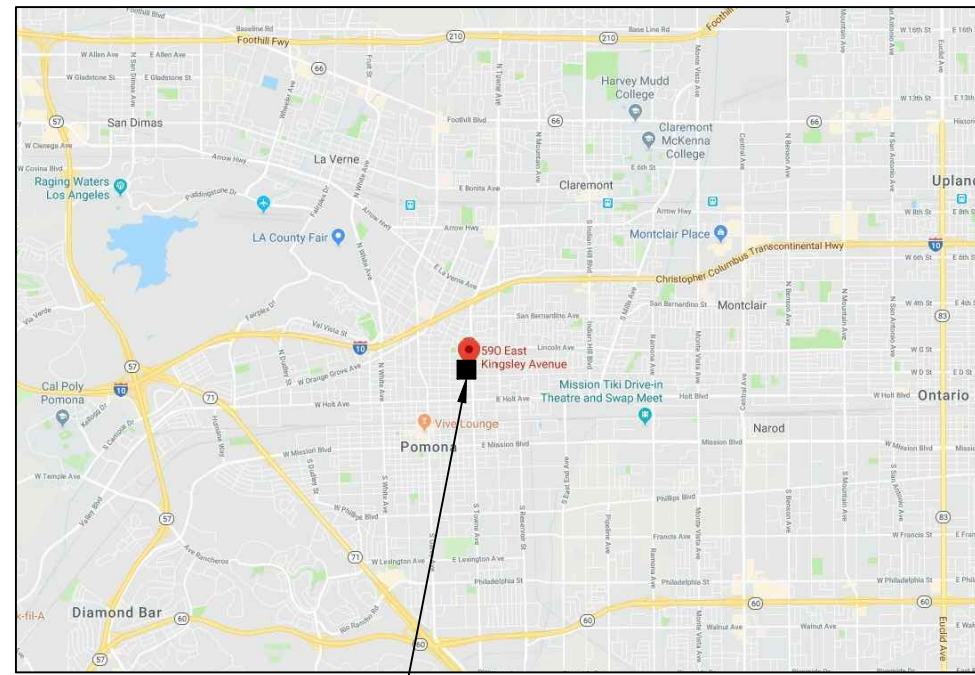


LUO RESIDENCE

ACCESSORY DWELLING UNIT

VICINITY MAP



PROJECT SITE

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES INCLUDING LOCAL AMENDMENTS :

- 2016 CALIFORNIA BUILDING CODE (CBC)
- 2016 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2016 CALIFORNIA PLUMBING CODE (CPC)
- 2016 CALIFORNIA MECHANICAL CODE (CMC)
- 2016 CALIFORNIA ELECTRICAL CODE (CEC)
- 2016 CALIFORNIA GREEN BUILDINGS STANDARDS CODE (CalGreen)
- 2016 CALIFORNIA ENERGY CODE

SCOPE OF WORK

NEW 1,200 SF ACCESSORY DWELLING UNIT , NEW 737 SF GARAGE AND REMOVE EXISTING METAL GARAGE

PROJECT INFORMATION

EXISTING RESIDENCE AREA :	1,035 SQ. FT.
PROPOSED ACCESSORY DWELLING UNIT :	1,200 SQ. FT.
TOTAL HABITABLE AREA :	2,235 SQ. FT.
EXISTING COVERED PORCH AREA :	100 SQ. FT.
NEW COVERED PORCH AREA :	95 SQ. FT.
PROPOSED DETACHED GARAGE AREA :	516 SQ. FT.
TOTAL BUILDING FOOTPRINT :	2,946 SQ. FT.
LOT AREA :	12,971 SQ. FT.
LOT COVERAGE :	22%
STORIES :	1
SPRINKLERS :	NO

LEGAL DESCRIPTION

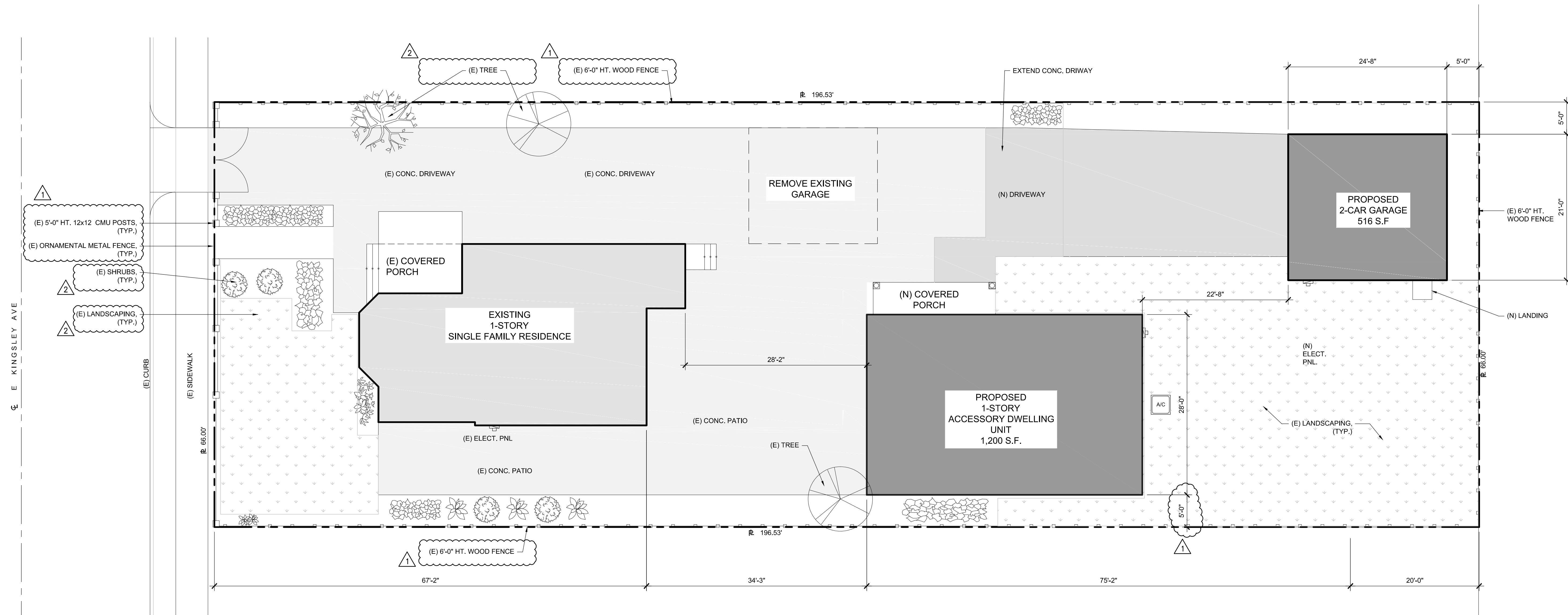
APN :	8337-006-004
TRACT NO. :	66
LOT :	2
CONSTRUCTION TYPE :	V-B

