITLE:  
SITE SURVEY

LS-1



## ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	06/02/16	90% ZD	JT
1	06/20/16	100% ZD	JD
2	08/25/16	100% ZD	JD
3	01/09/16	100% ZD	JD
4	01/31/17	100% ZD	JD
5	03/31/17	100% ZD	JD
6	12/05/17	100% ZD	JD



2362 McGAW AVE. IRVINE, CA 92614  
TEL: 949-622-0333 FAX: 949-622-0331  
DGE JOB #113VW062A

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IRVINE, CA 92618

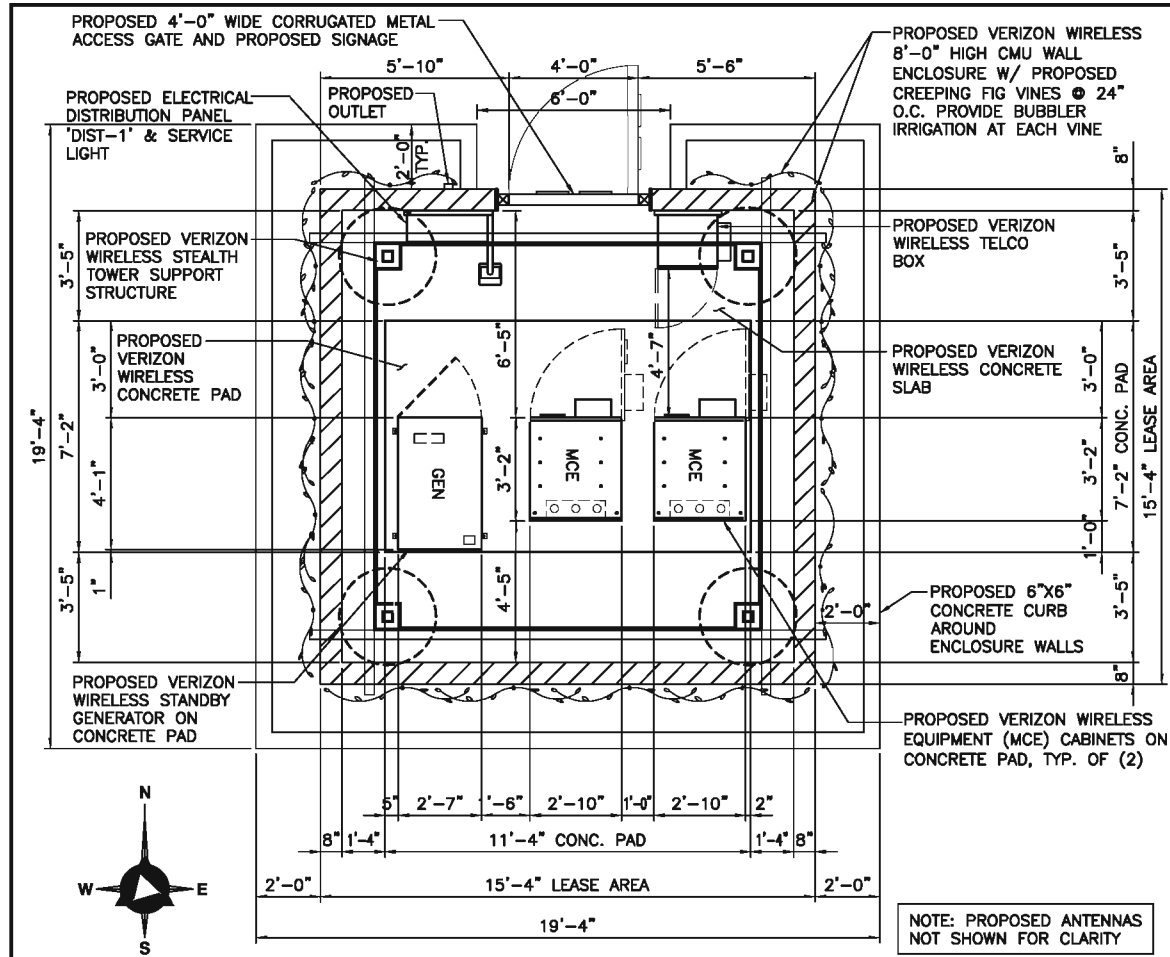
WEST HOLT  
1600 WEST HOLT AVENUE  
POMONA, CA 91768

