

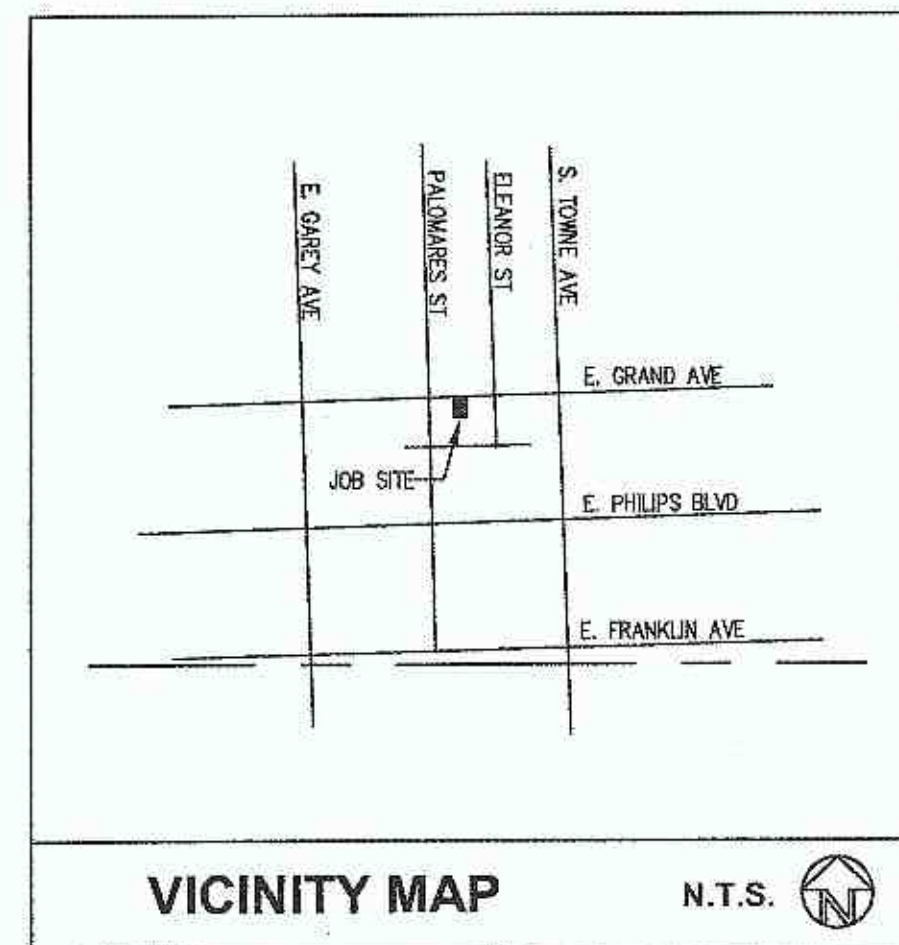
OWNER/SUBDIVIDER:
MEILON ATLANTIC LLC
713 W. DUARTE RD. #G-300
ARCADIA, CA 91007
TEL: 909-445-8178 EXT.282

PREPARED BY:
HANK JONG, PE
EGL ASSOCIATES, INC.
11819 GOLDRING ROAD, UNIT A
ARCADIA, CA 91006
TEL: 626-263-3588
FAX: 626-263-3599

TENTATIVE TRACT MAP NO.74732

IN THE CITY OF POMONA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA
BEING A SUBDIVISION OF A PORTION OF LOT 3, BLOCK 191 OF POMONA, AS PER MAP RECORDED IN
BOOK 3, PAGES 90 AND 91 OF MISCELLANEOUS RECORDS, IN THE COUNTY RECORDER OF SAID COUNTY.
FOR CONDOMINIUM PURPOSES

NORTH
SCALE: 1"=10'



UTILITY SERVICES

WATER --- CITY OF POMONA
SEWER --- CITY OF POMONA
GAS --- SOUTHERN CALIFORNIA GAS CO.
ELECTRICAL --- SOUTHERN CALIFORNIA EDISON
TELEPHONE --- VERIZON WIRELESS
SCHOOL --- POMONA UNIFIED SCHOOL DISTRICT
FIRE --- LOS ANGELES COUNTY FIRE DEPARTMENT
POLICE --- CITY OF POMONA POLICE DEPARTMENT
REFUSE --- CITY OF POMONA WASTE DISPOSAL

SURVEY BASIS

COUNTY BENCHMARK: FGS109
PK NAIL IN S CB @ BCR @ SW COR WHITE AVE & GRAND AVE
ELEV 814.485

TOPOGRAPHY AND BOUNDARY SURVEY WAS PROVIDED BY
ALFRED J. THEWELL ON JULY 18, 2016, LS 6999
AND MANAGED BY HANK JONG

CONSTRUCTION NOTES:

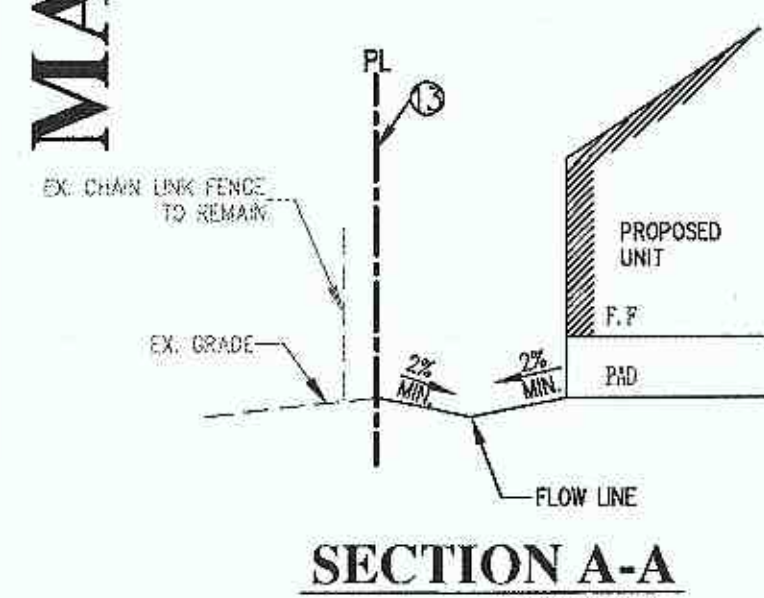
- EX. STRUCTURE TO BE REMOVED
- EX. TREE TO BE REMOVED
- PROP. DRIVEWAY APPROACH
- PROP. WALKWAY
- PROP. NEW WATER METER
- PROP. PVC DRAIN PIPE
- PROP. CATCH BASIN
- SUMP PUMP AND CONTAINMENT BASIN
- CONSTRUCT PARKWAY DRAIN.
- CONSTRUCT SUMP PUMP DISCHARGE PIPE.
- PROP. SEWER LATERAL
- PROP. SEWER CLEAN OUT
- PROP. 6" HI. ORCO (TAN MW) SPLIT FACE CONC. BLK. FENCE W/CAP.
- CONSTRUCT UNDERGROUND INFILTRATION DEVICE
- PROP. BLOCKWALL

PROJECT INFORMATION:
ZONE: R-3 (EXISTING)
ZONE: R-3 (PROPOSED)
NO. OF EX. LOTS: 1
NO. OF PROP. LOTS: 1
EX. IMPERVIOUS AREA: 14,976 SQFT
PROP. IMPERVIOUS AREA: 19,888 SQFT
EX. LAND USE: RESIDENTIAL
SEWERAGE DISPOSAL: BY GRAVITY SEWER PIPES TO STREET MAIN.
NO EX. EASEMENT ON SITE
APN: 8333-024-033
NET LOT AREA: 23,593 SF (0.54 AC)
NO. OF EX. UNITS: 1
NO. OF PROP. UNITS: 6
NO. OF PARKING PROVIDED: 12 (2 CAR GARAGE EACH UNIT) + 2 (GUEST PARKING) = 14
GENERAL PLAN DESIGNATION: RESIDENTIAL USES
FLOOD ZONE: THE LAND SHOWN HEREON LIES ENTIRELY WITHIN FLOOD ZONE "X" (UNSHADED), BEING DESCRIBED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" PER FLOOD INSURANCE RATE MAP (FIRM) - COMMUNITY PANEL NUMBER 06037C1725F, DATED SEPTEMBER 26, 2008. THERE ARE NO BUS STOPS WITHIN 200' OF THE PROPOSED TTM LIMITS. THIS PROJECT WILL COMPLY WITH CITY PARK / LAND DEDICATION RESOLUTION NO. 89-200. EX. BUILDINGS WILL BE REMOVED.

EASEMENT NOTES:

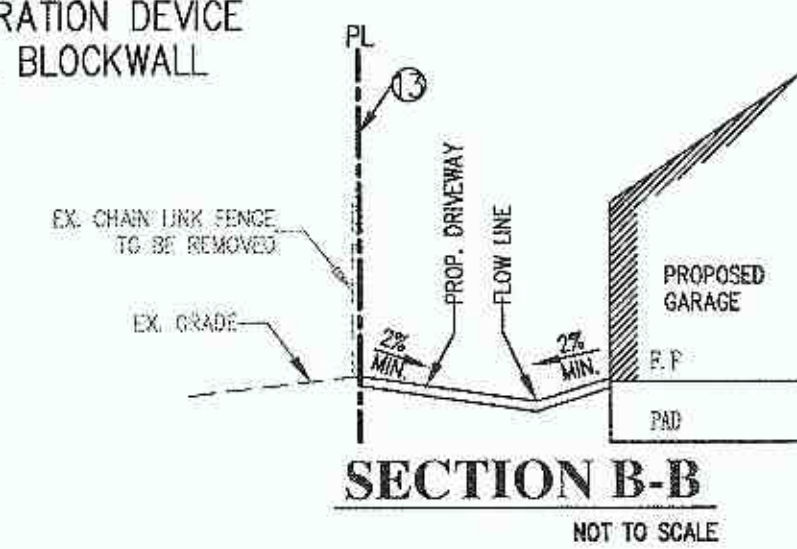
- ① PROP. 20' PRIVATE DRIVEWAY AND FIRE LANE

MATCH LINE



SECTION C-C

NOT TO SCALE



SECTION B-B

NOT TO SCALE

NOV 19 2018

PROJECT LOCATION:
6-UNIT CONDOMINIUM
636 E. GRAND AVE., POMONA, CA 91766
APN: 8333-024-033

DEVELOPER:
MEILON MANAGEMENT
556 S. FAIR OAKS AVE. #229
PASADENA, CA 91766
TEL: 626-600-3809

OWNER:
MEILON ATLANTIC LLC
713 W. DUARTE RD. #G-300
ARCADIA, CA 91007
TEL: 909-445-8187 EXT.282

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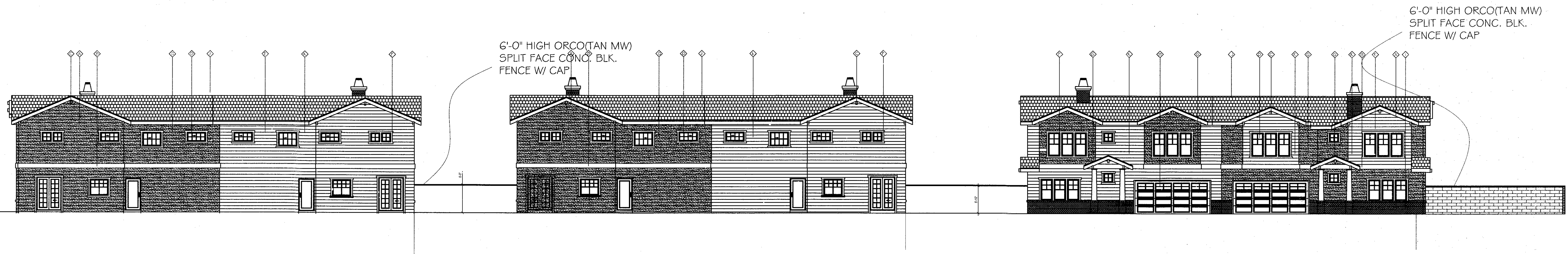
SW	05/15/2018		
SW	10/08/2018		
REVISIONS			
DATE INITIAL			

TENTATIVE TRACT MAP			
SCALE	1"=10'	AS SHOWN	
DRAWN:	SH	SHT.	1
CHECKED:	HJ	OF	
JOB NO.	16252001		
DATE:	11/10/16		
			1 SHTS



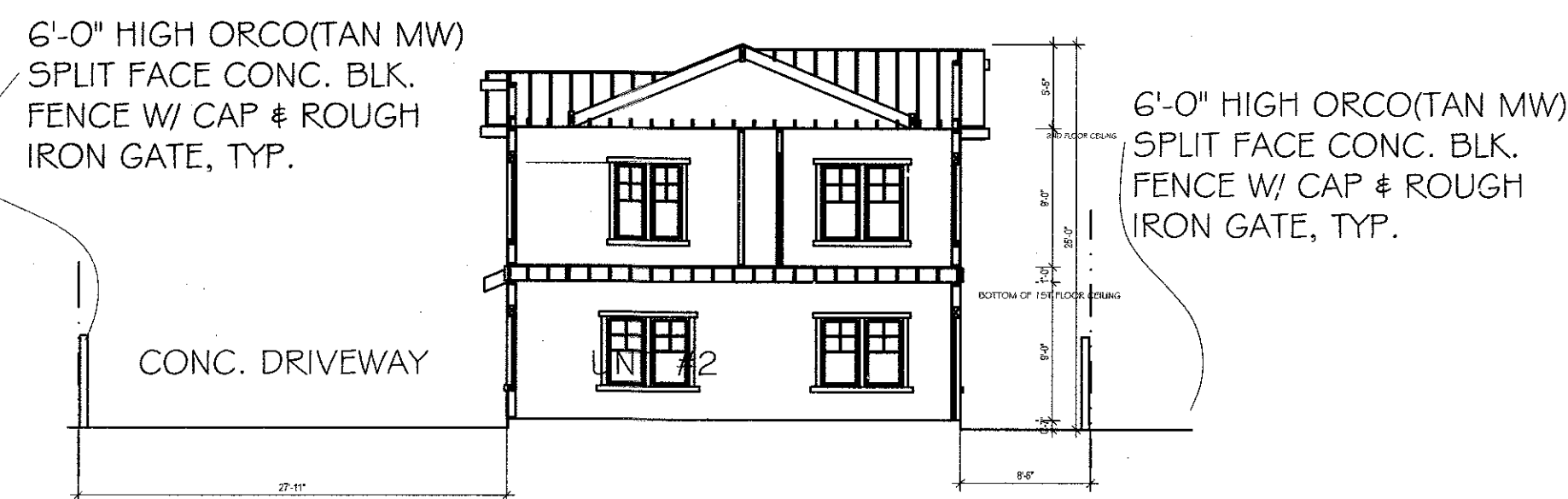
1 PROPOSED EAST ELEVATION

SCALE
3/32" = 1'-0"



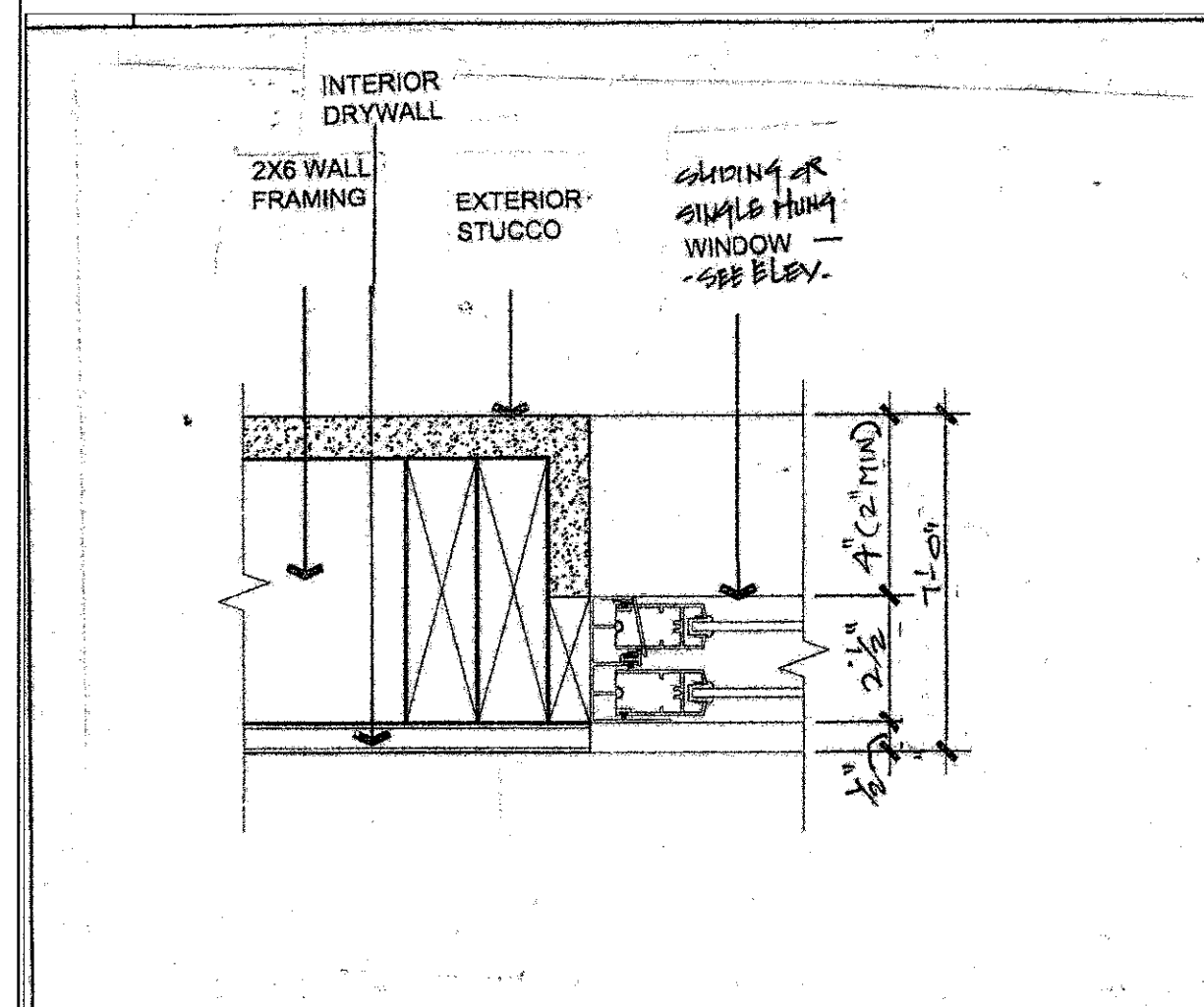
2 PROPOSED WEST ELEVATION

SCALE
3/32" = 1'-0"

