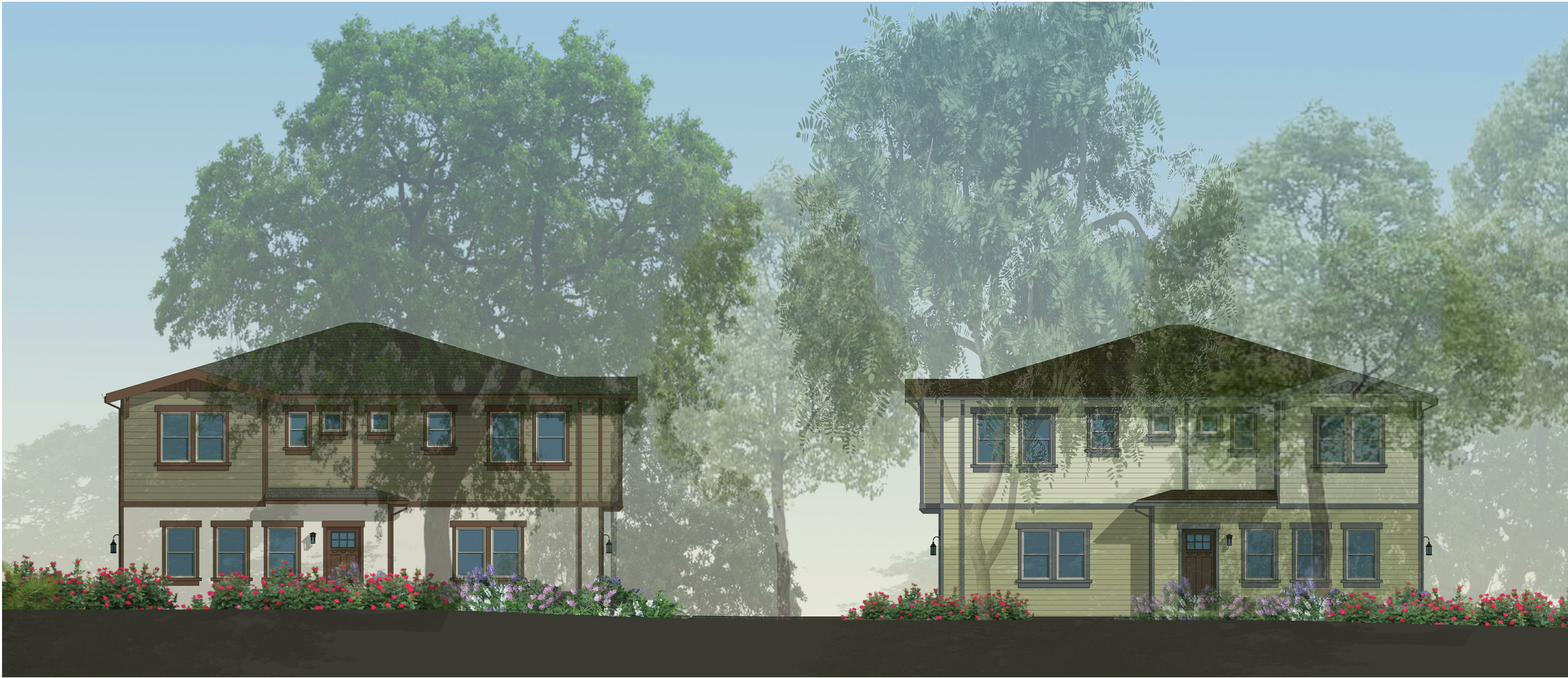




Area Schedule (Gross Building)	
Level	Area

LEVEL 1	5568 SF
AMENITY	5568 SF
LEVEL 1	3149 SF
PRIVATE YARD	3149 SF
1	
LEVEL 1	640 SF
LEVEL 2	1061 SF
FAR	1701 SF
LEVEL 1	473 SF
GARAGE	473 SF
2	
LEVEL 1	640 SF
LEVEL 2	1061 SF
FAR	1701 SF
LEVEL 1	473 SF
GARAGE	473 SF
3	
LEVEL 1	640 SF
LEVEL 2	1061 SF
FAR	1701 SF
LEVEL 1	473 SF
GARAGE	473 SF
4	
LEVEL 1	803 SF
LEVEL 2	1231 SF
FAR	2034 SF
LEVEL 1	443 SF
GARAGE	443 SF
5	
LEVEL 1	640 SF
LEVEL 2	1061 SF
FAR	1701 SF
LEVEL 1	473 SF
GARAGE	473 SF

Area Schedule (Gross Building)	
Level	Area

6	
LEVEL 1	640 SF
LEVEL 2	1061 SF
FAR	1701 SF
LEVEL 1	473 SF
GARAGE	473 SF
7	
LEVEL 1	803 SF
LEVEL 2	1231 SF
FAR	2034 SF
LEVEL 1	443 SF
GARAGE	443 SF
8	
LEVEL 1	640 SF
LEVEL 2	1061 SF
FAR	1701 SF
LEVEL 1	473 SF
GARAGE	473 SF
9	
LEVEL 1	640 SF
LEVEL 2	1061 SF
FAR	1701 SF
LEVEL 1	473 SF
GARAGE	473 SF
10	
LEVEL 1	803 SF
LEVEL 2	1231 SF
FAR	2034 SF
LEVEL 1	443 SF
GARAGE	443 SF
11	
LEVEL 1	640 SF
LEVEL 2	1061 SF
FAR	1701 SF
LEVEL 1	473 SF
GARAGE	473 SF
	33541 SF

NOTES:
DIMENSIONS FOR WALLS INDICATED IN PROJECT SUMMARY AND ON PLANS ARE TO FACE OF STUDS, FROM FACE OF STUDS, AND/OR EDGE OF STUDS.
AREA INDICATED IN PROJECT SUMMARY AND ON PLANS ARE TO EXTERIOR FACE OF WALLS.

PROJECT SUMMARY

PROJECT DESCRIPTION: DEMOLISH EXITING SINGLE FAMILY HOUSE AND DETACHED GARAGE, PROPOSE NEW 2 STORY 11 DUPLEX AND TRIPLEX UNITS WITH ATTACHED GARAGES, CUP AND TRACT MAP APPLICATION

PROJECT ADDRESS: 952 E. 9TH ST., POMONA, CA 91766

APN NUMBER: 8333-004-010
TRACT NO.

ZONING: R-2-S, LOW DENSITY MULTI-FAMILY WITH S OVERLAY

MIN. LOT SIZE: 3,000 SF

SITE AREA: 37,149 SF (0.85 ACRE)

DENSITY ALLOWED : 11-15 UNIT / ACRE (COLLECTOR STREET)
37,149/43,560X15=12.7 UNITS

UNIT COUNT: 11 UNITS (1,750 SF TO 2,096 SF PER UNIT)
AVERAGE SIZE: 1,792 SF
TOTAL LIVABLE AREA: 19,711 SF

PARKING:
22 UNIT PARKING IN GARAGE
3 ADDITIONAL PARKING (INCLUDING 1 H.C.