SHEET TITLE:

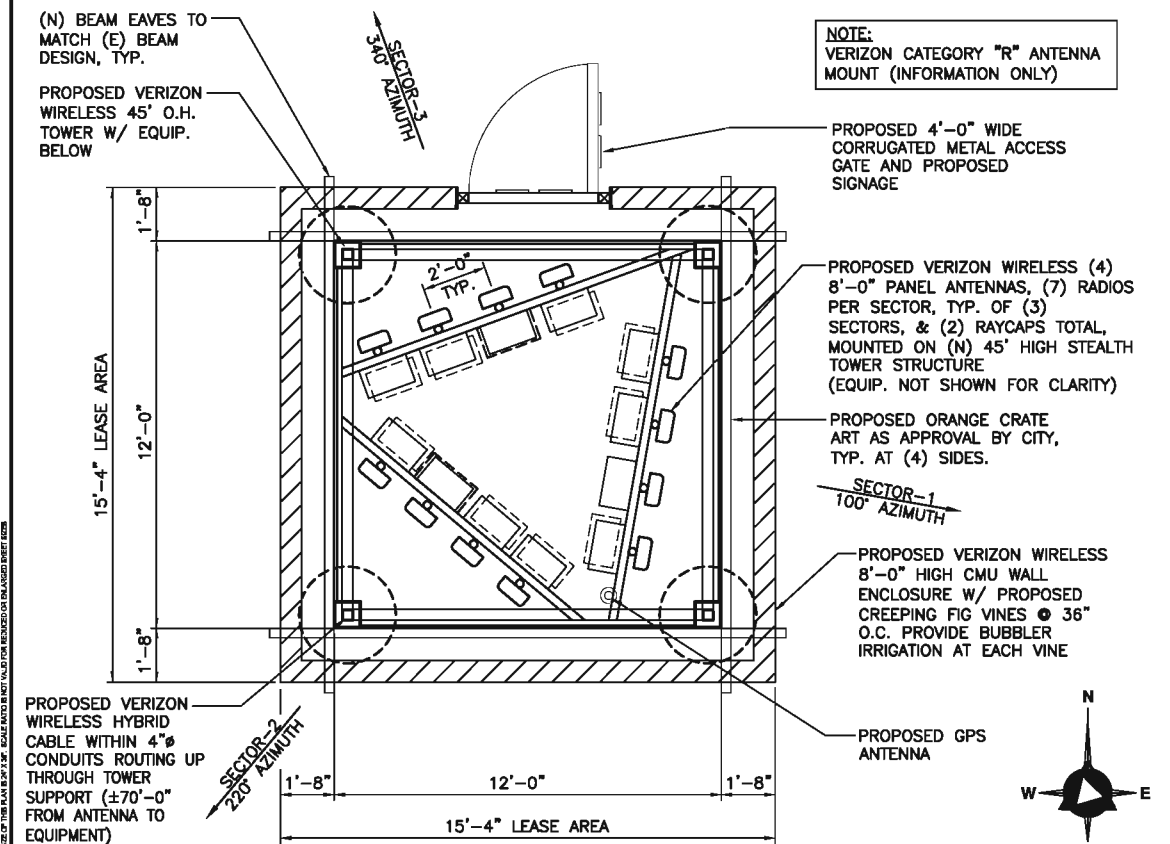
