

## **WEST HOLT**

MTX51 / BSC2 MACRO CELL EVOLUTION DESIGN 1600 WEST HOLT AVENUE **POMONA**, CA 91768

OVERALL HEIGHT PER 1-A LETTER: 45'-0"

#### **PROJECT TEAM**

#### SITE ACQUISITION <u>PLANNING</u>

DELTA GROUPS ENGINEERING, INC. 2362 McGAW AVE. IRVINE, CA 92614 CONTACT: VINCENT AMAYA PHONE: (949) 622-0333 FAX: (949) 622-0331

DELTA GROUPS ENGINEERING, INC. 2362 McGAW AVE. IRVINE, CA 92614 CONTACT: LISA DESMOND PHONE: (949) 622-0333 FAX: (949) 622-0331

ARCHITECT: DELTA GROUPS ENGINEERING, INC. 2362 McGAW AVE. IRVINE, CA 92614 CONTACT: WILLIAM DESMOND

PHONE: (949) 622-0333 FAX: (949) 622-0331

SURVEYOR: AMBIT CONSULTING 428 MAIN STREET, SUITE 206 HUNTINGTON BEACH, CA 92648

UTILITY COORDINATOR:

MAXIMIZE ENGINEERING GROUP 301 NINTH STREET, SUITE 109B REDLANDS, CA 92374 CONTACT: WALTER CERRITOS PHONE: 310-350-7924 FAX: 909-935-0392

### PROFESSIONAL ENGINEER:

IRVINE, CA 92614 CONTACT: ALBERT TENG PHONE: (949) 622-0333 FAX: (949) 622-0331

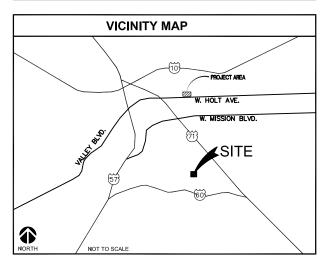
# **VERIZON WIRELESS SIGNATURE BLOCK** RE VENDOR A&E VENDOR: A&F COORDINATOR UTILITY VENDOR: TRANSPORT:

#### PROJECT DESCRIPTION

THIS PROJECT IS A VERIZON WIRELESS UNMANNED TELECOMMUNICATION WIRELESS FACILITY, IT WILL CONSIST OF THE FOLLOWING:

- NEW VERIZON WIRELESS 15'-4" x 15'-4" EQUIPMENT LEASE AREA

- NEW VERIZON WIRELESS 15-4" x 15-4" EQUIPMENT LEASE AREA
  NEW VERIZON WIRELESS 8-0" HIGH CMW WALL ENCLOSURE
  (2) NEW VERIZON WIRELESS EGUIPMENT CABINETS
  (1) NEW VERIZON WIRELESS GPS ANTENNAS
  (1) NEW VERIZON WIRELESS GPS ANTENNAS
  (1) NEW VERIZON WIRELESS 15KW / 54GALLON DIESEL STANDBY GENERATOR
  (1) NEW VERIZON WIRELESS 8-1" HIGH STEALTH TOWER STRUCTURE
  (12) NEW VERIZON WIRELESS 8-1" ALL PANEL ANTENNAS
  (21) NEW VERIZON WIRELESS RAYOAS
  (21) NEW VERIZON WIRELESS RAYOAS
  (1) NEW VERIZON WIRELESS RAYOAS



### **DRIVING DIRECTIONS**

#### FROM: VERIZON OFFICE

- HEAD SOUTHEAST TOWARD SAND CANYON

- 1. HEAD SOUTHEAST TOWARD SAND CANYON
  2. TURN LEFT ON ONTO SAND CANYON AVE
  3. TURN LEFT TO MERGE ONTO I-5 N
  1. TURN LEFT TO MERGE ONTO I-5 N
  1. TAKE CA-5 T N STEVIT OWARD POMIONA
  5. CONTINUE ONTO CA-5 T N
  1. KEEP RIGHT AT THE FORK TO STAY ON TO STAY ON CA-5 T N
  7. TAKE THE TEMPLE AVE EXIT
  6. TURN LEFT ONTO W TEMPLE AVE
  6. TURN LEFT ONTO W
- 9. TURN LEFT ONTO W MISSION BLVD