SPACE)
TOTAL: 25

PROPOSED SETBACK:
FRONT YARD: 30'-2"
25'-2" AFTER 5' ROAD DEDICATION
SIDE YARD: 10'-2"
BACKYARD: 36'-2"

OPEN SPACE:
COMMON OPEN SPACE REQUIRED:
11 UNITS X 500 SF (3 BEDROOM) = 5,500 SF

COMMON OPEN SPACE PROVIDED: 5,568 SF

PRIVATE OPEN SPACE REQUIRED:
150 SFX11=1,650 SF

PRIVATE OPEN SPACE PROVIDED: 3,149 SF

MINIMUM REQUIRED SIDEYARD (SEE WALL HEIGHTS ON NEIGHBORS BUILDING ON A001)

BUILDING HEIGHT PER ZONING: 35'
PROPOSED BUILDING HEIGHT: 29'-6"

ALLOWABLE NUMBER OF STORY PER ZONING CODE: 2 STORY
PROPOSED: 2 STORY

APPLICABLE BUILDING CODES:
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
2019CALIFORNIA ENERGY CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ELECTRICAL CODE

OCCUPANCY GROUP: R3 (DUPLEX) AND R2 (DRIPLEX) OVER U (PRIVATE GARAGE)

TYPE OF CONSTRUCTION: VB WITH NPFA 13D (R3 DUPLEX), VB WITH NPFA 13R (R2 TRIPLEX)

ALLOWABLE BUILDING HEIGHT (CBC TABLE 504.3): 40' MAX
PROPOSED: 29'-6"

ALLOWABLE NUMBER OF STORY (CBC TABLE 504.4): 3 STORY
PROPOSED: 2 STORY

ALLOWABLE AREA PER FLOOR (CBC TABLE 506.2):
R3 UNLIMITED TYPE VB
R2 7,000 SF
R2 VB PROVIDED FOR TRIPLEX PER FLOOR: 2,168 SF
U (GARAGE) VB PROVIDED FOR TRIPLEX PER FLOOR: 1,419 SF

FIRE RESISTANCE RATING REQUIREMENT FOR EXTERIOR WALL BASED ON FIRE SEPARATION DISTANCE (CBC 705.8),

CBC 705.8.1 ALLOWABLE AREA OF OPENINGS
EXCEPTIONS: 2. BUILDINGS WHOSE EXTERIOR BEARING WALLS, EXTERIOR NONBEARING WALLS AND EXTERIOR PRIMARY STRUCTURAL FRAME ARE NOT REQUIRED TO BE FIRE-RESISTANCE RATED SHALL BE PERMITTED TO HAVE UNLIMITED UNPROTECTED OPENINGS.

NO LIMITATIONS FOR OPENINGS FOR NON-RATED EXTERIOR WALLS.

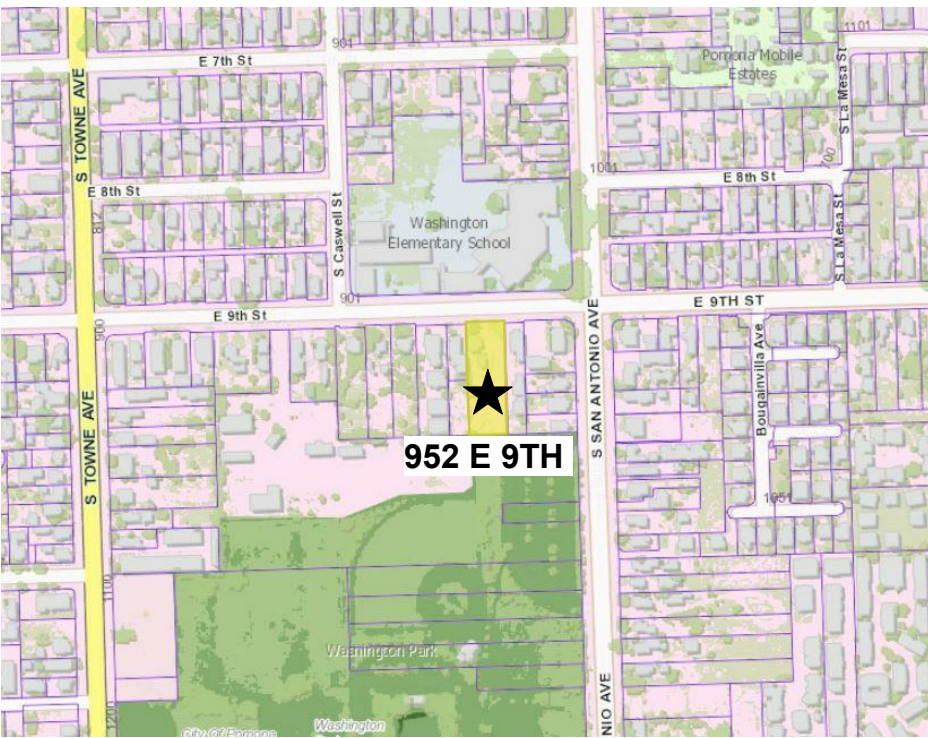
1 HOUR SPERATION BETWEEN RESIDENTIAL (R3 FOR DUPLEX AND R 2 FOR TRIPLEX) AND PRIVATE GARAGE (U) 1 HOUR SPERATION BETWEEN UNITS WITH SPRINKLER SYSTEMS (13D FOR R3, 13R FOR R2)

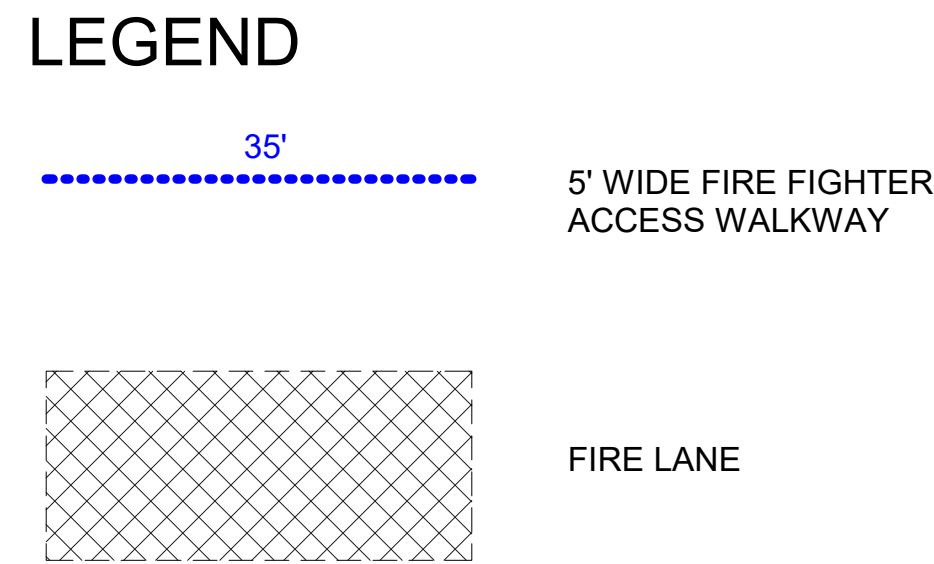
DEFERRED SUBMITTALS

DEFERRED SUBMITTALS: (SPRINKLER SYSTEM, ROOF TRUSS, ETC.)

DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE LOCAL BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND BEEN FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE LOCAL BUILDING OFFICIAL.
CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEFFERED SUBMITTALS.

VICINITY MAP








FORM 196
Rev. 04/03

Fire Prevention Engineering
5823 Rickenbacker Road
Commerce, CA 90040
ne (323) 890-4125 Fax (323) 890-4129

Building Address: 952 E. 9th St.

City or Area: Pomona

Nearest Cross Street: San Antonio Ave.

Distance of Nearest Cross Street: Approximately 235 feet

Applicant: Jimmy Lee, Land Design Consultant, Inc. Telephone: (626) 578-7000 x 2112

Address: 800 Royal Oaks Drive, Suite 104

City: Monrovia

Occupancy (Use of Building): R3, R2 over U Sprinklered: Yes ☒ No ☐

Type of Construction: VB

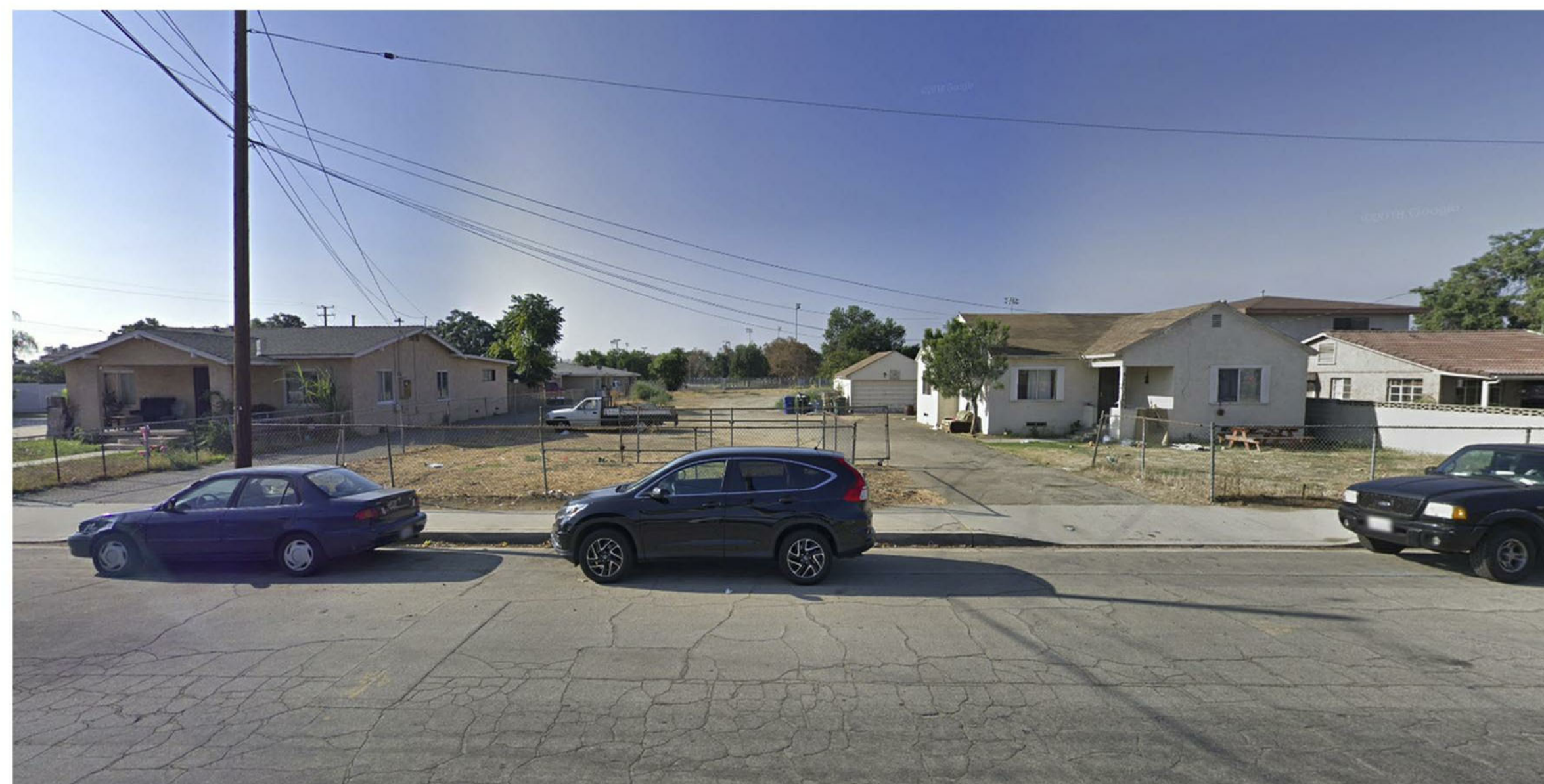
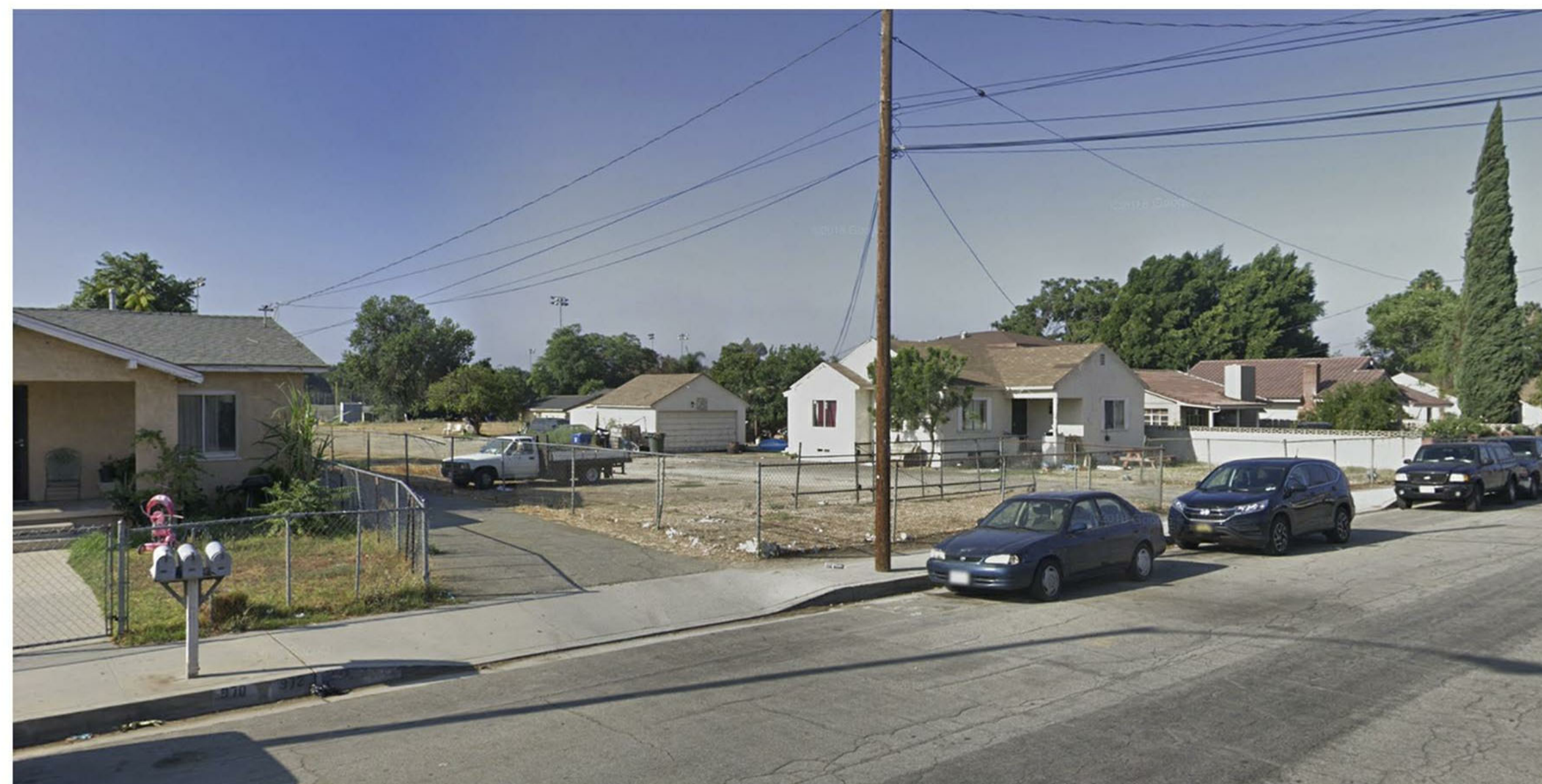
Square Footage: 1701-2034 SF/unit, 11 units Number of Stories: 2