OVERALL SITE PLAN

A-1

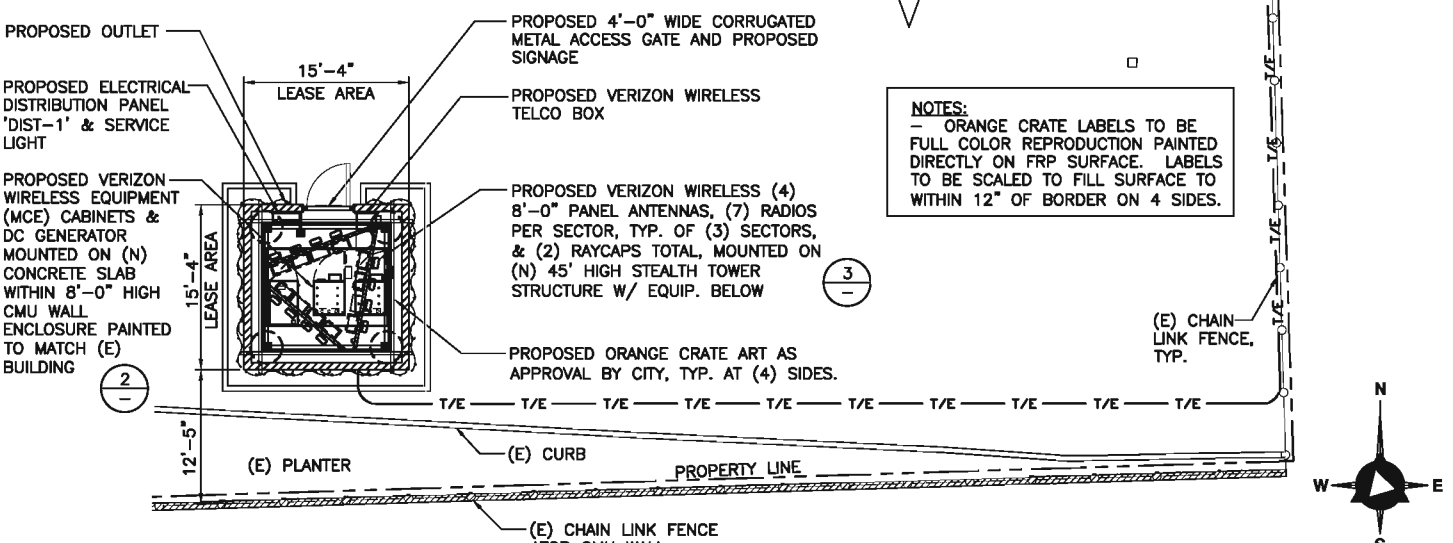
