

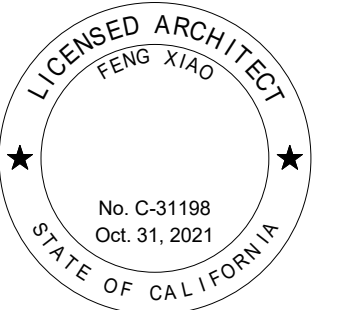


OWNER:
MR. HONGHUA SHANG
18931 COLIMA ROAD, UNIT #A
ROWLAND HEIGHTS, CA 91748
PHONE: 626.652.9666
EMAIL: HOUSEEXPRESS888.COM

ARCHITECT:
FENG XIAO ARCHITECT, INC.
2540 HUNTINGTON DR., #207
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EMAIL: FENG@FXARCHITECT.COM

CIVIL ENGINEER:
CAL LAND ENGINEERING, INC.
DBA QUARTECH CONSULTANTS
576 E LAMBERT ROAD
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EMAIL: LEE@CALLANDENG.COM

LANDSCAPE ARCHITECT:
FONG HART SCHNEIDER + PARTNERS
31742 COAST HIGH WAY
LAGUNA BEACH, CA 92651
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EMAIL: D.SCHNEIDER@FHSP.NET



PLANNING RESUBMISSION
JUN 26, 2020

[illegible]

1440 S. HUNTINGTON

1440 S. HUNTINGTON ST., POMONA, CA

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OPEN SPACE DIAGRAM

Project number: 20005	Date: 06/05/2020
-----------------------	------------------

Drawing No.

G003

Scale: $1/16" = 1'-0"$

 COMMON OPEN SPACE PRIVATE OPEN SPACE

PRIVATE OPEN SPACE:
 $(4 \times 533 \text{ SF}) + (4 \times 567 \text{ SF}) = 2132 \text{ SF} + 2268 \text{ SF} = 4400 \text{ SF}$

COMMON OPEN SPACE:
REQUIRED: 10 UNIT / ACRE = 8 UNITS X 600 SF (4 BEDROOM) = 4800 SF
PROVIDED: 3853 SF + 1260 SF = 5451 SF

NOTES:
DIMENSIONS FOR WALLS INDICATED IN PROJECT
SUMMARY AND ON PLANS ARE TO FACE OF
STUDS, FROM FACE OF STUDS, AND/OR EDGE OF
STUDS.

TENTATIVE MAP NO. 083125

A PORTION OF LOT 5, BLOCK 187 OF POMONA TRACT, IN THE CITY OF POMONA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 3, PAGES 90 TO 91, OF MISCELLANEOUS MAPS, IN THE COUNTY RECORDER OFFICE OF SAID COUNTY.

APN: 8343-008-043
FOR CONDOMINIUM PURPOSES

OWNER/CLIENT:

MR. HONGHUA SHANG
18931 COLIMA ROAD, UNIT #A,
ROWLAND HEIGHTS, CA 91748
PHONE: (626) 652-9666
EMAIL: HOUSEEXPRESS888.COM

BENCHMARK:

BENCHMARK NO. G 5109

PK NAIL IN S CB @ BCR @ SW COR WHITE
AVE & GRAND AVE
ELEVATION: 817.485'

BASIS OF BEARING:

THE BASIS OF BEARING USED IS THE
CENTERLINE OF HUNTINGTON STREET
HAVING A BEARING OF N 00°00'57" E
AS RECORDED IN BOOK 1345, PAGES
80 AND 81 OF MAPS.

BASIS OF BEARING:

CENTERLINE OF HUNTINGTON STREET, N
00°00'57" E AS PER TRACT NO. 62029, M.B.
1345-80-81

UTILITY SERVICES

WATER - CITY OF POMONA
SEWER - CITY OF POMONA
GAS - SOUTHERN CALIFORNIA
GAS COMPANY
ELECTRICAL - SOUTHERN CALIFORNIA
EDISON
TELEPHONE - VERIZON NETWORK
SHERIFF - CITY OF POMONA
POLICE DEPARTMENT
FIRE - CITY OF POMONA
FIRE DEPARTMENT
SCHOOL - POMONA UNIFIED
SCHOOL DISTRICT

IMPERVIOUS AREA DATA:

EXISTING PERVIOUS AREA: 30,859 S.F.
EXISTING IMPERVIOUS AREA: 6,041 S.F.
PROPOSED PERVIOUS AREA: 12,679 S.F.
PROPOSED IMPERVIOUS AREA: 24,221 S.F.

FLOODING POTENTIAL:

FEMA FLOOD MAP NO. 06037C1725F
LOCATED ON FLOOD HAZARD ZONE "X"
AREA OF MINIMAL FLOOD HAZARD

PROJECT DATA:

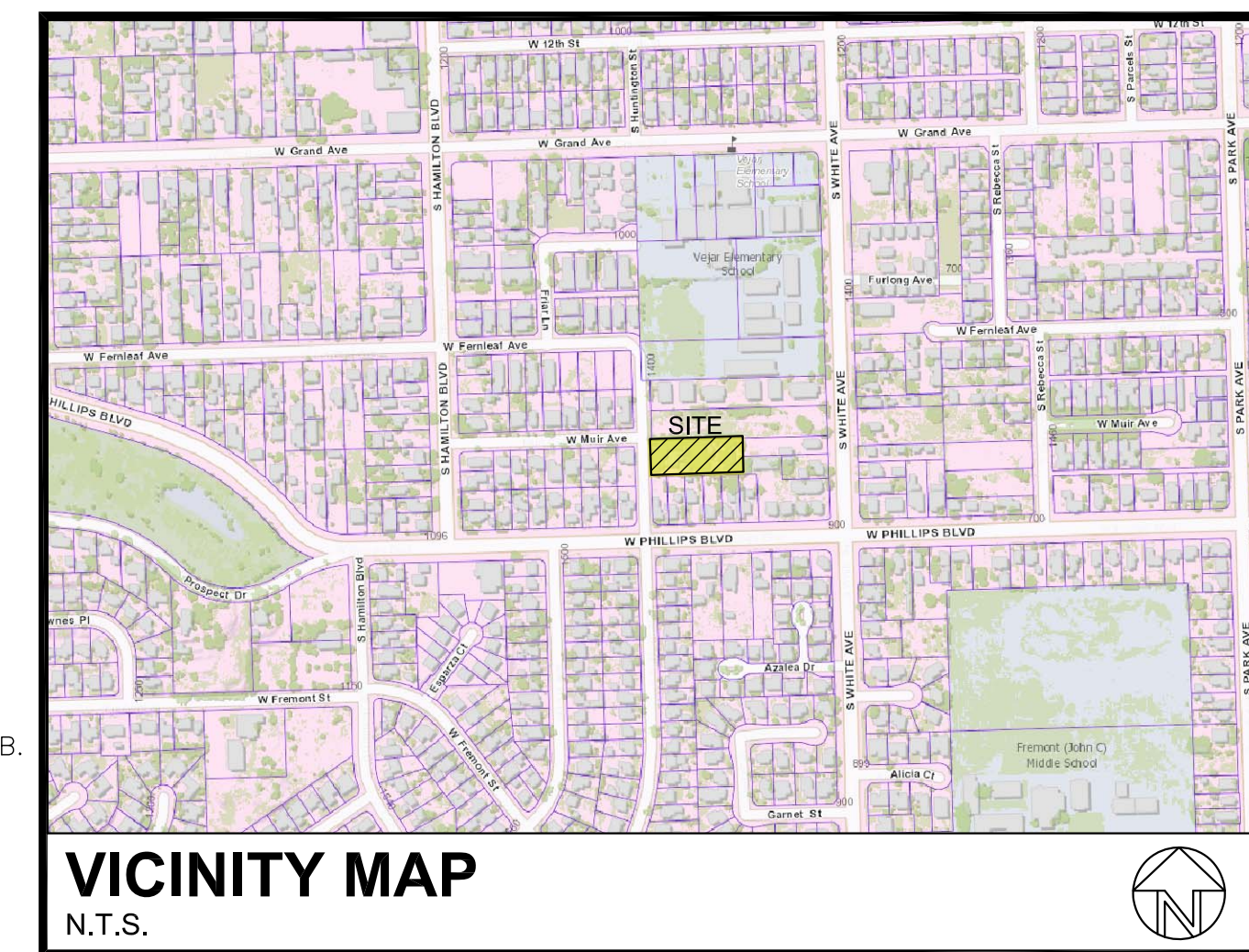
PROJECT ADDRESS: 1440 S. HUNTINGTON STREET, POMONA, CA 91766
THOMAS GUIDE: 640-H-3
A.P.N.'S: 8343-008-043
EXISTING ZONING: R-2, S-OVERLAY
EXISTING LAND USE: MULTI-FAMILY RESIDENTIAL
GENERAL PLAN: T-3
EXISTING NUMBER OF LOTS: 8
TOTAL PROPOSED UNITS: 8
GROSS PROJECT AREA: 36,900 S.F. = 0.85 ACRES
PRIVATE OPEN SPACE AREA: 4,400 S.F.
COMMON OPEN SPACE AREA: 5,645 S.F.
PARKING PROVIDED: 19 SPACES (16 GARAGE + 2 QUEST + 1 ADA)
NO. OF STORIES: 2 STORY
SEWAGE DISPOSAL: GRAVITY FLOW TO SEWER MAIN AT STREET
SURROUNDING LAND USE: NORTH - VACANT LOT
EAST - RESIDENTIAL
WEST - STREET

GENERAL NOTES:

- PAD ELEVATIONS SHOWN HEREON MAYBE ADJUSTED ±2 FEET.
- THE SITE DOES NOT CONTAIN ANY EXISTING WELLS, IRRIGATION LINES, CESSPOOLS, SEPTIC TANKS, SEWAGE LEACH FIELDS, SEWERS, CULVERTS, STORM DRAINS, AND UNDERGROUND STRUCTURES.
- THE SITE DOES NOT CONTAIN ANY PREVIOUSLY FILLED AREAS, ANY LIQUID OR SOLID WASTE DISPOSAL SITE.
- THERE ARE NO SIGNIFICANT TRIBUTARY AREA STORM WATER FLOWS THAT ENTER THE SUBDIVISION.
- THIS PROJECT WILL COMPLY WITH CITY PARK/LAND DEDICATION RESOLUTION NO. 89-200.
- THERE ARE NO BUS STOPS WITHIN 200' OF THE PROPOSED TTM LIMITS.

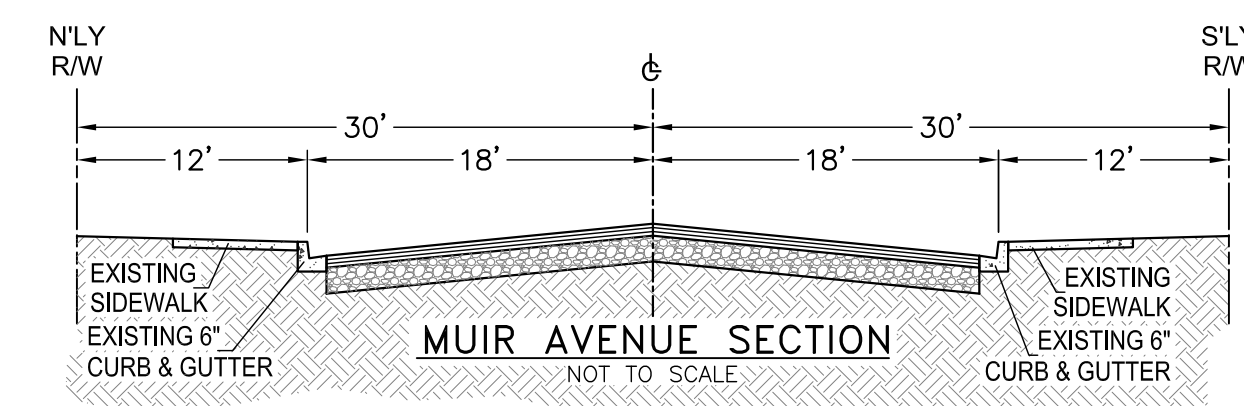
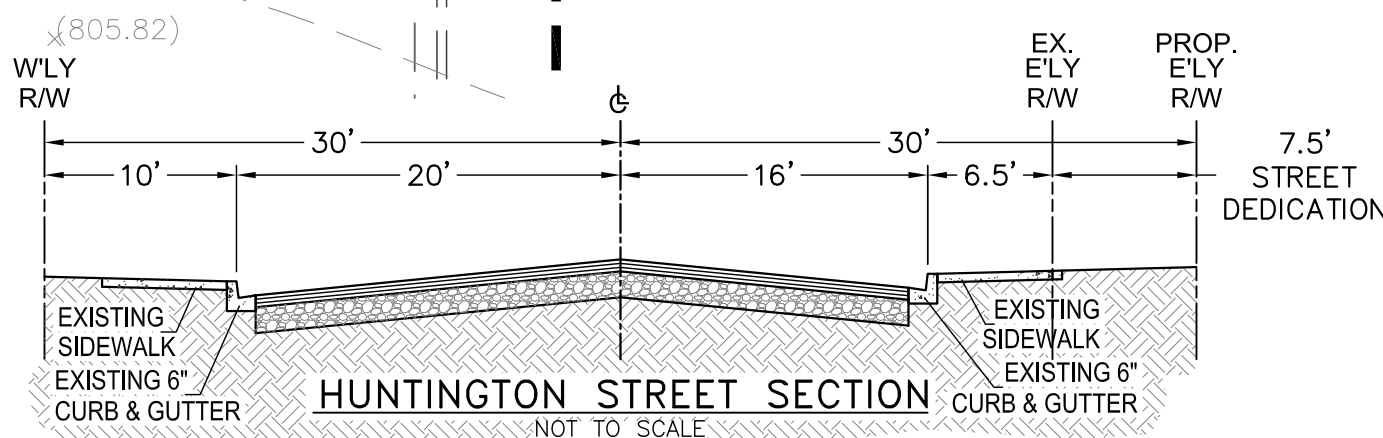
CONSTRUCTION NOTES:

- PROPOSED NEW BUILDING PER ARCHITECTURAL PLAN
- PROPOSED NEW CONCRETE DRIVEWAY APPROACH
- PROPOSED NEW CONCRETE DRIVEWAY PAVEMENT
- PROPOSED NEW CONCRETE CATCH BASIN
- PROPOSED NEW AREA DRAIN
- PROPOSED STORM DRAIN PIPE
- EXISTING TREES TO BE REMOVED
- EXISTING BLOCK WALL TO REMAIN AND PROTECTED IN PLACE
- PROPOSED CONCRETE BLOCK WALL
- PROPOSED DOMESTIC WATER SERVICE WITH RPPA DEVICE
- PROPOSED IRRIGATION WATER SERVICE WITH RPPA DEVICE
- PROPOSED 6" SEWER CLEANOUT
- PROPOSED 6" SEWER LATERAL
- EXISTING BUILDING TO BE REMOVED
- EXISTING CHAIN LINK FENCE TO BE REMOVED



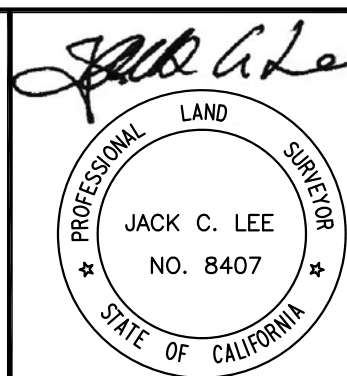
LEGEND:

(123.45)..... EXISTING ELEVATION
123.45..... PROPOSED ELEVATION
---(123)--- EXISTING CONTOUR
---123--- PROPOSED CONTOUR
---123--- DRAINAGE PATTERN
---123--- EX. BLOCK WALL
---123--- PROP. BLOCK WALL
---123--- PROP. STRUCTURE
S/W..... SIDEWALK
S/L..... STREET LIGHT
C..... CENTERLINE
P..... PROPERTY LINE
C..... CONSTRUCTION NOTE
C..... CHAIN LINK FENCE
T.C..... TOP OF CURB
F.L..... FLOW LINE
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CALLAND ENGINEERING, INC.
dba QUARTECH CONSULTANTS

576 E. LAMBERT ROAD, BREA, CA 92821
TEL: (714) 671-1050 FAX: (714) 671-1090



DRAWN: EYS
CHECKED:
DATE: 06-25-2020
JOB NO.: 20-027-004
SCALE: 1"=10'
FILE NAME: Huntington_Tentative.dwg

REV.	REVISION DESCRIPTION	BY	DATE

PROJECT LOCATION:

1440 S. HUNTINGTON STREET,
POMONA, CA 91766

SHEET NO.

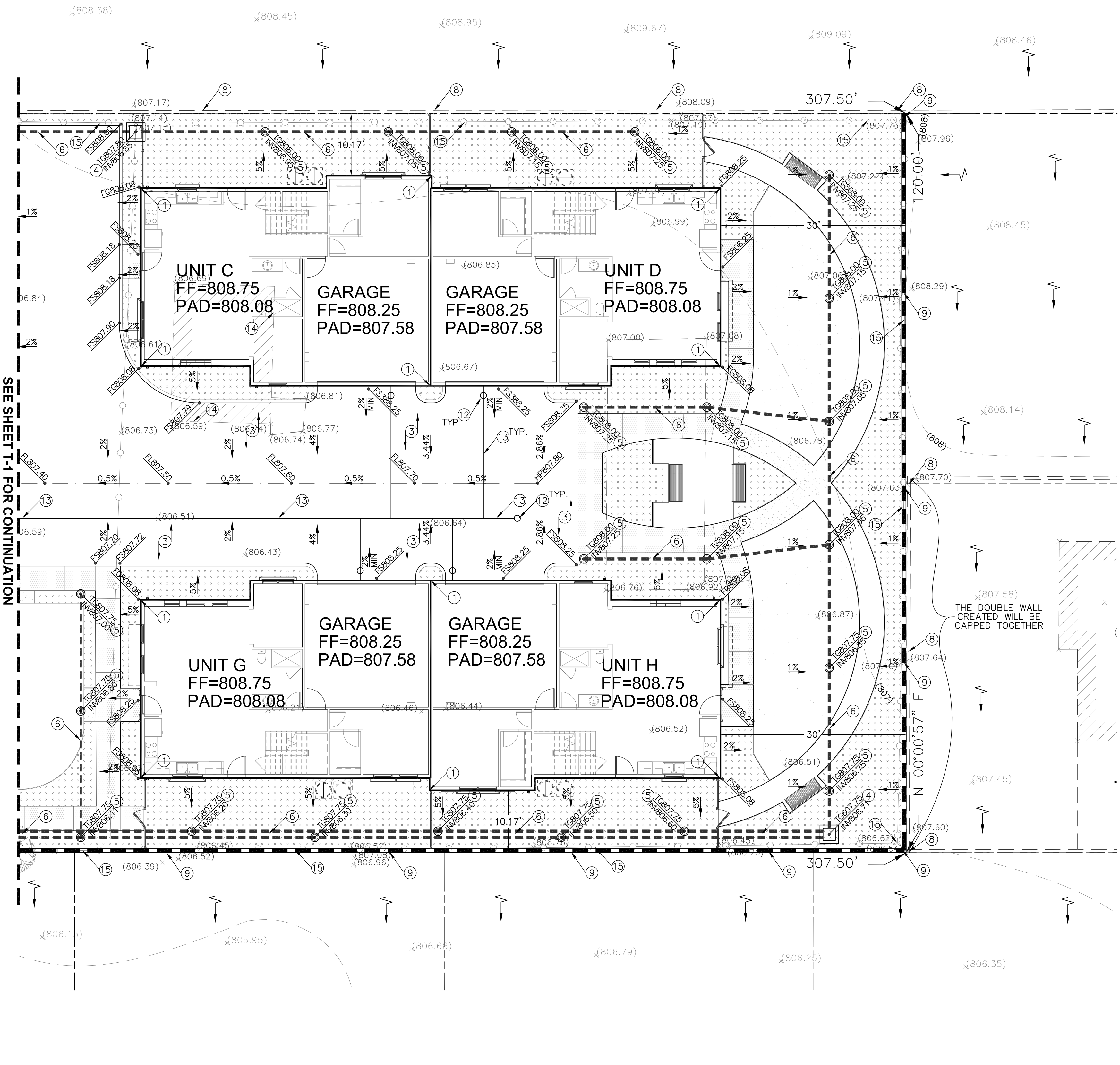
T-1

SHEET 1 OF 3 SHT.

