

1325 W. Grand Ave. Pomona, CA 91766

PROJECT DATA:

OWNER: TOP HOME WLW, LLC, TEL: 626-252-3658  
PROJECT ADDRESS: 1325 W. Grand Ave. Pomona, CA 91766  
APN#: 8349-026-036

LOT: 9,079 SF.

PROPOSED 3-UNIT CONDOMINIUM SUBDIVISION

PROPOSED 2-STORY CONDO, PARCEL 1: 1,627 SF. (1st FLOOR: 562 SF. 2nd FLOOR: 1,065 SF.)  
PROPOSED 2-STORY CONDO, PARCEL 2: 1,627 SF. (1st FLOOR: 562 SF. 2nd FLOOR: 1,065 SF.)  
PROPOSED 2-STORY CONDO, PARCEL 3: 1,627 SF. (1st FLOOR: 562 SF. 2nd FLOOR: 1,065 SF.)

PROPOSED 2-CAR GARAGE FOR PARCEL 1: 522 SF.  
PROPOSED 2-CAR GARAGE FOR PARCEL 2: 522 SF.  
PROPOSED 2-CAR GARAGE FOR PARCEL 3: 522 SF.

COMMON OPEN SPACE REQUIRED: 1,500 SF. ( TOTAL 9 BEDROOMS )  
COMMON OPEN SPACE PROVIDED: 1,513 SF.

PRIVATE OPEN SPACE FOR EACH UNIT REQUIRED: 150 SF.  
PRIVATE OPEN SPACE FOR EACH UNIT PROVIDED: 150 SF. (BALCONY: 8'-0" X 18'-9")

GUEST PARKING NOT REQUIRED DUE TO 3 UNITS

TYPE OF CONSTRUCTION: V-B, FIRE SPRINKLER: NO

NUMBER OF STORY: 2,

CODE COMPLIANCE: 2016 CBC, CPC, CEC, CMC, CRC CODE EDITIONS.  
2016 CALIFORNIA ENERGY CODE,  
2016 CALGREEN CODE

OCCUPANCY GROUP: R-3 / U

CONTACT/DESIGNER

DESIGNER: STEVE SUN,  
TELEPHONE: 626-262-9668  
EMAIL: smg80919@gmail.com  
2226 8TH ST. LA VERNE, CA 91750

OWNER

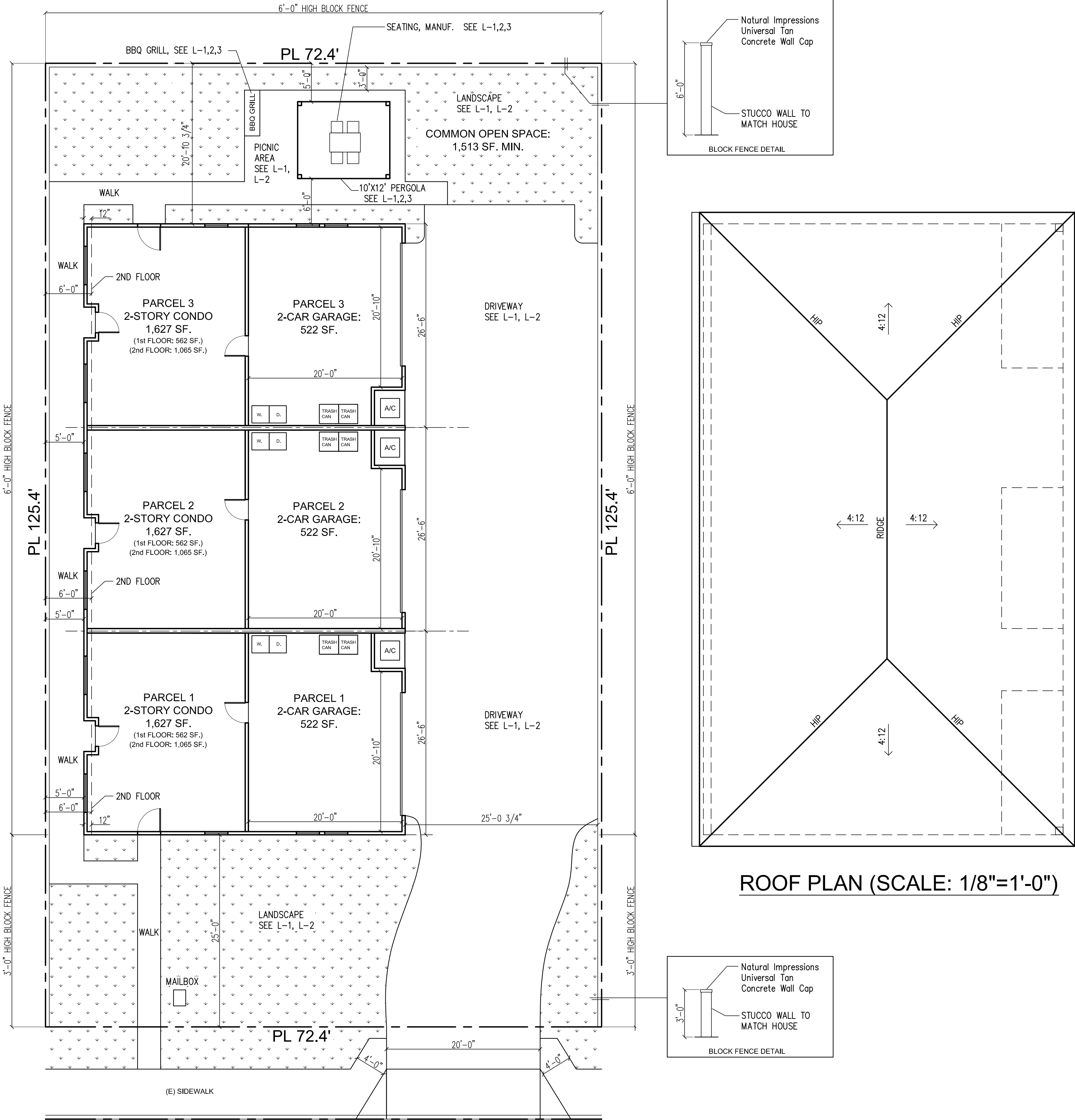
TOP HOME WLW, LLC,  
TELEPHONE: 626-252-3658  
EMAIL: mikelee729@hotmail.com  
419 FOXBORO DR. WALNUT, CA 91789

CIVIL ENGINEER

CAL LAND ENGINEERING, INC.,  
TELEPHONE: 714-671-1050  
576 E. LAMBERT RD. BREA, CA 92821

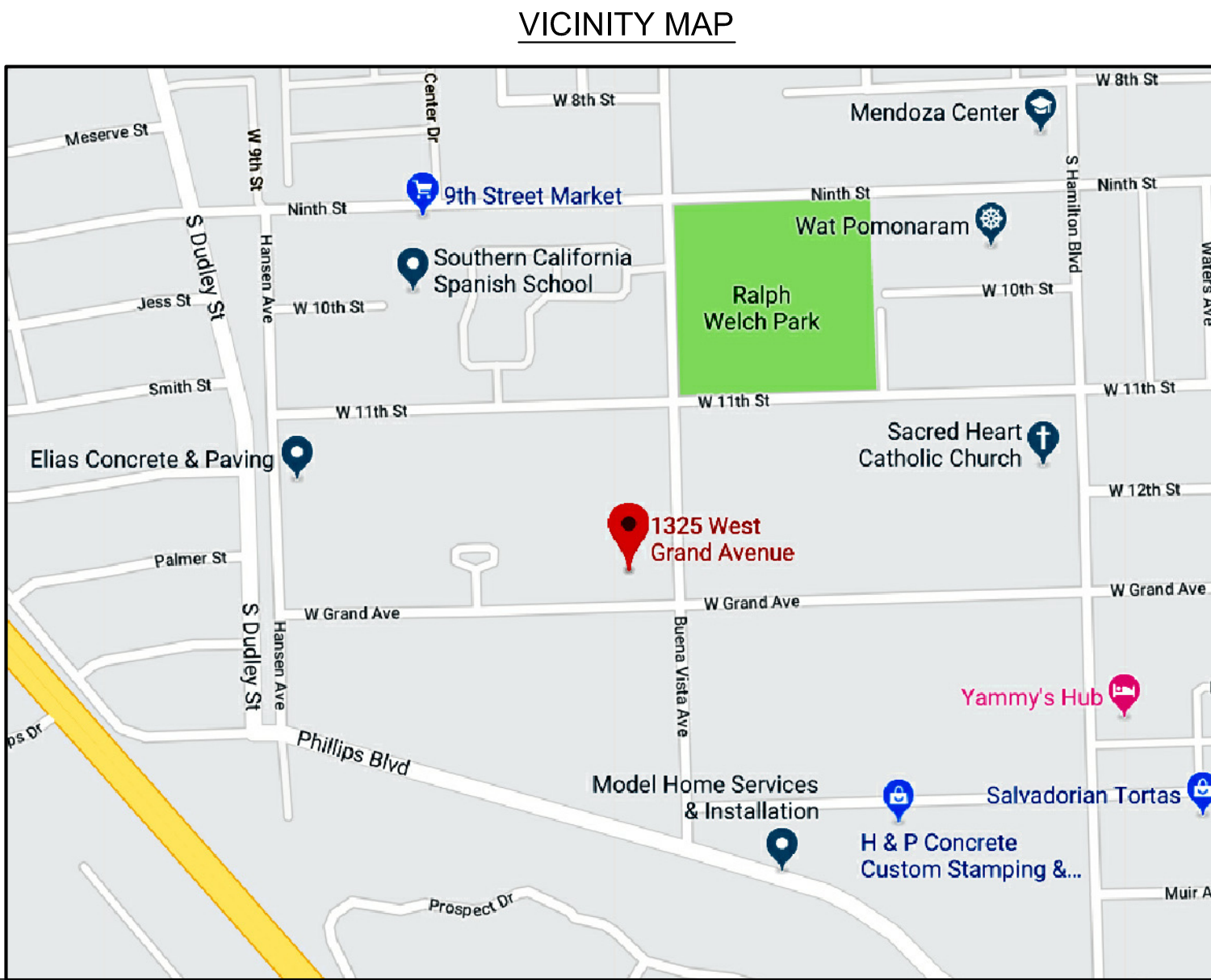
LANDSCAPE ARCHITECT

AQX ENGINEERING INC.  
TELEPHONE: 714-662-0510  
1520 BROOKHOLLOW, # 45, SANTA ANA, CA 92705



ROOF PLAN (SCALE: 1/8"=1'-0")