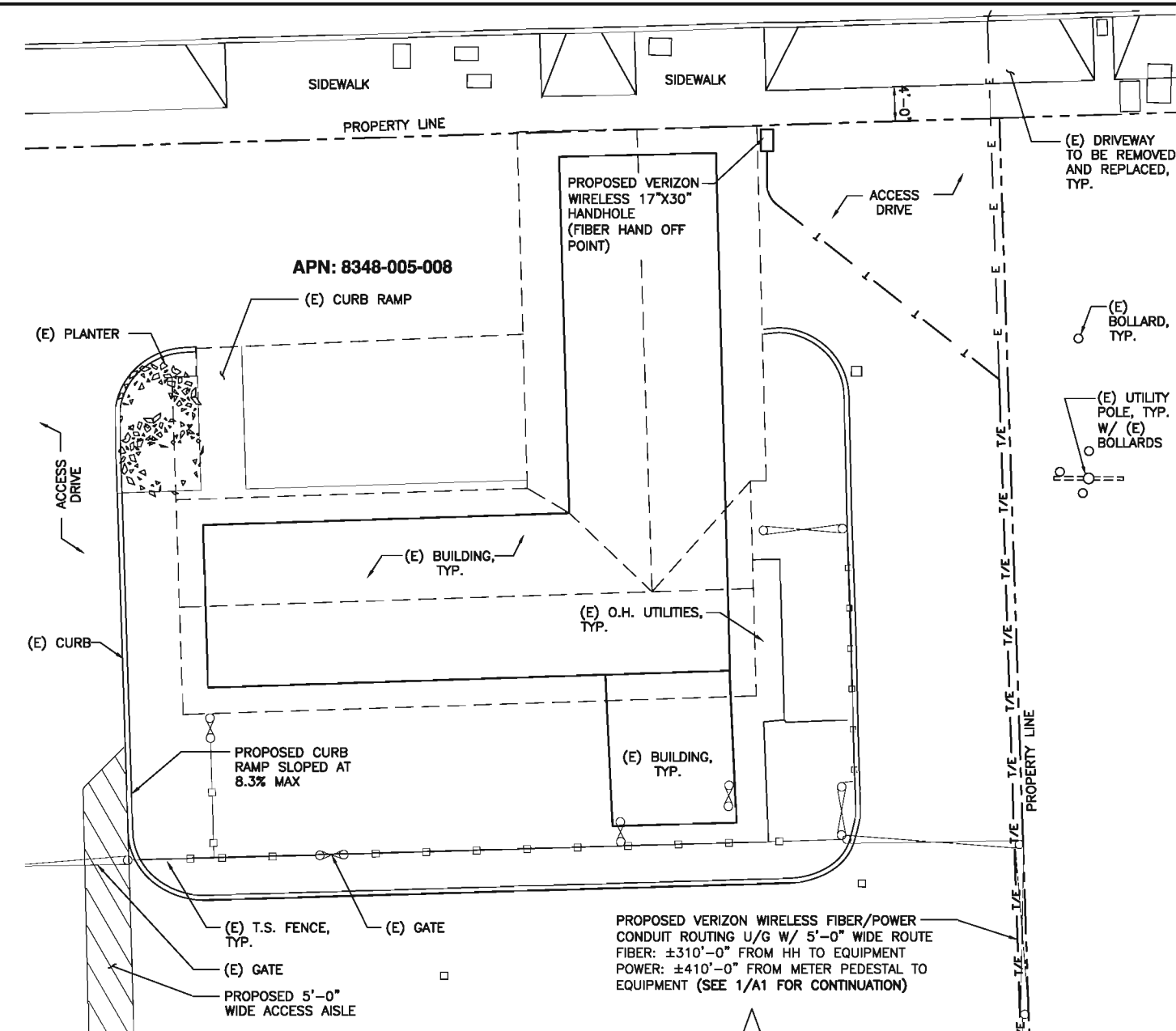