# 2016 CALIFURNIA ELECTRICAL CODE 2016 CALIFORNIA FIRE CODE 2016 CALIFORNIA GREEN BUILDING CODE

### PROJECT SUMMARY

ASSESSOR'S PARCEL NUMBER

### APPLICANT/LESSEE vertzon

15505 SAND CANYON AVENUE, D1 IRVINE, CA 92618 OFFICE: (949) 286-7000

### APPLICANT'S REPRESENTATIVE

AFFICANT S REFIGURING, INC. 2362 McGAW AVE. IRVINE, CA 92614 PHONE: (949) 622-0333 FAX: (949) 622-0331

#### PROPERTY OWNER:

OWNER: BINARVA, LLC CONTACT: AJ PATEL (AJAYKUMAR) ADDRESS: 439 KENWOOD STREET UPLAND, CA 91784 PHONE: 909-982-1183

### PROPERTY INFORMATION:

SITE NAME: WEST HOLT SITE ADDRESS: 1600 WEST HOLT AVENUE POMONA, CA 91768

JURISDICTION: CITY OF POMONA

#### CONSTRUCTION INFORMATION

225 SQ FT (EQUIPMENT & ANTENNA LEASE AREA) AREA OF CONCTRUCTION: OCCUPANCY: UNMANED TELECOMMUNIATIONS FACITLY TYPE OF CONSTRUCTION: TYPE V-B

CURRENT ZONING: C (COMMERCIAL)

ADA COMPLIANCE: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION.

MACHINERY SPACES ARE EXEMPT FROM ACCESSIBILITY REQUIREMENTS PER THE CBC SECTION 11B-203.5.

#### **GENERAL CONTRACTOR NOTES**

#### DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR THE SAME.

#### **CODE COMPLIANCE**

- 2016 CALIFORNIA ENERGY CODE
  - 2016 CALIFORNIA MECHANICAL CODE
     2016 CALIFORNIA PLUMBING CODE

T-1	TITLE SHEET	6
LS-1	SITE SURVEY	6
A-1	OVERALL SITE PLAN	6
A-2	ENLARGED SITE PLAN, EQUIPMENT LAYOUT, & ANTENNA LAYOUT	6
A-3	ELEVATION PLAN NORTH, WEST, SOUTH, EAST ELEVATIONS	6
	1	
	1	
	1	
	CONSTRUCTION DRAWINGS	
	CONSTRUCTION DRAWINGS	

**DESCRIPTION** 

SHEET



TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN CALIFORNIA (SOUTH), CALL DIG ALERT TOLL FREE: 1-800-227-2600 OR www.digalert.org CALIFORNIA STATUTE

Call before you dig.

#### **ISSUE STATUS** 06/02/16 90% ZD 1 06/20/16 100% ZD 2 08/25/16 100% ZD 3 01/09/16 100% ZD 5 03/31/17 100% ZD 6 12/05/17 100% ZD



## DGE JOB # 113VW082A PROPRIETARY INFORMATION

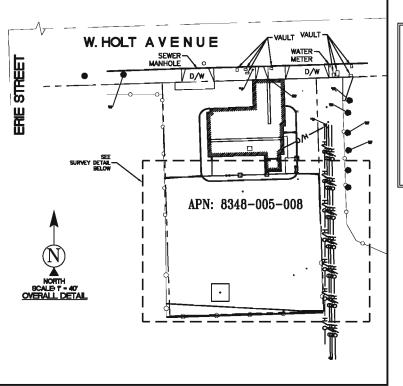


REV

1600 WEST HOLT AVENUE POMONA, CA 91768 HOLT S WE

SHEET TITLE:

**TITLE SHEET** 



SCHEDULE "B" NOTE
REFERENCE IS MADE TO THE TITLE REPORT ORDER #08025691, ISSUED BY
COMMONWEALTH LAND TITLE COMPANY, DATED JUNE 3, 2015. ALL EASEMENTS CONTAINED
WITHIN SAID TITLE REPORT AFFECTING THE IMMEDIATE AREA SURROUNDING THE LEASE

NOTE: ITEM(S) #1, 2, AND 4-7 ARE NOT SURVEY MATTERS OR HAVE NO AFFECT ON THE LEASE AREA AND HAVE NOT BEEN PLOTTED.

3. A LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH

THEREIN.
LESSOR: FRANCIS D. REIDER, A MARRIED MAN
LESSEE: BLUE STAR DAIRY DRIVE—IN, A GENERAL PARTNERSHIP
RECORDING DATE: SEPTEMBER 20, 1965
RECORDING NO: 2558 OFFICIAL RECORDS
THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE AND OTHER
MATTERS AFFECTING THE

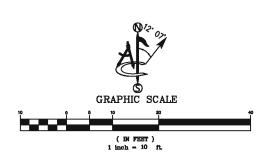
INTEREST OF THE LESSEE ARE NOT SHOWN HEREIN. (BLANKETS IN NATURE)

THE SURVEYORS OPINION IS THAT NO SCHEDULE "B" ITEMS PROVIDED BY SAID REPORT AFFECT THE PROPOSED LEASE AREA PREMISES SHOWN HEREON.