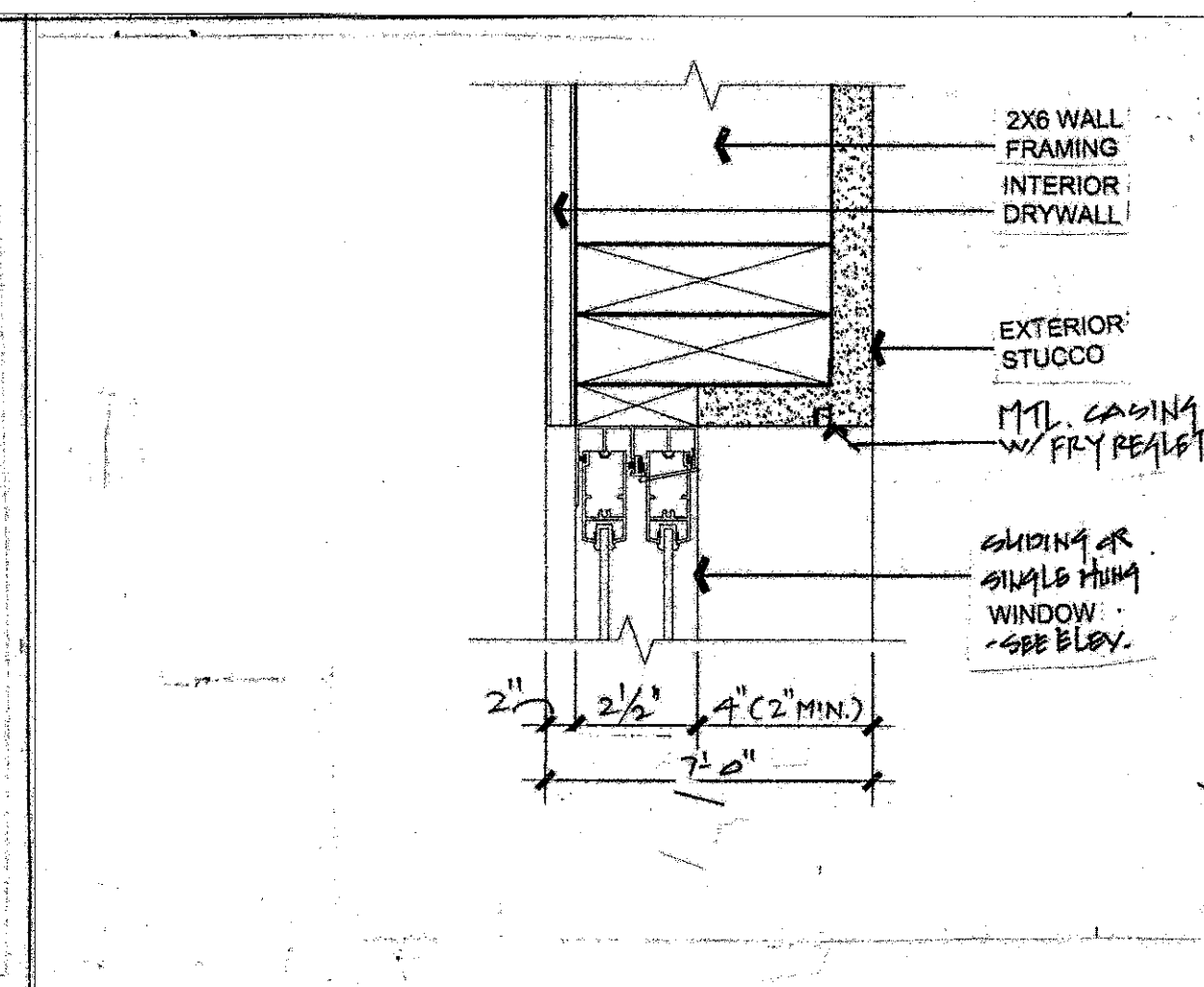


3 PROPOSED SECTION

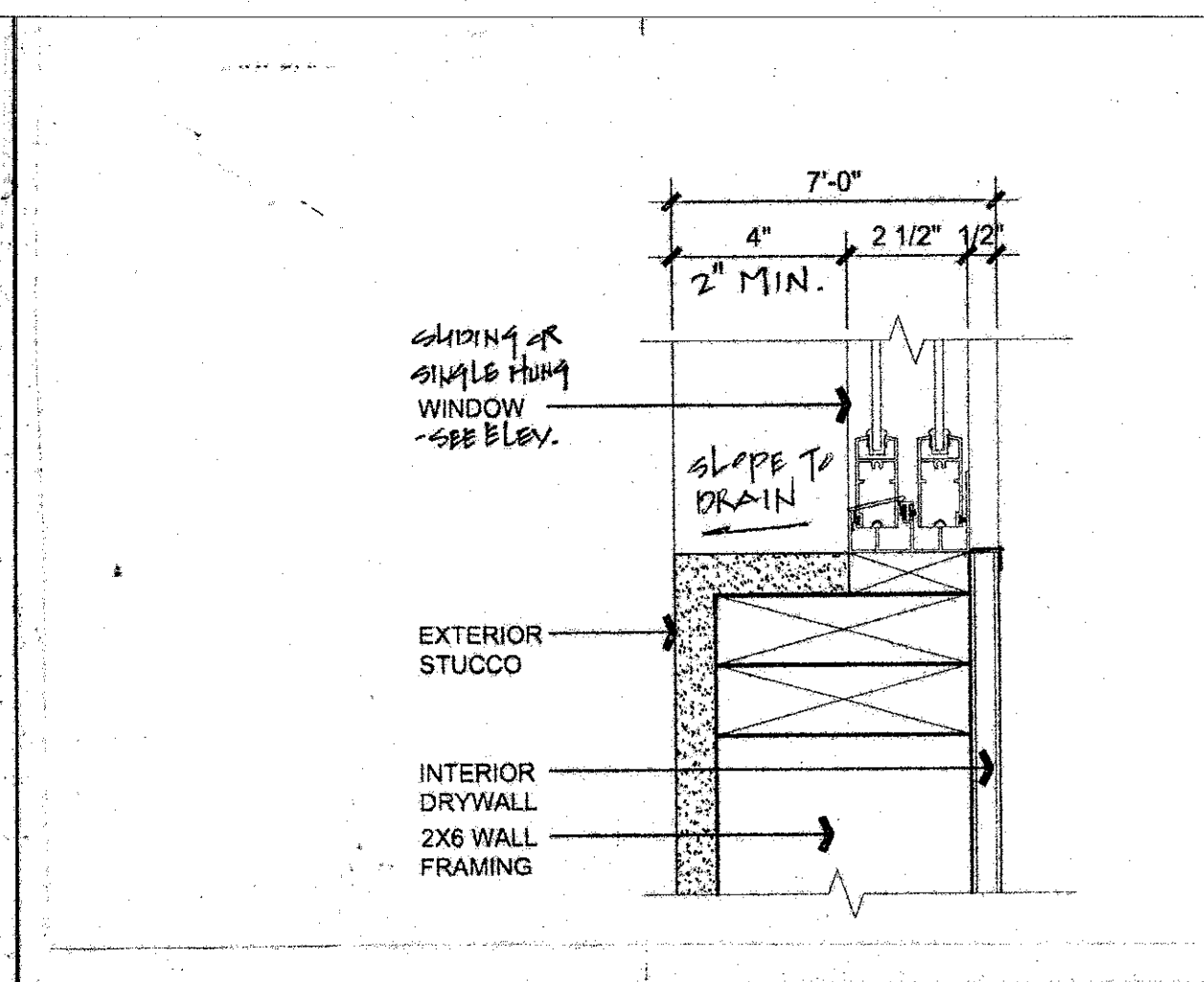
SCALE
3/32" = 1'-0"



WINDOW JAMB DETAIL
TYPICAL WINDOW DETAILS



WINDOW HEAD DETAIL



WINDOW SILL DETAIL

SCALE
N.O.S.

MICHAEL CHEN ARCHITECT
642 E. DEWEY AVE., SUITE B,
SAN GABRIEL, CA 91775
TEL: (626) 288-5568
FAX: (626) 641-9981
EMAIL: MCHENAIA@YAHOO.COM

PROJECT NAME : A NEW SIX-UNIT CONDOMINIUM
PROJECT ADDRESS: 636 E GRAND AVE., POMONA, CA. 91766
CLIENT : MR. JOHNSON YANG
CLIENT : 636 E GRAND AVE., POMONA, CA. 91766

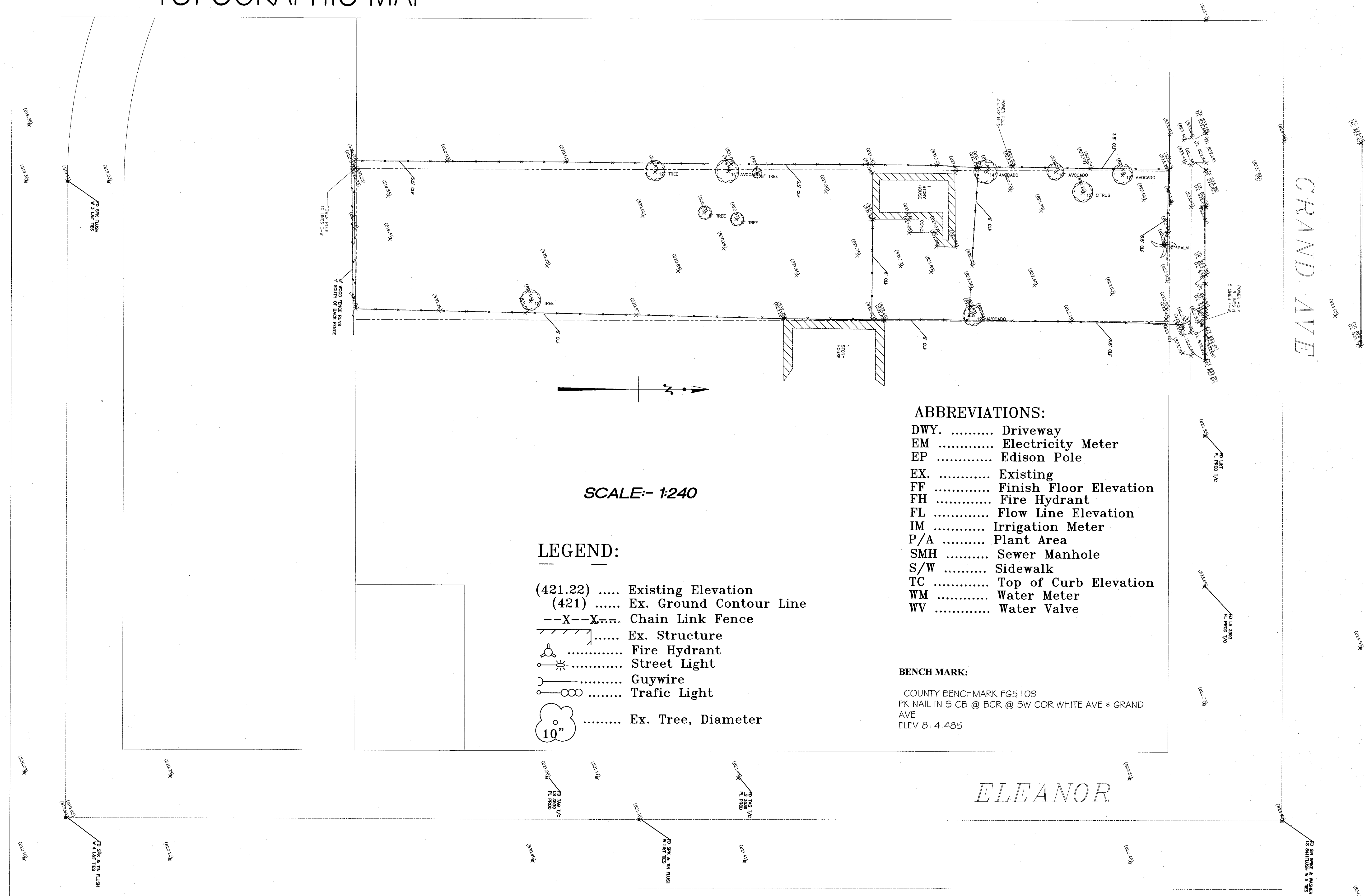
PROJECT NO : 11111

DRAWING TITLE
TITLE SHEET
SUMMARY
LEGEND
ABBREV.
SITE PLAN

PREPARED BY: X
ISSUE DATE: 2/21/16
3/28/16
8/8/16
10/16/2017
4/26/2018

A
0.1
OF 11

TOPOGRAPHIC MAP



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8/9/2016
10/16/2017
4/26/2018

A
OF 11 0.1A



SCALE
1/16" = 1'-0"

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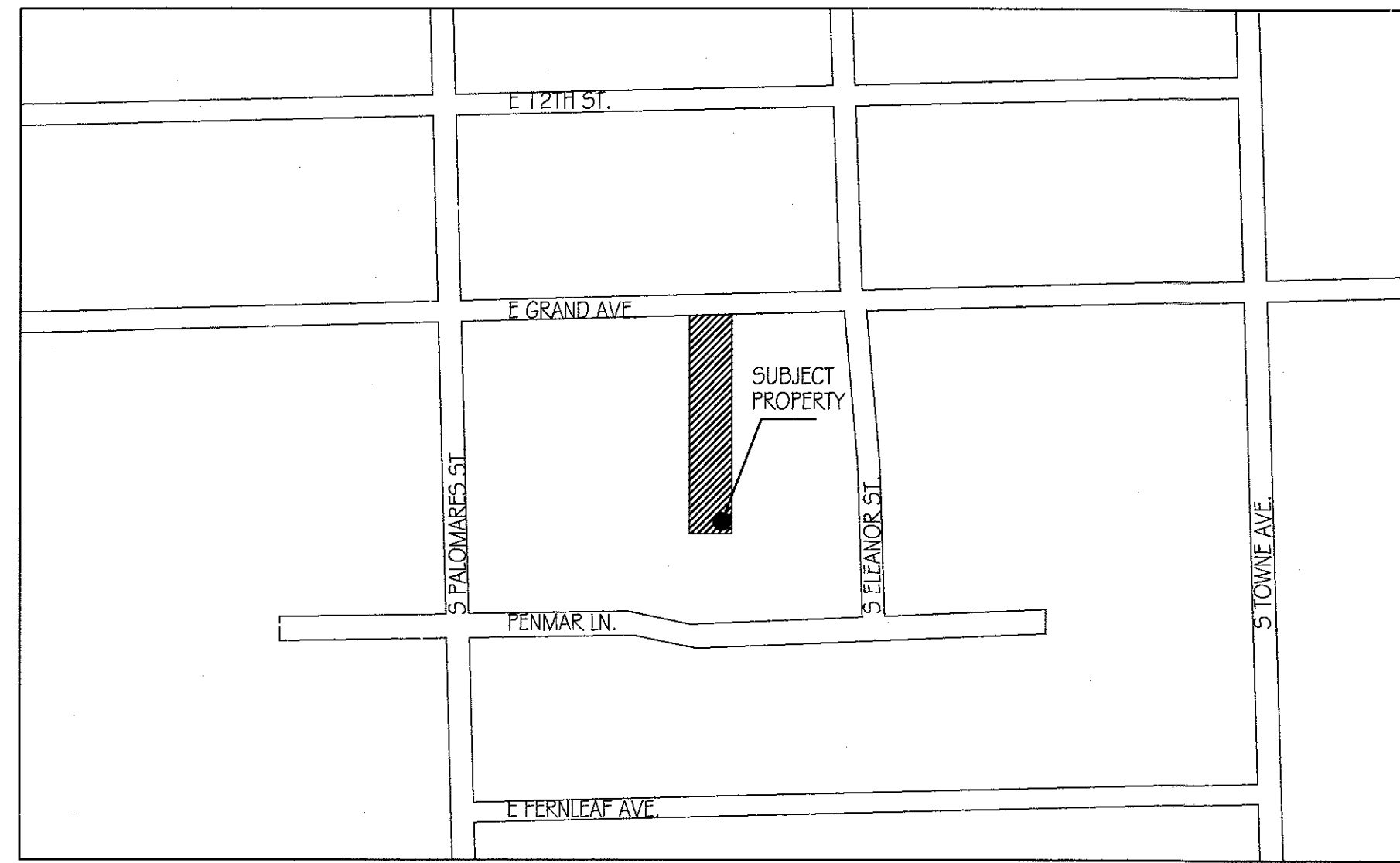
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SUMMARY
LEGEND
ABBREV.
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ISSUE DATE: 2/21/16 -
 1 - 3/28/16
 2 - 8/8/2016
 3 - 10/16/2017
 3 - 4/26/2018
 4 -

A
0.2

A NEW SIX-UNIT CONDOMINIUM

PROJECT ADDRESS
636 E GRAND AVE. POMONA, CA. 91766



OWNER: MR. JOHNSON YANG
ADDRESS: 636 E GRAND AVE.,
POMONA, CA 91766
APN: 8333-024-033
PROJECT ADDRESS: 636 E GRAND AVE., POMONA, CA 91766
ZONE: R-2
LAND USE: MULTI-FAMILY RESIDENCE
LOT AREA: 23,496 S.F.