PROJECT ADDRESS

590 E. KINGSLEY AVE.
POMONA, CA 91767

SHEET INDEX

A1.0	TITLE PAGE / SITE PLAN
A2.0	FLOOR PLAN & ELEVATION
A3.0	ELEVATIONS



SITE PLAN

SCALE: 1/8" = 1'-0"

No.	Revision/Issue
⚠	12-11-18
⚠	01-29-19

valley design

230 W AVENIDA VALENCIA, SAN CLEMENTE CA. 92672
(909)576-5869

SHEET TITLE

TITLE SHEET / SITE PLAN

CLIENT

LUO RESIDENCE

590 E. KINGSLEY AVE.

POMONA, CA 91767

SCALE: AS NOTED

DATE: 02-21-18

DRAWN BY: TEAM

PROJECT NO: 1807

SHEET NO:

A1.1 OF X

ACCESSORY DWELLING UNIT

- PROJECT SITE

- 2016 CALIFORNIA BUILDING CODE (CBC)
- 2016 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2016 CALIFORNIA PLUMBING CODE (CPC)
- 2016 CALIFORNIA MECHANICAL CODE (CMC)
- 2016 CALIFORNIA ELECTRICAL CODE (CEC)
- 2016 CALIFORNIA GREEN BUILDINGS STANDARDS CODE (CalGreen)
- 2016 CALIFORNIA ENERGY CODE

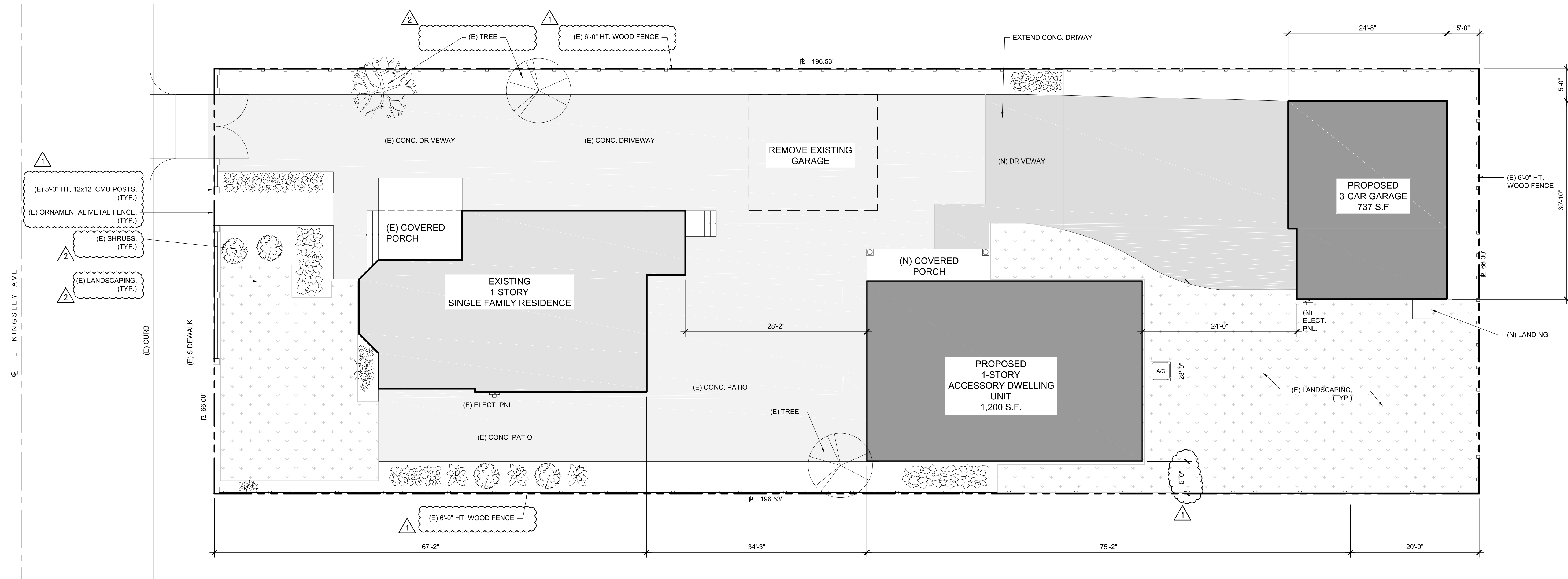
NEW 1,200 SF ACCESSORY DWELLING UNIT , NEW 737 SF GARAGE
AND REMOVE EXISTING METAL GARAGE

EXISTING RESIDENCE AREA :	1,035 SQ. FT.
PROPOSED ACCESSORY DWELLING UNIT :	1,200 SQ. FT.
TOTAL HABITABLE AREA :	2,235 SQ. FT.
EXISTING COVERED PORCH AREA :	100 SQ. FT.
NEW COVERED PORCH AREA :	95 SQ. FT.
PROPOSED DETACHED GARAGE AREA :	737 SQ. FT.
TOTAL BUILDING FOOTPRINT:	3,167 SQ. FT.
LOT AREA :	12,971 SQ. FT.
LOT COVERAGE :	24%
STORIES :	1
SPRINKLERS :	NO