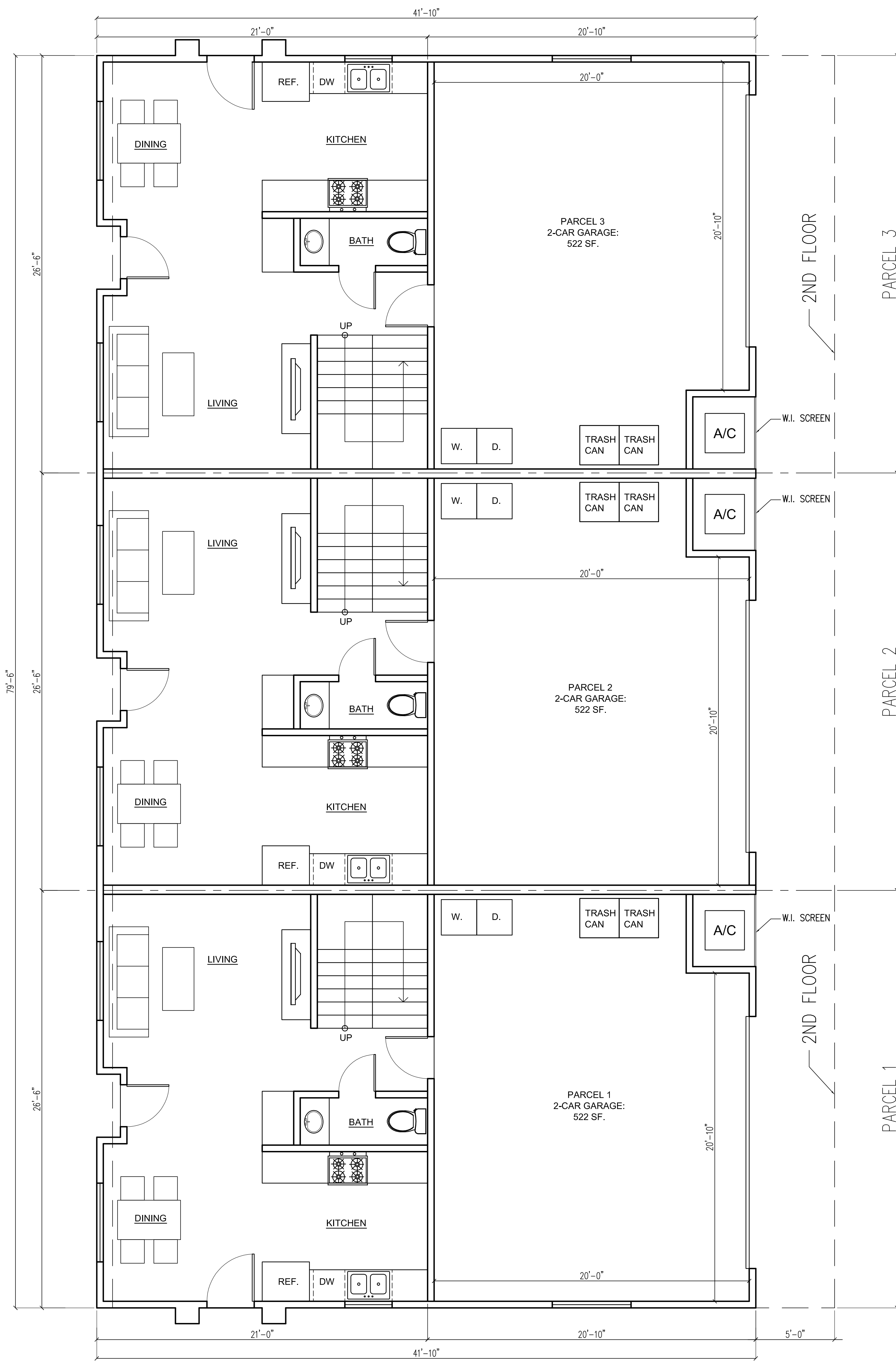
SITE PLAN (SCALE: 1/8"=1'-0")



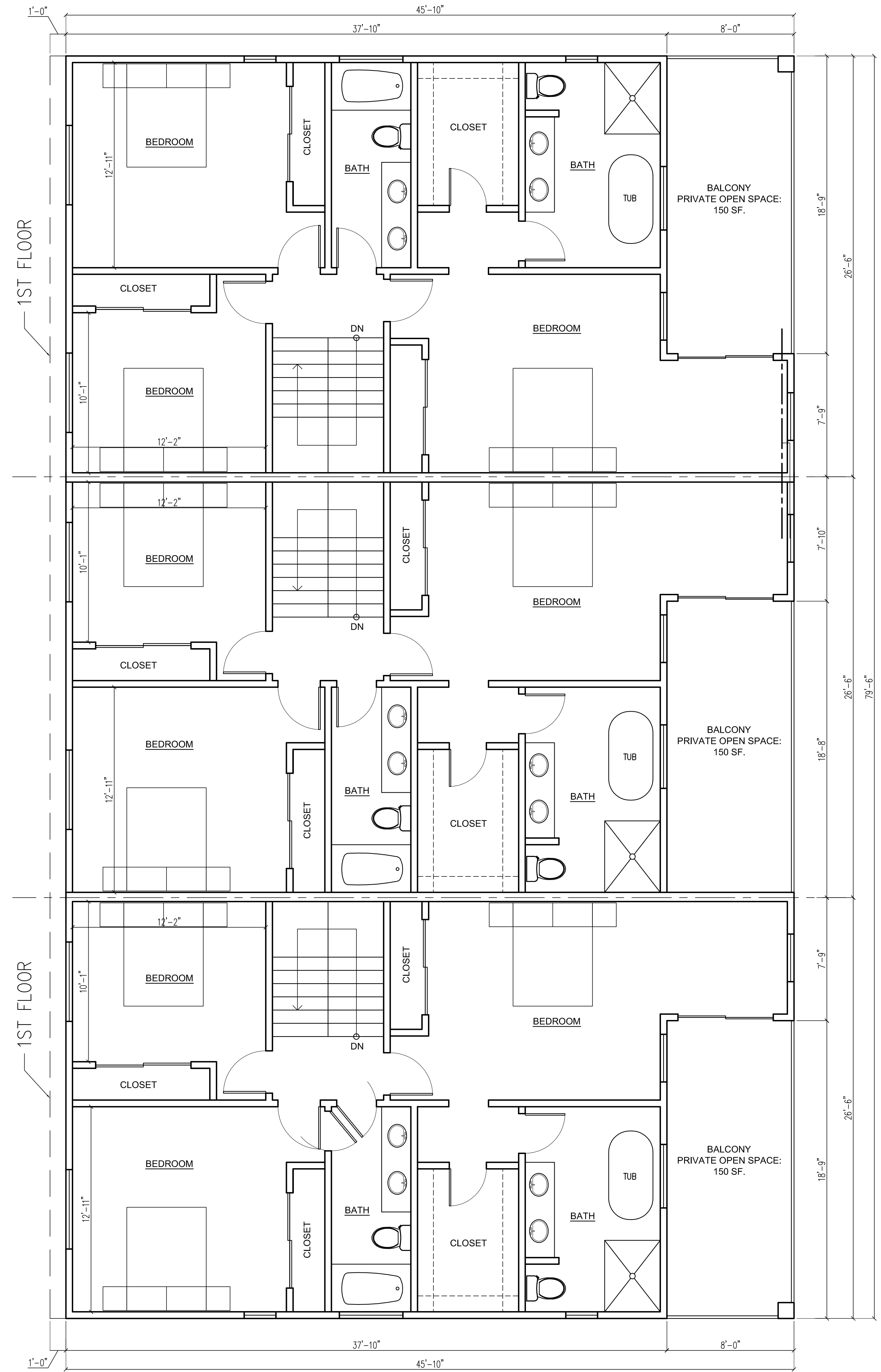
PROJECT ADDRESS  
1325 W. Grand Ave.  
Pomona, CA 91766

DATE:  
SCALE:  
TITLE:

A-0.0



1ST FLOOR PLAN (SCALE: 1/4"=1'-0")



2ND FLOOR PLAN (SCALE: 1/4"=1'-0")



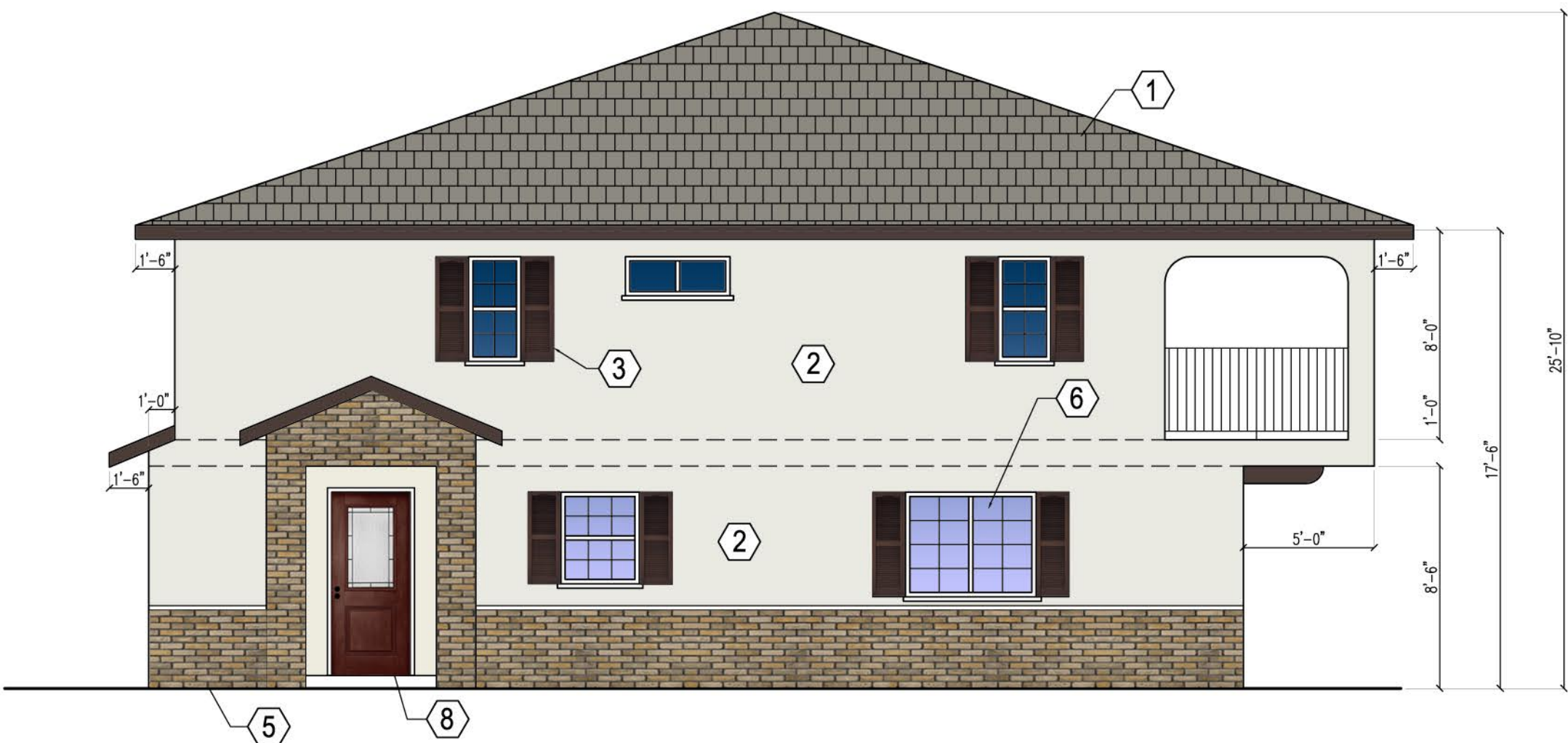
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1325 W. Grand Ave.  
Pomona, CA 91766

