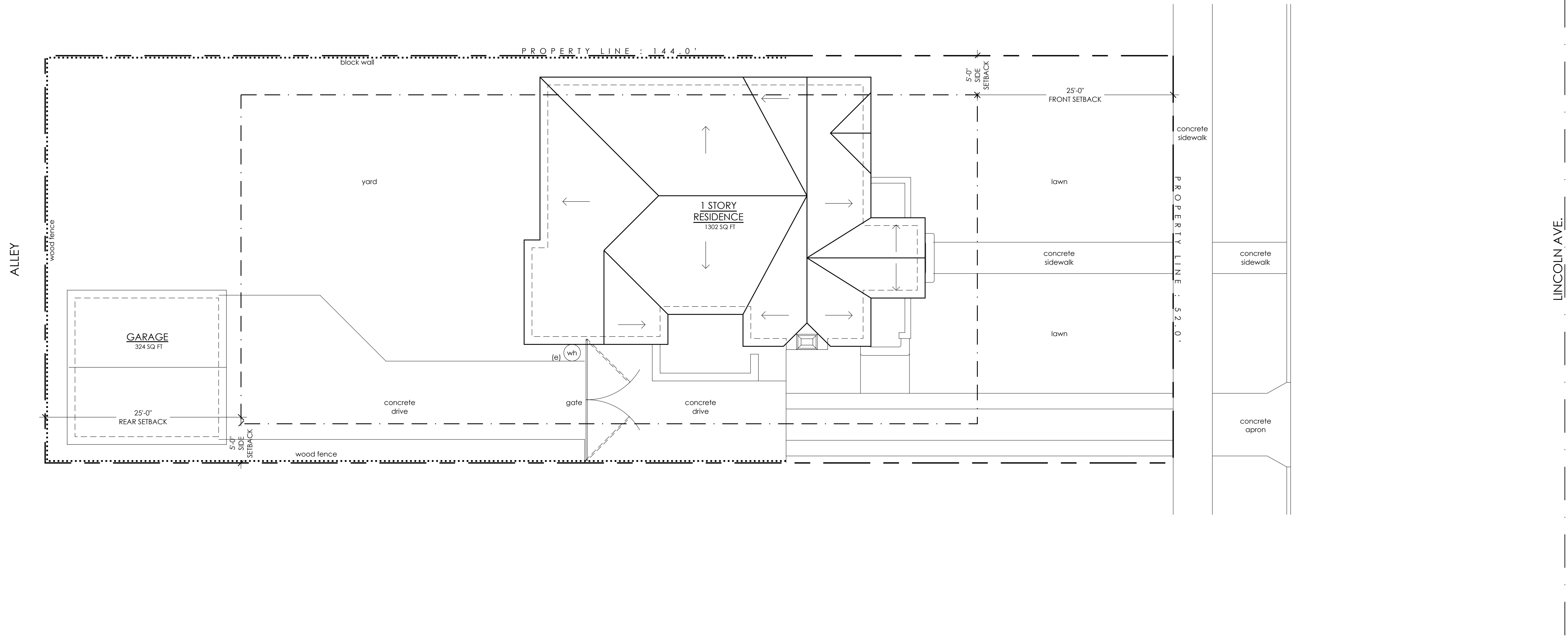


GENERAL NOTES				ENERGY NOTES				PROJECT INFORMATION				SHEET INDEX							
1. ALL DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. 2. ALL EXTERIOR WALLS TO BE 2x4 STUDS W/ R-13 BATT INSULATION. 3. ALL INTERIOR WALLS TO BE 2x4 STUDS @ 16" O.C. - U.N.O. 4. ALL INTERIOR WALLS SHALL BE 5/8" GYP. BD. U.N.O. 5. ALL BEDROOMS SHALL PROVIDE ONE EGRESS WINDOW MEETING ALL OF THE FOLLOWING: AN OPENABLE AREA OF NOT LESS THAN 5.7 SQ. FT., A MINIMUM CLEAR 24" HEIGHT AND 20 INCH WIDTH, AND A SILL HEIGHT NOT OVER 44" ABOVE THE FLOOR. (310.4) 6. PROVIDE AN 18" HIGH PLATFORM FOR WATER HEATER; VENT TO OUTSIDE AIR AND PROVIDE P&T VALVE WITH DRAIN TO OUTSIDE. 7. PROVIDE SMOKE DETECTORS AT ALL EXIST'G BEDROOMS. PROVIDE BATTERY POWERED SMOKE DETECTORS @ (E) BEDROOMS, & HARDWIRE WITH BATTERY BACK-UP @ (N) BEDROOM(S) & HALL(S). 8. ANY PLUMBING FIXTURES HAVING A FLOOD LEVEL RIM LOCATED BELOW THE NEXT UPSTREAM MANHOLE COVER IS REQUIRED TO HAVE A BACK WATER VALVE INSTALLED PER ALL OF THE REQUIREMENTS OF C.P.C. 710.0 9. ALL WORK ON THIS PROJECT IS TO BE PERFORMED AND COMPLETED IN CONFORMITY WITH THE MOST RECENT EDITIONS OF THE POMONA MUNICIPAL CODE, THE CALIFORNIA BUILDING, PLUMBING, MECHANICAL, ELECTRICAL AND ENERGY CODES. ALL WORK IS SUBJECT TO FIELD INSPECTION. ANY APPROVALS THAT APPEAR TO AUTHORIZE NON-CONFORMITY WITH THE ADOPTED STANDARDS ARE NOT VALID 10. SEPARATE PERMIT SHALL FIRST BE OBTAINED FROM THE CITY PUBLIC WORKS DEPARTMENT PRIOR TO PLACEMENT OF ANY CONSTRUCTION MATERIALS OR EQUIPMENT IN THE PUBLIC WAY 11. AT TIME OF PERMIT ISSUANCE, CONTRACTOR SHALL SHOW THEIR VALID WORKERS COMPENSATION INSURANCE CERTIFICATE 12. ALL WORK SHALL CONFORM TO ALL REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24 REGARDLESS OF THE INFORMATION INDICATED ON THESE PLANS. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL SUPERVISING THE CONSTRUCTION TO ENSURE THAT THE WORK IS DONE IN ACCORDANCE WITH CODE REQUIREMENTS PRIOR TO REQUESTING INSPECTION 13. EXCESS OR WASTE CONCRETE MAY NOT BE WAHSED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE				BUILDING ENVELOPE REQUIREMENTS 1. BUILDING SHELL SHALL BE SEALED TO 1 CFM 50/FT2 OR LESS. 2. DRYWALL SHALL BE SCREWED AND GLUED TO TOP AND BOTTOM PLATES. 3. ALL INTERSTITIAL SPACES SHALL BE FIRE-BLOCKED PER BUILDING CODE. 4. ALL INSULATION SHALL BE IN FULL CONTACT WITH BOTH INTERIOR AND EXTERIOR AIR BARRIERS. 5. WALLS SHALL BE INSULATED WITH BLOWN-IN CELLULOSE INSULATION AT 3.5 PCF OR GREATER. 6. ATTICS SHALL BE INSULATED WITH BLOWN-IN CELLULOSE INSULATION TO R-38 OR GREATER. 7. EAVE OR GABLE VENTS WITHIN 12" OF INSULATION SHALL BE PROVIDED WITH BAFFLES TO PREVENT WIND SCOURING OF INSULATION. 8. INSULATED WALLS GREATER THAN 12" THICK SHALL BE CONSTRUCTED WITH A SECONDARY AIR BARRIER ON THE INSIDE OF THE EXTERIOR FRAMING. 9. ROOF SHALL BE SHEATHED WITH RADIANT-BARRIER PLYWOOD. 10. SKYLIGHT SHAFTS AND KNEE WALLS SHALL BE INSULATED TO R-13 MINIMUM. KNEE WALLS AND SHAFTS IN EXCESS OF 24" HIGH SHALL BE PROVIDED WITH AN AIR BARRIER ON THE ATIC SIDE OF THE WALL. GREATER INSULATION CAN BE USED WITH THICKENED WALLS. 11. CEILING ACCESS HATCHES FROM CONDITIONED SPACES SHALL BE INSULATED TO R-15 OR GREATER, AND SHALL BE PROVIDED WITH A CURB TO ALLOW FULL ATTIC INSULATION UP TO THE OPENING. 12. INSULATION ASSEMBLIES SHALL BE INSPECTED WITH AN INFRARED CAMERA TO ENSURE CONSISTENT PERFORMANCE WITHIN 10% OF THE DESIGN R-VALUE. PLUMBING SYSTEM REQUIREMENTS 1. ALL NONCOMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURE PRIOR TO FINAL INSPECTION.				HVAC SYSTEM REQUIREMENTS 1. THE AIR DISTRIBUTION SYSTEM SHALL BE SEALED BELOW 60 CFM25, OR 6% OF FAN FLOW, WHICHEVER IS LESS. 2. SUPPLY DUCTS SHALL BE RUN HOME DIRECTLY TO PLENUM WHERE POSSIBLE. 3. DUCT INSULATION SHALL BE R-8.0 OR GREATER. 4. DUCT SYSTEM SURFACE AREA SHALL BE MINIMIZED BY SHORTENING DUCTS WHENEVER POSSIBLE. 5. ROOM HEATING AND COOLING LOADS SHALL BE DETERMINED BY USING ACCA MANUAL J METHODOLOGY. 6. ROOM AIRFLOWS SHALL BE ADJUSTED TO WITHIN 10% OF THE CALCULATED VOLUME FOR EACH ROOM. 7. MANUAL BALANCING DAMPERS SHALL BE INSTALLED ON EACH BRANCH DUCT. 8. NON-DIFFUSING SUPPLY GRILLES SHALL BE USED TO PROVIDE MAXIMUM THROW DISTANCES. 9. SUPPLY GRILLES SHALL NOT HAVE DAMPERS. 10. SUPPLY GRILLES SHALL BE SIZED TO PROVIDE DELIVERY VELOCITIES BETWEEN 500 FPM AND 700 FPM. 11. SUPPLY GRILLES SHALL BE LOCATED SO AS TO SUPPLY AIR ONLY TO THE UNOCCUPIED PORTION OF THE ROOM (ABOVE 6 FEET AND WITHIN 12" OF THE WALLS). 12. EVAPORATOR AIRFLOW RATES SHALL BE MAINTAINED AT BETWEEN 440 CFM/TON AND 480 CFM/TON (110% TO 120% OF NOMINAL AIR FLOW) FOR ALL DAMPER CONFIGURATIONS. 13. BY-PASS DUCTS SHALL NOT BE USED TO REDUCE STATIC PRESSURE. 14. HIGH EFFICIENCY FILTRATION SHALL NOT BE USED UNLESS THE SYSTEM IS SPECIFICALLY DESIGNED FOR IT. 15. FILTER GRILLES SHALL BE SIZED TO 2 SQUARE FEET PER TON (OR ABOUT 15" X 20" PER TON, OR EQUIVALENT) TO MAINTAIN FILTER VELOCITIES BELOW 300 FPM FOR THE ACTIVE AREA OF THE FILTER AND A STATIC PRESSURE BELOW 0.10" OF WATER COLUMN. 