APN : 8337-006-004
TRACT NO. : 66
LOT : 2
CONSTRUCTION TYPE : V-B

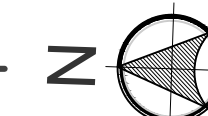
590 E. KINGSLEY AVE.
POMONA, CA 91767

A1.0	TITLE PAGE / SITE PLAN
A2.0	FLOOR PLAN & ELEVATION
A3.0	ELEVATIONS



C

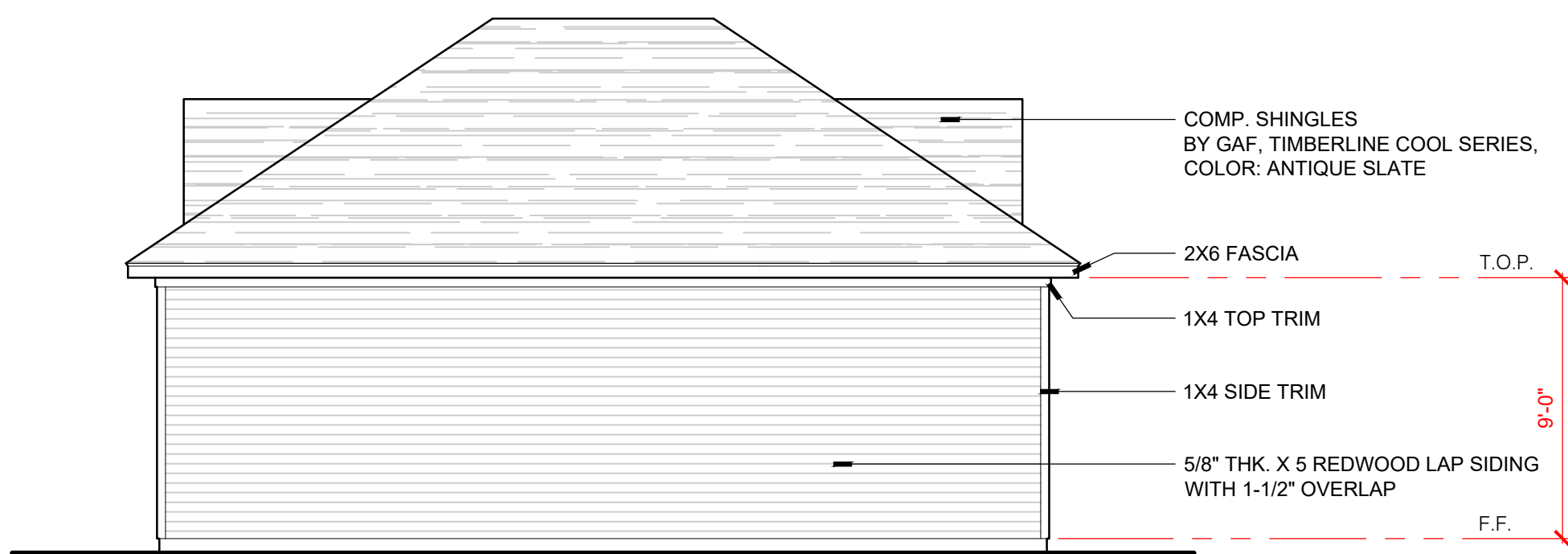
SCALE: 1/8" = 1'-0"



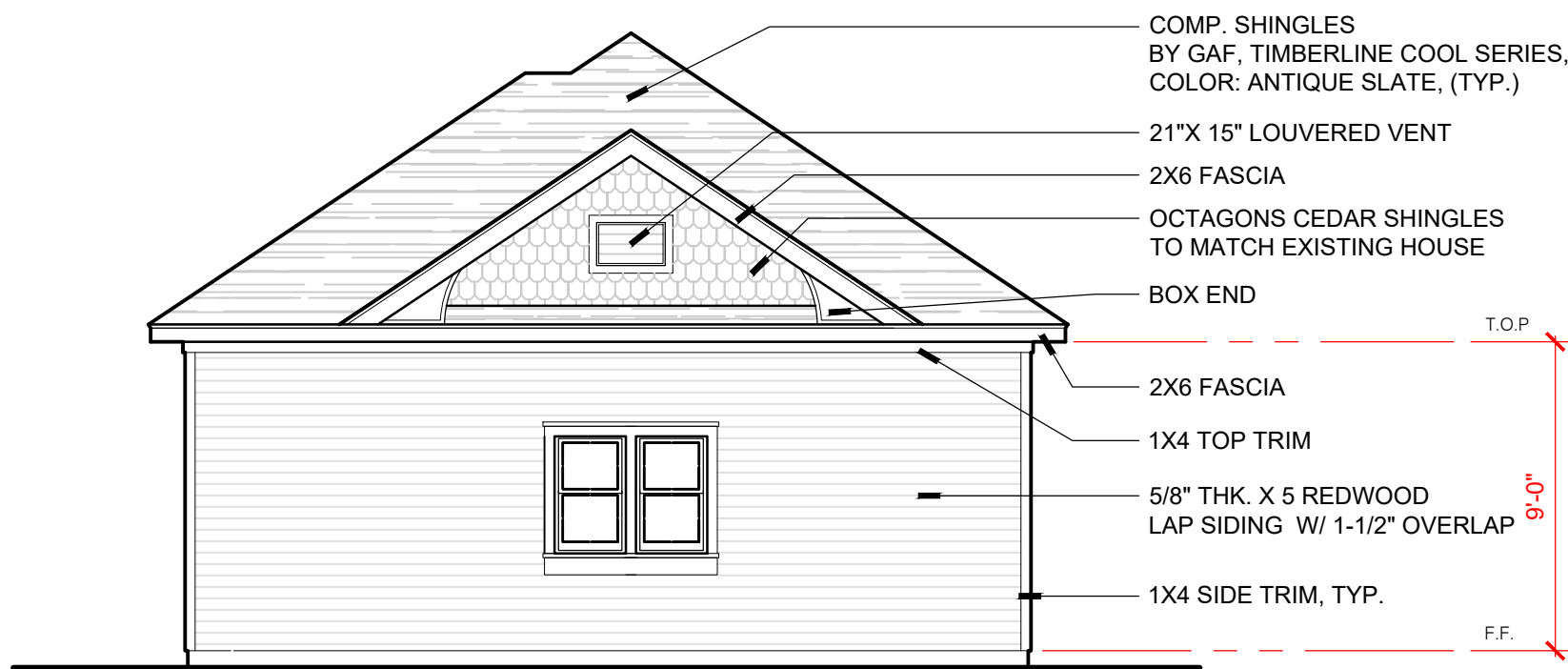
No.	Revision / Issue
(1)	12-11-18
(2)	01-29-19
 230 W AVENIDA VALENCIA, SAN CLEMENTE CA. 92672 (909)576-5869	
SHEET TITLE	TITLE SHEET / SITE PLAN
CLIENT	LUO RESIDENCE 590 E. KINGSLEY AVE. POMONA, CA 91767
SCALE:	AS NOTED
DATE:	02-21-18
DRAWN BY:	TEAM
PROJECT NO:	1807
SHEET NO:	A1.0 OF X



