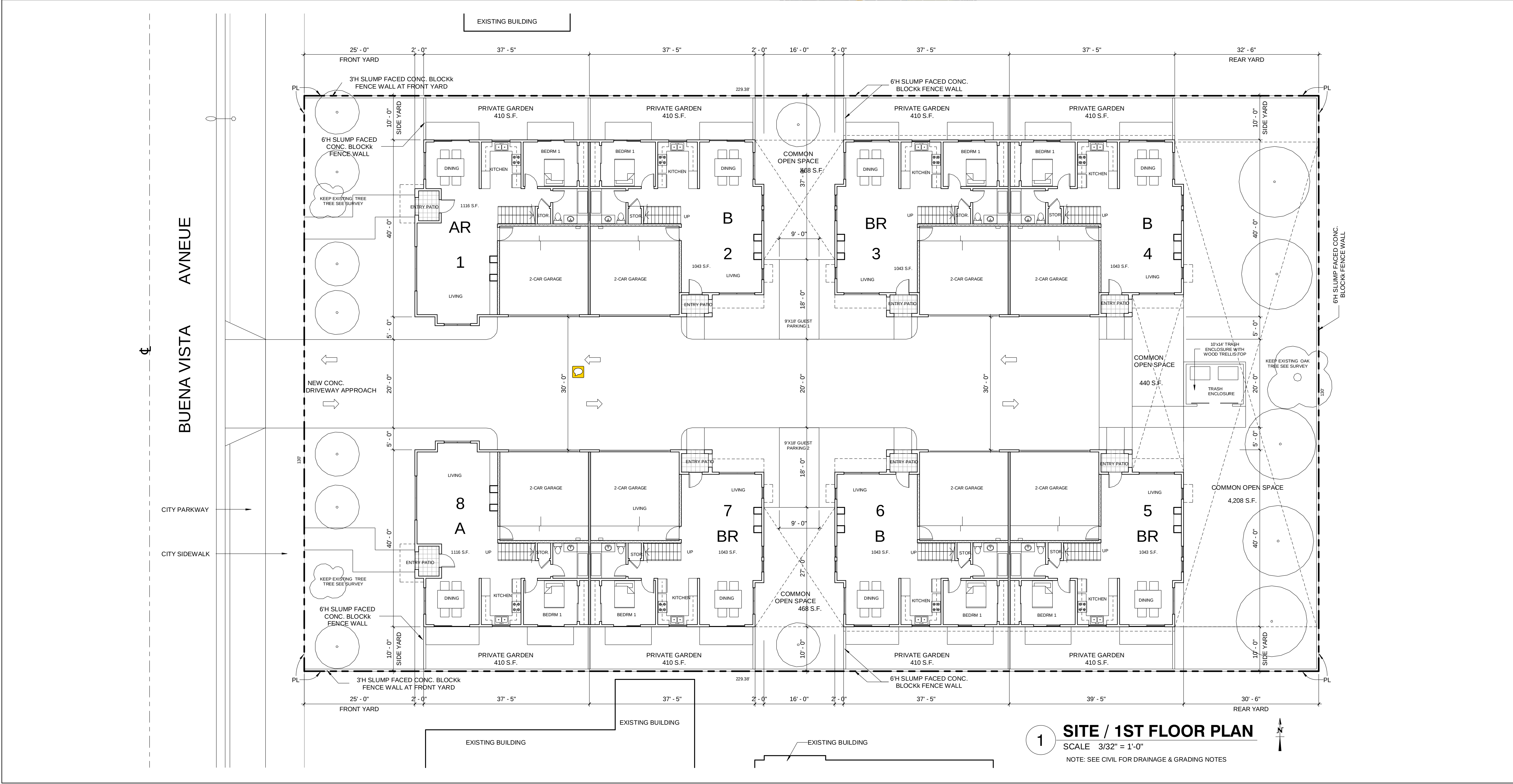


8-UNIT FOUR DUPLEX TOWN HOME CONDOS

1150 BUENA VISTA AVE., POMONA, CA 91766

SYMBOLS		ABBREVIATIONS				SHEET INDEX		VICINITY MAP		PROJECT INFORMATION	
DETAIL NUMBER SECTION DETAIL NUMBER DETAIL DETAIL NUMBER INTERIOR ELEVATION DETAIL NUMBER DATUM ELEVATION DOOR NUMBER ROOM NUMBER & NAME KEYNOTE	A.C. ASPHALTIC CONCRETE A.F.F. ABOVE FINISHED FLOOR ACT. ACOUSTICAL TILE ADMIN. ADMINISTRATION B.D.G. BUILDING B.N. BULL NOSE B.L. BUILDING LINE C.B. CHALK BOARD CEM. CEMENT CEM. PLAS. CEMENT PLASTER C.F. CUBIC FEET CL'G CEILING CLS'R'M CLASSROOM CLR CLEAR CMU CONCRETE MASONRY UNITS CONC. CONCRETE C.T. CERAMIC TILE MAX. MAXIMUM MIN. MINIMUM M.B. MARKER BOARD MET. METAL	(N) NEW N.I.C. NOT IN CONTRACT NO. NUMBER O.C. ON CENTER O.D. OUTSIDE DIAMETER OPPG OPENING OPP. OPPOSITE PL. PLATE PLYWD PLYWOOD PR. PAIR REQ. REQUIRED DET. DETAIL DETS DETAILS DIA DIAMETER (E) EXISTING EL. ELEVATION ELEV. ELEVATION E.P. ELEVATOR EQ. ELECTRICAL PANEL EQUAL	F.G. FINISH GRADE F.H.C. FIRE HOSE CABINET FIN. FINISH FLR FLOOR FTG FOOTING GA. GAUGE GALV. GALVANIZED GYP. BD. GYPSUM BOARD HORIZ. HORIZONTAL I.C. INTERCOM I.D. INSIDE DIAMETER INFO. INFORMATION S.F. SQUARE FEET SHT SHEET SIM. SIMILAR S.S. STAINLESS STEEL S. STANDARD STRUC. STRUCTURAL T.O. TOP OF T.A. TOP OF ASPHALT PAVING T.B. TACK BOARD T.C. TOP OF CONC., T.O. CURB T.W. TOP OF WALL TYP. TYPICAL U.N.O. UNLESS NOTED OTHERWISE V.C.T. VINYL COMBINATION TILE VERT. VERTICAL VEST. VESTIBULE W/ WITH W/O WITHOUT W.I. WROUGHT IRON	A-0.0 TITLE SHEET, SITE / 1ST FLOOR PLAN A-1.1 2ND FLOOR PLAN A-1.2 ROOF PLAN A-2.1 GROUP ELEVATIONS A-3.1 TYPE A, B FLOOR PLANS, ROOF PLAN & ELEVATIONS		APN : 8333-024-005/006 LOT AREA : 29,819.4 S.F. TYPE OF CONSTRUCTION: VB A FULLY SPRINKLERED BUILDING 29,819. / 3,000 = 9.9 ALLOWED MAX. UNITS ZONING: R-2 OCCUPANCY: R3 PROPOSE 8-UNIT SIX DUPLEX TOWN HOME CONDOS UNIT AREA: UNIT TYPE A, AR (UNIT 1, 8, TOTAL 5,112 S.F.): FIRST FLOOR AREA : 1,113 S.F. SECOND FLOOR AREA : 1,443 S.F. TOTAL FLOOR AREA : 2,556 S.F. WITH 428 S.F. 2-CAR GARAGE UNIT TYPE B, BR (UNIT 2, 3, 4, 5, 6, 7 TOTAL 14,736 S.F.): FIRST FLOOR AREA : 1,042 S.F. SECOND FLOOR AREA : 1,414 S.F. TOTAL FLOOR AREA : 2,456 S.F. WITH 428 S.F. 2-CAR GARAGE TOTAL 8 UNITS FLOOR AREA: 5,112 S.F.+14,736 S.F.= 19,848 S.F. BUILDING CODE: 2017 LA COUNTY BUILDING CODE ELECTRICAL CODE: 2016 CALIFORNIA BUILDING CODE MECHANICAL CODE: 2016 CALIFORNIA ELECTRIC CODE PLUMBING CODE: 2016 CALIFORNIA MECHANICAL CODE ENERGY CODE: 2016 CALIFORNIA ENERGY CODE GREEN BUILDING CODE: 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE LEGAL DESCRIPTION: A PORTION OF LOT 1, BLOCK 191 OF POMONA TRACT, IN THE CITY OF POMONA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 32, PAGES 67-70, MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. OPEN SPACE SUMMARY: ALL 8 UNITS HAS 4 BED ROOMS, PROJECT REQUIRES 600 S.F. OPEN SPACE PER EACH UNIT. 600 S.F. X8=4,800 S.F. TOTAL REQUIRED. PROJECT TO PROVIDE: 4,208 S.F. + 440 S.F.+468 S.F.+468 S.F.=5,584 S.F. (OPEN SPAC) > 4,800 S.F. PRIVATE OPEN SPACE: EACH UNIT HAS 410 S.F. PRIVATE OPEN SPACE AT 1ST FLOOR AND 90 S.F. AT 2ND FLOOR BALCONY.					



TWEN MA ARCHITECTS

C - 16815

150 N. SANTA ANITA AVE., SUITE 410

ARCADIA, CALIFORNIA 91010 USA

TEL: 626-358-8125

EMAIL: twenma@yahoo.com, yes4302@gmail.com

150 N. SANTA ANITA AVE., SUITE 410

ARCADIA, CALIFORNIA 91010 USA

TEL: 626-358-8125

EMAIL: twenma@yahoo.com, yes4302@gmail.com

PROJECT TITLE / ADDRESS

8-UNIT FOUR DUPLEX TOWN HOME CONDOS

1150 BUENA VISTA AVE., POMONA, CA 91766

REVISIONS:

DATE NO.

DRAWING TITLE

TITLE SHEET, SITE / 1ST FLOOR PLAN

DATE: 12/31/2018

DRAWN BY:

CHECKED BY:

SCALE:

DRAWING NO.