EQUIPMENT LAYOUT



ANTENNA LAYOUT



ENLARGED SITE PLAN

**ISSUE STATUS**

REV.	DATE	DESCRIPTION	BY
0	06/02/16	90% ZD	JT
1	06/20/16	100% ZD	JD
2	08/25/16	100% ZD	JD
3	01/09/16	100% ZD	JD
4	01/31/17	100% ZD	JD
5	03/31/17	100% ZD	JD
6	12/05/17	100% ZD	JD

**DELTA GROUPS**  
ENGINEERING, INC.  
CONSULTING ENGINEERS

2382 MCGAW AVE. IRVINE, CA 92614  
TEL: 949-622-0333 FAX: 949-622-0331  
DGE JOB #113VW062A

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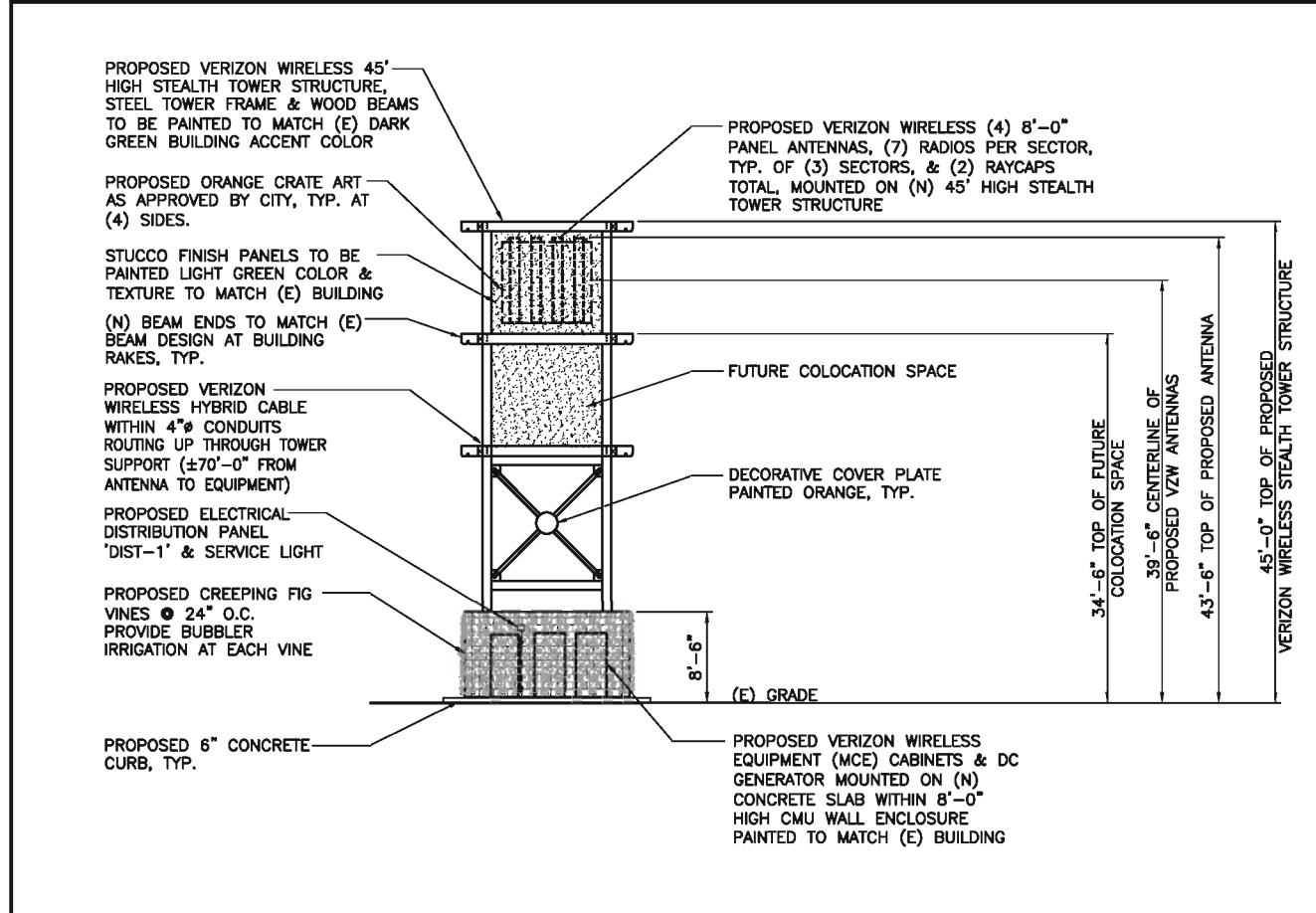
**verizon**