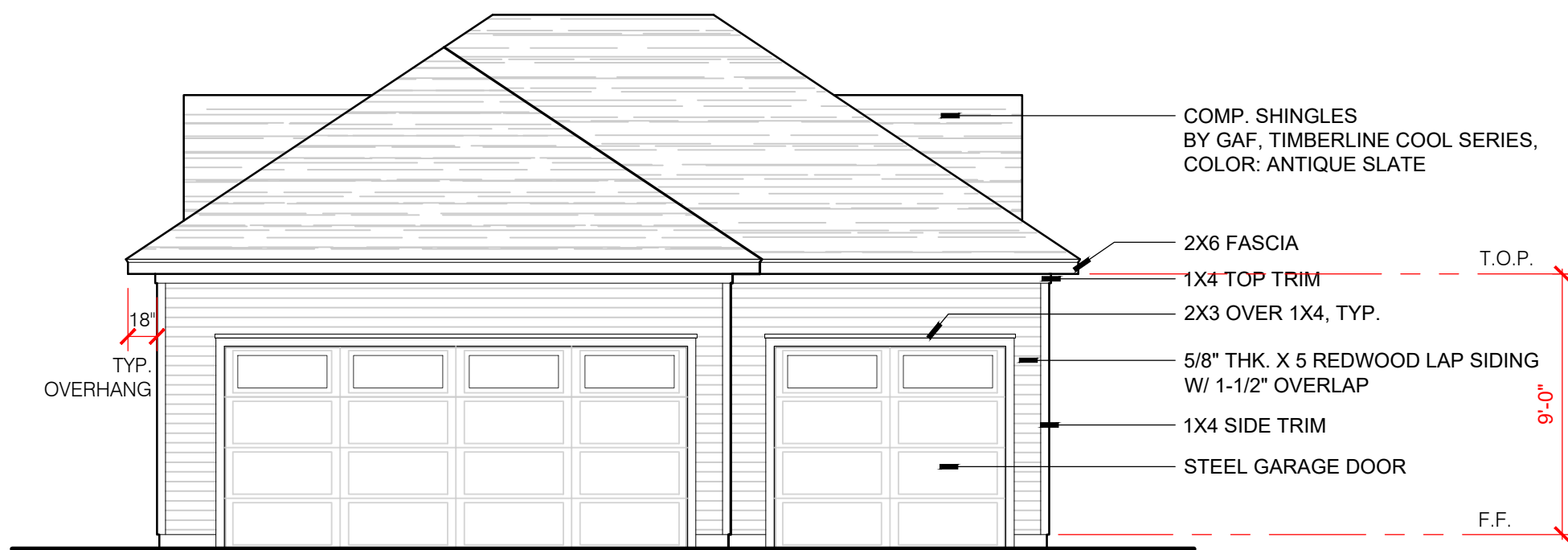
3-CAR GARAGE - RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



3-CAR GARAGE - REAR ELEVATION
SCALE: 3/16" = 1'-0"