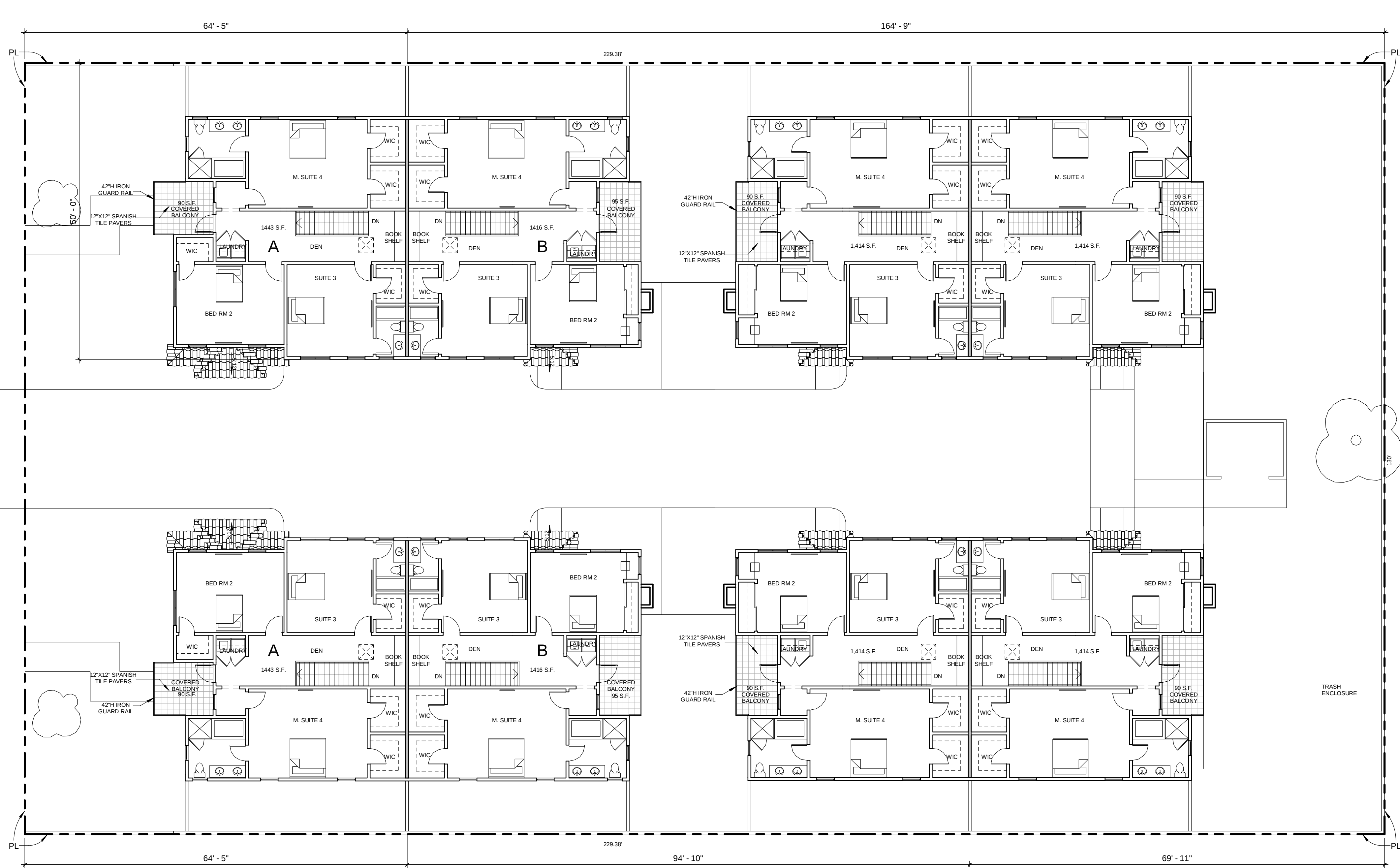
1 SITE / 1ST FLOOR PLAN

SCALE 3/32" = 1'-0"

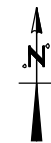
NOTE: SEE CIVIL FOR DRAINAGE & GRADING NOTES

BUENA VISTA AVNEUE

CL



1 2ND FLOOR PLAN
SCALE 3/32" = 1'-0"



PROJECT TITLE / ADDRESS

8-UNIT FOUR DUPLEX TOWN HOME CONDOS
1150 BUENA VISTA AVE., POMONA, CA 91766

REVISIONS:

DATE NO.

DRAWING TITLE

2ND FLOOR PLAN

DATE: 12/31/2018

DRAWN BY:

CHECKED BY:

SCALE:

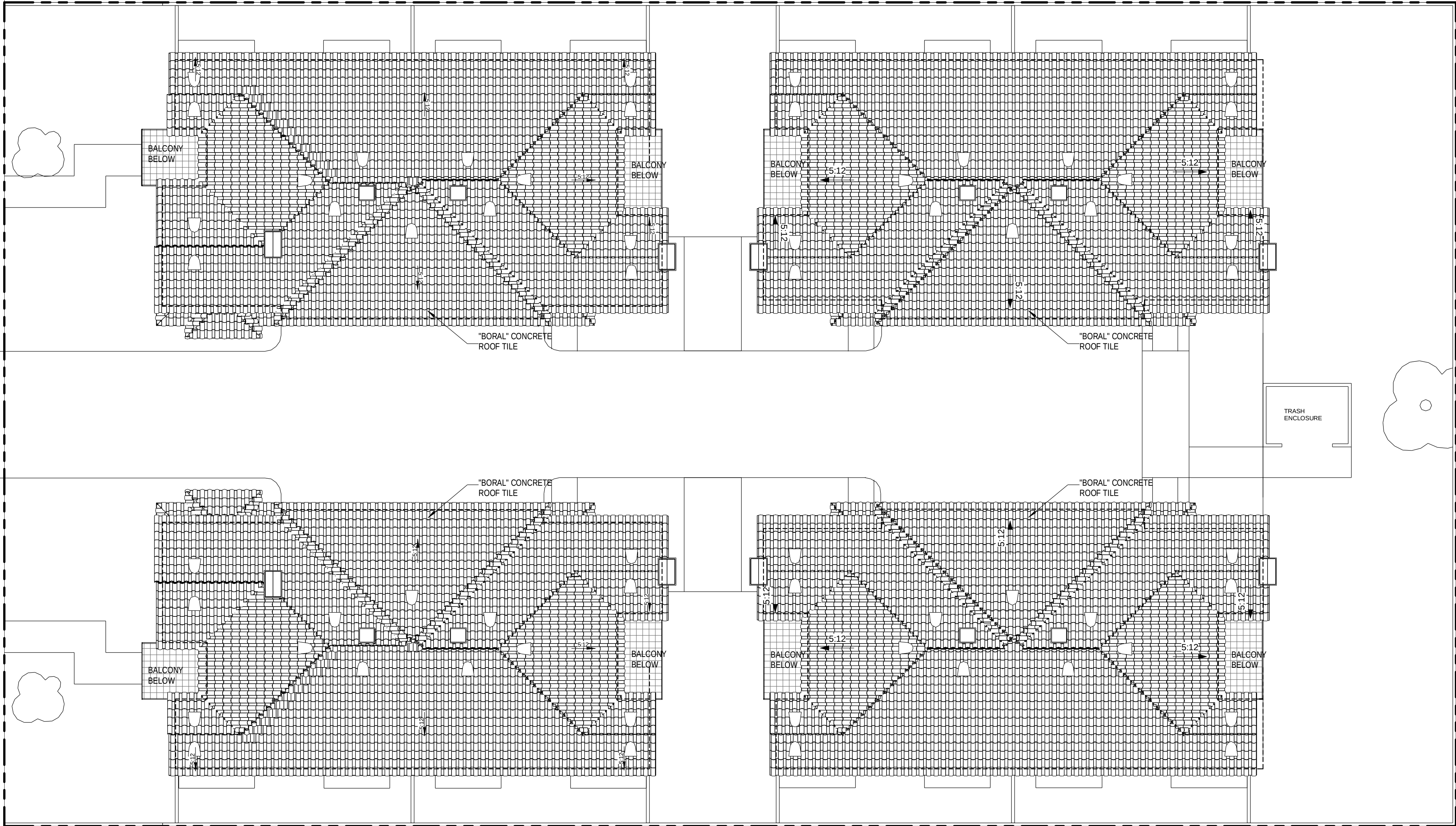
DRAWING NO.

A1.1

TWEN MA ARCHITECTS C - 16815

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EMAIL: twenma@yahoo.com, yes4302@gmail.com

BUENA VISTA AVNEUE



1 ROOF PLAN
SCALE 3/32" = 1'-0"



TWEN MA ARCHITECTS C - 16815

150 N. SANTA ANITA AVE., SUITE 410
ARCADIA, CALIFORNIA 91010 USA
TEL: 626-358-8125 FAX: 626-358-6842
EMAIL: twenma@yahoo.com, yes4302@gmail.com

PROJECT TITLE / ADDRESS

8-UNIT FOUR DUPLEX TOWN HOME CONDOS

1150 BUENA VISTA AVE., POMONA, CA 91766

REVISIONS:

DATE NO.



