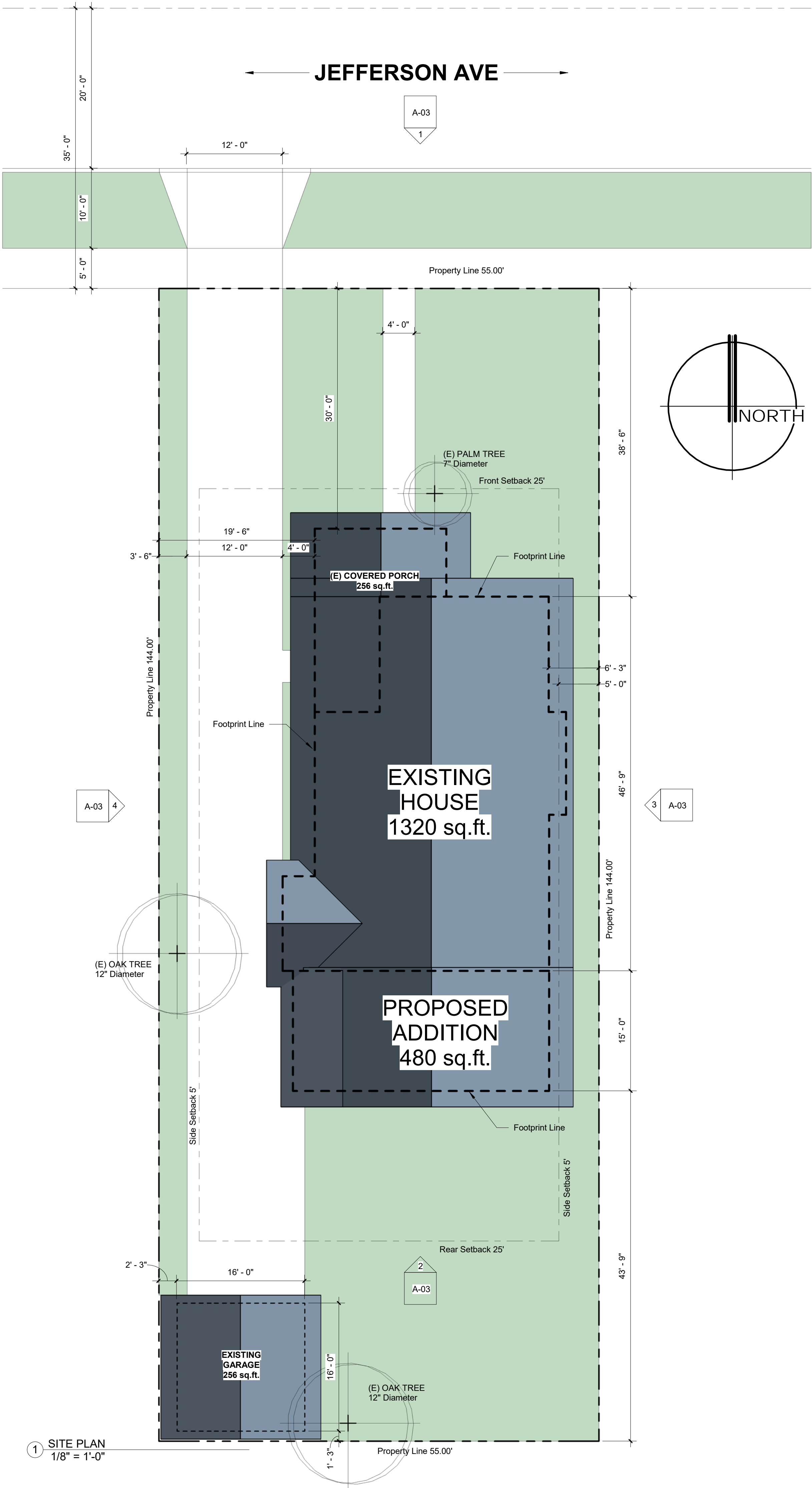


GENERAL NOTES

1. DO NOT SCALE DRAWINGS.
2. ALL CONSTRUCTION, INCLUDING MATERIAL AND WORKMANSHIP, SHALL CONFORM TO THE PROVISIONS OF THE 2016 EDITION OF THE "CALIFORNIA BUILDING CODE" (CBC) WITH INCLUDE LATEST GOVERNING AGENCY AMENDMENTS, AND STANDARDS REFERENCED THEREIN. WHERE EVER CODE OR CALIFORNIA BUILDING CODE (CBC) IS REFERENCED IN THE FOLLOWING GENERAL NOTES AND/OR PLANS,, IT SHALL IMPLY THE CBC CODE WITH GOVERNMENT AGENCY AMENDMENTS.
3. ALL ASTM STANDARD LESTED HEREIN SHALL BE CURRENT AND COMPLIANT TO 2016 CBC, CHAPTER 35.
4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AND REPORT ANY DISCREPANCIES TO THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH THE PROJECT.
5. ALL OMISSIONS AND/OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE FIELD INSPECTOR, AND A SOLUTION GIVEN BY THE DESIGNER AND STRUCTURAL ENGINEER PRIOR TO PROCEEDING WITH ANY WORK AFFECTED BY THE CONFLICT OR OMISSION.
6. IN CASE OF CONFLICT, NOTES AND DETAILS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER THE GENERAL NOTES AND/OR STANDARD DETAILS. TYPICAL DETAILS SHALL BE USED WHENEVER APPLICABLE.
7. IF A SPECIFIC DETAIL IS NOT SHOW FOR ANY PART OF THE WORK, THE CONSTRUCTION SHALL BE THE SAME AS FOR SIMILAR WORK.
8. THE CONTRACTOR SHALL SUPERVISE AND DIRECT WORK AND WILL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUE, SEQUENCES AND PROCEDURES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE OF ANY CONDITIONS THAT MIGHT ENDANGER THE STABILITY OF THE STRUCTURE AND OF ENSURING PROPER ALIGNMENT ON ALL PLANES OF THE FINAL STRUCTURE.
10. THE CONTRACTOR SHALL GIVE DUE AND LEGAL NOTICE TO ADJACENT PROPERTY OWNERS REGARDING THE PROTECTION OF THEIR PROPERTY AND STRUCTURES, WHICH MAY BE NECESSARY DUE TO EXCAVATION AND CONSTRUCTION INDICATED ON THESE PLANS, IN DUE TIME PRIOR TO THE START OF THE EXCAVATION.
11. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ENGINEER OR BY THE ENGINEER IN RECORD SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES REQUIRED FOR THE SAME.
12. ANY SUPPORT SERVICES PERFORMED BY THE ENGINEER OR A REPRESENTATIVE OF THE ENGINEER DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS.
13. SUPPORT SERVICES PERFORMED BY THE ENGINEER OR A REPRESENTATIVE OF THE ENGINEER, WHETHER MATERIAL OR WORK AND WHETHER RENDERED PRIOR TO, DURING OR AFTER COMPLETION OF CONSTRUCTION, ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS, BUT THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.
14. THE STRUCTURAL PLANS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL PLANS AN THE STAMPED APPROVED STRUCTURAL SET OF PLANS SHALL BE KEPT ON THE JOB SITE AND BE MADE AVAILABLE TO AUTHORIZED REPRESENTATIVES FROM THE DEPARTMENT OF BUILDING AND SAFETY.
15. ALL WORK TO CONFORM TO GUIDELINES SET FORTH ON THE LATEST REVISION OF THE CALIFORNIA BUILDING CODE ( CBC ). ALL ASTM SPECIFICATIONS NOTED ON THESE PLANS SHALL BE OF THE LATEST REVISION.
16. WHERE CONTINUOUS INSPECTION IS REQUIRED IT SHALL BE PERFORMED BY A REGISTERED DEPUTY INSPECTOR WHOSE QUALIFICATIONS AND PERFORMANCE ON THE JOB SHALL BE SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF BUILDING AND SAFETY.
17. HARDWARE CALL OUTS MAY BE SUBSTITUTED BY EQUIVALENT HARDWARE ONLY UPON THE APPROVAL OF THE ENGINEER. THE ENGINEERING CATALOG OR BROCHURE OF THE EQUIVALENT HARDWARE AND THE L. A. R. R. NUMBERS FOR THE ITEMS REQUESTING SUBSTITUTION MUST BE SUBMITTED TO THE ENGINEER WHEN REQUESTING THE SUBSTITUTION.
18. NO DEVIATIONS WILL BE MADE FROM THE STRUCTURAL PLANS AND DETAILS WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS AND / OR SPECIFICATIONS.
19. REFER TO ALL "NOTES" ON OTHER STRUCTURAL SHEETS. IN CASE OF CONFLICT, "NOTES" TAKE PRECEDENCE OVER SPECIFICATIONS. IN THIS CASE THE ENGINEER SHALL BE NOTIFIED.
20. THE WORD: "TYPICAL", AS IT IS USED ON THE PLANS, SPECIFICATIONS, NOTES AND DETAILS REFERS TO ITEMS OUTLINED ON THOSE DOCUMENTS AND THAT REPEAT THEMSELVES OR ARE SIMILAR ELSEWHERE ON THOSE DOCUMENTS.
21. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS BEFORE PROCEEDING WITH THE PROJECT.
22. SHORING PLANS, IF REQUIRED, SHALL BE PROVIDED BY OTHERS.
23. REFER TO THE ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS. SHEAR WALL DIMENSIONS ARE MINIMUM REQUIRED, THE ACTUAL WALL DIMENSIONS MAY BE GREATER.