	UNIT 1	UNIT 2	UNIT 3	UNIT 4	UNIT 5	UNIT 6
1ST FLOOR LIVING AREA	619.5 S.F.	579.75 S.F.	579.75 S.F.	579.75 S.F.	579.75 S.F.	579.75 S.F.
2ND FLOOR LIVING AREA	1050.25 S.F.	1022.0 S.F.	1022.0 S.F.	1022.0 S.F.	1022.0 S.F.	1022.0 S.F.
GARAGE AREA	477.75 S.F.	475.0 S.F.	475.0 S.F.	475.0 S.F.	475.0 S.F.	475.0 S.F.
PORCH AREA	16.3 S.F.	29.3 S.F.	29.3 S.F.	29.3 S.F.	29.3 S.F.	29.3 S.F.

TOTAL LIVING AREA: 9,843.9 S.F.
F.A.R.: 9,843.9 S.F. / 23,496 S.F. = 41.9%
LOT COVERAGE: (619.5 S.F. + 477.75 S.F. + 16.3 S.F. + 1022.0 S.F. + 475.0 S.F. + 29.3 S.F.) / 23,496 S.F. = 27.8%
TOTAL COMMON OPEN SPACE AREA: 2035 S.F. + 967 S.F. + 473 S.F. = 3475 S.F.
TOTAL PRIVATE OPEN SPACE AREA: 414.25 S.F. x 3 + 557.75 S.F. x 2 + 570.58 S.F. = 2928.6 S.F.
SET BACK: FRONT YARD 25'-0", REAR YARD 32'-6", SIDE YARD 6'-6"
NO. OF STORY: 2
CONSTRUCTION TYPE: VB
OCCUPANCY GROUP: R-3U
FRONT YARD LANDSCAPE AREA: 950 SF
APPLICABLE BLDG. CODE
2014 LOS ANGELES COUNTY AMENDMENTS TO THE 2013 CALIFORNIA RESIDENTIAL, PLUMBING, MECHANICAL, ELECTRICAL CODES AND GREEN BUILDING CODES.
2014 LOS ANGELES COUNTY BUILDING CODE (FOR STRUCTURAL ONLY)
2013 CALIFORNIA ENERGY CODE.
LEGAL DESCRIPTION:
LOT 33 OF TRACT 26247, IN THE CITY OF POMONA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 677 PAGES 88 AND 89 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

5 SUMMARY

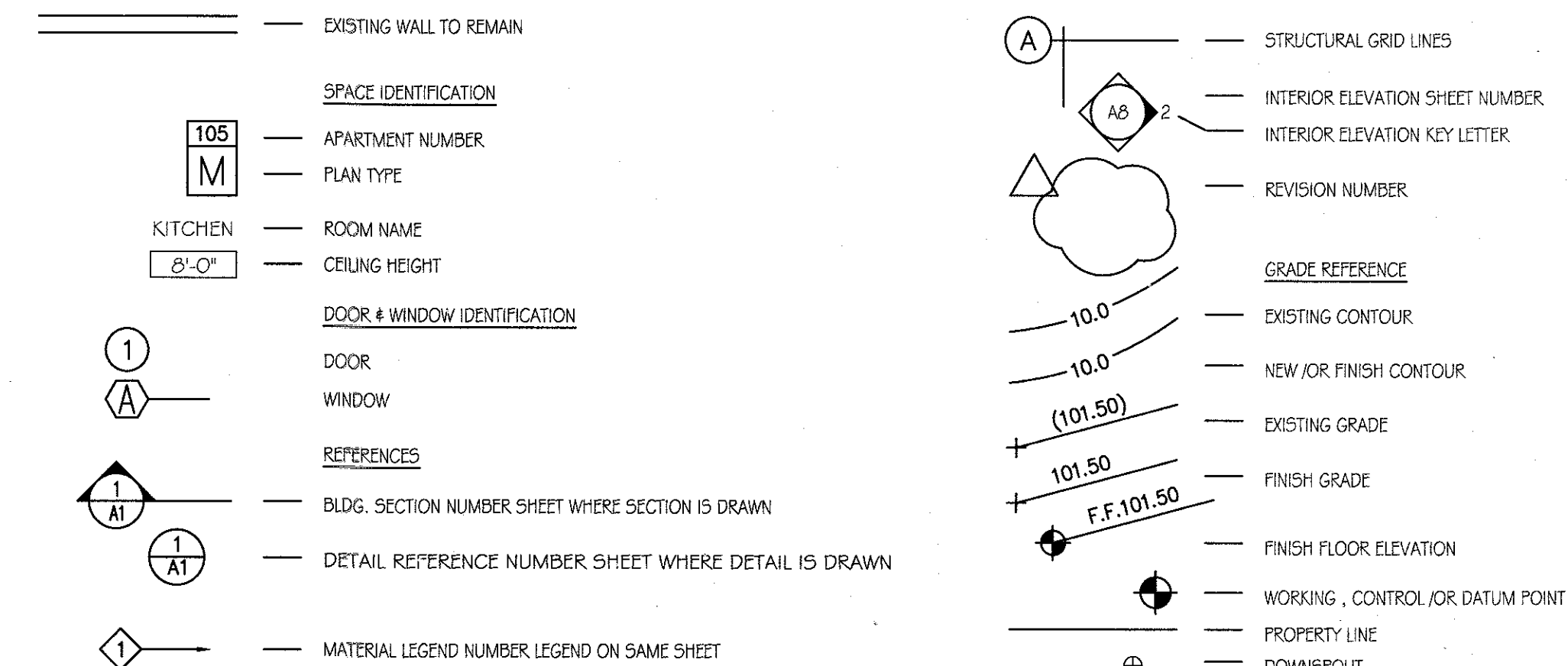
1 PROJECT

A ABC AC ADJ AFF AIA AL ALLOW ARCH ASP AVG Z @	Area Aggregate Base Course Acoustic Adjacent Above Finished Floor American Institute of Architects Aluminum Allowance Architect, Architectural Asphaltic Concrete Average Angle At
B BALC BLDG BLKG BM	Balcony Building Blocking Beam
C CABT CER CL CLG CLO CLR CO COL COMB CONC CONSTR CONT	Channel Cabinet Ceramic Ceiling Joist Center Line Ceiling Closet Clear Cased Opening Column Combination Concrete Construction Continuous
D Ø, D DBL DEPT DF DIM DIV DN DS DWG	Diameter Double Department Drinking Fountain Dead Load Dimension Division Down Down Spout Drawing
E EA EDF ELEC ELEV EJ EQ EQUIV EXIST EXT	Each Electric Drinking Fountain Electrical Elevation Expansion Joint Equal Equivalent Existing Exterior
F FD FF FG FH FHC FHR FJ FL FLG FLUOR FOC FOM FOS FOW FP FS FT FTG FY FXC	Floor Drain Finish Floor Finish Grade Fire Hydrant Fire Hose Cabinet Fire Hose Rack Floor Joist Floor Flooring Fluorescent Face of Concrete Face of Masonry Face of Stud Face of Wall (Finish) Finish Paving Floor Sink Foot or Feet Footings Fire Extinguisher Fire Extinguisher Cabinet
G GA GYP BD GEN GC GL GOVT	Gauge Gypsum Board General General Contractor Glass Government
H HT HC HDR HM HOR HVAC	Height Hollow Core Header Hollow Metal Horizontal Heating/Ventilation/Air Conditioning
I IF INCAN	Moment of Inertia Inside Face Incandescent
J JR JST JT	Junior Joist Joint
K LAV LB LIN FT LL LWC	Lavatory Lag Bolt Linear Foot/Feet Live Load Light Weight Concrete
L M MAT MB MFG MECH MET MISC MTL	Bending Moment Material Machine Bolt Manufacture/Manufacturing Mechanical Metal Miscellaneous Metal
M N NS NIC NO NTS	Modulus Natural Grade Not In Contract Number Not To Scale
O OI OC OG OFF OPP	Over On Center On Grade Office Opposite
P PASS PCC PLAS PL GL PL PLY PREFAB	Passenger Portland Cement Concrete Plaster Plate Glass Property Line Plywood Prefabricated
Q R RA REC RD REG REINF REQ'D REV RJ RM RR	Radius; Riser Return Air Restoration Road Drain Register Reinforcing Required Reverse Roof Joist Room Roof Rafter
S SA SC SCH SEP SL SHT SIM SPEC STD STRUC SUPT SUPV SYS	Section Modules Supply Air Solid Core Schedule Separate Score Line Sheet Similar Specification Steel Standard Structural Superintendent Supervisor System
T TC TG T & G TOP TEL TEMP THK THRU TW TYP	Tread Top Of Curb Top Of Grade Tongue and Groove Top of Parapet Telephone Tempered Thick Through Top Of Wall Typical
U VAT VCT VERT	Vinyl Asbestos Tile Vinyl Composition Tile Vertical
W WO WC WD WOM WOW WI WP WR WT	With Without Water Closet Wood Width Window Wrought Iron Working Point Water Resistant Weight
X Y Z	

3 VICINITY MAP

ARCHITECTURAL

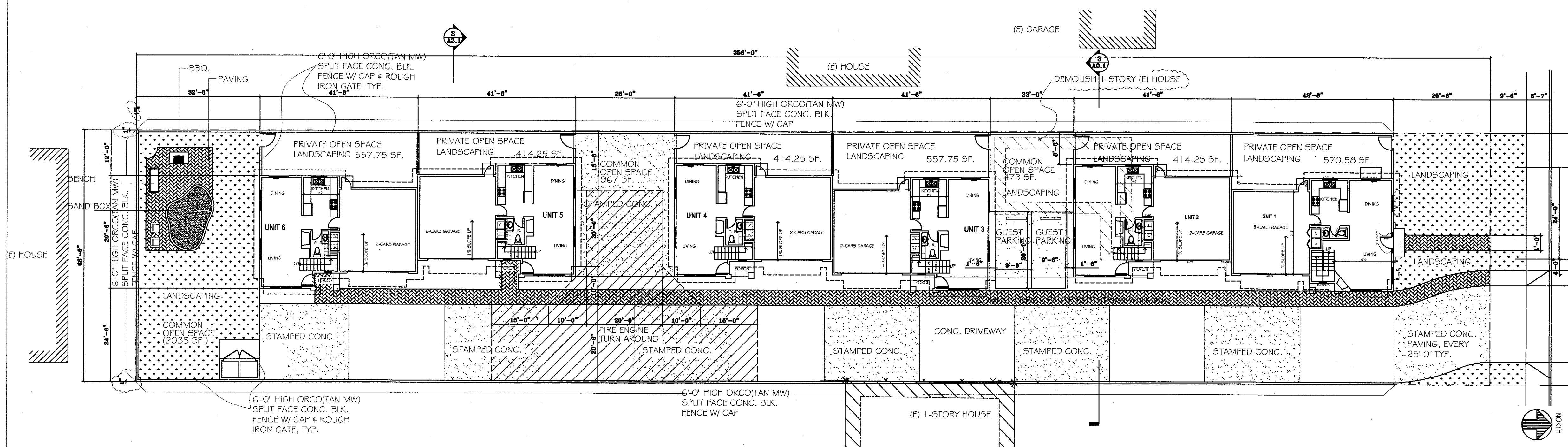
- AO TITLE SHEET / INDEX / GEN. CONST.
NOTES / SUMMARY / LEGEND / ABBREV. / SITE PLAN
AO.1A TOPOGRAPHIC MAP
AO.1 PROPOSED OVERALL ELEVATIONS, SECTION & WINDOW DETAILS
AO.2 PROPOSED FENCE PLAN
A1 PROPOSED FLOOR PLAN-BUILDING A
A2 PROPOSED FLOOR PLAN-BUILDING B
A3 PROPOSED FLOOR PLAN-BUILDING C
A4 PROPOSED ROOF PLAN & ELEVATION-BUILDING A
A5 PROPOSED ROOF PLAN & ELEVATION-BUILDING B
A6 PROPOSED ROOF PLAN & ELEVATION-BUILDING C
A7 PROPOSED ELEVATIONS-BUILDING A
A8 PROPOSED ELEVATIONS-BUILDING B
A9 PROPOSED ELEVATIONS-BUILDING C



4 INDEX

6 ARCHITECTURAL LEGEND

2 ABBREVIATIONS



8 SITE PLAN

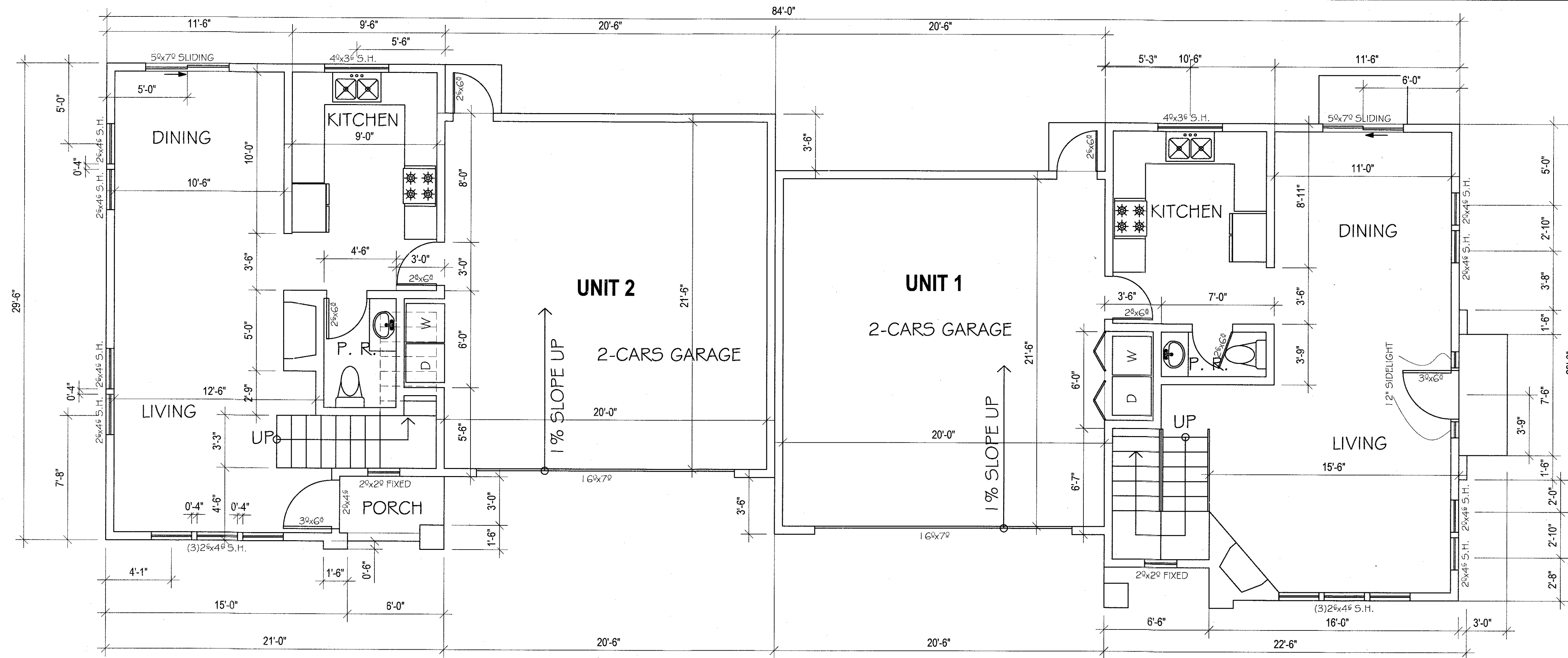
MICHAEL CHEN ARCHITECT
642 E. DEWEY AVE., SUITE B,
SAN GABRIEL, CA 91775
TEL: (626)288-5568
FAX: (626) 641-9981
EMAIL: MCHENIA@YAHOO.COM

PROJECT NAME : A NEW SIX-UNIT CONDOMINIUM
PROJECT ADDRESS: 636 E GRAND AVE., POMONA, CA. 91766
CLIENT : MR. JOHNSON YANG
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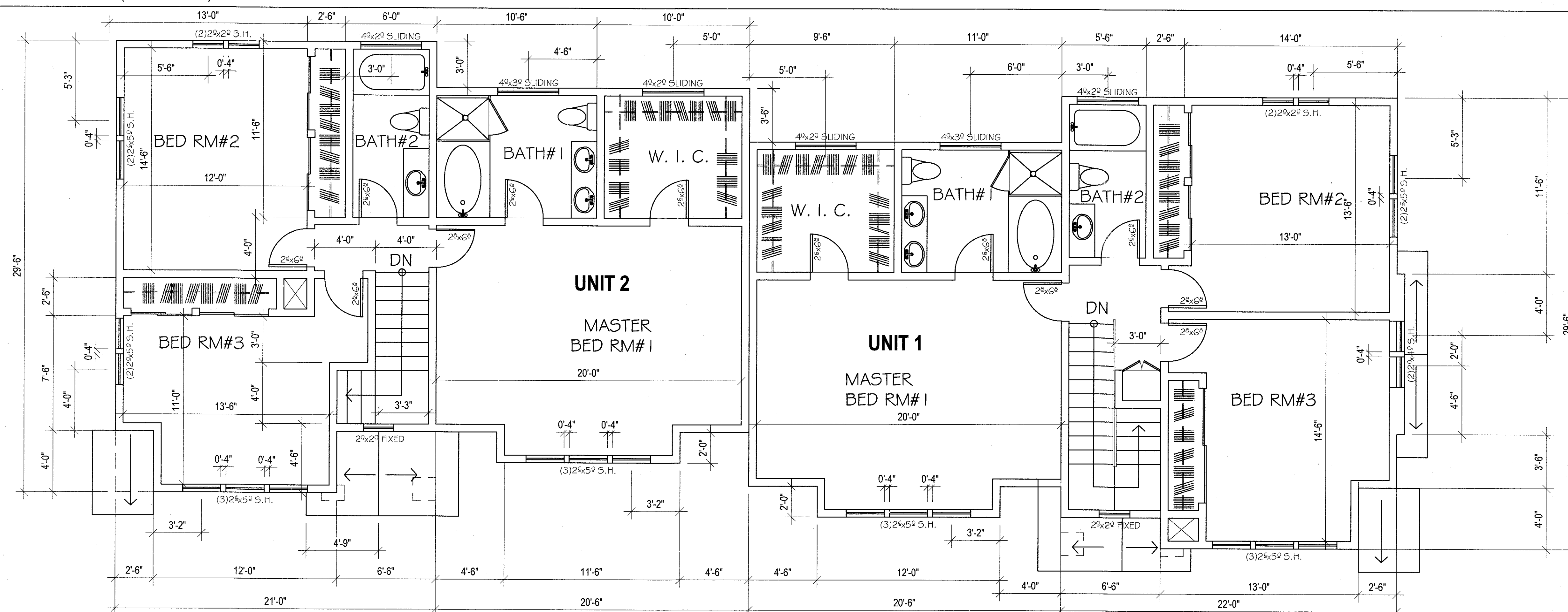
PREPARED BY: X
ISSUE DATE: 2/21/16 -
3/28/16
8/8/2016
10/16/2017
4/26/2018