Present Zoning: R-2-S

4-29-2020
Date

Form Current as of January 2016

Scale: $1/16" = 1'-0"$



EXISTING SITE

952 E 9TH ST., POMONA

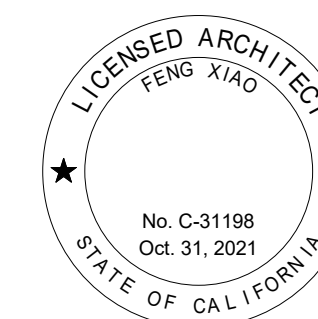


OWNER:
MR. HONGHUA SHANG
18931 COLIMA ROAD, #A
ROWLAND HEIGHTS, CA 91748
PHONE: 626.652.9666
EMAIL: HOUSEEXPRESS888@GMAIL.COM

ARCHITECT:
FENG XIAO ARCHITECT, INC.
2540 HUNTINGTON DR., #207
SAN MARINO, CA 91108
PHONE: 626.380.7098
EMAIL: FENG@FXARCHITECT.COM

CIVIL ENGINEER:
LAND DESIGN CONSULTANTS, INC.
800 ROYAL OAKS DRIVE, SUITE 104
MONROVIA, CA 91016
PHONE: 626.578.7000
EMAIL:SHUNTER@LDCLA.COM

LANDSCAPE ARCHITECT:
FONG HART SCHNEIDER+PARTNERS
31742 COAST HIGHWAY
LAGUNA BEACH, CA 92651
PHONE: 949.645.9444
EMAIL: D.SCHNEIDER@FHSP.NET



PLANNING RESUBMISSION
JUN 26, 2020

[illegible]

952 E 9TH
952 E 9TH ST, POMONA, CA 91766

© 2020 Feng Xiao Architect, Inc.

EXISTING SITE PHOTOS

Project number: 20003	Date: 06/09/20
-----------------------	----------------

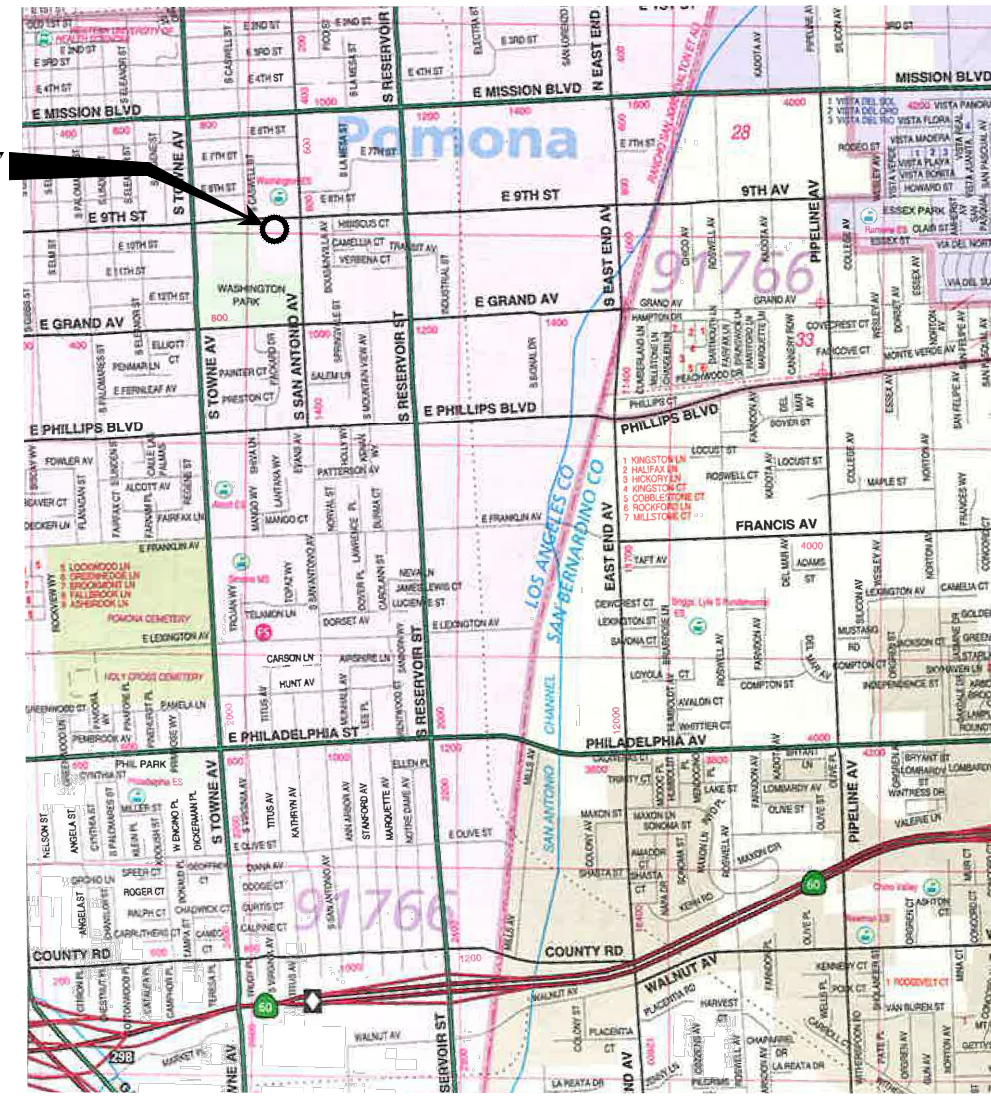
Drawing No. **G003**

	Scale
--	-------

TENTATIVE TRACT MAP 83094

CITY OF POMONA, LOS ANGELES
FOR CONDOMINIUM PURPOSES

PROJECT SITE
TR 83094



VICINITY MAP
NOT TO SCALE
1" = 1 MILE

GENERAL NOTES:

- PROJECT ADDRESS 952 E 9TH ST., POMONA, CA 91766
- APN# 8333-004-010, 8333-004-012
- PROJECT AREA GROSS: 37,149 S.F. (0.85 AC)
NET: 36,649 S.F. (0.84 AC)
- UNIT COUNT 11
- PARKING 22 PRIVATE GARAGE
2 STANDARD SURFACE
1 DISABLED
TOTAL PARKING: 25
- PROPOSED BUILDING HEIGHT: TOWNHOMES: 29'-6"
- EXISTING ZONING R-2 WITH S OVERLAY
- PROPOSED ZONING R-2 WITH S OVERLAY
- EXISTING LAND USE SINGLE FAMILY RESIDENT
- PROPOSED LAND USE SINGLE FAMILY RESIDENT/CONDOMINIUM
- GENERAL PLAN DESIGNATION RESIDENTIAL NEIGHBORHOOD
- SEWER AND WATER CONNECTION AT 9TH STREET
- EARTHWORK QUANTITIES: CUT: 230 CY. FILL: 230 CY.
- ALL EXISTING BUILDING/STRUCTURES ABOVE GROUND WITHIN THE DEVELOPMENT AREA WILL BE REMOVED.
- NO EXISTING WELLS, CESSPOOLS, SEPTIC TANKS, SEWAGE LEACH FIELDS, CULVERTS, STORM DRAINS, AND OTHER UNDERGROUND STRUCTURES WITHIN THE DEVELOPMENT AREA.
- NO EXISTING NOR PREVIOUSLY FILLED AREAS (LIQUID OR SOLID WASTE DISPOSAL SITES) WITHIN THE DEVELOPMENT AREA.
- THE PROJECT WILL COMPLY WITH CITY PARK/LAND DEDICATION RESOLUTION NO. 89-200
- THERE IS A STORM RUNOFF FROM THE EASTERLY SIDE OF THE DEVELOPMENT OMIT ONE BLOCK 15' OC. AT THE BOTTOM OF THE BLOCK WALL TO ALLOW OFFSITE DRAINAGE

UTILITIES AND SERVICES:

- WATER.....CITY OF POMONA
- SEWER.....CITY OF POMONA
- GAS.....SOUTHERN CALIFORNIA GAS COMPANY
- ELECTRIC.....SOUTHERN CALIFORNIA EDISON COMPANY
- TELEPHONE.....VERIZON
- CABLE TV.....FRONTIER

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

THE WEST 100 FEET OF THE EAST ONE-HALF OF THE NORTH ONE-HALF OF LOT 1 IN BLOCK 173 OF POMONA, IN THE CITY OF POMONA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 3, PAGES 90 AND 91 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM THE WEST 50 FEET OF THAT PORTION OF SAID LAND, LYING NORTHERLY OF A LINE PARALLEL TO AND DISTANT NORTH 145 FEET FROM THE SOUTHERLY LINE OF NORTH ONE-HALF.

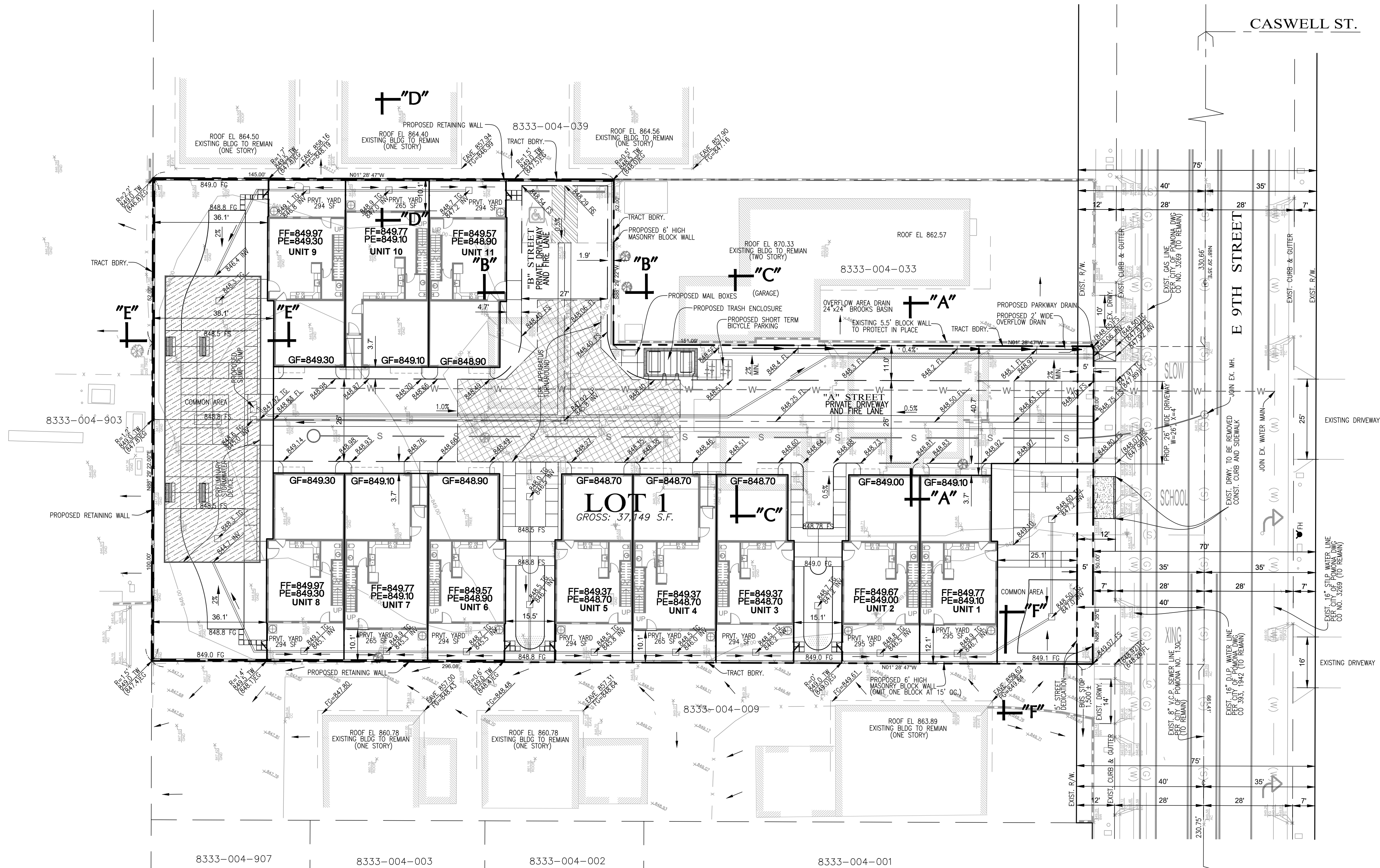
PARCEL 2:

THE WEST 50 FEET OF THE EAST ONE-HALF OF THE NORTH ONE-HALF OF LOT 1, BLOCK 173 OF POMONA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 3 PAGE 90 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THE SOUTH 145 FEET THEREOF.

PARCEL 3:

THE SOUTH 145 FEET OF THE EAST 52 FEET OF THE WEST ONE-HALF OF THE NORTH ONE-HALF OF LOT 1, BLOCK 173 OF POMONA, IN THE CITY OF POMONA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 3 PAGE 90 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.



LEGEND & ABBREVIATIONS:

BVC	- BEGINNING OF VERTICAL CURVE	(T)	- EXISTING TELECOMMUNICATION LINE
C.B.	- CATCH BASIN	(G)	- EXISTING GAS LINE
C	- CENTER LINE	(S)	- EXISTING SEWER LINE
DWY	- DRIVEWAY	(W)	- EXISTING WATER LINE
EL/ELEV	- ELEVATION	S	- PROPOSED SEWER LINE
EX/EXIST.	- EXISTING	W	- PROPOSED WATER LINE
FL	- FLOW LINE		- PROPOSED STORM DRAIN
FS	- FINISH SURFACE		- DIRECTION OF FLOW
GB	- GRADE BREAK		- FIRE HYDRANT
HP	- HIGH POINT		- PROP. RETAINING WALL
MIN.	- MINIMUM		- TRACT BOUNDARY
MH	- MANHOLE		- PROPOSED CONTOURS
PE	- PAD ELEVATION		- EXISTING CONTOURS
PL	- PROPERTY LINE		- STREET & DRIVEWAY CENTERLINE
PRVT	- PRIVATE		
STD.	- STANDARD		
TW	- TOP OF WALL		
PP	- POWER POLE		
	- TREE		
	- PRELIMINARY STORMWATER DEVICE		
	- FIRE APPARATUS TURNAROUND		

BENCH MARK

L.A.C.D.P.W. B.M. JG4970 ELEV. 878.469 FEET

DPIW BM TAG IN S CB 3.3 FT
E/O BCR @ SE COR FIRST ST
& SAN ANTONIO AVE 69 FT
W/O & 19.7 FT S/O C/L INT

COVINA QUAD. 2005 ADJUSTMENT NAVD 1988

PROJECT TEAM:

OWNER/SUBDIVIDER:

MR. HONGHUA SHANG
18931 COLIMA ROAD, #A
ROWLAND HEIGHTS, CA 91748
PHONE: 626 652-9666
EMAIL: houseexpress88@gmail.com

CIVIL ENGINEER:

LAND DESIGN CONSULTANTS, INC.
800 ROYAL OAKS DRIVE, SUITE 104
MONROVIA, CA 91016
(626) 578-7000
EMAIL: SHUNTER@LDCLA.COM
CONTACT: STEVE HUNTER

GEOTECHNICAL ENGINEER:

GEO CONCEPTS INC
14428 HAMILTON STREET #200
VAN NUYS, CA 91401
(818) 994-8895

ARCHITECT:

FENG XIAO ARCHITECT, INC.
2540 HUNTINGTON DR. SUITE 207
SAN MARINO, CA 91108
(626) 380-7098
EMAIL: FENGXIAOARCHITECT.COM
CONTACT: FENG XIAO, AIA, NCRARB

LANDSCAPE ARCHITECT:

FONG HART SCHNEIDER + PARTNERS
31742 COST HIGHWAY
LAGUNA BEACH, CA 92651
(949) 645-9444
EMAIL: D.SCHNEIDER@FHSP.NET
CONTACT: STEVE HUNTER



SCALE 1"=20'

IMPERVIOUS AREA

EXISTING CONDITION: 0.13 AC
PROPOSED CONDITION: 0.66 AC

NEAREST BUS STOP

THE NEAREST BUS STOP IS LOCATED 1,500'± EAST OF THE SITE AT THE INTERSECTION OF 9TH STREET AND RESERVOIR STREET

BASIS OF BEARING

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING OF THE CENTERLINE OF NINTH STREET SHOWN AS NORTH 88° 29' 35" EAST ON PARCEL MAP NO. 70842, P.M.B. 361/96-97

FLOOD ZONE

THE LAND SHOWN HEREON LIES ENTIRELY WITHIN FLOOD ZONE "X" BEING DESCRIBED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" PER FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NUMBER 06037C1725F DATED AUGUST 28, 2008.

EASEMENTS

NO EASEMENT LISTED INSIDE PROPERTY

PLANS PREPARED BY:

LDC

LAND DESIGN CONSULTANTS, INC.
Land Planning, Civil Engineering, Surveying & Environmental Services
800 Royal Oaks Drive, Suite 104, Monrovia, California 91016
Ph: (626) 578-7000, Fax: (626) 578-7373
http://www.ldcla.com