DRAWING TITLE

ROOF PLAN

DATE: 12/31/2018

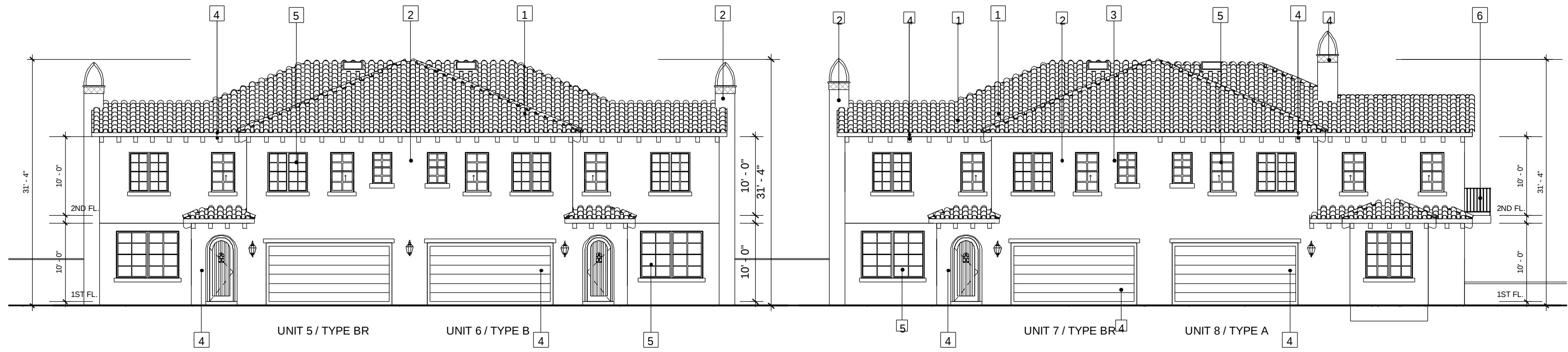
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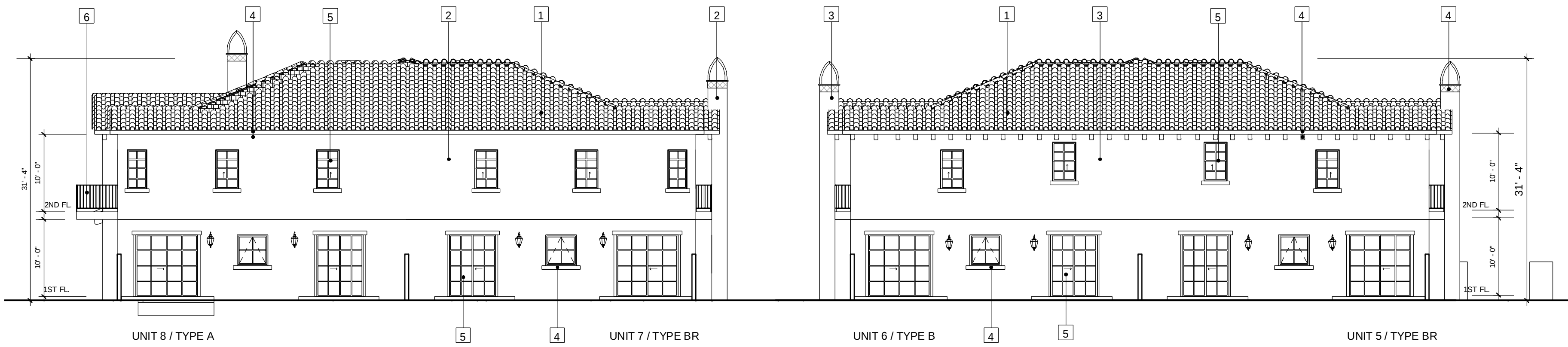
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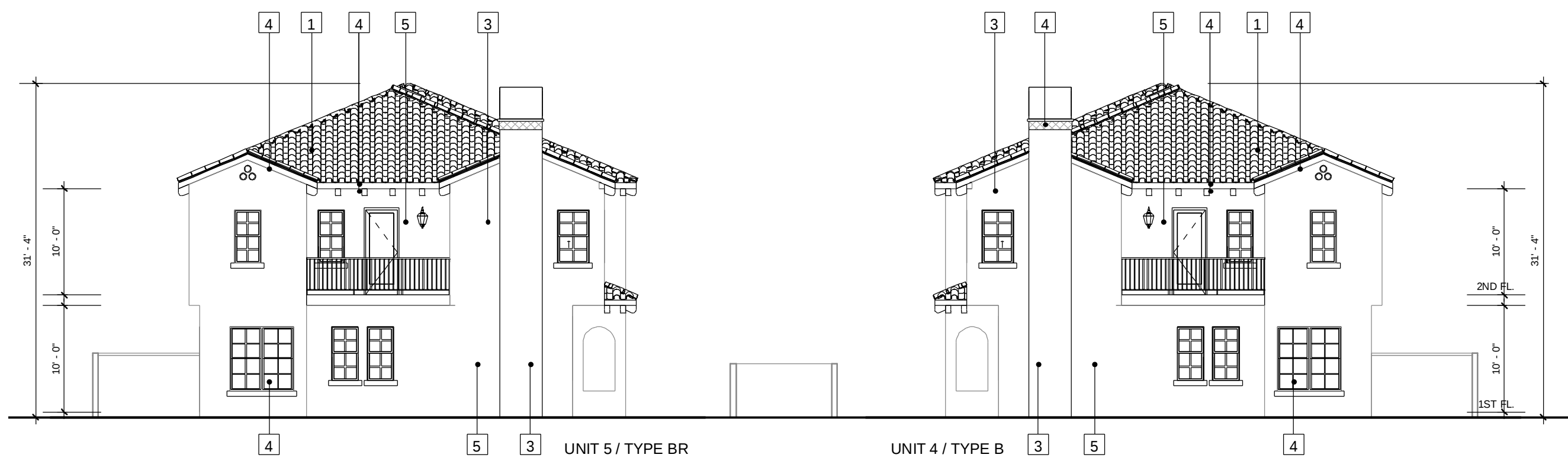
A1.2



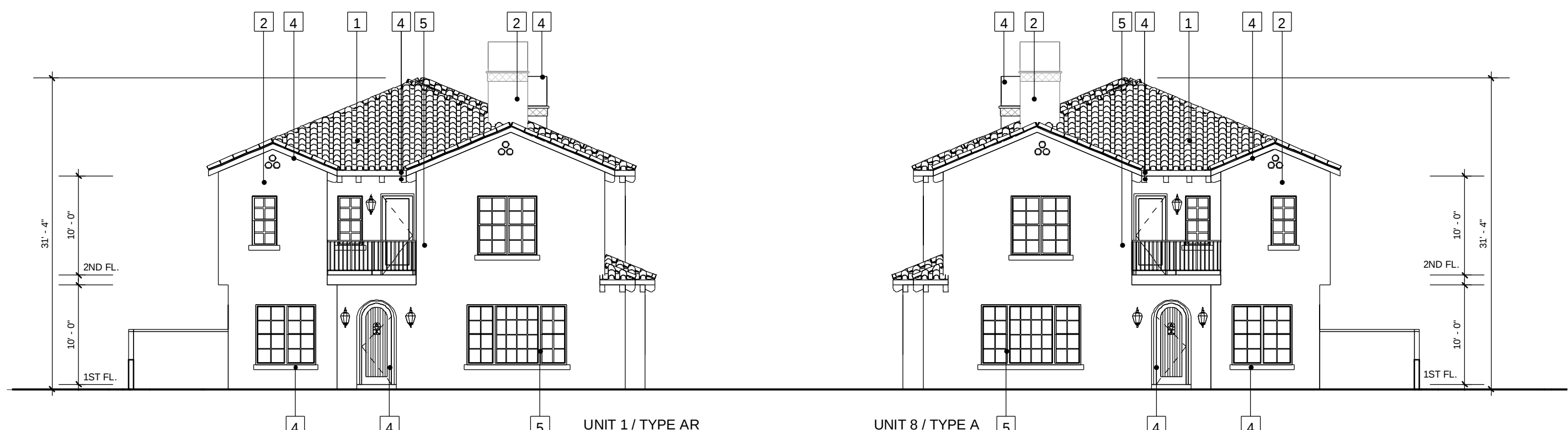
1 NORTH ELEVATION
SCALE 3/32" = 1'-0"



2 SOUTH ELEVATION
SCALE 3/32" = 1'-0"



3 EAST ELEVATION
SCALE 3/32" = 1'-0"



4 WEST ELEVATION
SCALE 3/32" = 1'-0"

- 1 "BORAL" CONCRETE ROOF TILE
SANTA CATARINA BLEND
- 2 "MERLEX" PREMIUM
P-278 SIERRA SUNRISE STUCCO
FOR UNIT A, C, E, G, I

- 3 "MERLEX" PREMIUM
P-2535 BROWNSTONE STUCCO
FOR UNIT B, D, F, H, J

- 4 "DUNN-EDWARDS" NEUTRAL VALLEY DE6119
PAINT ROOF RAFTERS, FACIA BOARDS, DOOR
HEADER, ENTRY DOOR, GARAGE DOOR, RAIN
GUTTERS & DOWN SPOUTS.

- 5 TAN COLOR VINYL WINDOWS & SLIDERS
- 6 PAINT IRON RAILING BLACK
- 7 ALUMINUM RAIN GUTTERS & DOWNSPOUT
PAINTED COLOR MATCH WALL STUCCO COLOR

- 1

"BORAL" CONCRETE ROOF TILE
SANTA CATARINA BLEND
- 2

"MERLEX" PREMIUM
P-278 SIERRA SUNRISE STUCCO
FOR UNIT A, C, E, G, I
- 3

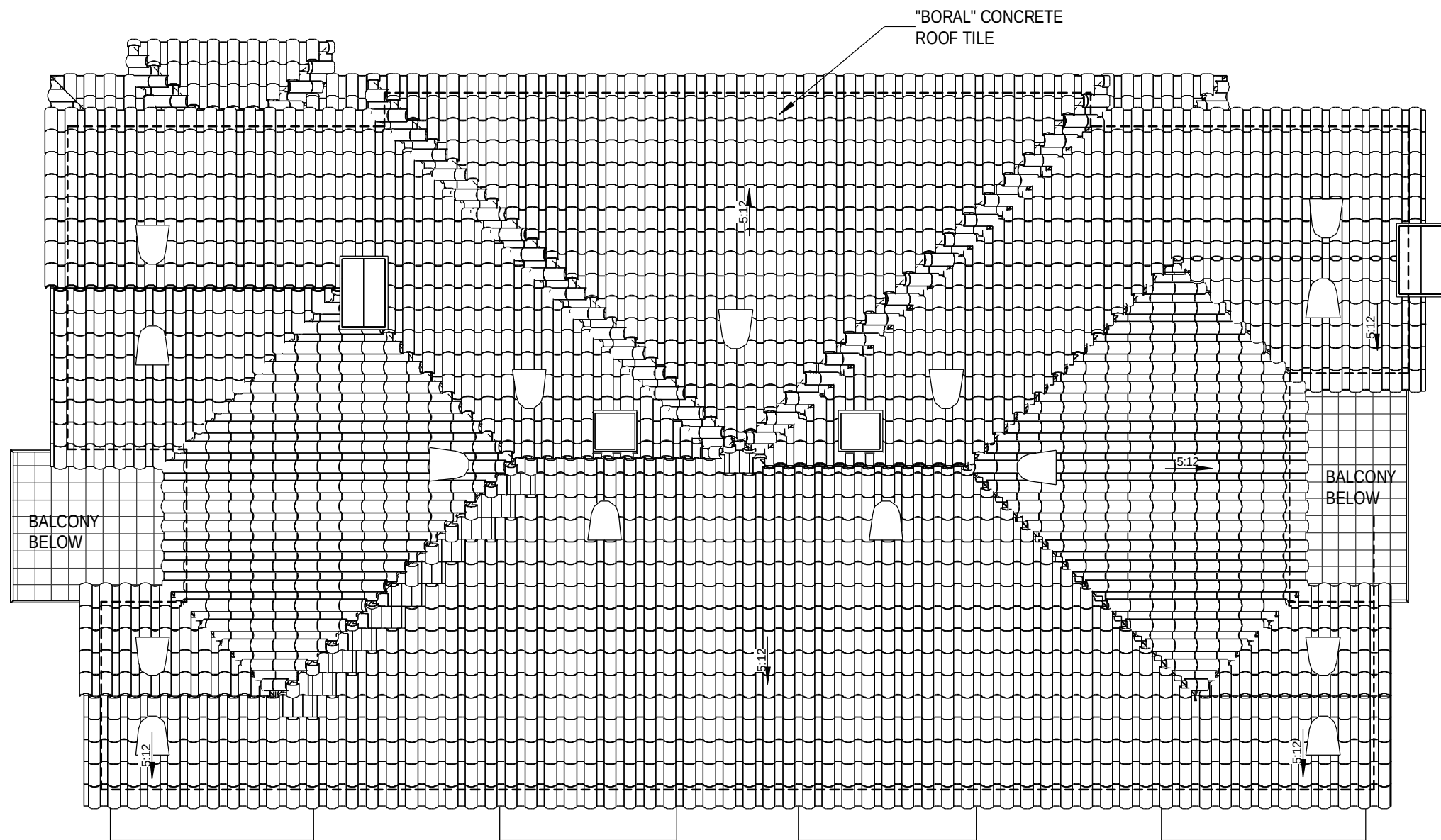
"MERLEX" PREMIUM
P-2535 BROWNSTONE STUCCO
FOR UNIT B, D, F, H, J
- 4