SCALE
OF 11
1/16" = 1'-0"



1 PROPOSED 1ST FLOOR PLAN (UNIT 1 & 2)

SCALE
1/4" = 1'-0"



2 PROPOSED 2ND FLOOR PLAN (UNIT 1 & 2)

SCALE
1/4" = 1'-0"

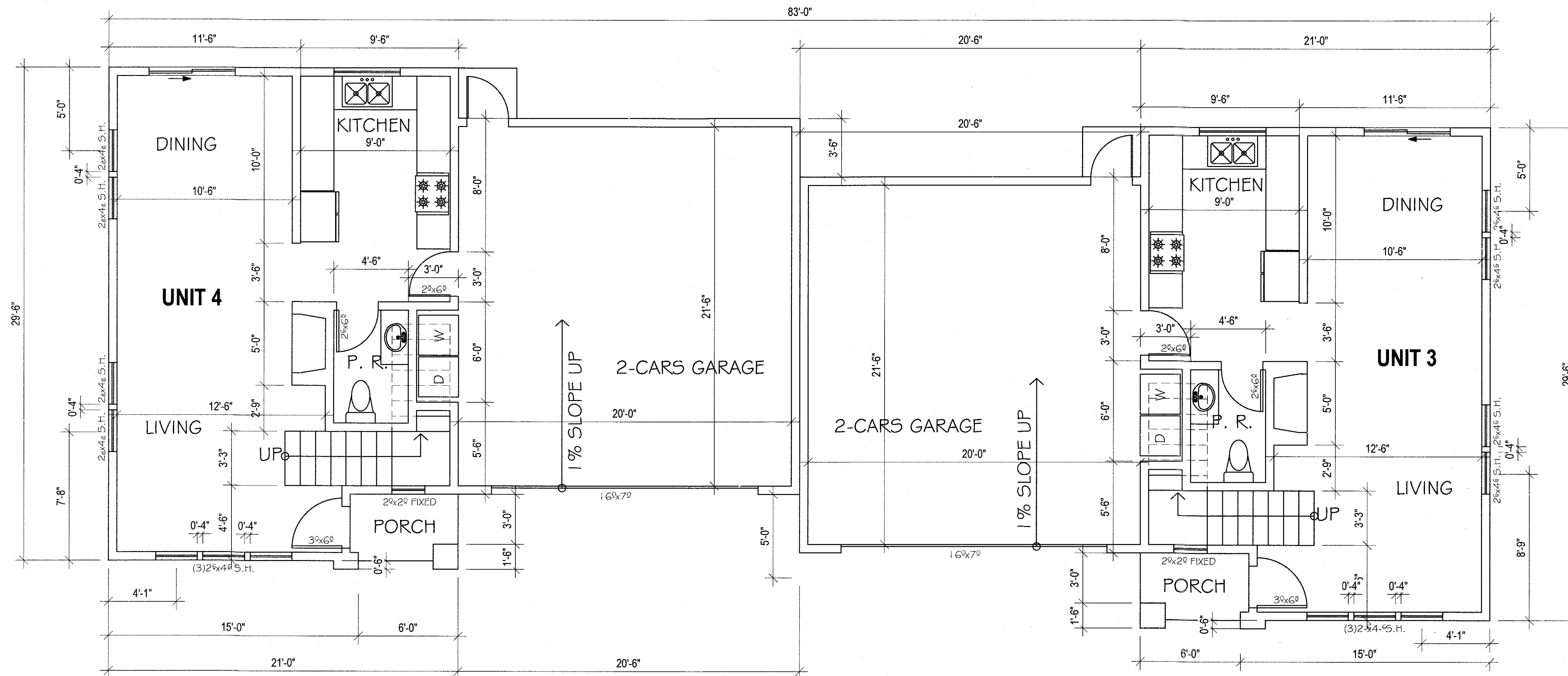
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PROPOSED FLOOR PLAN
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4/26/2018

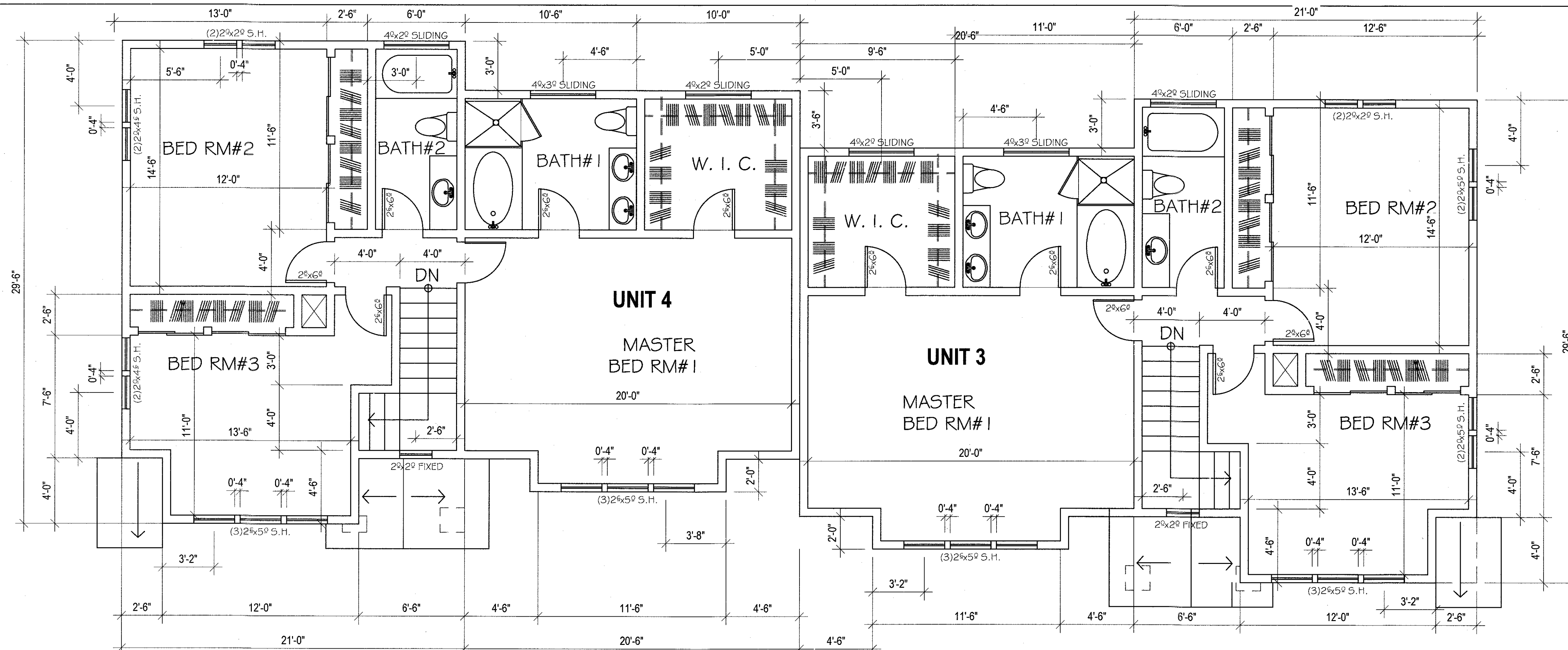
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OF 11



1 PROPOSED 1ST FLOOR PLAN (UNIT 3 & 4)

SCALE
1/4" = 1'-0"



2 PROPOSED 2ND FLOOR PLAN (UNIT 3 & 4)

SCALE
1/4" = 1'-0"

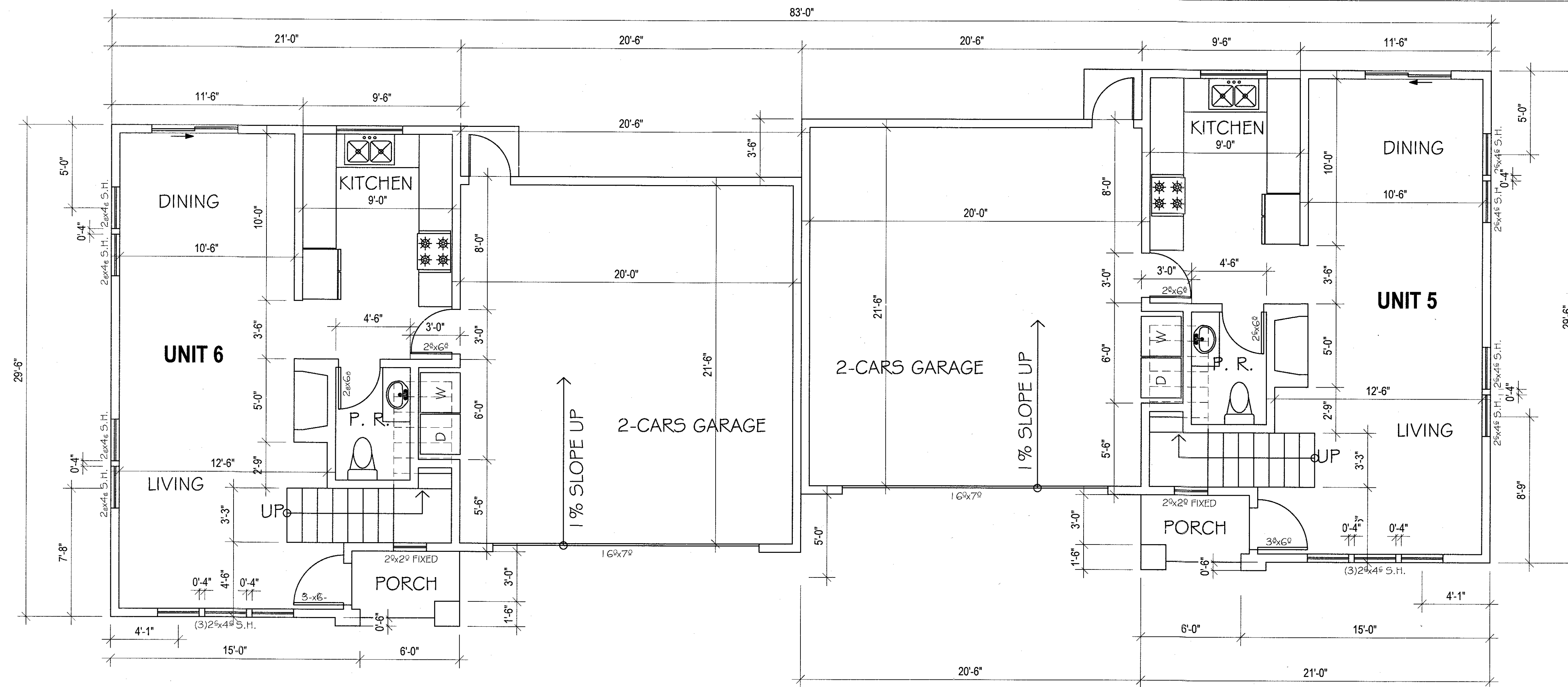
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MR. JOHNSON YANG
CLIENT : 713 W. DUARTE RD #G-300, ARCADIA, CA 91007

PROJECT NO : 11111
DRAWING TITLE
PROPOSED FLOOR PLAN
(UNIT 3 & 4)
PREPARED BY: X
ISSUE DATE: 2/21/16 - 3/28/16
3/28/16
8/8/2016
10/16/2017
4/26/2018

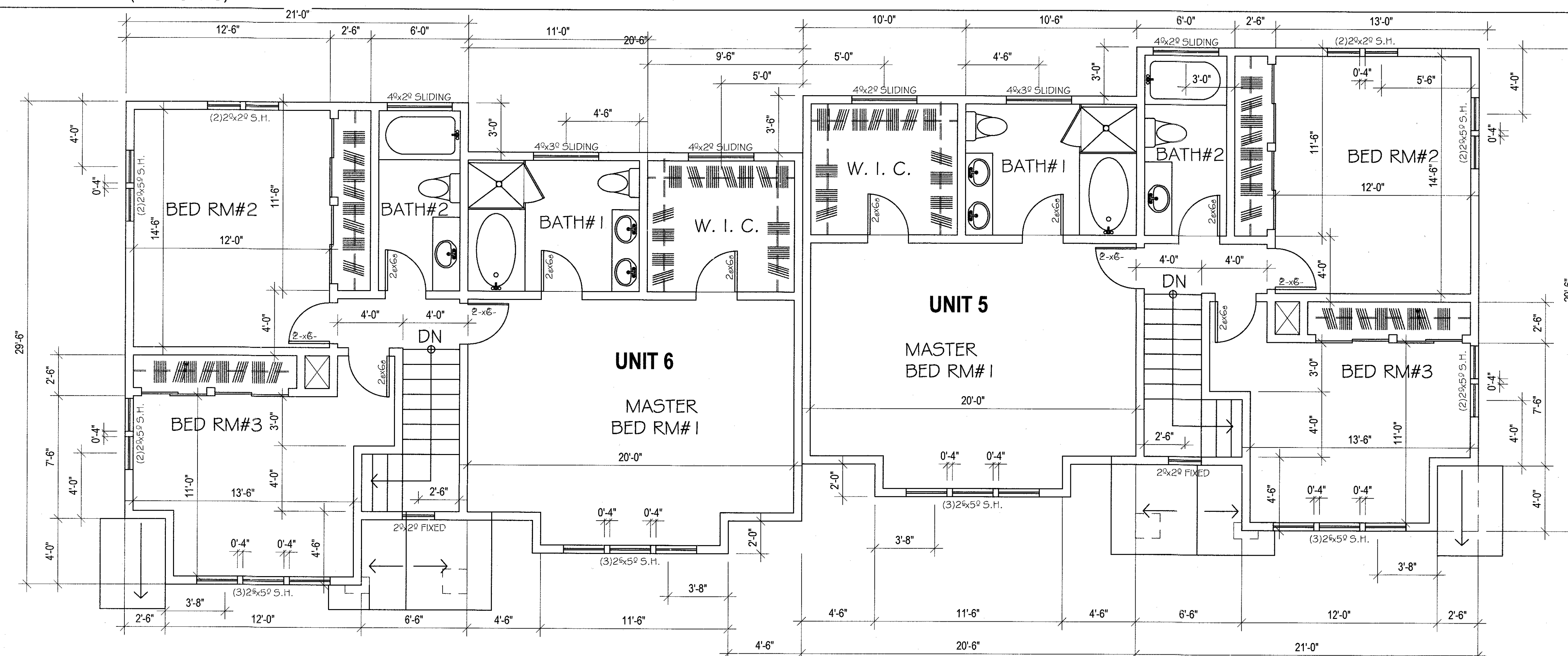
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2

OF 11



1 PROPOSED 1ST FLOOR PLAN (UNIT 5 & 6)

SCALE
1/4" = 1'-0"



2 PROPOSED 2ND FLOOR PLAN (UNIT 5 & 6)

SCALE
1/4" = 1'-0"

MICHAEL CHEN ARCHITECT
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SAN GABRIEL, CA 91775
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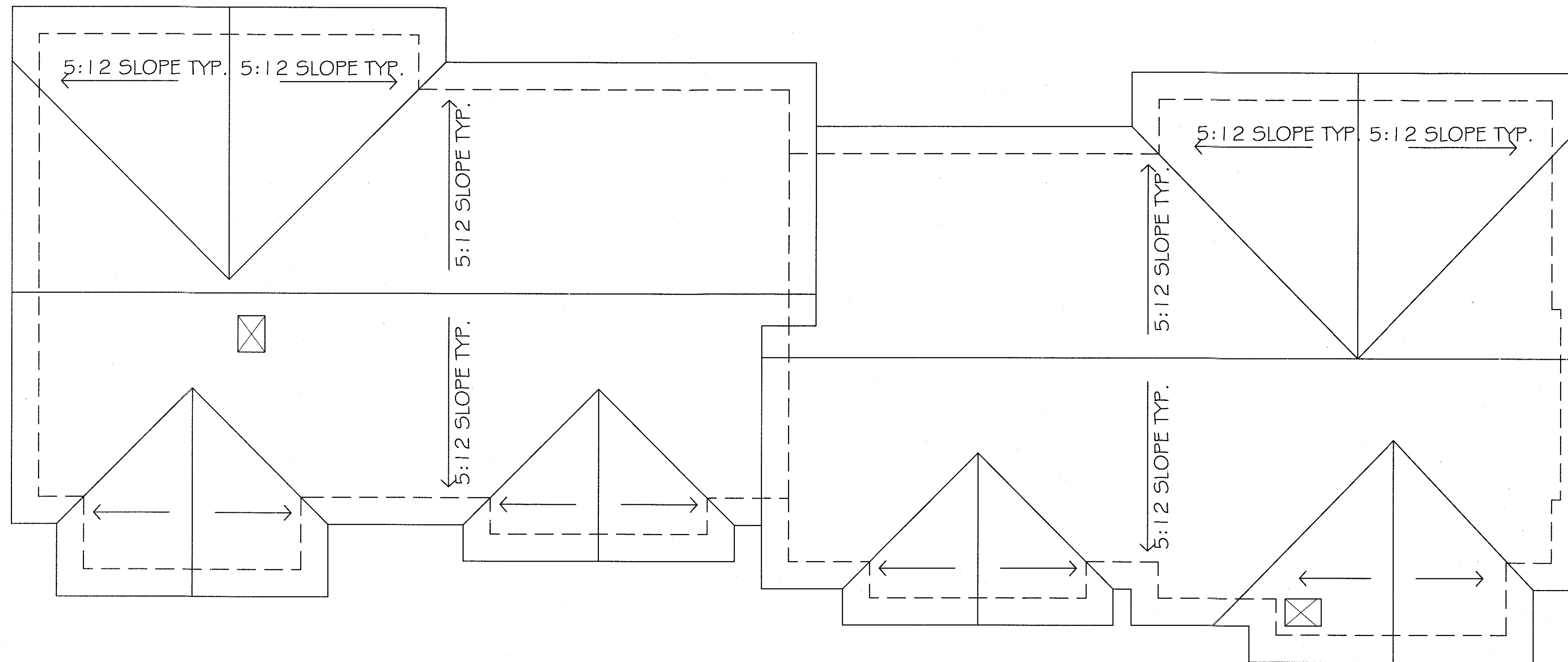
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CLIENT : 713 W. DUARTE RD #C-300, ARCADIA, CA 91007