TENTATIVE MAP NO. 083125

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APN: 8343-008-043

FOR CONDOMINIUM PURPOSES



SEE SHEET T-1 FOR CONTINUATION

OWNER/CLIENT:
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ROWLAND HEIGHTS, CA 91748
PHONE: (626) 652-9666
EMAIL: HOUSEEXPRESS888.COM
BENCHMARK:
BENCHMARK NO. G 5109

PK NAIL IN S CB @ BCR @ SW COR WHITE
AVE & GRAND AVE
ELEVATION: 817.485'

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CENTERLINE OF HUNTINGTON STREET, N
00°00'57" E AS PER TRACT NO. 62029, M.B.
1345-80-81

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AREA OF MINIMAL FLOOD HAZARD

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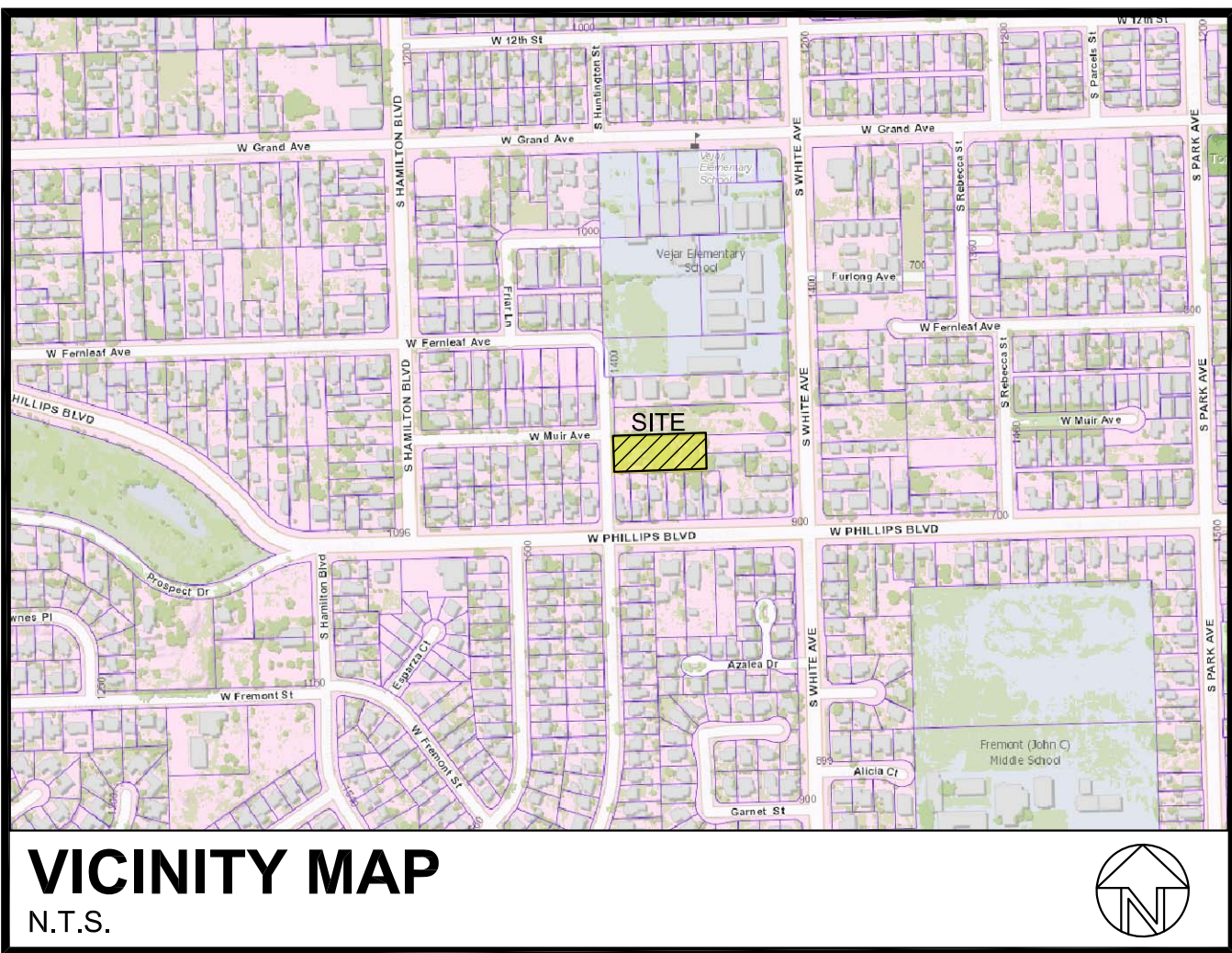
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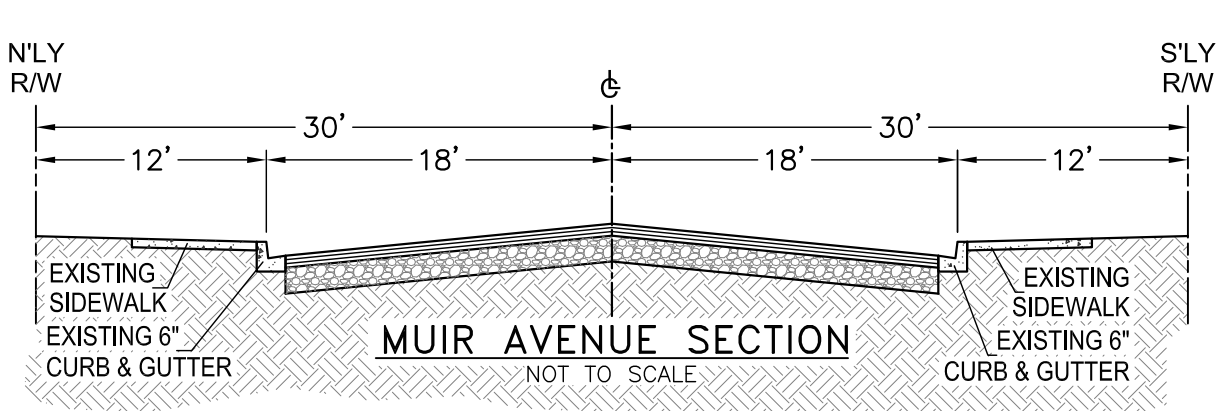
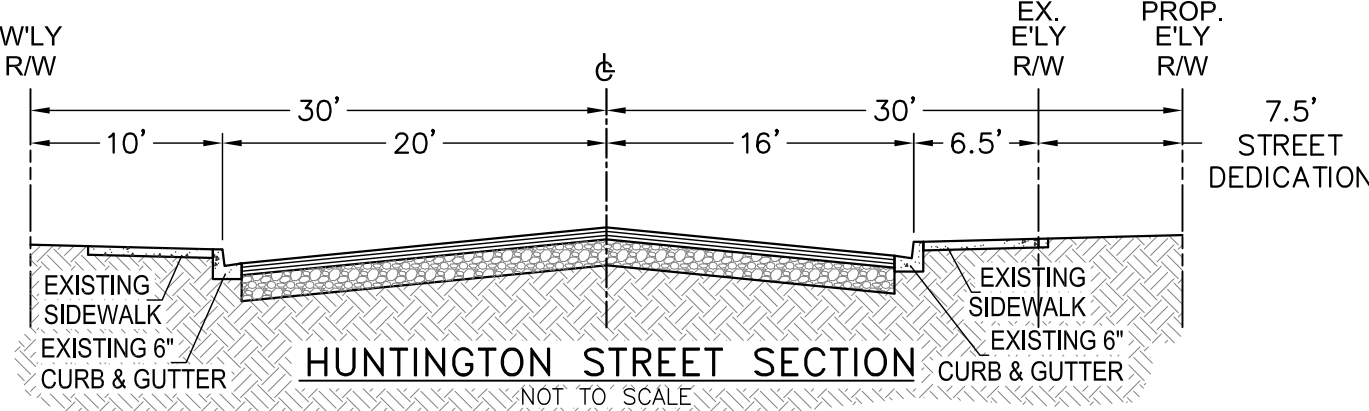
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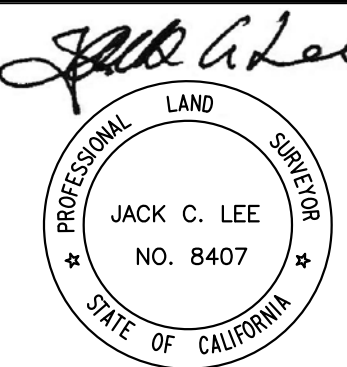
LEGEND:

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576 E. LAMBERT ROAD, BREA, CA 92821
TEL: (714) 671-1050 FAX: (714) 671-1090



DRAWN:	EYS				
CHECKED:					
DATE:	06-25-2020				
JOB NO.:	20-027-004				
SCALE:	1"=10'				
FILE NAME:	Huntington_Tentative.dwg				
REV.	REVISION DESCRIPTION	BY	DATE		

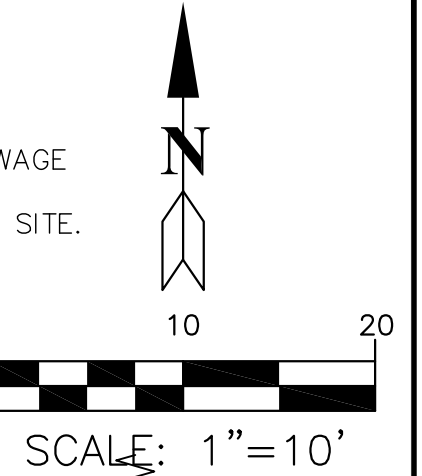
PROJECT LOCATION:	SHEET NO.
1440 S. HUNTINGTON STREET, POMONA, CA 91766	T-2
	SHEET 2 OF 3 SHT.

PK NAIL IN S CB @ BCR @ SW COR WHITE
AVE & GRAND AVE
ELEVATION: 817.485'

CENTERLINE OF HUNTINGTON STREET, N
00°00'57" E AS PER TRACT NO. 62029, M.B.
1345-80-81

APN: 8343-008-043

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FOR CONDOMINIUM PURPOSES

UNIT A
FF=808.20
PAD=807.53

GARAGE
FF=807.70
PAD=807.03

UNIT B
FF=808.20
PAD=807.53

GARAGE
FF=808.25
PAD=807.58

UNIT C
FF=808.75
PAD=808.08

GARAGE
FF=808.25
PAD=807.58

UNIT D
FF=808.75
PAD=808.08

UNIT E
FF=808.00
PAD=807.33

GARAGE
FF=807.50
PAD=806.83

UNIT F
FF=808.00
PAD=807.33

GARAGE
FF=808.25
PAD=807.58

UNIT G
FF=808.75
PAD=808.08

UNIT H
FF=808.75
PAD=808.08

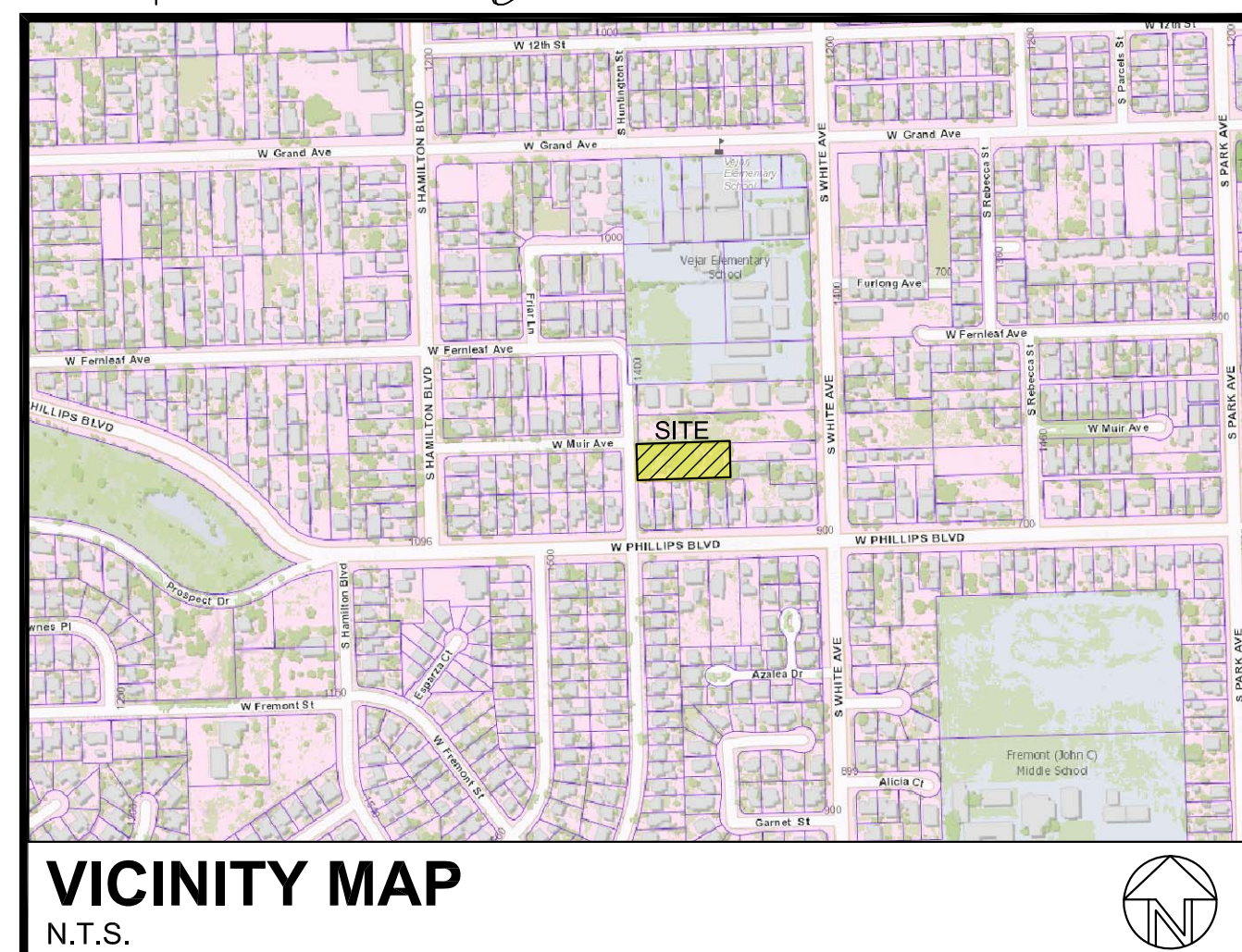
LEGEND:

UTILITY SERVICES

PROJECT DATA:

CONSTRUCTION NOTES:

SCALE: 1"=10'



DRAWN: EYS
CHECKED:
DATE: 06-25-2020
JOB NO.: 20-027-004
SCALE: 1"=10'
FILE NAME: Huntington_Tentative.dwg

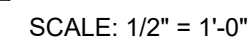
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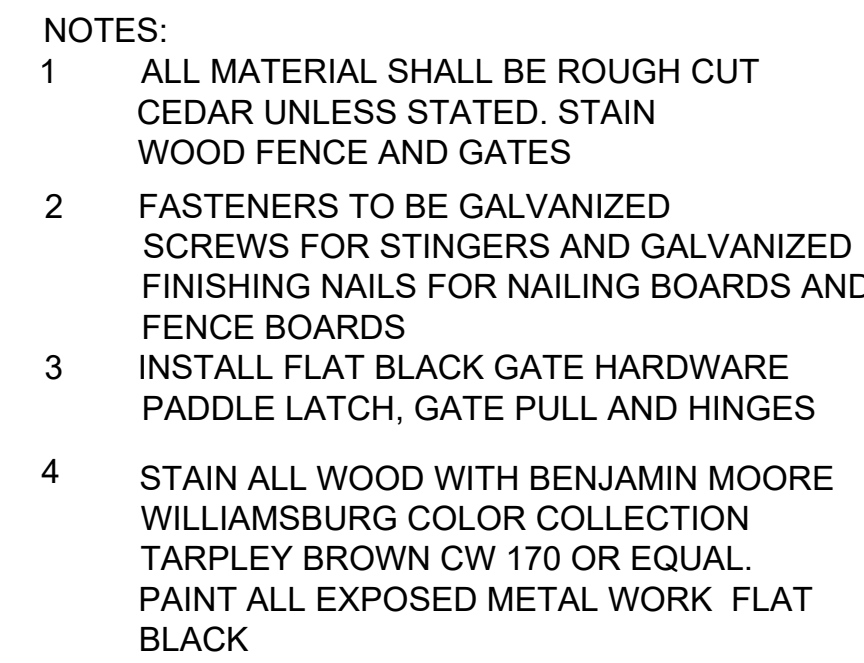
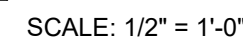


Scale: $1/16" = 1'-0"$

SCALE: 1/2" = 1' 0"



- NOTES:
- 1 ALL MATERIAL SHALL BE ROUGH CUT CEDAR UNLESS STATED. STAIN WOOD FENCE AND GATES
 - 2 FASTENERS TO BE GALVANIZED SCREWS FOR STINGERS AND GALVANIZED FINISHING NAILS FOR NAILING BOARDS AND FENCE BOARDS
 - 3 INSTALL FLAT BLACK GATE HARDWARE PADDLE LATCH, GATE PULL AND HINGES
 - 4 STAIN ALL WOOD WITH DARK BROWN SHERWIN WILLIAMS SW 3007 LODGE BROWN EXTERIOR SOLID STAIN OR EQUAL. PAINT ALL EXPOSED METAL WORK FLAT BLACK



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CEDAR UNLESS STATED. STAIN
WOOD FENCE AND GATES
- 2 FASTENERS TO BE GALVANIZED
SCREWS FOR STINGERS AND GALVANIZED
FINISHING NAILS FOR NAILING BOARDS AND
FENCE BOARDS
- 3 INSTALL FLAT BLACK GATE HARDWARE
PADDLE LATCH, GATE PULL AND HINGES
- 4 STAIN ALL WOOD WITH BENJAMIN MOORE
WILLIAMSBURG COLOR COLLECTION
TARPLEY BROWN CW 170 OR EQUAL.
PAINT ALL EXPOSED METAL WORK FLAT
BLACK

PA PLANTING AREA

SCALE: 1/4" = 1'-0"

[illegible]

Scale: $1/16" = 1'-0"$

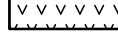
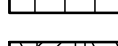
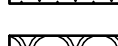
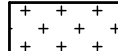


Scale: $1/16" = 1'-0"$

TOTAL ETAFxLA	4460.4
TOTAL LA	8881
AVERAGE ETAF	0.50

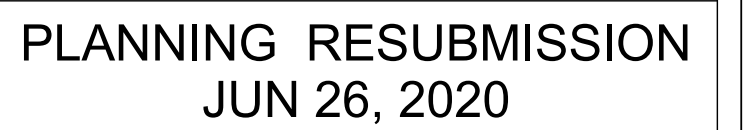


1440 S. HUNTINGTON 1440 S. HUNTINGTON ST., POMONA, CA © 2020 Feng Xiao Architect, Inc.	
SITE PLAN - PLANTING	
Project number: 20005	Date: 03/06/2020
Drawing No. L005	
Scale: 1/16" = 1'-0"	

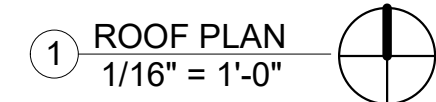
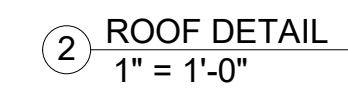
		BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY		WATER USE	
	7	ANIGOZANTHOS BIG RED	KANGAROO PAW	5 GALLON	95	36" OC	LOW	.2
	8	CALANDRINIA SPECTABILIS	ROCK PURSALANE	1 GALLON	155	30" OC	LOW	.2
	9	CALLISTEMON "LITTLE JOHN"	LITTLE JOHN BOTTLEBRUSH	5 GALLON	63	36" OC	LOW	.2
	10	HEUCHERA SANTA ANA CARDINAL	HUECHERA	1 GALLON	39	24" OC	LOW	.2
	11	JUNCUS PATENS 'BLUE ELK'	ELK BLUE CALIFORNIA GRAY RUSH	1 GALLON	13	36" OC	LOW	.2
	12	LANTANA CAMARA 'NEW GOLD'	NEW GOLD LANTANA	1 GALLON	52	36" OC	LOW	.2
	13	STRELITZIA REGINAE VAR JUNCEA	NARROW-LEAFED BIRD OF PARADISE	5 GALLON	41	48" OC	LOW	.2
	14	WESTRINGIA FRUTICOSA 'LILAC GEM'	COAST ROSEMARY	5 GALLON	88	36" OC	LOW	.2
	15	MARATHON FESCUE	TURF GRASS	SOD	2406 SF		HIGH	.8