"DUNN-EDWARDS" NEUTRAL VALLEY DE6119
PAINT ROOF RAFTERS, FACIA BOARDS, DOOR
HEADER, ENTRY DOOR, GARAGE DOOR, RAIN
GUTTERS & DOWN SPOUTS.
- 5

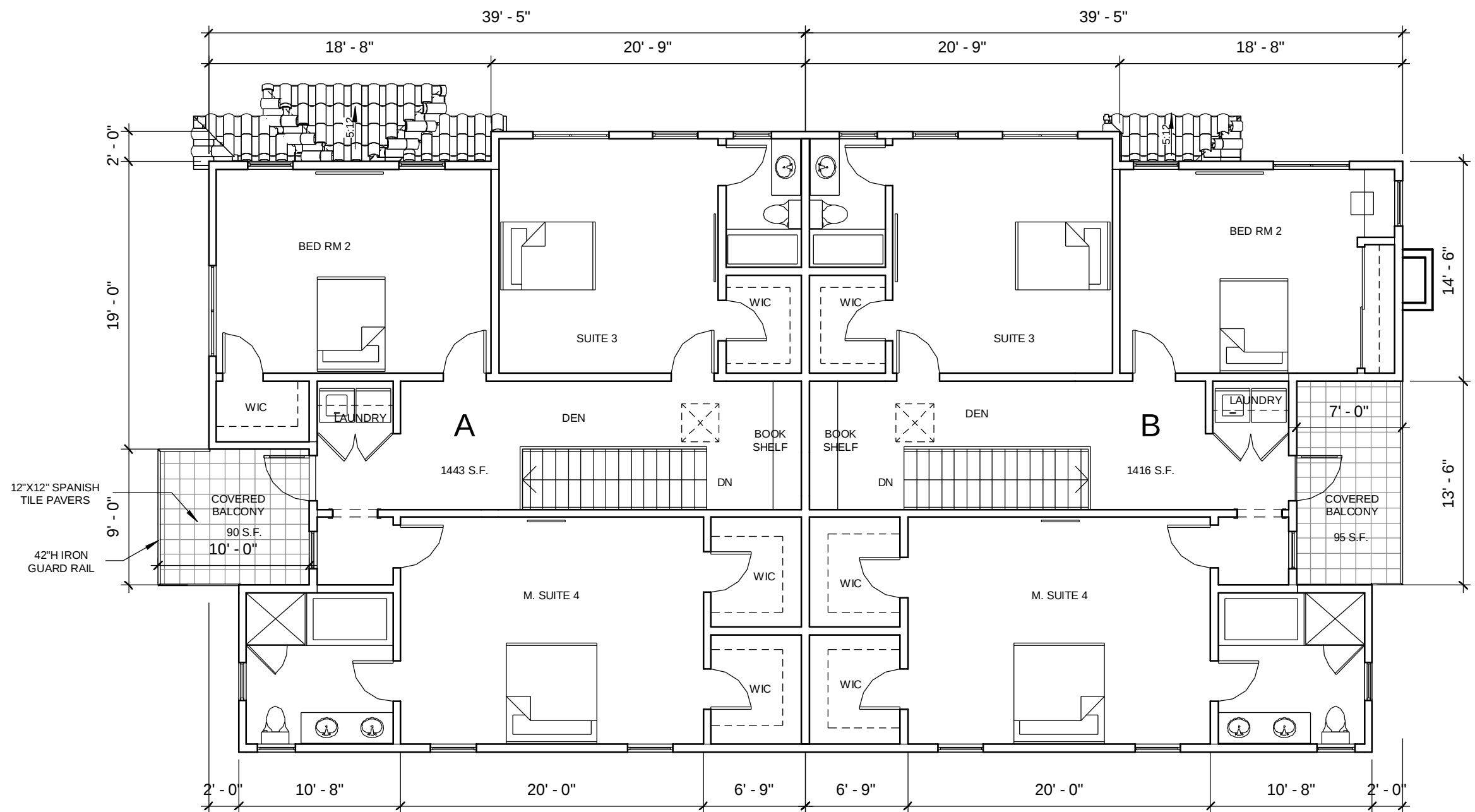
TAN COLOR VINYL WINDOWS & SLIDERS
- 6

PAINT IRON RAILING BLACK
- 7

ALUMINUM RAIN GUTTERS & DOWNSPOUT
PAINTED COLOR MATCH WALL STUCCO COLOR



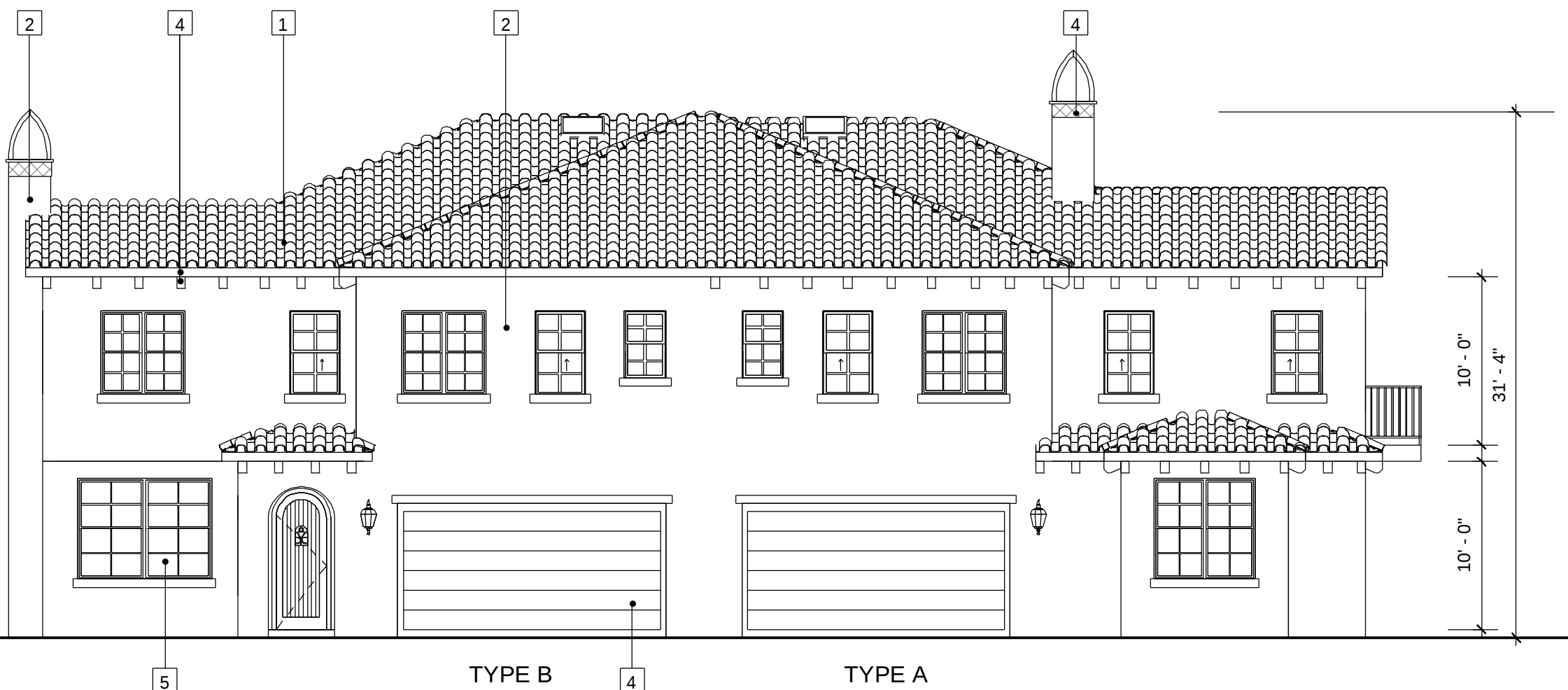
3 ROOF PLAN
1/8" = 1'-0"



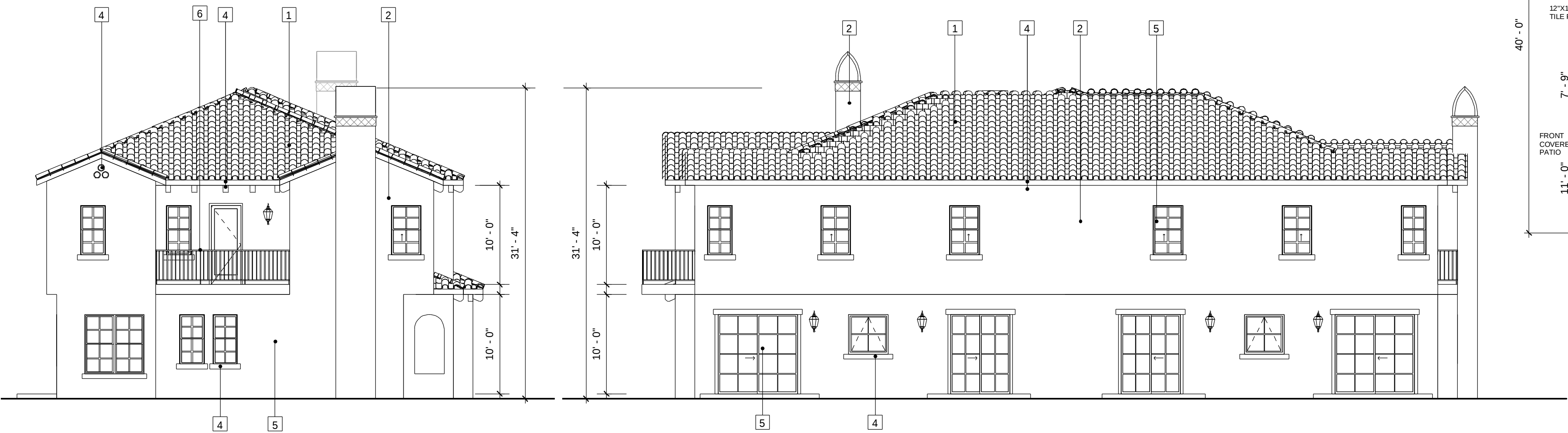
2 2ND FLOOR PLAN
1/8" = 1'-0"