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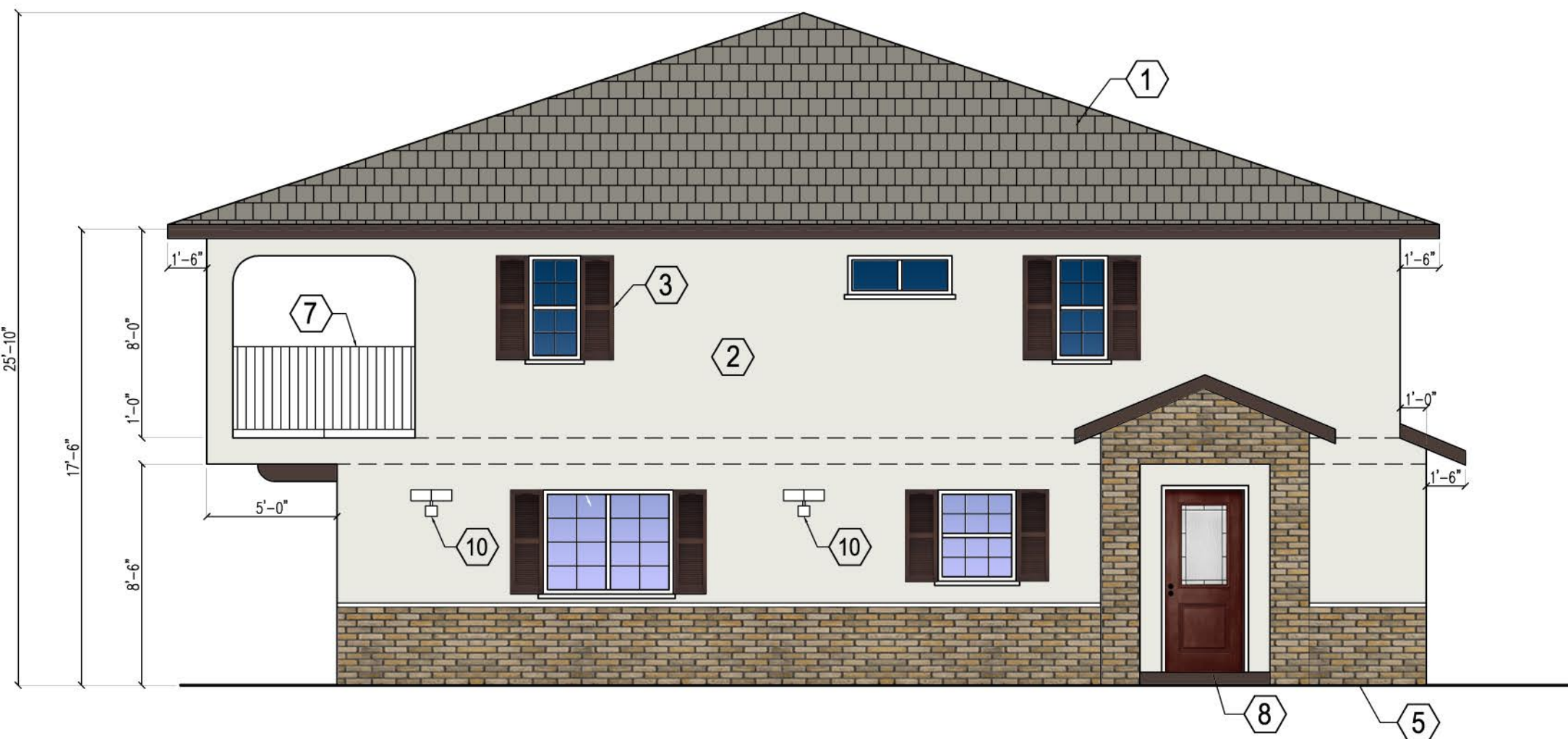




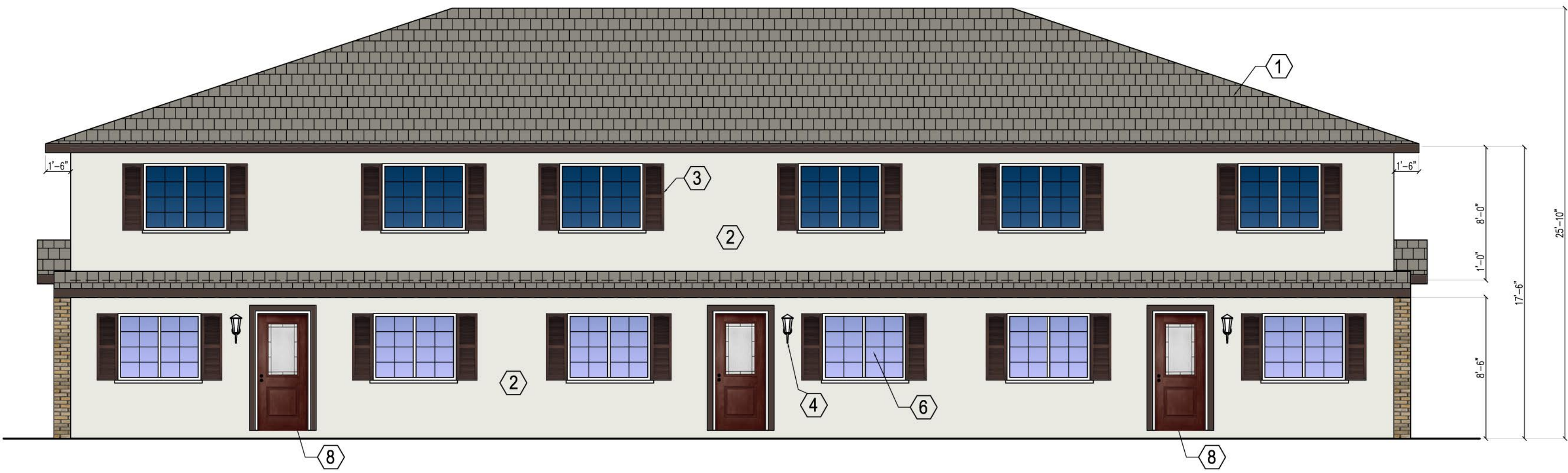
**SOUTH ELEVATION (SCALE: 3/16"=1'-0")**



**EAST ELEVATION (SCALE: 3/16"=1'-0")**



**NORTH ELEVATION (SCALE: 3/16"=1'-0")**



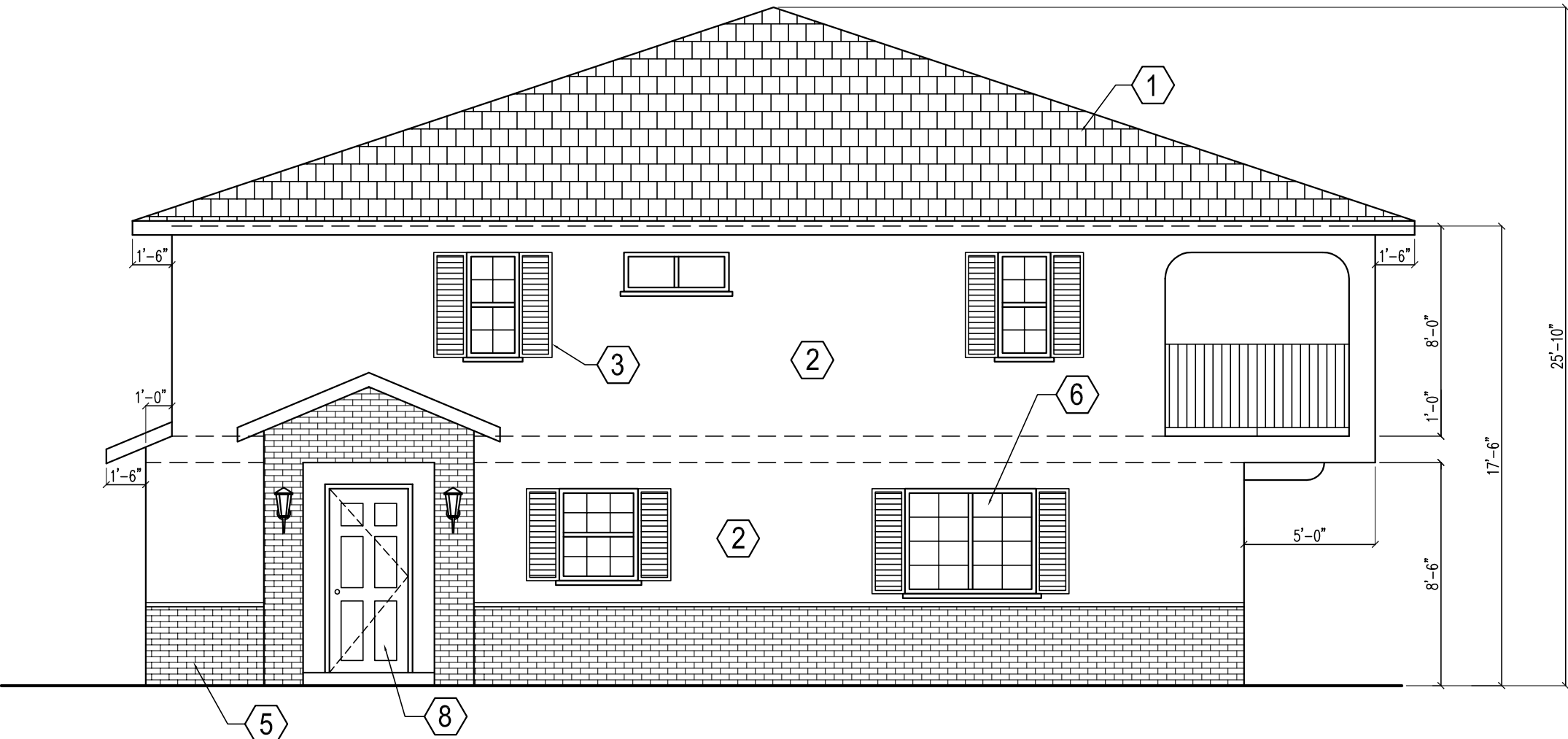
**WEST ELEVATION (SCALE: 3/16"=1'-0")**

①	ROOF TILE	EAGLE TILE, 297 Slate Range Profile: Bel Air
②	STUCCO	MERLEX STUCCO, P-525 NAVAJO WHITE (A Base)
③	WINDOW SHUTTER	Louvered Vinyl Exterior Shutters Pair in #009 Federal Brown
④	EXTERIOR LIGHT	Hickory Point 12" High Walnut Bronze Outdoor Wall Light - Style # 09559, 12" high x 7 1/2" wide. Extends 9 1/4" from the wall. Backplate is 9" high x 5" wide. Weighs 7.37 lbs. Uses one maximum 60 watt standard base bulb (incandescent, LED, or CFL). Bulb not included.
⑤	veneer	Moroccan Sand Handmade Brick Veneer by Cultured Brick® 22207
⑥	WINDOW	JELD-WEN V-2500 Left-Operable Vinyl, White,
⑦	W.I. GUARD RAIL	ALEKO Madrid 5 ft. x 8 ft. Black Iron Fence Panel
⑧	ENTRY DOOR	JELD-WEN 36 in. x 80 in. Wendover Denim Stained Fiberglass Prehung Front Door with Brickmould
⑨	GARAGE DOOR	Clopay Classic Collection 16 ft. x 7 ft. Non-Insulated Solid White Garage Door
⑩	EXTERIOR LIGHT	Defiant 270 Degree White LED Bluetooth Motion Outdoor Security Light, Hardwired Floodlight featuring Wall-mount, 270-degree motion detection with up to 70 ft. range LED light produces 2350 lumens with 26.53 watt equivalence