SHEET LIST

Architectural			
Architectural	A-01	COVER & SITE PLAN	05/01/18
Architectural	A-02	FLOOR & ROOF PLANS	05/01/18
Architectural	A-03	ELEVATIONS	05/01/18
Architectural	A-05	SECTIONS AND DETAILS	05/01/18
Architectural	A-06	ELECTRICAL AND PLUMBING	05/01/18
Notes			
Notes	N-01	2017 CALGREEN NOTES	05/01/18
Notes	N-02	NOTES PLUMBING & MECHANICAL	05/01/18
Notes	N-03	NOTES ELECTRICAL	05/01/18
Notes	N-04	T24 ENERGY REPORT	05/01/18
Structural			
Structural	D-1	STRUCTURAL DETAILS	05/18/18
Structural	N-1	STRUCTURAL DETAILS	05/18/18
Structural	S-1	FOUNDATION & FRAMING PLAN	05/18/18



1 SITE PLAN  
1/8" = 1'-0"

JOSE & GABRIELA SERRANO

112 E. Jefferson Ave., Pomona CA.

909.656.5420 / 909.455.7423

PROJECT DESCRIPTION

1. PROPOSED ADDITION OF ONE MASTER BEDROOM, ONE BEDROOM, BATHROOM & CLOSETS.

BUILDING DATA

Assesor Parcel Number: 8339-024-009

ZONE:

OCCUPANCY:

TYPE:

STORIES:

SPRINKLERED:

R-1-6000 SINGLE FAMILY

R3

V-B

1 Stories

NOT - Existing Building

PROJECT SUMMARY DATA

LOT AREA:

7,920 sq.ft.

100.0 %

BUILDING AREA

Gross Floor Area:

(E) Existing House

Proposed Addition

(E) Covered Porch

(E) Garage

Total Lot Coverage Area

1,320 sq.ft.

480 sq.ft.

256 sq.ft.

256 sq.ft.

2,312 sq.ft.

29.2 %

APPLICABLE CODES

2016 California Building Code

2016 California Residential Code

2016 California Fire Code

2016 California Electrical Code

2016 California Mechanical Code

2016 California Plumbing Code

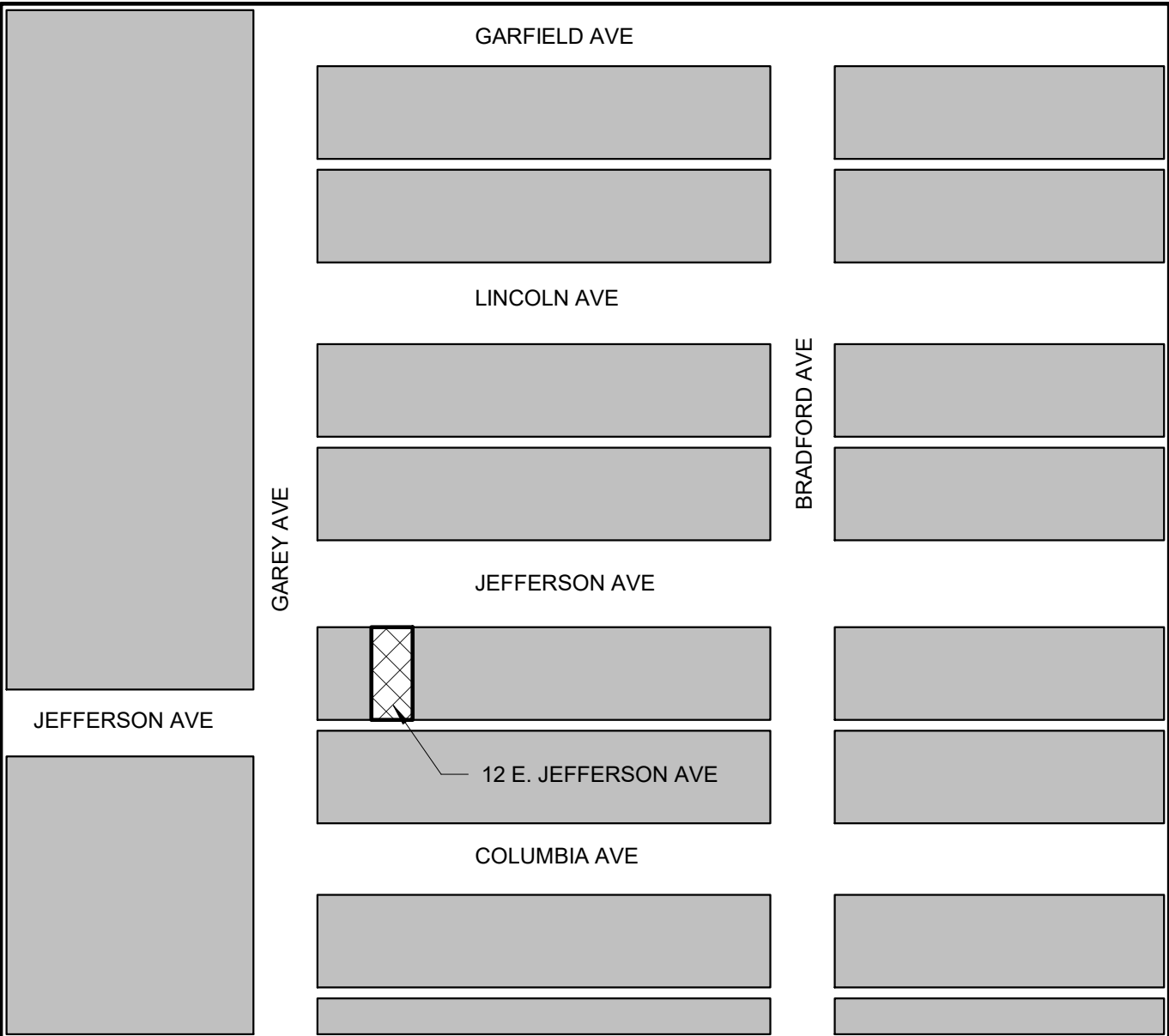
2016 California Green Building Standards Code