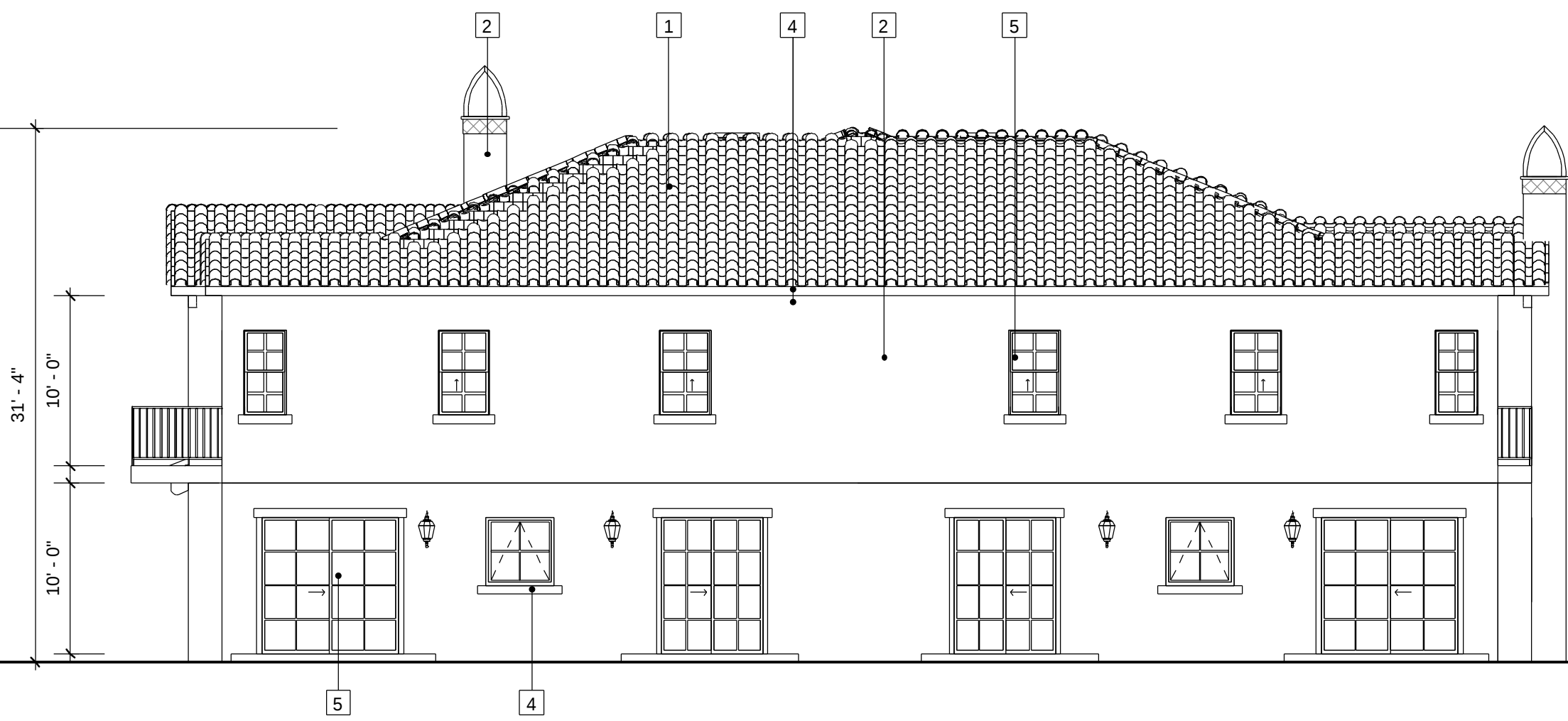
6 SIDE ELEVATION
1/8" = 1'-0"



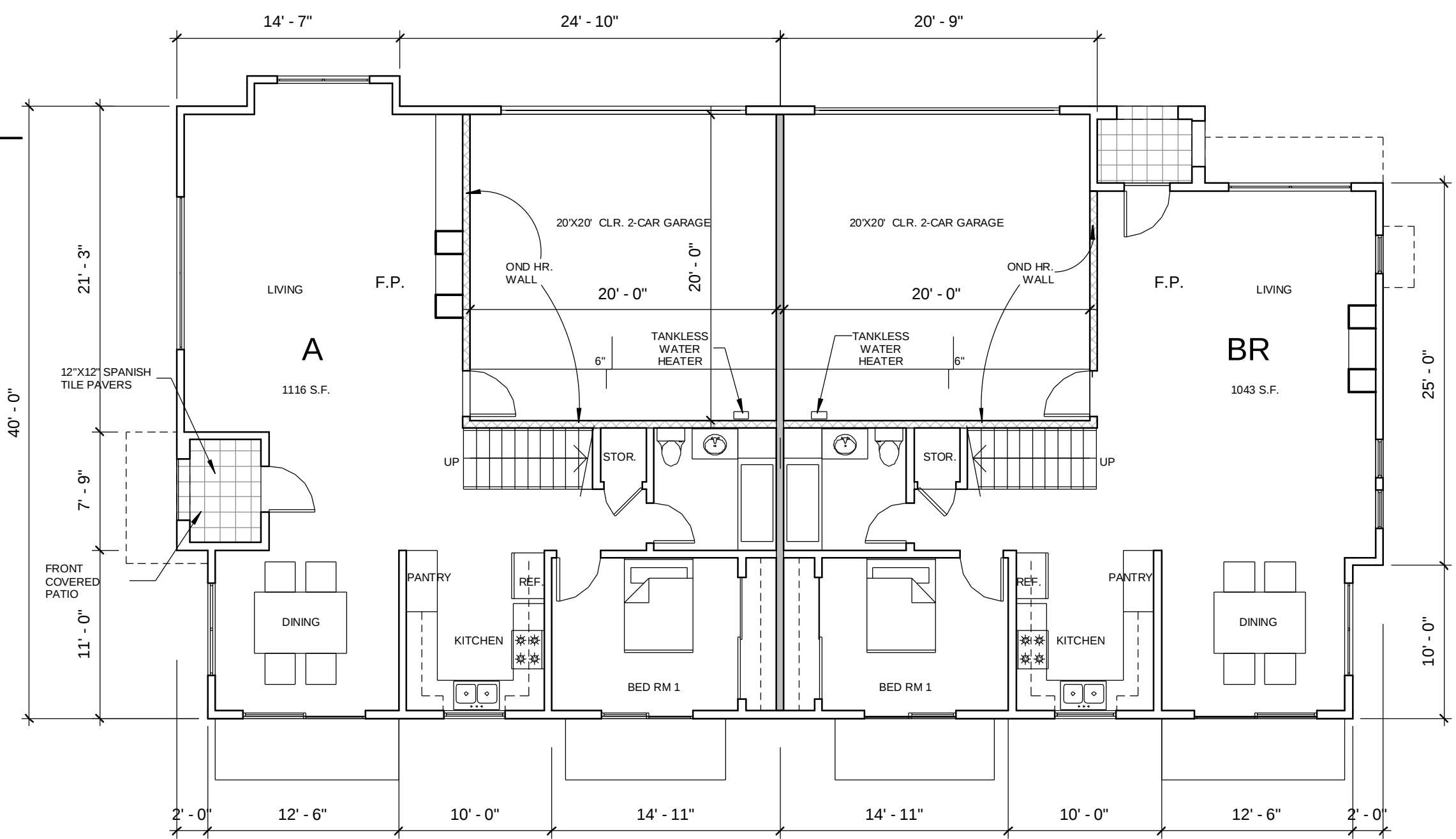
4 FRONT ELEVATION
1/8" = 1'-0"



7 SIDE ELEVATION
1/8" = 1'-0"



5 REAR ELEVATION
1/8" = 1'-0"



1 1ST FLOOR PLAN
1/8" = 1'-0"

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TEL: 626-358-8125 FAX: 626-358-6842
EMAIL: twenma@yahoo.com, yes4302@gmail.com

PROJECT TITLE / ADDRESS
8-UNIT FOUR DUPLEX TOWN HOME CONDOS
1150 BUENA VISTA AVE., POMONA, CA 91766

REVISIONS:
DATE NO.

DRAWING TITLE
**TYPE A, B FLOOR PLANS,
ROOF PLAN & ELEVATIONS**

DATE: 12/31/2018

DRAWN BY:

CHECKED BY:

SCALE:

DRAWING NO.