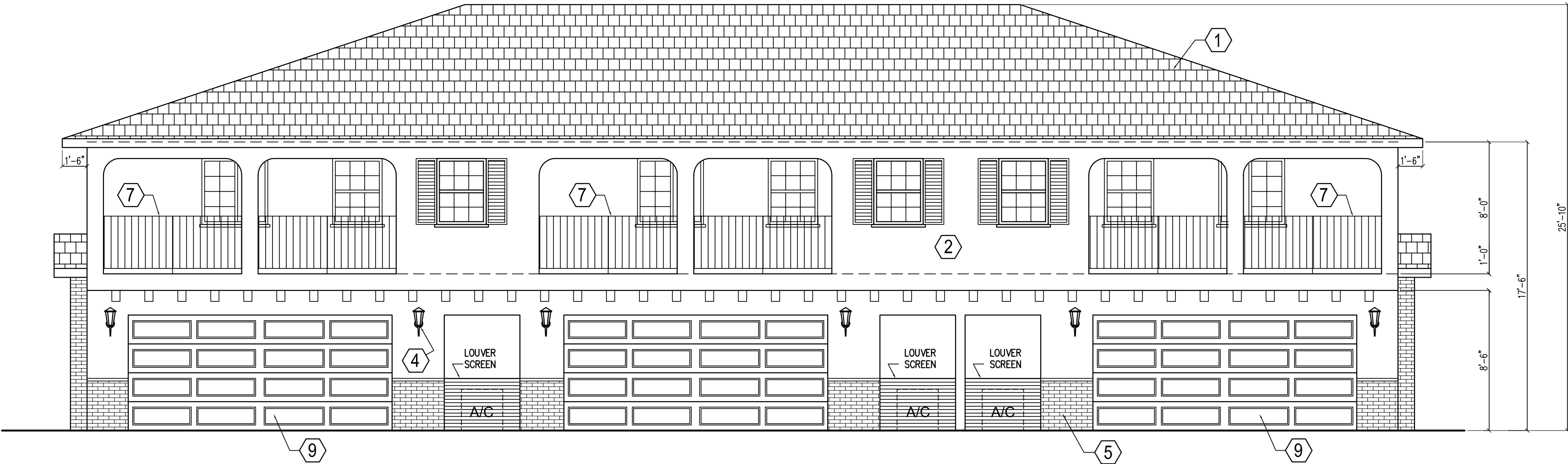
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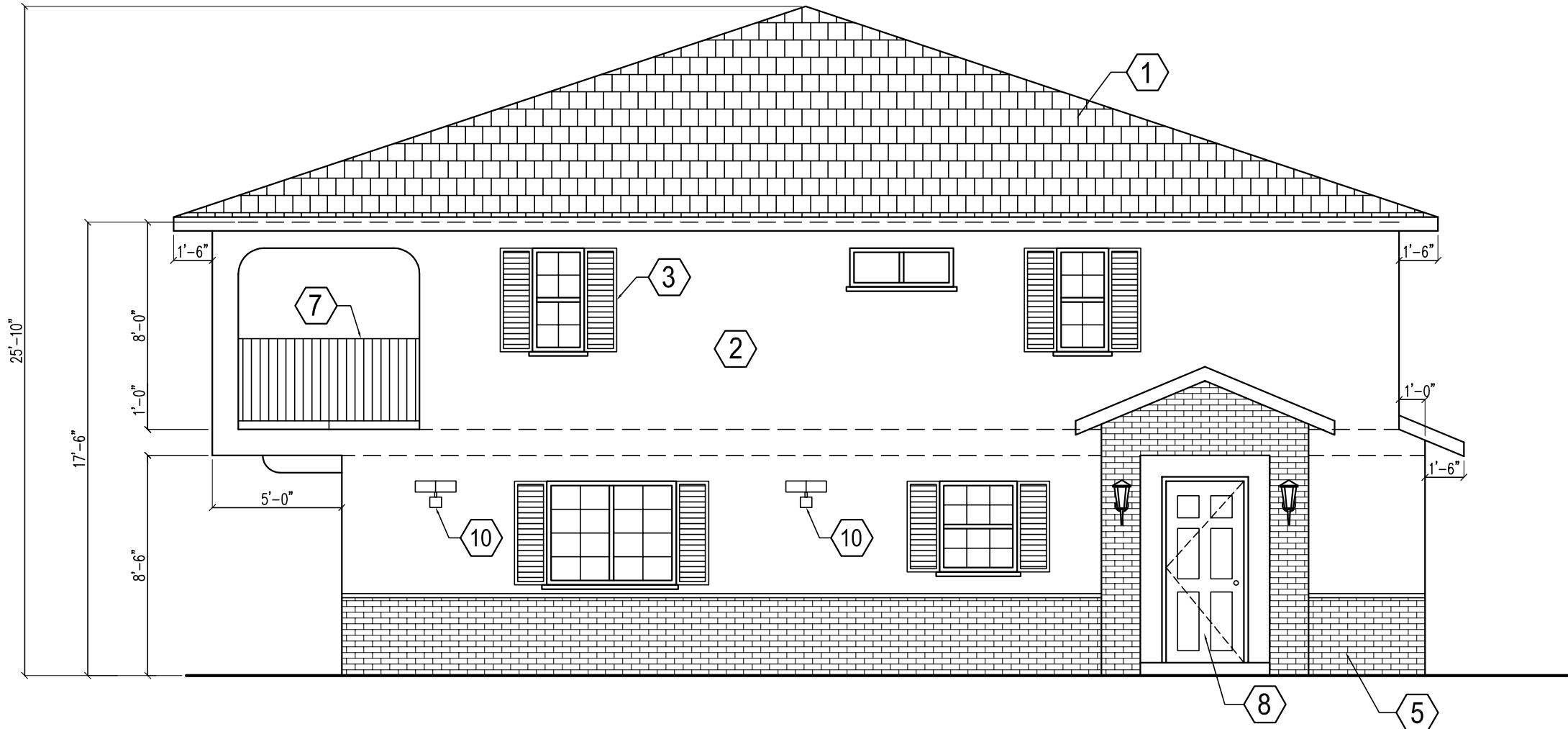




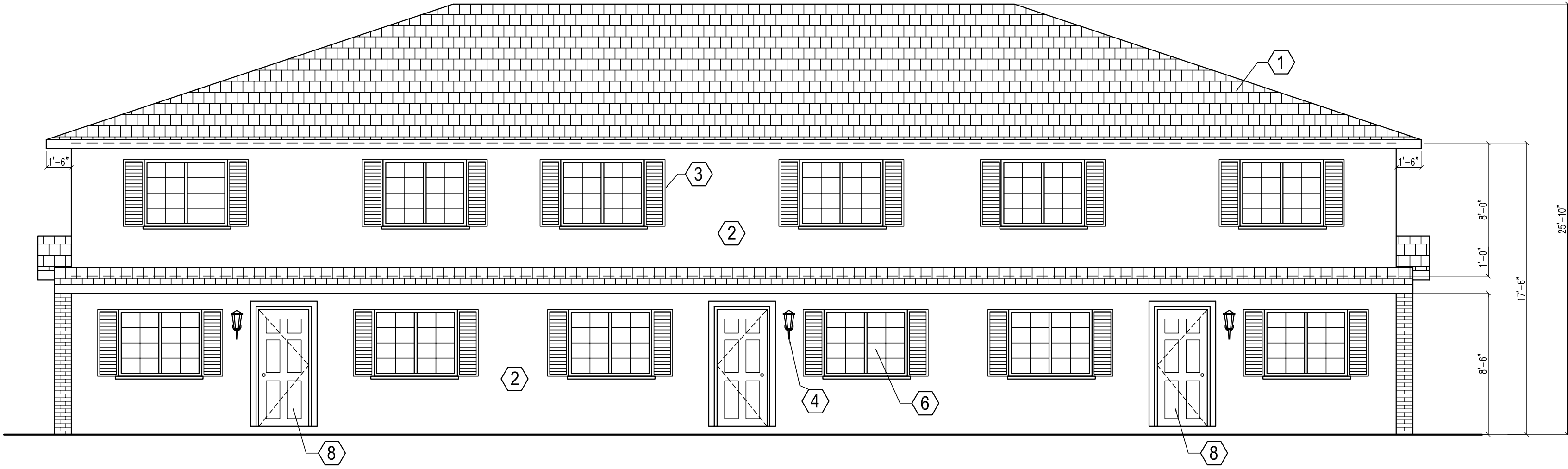
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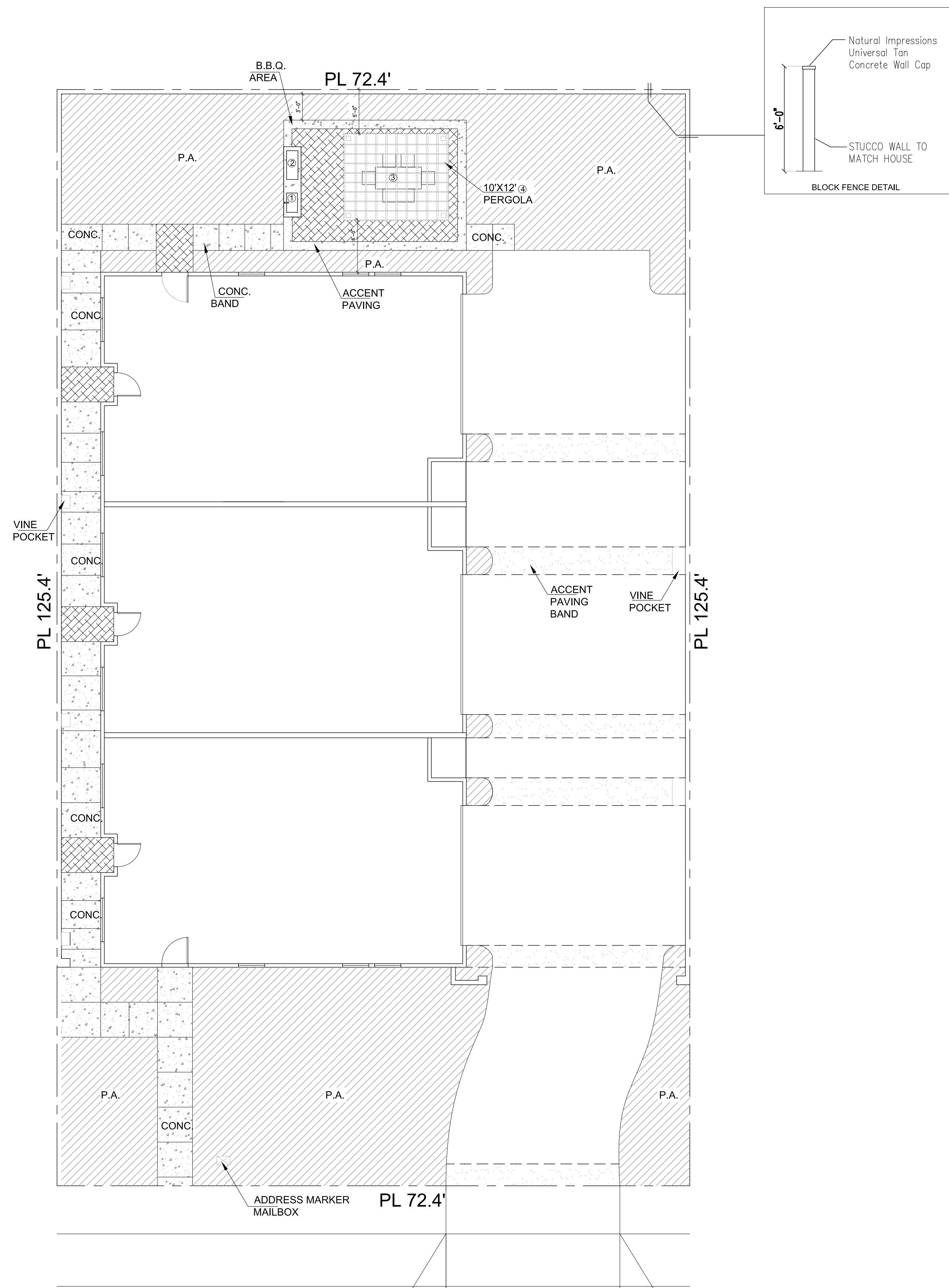
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GENERAL LANDSCAPE NOTES:

1. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERSTRUCTURE UTILITIES, PIPES, AND STRUCTURAL CONDITIONS. LANDSCAPE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES.
2. LANDSCAPE CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED, WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE LANDSCAPE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
3. SEE DETAILS AND SPECIFICATIONS FOR PLANTING REQUIREMENTS, MATERIALS AND EXECUTION.
4. ALL PLANTING MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. SPECIMEN TREES ARE TO BE TAGGED BY THE LANDSCAPE ARCHITECT.
5. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER SUBCONTRACTORS, AS REQUIRED, TO ACCOMPLISH IRRIGATION AND PLANTING OPERATIONS. LANDSCAPE CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR FOR ALL NECESSARY SLEEVING AND CONDUITS.
6. TREES AND SHRUBS LOCATIONS SHOWN ON LANDSCAPE PLAN ARE APPROXIMATE AND SHALL BE ADJUSTED, AS DIRECTED BY THE LANDSCAPE ARCHITECT.