2016 California Reference Standard Code

2016 California Administrative Code

2016 California Energy Code

2016 California Building Energy Efficiency Standards



VICINITY MAP (NO SCALE)

design by:

sketch digital  
Commercial & Residential Designers

www.sketchdigital.com (909) 532-5090

8181 Palmetto Ave., Suite 102  
Fontana, CA. 92335

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No.	Description	Date

JOSE & GABRIELA SERRANO

SERRANO RESIDENCE

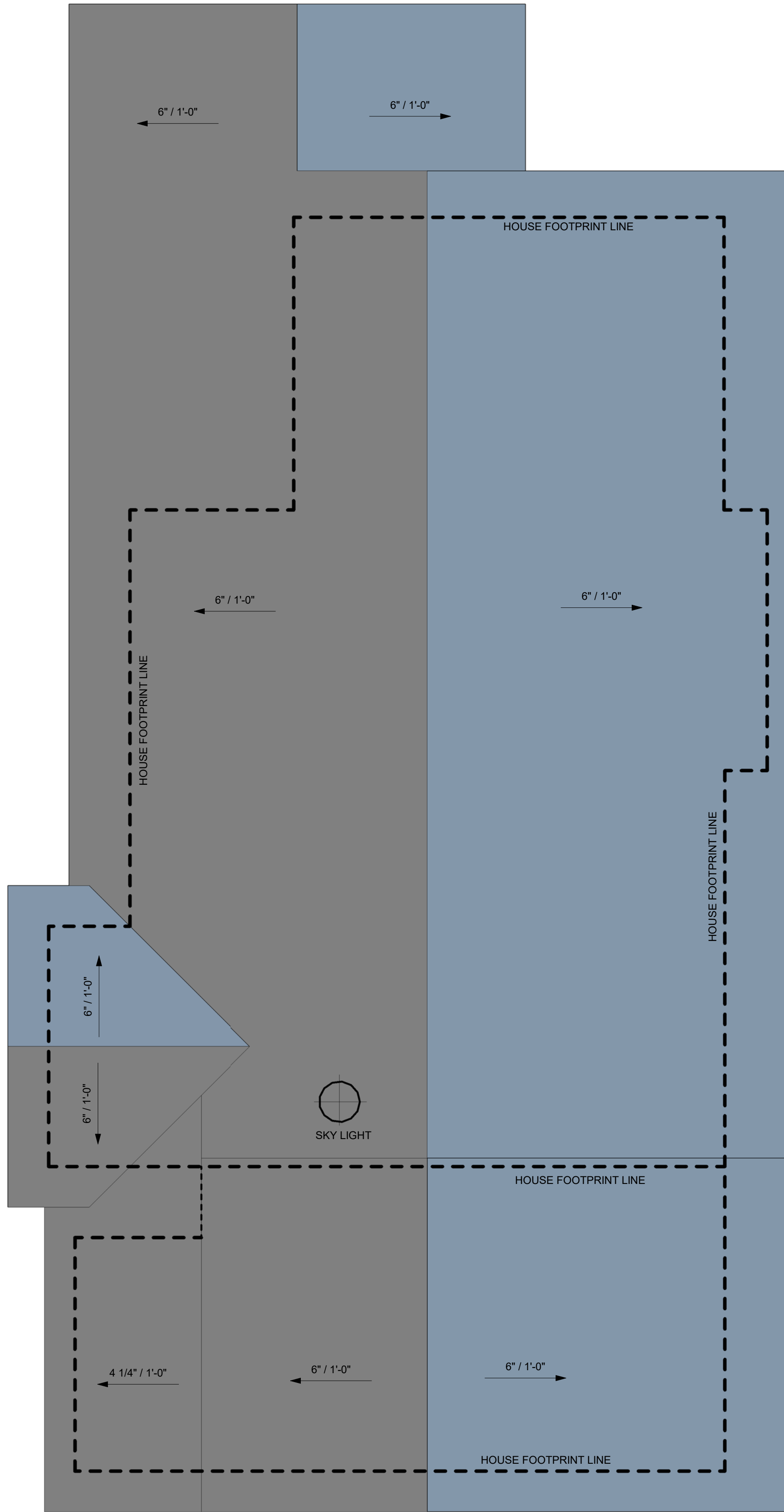
112 E. JEFFERSON AVE.  
POMONA CA

COVER & SITE PLAN

Project number	08-2018
Date	APRIL 2018
Drawn by	Author
Checked by	Checker

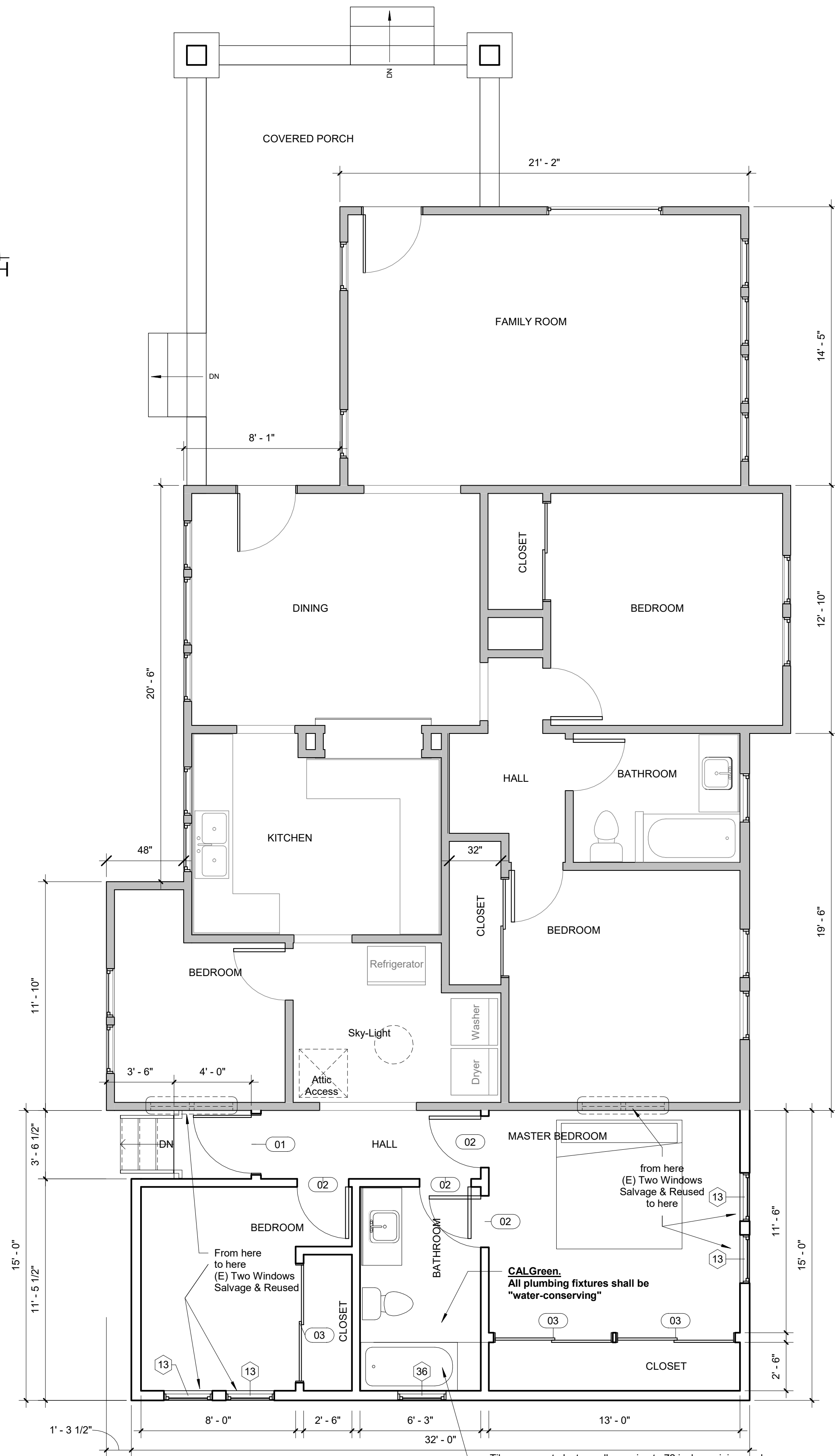
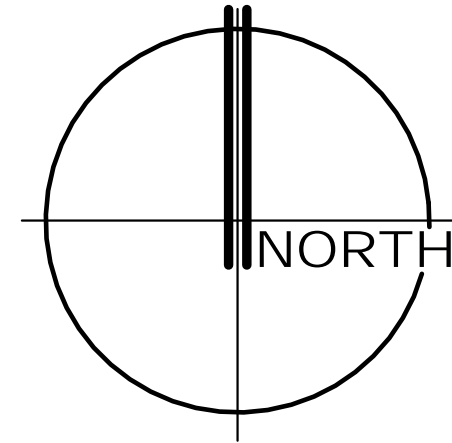
A-01