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PROPOSED FLOOR PLAN
(UNIT 5 & 6)

PREPARED BY: X
ISSUE DATE: 2/21/16 -
3/28/16
4/8/2016
10/16/2017
4/26/2018

A
3

OF 11



1 PROPOSED ROOF PLAN (UNIT 1 & 2)

SCALE
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION (UNIT 1 & 2)

SCALE
1/4" = 1'-0"



3 PROPOSED SOUTH ELEVATION (UNIT 1 & 2)

SCALE
1/4" = 1'-0"

KEY NOTE:

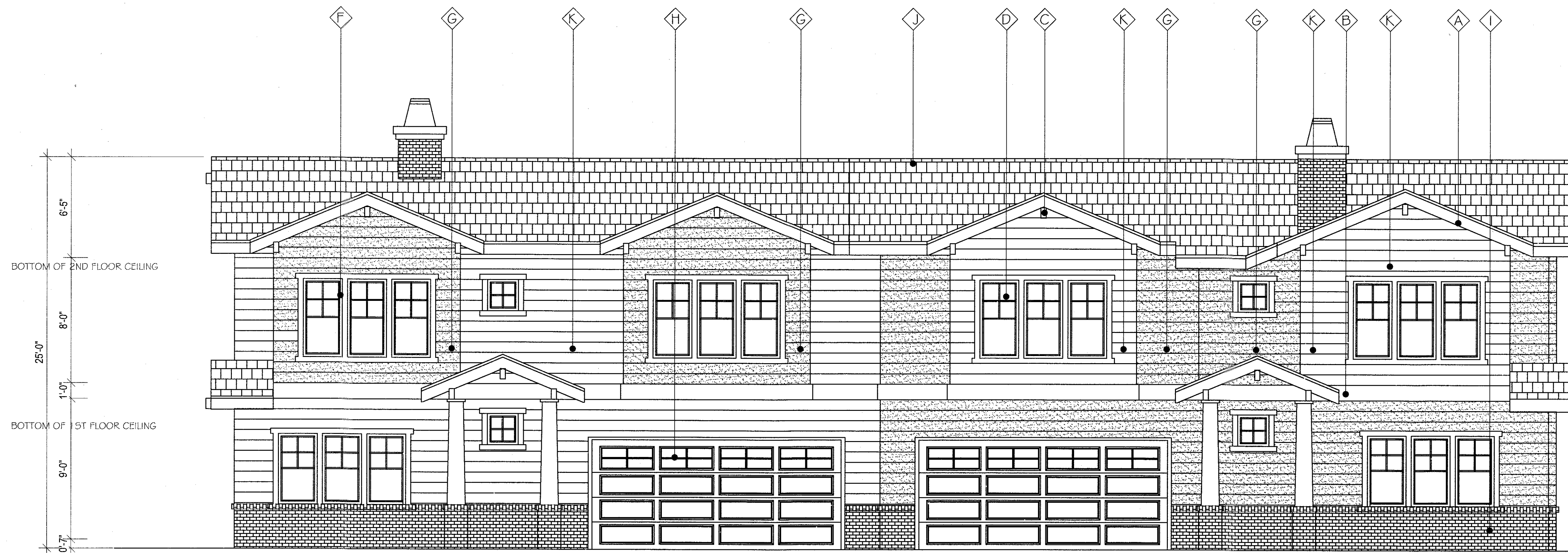
- A 8" FACIAL, PAINTED DUNN_EDWARDS DEW341 (SWISS COFFEE)
- B 12"x2" WOOD TRIM, PAINTED DUNN_EDWARD DEW341 (SWISS COFFEE)
- C 4"x8" RAFTER TAIL, PAINTED DUNN_EDWARD DEW341 (SWISS COFFEE)
- D MILGARD SINGLE HUNG WHITE VINYL WINDOW
- F 4" WINDOW & DOOR WOOD TRIM, PAINTED DUNN_EDWARD DEW341 (SWISS COFFEE)
- G GREAT BARRIER, 8" VINYL SIDING PAINTED DUNN_EDWARD DEG291 (CASTING SHADOW)
- H CLOPAY GARAGE DOOR, PREMIUM SERIES, SHORT ELEGANT, COLONIAL WINDOW, WHITE
- I COMMON BRICK VENEER HIGGINS BRICK, OLD HAMPTON WASHED
- J EAGLE LIGHTWEIGHT CONCRETE ROOF TILE 49634 (KINGS CANYON BLEND)
- K GREAT BARRIER, 8" VINYL SIDING PAINTED DUNN_EDWARD DEG228 (PLAY ON GRAY)

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PROPOSED ELEVATION
(UNIT 1 & 2)
PREPARED BY: X
ISSUE DATE: 2/21/16
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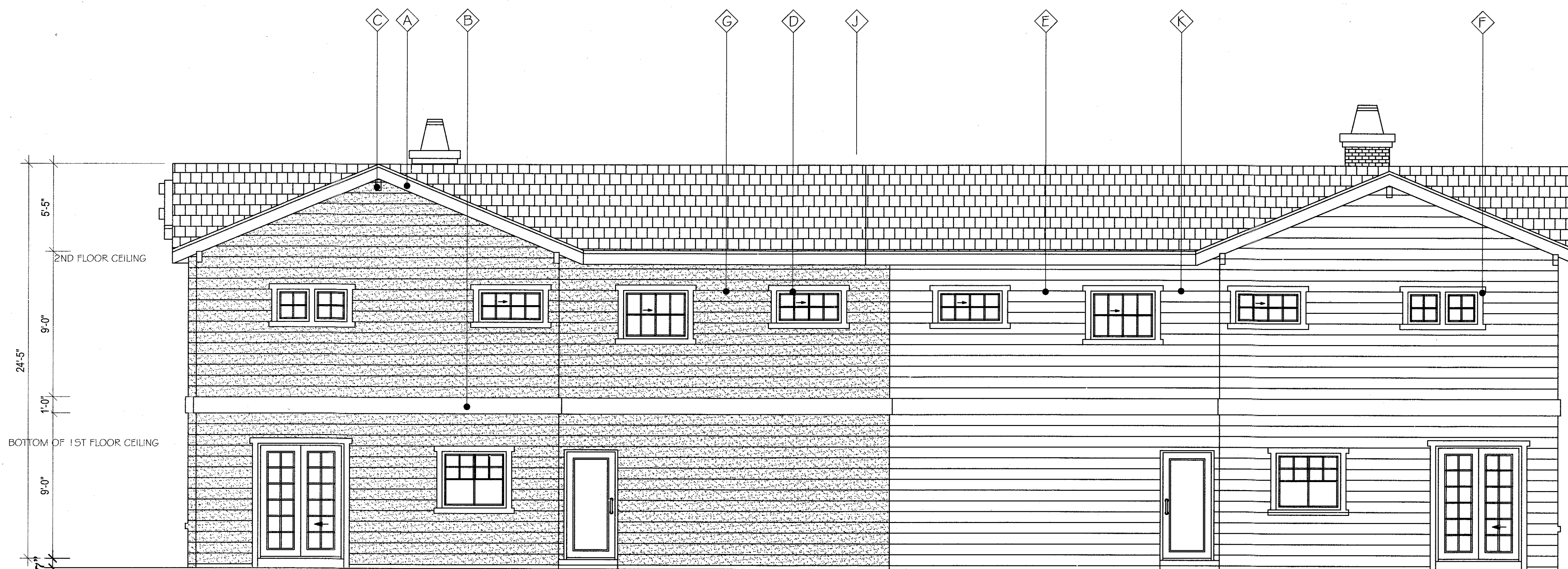


KEY NOTE:

- Ⓐ 8" FACIAL, PAINTED DUNN_EDWARDS DEW341 (SWISS COFFEE)
- Ⓑ 12"x2" WOOD TRIM, PAINTED DUNN_EDWARDS DEW341 (SWISS COFFEE)
- Ⓒ 4"x8" RAFTER TAIL, PAINTED DUNN_EDWARDS DEW341 (SWISS COFFEE)
- Ⓓ MILGARD SINGLE HUNG WHITE VINYL WINDOW
- Ⓔ 4" WINDOW & DOOR WOOD TRIM, PAINTED DUNN_EDWARDS DEW341 (SWISS COFFEE)
- Ⓕ GREAT BARRIER, 8" VINYL SIDING PAINTED DUNN_EDWARDS DE6291 (CASTING SHADOW)
- Ⓖ CLOPAY GARAGE DOOR, PREMIUM SERIES, SHORT ELEGANT, COLONIAL WINDOW, WHITE
- Ⓘ COMMON BRICK VENEER HIGGINS BRICK, OLD HAMPTON WASHED
- Ⓙ EAGLE LIGHTWEIGHT CONCRETE ROOF TILE 49634 (KINGS CANYON BLEND)
- Ⓚ GREAT BARRIER, 8" VINYL SIDING PAINTED DUNN_EDWARDS DE6228 (PLAY ON GRAY)

1 PROPOSED EAST ELEVATION (UNIT 1 & 2)

SCALE
1/4" = 1'-0"



KEY NOTE:

- Ⓐ 8" FACIAL, PAINTED DUNN_EDWARDS DEW341 (SWISS COFFEE)
- Ⓑ 12"x2" WOOD TRIM, PAINTED DUNN_EDWARDS DEW341 (SWISS COFFEE)
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2 PROPOSED WEST ELEVATION (UNIT 1 & 2)

SCALE
1/4" = 1'-0"

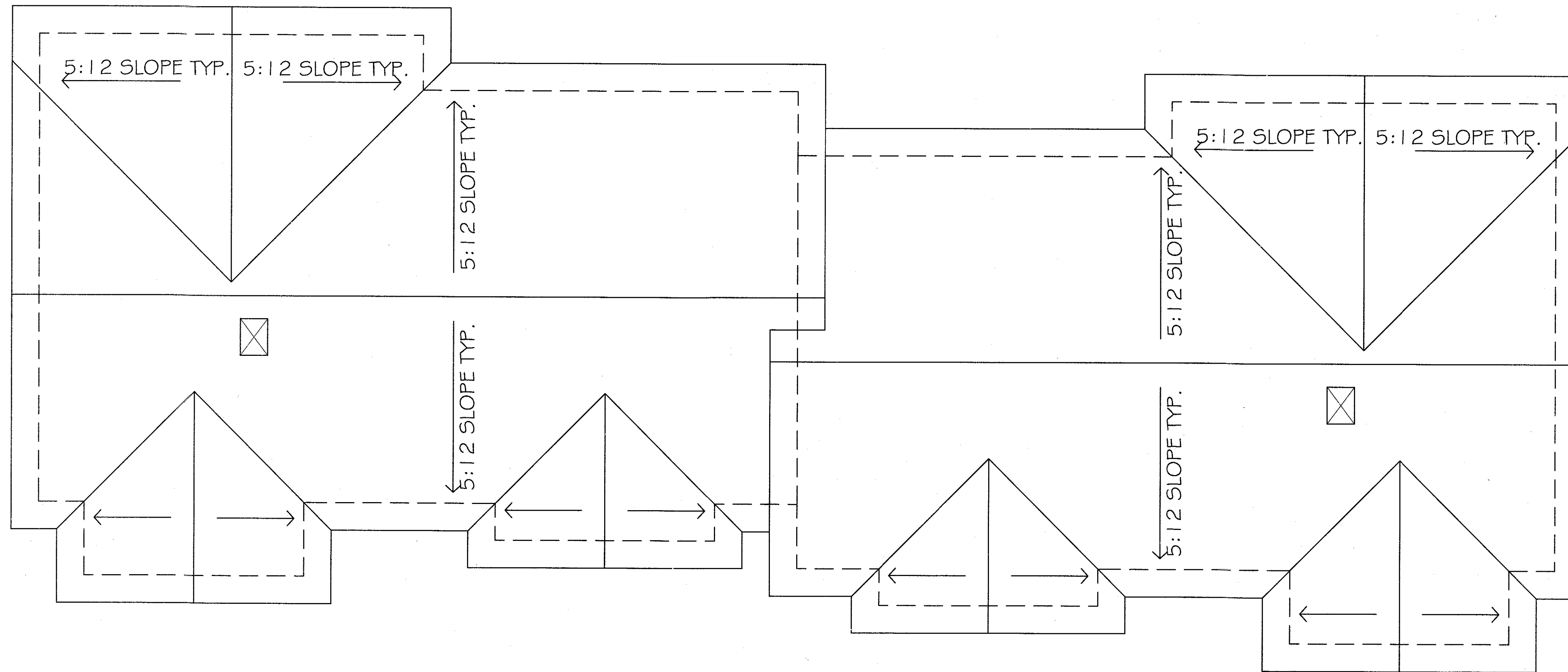
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CLIENT : MR. JOHNSON YANG
CLIENT : 636 E. GRAND AVE., POMONA, CA. 91766

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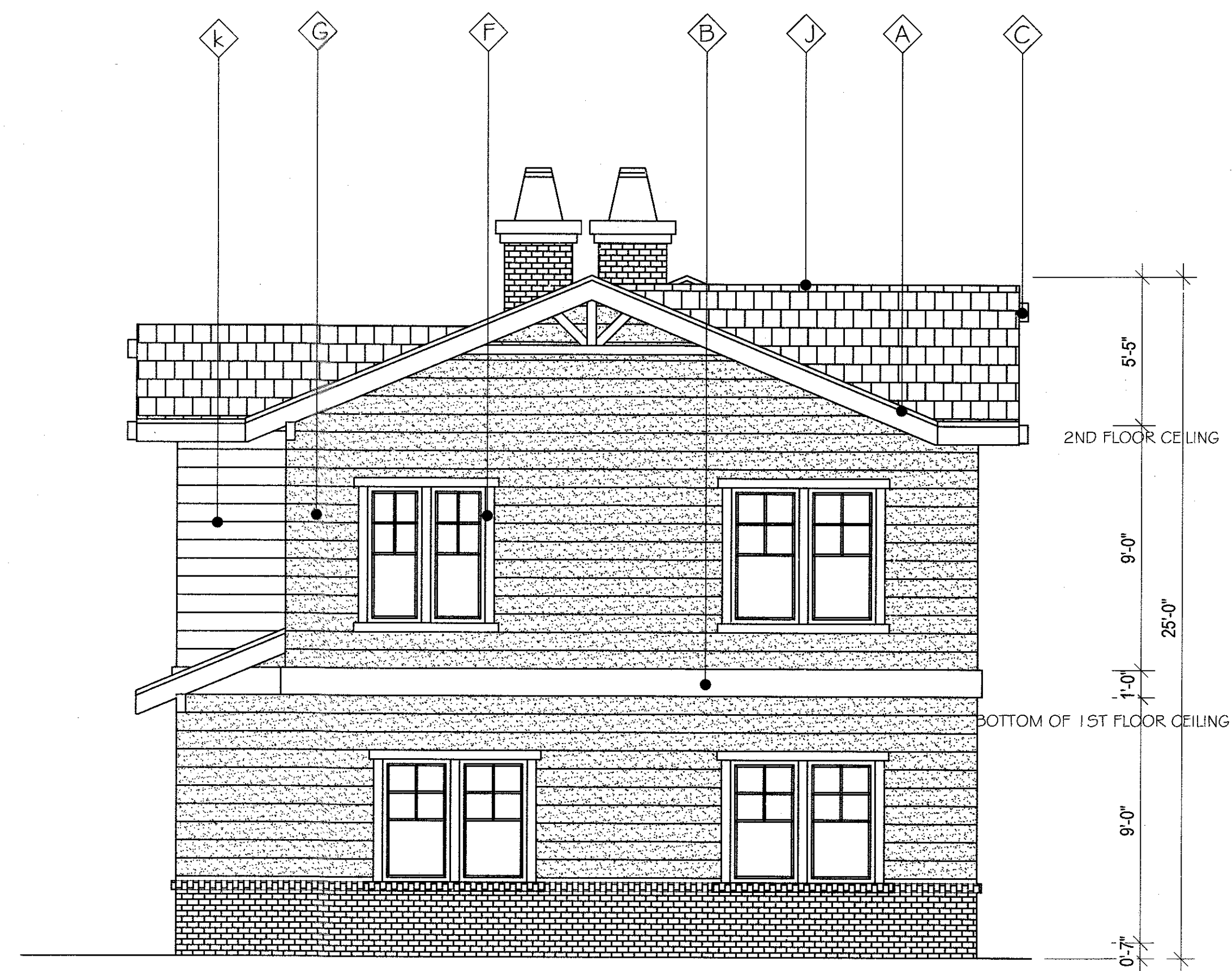
DRAWING TITLE
PROPOSED ELEVATION
(UNIT 1 & 2)