7. THERE IS NO TREES ON SITE TO BE REMOVED.

1

① BBQ GRILL:

MAFUF. "AMERICAN OUTDOOR GRILL" 30NBT-00SP  
T-SERIES 30 INCH BUILT-IN NATURAL GAS GRILL



③ SEATING:

MANUF. "NOBLE HOUSE" TEAK BROWN 6-PIECE WICKER,  
WOOD AND IRON RECTANGULAR OUTDOOR DINING SET  
WITH BEIGE CUSHION.



② SINK:

MANUF. "KINGSTON" 21-INCH OUTDOOR RATED  
STAINLESS STEEL DROP IN SINK WITH HOT/COLD  
FAUCET.



④ PERGOLA:

MANUF. "BACKYARD DISCOVERY" 10 FT. X12 FT. READY TO  
ASSEMBLE CEDAR PERGOLA.



HARDSCAPE PLAN

1/8" = 1'-0"

AQX  
ENGINEERING INC.

1520 BROOKHOLLOW, SUITE 45  
SANTA ANA, CA 92705  
OFF. (714) 662-0510  
FAX. (714) 662-1050  
WWW.AQXENG.COM



Revisions

△ CITY PLAN CHECK CORR. 10-14-2019

PROJECT

CONDOMINIUM

1325 W GRAND AVE.  
POMONA, CA  
91766

Drawing Title

HARDSCAPE

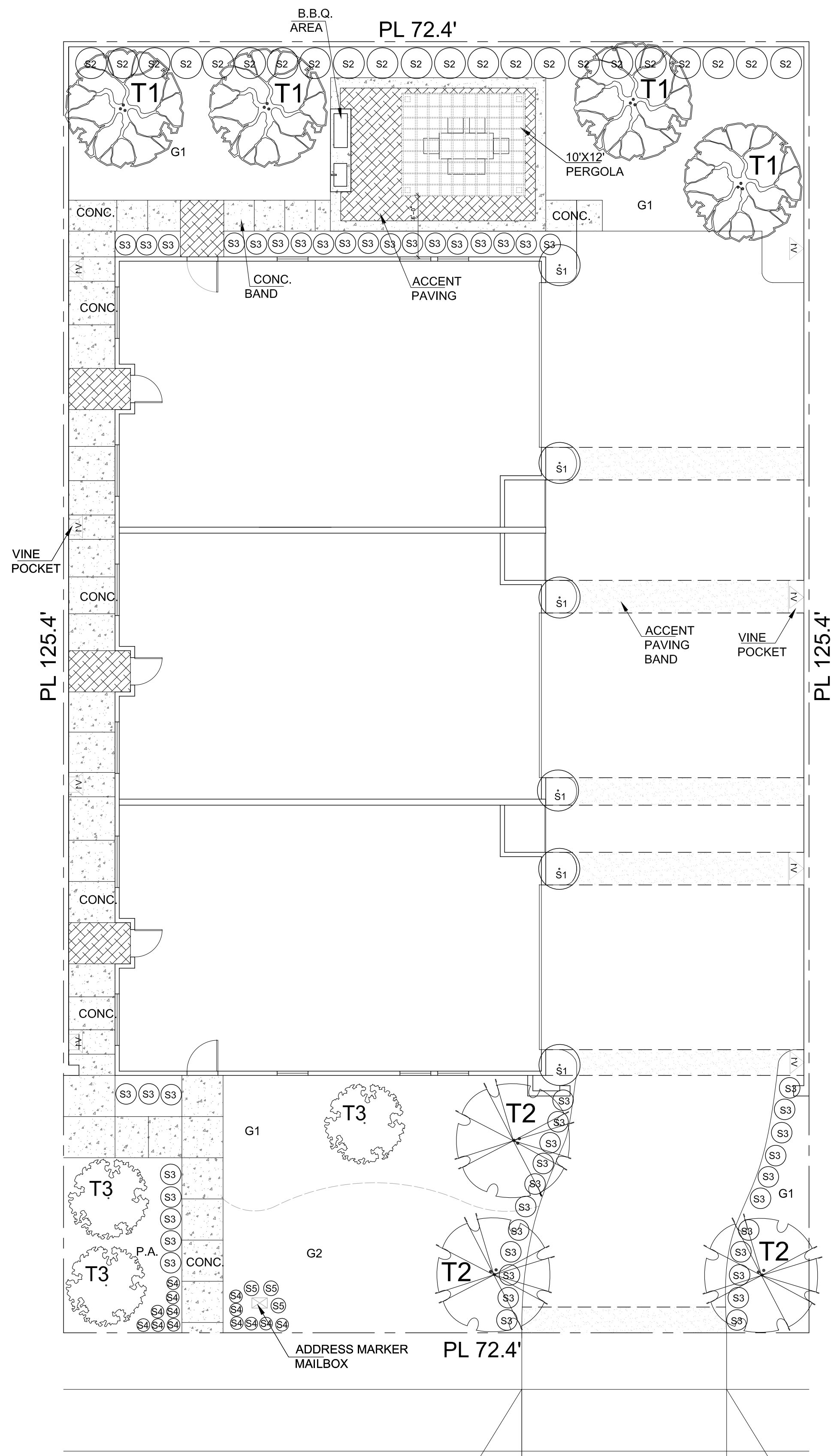
Aqx Job No: 2019- 506  
Date: 08/27/2019

Drawn: G.Z.

Drawing No.

L-1





1

**NOTE:**

Front yard landscape area: 1,156 SF.  
Rear yard landscape area : 883 SF.  
Total landscape area : 2,039 SF. / 9,079 SF.(lot) = 22%

**GENERAL LANDSCAPE NOTES:**

1. Landscape contractor shall be responsible for making himself familiar with all understructure utilities, pipes, and structural conditions. Landscape contractor shall take sole responsibility for any cost incurred due to damage of said utilities.
2. Landscape contractor shall not willfully proceed with construction as designed, when it is obvious that unknown obstructions exist that may not have been known during design. Such conditions shall be shall be immediately brought to the attention of the Landscape architect. The landscape contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
3. See details and specifications for planting requirements, materials and execution.
4. All planting material shall be subject to approval by the landscape architect prior to installation. specimen trees are to be tagged by the landscape architect.
5. Landscape contractor shall be responsible for any coordination with other subcontractors, as required, to accomplish irrigation and planting operations. Landscape contractor shall coordinate with General Contractor for all necessary sleeving and conduits.
6. Trees and shrubs locations shown on Landscape Plan are approximate and shall be adjusted, as directed by the landscape architect.

	BOTANICAL NAME	COMMON NAME	SIZE	WATER NEEDS	MATURE HEIGHT	COMMENTS	
<b>TREES</b>							
T1	Olea europaea	Olive	36" box	L	25'		
T2	Arecastrum romanzoffianum	Queen Palm	36" box	L	25'		
T3	Citrus spp.	Citrus	24" box	M	15'		
<b>SHRUBS</b>							
S1	Ilex x meserveae 'Monnieves'	Scallywag™ Holly	5 gal	L	4'		
S2	Ligustrum japonicum 'Texanum'	Waxleaf Privet	15 gal.	M	8'-10'		
S3	Buxus sempervirens	Boxwood	5 gal.	M	2'-3'		
S4	Phlox subulata	Creeping Phlox	flats	M	3"		
S5	Cordyline x 'JURed'	Festival™ Burgundy Cordyline	3 gal.	L	3'		
<b>GROUND COVER</b>							
G1	Trachelospermum asiaticum	Asian Star Jasmine	3 gal.	L			
G2	Sedum makinoi 'Limelight'	Limelight Japanese Stonecrop	flats	L			
<b>VINES</b>							
V1	Trachelospermum jasminoides	Star Jasmine	3 gal.	L			

**LANDSCAPE PLAN**

1/8" = 1'-0"