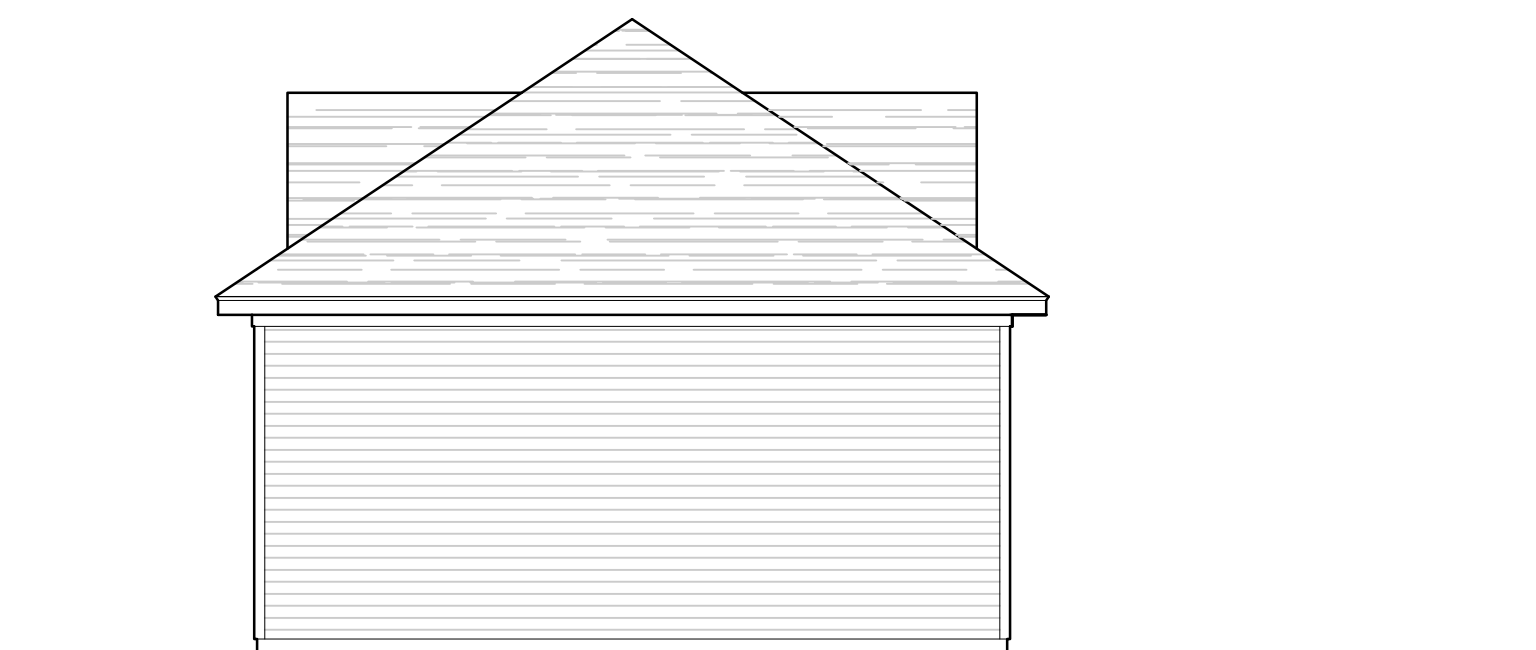
3-CAR GARAGE - LEFT ELEVATION



3-CAR GARAGE - FRONT ELEVATION



2-CAR GARAGE - RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



2-CAR GARAGE - REAR ELEVATION
SCALE: 3/16" = 1'-0"