16. NEW OR REPLACEMENT COOLING SYSTEMS SHALL HAVE A THERMOSTATIC EXPANSION VALVE (TXV). 17. NEW OR REPLACEMENT COOLING SYSTEMS SHALL BE EVACUATED TO 300 MICRONS AND HOLD BELOW 600 MICRONS FOR 5 MINUTES. 18. EVAPORATOR COILS AND CONDENSING UNITS SHALL BE MATCHED TO PROVIDE RATED EFFICIENCY AND CAPACITY. 19. COOLING SYSTEM LINE-SETS SHALL HAVE R-4.0 INSULATION OR GREATER.				PROJECT NAME: PEREZ RESIDENCE PROJECT ADDRESS: 320 LINCOLN AVE. POMONA CA, 91767 A.P.N. 8339-010-008 LEGAL: ANTONIO HEIGHTS TRACK LOT 7 BLK D DESIGNER: WALTER FAUSTLIN 1976 WINDSOR PL. POMONA CA 91767 818 371 9868 PROJECT DESIGNER: WALTER FAUSTLIN ZONING AND AGENCY INFORMATION CITY: POMONA COUNTY: LOS ANGELES ZONING: R-1-6.000 OCCUPANCY: R-3 TYPE V - B SPECIAL REVIEW: HISTORIC COMMISSION HOA: NA SPECIAL DISTRICT: NA CC&R: NA PROPERTY INFORMATION YEAR BUILT: 1924 / 1924 ELECTRIC PANEL SIZE: 100 AMP SEWER TYPE: PUBLIC SETBACKS: INTERIOR SIDE: 5' REAR: 25' FRONT: 25' LOT AREA: 7,488 SF 0.172 ACRES EXISTING BLDG AREA: EXISTING RESIDENCE 1,302 SF EXISTING GARAGE 338 SF TOTAL 1,640 SF PROPOSED BLDG AREA: EXISTING BLDG AREA 1,640 SF ADDITION 612 SF TOTAL 2,252 SF ALLOWED LOT COVERAGE: 35% OF 7,488 SF = 2,620 SF EXISTING: 1,640 SF / 7,488 SF = 21.9% PROPOSED: 2,252 SF / 7,488 SF = 30.1% HOME INFORMATION STORIES: 1 BASEMENT: NA SPRINKLED / REQ'D: NO / NO ROOF TYPE: ASPHALT ROOF AGE: ? ROOF FRAMING: CONVENTIONAL WALL FINISH EXT: STUCCO WALL FINISH INT: PLASTER / GYPSUM PAINT CONDITION EXT: GOOD FOUNDATION TYPE: RAISED HVAC: ELECTRIC SPLIT SYSTEM APPLIANCE TYPE: GAS ARCHITECTURAL SYMBOLS BUILDING SECTION SECTION NUMBER SHEET NUMBER DETAIL REFERENCE DETAIL NUMBER SHEET NUMBER OFFSET REFERENCE DIFFERENTIAL IN FLOOR LEVEL OR FINISH SURFACE REVISION REFERENCE REVISION NUMBER REFER TO TITLE SHEET INTERIOR ELEVATION REFERENCE INTERIOR ELEVATION VIEW SHEET NUMBER ROOF SLOPE REFERENCE ROOF PITCH				ARCHITECTURE A0.1 TITLE SHEET A1.1 SITE PLAN - EXISTING A1.2 SITE PLAN - PROPOSED A2.1 FLOOR PLAN - EXISTING A3.1 FLOOR PLAN - NEW A3.2 FLOOR PLAN - ELECTRICAL A3.3 ROOF PLAN - NEW A4.1 ELEVATION A4.2 ELEVATION CONSULTANTS CODES REQUIRED CODES 2016 PART 2 CALIFORNIA BUILDING CODE 2016 PART 2.5 CALIFORNIA RESIDENTIAL BUILDING CODE 2016 PART 3 CALIFORNIA ELECTRICAL CODE 2016 PART 4 CALIFORNIA MECHANICAL CODE 2016 PART 5 CALIFORNIA PLUMBING CODE 2016 PART 6 CALIFORNIA ENERGY CODE 2016 PART 9 CALIFORNIA FIRE CODE 2016 PART 11 CALIFORNIA GREEN BUILDING STANDARDS CODE PROJECT DESCRIPTION THE PROJECT CONSISTS OF A MASTER SUITE ADDITION, FAMILY ROOM ADDITION AND REMODEL OF THE KITCHEN. VICINITY MAP			
ABREVIATIONS & AND @ AT C CENTERLINE O DIAMETER # POUND OR NUMBER AB ANCHOR BOLT ABV ABOVE A/C AIR CONDITIONING AC ACOUSTICAL ACR ACRYLIC PLASTIC AD AREA DRAIN ADJ ADJUSTIBLE, ADJACENT AFB ABOVE FINISH FLOOR AFS AUTOMATIC FIRE SPRINKLERS ALT ALTERNATE ALUM ALUMINIUM ANC ANCHOR, ANCHORAGE ANOD ANODIZED AP ACCESS PANEL APPROX APPROXIMATE ARCH ARCHITECTURAL ASPH ASPHALT AUTO AUTOMATIC BO BOARD BEL BELOW BITUM BITUMINOUS BLDG BUILDING BLK BLOCK BLKG BLOCKING BLT BUILT BM BEAM BOT BOTTOM BRG BEARING BS BOTH SIDES BSEMT BASEMENT BWN BETWEEN BVL BEVELED BW BOTH WAYS C CHANNEL CAB CABINET CEM CEMENT CEB CERAMIC CF CUBIC FEET CI CAST IRON CJC CAST-IN-PLACE CONCRETE CIRC CIRCUMFERENCE, CIRCULATION CJ CONTROL JOINT CLG CEILING CLGHT CEILING HEIGHT CLK CAULK CLKG CAULKING CLOS CLOSET CLN CLEAR CUM CONCRETE MASONRY UNIT CO CASED OPENING, CONDUIT ONLY, CLEAN OUT COL COLUMN COMB COMBINATION COMPO COMPOSITION COMPRT COMPARTMENT CONC CONCRETE CONN CONNECTION CONSTR CONSTRUCTION CONT CONTINUOUS CSMT CASEMENT CTSK COUNTERSUNK CNTR COUNTER CYR CENTER CY CUBIC YARD D DRAIN DBL DOUBLE DEPT DEPARTMENT DF DRINKING FOUNTAIN DEMOL DEMOLISH, DEMOLITION DET DETAIL DH DOUBLE HUNG DIAG DIAGONAL DIAM DIAMETER DIM DIMENSION DISP DISPENSER DIV DIVISION DL DEAD LOAD DN DOWN DO DOOR OPENING DPR DAMPER DR DR DRWR DRAWER DWG DRAWING (E) EXISTING E EACH EA EXHAUST FAN EL ELEVATION ELEC ELECTRICAL ELEV ELEVATOR EMER EMERGENCY ENCL ENCLOSURE EP ELECTRICAL PANELBOARD EST ESTIMATE EQ EQUAL EQUIP EQUIPMENT EXIST EXISTING EXP EXPOSED OR EXPANSION EXT EXTERIOR FD FLOOR DRAIN FDN FOUNDATION FF FINISH FL FLOOR FLEX FLEXIBLE FLR FLOOR FLUOR FLOURESCENT FOC FACE OF CONCRETE FOF FACE OF FINISH FOM FACE OF MASONRY FOX FACE OF STUD FR FRAME FS FULL SIZE FSD FULL SIZE DIMENSION FT FOOT OR FEET FTG FOOTING FURR FURRING FUT FUTURE GA GAUGE GALV GALVANIZED GB GRAB BAR GDW GOSH DARNIT WALTER GI GALVANIZED IRON GL GLASS GLBK GLASS BLOCK GND GROUND GR GRADE, GRADING GYPS GYPSUM GWB GYPSUM WALLBOARD HB HOSE BIB CLP HOLLOW CORE HD HEAVY DUTY HDR HEADER HDWD HARDWOOD HWK HARDWARE HM HOLLOW METAL HORIZ HORIZONTAL HR HOUR HT HEIGHT HTG HEATING HVAC HEATING, VENTILATING, AIR CONDITIONING HWH HOT WATER HEATER ID INSIDE DIMENSION OR DIAM INCL INCLUDE INSUL INSULATION INT INTERIOR