Revisions

△ CITY PLAN CHECK CORR. 10-14-2019

PROJECT

**CONDOMINIUM**

1325 W GRAND AVE.  
POMONA, CA  
91766

Drawing Title

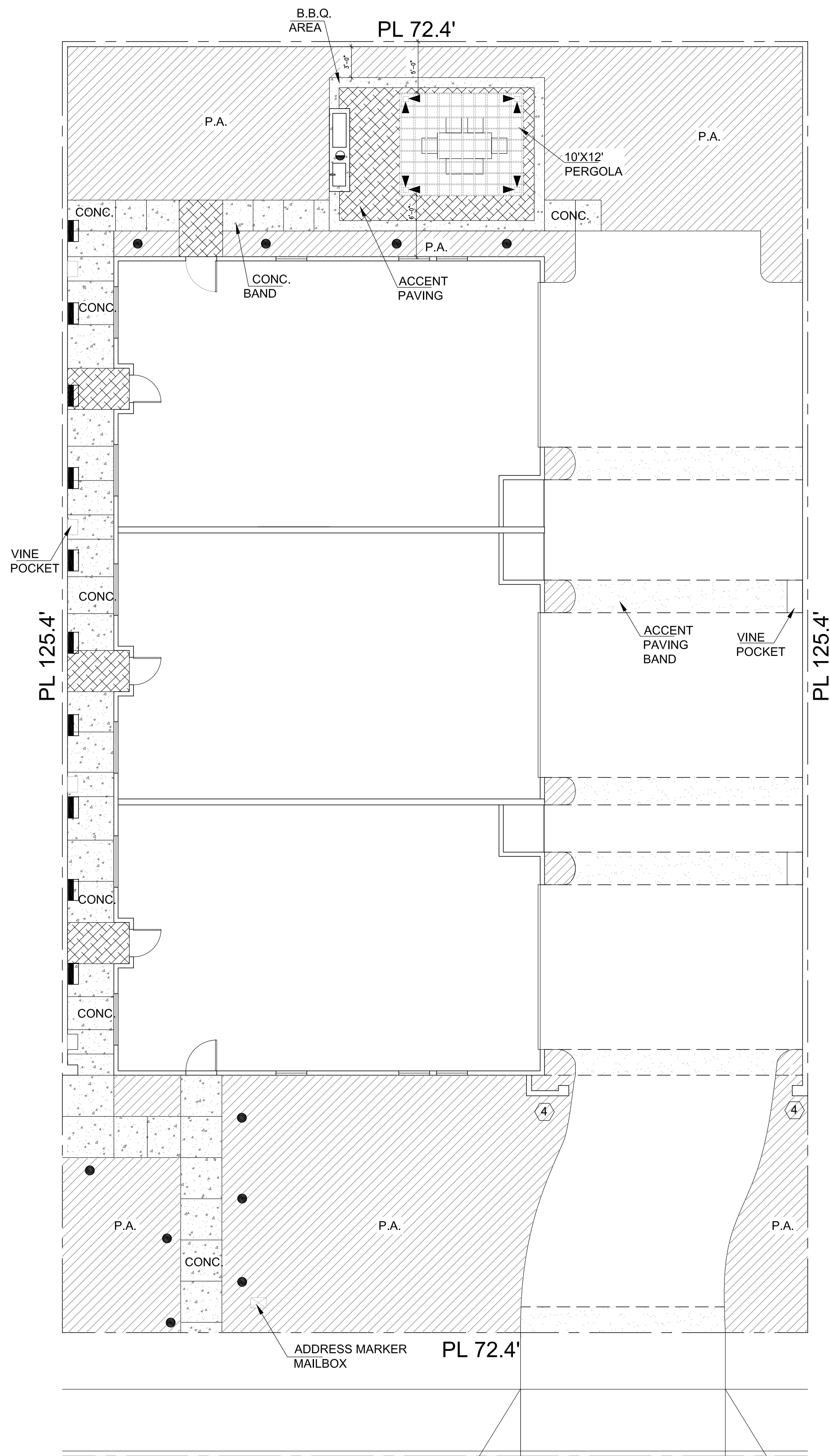
**LANDSCAPE**

Aqx Job No: 2019- 506  
Date: 08/27/2019

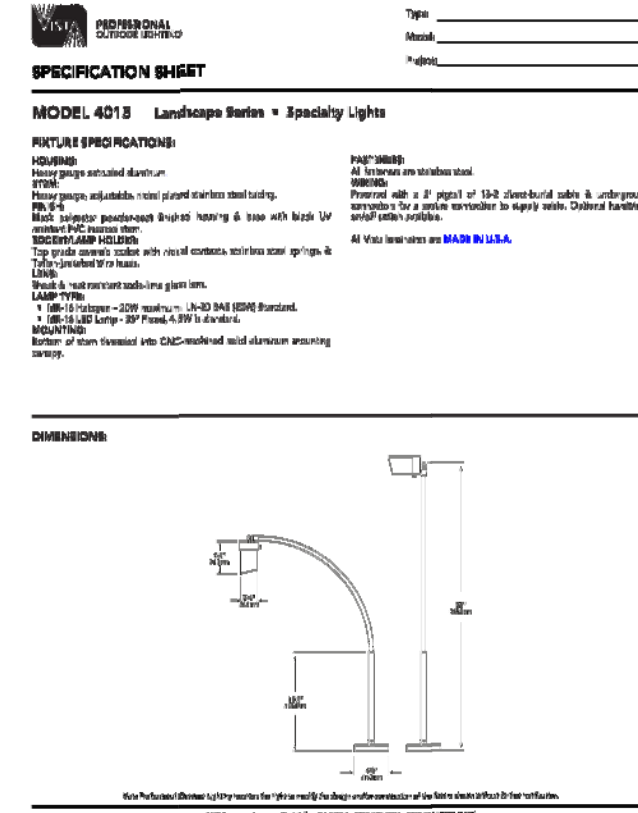
Drawn: G.Z.

Drawing No.

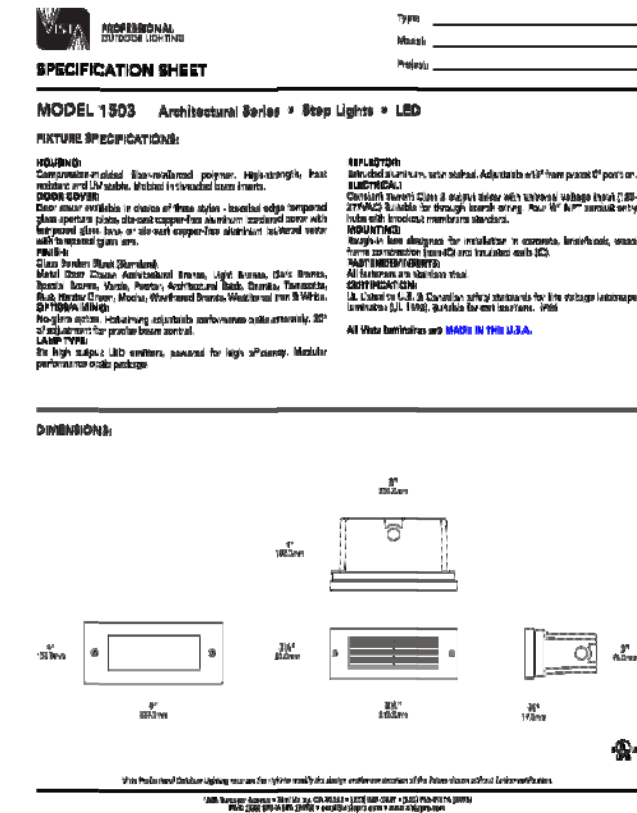




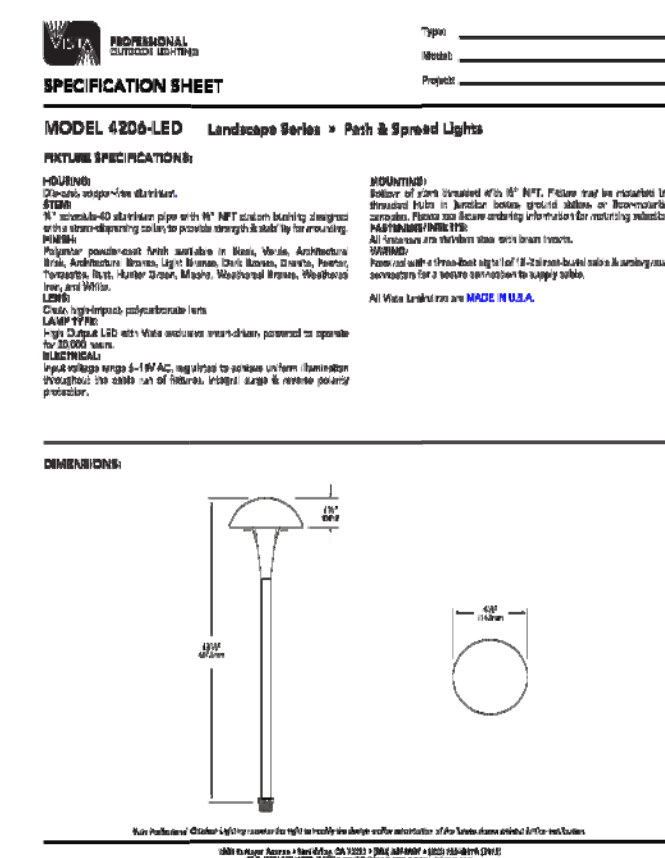
(1) SPECIALTY LIGHTS - VISTA LANDSCAPE LIGHTING #4015



(10) STEP LIGHT - VISTA LANDSCAPE LIGHTING #1503



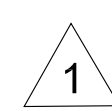
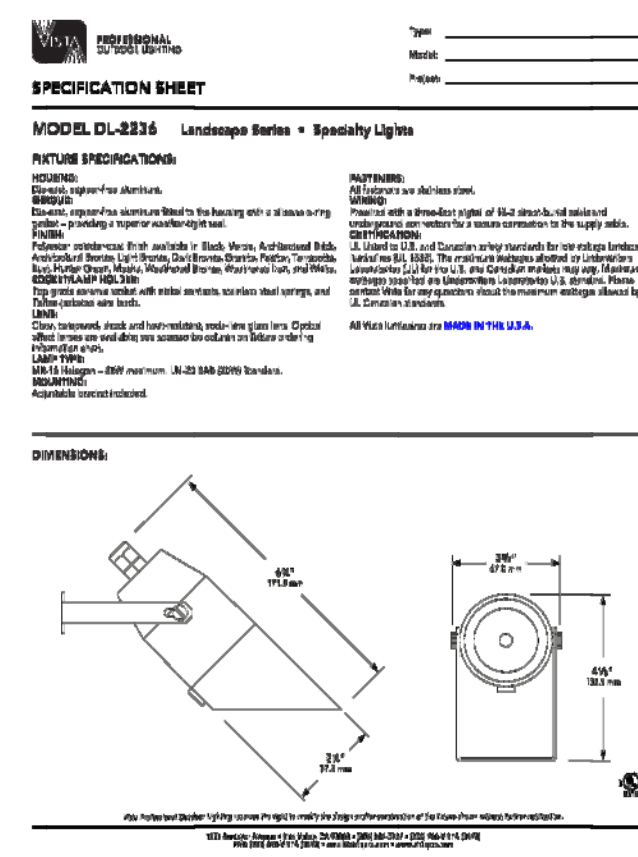
(10) PATH & SPREAD LIGHTS - VISTA LANDSCAPE LIGHTING #4206 - LED



(2) EXTERIOR LIGHT FOR MORE DETAILS SEE ARCH PLAN



(8) SPECIALTY LIGHTS - VISTA LANDSCAPE LIGHTING #DL 2236



# PRELIMINARY LANDSCAPE LIGHTING PLAN

1/8" = 1'-0"

**AQX**  
ENGINEERING INC.

1520 BROOKHOLLOW, SUITE 45  
SANTA ANA, CA 92705  
OFF. (714) 662-0510  
FAX. (714) 662-1050  
WWW.AQXENG.COM



Revisions

△ CITY PLAN CHECK CORR. 10-14-2019

PROJECT

CONDOMINIUM

1325 W GRAND AVE.  
POMONA, CA  
91766

Drawing Title

PRELIMINARY  
LANDSCAPE  
LIGHTING PLAN

Aqx Job No: 2019- 506  
Date: 08/27/2019

Drawn: G.Z.

Drawing No.

L-3

OWNER:  
TOP HOME WLW LLC  
419 FOXBORO DRIVE,  
WALNUT, CA 91789  
TEL: 626-252-3658

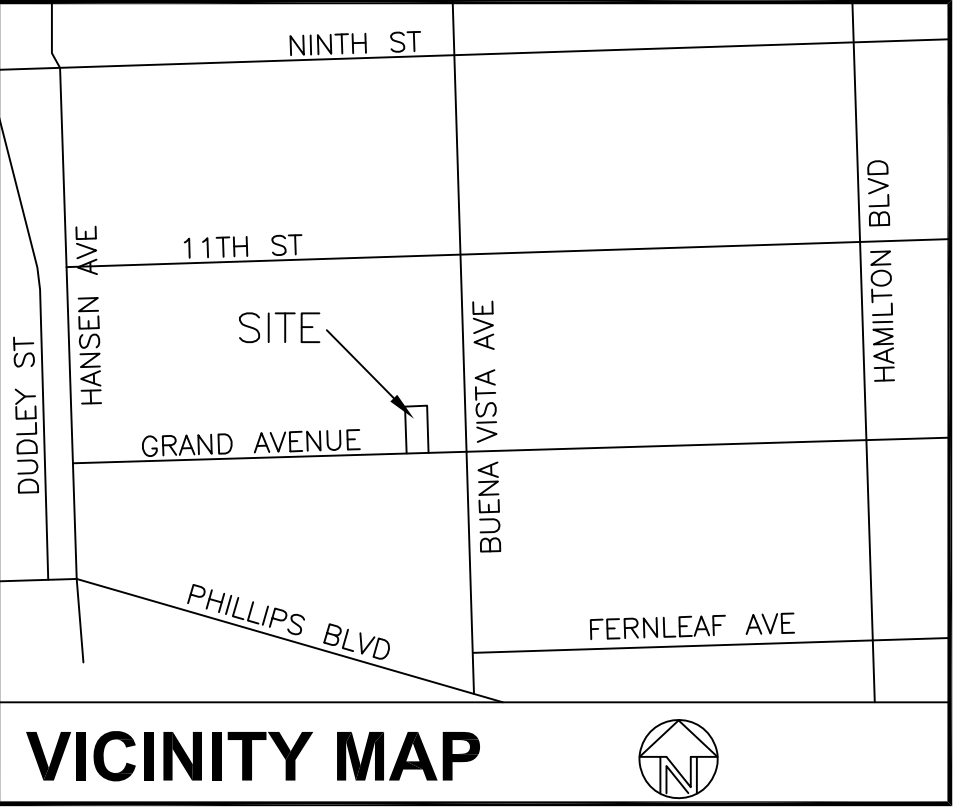
PREPARED BY:  
JACK LEE, R.C.E. 40870, LS 8407  
CAL LAND ENGINEERING, INC.  
576 E. LAMBERT ROAD  
BREA, CALIFORNIA 92821  
TEL: (714) 671-1050  
FAX: (714) 671-1090