15505 SAND CANYON AVENUE, D1  
IRVINE, CA 92618

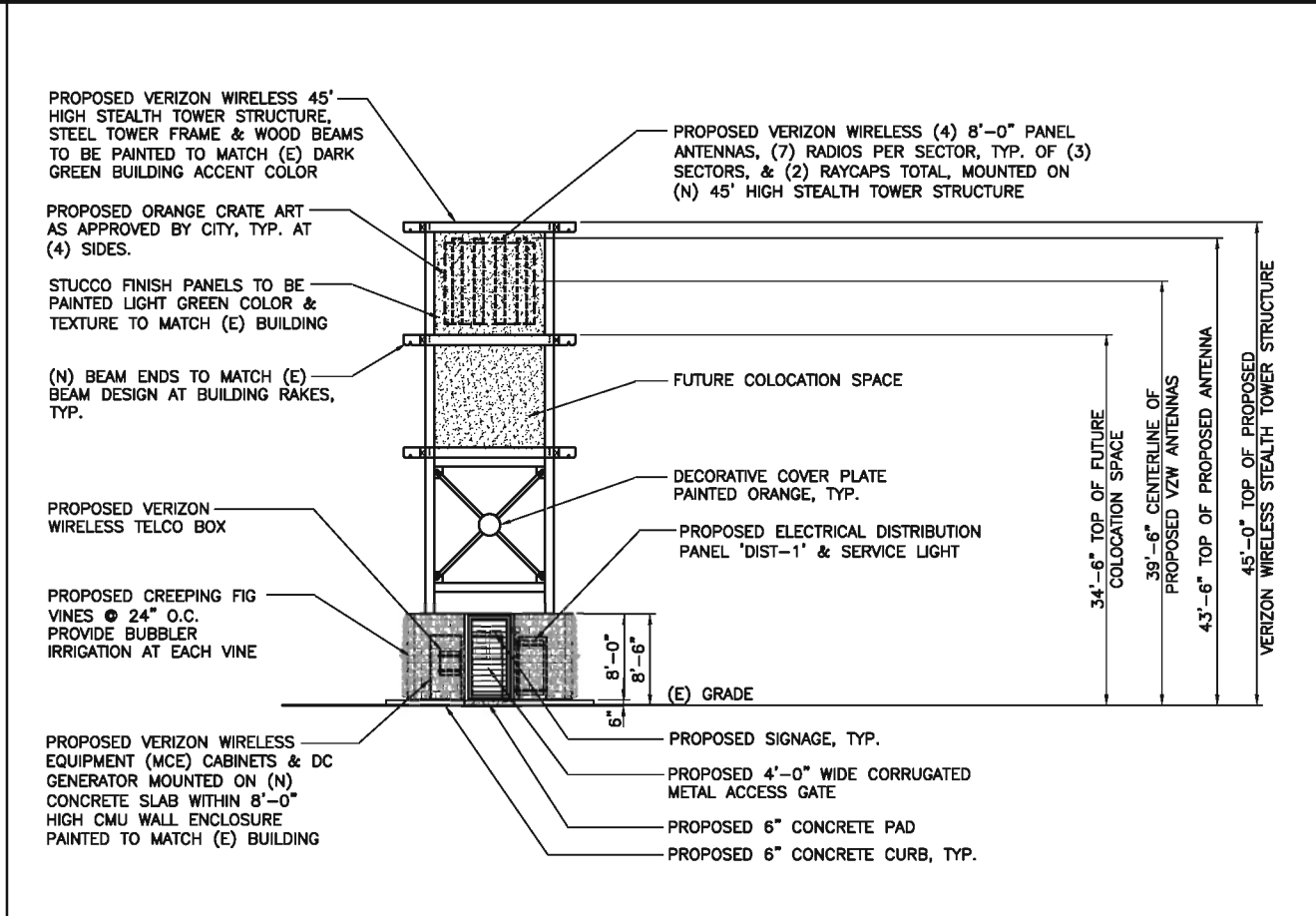
**WEST HOLT**  
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POMONA, CA 91768