PROJECT ENGINEER

06/25/2020
DATE

CITY OF POMONA

TENTATIVE TRACT MAP 83094
NEW MULTI-FAMILY RESIDENTIAL DEVELOPMENT
952 E. 9TH STREET, POMONA, CA. 91766

DESIGNED:	LDC	DRAWN:	LDC	CHECKED:	S.H.	SCALE:	AS SHOWN
DESIGN DATE:	06/25/2020	DRAWING NO.:	20002-004	SHEET:	1	OF	2

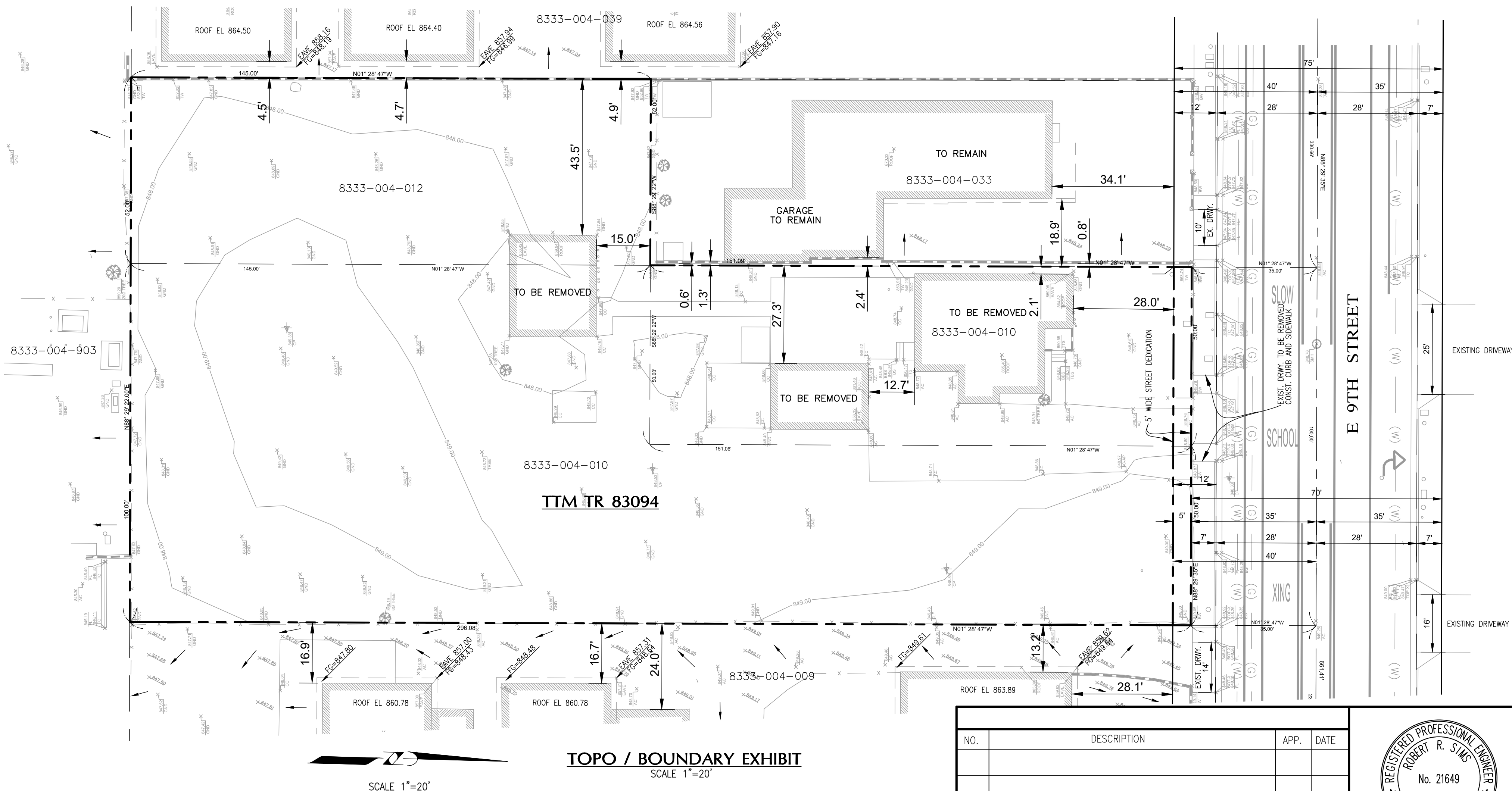
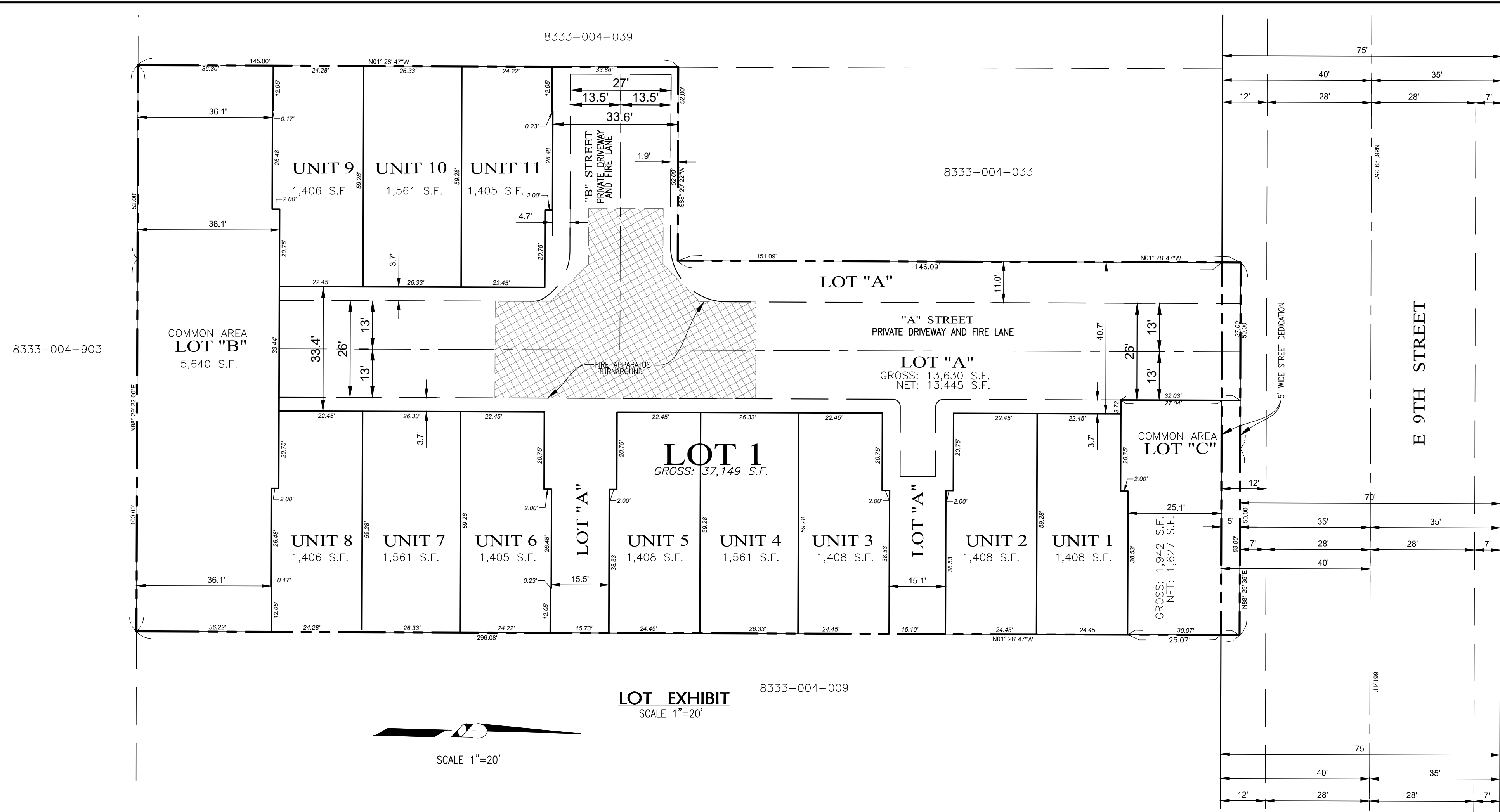