Scale As indicated



2 ROOF PLAN  
1/4" = 1'-0"

SCHEDULE DOORS						
Mark	Count	Family	Width	Height	Comments	
01	1	Door-Interior-Single-Full Glass-Wood	36"	7' - 0"	Existing Exterior Door Salvage an Re-used Tempered Glassing Door / U-Value = 0.32 minimum / SHGC = 0.25 minimum	
02	4	Single-Flush	32"	7' - 0"		
03	3	Door-Interior-Double-Sliding-2_Panel-Wood	72"	7' - 0"		



1 FLOOR PLAN  
1/4" = 1'-0"

SCHEDULE WINDOWS							
Mark	Count	Family and Type		Width	Height	Sill Height	Comments
13	4	Window-Double-Hung: 30" x 46" Wood frame to match existing (Salvage & Reused)		2' - 6"	3' - 10"	3' - 0"	Window / U-Value = 0.30 minimum / SHGC = 0.21 minimum
36	1	Window-Double-Hung: 30" x 30" Wood frame to match existing		2' - 6"	2' - 6"	5' - 0"	Tempered Glazing Window / U-Value = 0.30 minimum / SHGC = 0.21 minimum

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**SERRANO  
RESIDENCE**

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**FLOOR & ROOF  
PLANS**

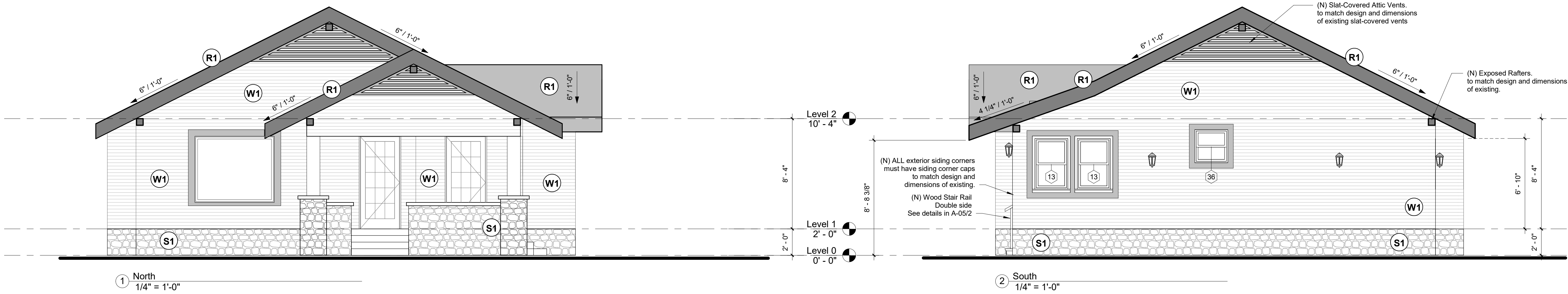
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Date	APRIL 2018
Drawn by	Author
Checked by	Checker

**A-02**

Scale 1/4" = 1'-0"

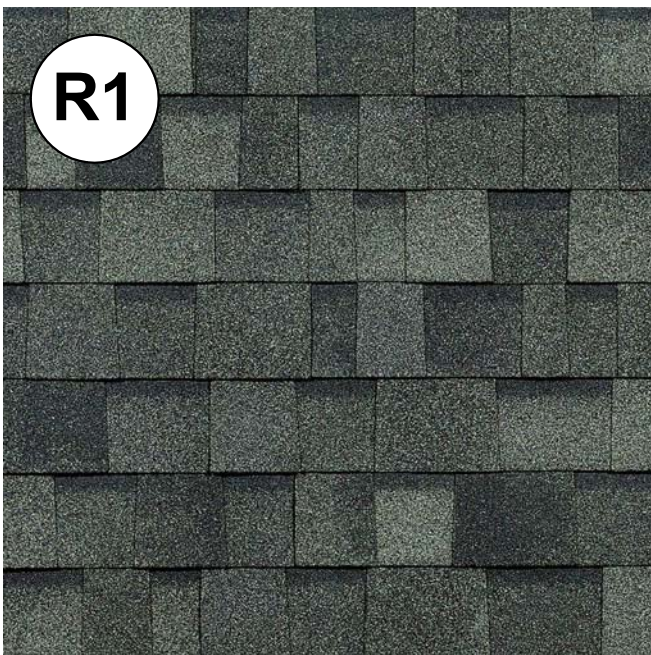
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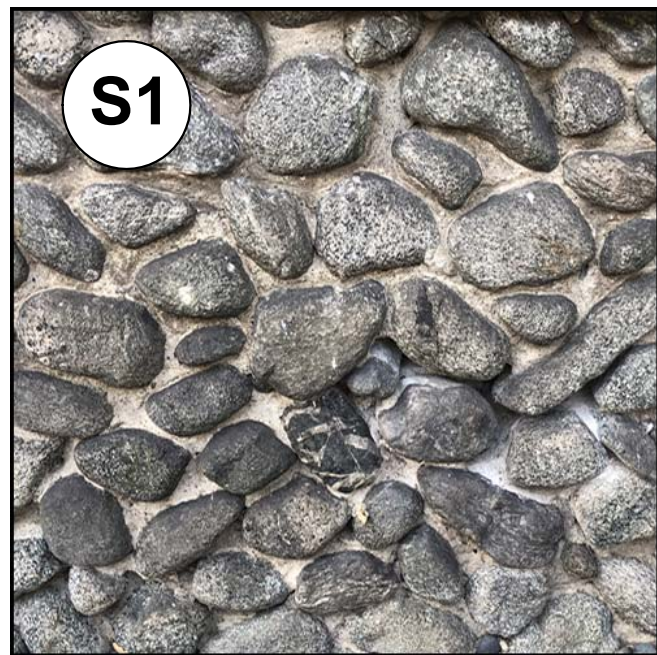


### Finish Schedule

NOTE: ALL FINISHINGS TO MATCH EXISTING HOUSE

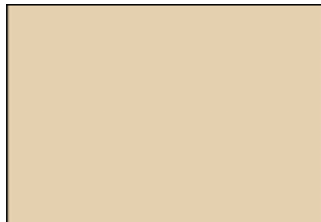


**ROOFING**  
COMPOSITE ASPHALT SHINGLES  
Owens Products - Oakridge Estate Gray  
Laminate Architectural Shingles



**EXTERIOR WALL BASE**  
ROUGH STONE VENEER  
(Must to match existing)  
  
BOREAL Cultured Stone  
Whitewater River Rock  
Sizes: 6" to 10"  
Hand masonry with  
cement mortar