JAN JANITOR JNT JOINT KIT KITCHEN L ANGLE, LENGTH, LONG LAB LABORATORY LAM LAMINATE LAV LAVORATORY LBL LABEL LDR LADDER LH LEFT HAND LKR LOCKER LL LINE LOAD LT LIGHT LTWT LIGHTWEIGHT LVR LOUVER M METER MAS MASONRY MAX MAXIMUM EAST MACHINE BOLT MBR MEMBER MECH MECHANICAL MED MEDIUM MEMB MEMBRANE MET METAL MFR MANUFACTURER MH MANHOLE MIN MINIMUM MIR MIRROR MISC MISCELLANEOUS MLWK MILLWK MM MILLIMETER MO MASONRY OPENING MTD MOUNTED MTL METAL MUL MULLION (N) NEW N NORTH NAT NATURAL NC NOT IN CONTRACT NO OR # NUMBER NOM NOMINAL NTS NOT TO SCALE OA OVERALL OBS OBSCURE OC ON CENTER OD OUTSIDE DIMENSION OR DIAM OFF OFFICE OH OVERHEAD OPNG OPENING OPP OPPOSITE PAR PARALLEL PARTBD PARTICLE BOARD PCC PRECAST CONCRETE PND PER CUBIC FOOT PED PEDESTAL PERF PERFORATED(I) PL PLATE PLAS PLASTIC LAMINATE PLAS PLASTER PNL PANEL PNT PAINT PR PAIR PRCST PRE-CAST PREFAB PRE-FABRICATED PRESH PREFINISHED PSF POUND PER SQUARE FOOT PSI POUND PER SQUARE INCH PT POINT PTN PARTITION PWD PLYWOOD PVC POLYVINYL CHLORIDE PVMT PAVEMENT R RISER RA RETURN AIR RAD RADIUS RBT RABBIT, REBATE RD ROOF DRAIN REC RECESSED REF REFERENCE REFL REFLECT(ED), (IVE), (OR) REFR REFRIGERATOR REINF REINFORCED REQ REQUIRED RES RESIDENCE RESIL RESILIENT RET RETURN REV REVISION(S), REVISED RGR REGISTER RH RIGHT HAND RM ROOM RMV REMOVE RO ROUGH OPENING RWL RAINWATER LEADER S SOUTH SA SUPPLY AIR SC SOLID CORE SCHED SCHEDULE SCR SCREEN SD STORM DRAIN SECT SECTION SF SQUARE FOOT, SUPPLY FAN SH SHELF, SHELVING SHT SHEET STHT SHEATING SIM SIMILAR SPEC SPECIFICATION SPKR SPEAKER SQ SQUARE SS STAINLESS STEEL SSK SERVICE SINK STA STATION STC SOUND TRANSMISSION CLASS STD STANDARD STG SEATING STL STEEL STOR STORAGE STRUCT STRUCTURAL SUSP SUSPEND SYM SYMMETRY(CAL) SYST SYSTEM T TREAD TC TOP OF CURB TER TERRAZZO T&G TONGUE AND GROOVE THK THICK THRLD THRESHOLD TOL TOLERANCE TP TOP OF PAVEMENT TR TRANSFORM TSL TOP OF SLAB TST TOP OF STEEL TV TELEVISION TV TOP OF WALL TYP TYPICAL UNF UNFINISHED UNO UNLESS NOTED OTHERWISE VB VAPOR BARRIER, VINYL BASE VAR VARNISH VERT VERTICAL VEST VESTIBULE VNR VENEER VC VINYL COMPOSITION TILE W WEST, WIDTH WH W/ WC WATER CLOSET WD WOOD WH W/ WH W/ WH W/ WH W/ W/O WIRE MESH W PARTITION WPT WATERPROOF WSCP WORKING POINT WAINSCOT WSP W/STANDPIPE WGT WEIGHT WTF WALTER THE FAUSTLIN WWF WELDED WIRE FABRIC																			
BEST PRACTICES 1. PLEASE NOTE THAT CONSTRUCTION HOURS ARE FROM 7:00 AM TO 8:00 PM MONDAY THROUGH SATURDAY. 2. PLEASE REMEMBER TO PRACTICE "BUILDING BETTER STORM WATER QUALITY" BY NOT WASHING DOWN CONTAMINATES INTO THE STREET AND CONTAIN WATER AND CONTAMINATES ON SITE AND PROPERLY REMOVE. KEEP STREET CLEAN AND FREE OF DEBRIS AND NO STORAGE OF CONSTRUCTION MATERIAL, EQUIPMENT, TRAILER, TEMPORARY TOILET FACILITIES, FOR MORE INFORMATION, PLEASE CONTACT ENGINEERING DIVISION AT 399-5465. 3. PLEASE CONTACT COMMUNITY SERVICES REGARDING WASTE MANAGEMENT PROGRAM REGARDING DISPOSAL OF CONSTRUCTION MATERIALS AND DEBRIS. 4. PLEASE REMEMBER TO KEEP CLEAN CONSTRUCTION SITE AND STORE EQUIPMENT, MATERIALS AND DEBRIS IN THE REAR YARD, OUT OF VIEW FROM THE PUBLIC/STREET. 5. PLEASE REMEMBER TO BE CONSIDERATE OF NEIGHBORS BY OBSERVING REQUIRED HOURS OF CONSTRUCTION, CLEAN CONSTRUCTION SITES, MAINTAINING LANDSCAPING AND BY COMPLETING THE PROJECT IN A TIMELY MANNER. 6. SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) SHALL BE NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW PRIOR TO START OF ANY DEMOLITION, ADDITION, AND/OR REMODEL WORK. THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT OFFICE IS LOCATED AT 21865 COPLEY DRIVE IN DIAMOND BAR, PHONE NO. (909) 396-2000 BE ADVISED, SCAQMD MAY REQUIRE A 10 DAY WAIT PERIOD PRIOR TO START OF WORK. 7. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FOR THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE BE ROADWAYS SHALL BE STABILIZED SO AS TO INHIBIT SEDIMENTS FRO BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITION MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS 8. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER 9. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND 10. RULES, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WAHED INTO THE DRAINAGE SYSTEM. 11. DUE TO THE POSSIBLE PRESENCE OF LEAD-BASED PAINT, LEAD-SAFE WORK PRACTICES ARE REQUIRED FOR ALL REPAIRS THAT DISTURB PAINT IN PRE 1979 BUILDINGS. FAILURE TO DO SO COULD CREATE LEAD HAZARDS THAT VIOLATE CALIFORNIA HEALTH AND SAFETY CODE SECTIONS 17920.10 TO 17920.266 WITH POTENTIAL FINES FOR VIOLATIONS UP TO \$5,000 SECTION (D) AMENDED) OR IMPRISONMENT FOR NOT MORE THAN 6 MONTHS IN THE COUNTY JAIL OR BOTH 12. THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUIRING THE CORRECTION OF ERRORS ON THESE PLANS OR FROM PREVENTING ANY VIOLATION OF THE CODES ADOPTED BY THE CITY, RELEVANT LAWS, ORDINANCES, RULES AND OR REGULATIONS.																			
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1 EXISTING SITE PLAN
SCALE : 1/8" = 1'-0"