A3.1

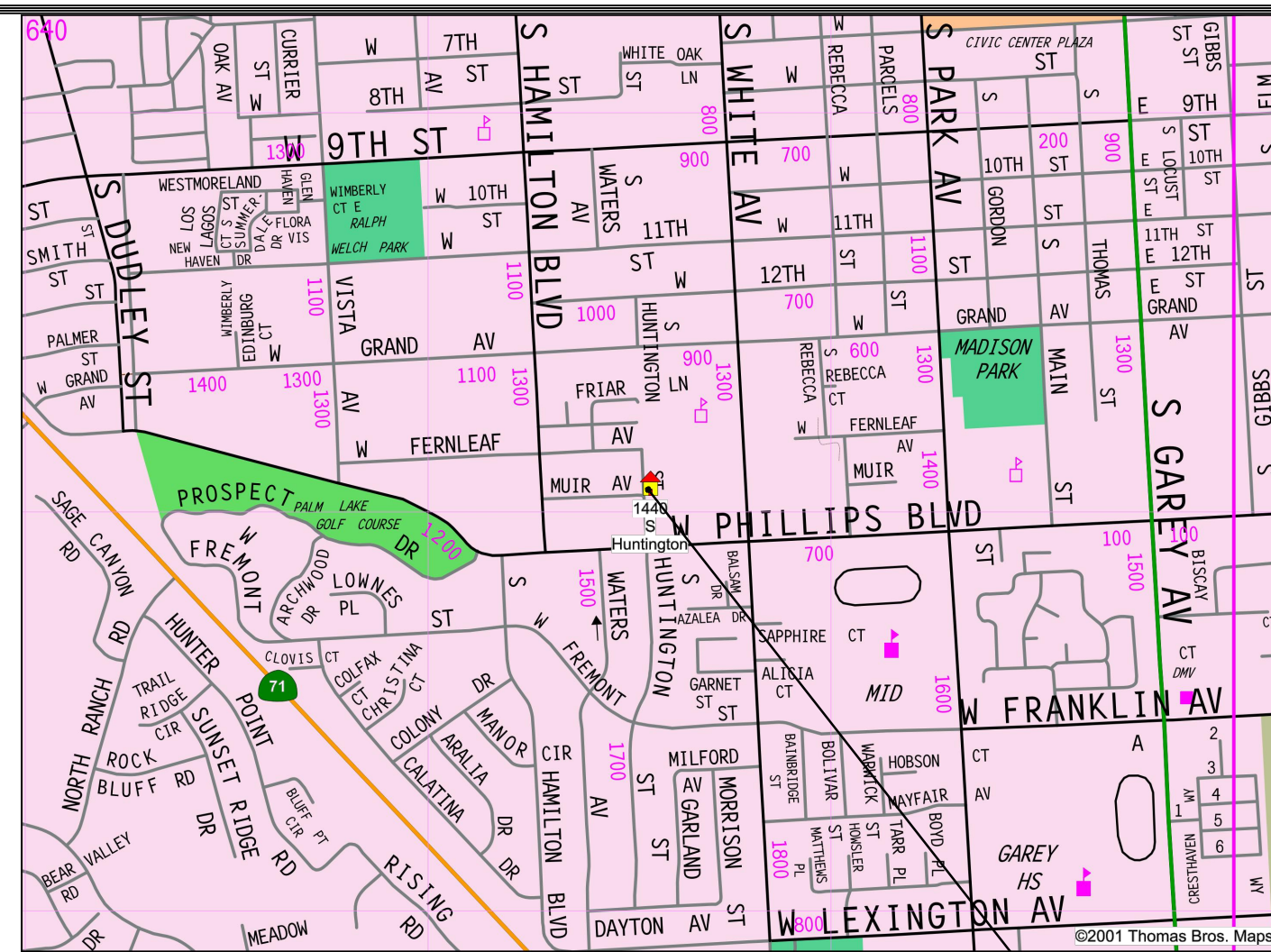
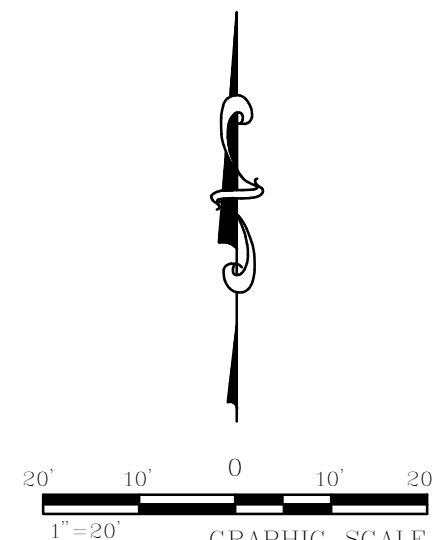
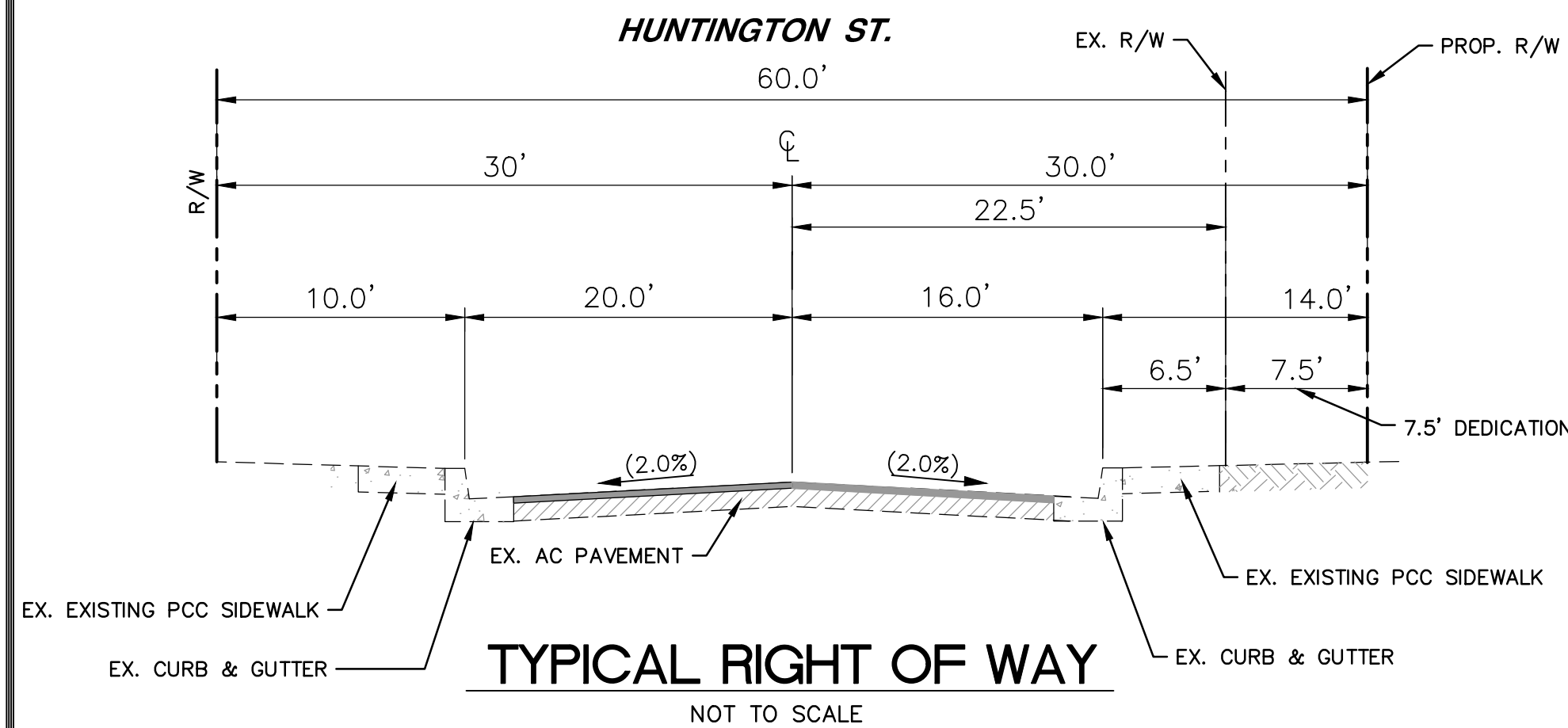
TENTATIVE TRACT NO. 082378

IN THE CITY OF POMONA, COUNTY OF LOS ANGELES
STATE OF CALIFORNIA

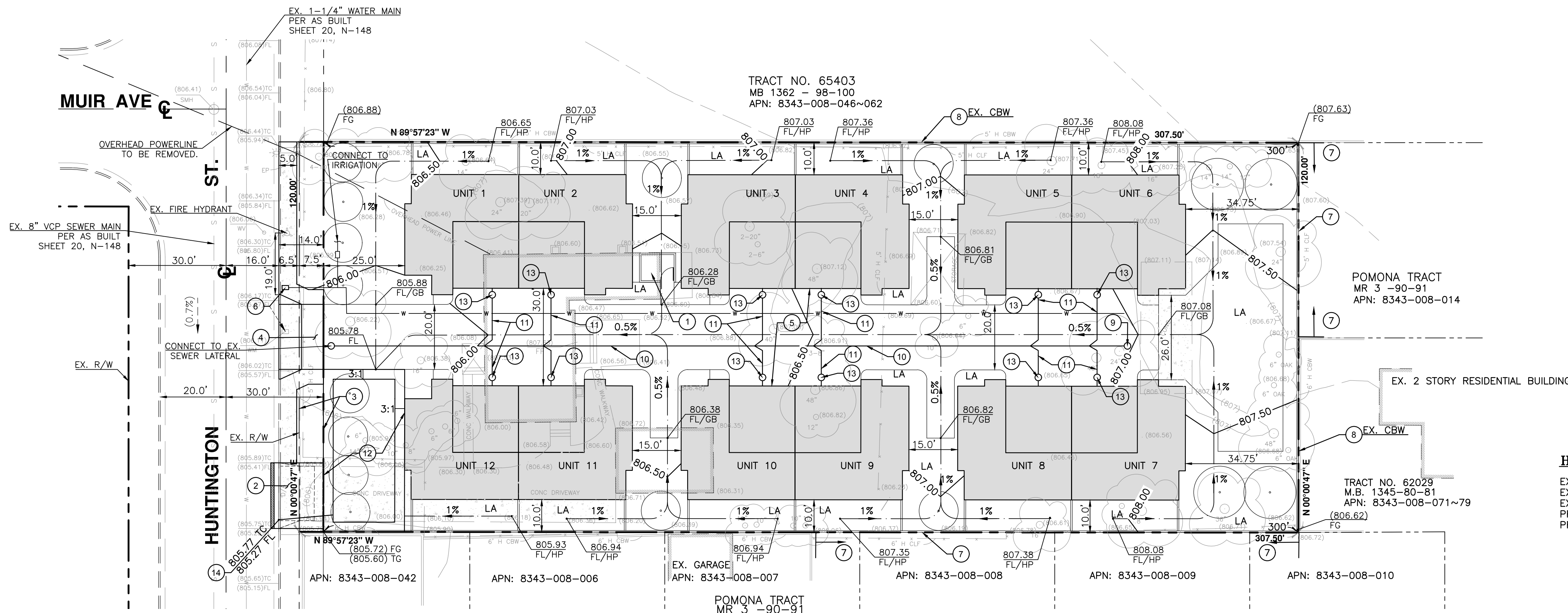
BEING A SUBDIVISION OF A PORTION OF LOT 5, BLOCK 187, OF
POMONA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER
MAP RECORDED IN BOOK 3 PAGES 90 TO 91, OF MISCELLANEOUS
RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

FOR CONDOMINIUM PURPOSES

August 28, 2018



VICINITY MAP
T.G. # 640-H3 N.T.S.



HYDROLOGY AREA

EX. TOTAL AREA	36,900 SF	100%
EX. IMPERVIOUS AREA	5,563 SF	15%
EX. PERVIOUS AREA	31,337 SF	85%
PROP. IMPERVIOUS AREA	22,408 SF	61%
PROP. PERVIOUS AREA	14,492 SF	39%

LEGEND:

PROPERTY LINE	---
CENTERLINE	---
EX. TREE	(183.63)
EXISTING ELEVATION	(185)
EX. BUILDING	
EX. GROUND CONTOUR	
PROP. BUILDING	
PROP. TREE	

EX. FIRE HYDRANT	
EX. STREET LIGHT	
PROPOSED FLOWLINE	

ABBREVIATIONS:

AC	ASPHALT CONCRETE
CBW	CONCRETE BLOCK WALL
CLF	CHAIN LINK FENCE
CONST	CONSTRUCT
DWY	DRIVEWAY
EX	EXISTING
FG	FINISH GRADE ELEVATION
FL	FLOW LINE ELEVATION
GB	GRADE BREAK
HP	HIGH POINT
INV	INVERT ELEVATION
LA	LANDSCAPING
PCC	PORTLAND CEMENT CEMENT
PROP	PROPOSED
PVMT	PAVEMENT
R/W	RIGHT OF WAY
STD	STANDARD
TG	TOP OF GRATE
VCP	VITRIFIED CLAY PIPE

CONSTRUCTION NOTES:

- PROP. TRASH ENCLOSURE, PER ARCHITECTURAL PLAN.
- REMOVE EX. DWY WITH FULL HIGH CURB & GUTTER TO MATCH EX.
- 7.5' DEDICATION TO THE CITY OF POMONA FOR PUBLIC STREET USE.
- CONST. DWY, W= 20', PER CITY STD. A-27-10.
- CONST. 4" PCC PVMT.
- RELOCATE EXISTING WATER METER TO THE SATISFACTION OF THE CITY ENGINEER.
- CONST. CBW TO MATCH EXISTING WALL ON NEIGHBOR'S SIDE.
- PROTECT IN PLACE.
- CONST. 6" SEWER CLEANOUT.
- CONST. 4" VCP SEWER LATERAL.
- CONST. 4" VCP HOUSE LATERAL.
- CONST. RAIN GARDEN. 1250 SF.
- CONST. 4" SEWER CLEANOUT.
- CONST. CURB DRAIN.