#### EXTERIOR COLORS



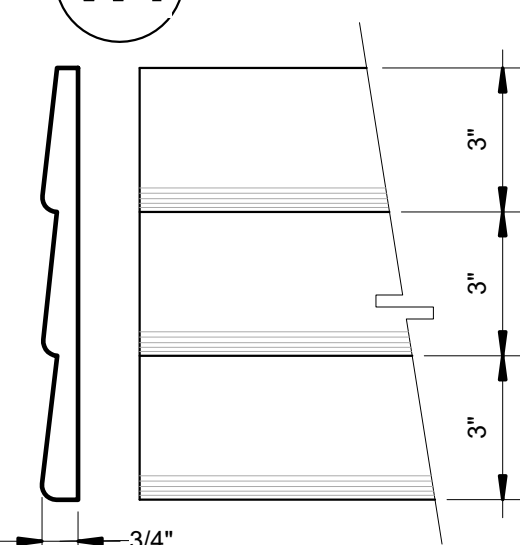
**SIDING COLOR**  
Dunn-Edwards DET663 CLAM UP  
or similar to match existing



**FRAME ACCENT WINDOWS COLOR**  
Dunn-Edwards DE5535 LIGHT PINE  
or similar to match existing

**W1**

#### EXTERIOR WALLS WOOD SIDING (Must mach existing)



(N) ALL exterior siding corners must have  
siding corner caps to match design and  
dimensions of existing.

Wall Wood Siding  
1"x10" - 3 Lap (Round Edge) Drop Siding Size

**COLOR**  
Dunn-Edwards  
DET663 CLAM UP  
or similar to match existing

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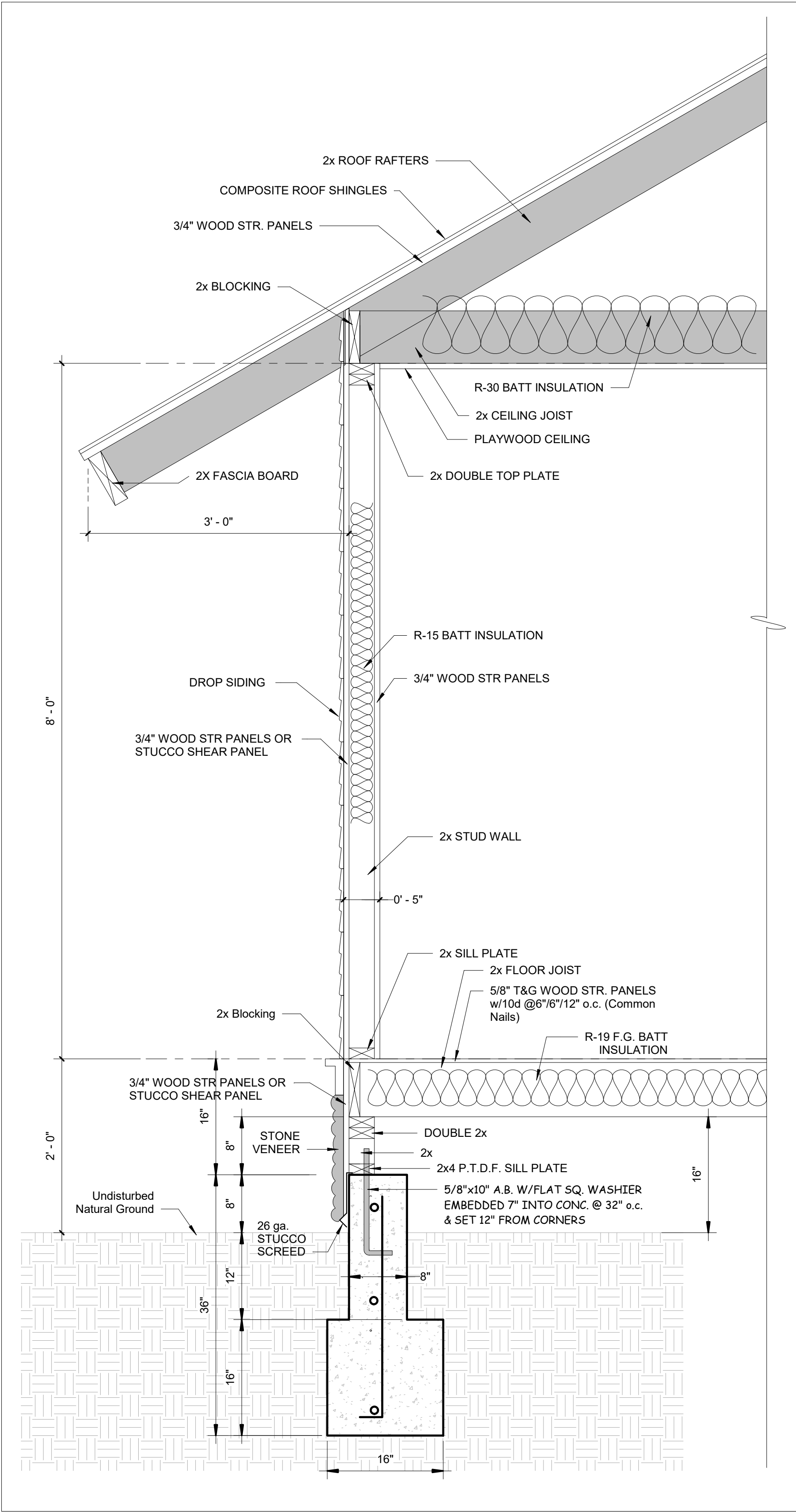
### ELEVATIONS