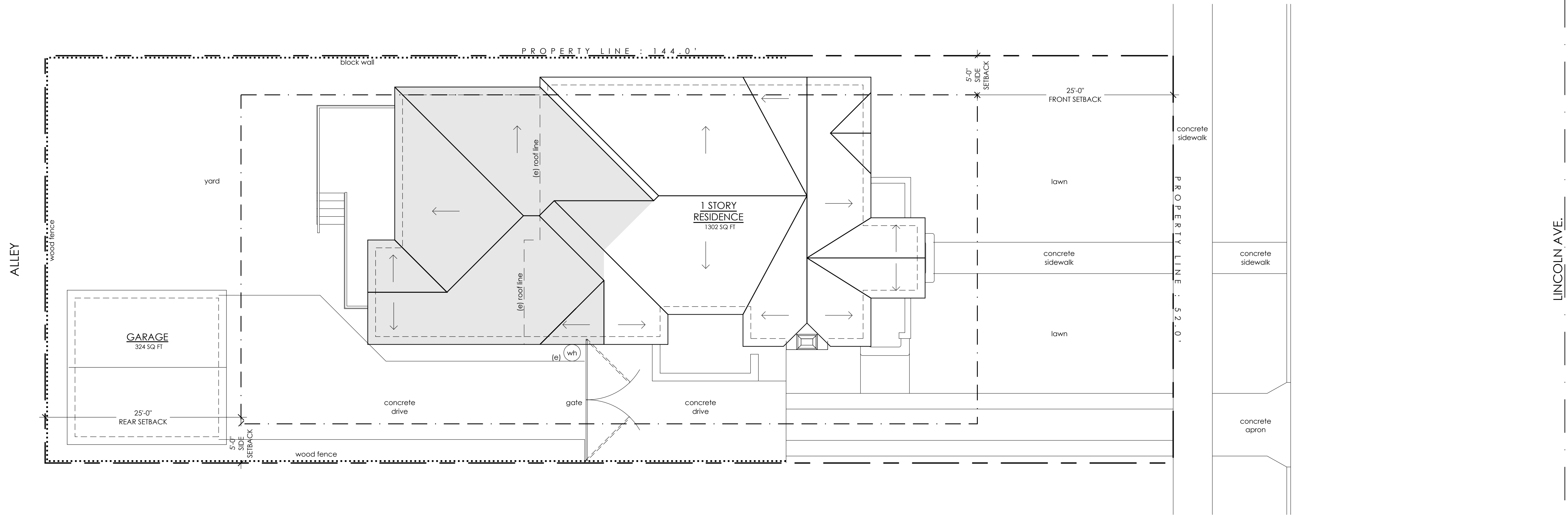
SITE PLAN - EXISTING

Project Name
PEREZ RESIDENCE
320 LINCOLN AVE.
POMONA, CA 91767

DATE
05 | 29 | 2019

REVISION
DATE
05 | 29 | 2019
PLANNING SUBMITTAL

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SITE PLAN - PROPOSED

Project Name
PEREZ RESIDENCE
320 LINCOLN AVE.
POMONA, CA 91767

DATE
November 19, 2019

ISSUE
11 | 19 | 19

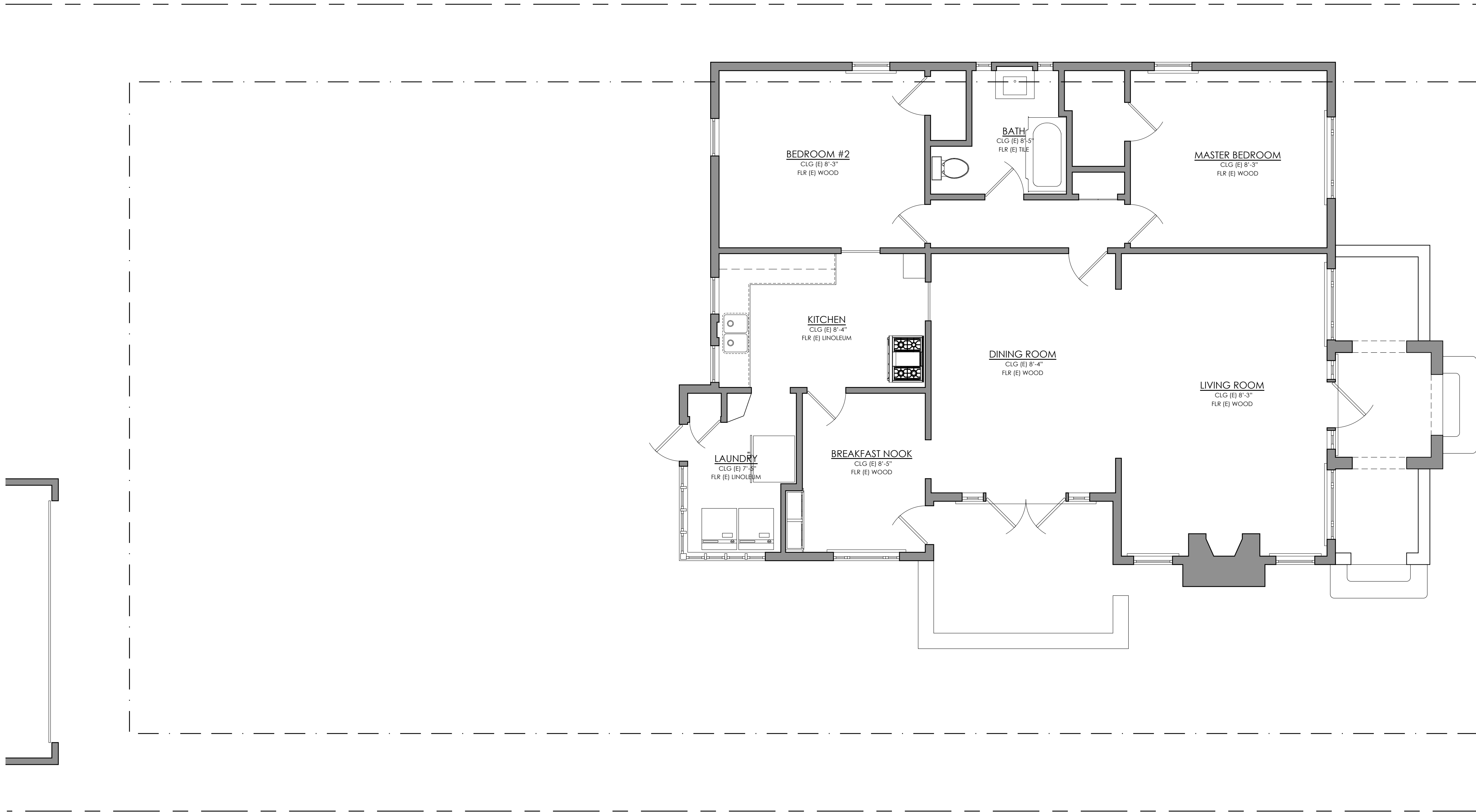
REVISION
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05 | 29 | 2019