#### LESSOR'S LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
THE EASTERLY 133.88 FEET OF THAT PORTION OF THE NORTH 10 ACRES OF THE WEST 20 ACRES OF LOT 40 OF J. E. PACKARDS ORANGE GROVE TRACT, IN THE CITY OF POMONA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 25, PAGE 84 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, SAID ACRES BEING COMPUTED TO THE CENTERLINE OF ADJOINING STREETS, AS SHOWN ON SAID MAP, LYING EAST OF THE FOLLOWING DESCRIBED LINF.

BEGINNING AT A POINT IN THE SOUTHERLY LINE OF HOLT AVENUE. THAT IS DISTANT. THEREON NORTH 88' 39'EAST 390.7 (590.7) FEET FROM THE EAST LINE OF ENE AVENUE AS SAID STREETS ARE SHOWN ON SAID MAP; THENCE SOUTH 0' 05'EAST 536.8 FEET TO THE SOUTH LINE OF SAID NORTH 10 ACRES. EXCEPT THEREFROM THE SOUTHERLY 325 FEET OF SAID LAND.



## UTILITY NOTES

**LEGEND** POWER POLE CHAIN LINK FENCE ģ CLF LIGHT POLE
AIR CONDITIONING UNIT BUILDING CONCRETE MASONRY UNIT SEWER MANHOLE CMU FC AP FACE OF CURB POSITION OF GEODETIC COORDINATES ASPHALT D/W WIF SW DRIVEWAY XXXXX SPOT ELEVATION WROUGHT IRON FENCE --- LEASE AREA LIMITS SIDEWALK NG NATURAL GRADE — ○— CHAIN LINK FENCE CMU WALLS

— — — — MINOR CONTOUR INTERVAL

# SIRVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS ARE DEFINITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION, REMOVAL, RELOCATION AND/ OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

BENCHMARK
PROJECT ELEVATIONS ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS BY APPLICATION OF NGS 'GEOID 12B' MODELED SEPARATIONS TO ELLIPSOID HEIGHTS DETERMINED BY OBSERVATIONS OF THE 'SMARTNET' REAL TIME NETWORK. ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD88.

BASIS OF BEARING
BEARINGS SHOWN HEREON ARE BASED UPON U.S.
STATE PLANE NADB3 COORDINATE SYSTEM CALIFORNIA
STATE PLANE COORDINATE ZOME FIVE, DETERMINED BY

## SURVEY DATE

#### **DIRECTIONS TO SITE**

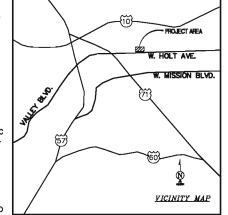
(FROM VERIZON WIRELESS OFFICES IN IRVINE, CA.)
HEAD SOUTHEAST ON WATERWORKS WAY TOWARD SAND
CANYON TRAIL; TURN LEFT ONTO SAND CANYON AVE;
TURN LEFT TO MERGE ONTO THE I-5 N; TAKE THE TURN LEFT IO MERGE ONTO THE 1-5 N; TAKE THE CA-57 N. EXIT TOWARD POMONA; CONTINUE ONTO CA-57 N; TAKE THE TEMPLE AVE. EXIT; TURN LEFT ONTO W. MISSION BLVD.; TURN LEFT ONTO HUMANE WAY; TURN RIGHT ONTO W.LLEY BLVD.; CONTINUE ONTO W. HOLT AVE.; DESTINATION WILL BE ON THE RIGHT.

#### SURVEYOR'S NOTES

SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE ISSUED.
THE BOUNDARY SHOWN HEREON IS PLOTTED FROM
RECORD INFORMATION AND DOES NOT CONSTITUTE A
BOUNDARY SURVEY OF THE PROPERTY.

### FLOOD ZONE

THIS PROJECT APPEARS TO BE LOCATED WITHIN FLOOD THIS PROJECT AFFEARS TO BE EUCATED WITHIN FLOOD
ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2%
ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEDERAL
EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP(S), MAP ID #06037C1725F, DATED SEPTEMBER 26, 2008.



06/29/16 **DELTA GROUPS** ENGINEERING. INC. 2362 McGAW AVE. IRVINE, CA 92614 TEL: 949-622-0333 FAX: 949-417-2663 DGE JOB # 113VW083A

PROPRIETARY INFORMATION THE INFORMATION CONTAINED IN THIS SET OF PRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON WIRELESS

Y USE OR DISCLOSURE OTHER THAN AS IT RELAT TO VERIZON WIRELESS IS STRICTLY PROHIBITED

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SAND CANYON AVENUE, IRVINE, CA 92618

**ISSUE STATUS** 

DESCRIPTION BY

PRELIMINARY

LEASE AREA

REV. DATE

0 05/19/16





428 MAIN STREET: SUITE 206

1600 WEST HOLT AVENUE POMONA, CA 91768 ANGELES COUNTY **WEST HOLT** ros,

SHEET TITLE:

SITE SURVEY