PREPARED BY: X
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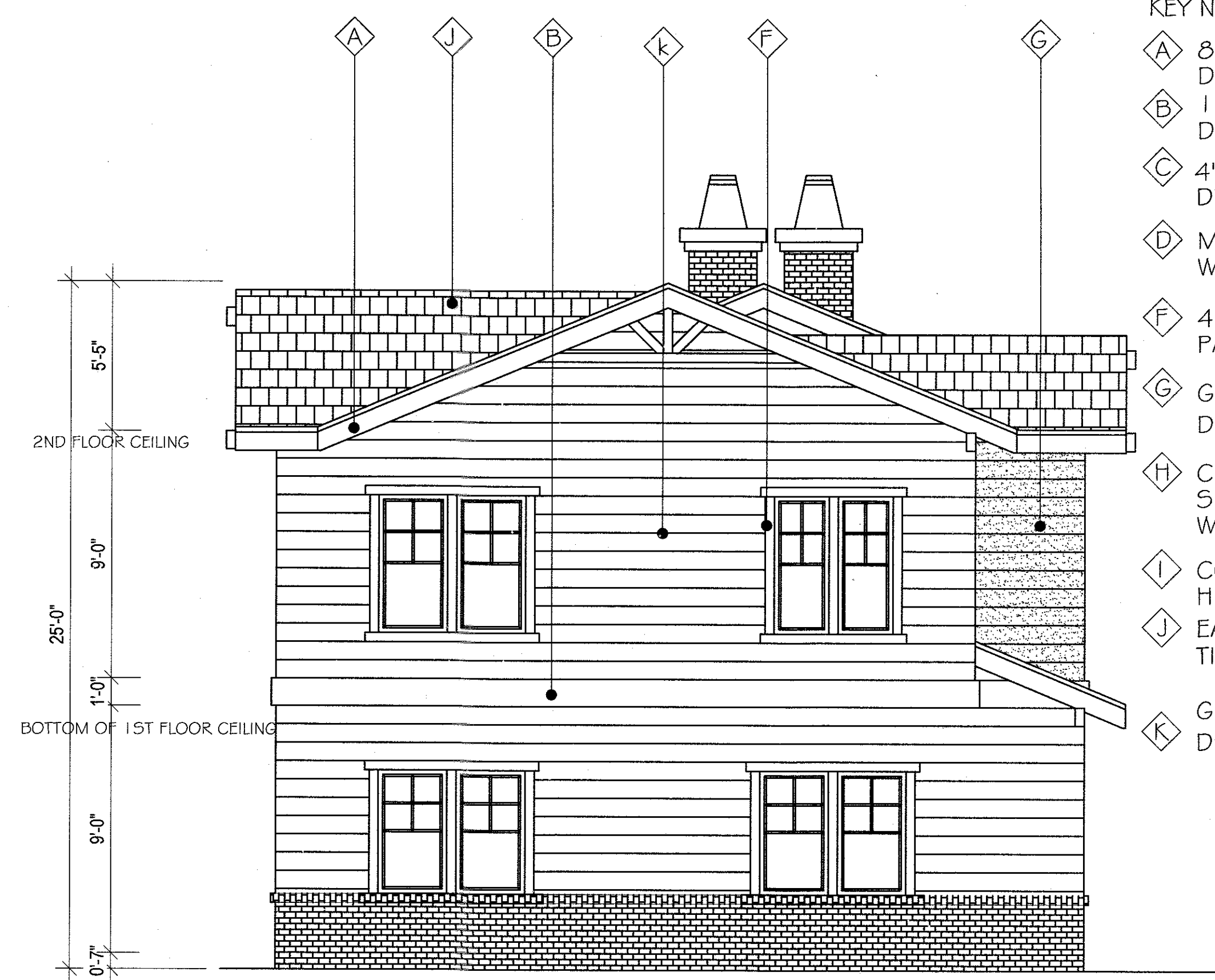
1 PROPOSED ROOF PLAN (UNIT 3 & 4)

SCALE
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION (UNIT 3 & 4)

SCALE
1/4" = 1'-0"



3 PROPOSED SOUTH ELEVATION (UNIT 3 & 4)

SCALE
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PROPOSED ELEVATION
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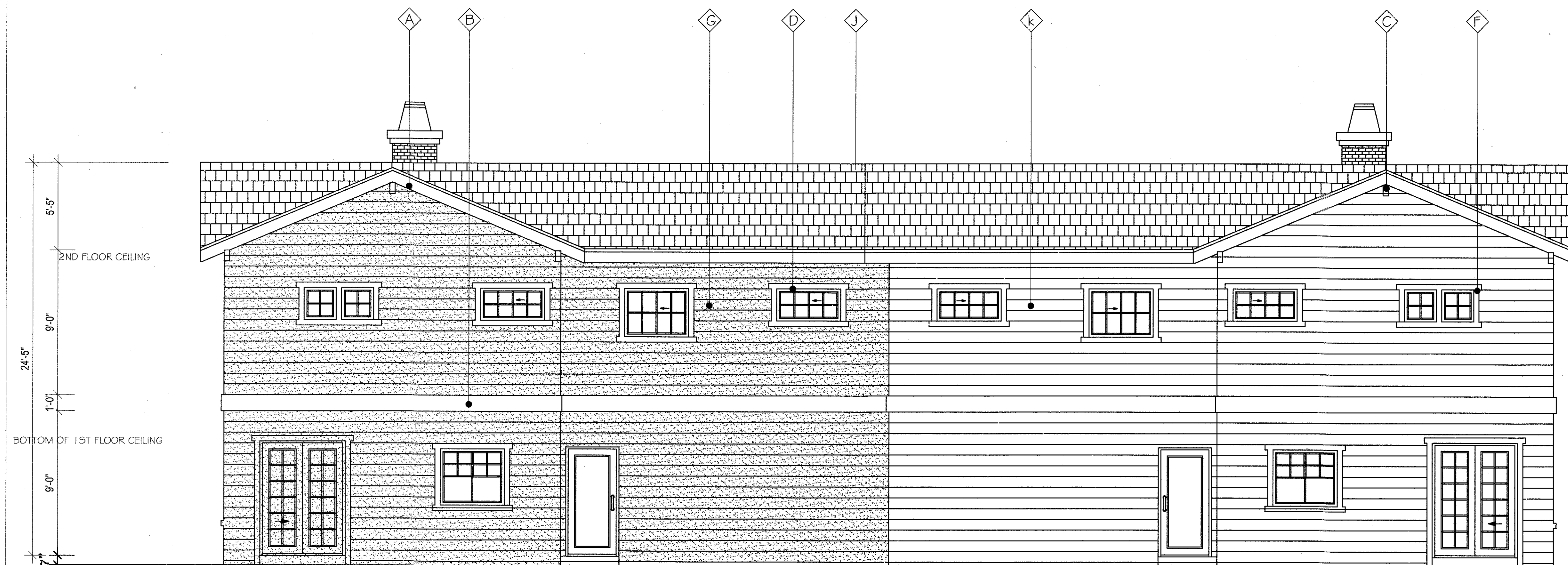
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1 PROPOSED EAST ELEVATION (UNIT 3 & 4)

SCALE
1/4" = 1'-0"



2 PROPOSED WEST ELEVATION (UNIT 3 & 4)

SCALE
1/4" = 1'-0"

KEY NOTE:

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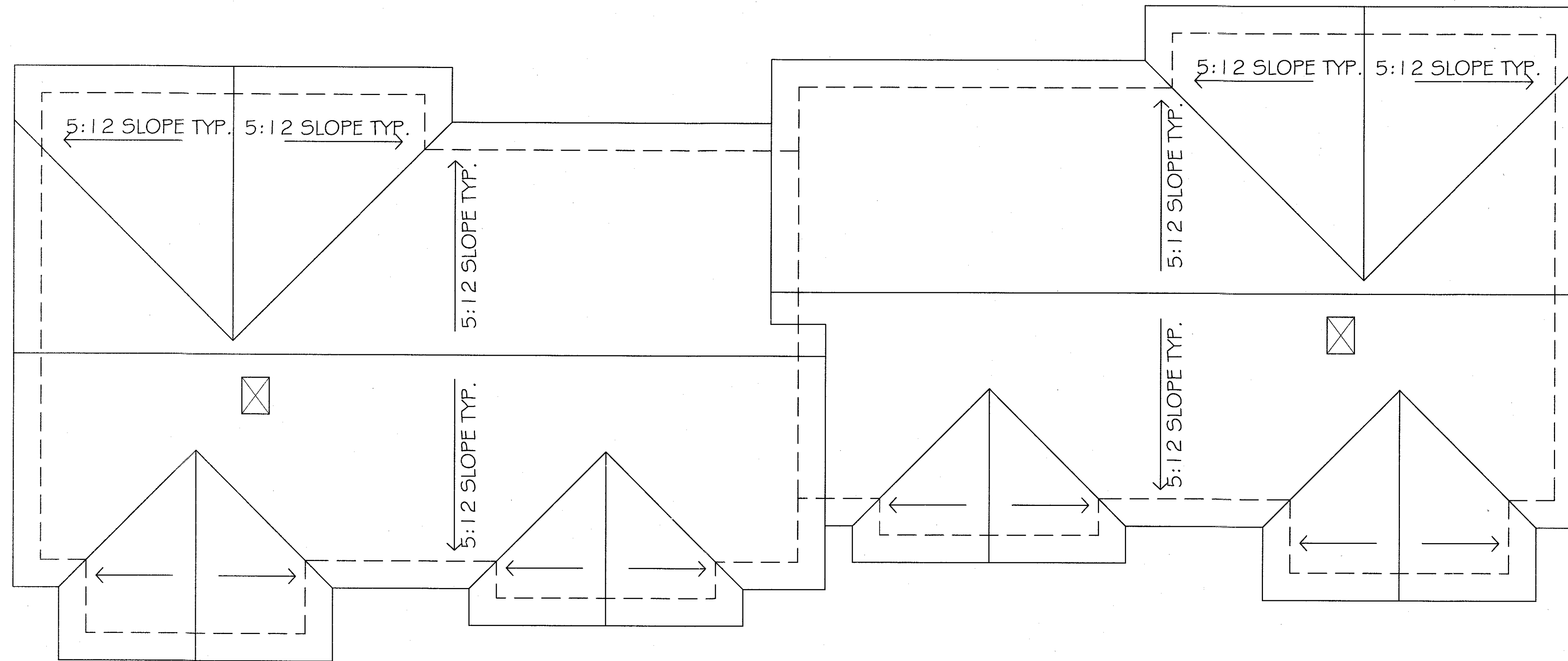
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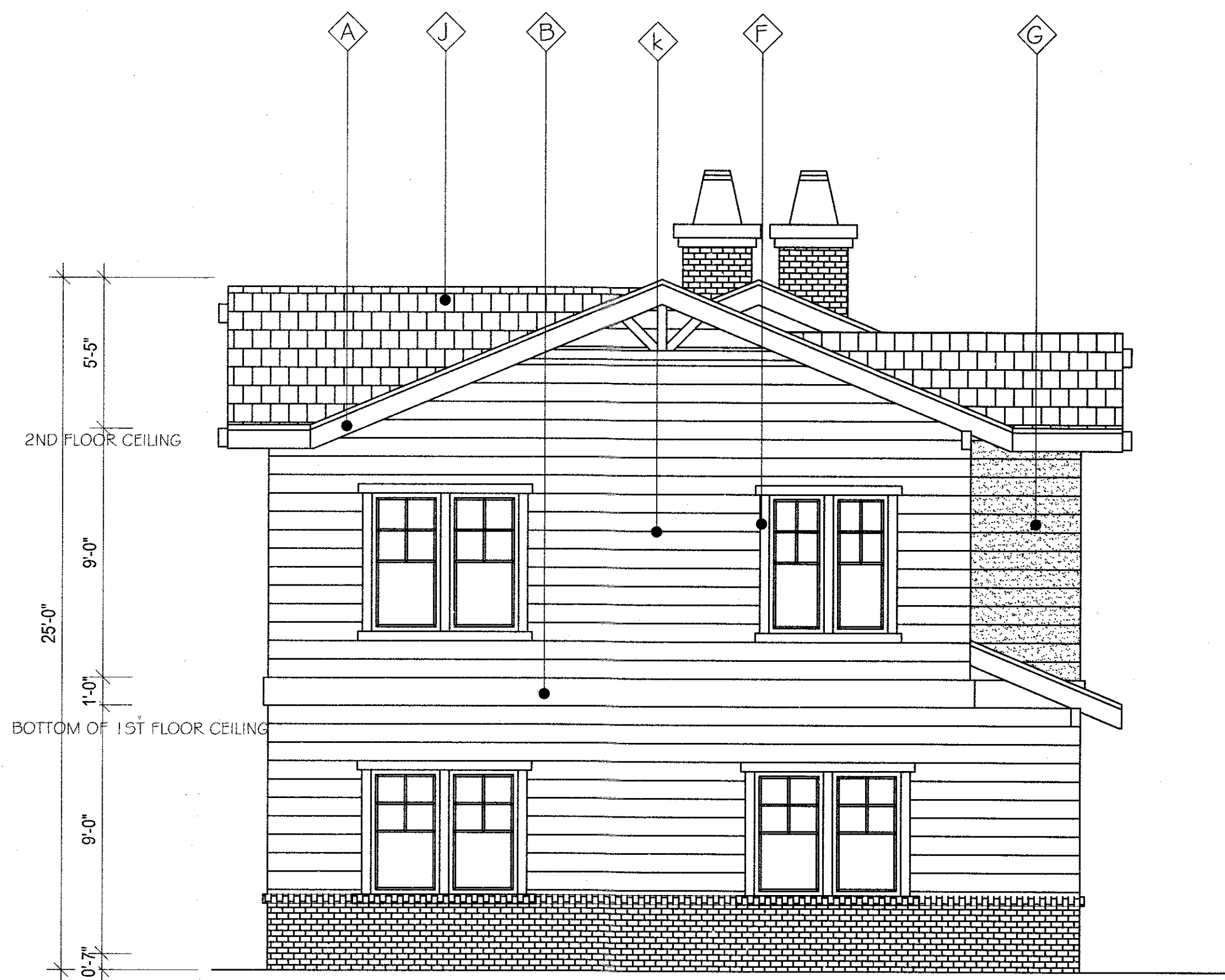
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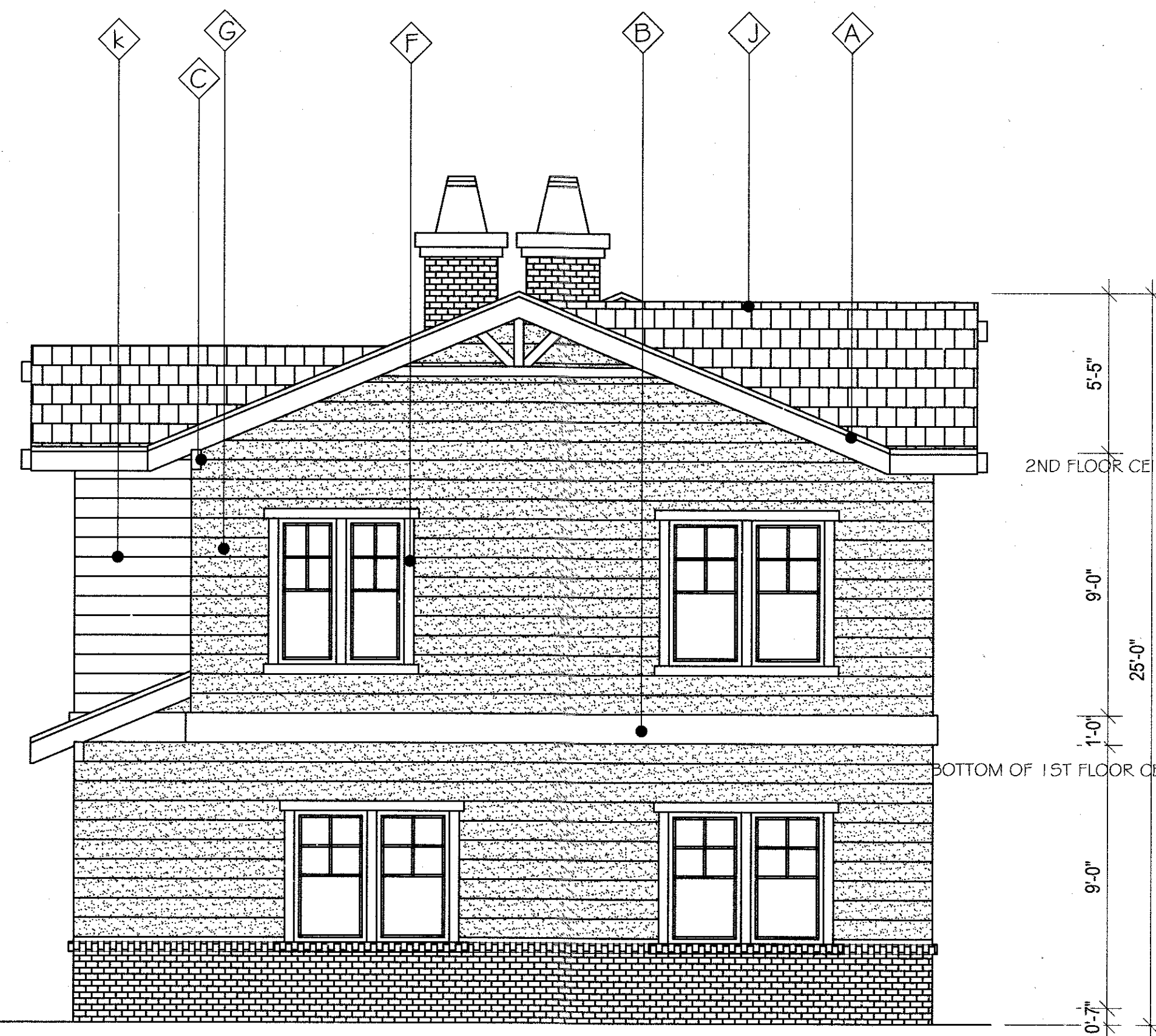
1 PROPOSED ROOF PLAN (UNIT 5 & 6)

SCALE
1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION (UNIT 5 & 6)

SCALE
1/4" = 1'-0"



3 PROPOSED NORTH ELEVATION (UNIT 5 & 6)

SCALE
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KEY NOTE:

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PROPOSED ROOF PLAN
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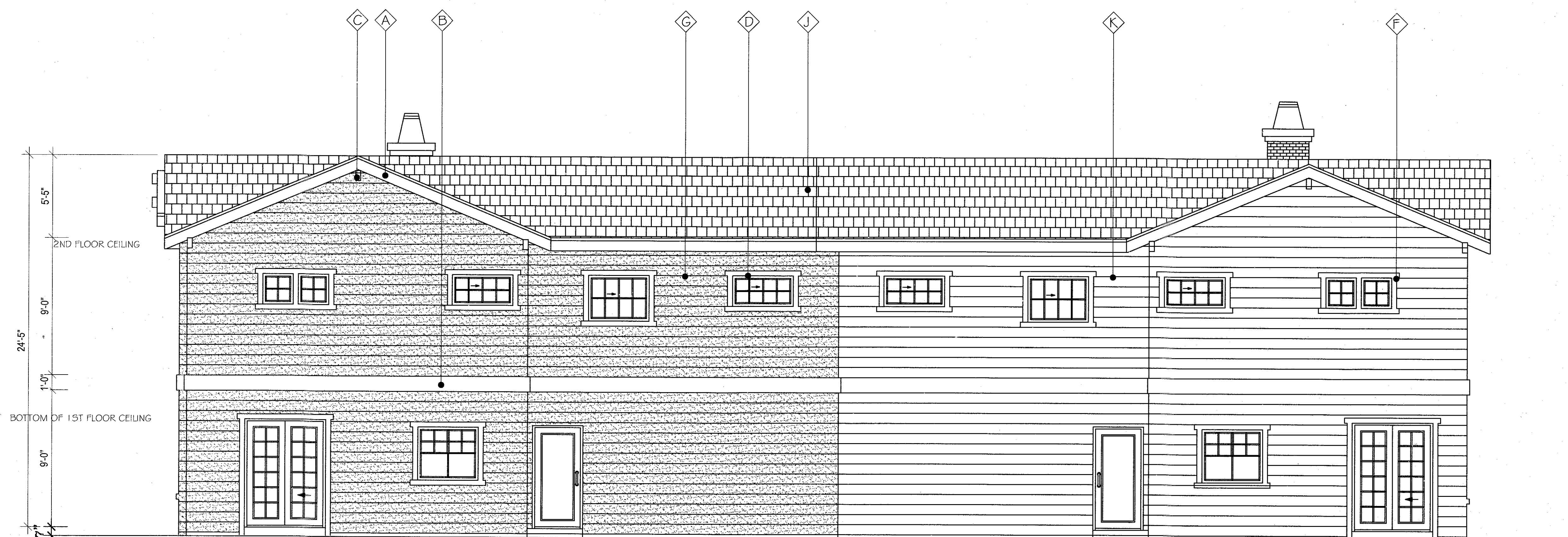


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1 PROPOSED EAST ELEVATION (UNIT 5 & 6)

SCALE
1/4" = 1'-0"



2 PROPOSED WEST ELEVATION (UNIT 5 & 6)

SCALE
1/4" = 1'-0"

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SPECIFICATIONS

1. SCOPE: THE WORK OF THIS SECTION INCLUDES EVERYTHING NECESSARY FOR AND INCIDENTAL TO EXECUTING AND COMPLETING ELECTRICAL WORK, EXCEPT AS OTHERWISE HEREINAFTER SPECIFICALLY EXCLUDED.
2. GUARANTEE: CONTRACTOR SHALL PROVIDE TO THE OWNER A WRITTEN GUARANTEE, IN COMPLIANCE WITH DIVISION 1, AGAINST DEFECTS IN MATERIAL AND WORKMANSHIP FOR ONE (1) YEAR, UPON FINAL ACCEPTANCE OF PROJECT BY OWNER.
3. TESTING AND ADJUSTMENT: UPON COMPLETION OF ALL ELECTRICAL WORK, ELECTRICAL CONTRACTOR SHALL ADJUST AND TEST ALL CIRCUITS, OUTLETS, SWITCHES, LIGHTS, MOTORS AND ANY OTHER ELECTRICAL ITEMS TO INSURE PERFECT OPERATION OF ALL ELECTRICAL EQUIPMENT. ITEMS, FIXTURES AND PARTS IN NEED OF CORRECTION AND DISCOVERED DURING SUCH TESTING SHALL BE IMMEDIATELY REPAIRED OR REPLACED WITH ALL NEW EQUIPMENT AND THAT PART OF THE SYSTEM SHALL THEN BE RETESTED. ALL SUCH REPLACEMENT OR REPAIR SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
4. SITE INSPECTION: THE CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND EXISTING BUILDINGS. SHALL COMPARE THE DRAWINGS WITH THE EXISTING ELECTRICAL INSTALLATIONS, AND SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS WITHIN THE SCOPE OF THIS WORK. BY THE ACT OF SUBMITTING A BID, THE CONTRACTOR WILL BE DEEMED TO HAVE MADE SUCH EXAMINATION AND TO HAVE ACCEPTED SUCH CONDITIONS, AND TO HAVE MADE ALLOWANCE THEREOF IN PREPARING HIS FIGURE.
5. LOCATIONS AND ACCESSIBILITY: CONTRACTOR SHALL FULLY INFORM HIMSELF REGARDING PECULIARITIES AND LIMITATIONS OF THE SPACES AVAILABLE FOR INSTALLATION OF WORK AND MATERIALS FURNISHED AND INSTALLED UNDER THIS DIVISION. DRAWINGS INDICATE DESIRED LOCATION AND ARRANGEMENT OF PIPING, EQUIPMENT, AND OTHER ITEMS, AND ARE TO BE FOLLOWED AS CLOSELY AS POSSIBLE. WORK SPECIFIED AND NOT CLEARLY DEFINED BY DRAWINGS SHALL BE INSTALLED AND ARRANGED IN A MANNER SATISFACTORY TO ARCHITECT, THEY SHALL BE MADE BY CONTRACTOR WITHOUT ADDITIONAL CHARGES, PROVIDED THE CHANGE IS ORDERED BEFORE WORK IS INSTALLED AND NO EXTRA MATERIAL ARE REQUIRED.
6. CLEANUP: AFTER COMPLETION OF WORK UNDER THIS SECTION, CLEAN UP ALL RESULTANT DEBRIS FROM THIS WORK AND REMOVE FROM THE SITE.
7. CUTTING AND PATCHING: THE CONTRACTOR SHALL DO ALL CUTTING AND PATCHING OF THE EXISTING CONSTRUCTION WORK WHICH MAY BE REQUIRED FOR THE PROPER INSTALLATION OF THE ELECTRICAL WORK. ALL PATCHING SHALL BE OF THE SAME MATERIALS, WORKMANSHIP AND FINISH AS, AND SHALL ACCURATELY MATCH ALL SURROUNDING WORK.
8. DRAWINGS AND SPECIFICATIONS: ELECTRICAL DRAWINGS ARE DIAGRAMMATIC IN SOME RESPECTS. SIZES AND LOCATION OF EQUIPMENT AND WIRING ARE SHOWN TO SCALE WHERE POSSIBLE, BUT MAY BE DISTORTED FOR CLARITY ON THE DRAWINGS. FINAL LOCATIONS OF OUTLETS AND EQUIPMENT SHALL BE AS SHOWN IN ENLARGED DETAILS OR AS APPROVED BY THE LIGHTING CONSULTANT. IT IS NOT WITHIN THE SCOPE OF DRAWINGS TO SHOW ALL NECESSARY BENDS, OFFSETS, PULLBOXES, AND OBSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL HIS WORK TO CONFORM TO THE STRUCTURE, PRESERVE HEADROOM AND KEEP OPENINGS AND PASSAGEWAYS CLEAR.
9. WIRING AND CONNECTIONS OF EQUIPMENT BY OTHERS: FURNISH AND INSTALL WIRING FOR POWER REQUIREMENT AS SHOWN ON DRAWINGS. COORDINATE WITH OTHER TRADES ON DETAILS OF INSTALLATION. THE TERM "WIRING" AS USED HEREIN, INCLUDES FURNISHING AND INSTALLING CONDUIT, WIRE, JUNCTION BOXES, DISCONNECTS, AND MAKING CONNECTIONS. CHECK LIGHTING CONSULTANT AND SPECIFICATIONS FOR EQUIPMENT TO BE INSTALLED BY OTHERS. ELECTRICAL DRAWINGS INDICATE IN GENERAL THE INTENT AND SCOPE OF SYSTEMS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER WIRING AND NECESSARY ELECTRICAL ADJUSTMENTS TO EQUIPMENT TO CONFORM TO SPECIFIED REQUIREMENTS OF THE EQUIPMENT.
10. SHOP DRAWINGS: WITHIN FOURTEEN (14) DAYS AFTER RECEIPT OF CONTRACT, SUBMIT TO ARCHITECT SEVEN (7) COMPLETE SETS OF DRAWINGS FOR ALL ELECTRICAL EQUIPMENT AND DEVICES. DO NOT DELIVER THESE ITEMS TO THE JOB SITE UNTIL SHOP DRAWINGS HAVE BEEN REVIEWED AND APPROVED BY ARCHITECT AND ELECTRICAL ENGINEER.
11. OUTLET BOXES: OUTLET BOXES SHALL BE ONE PIECE PRESS STEEL BOC. "4S" MINIMUM SIZE OR LARGER AS REQUIRED PER CODE.
12. CONDUIT SHALL BE STANDARD STEEL RIGID, IMC OR EMT (THIN WALL) ACCORDING TO CEC CODE AND LANDLORD REQUIREMENTS. CONDUIT SHALL BE CONCEALED IN FINISHED AREAS, EXCEPT AS OTHERWISE APPROVED BY ARCHITECT. EMT CONNECTIONS SHALL BE COMPRESSION OR SET SCREW TYPE. LIQUIDTIGHT FLEXIBLE METAL CONDUIT SHALL BE USED FOR MOTOR CONNECTIONS, AND COMPLY WITH ARTICLE 350. PVC CONDUIT SHALL BE USED ONLY FOR UNDERGROUND CONDUIT. FLEXIBLE METAL CONDUIT SHALL BE INSTALLED PER ARTICLE 348. MC CABLE SHALL BE SUITABLE FOR INSTALLATION IN CONCEALED AREAS SUCH AS ABOVE CEILINGS AND INSIDE WALL CONSTRUCTION AND COMPLY WITH ARTICLE 330. MINIMUM CONDUIT SIZE SHALL BE 1/2".
13. WIRE AND CABLE: ALL CONDUCTORS SHALL BE DELIVERED TO THE SITE IN THEIR ORIGINAL UNBROKEN PACKAGES, PLAINLY MARKED OR TAGGED AS FOLLOWS:
14. UNDERWRITERS' LABELS. SIZE, TYP. AND INSULATION OF WIRE. NAME OF THE MANUFACTURING COMPANY AND THE TRADE NAME OF THE WIRE. MONTH AND YEAR WHEN MANUFACTURED WHICH DATE SHALL NOT EXCEED TWO (2) YEARS PRIOR TO THE DATE OF DELIVERY TO THE SITE.
15. CONDUCTORS FOR SIZES #14 THRU #10 SHALL BE SOLID SOFT DRAWN COPPER, 600 VOLT, TYPE THHN/THWN INSULATION EXCEPT AS HEREINAFTER SPECIFIED.
16. CONDUCTORS FOR SIZES #8 AND LARGER SHALL BE STRANDED COPPER WITH 600 VOLT, TYPE THHN/THWN INSULATION.
17. MINIMUM WIRE SIZE SHALL BE #12 A.W.G. UNLESS SPECIFICALLY NOTED AS #14.

UTILITY NOTES:

1. ELECTRICAL CONTRACTOR MUST OBTAIN APPROVED CONSTRUCTION DRAWINGS FROM THE RESPECTIVE UTILITY COMPANIES AND INCLUDE ALL MATERIAL AND WORK AS INDICATED THEREON IN THIS BID PRICE. IF UTILITY DRAWINGS ARE NOT AVAILABLE WHEN BIDS ARE SUBMITTED, SO INDICATE AND ADVISE ELECTRICAL ENGINEER ACCORDINGLY.
2. ELECTRICAL CONTRACTOR SHALL VERIFY EXACT LOCATION OF UTILITY PANELS, CONDUITS AND XFMR WITH RESPECTIVE UTILITY COMPANIES PRIOR TO START OF ANY SITE WORK.
3. ELECTRICAL CONTRACTOR SHALL SUBMIT THE MAIN SWITCHBOARD SHOP DRAWING TO POWER COMPANY REPRESENTATIVE PRIOR TO START OF ANY WORK AND OBTAIN APPROVED DRAWINGS.
4. GENERAL CONTRACTOR SHALL SUBMIT SINGLE LINE DIAGRAM, SITE PLAN AND LOAD INFORMATION DRAWINGS TO UTILITY POWER COMPANY TO OBTAIN SERVICE REPORT INDICATING THE AVAILABLE FAULT CURRENT AND SERVICE ROUTING.

GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH THE STATE OF CALIFORNIA, TITLE 24 AND ALL OTHER GOVERNING CODES AND ORDINANCES. 2016 CEC & 2016 CALIFORNIA ENERGY CODE.
- 2a. ELECTRICAL SWITCHES AND CONTROLS/MOUNTING HEIGHTS/DISABLED ACCESS: 2016 CBC NOW REQUIRES CONTROLS AND SWITCHES INTENDED TO BE USED BY OCCUPANTS OF THE ROOM OR AREA TO BE LOCATED: 2a.1 NO MORE THAN 48-INCHES, MEASURED FROM THE TOP OF THE OUTLET BOX. 2a.2 NO LESS THAN 15 INCHES, MEASURED FROM THE BOTTOM OF THE OUTLET BOX, TO THE LEVEL OF THE FINISHED FLOOR OR WORKING PLATFORM.
- 2b. ELECTRICAL RECEPTACLE OUTLETS/MOUNTING HEIGHTS/DISABLED ACCESS: 2016 CBC REQUIRES ELECTRICAL RECEPTACLE OUTLETS ON BRANCH CIRCUITS OF 30 AMPERES OR LESS AND COMMUNICATION SYSTEM RECEPTACLE TO BE LOCATED: 2b.1 NO MORE THAN 48-INCHES, MEASURED FROM THE TOP OF THE RECEPTACLE OUTLET BOX OR RECEPTACLE HOUSING. 2b.2 NO LESS THAN 15-INCHES, MEASURED FROM THE BOTTOM OF RECEPTACLE OUTLET BOX OR RECEPTACLE HOUSING, TO THE LEVEL OF THE FINISHED FLOOR OR WORKING PLATFORM.
3. REFER TO THE ARCHITECTURAL REFLECTED CEILING PLAN FOR THE EXACT TYPE AND LOCATION OF LIGHT FIXTURES.
4. REFER TO THE ARCHITECTURAL POWER AND TELEPHONE PLAN FOR THE EXACT LOCATION AND MOUNTING HEIGHTS AND TYPES OF ALL OUTLETS (RECEPTACLES, TELEPHONES, CRT'S, CLOCKS, ETC.).
5. ALL ELECTRICAL WORK, ITEMS, DEVICES, ETC. SHALL CONFORM TO THE REQUIREMENTS OF THE BASE BUILDING SPECIFICATION.
6. ALL OUTLETS SHALL BE INSTALLED AT THE HEIGHTS INDICATES ON THE SYMBOL LIST UNLESS OTHERWISE NOTED ON THE DRAWINGS.
7. EVERY OUTLET HEIGHT SHALL BE VERIFIED ON EACH WALL WITH THE ARCHITECT OR INTERIOR DESIGNER TO ENSURE THE PROPER HEIGHT AND LOCATION WITH RESPECT TO CABINET, EQUIPMENT, ETC.
8. ALL WORK/MATERIALS SHOWN ON PLANS SHALL BE NEW UNLESS OTHERWISE INDICATED.
9. UNLESS INSTRUCTED OTHERWISE, THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, LICENSES, AND FEES REQUIRED FOR INSTALLATION OF THE ELECTRICAL WORK. FURNISH FINAL CERTIFICATE OF INSPECTION OR WRITTEN EVIDENCE OF ACCEPTANCE BY INSPECTION AUTHORITIES FOR ALL WORK INSTALLED.
10. BEFORE STARTING ANY WORK, THE ELECTRICAL CONTRACTOR SHALL EXAMINE THE COMPLETE SET OF DRAWINGS FOR ALL TRADES, INCLUDING ARCHITECTURAL, HEATING-VENTILATING-AIR CONDITIONING AND PLUMBING. VERIFY ALL DIMENSIONS, SPACE REQUIREMENTS AND POINTS OF CONNECTION TO ALL EQUIPMENT. MAKE ANY MINOR ADJUSTMENTS NECESSARY TO AVOID CONFLICT WITH THE BUILDING STRUCTURE AND THE WORK OF OTHER TRADES.
11. UPDATE PANEL CARDS INDICATING CIRCUIT'S SPECIFIC FUNCTION/LOCATION.
12. AS-BUILT DRAWINGS SHALL BE MAINTAINED AND REFLECT THE FOLLOWING:
- A. ANY DEVIATION FROM THE CIRCUIT NUMBERS ON WORKING DRAWINGS SHALL BE INDICATED ON AS-BUILTS.
- B. THE ADDITION, DELETION OR RELOCATION OF OUTLETS AS SHOWN ON WORKING DRAWINGS SHALL BE INDICATED ON "AS-BUILTS".
13. ALL CONDUIT OTHER THAN USED FOR ELECTRICAL WIRING SHALL HAVE #12 GALVANIZED PULL WIRE INSTALLED BY THE ELECTRICAL CONTRACTOR.
14. ALL EXTERIOR RECEPTACLES SHALL BE WEATHER-PROOF TYPE, AND GFCI PROTECTION.
15. ALL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL & STATE CODES.
16. THE ELECTRICAL CONTRACTOR SHALL VERIFY THE EXACT LOCATION, DEPTH AND ADEQUACY OF ALL SERVICES BEFORE STARTING AND SHALL NOTIFY THE GENERAL CONTRACTOR IF SAID CONNECTION ARE NOT IN THE LOCATION SHOWN OR ARE NOT OF SUFFICIENT SIZE OR DEPTH TO MAKE THIS CONNECTION IN COMPLIANCE WITH THIS PLAN.
17. THESE PLAN INDICATE APPROXIMATE DIMENSION ONLY FOR EQUIPMENT OR FIXTURE. EXACT DIMENSIONS MUST BE OBTAINED FROM THE EQUIPMENT MANUFACTURER.
18. THE CONDUIT & PIPING SHOWN ON PLANS ARE SCHEMATIC ONLY. INSTALL DUCT AND PIPING TO SUIT THE STRUCTURAL CONDITIONS. PROVIDE ALL NECESSARY OFFSETS AS REQUIRED. VERIFY WITH ARCHITECTURAL, STRUCTURAL, HVAC, FIRE PROTECTION AND PLUMBING DRAWINGS.
19. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL ELECTRIC DEVICE, CONTROL VALVES AND ACCESS PANELS, ETC. TO ASSURE AN APPROVED ACCEPTABLE ELECTRICAL SYSTEM.
20. SEAL ALL OPENINGS AROUND ELECTRIC CONDUITS AND PIPES (WIRES) PENETRATING THE FIRE RATED FLOOR & WALLS WITH APPROVED FIRE RETARDING MATERIALS.
21. INSTALL EXPANSION JOINTS IN THE CONDUITS AND PIPINGS AND EXPANSION LOOPS IN THE PIPING AS REQUIRED BY THE LOCAL ADMINISTRATIVE AUTHORITY.
22. ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK CAREFULLY W/ THE PLUMBING, FIRE PROTECTION AND HVAC CONTRACTORS TO AVOID INTERFERENCES.
23. ALL CONDUITS & WIRES SUSPENDED IN BASEMENT OR CEILING SHALL BE INSTALLED AS HIGH AS POSSIBLE.
24. ALL 15 AND 20 AMPERE, 125 AND 250 VOLTS NONLOCKING RECEPTACLES SHALL BE LISTED WEATHER-RESISTANT TYPE IN A DAMP OR WET LOCATION (406. 8(A) & (B)).
25. ALL ELECTRICAL EQUIPMENT SHALL BE LISTED BY U.L. OR LOCAL GOVERNMENT APPROVED THIRD PARTY TESTING FACILITY. PER SECTION 110.3 (b)
26. NO PIPING, DUCTS OR EQUIPMENT FOREIGN TO ELECTRICAL EQUIPMENT SHALL BE PERMITTED TO BE LOCATED WITHIN THE DEDICATED SPACE ABOVE THE ELECTRICAL EQUIPMENT.
27. FUSED SHALL BE PROVIDED WITH REJECTION TYPE FUSE HOLDERS.
28. UNLESS LISTED OTHERWISE, THE AMPACITY OF 600 VOLTS OR LESS CONDUCTORS SHALL BASE ON THE TERMINALS NOT EXCEED 60° C FOR CONDUCTOR SIZE 12 THROUGH 1 AWG, OR 75° C FOR CONDUCTOR SIZES OVER 1 AWG.
29. APPLIANCES PROVIDED AND INSTALLED MEETS ENERGY STAR IF AN ENERGY STAR DESIGNATION IS APPLICABLE FOR THAT APPLIANCE AND SUBJECT TO FIELD VERIFICATION.
30. WORKING SPACE: MINIMUM 3FT WORKING SPACE SHALL BE PROVIDED AND MAINTAINED FOR ALL ELECTRICAL PANELS AND EQUIPMENT. PER CEC 110.26