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AREA CALCULATIONS	
EXISTING HOUSE	1302 SF
EXISTING GARAGE	338 SF
TOTAL	1640 SF
ALLOWED	2620 SF

WALL LEGEND	
	EXISTING WALL
	NEW WALLS
	DEMOLISHED WALL

- SCOPE OF WORK:
- DEMOLITION
- (E) REMOVE BLT IN BOOK SHELVES AS INDICATED
 - (E) REMOVE DOOR PREP FOR OPPOSITE SWING DIRECTION
 - (E) REMOVE SOFFIT ABOVE SINK
 - (E) REMOVE SHOWER ENCLOSURE
 - (E) REMOVE VANITY AND SINK
 - (E) REMOVE BATH FIXTURES
 - (E) REMOVE BATH CABINETRY
 - (E) REMOVE TILE SHOWER SURROUND
 - (E) REMOVE TILE FLOORING

1 FIRST FLOOR - EXISTING

SCALE : 1/4" = 1'-0"

FLOOR PLAN - EXISTING

DATE
05 | 29 | 2019

REV
WF

ISSUE
11 | 19 | 19

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POMONA, CA 91767

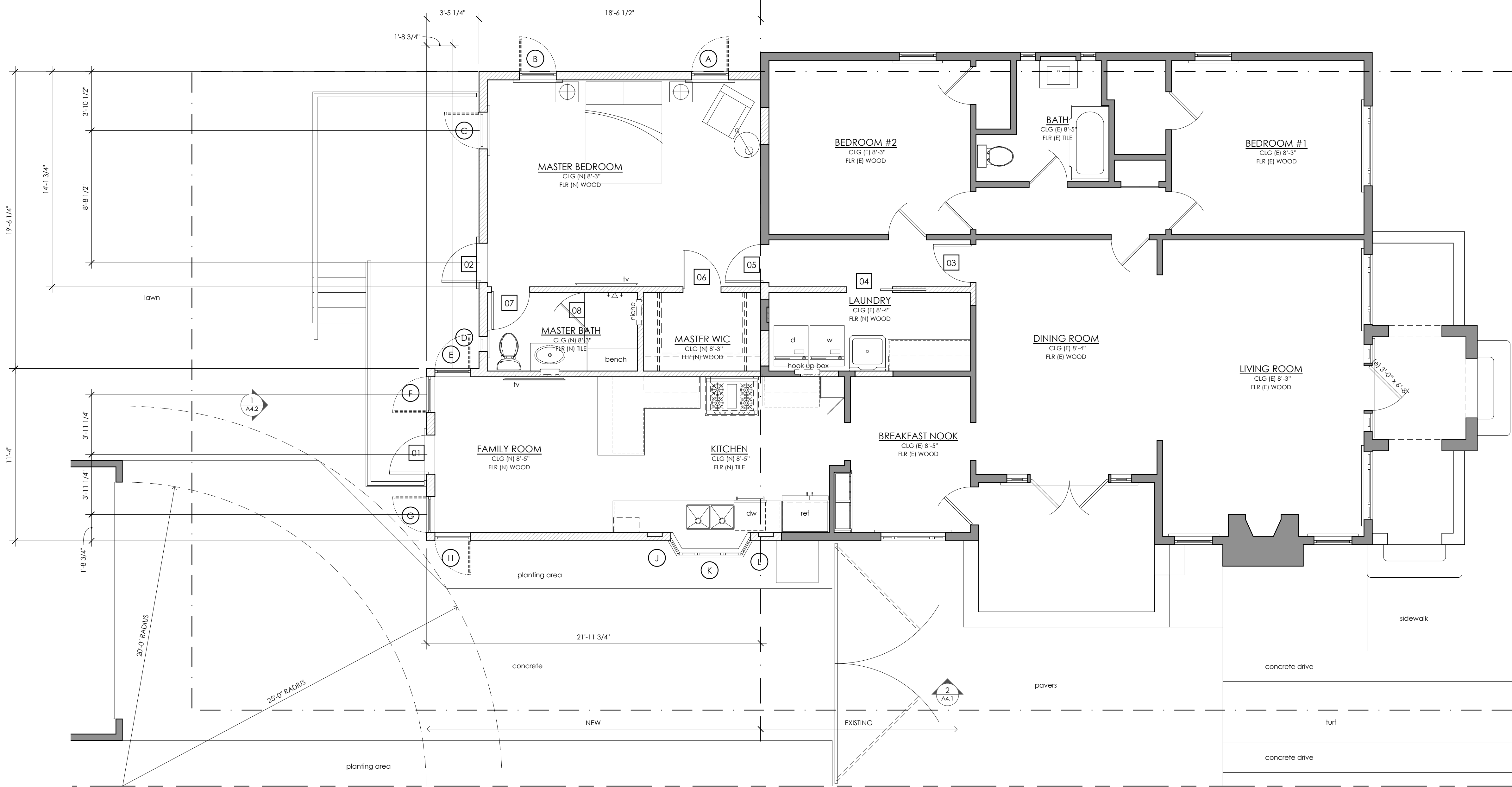
DATE
November 19, 2019

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WINDOW SCHEDULE				
SYMBOL	SIZE	FRAME	GLASS TYPE	REMARKS
A	30 x 62	WD	INSULATED	CASEMENT - RT - OUT-SWING
B	30 x 62	WD	INSULATED	CASEMENT - LT - OUT-SWING
C	30 x 62	WD	INSULATED	CASEMENT - RT - OUT-SWING
D	12 x 38	WD	INSULATED	SINGLE HUNG
E	28 x 62	WD	INSULATED	CASEMENT - RT - OUT-SWING
F	28 x 62	WD	INSULATED	CASEMENT - LT - OUT-SWING
G	28 x 62	WD	INSULATED	CASEMENT - RT - OUT-SWING
H	28 x 62	WD	INSULATED	CASEMENT - LT - OUT-SWING
J	12 x 38	WD	INSULATED	FIXED
K	48 x 38	WD	INSULATED	FIXED
L	12 x 38	WD	INSULATED	CASEMENT - LT - OUT-SWING

DOOR SCHEDULE						
#	SIZE	FRAME	FINISH		HARDWARE GROUP	REMARKS
			DOOR	FRAME		
01	2'-6" x 6'-8"	WD	-	-	1	SINGLE LITE
02	2'-6" x 6'-8"	WD	-	-	1	SINGLE LITE
03	2'-6" x 6'-8"	WD	-	-	2	SOLID CORE
04	3'-0" x 6'-8"	WD	-	-	3	SOLID CORE - POCKET DOOR
05	2'-6" x 6'-8"	WD	-	-	4	SOLID CORE
06	2'-6" x 6'-8"	WD	-	-	2	SOLID CORE
07	2'-6" x 6'-8"	WD	-	-	4	SOLID CORE
08	3'-0" x 7'-0"	-	-	-	1	GLASS SHOWER DOOR



AREA CALCULATIONS	
EXISTING	1,640 SF
ADDITION	612 SF
TOTAL	2,252 SF
ALLOWED	2,620 SF

WALL LEGEND	
	EXISTING WALL
	NEW WALLS
	DEMOLISHED WALL

- SCOPE OF WORK:
- DEMOLITION
- (E) REMOVE BLT IN BOOK SHELVES AS INDICATED
 - (E) REMOVE DOOR PREP FOR OPPOSITE SWING DIRECTION
 - (E) REMOVE SOFFIT ABOVE SINK
 - (E) REMOVE SHOWER ENCLOSURE
 - (E) REMOVE VANITY AND SINK
 - (E) REMOVE BATH FIXTURES
 - (E) REMOVE BATH CABINETRY
 - (E) REMOVE TILE SHOWER SURROUND
 - (E) REMOVE TILE FLOORING

1 FIRST FLOOR - OPTION A

SCALE : 1/4" = 1'-0"

FLOOR PLAN - NEW

Project Name
PEREZ RESIDENCE
320 LINCOLN AVE
POMONA, CA 91767

DATE
November 19, 2019

A3.1

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DRAWING:
SCALE: 1/4" = 1'-0"
HALF SCALE ON 11 x 17 SHEET