BENCHMARK

B.M. NUMBER: FC5107
ELEV. 804.571
QUAD (YEAR) 2005
DESCRIPTION: PK NAILIN S CB 3.3FT W/O BCR @ SW COR WHITE AVE & PHILLIPS BLVD.

CIVIL ENGINEER/LAND SURVEYOR:

APPLE ENGINEERING GROUP
9080 TELSTAR AVE, SUITE 309
EL MONTE, CA 91731
Tel. (626) 552-9818
EMAIL: INFO@APPLEENGINEERING.NET
WEB: WWW.APPLEENGINEERING.NET

OWNER/DEVELOPER:

HONGHUA SHANG
626-652-9666
1440 S. HUNTINGTON ST.
POMONA, CA 91766

ARCHITECT

TWEN MA ARCHITECTS
150 N SANTA ANITA AVE.
ARCADIA, CA 91010
PHONE: 626-358-8125
EMAIL: TWENMA@YAHOO.COM

LEGAL DESCRIPTION

A PORTION OF LOT 5, BLOCK 187, OF POMONA, IN THE CITY OF POMONA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 3 PAGES 90 TO 91, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

DEMOLITION NOTES:

- REMOVE EVERYTHING ON SITE (EX. BLDG, EX. CONC DRIVEWAY, PAVEMENT, LANDSCAPING, GATE, FENCE ETC) UNLESS OTHERWISE NOTED, PER DEMOLITION PERMIT.
- OWNER/DEVELOPER NEEDS A SPECIAL PERMIT TO REMOVE ANY OAK TREES, PER CITY ENGINEER'S DIRECTION.
- THE CONTRACTOR IS TO FIND THE EX. SEWER LATERAL & VERIFY WITH THE INSPECTOR TO CONNECT THE ON-SITE SEWER LATERAL TO THE EX. SEWER LATERAL AT THE STREET.

TENTATIVE TRACT NO. 082378

TENTATIVE MAP

SCALE: 1"=20'	8343-008-043	DRAWN BY: AW
DATE: 8/28/2018	1440 S HUNTINGTON ST. POMONA, CA 91766	JOB NO. P16132
SHEET 1 OF 1		



Plan Prepared By: GUOXIN MIAO 8/28/2018
Date
Apple Engineering Group
Subdivision, Engineering Design & Survey
9080 TELSTAR AVENUE, SUITE 309
EL MONTE, CA 91731
Tel. (626) 552-9818 EMAIL: info@appleengineering.net

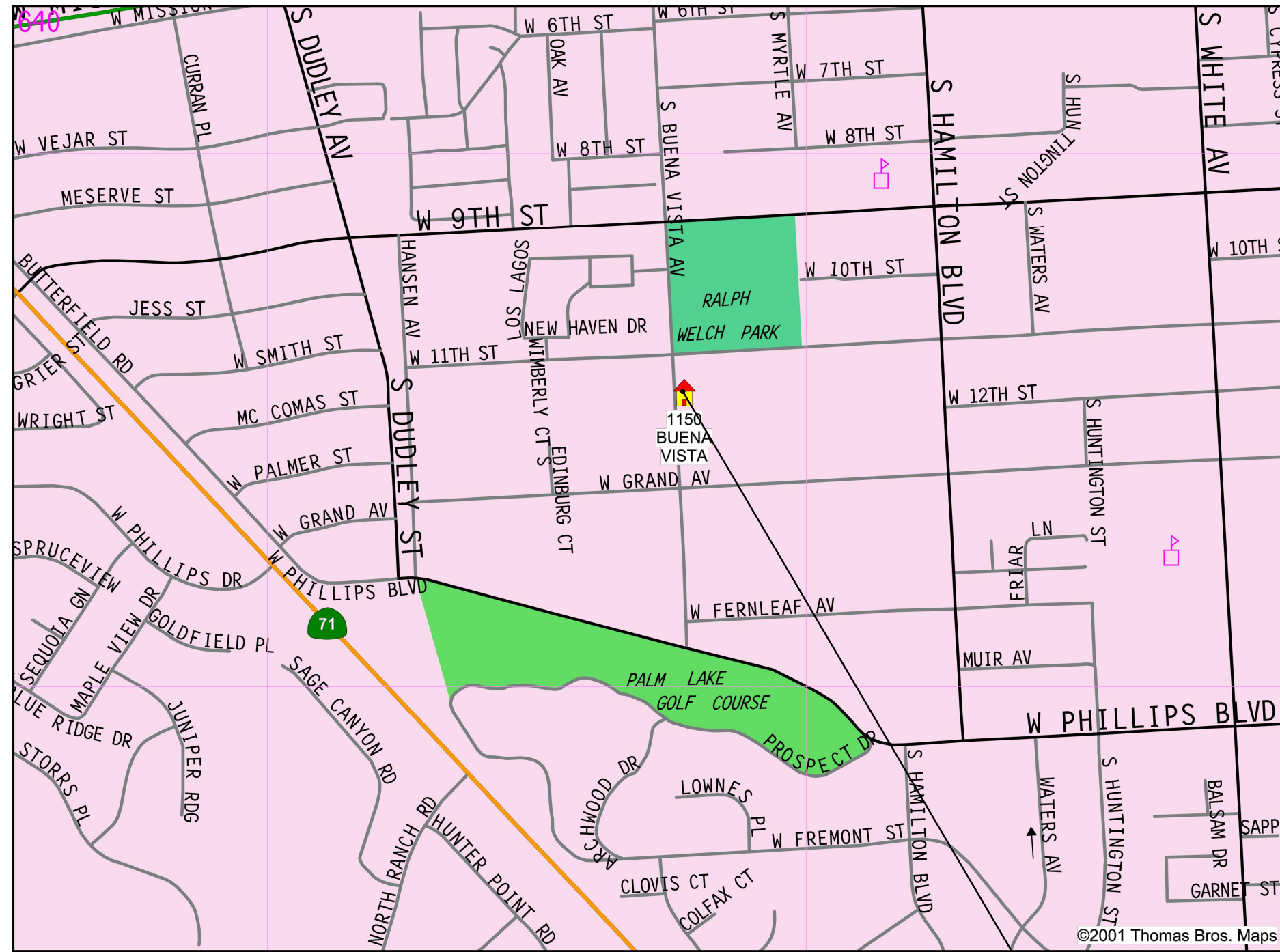
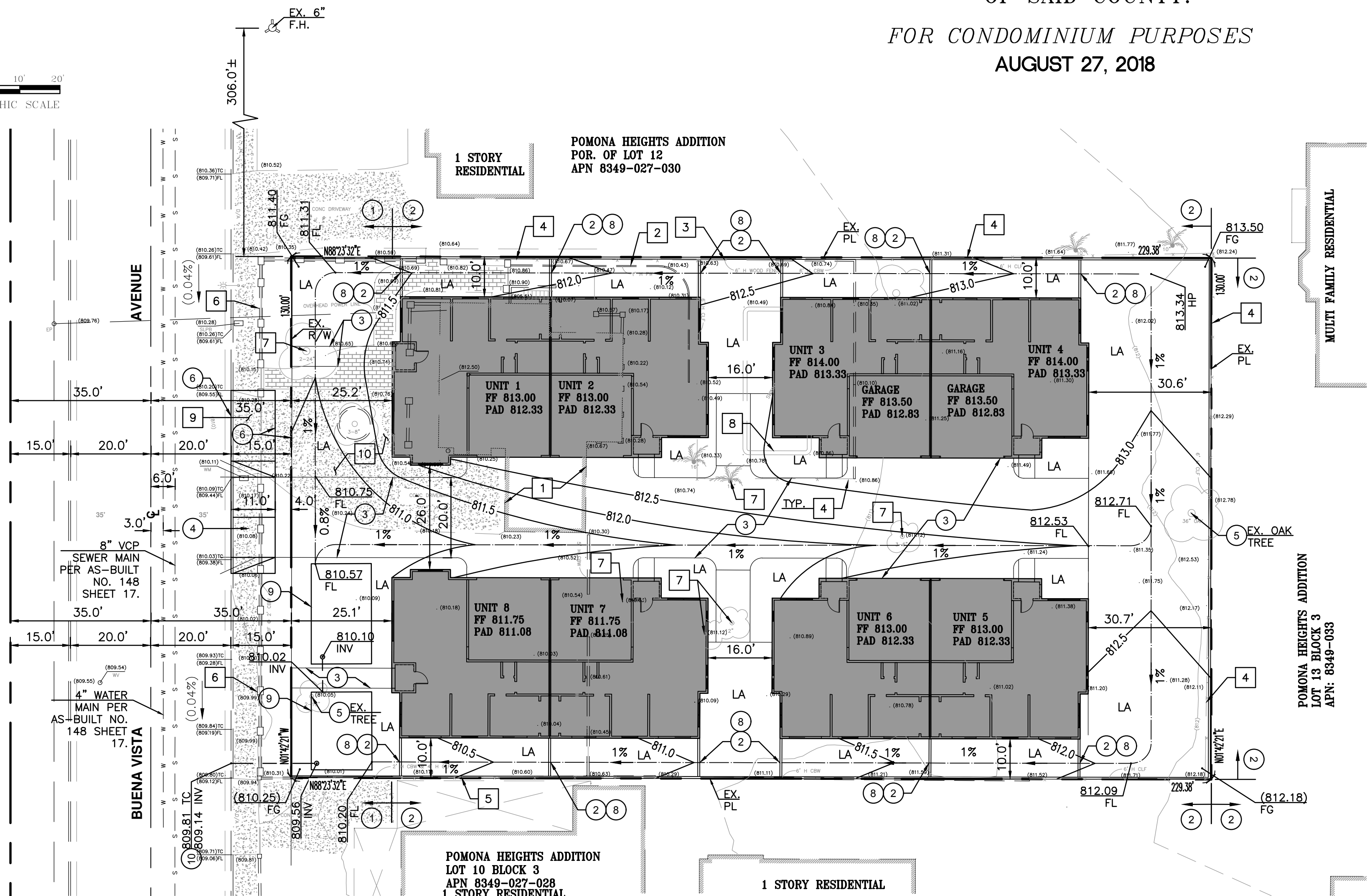
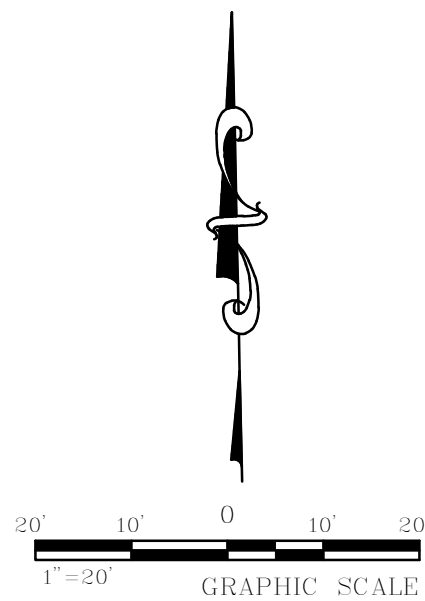
TENTATIVE TRACT NO. 082377