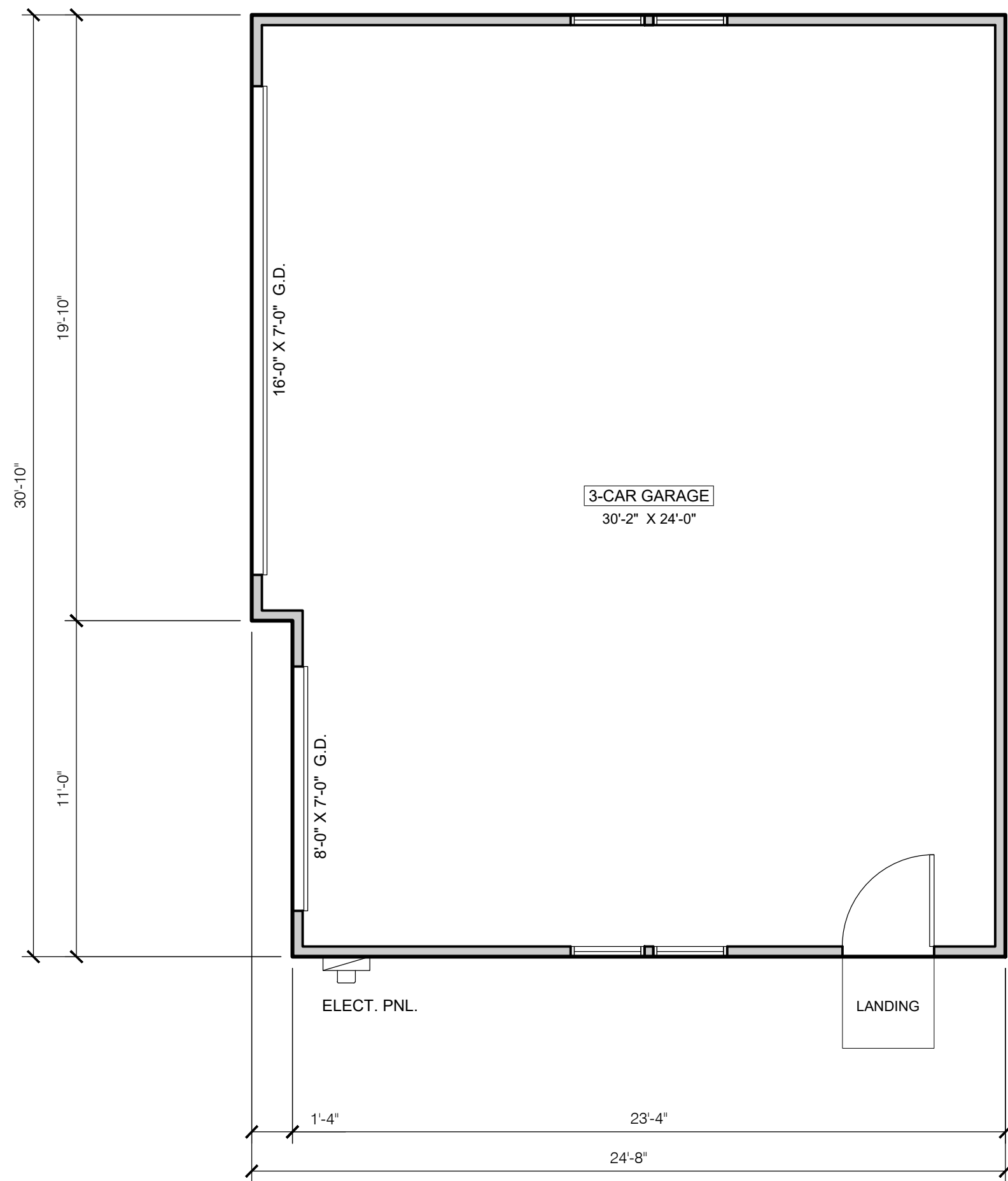


2-CAR GARAGE - LEFT ELEVATION

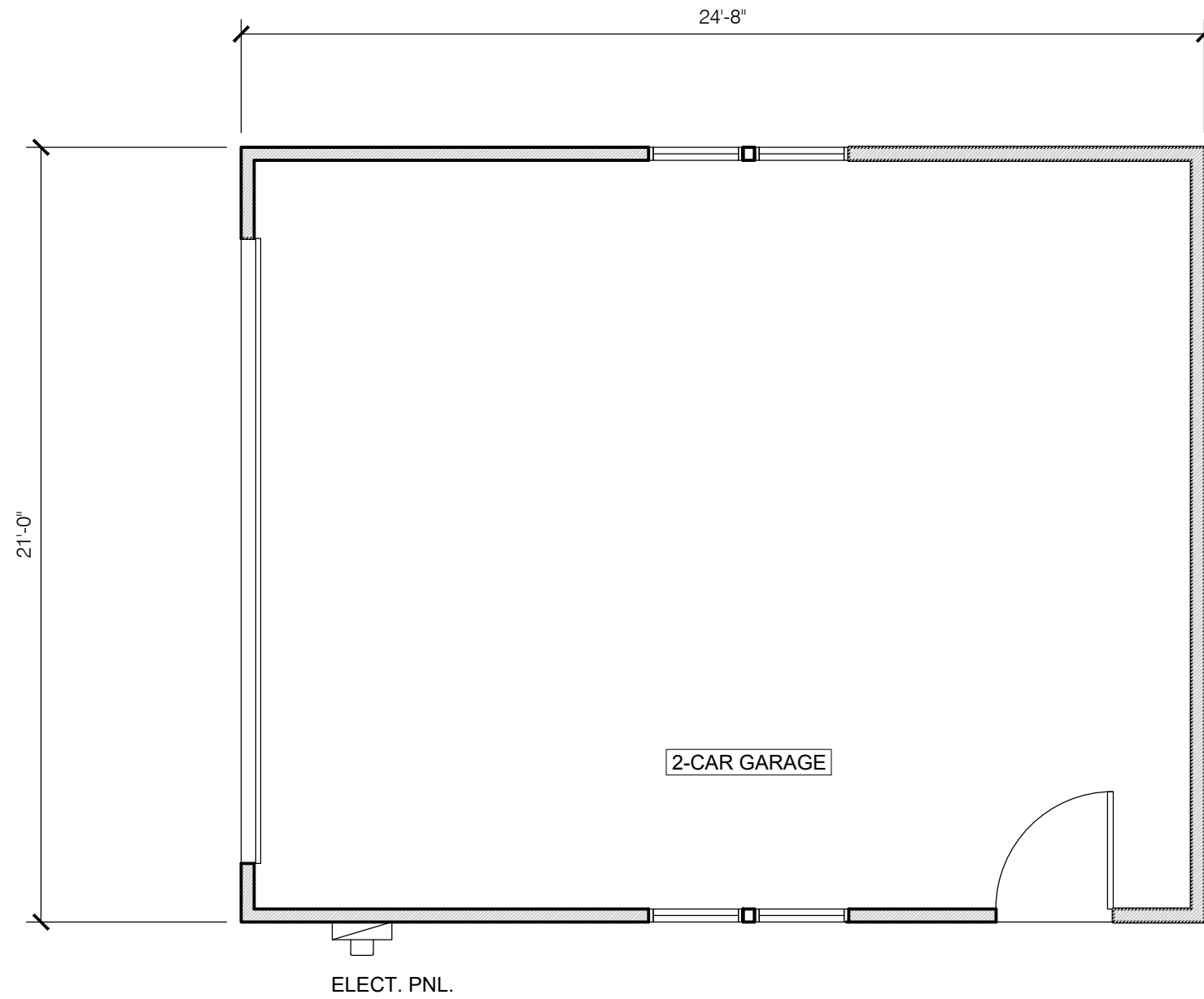


2-CAR GARAGE - FRONT ELEVATION

No.	Revision/Issue
1	12-11-18
2	01-29-19
valley design 230 W AVENIDA VALENCIA, SAN CLEMENTE CA. 92672 (909) 576-5859	
GARAGE ELEVATIONS	
CLIENT	LUO RESIDENCE 590 E. KINGSLEY AVE. POMONA, CA 91767
SCALE:	AS NOTED
DATE:	02-21-18
DRAWN BY:	TEAM
PROJECT NO:	1807
SHEET NO:	A3.1 OF X



PROPOSED 3-CAR GARAGE FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROPOSED 2-CAR GARAGE FLOOR PLAN
SCALE: 1/4" = 1'-0"

No.	Revision/Issue
	12-11-18
	01-29-19
valley design 230 W AVENIDA VALENCIA, SAN CLEMENTE CA 92672 (909) 576-5889	
SHEET TITLE	
GARAGE FLOOR PLAN OPTIONS	
CLIENT	
LUO RESIDENCE	
590 E. KINGSLEY AVE.	
POMONA, CA 91767	
SCALE:	
AS NOTED	
DATE:	
02-21-18	
DRAWN BY:	
TEAM	
PROJECT NO:	
1807	
SHEET NO:	
A2.1 OF X	