SHEET TITLE:  
**ENLARGED SITE PLAN,  
EQUIPMENT LAYOUT, &  
ANTENNA LAYOUT**

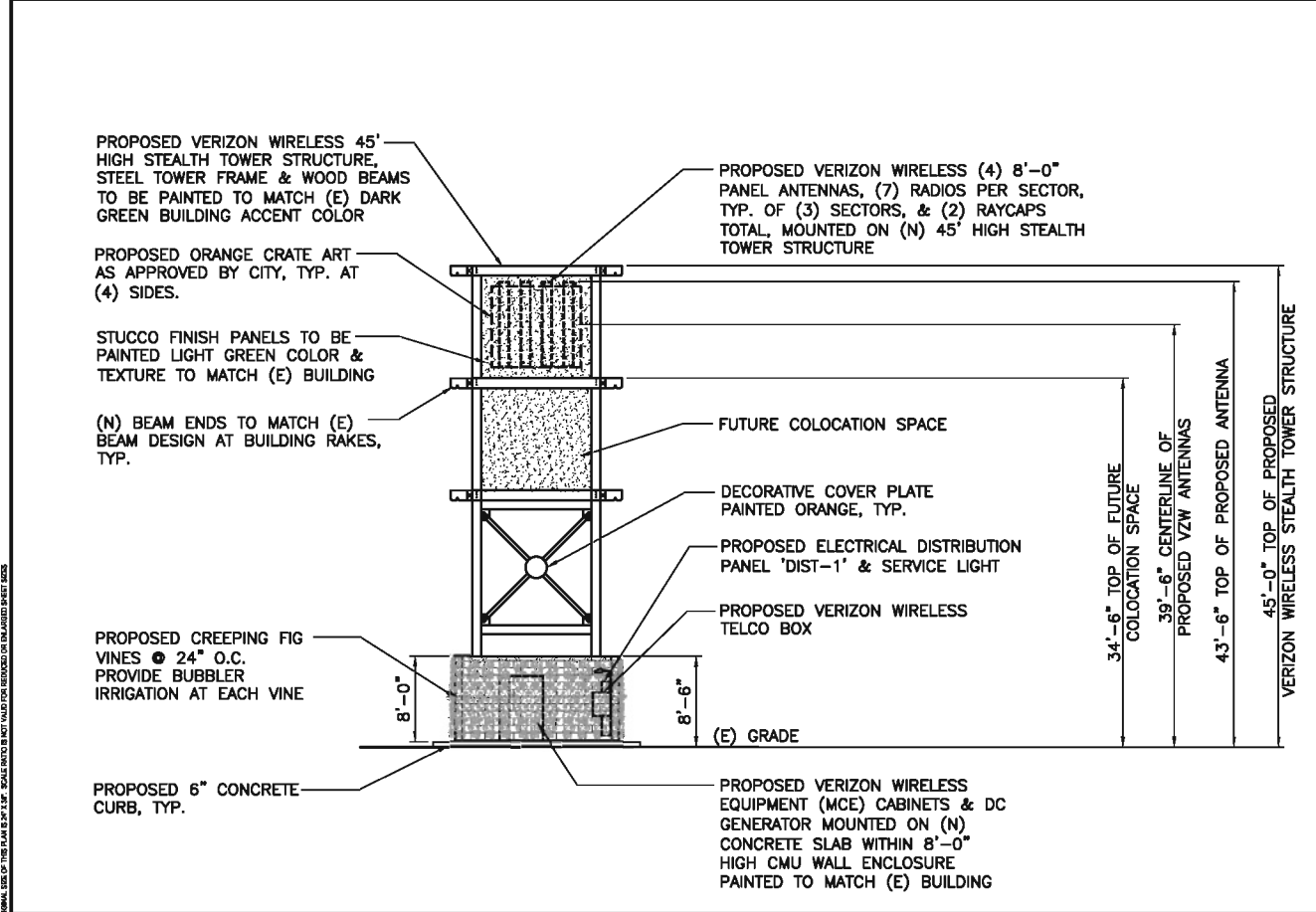
**A-2**



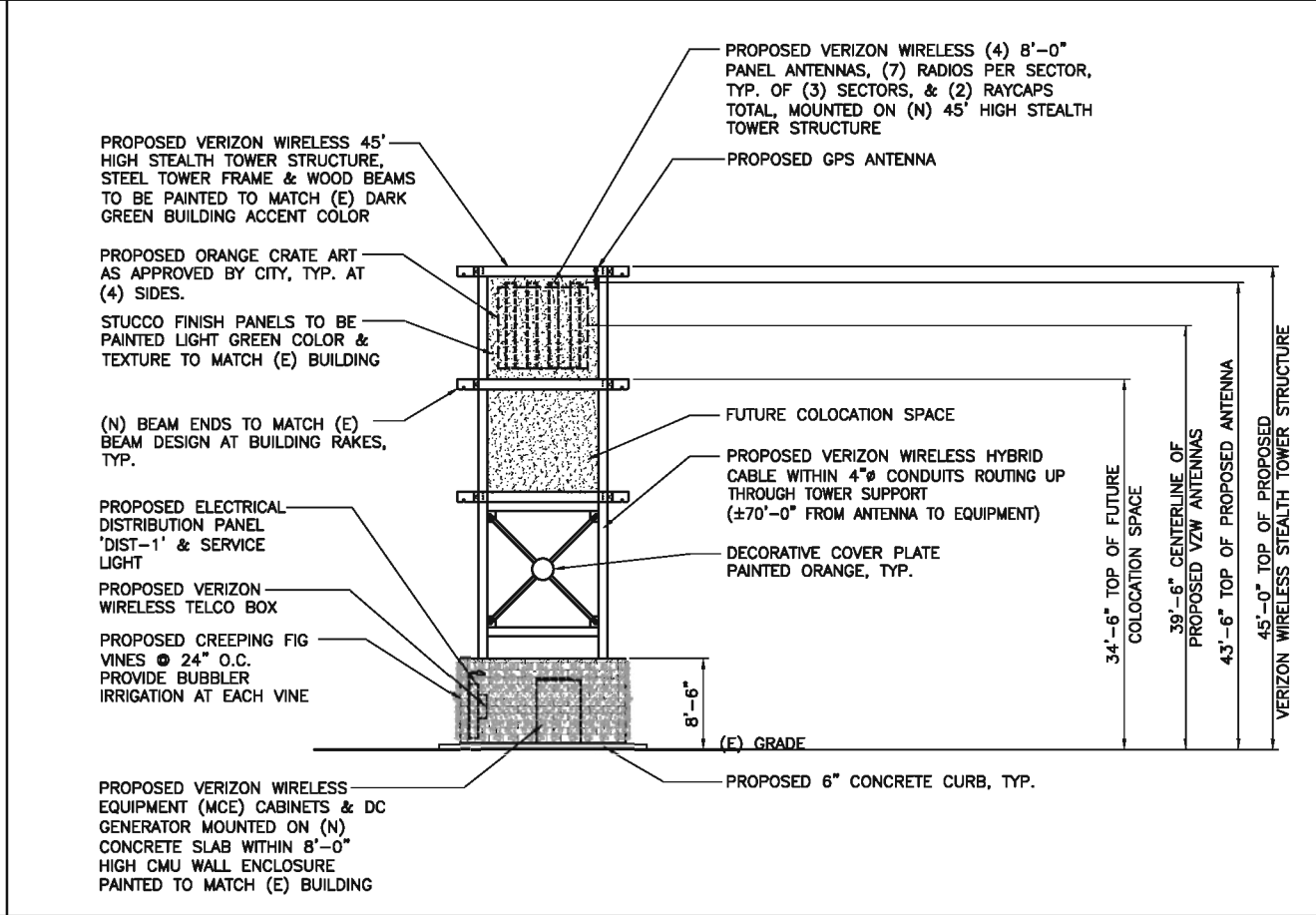
**SOUTH ELEVATION** SCALE: 1/8" = 1'-0" 3



**NORTH ELEVATION** SCALE: 1/8" = 1'-0" 1



**EAST ELEVATION** SCALE: 1/8" = 1'-0" 4



**WEST ELEVATION** SCALE: 1/8" = 1'-0" 2

**ISSUE STATUS**

REV.	DATE	DESCRIPTION	BY
0	08/02/16	90% ZD	JT
1	08/20/16	100% ZD	JD
2	08/25/16	100% ZD	JD
3	01/09/16	100% ZD	JD
4	01/31/17	100% ZD	JD
5	03/31/17	100% ZD	JD
6	12/05/17	100% ZD	JD



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DGE JOB # H3VW082A

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IRVINE, CA 92618

**WEST HOLT**  
1600 WEST HOLT AVENUE  
POMONA, CA 91768

SHEET TITLE:  
**NORTH, WEST, SOUTH, EAST ELEVATIONS**

**A-3**

NOTES: THE ORIGINAL USE OF THIS PLAN IS FOR THE 8'-0" X 24" SCALE ONLY. IT IS NOT VALID FOR REDUCED OR ENLARGED SCALES.