# TENTATIVE PARCEL MAP NO. 82844

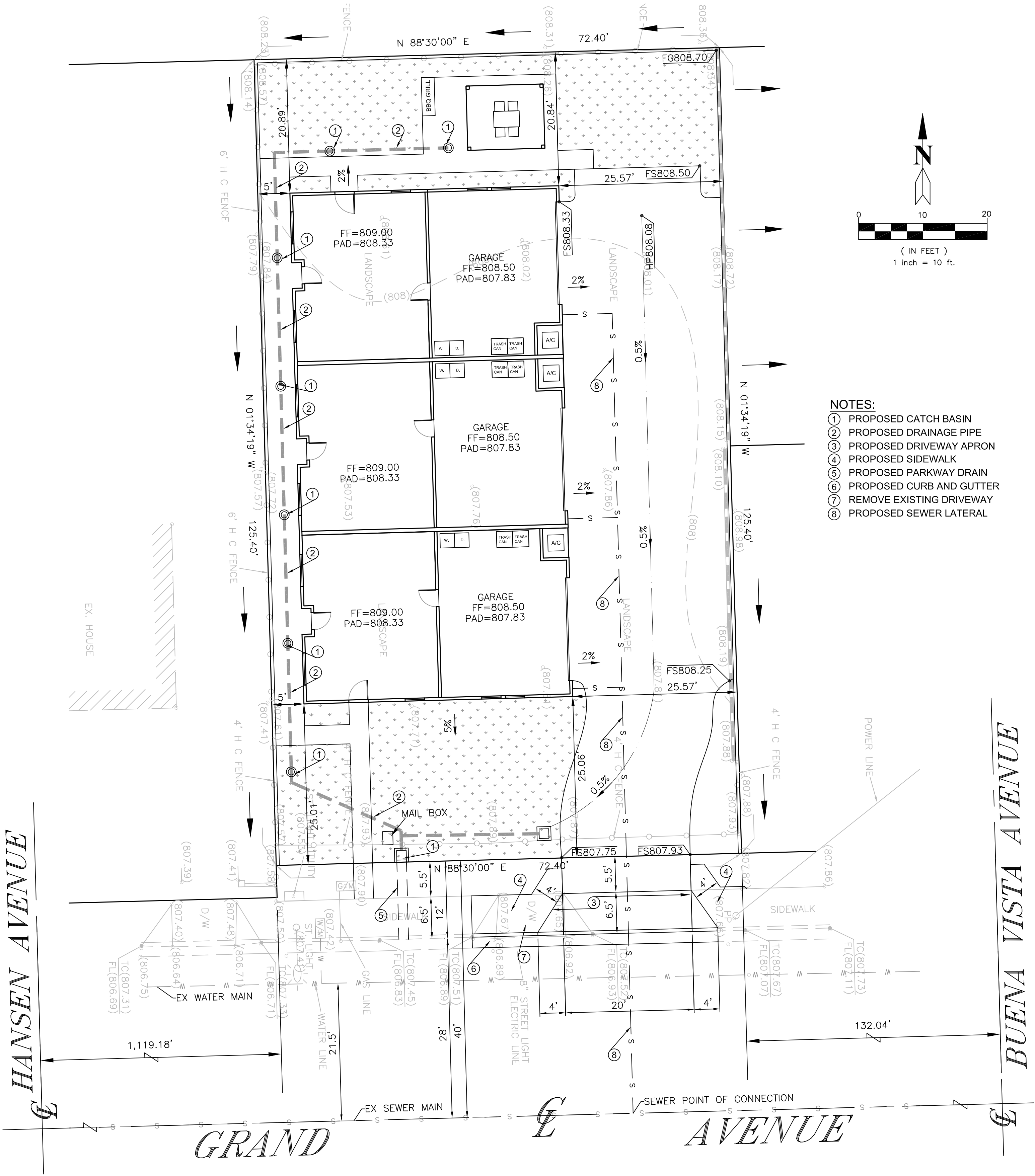
IN THE CITY OF POMONA, COUNTY OF LOS ANGELES  
STATE OF CALIFORNIA

A PORTION LOT 4 OF TRACT 1928, IN THE CITY OF POMONA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 21, PAGE 62, OF MAPS, IN THE COUNTY RECORDER OFFICE OF SAID COUNTY.

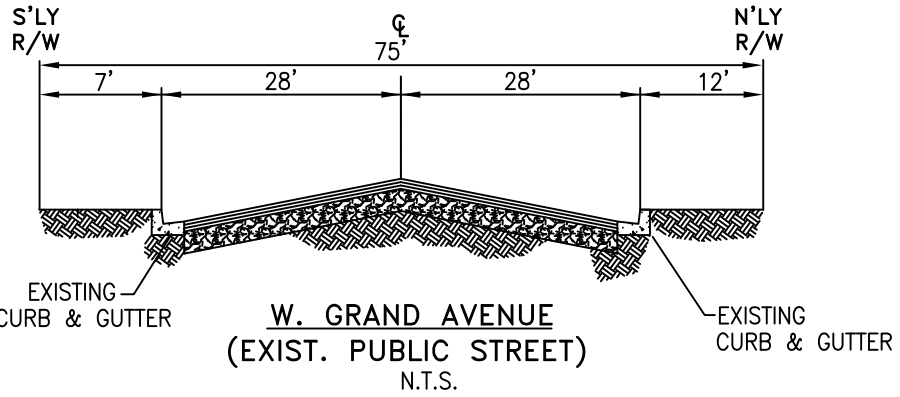
FOR CONDOMINIUM PURPOSES



**CAL LAND ENGINEERING, INC.**  
dba QUARTECH CONSULTANTS  
576 E. LAMBERT ROAD, BREA, CA 92821  
TEL: (714) 671-1050 FAX: (714) 671-1090



- NOTES:**
- ① PROPOSED CATCH BASIN
  - ② PROPOSED DRAINAGE PIPE
  - ③ PROPOSED DRIVEWAY APRON
  - ④ PROPOSED SIDEWALK
  - ⑤ PROPOSED PARKWAY DRAIN
  - ⑥ PROPOSED CURB AND GUTTER
  - ⑦ REMOVE EXISTING DRIVEWAY
  - ⑧ PROPOSED SEWER LATERAL



## UTILITY SERVICES:

ELECTRICAL - SOUTHERN CALIFORNIA EDISON CO.  
FIRE - CITY OF POMONA FIRE DEPARTMENT  
GAS - SOUTHERN CALIFORNIA GAS CO.  
INTERNET - FRONTIER COMMUNICATIONS  
SCHOOL - POMONA UNIFIED SCHOOL DISTRICT  
SEWER - CITY OF POMONA  
SHERIFF - CITY OF POMONA POLICE DEPARTMENT  
TELEPHONE - VERIZON NETWORK  
TRASH - CITY OF POMONA  
WATER - CITY OF POMONA

## BENCHMARK

BENCHMARK NO. G 5109  
PK NAIL IN S CB @ BCR  
@ SW COR WHITE AVE & GRAND AVE  
ELEVATION: 817.485'

## BASIS OF BEARING

CENTERLINE OF GRAND AVENUE  
AS PER TRACT NO.1928 M.B. 21-62  
BEARING: N88°30'00"E

## NOTES:

ZONING: R-2 - LOW DENSITY MULTIPLE FAMILY  
(DENSITY RANGE: 7-15 UNITS/ACRE)  
ZONING OVERLAY: S-OVERLAY  
GENERAL PLAN USE: RESIDENTIAL NEIGHBORHOOD  
EXISTING USE: VACANT  
PROPOSED USE: MULTIFAMILY RESIDENTIAL  
APN: 8349-026-036  
NO. OF EX. UNITS: 0  
NO OF PROP. UNITS: 3  
AREA OF LOT: 9,079 SF (0.208 ACRE)  
NO. OF STORIES: 2  
NO. OF PARKINGS: 6  
SEWERAGE DISPOSAL: BY GRAVITY SEWER PIPES  
TO STREET MAIN.

## EARTHWORK QUANTITIES:

CUT	10	CY
FILL	10	CY
EXPORT	0	CY

## LEGEND

(462.1).....EXISTING ELEVATION  
520.00.....PROPOSED ELEVATION  
--(466)-- .....EXISTING CONTOUR  
.....DRAINAGE PATTERN  
.....EXISTING STRUCTURE  
.....PROPOSED STRUCTURE  
.....PROPOSED LANDSCAPE AREA

## ABBREVIATIONS

CBW..... CONC. BLOCK WALL  
C&G..... CURB AND GUTTER  
D/A..... DRIVEWAY APRON  
DWY..... DRIVEWAY  
EP..... EDISON POLE  
EX..... EXISTING  
FH..... FIRE HYDRANT  
FL..... FLOW LINE ELEVATION  
GM..... GAS METER  
MH..... MAN HOLE  
SMH..... SEWER MANHOLE  
S/W..... SIDEWALK  
SD..... STORM DRAIN  
TBR..... TO BE REMOVED  
TC..... TOP OF CURB ELEVATION  
WF..... WOODEN FENCE  
WV..... WATER VALVE

THIS PROJECT WILL COMPLY WITH  
CITY PARK/LAND DEDICATION  
RESOLUTION NO.89-200

## FLOODING POTENTIAL

FEMA FLOOD MAP NO.06037C1725F  
LOCATED ON FLOOD HAZARD ZONE  
"X" AREA OF MINIMAL FLOOD HAZARD

THE NEAREST BUS STOP IS 2,800 FT  
FROM THE PROJECT

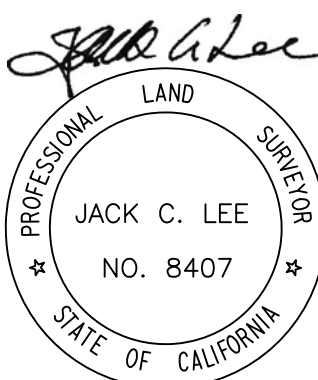
	TOTAL AREA (SF)	IMPERVIOUS (SF)	PERVIOUS (SF)
EXISTING CONDITION	9,079	0	9,079
PROPOSED CONDITION	9,079	6,621	2,458

## RELEASED

## REVISIONS

PROJECT LOCATION:  
1325 W. GRAND AVENUE,  
POMONA, CA

DRAWN: RR  
CHECKED:  
DATE: 11/12/2019  
JOB NO.: 19-009-016  
SCALE: 1" = 10'  
FILE NAME: 1325 W. Grand Tentative



**T-1**

SHEET 1 OF 1 SHT.