Project number	08-2018
Date	APRIL 2018
Drawn by	Author
Checked by	Checker

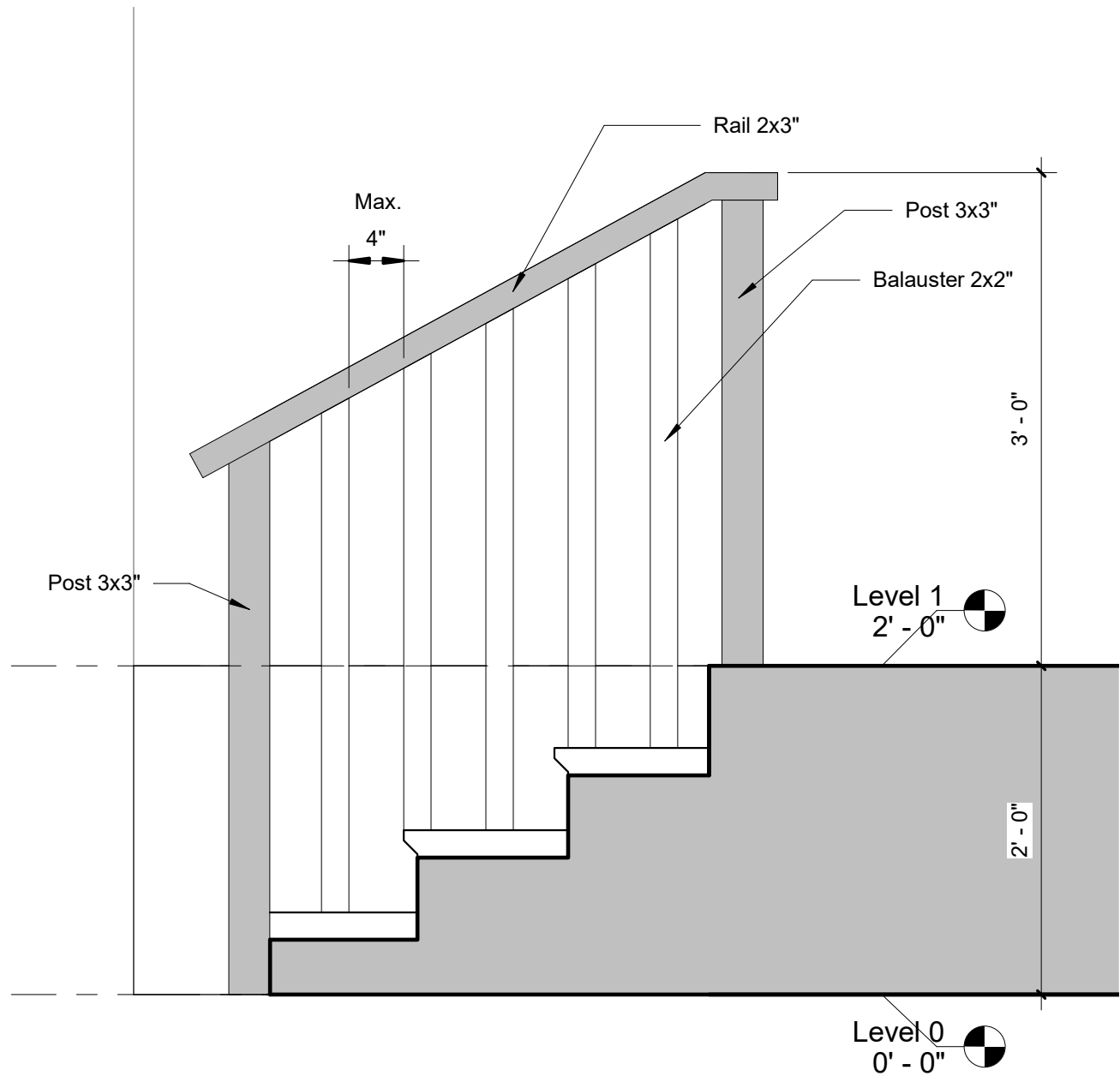
**A-03**

Scale As indicated





① HOUSE SECTION DETAIL (Type)  
1" = 1'-0"

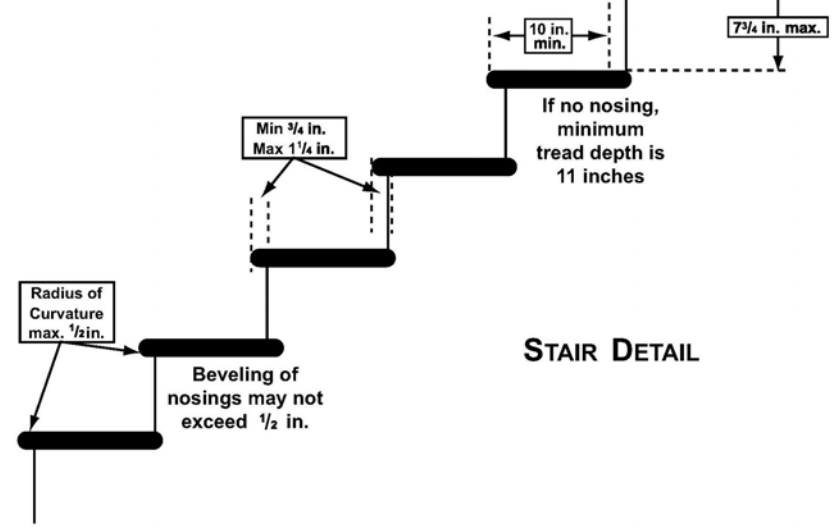


② DETAIL - WOOD RAIL, Double Side  
1" = 1'-0"

STAIRWAYS AND LANDINGS

Private stairways shall be a minimum of 36 inches wide. Trim and handrails may not encroach into this minimum width by more than 4 1/2 inches. The maximum rise of each step is 7 3/4 inches, the minimum rise is 4 inches. The minimum run is 10 inches. If there is no nosing minimum tread depth is 11 inches. The largest tread width or riser height in any flight of stairs shall not exceed the smallest by more than 3/8 inch. A nosing not less than 3/4 inch but not more than 1 1/4 inches shall be provided on stairways with solid risers where the tread depth is less than 11 inches. The radius or bevel at the leading edge of the stair tread shall be 1/2 inch maximum.

For residential stairs, open risers are permitted, provided that the opening between treads does not permit the passage of a 4-inch diameter sphere.



Every stairway must have a headroom clearance of not less than 6'8" measured vertically from the tread nosing to the horizontal plane above.

Enclosed useable space under stairs must be protected on the enclosed side by 1-hour fire rated construction.

Landings must have a width and a dimension measured in the direction of travel not less than the width of the stairway. Doors in the fully open position shall not reduce a required dimension by more than 7 inches.

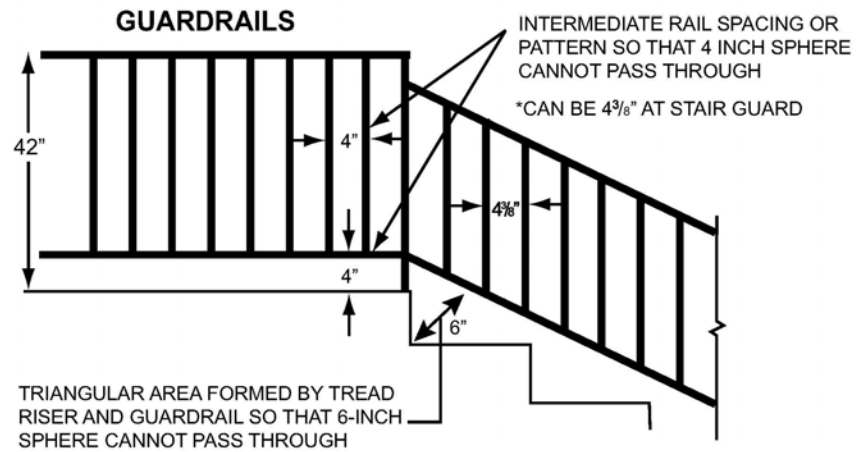
The main exterior door shall have a landing immediately on the exterior side. These landings shall be as wide as the door and a minimum of 36 inches in the direction of travel. These landings must be no more than 7 3/4 inches below the interior floor level.

An Interior door at the top of a flight of stairs need not have a landing at the top of the stairs, provided the door swings away from the stairs.

GUARDS

The intent of a guardrail is to prevent people, particularly small children, from falling off the edge of a horizontal standing surface. Guards shall protect open sides of stairways, landings, ramps, balconies, decks, or porches, which are more than 30 inches above grade or the floor below.

The top of residential guardrails must be at least 42 inches above the upper standing surface. Guardrails must have intermediate rails or an ornamental pattern placed in such a manner that a sphere 4 inches in diameter cannot pass through. The triangular openings formed by the riser, tread and bottom element of a guardrail at the open side of a stairway may be of such size that a sphere 6 inches in diameter cannot pass through. Openings for required guards on the sides of stair treads shall not allow a sphere of 4 3/8 inches to pass through.