Scale: $1/16" = 1'-0"$

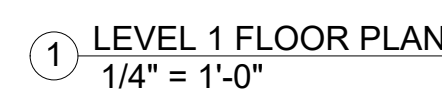


Scale:	As indicated
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LIVABLE	
Level 1	1032 SF
Level 2	1317 SF
	2349 SF
	2776 SF

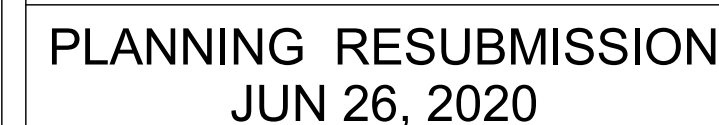
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Scale: $1/4" = 1'-0"$

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	2776 SF

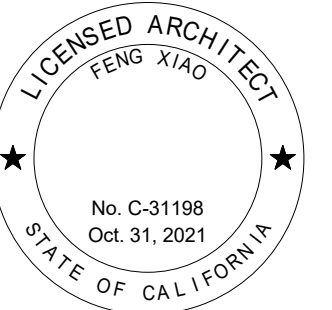
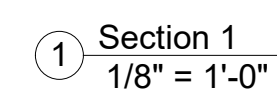
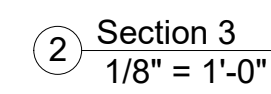
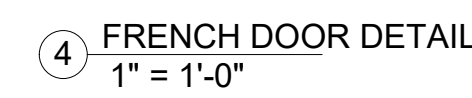
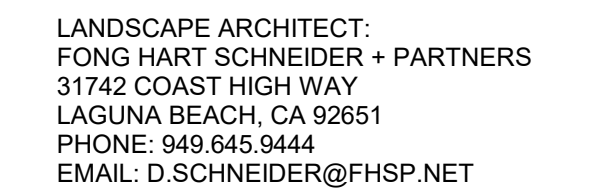
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LEVEL 2 FLOOR PLAN

Scale: $1/4" = 1'-0"$

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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PLANNING RESUBMISSION
JUN 26, 2020

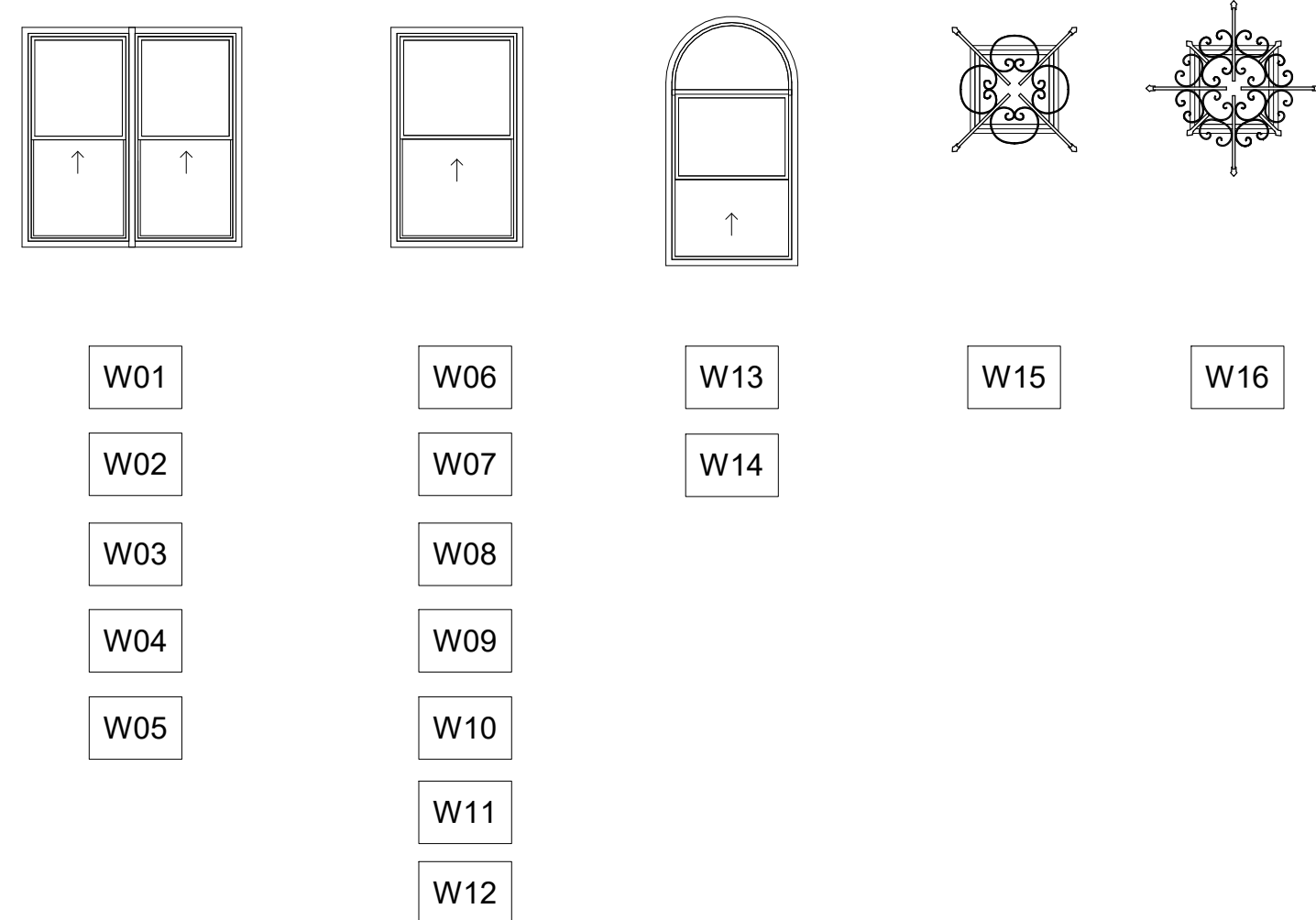
1440 S. HUNTINGTON
1440 S. HUNTINGTON ST., POMONA, CA