FLOOR PLAN - NEW

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FLOOR PLAN - ELECTRICAL

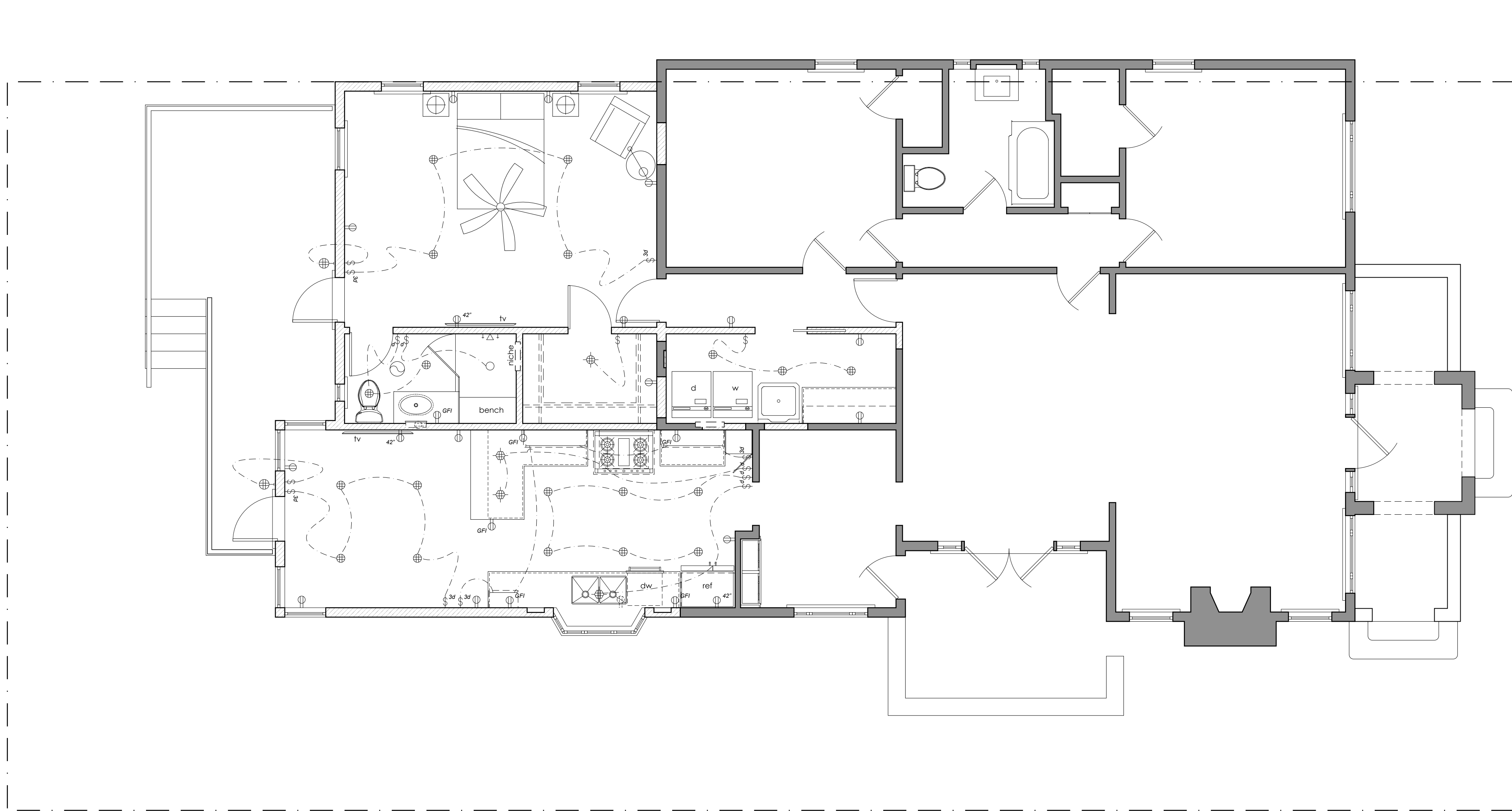
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November 19, 2019

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ELECTRICAL KEY	
Ⓢ	SWITCH
Ⓢ*	DIMMER SWITCH
Ⓢ*	THREE WAY SWITCH
Ⓢ*	THREE WAY DIMMER SWITCH
Ⓢ*	FOUR WAY SWITCH
Ⓢ*	FOUR WAY DIMMER SWITCH
Ⓢ*	OCCUPANCY SENSOR SWITCH
Ⓢ*	RECEPTACLE
Ⓢ	1/2 HOT - 1/2 SWITCH RECEPTACLE
Ⓢ*	GFI RECEPTACLE
Ⓢ*	WATER PROOF GFI RECEPTACLE
Ⓢ*	220 VOLT RECEPTACLE
Ⓢ*	4 PLEX RECEPTACLE
Ⓢ*	4 PLEX RECEPTACLE IN FLOOR
Ⓢ*	COAXIAL CABLE
Ⓢ*	SIAMASE COAXIAL CABLE
Ⓢ*	CAT 5 CABLE
Ⓢ*	DOUBLE CAT 5 CABLE
Ⓢ*	VENTILATION FAN
Ⓢ*	VENTILATION FAN COMBO
Ⓢ*	SMOKE DETECTOR
Ⓢ*	CARBON MONOXIDE DETECTOR
Ⓢ*	RECESSED LINE-VOLTAGE DOWNLIGHT
Ⓢ*	RECESSED LOW-VOLTAGE DOWNLIGHT
Ⓢ*	RECESSED LED DOWNLIGHT
Ⓢ*	SURFACE MOUNTED LINE-VOLTAGE FIXTURE
Ⓢ*	SURFACE MOUNTED LOW-VOLTAGE FIXTURE
Ⓢ*	SURFACE MOUNTED LED FIXTURE
Ⓢ*	PENDANT LINE-VOLTAGE FIXTURE
Ⓢ*	PENDANT LOW-VOLTAGE FIXTURE
Ⓢ*	PENDANT LED FIXTURE
Ⓢ*	RECESSED ACCENT LINE-VOLTAGE DOWNLIGHT
Ⓢ*	RECESSED ACCENT LOW-VOLTAGE DOWNLIGHT
Ⓢ*	RECESSED ACCENT LED DOWNLIGHT
Ⓢ*	WALL-MOUNTED LINE-VOLTAGE FIXTURE
Ⓢ*	WALL-MOUNTED LOW-VOLTAGE FIXTURE
Ⓢ*	WALL-MOUNTED LED FIXTURE
Ⓢ*	RECESSED WATERPROOF LIGHT
Ⓢ*	SECURITY LIGHT
Ⓢ*	LED LINEAR FIXTURE (SCALE ALONG X-AXIS)
Ⓢ*	SPEAKER LOCATION
Ⓢ*	CEILING FAN