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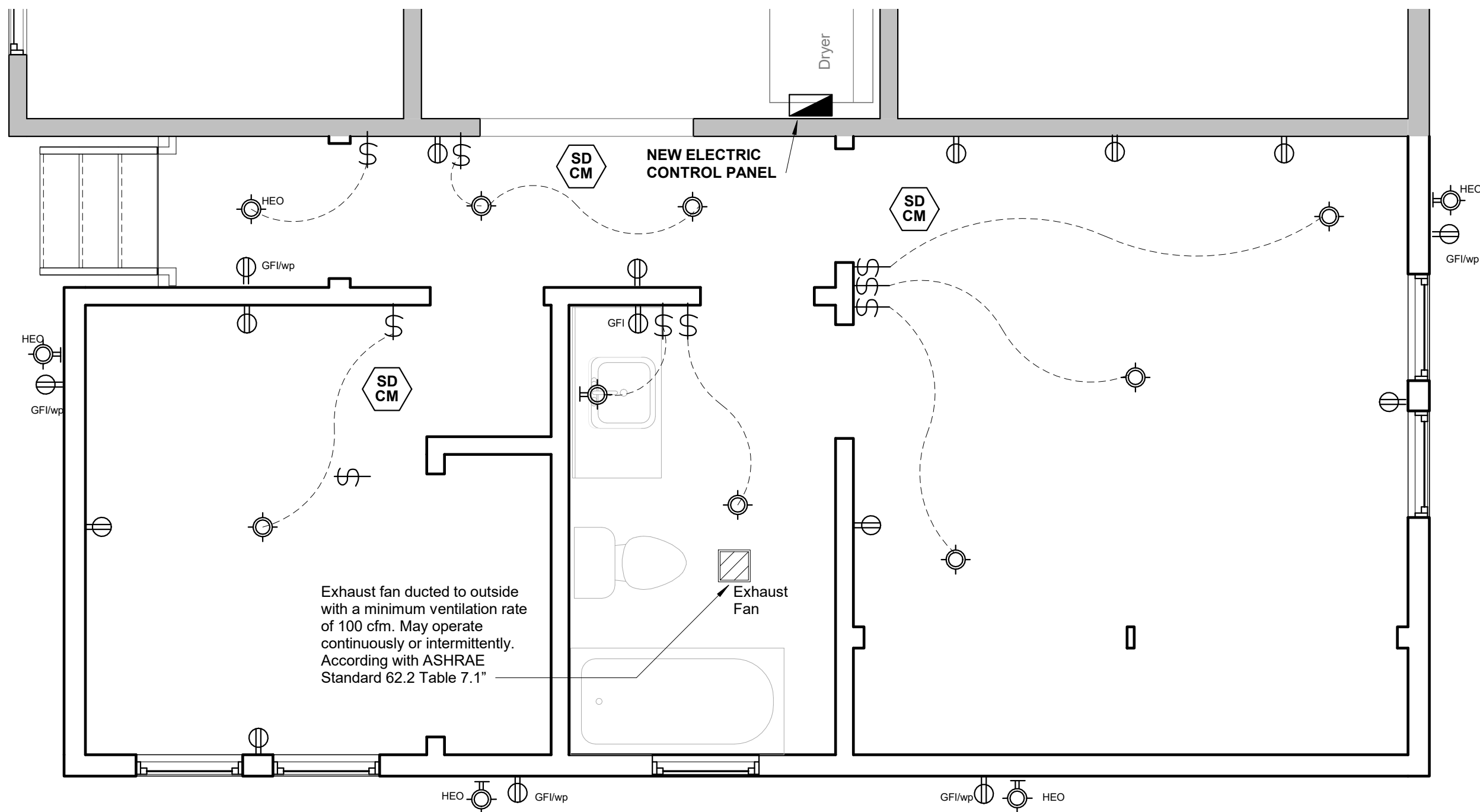
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POMONA CA

**SECTIONS AND  
DETAILS**

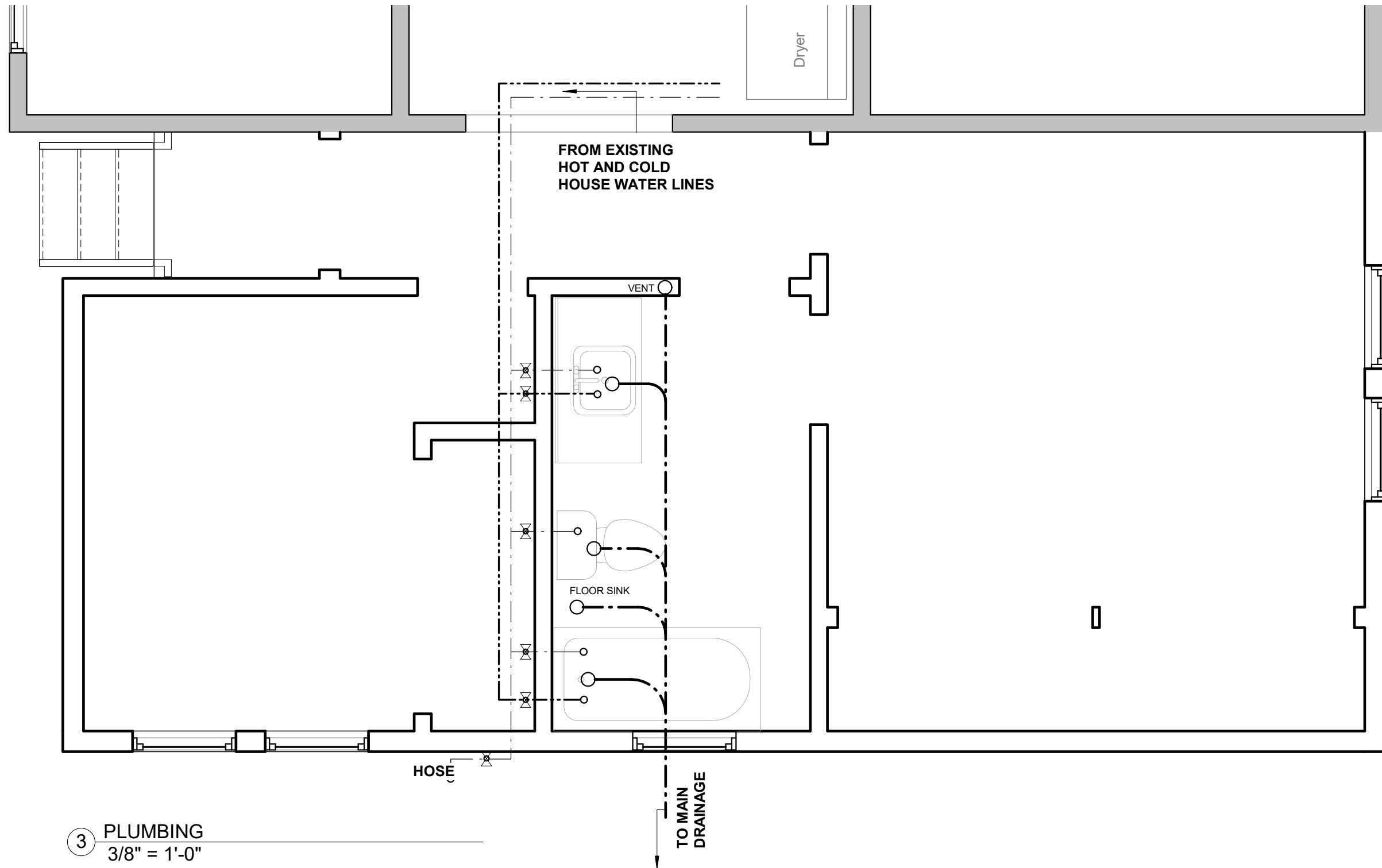
Project number	08-2018
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Drawn by	Author
Checked by	Checker

**A-05**

Scale As indicated



1 ELECTRICAL  
3/8" = 1'-0"



3 PLUMBING  
3/8" = 1'-0"

ELECTRICAL SYMBOLS

120v DOUBLE OUTPUT  
ARC FAULT CIRCUIT INTERRUPT  
(Protect entire branch circuit)  
GFI Ground Fault Circuit Interrupt  
GFIwp Ground Fault Circuit Int. Water Proof

HIGH EFFICACY  
LIGHT FIXTURE  
HEO with Occupancy Sensor  
HEP with Photo-Sensor

HIGH EFFICACY  
WALL-LIGHT FIXTURE

SWITCH 3 WAY SWITCH  
D SWITCH WITH INTEGRATED DIMMER CONTROL  
DO SWITCH WITH OCCUPANCY SENSOR

FL Fluorescent Fixture  
TV T.V. Output  
NT Network Output  
PH Phone Output  
SD CM Smoke Detector  
Carbon Monoxide Detector