No.	Revision/Issue
	12-11-18
	01-29-19

valley design
230 W AVENIDA VALENCIA, SAN CLEMENTE CA. 92672
(949) 576-5859

SHEET TITLE
ELEVATIONS

CLIENT
LUO RESIDENCE
590 E. KINGSLEY AVE.
POMONA, CA 91767

SCALE:
AS NOTED

DATE:
02-21-18

DRAWN BY:
TEAM

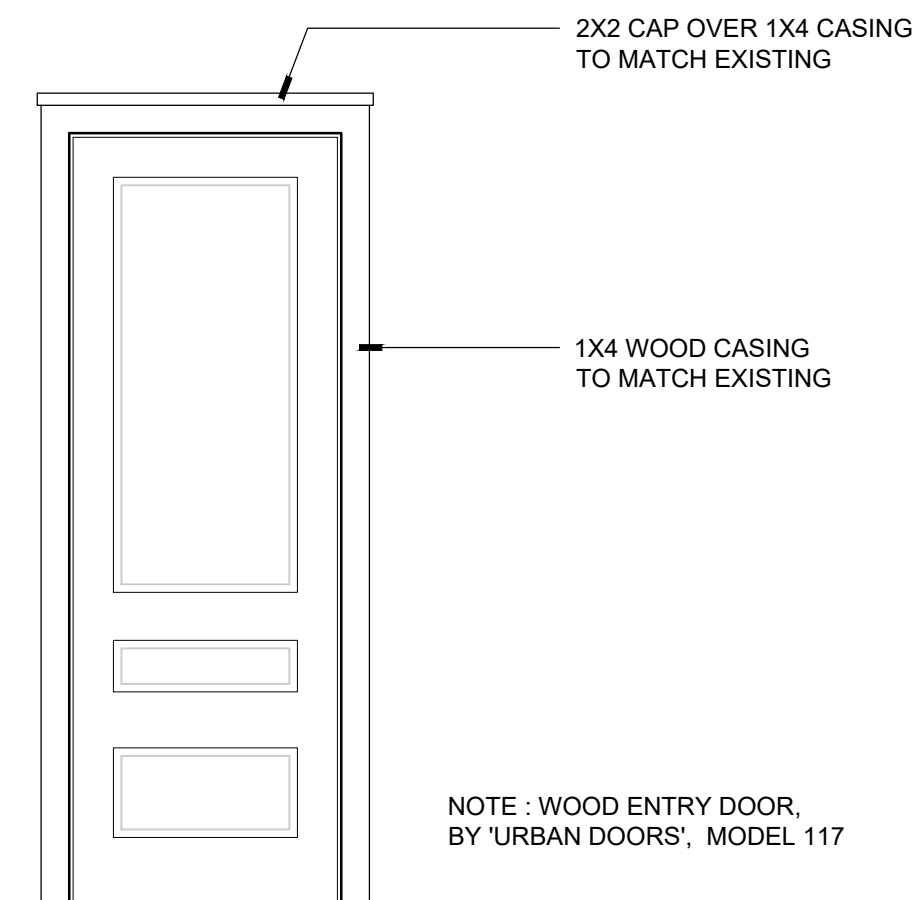
PROJECT NO:
1807

SHEET NO:

A3.0 OF X



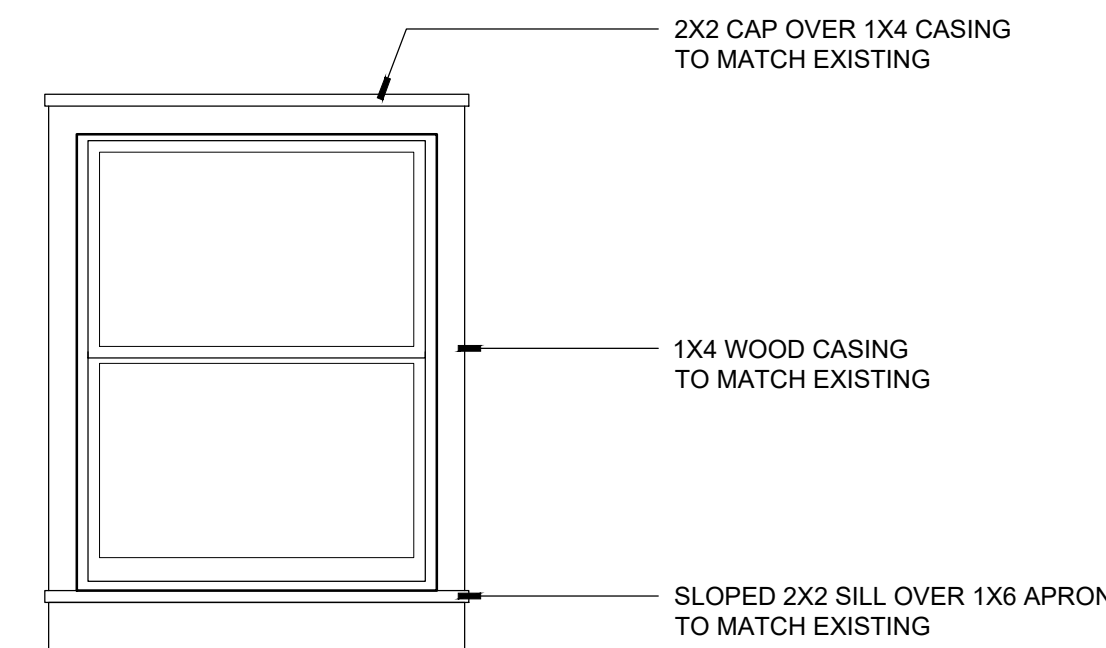
REAR - WEST ELEVATION
SCALE: 1/4" = 1'-0"



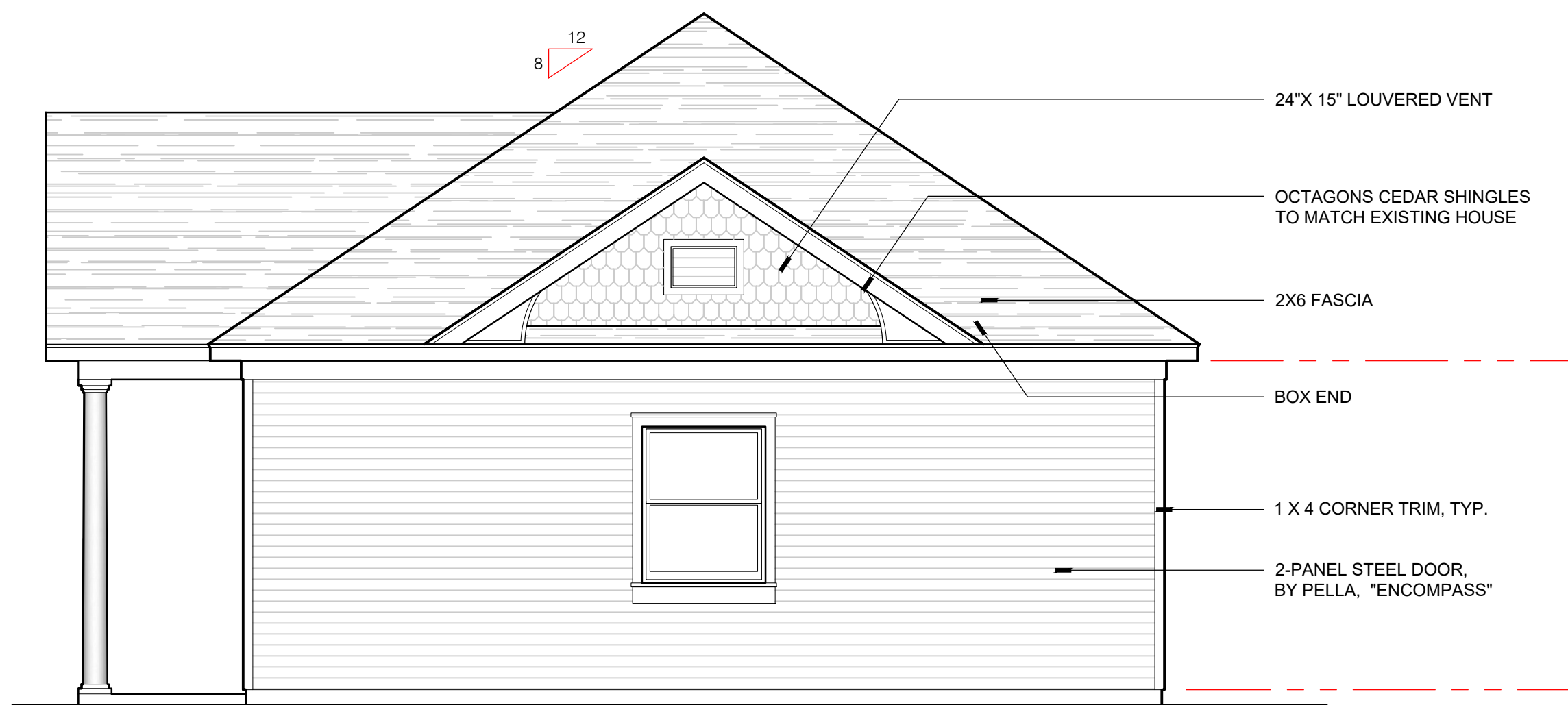
ENTRY DOOR ELEVATION
SCALE: 1/2" = 1'-0"