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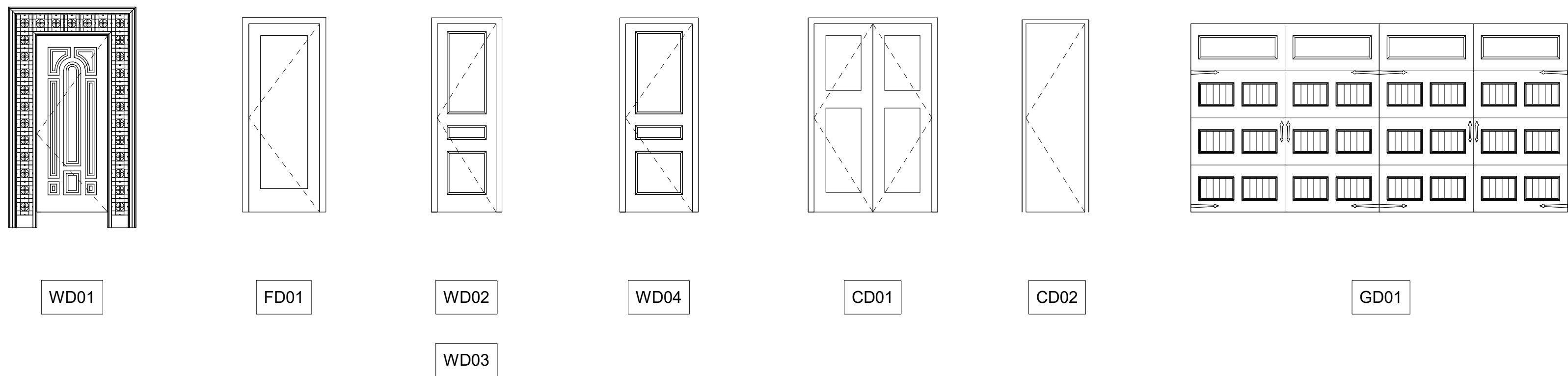
SECTIONS & DETAILS

A401

Scale:	As indicated
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Window Schedule									
Type Mark	Description	Width	Height	Sill Height	Head Height	Level	Count	Glazing	
W01	VINYL SINGLE HUNG DOUBLE WINDOW (COLOR: ADOBE)	6' - 0"	5' - 6"	2' - 6"	8' - 0"	Level 1	8		
W02	VINYL SINGLE HUNG DOUBLE WINDOW (COLOR: ADOBE)	6' - 0"	5' - 0"	3' - 0"	8' - 0"	Level 2	8		
W03	VINYL SINGLE HUNG DOUBLE WINDOW (COLOR: ADOBE)	5' - 0"	5' - 6"	2' - 6"	8' - 0"	Level 1	4		
W04	VINYL SINGLE HUNG DOUBLE WINDOW (COLOR: ADOBE)	5' - 0"	5' - 0"	3' - 0"	8' - 0"	Level 1	4		
W05	VINYL SINGLE HUNG DOUBLE WINDOW (COLOR: ADOBE)	5' - 0"	4' - 0"	4' - 0"	8' - 0"	Level 1	4		
W06	VINYL SINGLE HUNG WINDOW (COLOR: ADOBE)	3' - 0"	5' - 6"	2' - 6"	8' - 0"	Level 1	4		
W07	VINYL SINGLE HUNG WINDOW (COLOR: ADOBE)	3' - 0"	5' - 0"	3' - 0"	8' - 0"	Level 1	8		
W07	VINYL SINGLE HUNG WINDOW (COLOR: ADOBE)	3' - 0"	5' - 0"	3' - 0"	8' - 0"	Level 2	52		
W08	VINYL SINGLE HUNG WINDOW (COLOR: ADOBE)	3' - 0"	4' - 0"	4' - 0"	8' - 0"	Level 1	4		
W08T	VINYL SINGLE HUNG WINDOW (COLOR: ADOBE)	3' - 0"	4' - 0"	4' - 0"	8' - 0"	Level 2	8	TG	
W09	VINYL SINGLE HUNG WINDOW (COLOR: ADOBE)	2' - 6"	5' - 6"	2' - 6"	8' - 0"	Level 1	8		
W10	VINYL SINGLE HUNG WINDOW (COLOR: ADOBE)	2' - 6"	5' - 0"	3' - 0"	8' - 0"	Level 2	16		
W11	VINYL SINGLE HUNG WINDOW (COLOR: ADOBE)	2' - 6"	4' - 0"	4' - 0"	8' - 0"	Level 2	8		
W12T	VINYL SINGLE HUNG WINDOW (COLOR: ADOBE)	2' - 0"	4' - 0"	4' - 0"	8' - 0"	Level 2	4	TG	
W13	VINYL SINGLE HUNG ARCH WINDOW (COLOR: ADOBE)	3' - 0"	5' - 0"	1' - 6"	6' - 6"	Level 1	8		
W13	VINYL SINGLE HUNG ARCH WINDOW (COLOR: ADOBE)	3' - 0"	5' - 0"	1' - 6"	6' - 6"	Level 2	8		
W14	VINYL SINGLE HUNG ARCH WINDOW (COLOR: ADOBE)	3' - 0"	4' - 0"	2' - 6"	6' - 6"	Level 1	4		
W14	VINYL SINGLE HUNG ARCH WINDOW (COLOR: ADOBE)	3' - 0"	4' - 0"	2' - 6"	6' - 6"	Level 2	8		
W15T	VINYL FIXED WINDOW (COLOR: ADOBE)	2' - 0"	2' - 0"	5' - 6"	7' - 6"	Level 2	8	TG	
W16	VINYL FIXED WINDOW (COLOR: ADOBE)	2' - 0"	2' - 0"	5' - 6"	7' - 6"	Level 2	4		



Door Schedule								
Type Mark	Description	Width	Height	Thickness	Level	Count	Glazing	Fire Rating
CD01	HOLLOW CORE COMPOSITE DOOR	5' - 0"	8' - 0"	0' - 1 3/8"	Level 2	8		
CD02	HOLLOW CORE COMPOSITE DOOR	2' - 6"	8' - 0"	0' - 1 3/8"	Level 1	8		
FD01	VINYL FRENCH DOOR	3' - 0"	8' - 0"	0' - 1 3/4"	Level 1	8	TG	
FD01	VINYL FRENCH DOOR	3' - 0"	8' - 0"	0' - 1 3/4"	Level 2	4	TG	
GD01	WOODGRAIN STEEL GARAGE DOOR	16' - 0"	8' - 0"	0' - 2"	Level 1	8		
WD01	PAINTED PREHUNG STEEL ENTRY DOOR	3' - 0"	7' - 6"	0' - 2"	Level 1	8		
WD02	SOLID CORE COMPOSITE FIRE RATED DOOR	3' - 0"	8' - 0"	0' - 1 3/4"	Level 1	8		45 MIN. RATED DOOR, EQUIPPED WITH SELF-CLOSING AND SELF-LATCHING DEVICES
WD03	HOLLOW CORE COMPOSITE DOOR	2' - 6"	8' - 0"	0' - 1 3/8"	Level 1	24		
WD03	HOLLOW CORE COMPOSITE DOOR	2' - 6"	8' - 0"	0' - 1 3/8"	Level 2	72		
WD04	HOLLOW CORE DOOR W/ LOUVERS	2' - 10"	8' - 0"	0' - 1 3/8"	Level 2	8		



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ARCHITECT:
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PLANNING RESUBMISSION
JUN 26, 2020

[illegible]

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WINDOW & DOOR SCHEDULE

Project number: 20005	Date: 06/05/2020
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Drawing No.

A402

Scale: $1/4" = 1'-0"$