CIRCUIT SYMBOLOGY

P1 - C1 - S1,2,3  
fed by panel # 1  
served by switch 1,2,3  
circuit #

HVAC SYMBOLS

RETURN AIR REGISTER  
EXHAUST AIR REGISTER  
CEILING DIFUSER  
CEILING AIR EXTRACTOR

PLUMBING SYMBOLS

COLD WATER  
HOT WATER  
WASTE LINE  
GAS LINE  
VALVE

SECURITY REQUIREMENTS

- Exterior doors, doors between house and garage, windows and their hardware shall conform to the Security Provisions of Chapter 67 of the County of Los Angeles Building Code.
  - Single swinging doors, active leaf or a pair of doors, and the bottom leaf of Dutch doors shall be equipped with a latch and a deadbolt key operated from the outside. Deadbolts shall have a hardened insert with minimum 1-in. throw and 5/8-in. embedment into the jamb. If a latch has a key-locking feature, it shall be a dead latch type. (6709.2)
  - Inactive leaf of a pair of doors or upper leaf of Dutch doors shall have a deadbolt as per the paragraph "a" not a key operated, or hardened deadbolt at top and bottom with 1/2-in. embedment. (6709.3)
  - Swinging wood door(s) shall be solid core not less than 1-3/8-in. thick. (6709.1.1)
  - Panels of wood doors shall be 1-3/8-in. thick and not more than 300 sq. inches. Stiles and rails to be 1-3/8-in. thick and 3-in. minimum width. (6709.1.2)
  - Door hinge pins accessible from the outside shall be non-removable. (6709.5)
  - Doorstops of wood jambs of in-swinging doors shall be one-piece construction or joined by a rabbet. (6709.4)
  - Glazing within 40-in. of the locking device of the door shall be fully tempered/approved. (6714)
  - Overhead and sliding garage doors shall be secured with a cylinder lock, a padlock with a hardened steel shackle, or equivalent when not otherwise locked by electric power operation. Jamb locks shall be on both jambs for doors exceeding 9-ft.in width. (6711)
  - Sliding glass doors and sliding glass windows shall be capable of withstanding the tests set forth in Section 6706 and 6707 and shall bear forced-entry-resistant labels. (6710, 6715)

CONSTRUCTION REQUIREMENTS

- Notching of exterior and bearing/nonbearing walls shall not exceed 25% / 40% respectively. Bored holes in bearing/nonbearing walls shall not exceed 40% / 50% respectively. (2308.9.10, 2308.9.11)
- Group R-3 shall have a minimum interior finish rating of Class C. (T-803.5)
- Provide fire blocking in concealed spaces of stud walls, partitions, including furred spaces, at the ceiling and floor level, and at 10-ft. intervals both vertical and horizontal. (717.2)
- Pipes, ducts and other nonstructural construction shall not interfere with accessibility to or within under-floor area. (1209.1.1)
- Galvanized steel (zinc-coated G90) (26 gage) roof valley flashing is required. (T-1507.2.9.2)
- Note on the plans: "Roof diaphragm nailing to be inspected before covering. Face grain of plywood shall be perpendicular to supports."
- Floors shall have approved tongue-and-groove joints or blocked panel edges. Plywood spans shall comply with Table 2304.7(3).

GLAZING REQUIREMENTS

- The following shall be considered specific hazardous locations requiring safety glazing: (2406.3)
- Glazing in swinging, sliding, storm and bi-fold doors.
  - Glazing located within 60-in. of the floor surface in tubs, showers, saunas, or steam rooms.
  - Glazing within a 24-in. arc of either vertical edge of doors and within 60-in. of walking surface.
  - Glazing in an individual fixed or operable panel that meets all of the following conditions:
    - Exposed area of an individual pane greater than 9 SF.
    - Exposed bottom edge less than 18-in. above the floor.
    - Exposed top edge greater than 36-in. above the floor.
    - One or more walking surfaces within 36-in. horizontally of the plane of the glazing
  - Glazing in guards and railings regardless of height above a walking surface. Included are structural baluster panels and nonstructural in-fill panels.
  - Glazing in walls and fences enclosing indoor and outdoor swimming pools, hot tubs and spas where all of the following conditions are present:
    - The bottom edge of the glazing is less than 60-in. above the walking surface.
    - The glazing is within 60-in. of the water's edge.
  - Glazing adjacent stairways, landings and ramps within 36-in. horizontally of walking surface and less than 60-in. above walking surface.
  - Glazing adjacent stairways within 60-in. horizontally of bottom tread of stairway and exposed surface is less than 60-in. above nose of tread.
  - Glazing is within 40" of a locking device of the door. (6714)

MECHANICAL / PLUMBING / ELECTRICAL CODE

- Dwelling shall be provided with comfort heating facilities capable of maintaining a room temperature of 68° F @ 3-ft. above floor. (1204.1)
- The following are required for the forced air furnace in a compartment:
  - Central heating furnaces and low-pressure boilers installed in alcoves and closets shall be listed for such installation. Listed clearances shall be used and may not be reduced. (MC 904.2(B))
  - When combustion air is taken from inside, area of combustion air openings shall be 1 sq. in. per 1,000 BTU (100 sq. in. minimum) per opening, one opening within 12-in. of ceiling and second opening within 12-in. of floor. (MC 701.3.1(1))
  - Combustion air from outside to compartment with a 1/4-in. screen at outside opening. (MC 701.9(B))
  - Separate ducts for upper and lower combustion air supply openings. (MC 701.1(4))
- The following are required for furnace or comfort cooling equipment in an attic:
  - Scuttle 22-in. x 30-in. or the size of the largest piece of equipment and located not over 20-ft. from equipment where the height of passageway is less than 6-ft. (MC 904.11)
  - 24-in. wide unobstructed passageway of solid continuous flooring from scuttle to equipment and its controls. (MC 904.11)
  - Unobstructed workspace of 30-in. X 30-in. min. in front of service side of equipment. (MC 904.11)
  - A permanent 120V receptacle outlet and a lighting fixture shall be installed near the appliance. Light switch shall be located at the entrance to the passageway. (MC 931.4)
  - Vent through the roof a min. of 5ft. above the highest vent collar that it serves. (MC 806.2.1)
  - Furnace installation shall meet all listed clearance. (MC 304)
- Clothes dryer moisture exhaust duct shall terminate on the outside of the building and shall be equipped with a back-draft damper. Screens shall not be used and the exhaust duct may not extend into or through ducts or plenums. (MC 504.3)
- Clothes dryer moisture exhaust duct must be 4-in. in diameter and length is limited to 14-ft. with 2 elbows. The duct length shall be reduced by 2-ft. for every elbow in excess of two. (MC 504.3.2.2)
- The building shall have water closets (toilets), which use no more than 1.6 gallons per flush. (PC 402.2)
- Ducts shall be sized per Chapter 6 of the Mechanical Code.
- ABS and PVC DWW piping installations shall be limited to not more than two stories of residential areas. (PC 701.1.2.2)
- Plumbing plan check and approval are required for 2-in. or larger gas lines and/or water lines.
- Where NM Cable (Romex) is run across the top of ceiling joists and/or where the attic is not accessible by permanent stairs or ladders, protection within 6-ft. of the nearest edge of the scuttle hole or attic entrance shall be provided. (EC 334.23, 320.23(A))

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Notice.- It's the contractors & client's responsibility prior to and during construction to notify the design professional in writing of any perceived errors, omissions or discrepancies prior to proceeding/continue with work.

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No.	Description	Date

JOSE & GABRIELA  
SERRANO

SERRANO  
RESIDENCE

112 E. JEFFERSON AVE.  
POMONA CA

ELECTRICAL AND  
PLUMBING

Project number	08-2018
Date	APRIL 2018
Drawn by	Author
Checked by	Checker

A-06

Scale As indicated