LEFT - SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



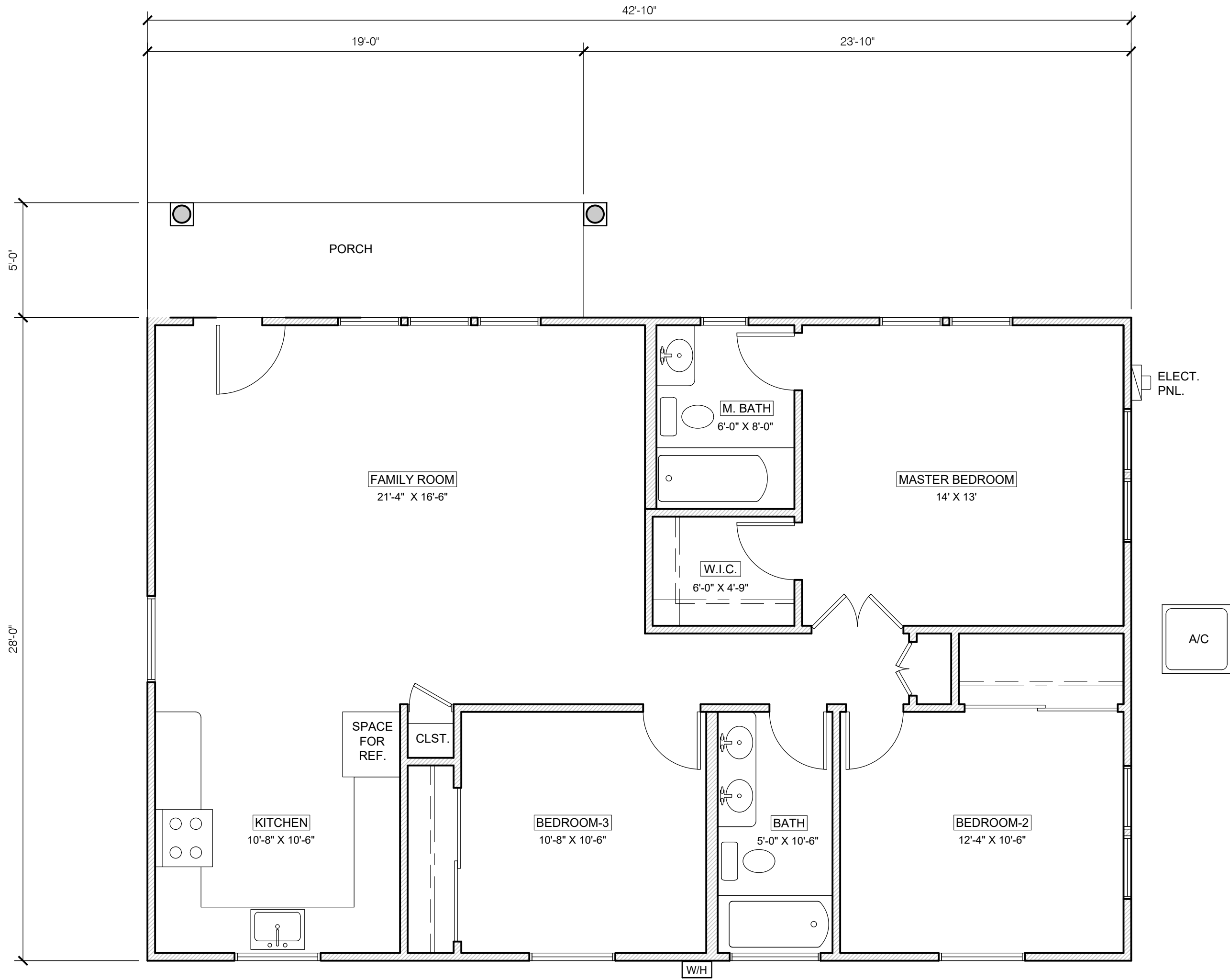
TYPICAL WINDOW ELEVATION
SCALE: 1/2" = 1'-0"



RIGHT - NORTH ELEVATION
SCALE: 3/16" = 1'-0"



FRONT - EAST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED ADU FLOOR PLAN

SCALE: 1/4" = 1'-0"

N

No.	Revision/Issue
	12-11-18
	01-29-19

valley design

230 W AVENIDA VALENCIA, SAN CLEMENTE CA. 92672
(909) 576-5859

PROPOSED FLOOR PLAN

CLIENT

LUO RESIDENCE
590 E. KINGSLEY AVE.
POMONA, CA 91767

SCALE:
AS NOTED

DATE:
02-21-18

DRAWN BY:
TEAM

PROJECT NO:
1807

SHEET NO:
A2.0 OF X