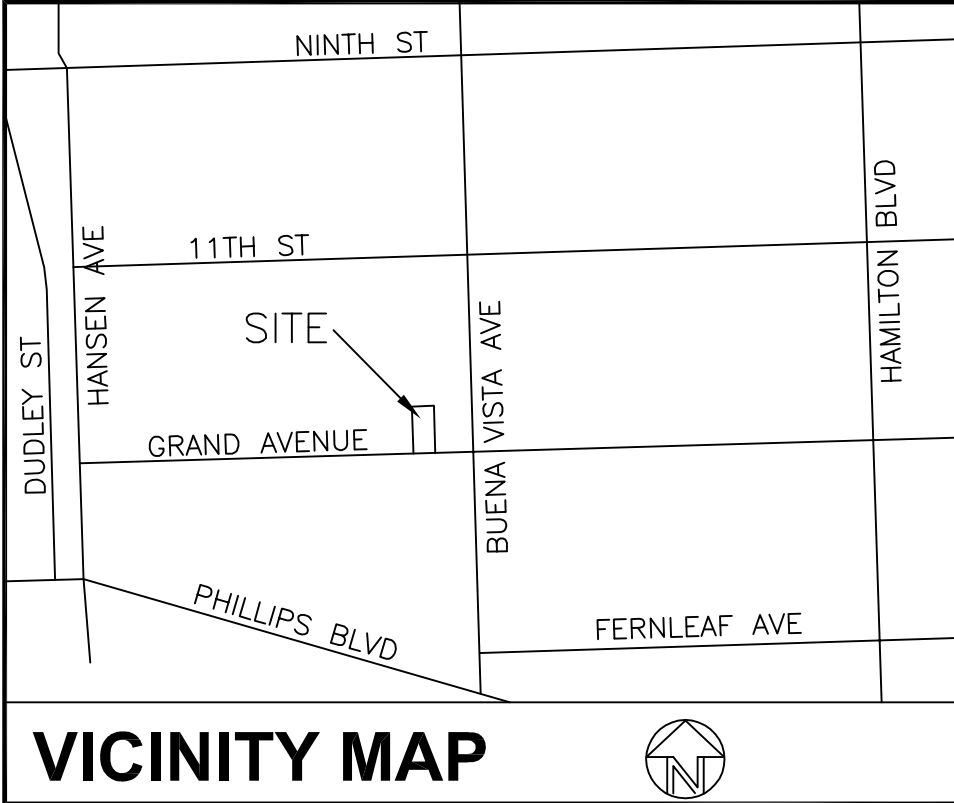


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TOP HOME WLW LLC  
419 FOXBORO DRIVE,  
WALNUT, CA 91789  
TEL: 626-252-3658

PREPARED BY:  
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TEL: (714) 671-1050  
FAX: (714) 671-1090

BENCH MARK:  
BENCHMARK NO. G 5109  
  
PK NAIL IN S CB @ BCR @ SW COR  
WHITE AVE & GRAND AVE  
  
ELEVATION: 817.485'

# PRELIMINARY GRADING PLAN



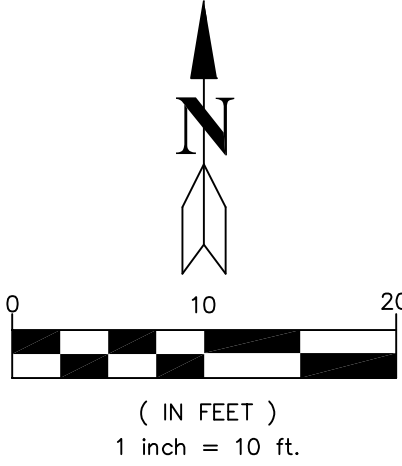
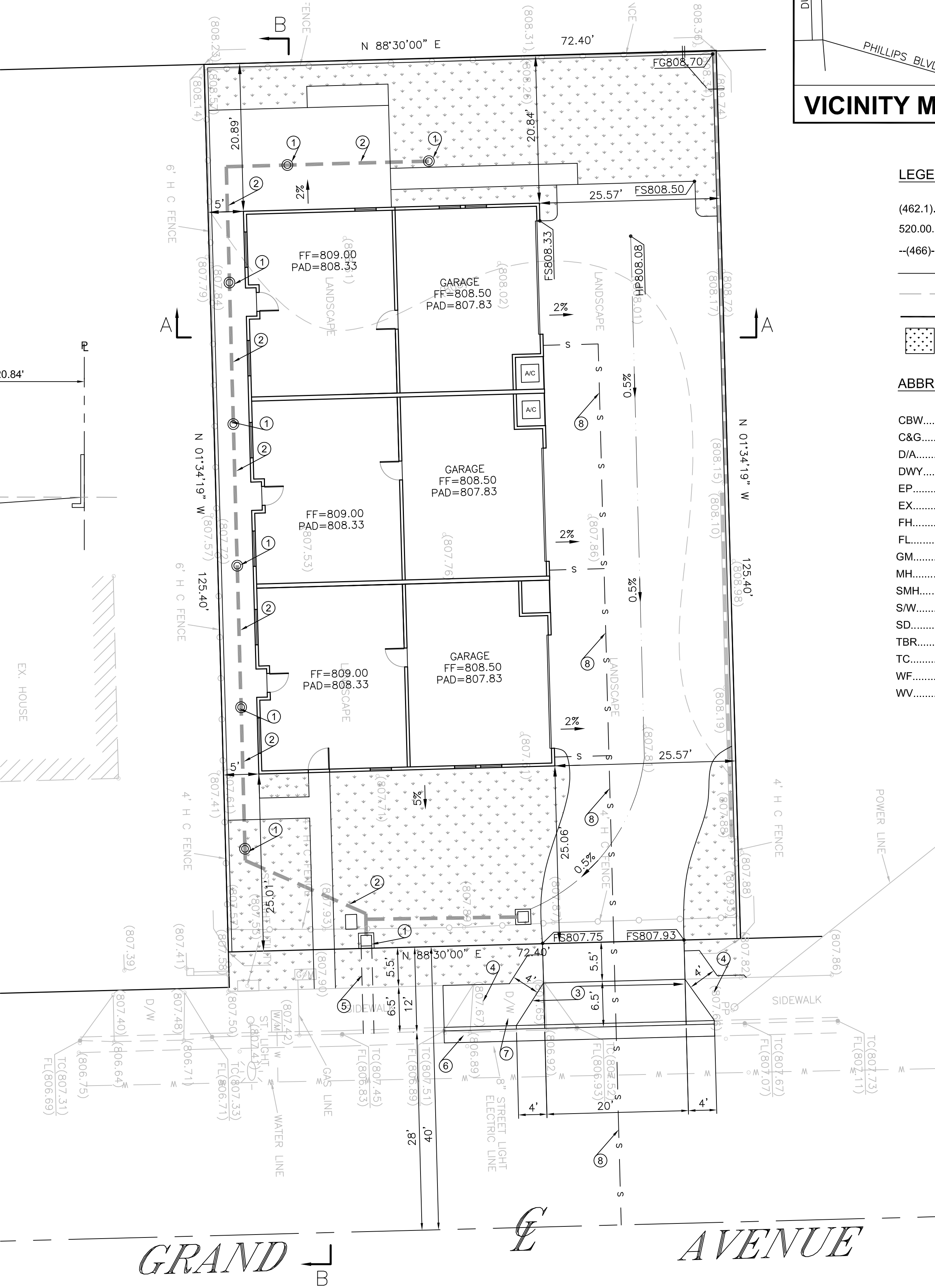
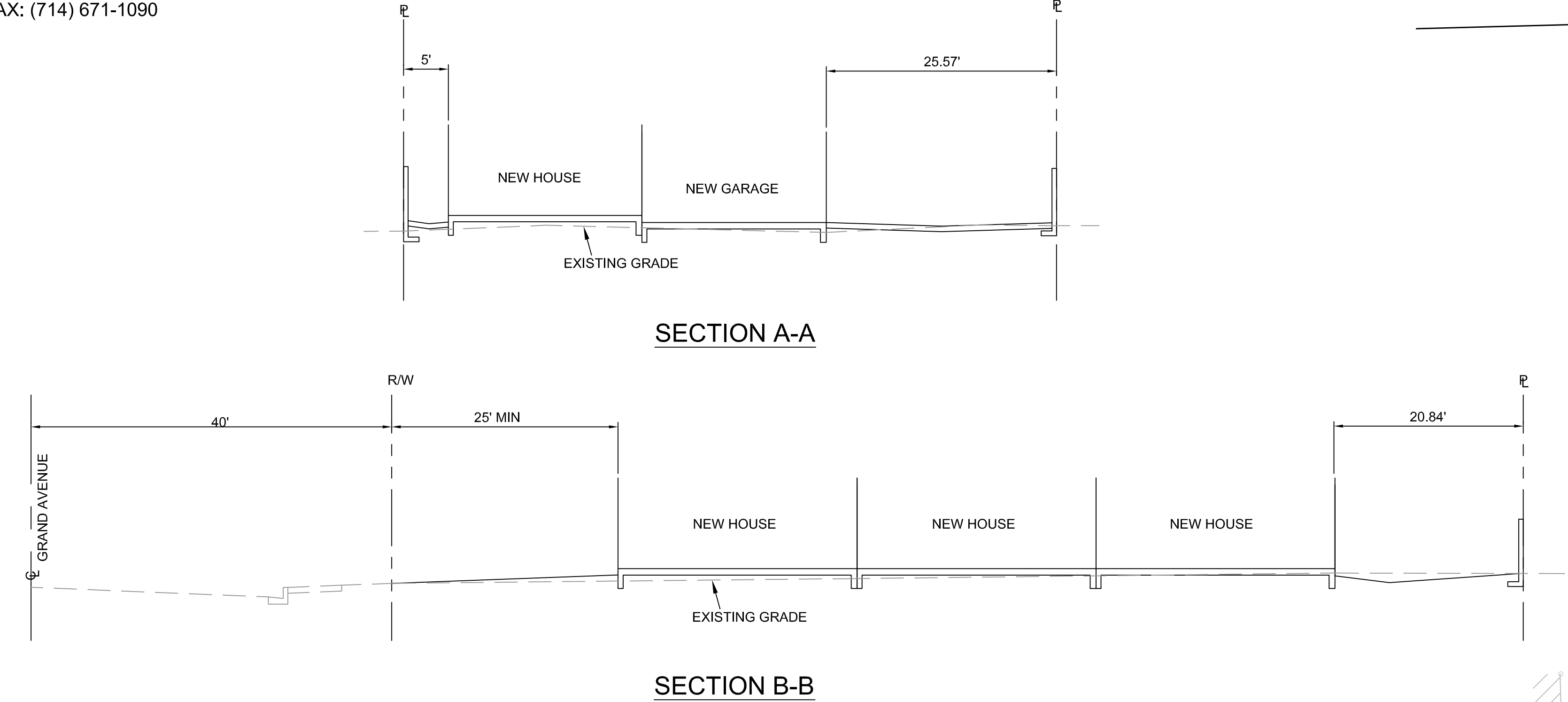
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- ABBREVIATIONS**
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  - MH..... MAN HOLE
  - SMH..... SEWER MANHOLE
  - S/W..... SIDEWALK
  - SD..... STORM DRAIN
  - TBR..... TO BE REMOVED
  - TC..... TOP OF CURB ELEVATION
  - WF..... WOODEN FENCE
  - WV..... WATER VALVE

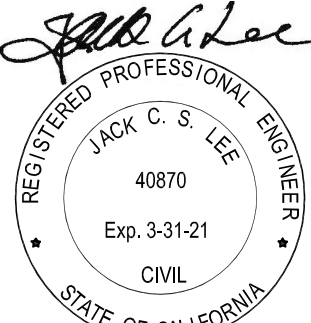
- NOTES:**
- ① PROPOSED CATCH BASIN
  - ② PROPOSED DRAINAGE PIPE
  - ③ PROPOSED DRIVEWAY APRON
  - ④ PROPOSED SIDEWALK
  - ⑤ PROPOSED PARKWAY DRAIN
  - ⑥ PROPOSED CURB AND GUTTER
  - ⑦ REMOVE EXISTING DRIVEWAY
  - ⑧ PROPOSED SEWER LATERAL

**EARTHWORK QUANTITIES:**

CUT	10	CY
FILL	10	CY
EXPORT	0	CY



	TOTAL AREA (SF)	IMPERVIOUS (SF)	PERVIOUS (SF)
EXISTING CONDITION	9,079	0	9,079
PROPOSED CONDITION	9,079	6,621	2,458



**CAL LAND ENGINEERING, INC.**  
dba QUARTECH CONSULTANTS  
576 E. LAMBERT ROAD, BREA, CA 92821  
TEL: (714) 671-1050 FAX: (714) 671-1090

**RELEASED**


**REVISIONS**



**PROJECT LOCATION:**  
1325 W. GRAND AVENUE,  
POMONA, CA

DRAWN: RR  
CHECKED:   
DATE: 8/28/2019  
JOB NO.: 19-009-016  
SCALE: 1" = 10'  
FILE NAME: 1325 W. Grand Tentative

**PG-1**  
SHEET 1 OF 1 SHT.