AREA CALCULATIONS	
EXISTING	1640 SF
ADDITION	612 SF
TOTAL	2252 SF
ALLOWED	2620 SF

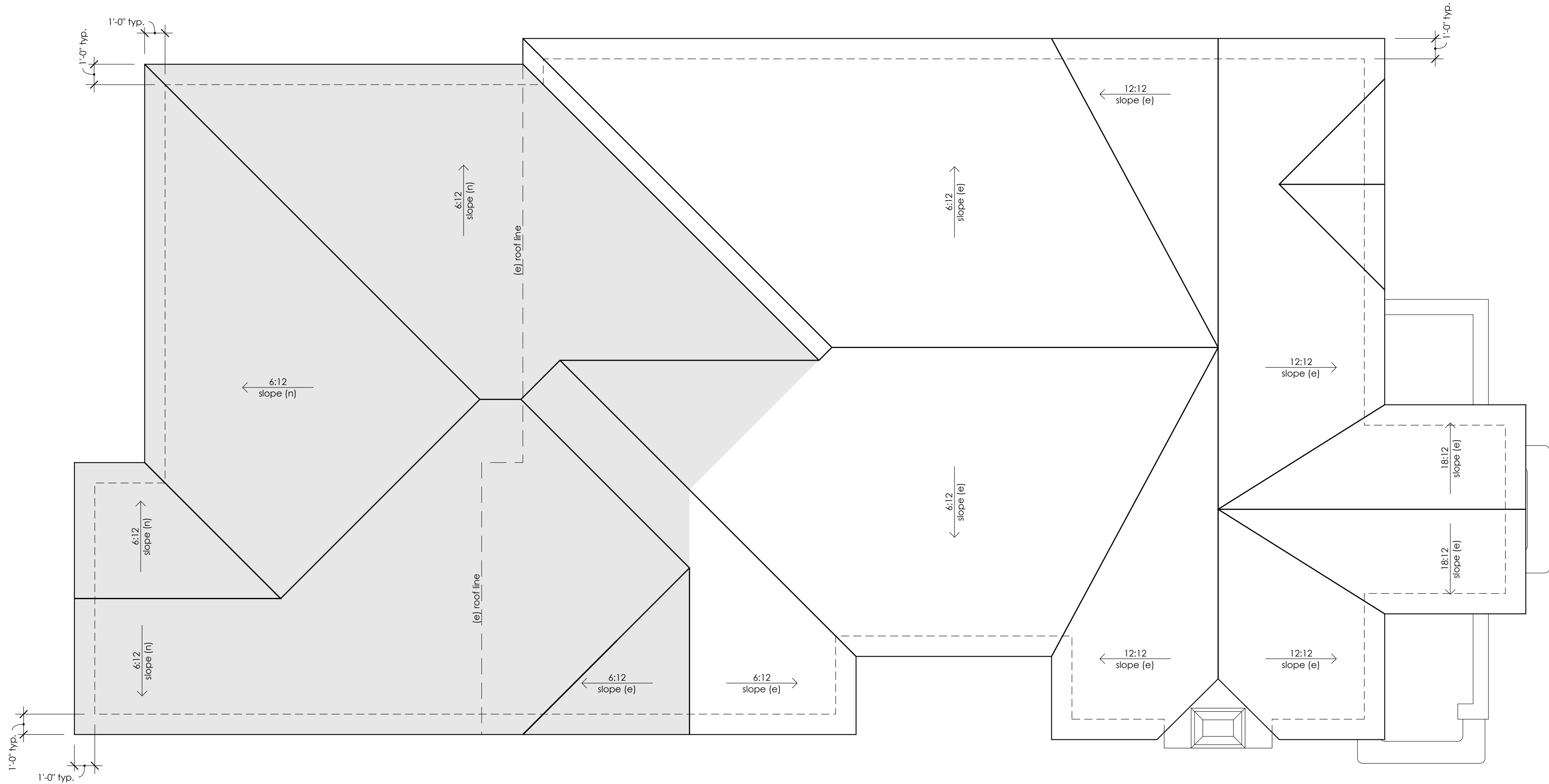
WALL LEGEND	
	EXISTING WALL
	NEW WALLS
	DEMOLISHED WALL

- SCOPE OF WORK:
- DEMOLITION
- (E) REMOVE BLT IN BOOK SHELVES AS INDICATED
 - (E) REMOVE DOOR PREP FOR OPPOSITE SWING DIRECTION
 - (E) REMOVE SOFFIT ABOVE SINK
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 - (E) REMOVE VANITY AND SINK
 - (E) REMOVE BATH FIXTURES
 - (E) REMOVE BATH CABINETRY
 - (E) REMOVE TILE SHOWER SURROUND
 - (E) REMOVE TILE FLOORING

1 FIRST FLOOR - OPTION A

SCALE : 1/4" = 1'-0"

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1 ROOF PLAN
SCALE : 1/4" = 1'-0"



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ROOF PLAN - NEW
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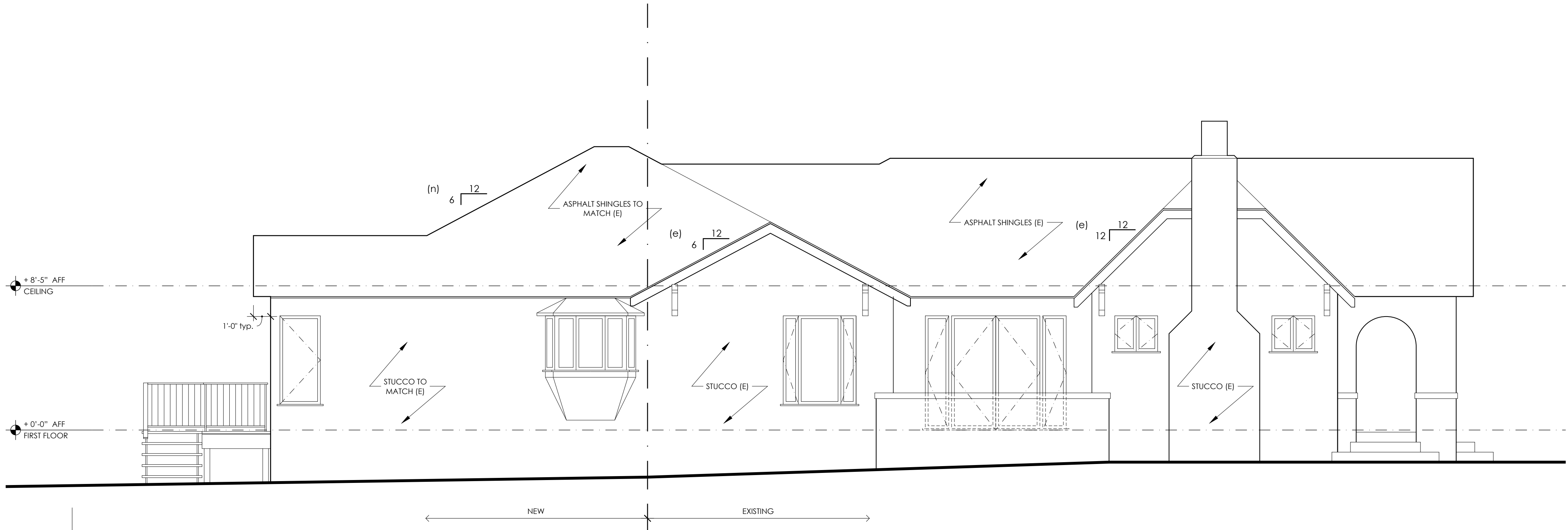
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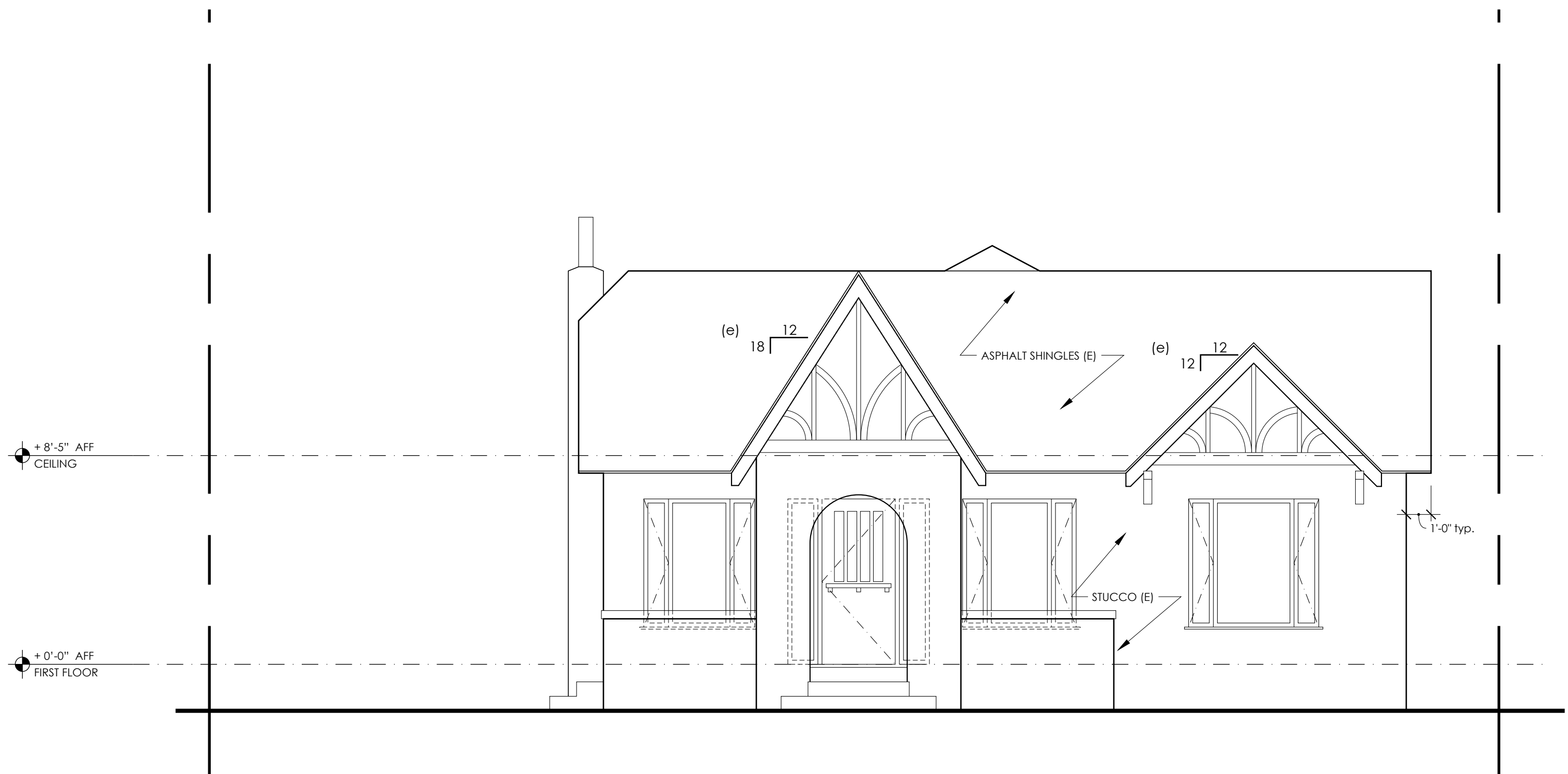
4 WOOD TRIM COLOR - NEW TO MATCH (E)
SCALE : NTS