GENERAL LIGHTING FIXTURE COMMENTS

1. All ballasts shall be HPF, C.B.M. - E.T.I. certified, class-P equal to universal "Energy saver" V.L.H series, of quietest sound rating available. Provide low temperature ballasts for outdoor mounted fixtures.
2. Contractor shall be responsible for ordering proper types of trim for all recessed fluorescent fixtures and incandescent fixtures to fit the ceiling being installed. Finish trim of all recessed incandescent fixtures shall match ceiling finish as directed by architect.
3. The contractor shall verify the type of ceiling before ordering any fixtures. He is fully responsible to provide all mounting brackets for all ceiling conditions, at no extra charge to the owner.
4. All fixtures shall bear U.L. label.
5. Acrylic lens shall be 100% pure, virgin, acrylic.
6. All lighting fixtures shall be installed in accordance with the manufacturers instructions.
7. Recessed fixtures in fire rated ceiling shall be approved for the fire rating of the ceiling.
8. Fixtures in luminous ceiling of ceiling cavities or soffits shall be approved for type of installation.
9. Stem lengths pendant fixtures shall be one piece without couplings, with finish to match canopy and with swivel hanger legally approved for weight supported and for earthquake protection. Provide wedge type canopy for fixtures to be installed on sloped ceiling.
10. Outdoor fixtures and fixtures installed in damp location shall be approved for wet locations.
11. Verify letter size and color of internally illuminated exit signs with local authorities prior to submittal of shop drawings.
12. Recessed fixtures shall be pre-wired to attached J-Box in accordance with local code requirements. Fixtures shall be approved for the maximum number of wires going in and out of the fixtures as shown on plans. Attached J-Boxes shall be accessible per C.E.C.
13. All mercury vapor or metal halide lamps, which are to be installed in open reflector down light fixtures, shall be provided with "shut-off" device as approved by the food and drug administration. Lamps shall be manufactured by westinghouse "safety life-guard" lamps or G.E. "Safe Merc" lamps.
14. Provide fluorescent light in kitchen and bathrooms at least 40 lumens per watt as per TITLE 24 mandatory measures.
15. ALL LIGHTING FIXTURES ARE TO BE CERTIFIED BY CALIFORNIA ENERGY COMMISSION.

SYMBOL LIST

HOME RUN			
CONDUIT CONCEALED IN WALL OR CEILING UNLESS NOTED			
CONDUIT CONCEALED IN WALL, FLOOR, UNDERGROUND OR UNDER FLOOR UNLESS NOTED			
HOME RUN TO PANEL			
HASH MARKS INDICATE QUANTITY OF CONDUCTORS.			
NO HASH MARK INDICATES 1/2"C-2#12&1#12GROUND			
#10 INDICATES #10 AWG CONDUCTORS.			
SIZE OF CONDUIT SHALL BASE ON N.E. CODE.			
1 2 3	ROOM NUMBER	C.O.	CONDUIT ONLY
N.I.C.	NOT IN CONSTRUCTION		
W.P.	WEATHER PROOF	N.T.S.	NOT TO SCALE
5" BOX	4 11/16" SQ.X2 1/8" D.BOX		CONDUIT UP
V.L.	VERIFY LOCATION		CONDUIT DOWN
FL'R.	WALL	CEIL	DESCRIPTION
\$			SINGLE POLE TOGGLE SWITCH (SEE NOTE 2a)
\$a.b			SINGLE POLE SW,SUBSCRIPT INDICATES OUTLETS CONTR'D PROVIDE SEPARATE SW. FOR EACH IN GANG ASSEMBLY(SEE NOTE 2a)
\$2			TWO POLE SWITCH (SEE NOTE 2a)
\$3			THREE WAY SWITCH (SEE NOTE 2a)
\$4			FOUR WAY SWITCH (SEE NOTE 2a)
\$a			OCCUPANCY SENSOR SWITCH (SEE NOTE 2a)
\$D			SINGLE POLE DIMMER SWITCH (SEE NOTE 2a)
\$M			MANUAL MOTOR STARTER
⊗		⊗	DUPLEX CONVENIENCE OUTLET (SEE NOTE 2b)
⊗		⊗	20A-250V. TWISTLOCK RECEPTACLE (SEE NOTE 2b)
⊗		⊗	RECEPTACLE GROUND-FAULT CIRCUIT INTERRUPTER
⊗		⊗	JUNCTION BOX
⊗		⊗	SHOW WINDOW RECEPTACLE
⊗		⊗	MOTOR
⊗		⊗	TIME CLOCK
⊗		⊗	VERRIDE SWITCH
⊗		⊗	MAIN SWITCHBOARD
⊗		⊗	POWER PANEL
⊗		⊗	FUSE DISCONNECT SWITCH
⊗		⊗	OCCUPANCY SENSOR
⊗		⊗	SYSTEM SMOKE DETECTOR
⊗		⊗	CARBON MONOXIDE DETECTOR
⊗		⊗	PHOTOSENSOR
⊗		⊗	RECEPTACLE 230V 20A UNLESS NOTED
⊗		⊗	RECEPTACLE, NEMA TYPE MATCH WITH EQUIPMENT
⊗		⊗	EXHAUST FAN
⊗		⊗	EXIT SIGN
⊗		⊗	DEMAND RESPONSIVE CONTROL SYSTEM
⊗		⊗	EMERGENCY LIGHT

REVISIONS

PERFECT DESIGN & INVESTMENT, INC.
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SITE LIGHTING
636 E. GRAND AVE,
POMONA, CA 91766

Date 08-08-18

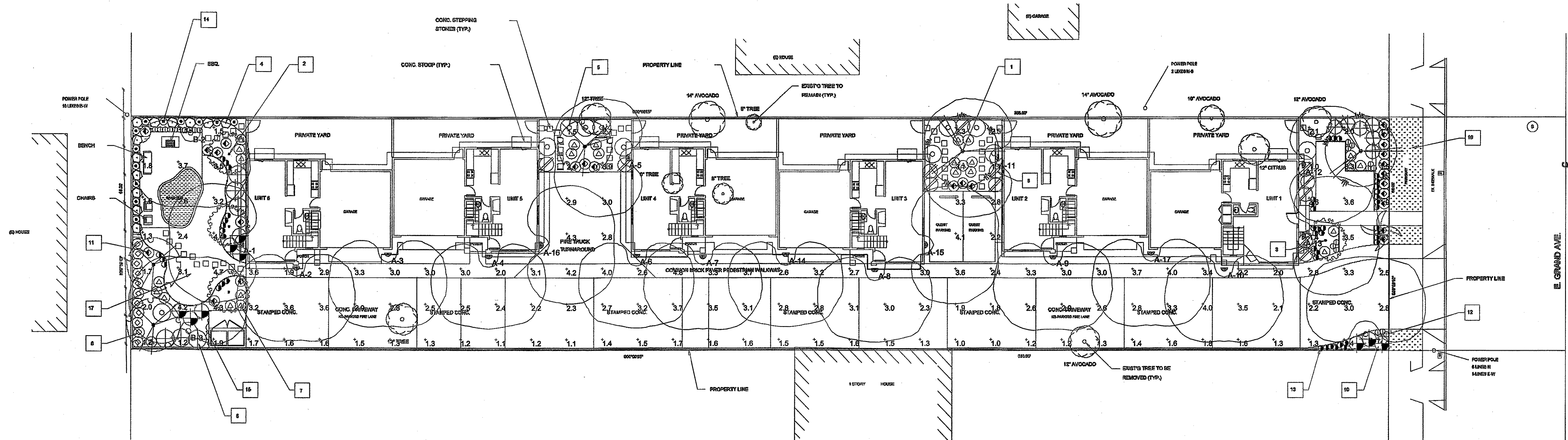
Scale

Drawn E.C.

Job # V16-2387

Sheet

E-1
Of 3 Sheets



Plan View - EMERGENCY PHOTOMETRIC
Scale - 1" = 16'

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	17	SUN VALLEY LIGHTING	LCF-CP-APA-4-40LED-NW	POST TOP, 10 LED MODULES - EXTRUDED FINNED DIFFUSE METAL HOUSING WITH 4 LEDs, CLEAR TEXTURED PLASTIC DIFFUSERS.	FORTY WHITE LIGHT EMITTING DIODES (LEDs) DRIVEN AT 350MA.	40	LCF-CP-APA-4-40LED-NW.lis	87	0.91	43.8
	B	3	SUN VALLEY LIGHTING	LCF-CP-APA-4-40LED-NW	POST TOP, 10 LED MODULES - EXTRUDED FINNED DIFFUSE METAL HOUSING WITH 4 LEDs, CLEAR TEXTURED PLASTIC DIFFUSERS.	FORTY WHITE LIGHT EMITTING DIODES (LEDs) DRIVEN AT 350MA.	40	LCF-CP-APA-4-40LED-NW.lis	87	0.91	43.8

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	2.5 fc	4.8 fc	1.0 fc	4.8:1	2.5:1

REVISIONS BY

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SITE LIGHTING
636 E. GRAND AVE,
POMONA, CA 91766

Date 08-08-18

Scale

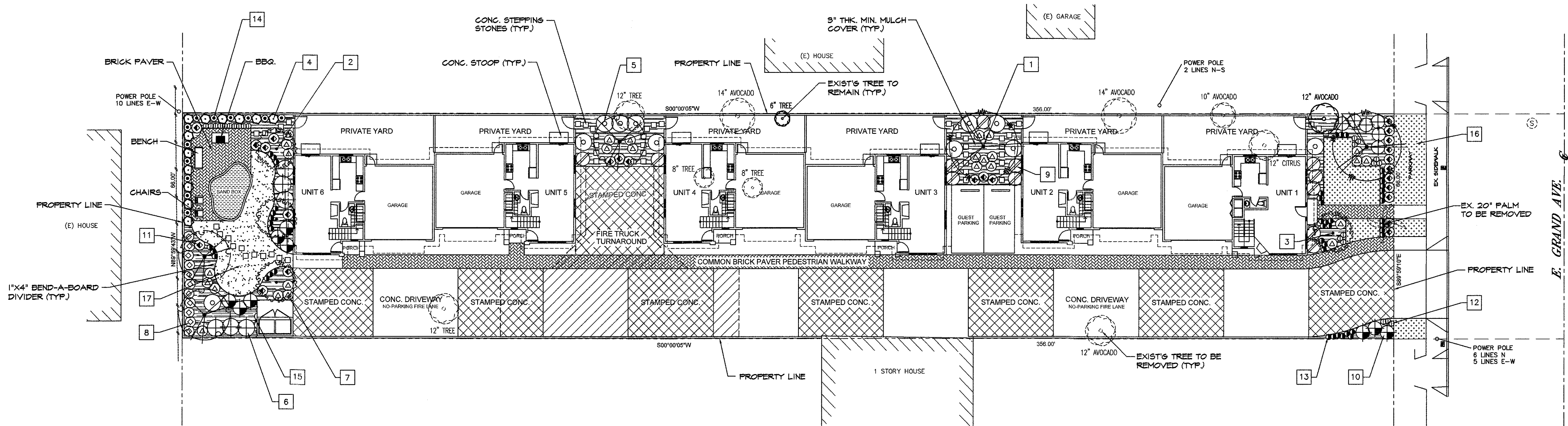
Drawn E.C.

Job # V16-2387

Sheet

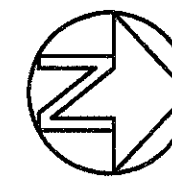
E-3

Of Sheets



CONCEPTUAL LANDSCAPE PLAN

SCALE : 1/16" = 1'-0"



PLANT LEGEND

SYMBOL	ITEM NO.	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	TYPE	WATER USE
	1	KOELREUTERIA PANICULATA	GOLDEN RAIN TREE	24" BOX	2	TREE	L
	2	GEIJERA PARVIFLORA	AUSTRALIAN WILLOW	24" BOX	3	TREE	L
	3	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX	4	TREE	L
	4	JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER	15 GAL.	12	SHRUB	L
	5	CEANOTHUS 'JULIA PHELPS'	JULIA PHELPS CALIFORNIA LILIC	5 GAL.	11	SHRUB	L
	6	OISTUS PRUPUREUS	PURPLE ROCK ROSE	5 GAL.	12	SHRUB	L
	7	LAVANDULA DENTATA	FRENCH LAVENDER	5 GAL.	26	SHRUB	L
	8	CALLISTEMON CITRINUS 'LITTLE JOHN'	DWARF BOTTLEBRUSH	5 GAL.	11	SHRUB	L
	9	CARPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL.	12	SHRUB	L
	10	BOUGAINVILLEA 'TEMPLE FIRE'	RED BUSH BOUGAINVILLEA	5 GAL.	9	SHRUB	L
	11	ROSMARINUS OFFICINALIS 'PROSTRATUS'	TRAILING ROSEMARY	5 GAL.	25	SHRUB	L
	12	CENTRANTHUS RUBER	RED VALERIAN	1 GAL.	22	SHRUB	L
	13	ARCTOSTAPHYLOS UVA-URSI 'WOODS COMPACTA'	WOOD'S COMPACT KINNIKINNICK	1 GAL.	46	SHRUB	L
	14	SALVIA LEUCOPHYLLA	PURPLE SAGE	1 GAL.	12	SHRUB	L
	15	MACFADYENA UNGUIS-CATI	CAT'S CLAW	5 GAL.	1	VINE	L
	16	DYMONDIA MARGARETAE	SILVER CARPET	FLATS	6" O.C.	GROUND COVER	L
	17	STENOTAPHRUM SECUNDATUM	ST. AUGUSTINE GRASS	SOD	SOD	LAWN	M

EXISTING TREE LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING PALM TREE TO BE REMOVED

NOTES:

- TOTAL LANDSCAPED AREA: 3,705 S.F.
TURF AREA: 540 S.F. = 14.57 % OF TOTAL LANDSCAPED AREA
14.57 % < 75% (O.K.)
- ALL PRIVATE YARD TO BE LANDSCAPED BY FUTURE OWNER., CONTRACTOR/ DEVELOPER TO MAINTAIN ALL PRIVATE YARDS WITHOUT ANY WEEDS OR DEBRIS BEFORE THE UNIT SOLD.
- ROOT BARRIERS SHALL BE PROVIDED ON ALL TREES WITHIN 5 FEET OF ALL PAVED AREAS AND FOUNDATIONS.
- ALL HARDSCAPE AREAS SHALL BE KEPT CLEAN AND FREE OF DUST, MUD, OR TRASH.
- ALL LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND HEALTHY CONDITION.
- AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED IN ALL PLANTING AREAS.
- EXIST'G TREE INDICATE TO REMAIN SHALL BE PRESERVED & PROTECTED DURING THE COURSE OF CONSTRUCTION.

REVISIONS	
DATE	NO
8-6-2018	

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Project
6 UNIT CONDOMINIUM
636 E. GRAND AVE.
POMONA, CA 91766
Assessor's ID No. 8333-024-033

Sheet Title	
CONCEPTUAL LANDSCAPE PLAN	
Date	10-04-16
Scale	1/16"=1'-0"
Drawn	T.L.
Job	081716A
Sheet	L-1