IN THE CITY OF POMONA, COUNTY OF LOS ANGELES
STATE OF CALIFORNIA

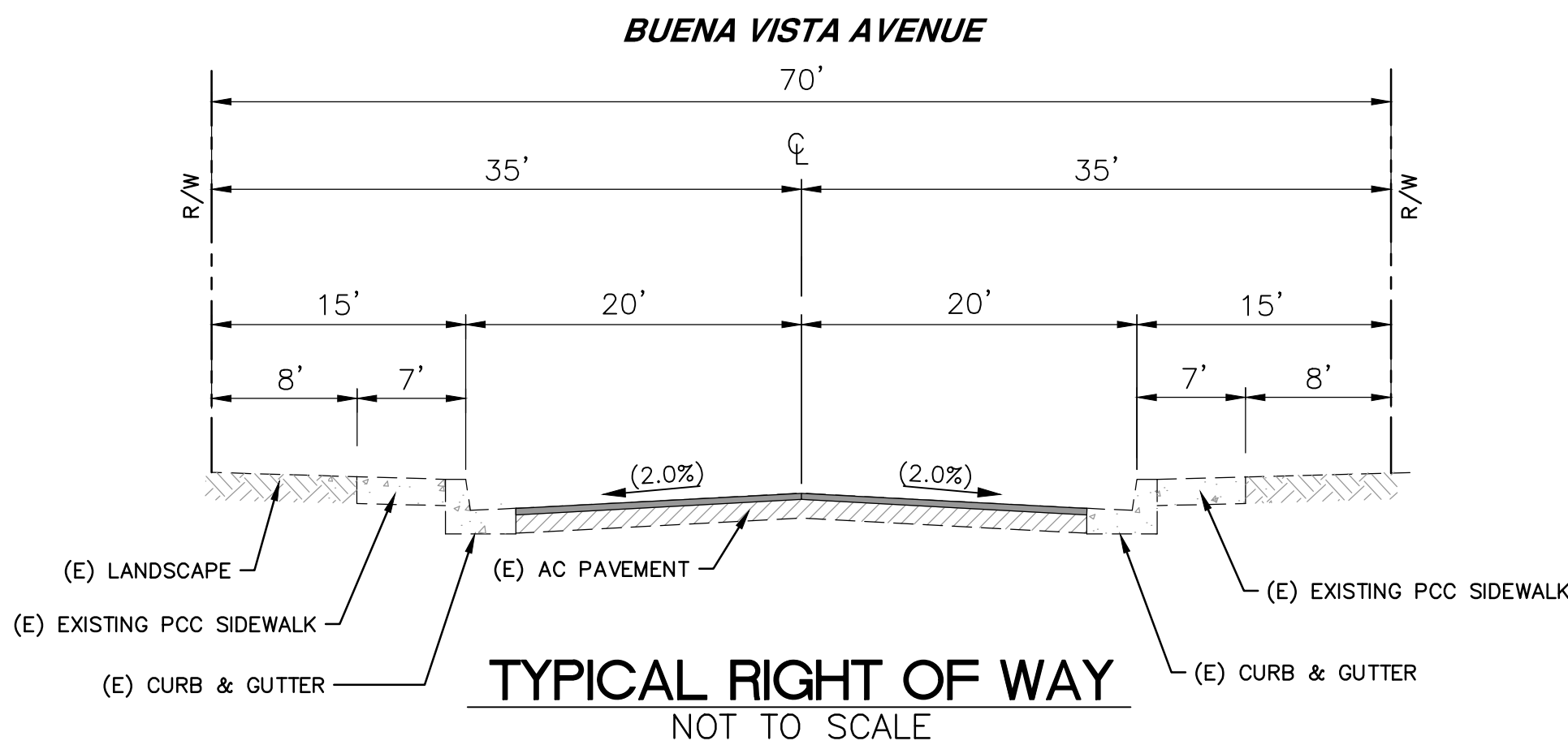
A PARTIAL OF LOT 11 OF BLOCK 3 OF POMONA HEIGHTS ADDITION, IN
THE CITY OF POMONA, COUNTY OF LOS ANGELES, STATE OF
CALIFORNIA, AS PER MAP RECORDED IN BOOK 24 PAGES 97 AND 98 OF
MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER
OF SAID COUNTY.

FOR CONDOMINIUM PURPOSES

AUGUST 27, 2018



VICINITY MAP
T.G. # 640-G3 N.T.S.



PROJECT DESCRIPTION

- PROJECT: 8-UNIT FOUR DUPLEX TOWN HOME CONDOS
- APN = 8349-027-029
- LOT SIZE: 29,819 SF / 0.685 AC
- ZONING AND LAND USE
EXIST: R-2, LOW DENSITY MULTIPLE FAMILY RESIDENCE.
PROP: R-3, MEDIUM DENSITY MULTIPLE FAMILY RESIDENCE
- BUILDING HEIGHT: TWO-STORY
- PARKING: 8 UNITS WITH A 2-CAR GARAGE FOR EACH UNIT & 2 VISITOR PARKING.
- OPEN SPACE REQUIRED: 8 UNIT X 600 SF/UNIT = 4,800 SF
OPEN SPACE PROVIDED: 3865 SF + 544 SF X 2 = 4,953 SF > 4,800 (REQUIRED)

UTILITY IN THE CITY OF POMONA

CITY OF POMONA WATER AND SEWER SERVICE (909) 620-2241
505 SOUTH GAREY AVE.
POMONA, CALIFORNIA 91766

VERIZON (800) 483-3000
SOUTHERN CALIFORNIA GAS COMPANY (800) 427-2200/(213) 244-1200
555 W 5TH ST, LOS ANGELES, CA 90013
SOUTHERN CALIFORNIA EDISON COMPANY (800) 655-4555
2244 WALNUT GROVE AVE
ROSEMEAD, CA

NOTES:

- THE CLOSEST BUS STOP IS LOCATED APPROXIMATELY 2,200 FT FROM PROJECT SITE. BUS STOP LOCATION IS ON THE INTERSECTION OF BUENA VISTA AVENUE AND MISSION BLVD.

LEGAL DESCRIPTION:

A PARTIAL LOT 11 OF BLOCK 3 OF POMONA HEIGHTS ADDITION, IN THE CITY OF POMONA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 24 PAGES 97 AND 98 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BENCH MARK:

B.M. NUMBER: F65109
ELEV. 817.485
QUAD (YEAR) 2005
DESCRIPTION: PK NAIL IN S CB @ BCR @ SW COR WHITE AVE & GRAND AVE.

CIVIL ENGINEER/LAND SURVEYOR:

APPLE ENGINEERING GROUP
9080 TELSTAR AVE, SUITE 309
EL MONTE, CA 91731
Tel. (626) 552-9818
EMAIL: INFO@APPLEENGINEERING.NET
WEB: WWW.APPLEENGINEERING.NET

OWNER/DEVELOPER:

SHANG HONGHUA / CAI PUCHUN
1150 BUENA VISTA
POMONA, CA 91766
Tel. (626) 652-9666

ARCHITECT

TWEN MA ARCHITECTS
150 N SANTA ANITA AVE.
ARCADIA, CA 91010
PHONE: 626-358-8125
EMAIL: TWENMA@YAHOO.COM

CONSTRUCTION NOTES:

- CONST. 3' H CBW.
- CONST. 6' H CBW.
- CONST. 4" PCC OVER 90% COMPACTED SOIL
- CONST. D/A PER CITY OF POMONA STD. PLAN.
- PROTECT IN PLACE
- CONST. 8" CURB AND GUTTER TO MATCH EXISTING.
- CONST. 4" PCC SIDEWALK PER CITY OF POMONA STD PLAN.
- CONST. 6" WEEP HOLE AT BOTTOM OF CBW.
- CONST. RAIN GARDEN.
- CONST. 4" CIP CURB DRAIN PER CITY OF POMONA STD PLAN.

DEMOLITION NOTES:

- DEMO EXISTING BUILDING WITHIN PROJECT SITE UNLESS OTHERWISE MENTIONED.
- REMOVE 1' H. PLANTER WALL.
- REMOVE 6' H. WF.
- REMOVE 6' H. CLF WITHIN PROJECT SITE.
- REMOVE 2' H CBW AND 4' H. CLF.
- REMOVE W.I.F AT 2' CBW WITHIN RIGHT OF WAY.
- REMOVE EX. TREE.
- REMOVE EX. SWIMMING POOL.
- REMOVE EX. D/A.
- REMOVE EX. CONC. PVMT.

ABBREVIATIONS:

CBW CONC. BLOCK WALL
CIP CAST IRON PIPE
CONC. CONCRETE
CONST. CONSTRUCT
CU CUBIC
D/A DRIVEWAY APRRON
DWY DRIVEWAY
EA EACH
EP EDISON POLE
EXIST/EX. EXISTING
FF FINISH FLOOR ELEVATION
FG FINISH GRADE ELEVATION
FL FLOW LINE ELEVATION
FS FINISH SURFACE ELEVATION
GAL GALLON
GM GAS METER
LA LANDSCAPING AREA
LACO LOS ANGELES COUNTY
LID LOW IMPACT DEVELOPMENT
LF LINEAR FEET
N.T.S NOT TO SCALE
PCC PORTLAND CONCRETE CEMENT
P/A PLANTER AREA
SF SQUARE FEET
SMH SEWER MANHOLE
S/W SIDEWALK
TC TOP OF CURB ELEVATION
VCP VITRIFIED CLAY PIPE
WF WOOD FENCE
WM WATER METER

LEGEND:

(615.55) EX. ELEVATION
---(615)--- EX. GROUND CONTOUR LINE
---X--- CHAIN LINK FENCE
..... EX. STRUCTURE
..... EXIST. FIRE HYDRANT
..... EXIST. STREET LIGHT
..... PROP. BUILDING
..... PROP. FLOWLINE
..... EXIST. CONCRETE

HYDROLOGY AREAS

TOTAL LOT SIZE: 29,819 SF / 0.685 ACRES
EXISTING CONDITION
IMPERVIOUS AREA: 4,916 SF PERCENTAGE: 16%
PERVIOUS AREA: 24,903 SF PERCENTAGE: 84%
PROPOSED CONDITION
IMPERVIOUS AREA: 17,672 SF PERCENTAGE: 59%
PERVIOUS AREA: 12,147 SF PERCENTAGE: 41%

TENTATIVE TRACT MAP NO. 082377

Plan Prepared By:
GUOXIN MIAO 8/27/2018
Date
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SCALE: 1"=20'	8349-027-029	DRAWN BY: YAV
DATE: 8/27/2018	1150 BUENA VISTA AVE. POMONA, CA 91766	REVISED BY:
SHEET 1 OF 4	JOB NO. P17100	