3 STUCCO COLOR AND TEXTURE - NEW TO MATCH (E)
SCALE : NTS



2 EAST ELEVATION - EXTERIOR
SCALE : 1/4" = 1'-0"



1 NORTH ELEVATION - EXTERIOR
SCALE : 1/4" = 1'-0"

ELEVATIONS

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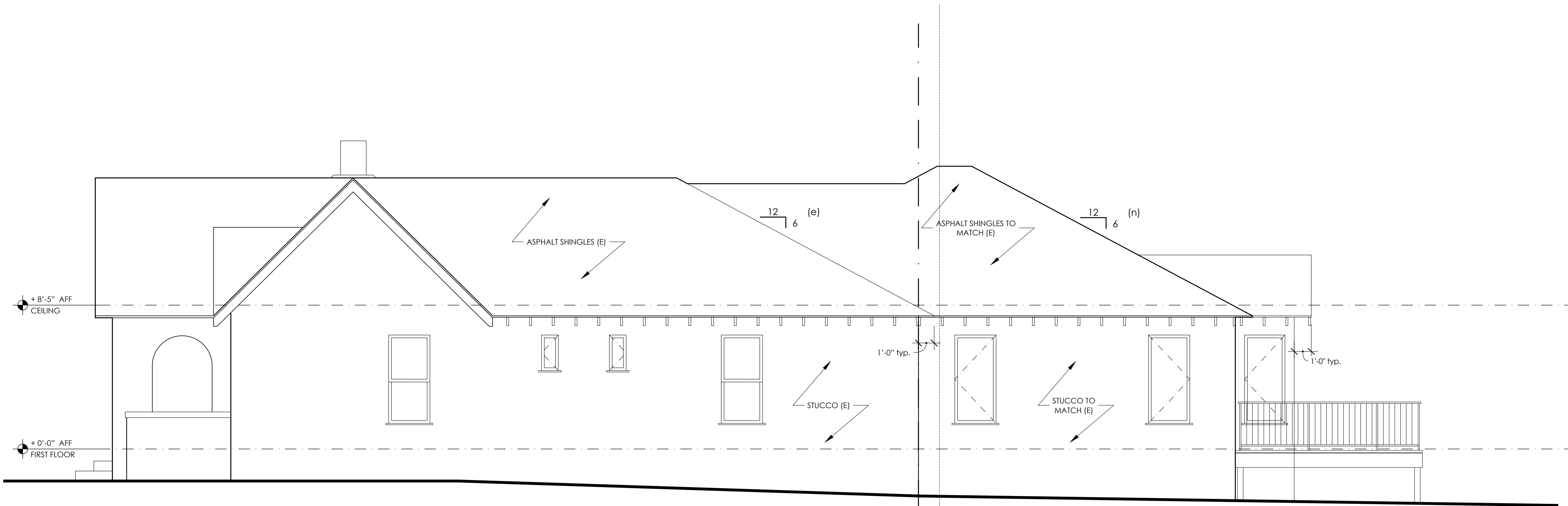
ELEVATIONS

DATE
November 19, 2019

A4.1

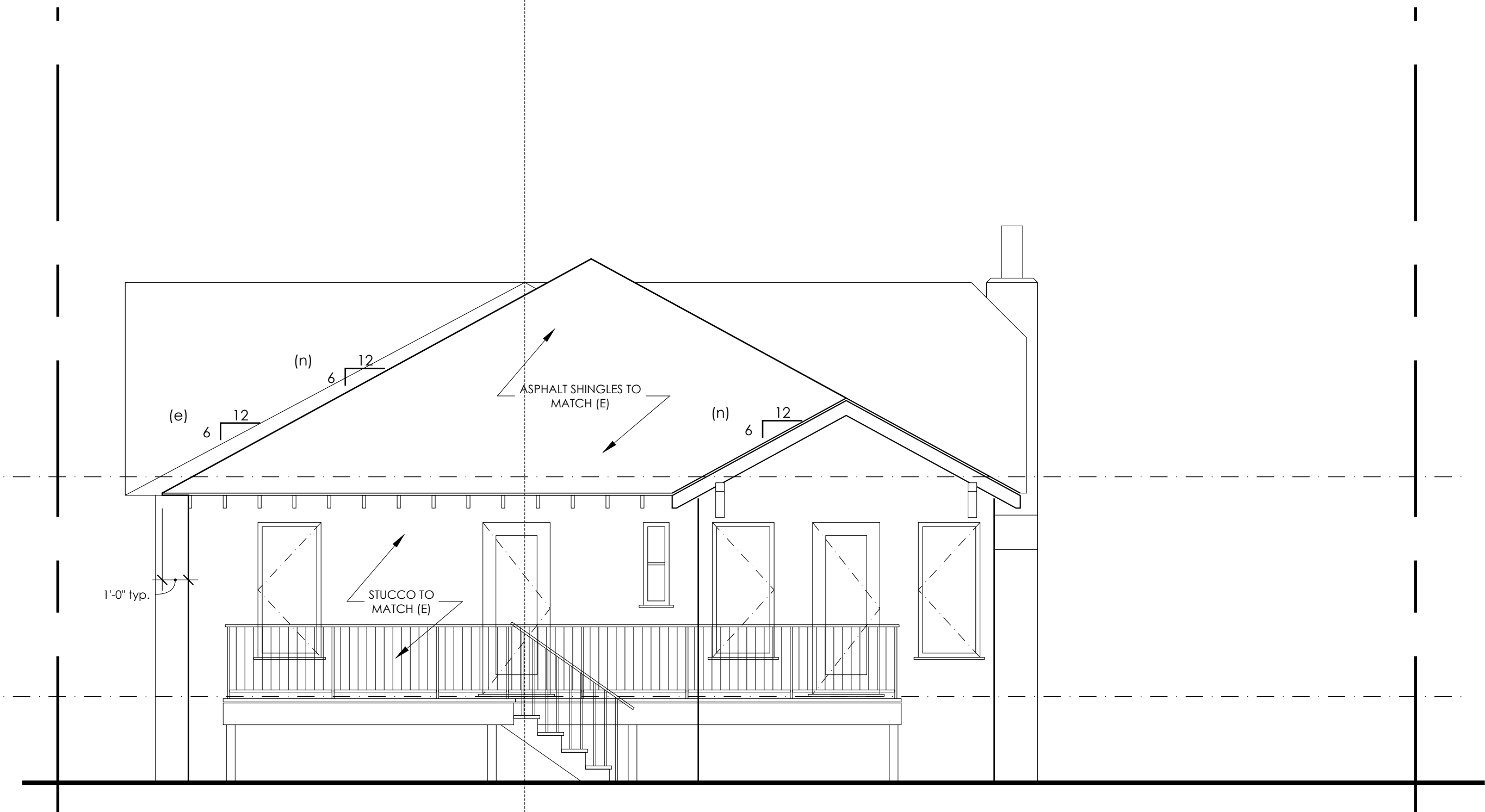
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2 WEST ELEVATION - EXTERIOR

SCALE : 1/4" = 1'-0"



1 SOUTH ELEVATION - EXTERIOR

SCALE : 1/4" = 1'-0"

ELEVATIONS

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