DIAL TOLL FREE
8 1 1

AT LEAST TWO DAYS
BEFORE YOU DIG

UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

J:\Civil 3D Projects\20020004\Sheet Sets\VTM\VTm.dwg Jun 25, 2020 3:39 pm MSERVI



NO.	DESCRIPTION	APP.	DATE

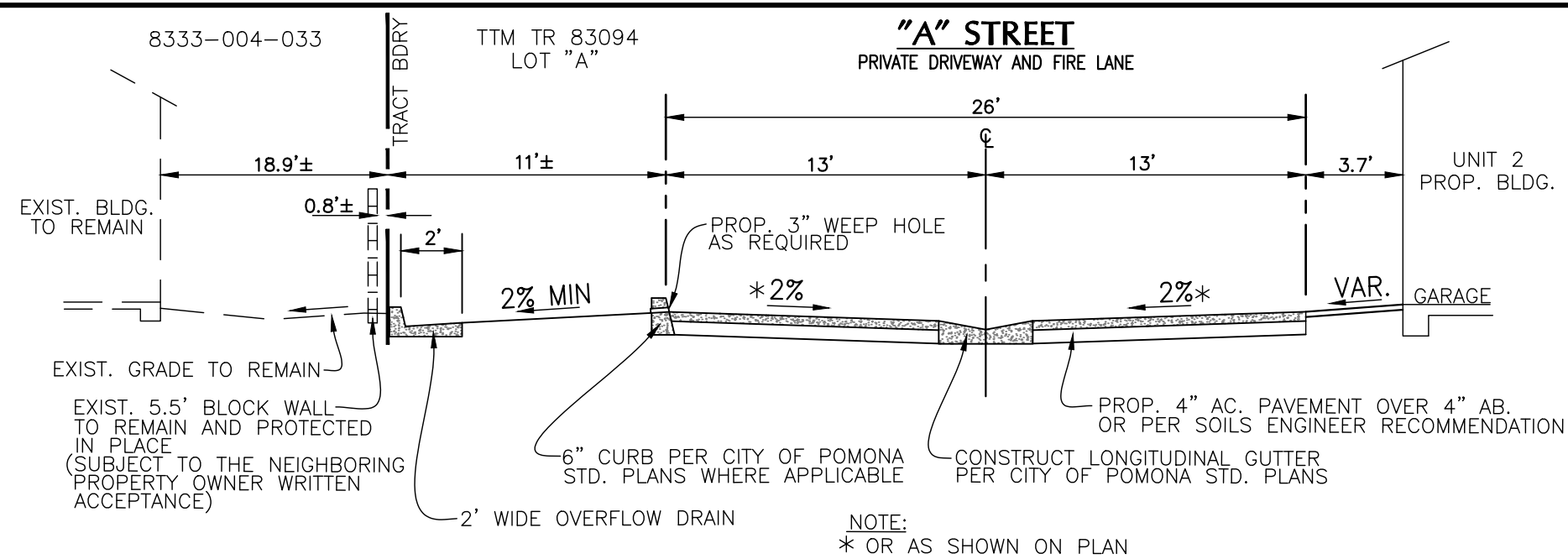


PLANS PREPARED BY:

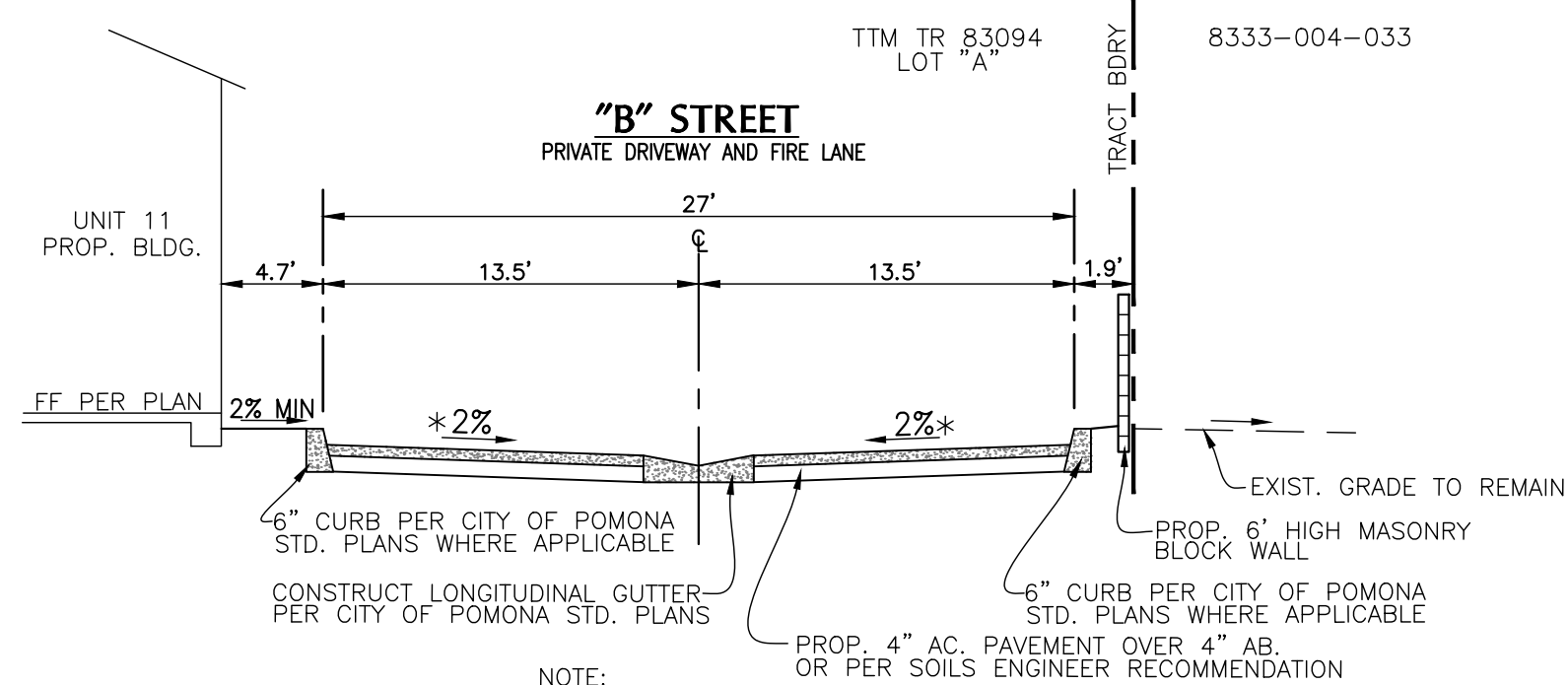


LAND DESIGN CONSULTANTS, INC.
Land Planning, Civil Engineering, Surveying & Environmental Services
800 Royal Oaks Drive, Suite 104, Monrovia, California 91016
Ph: (626) 578-7000, Fax: (626) 578-7373
<http://www.ldcla.com>

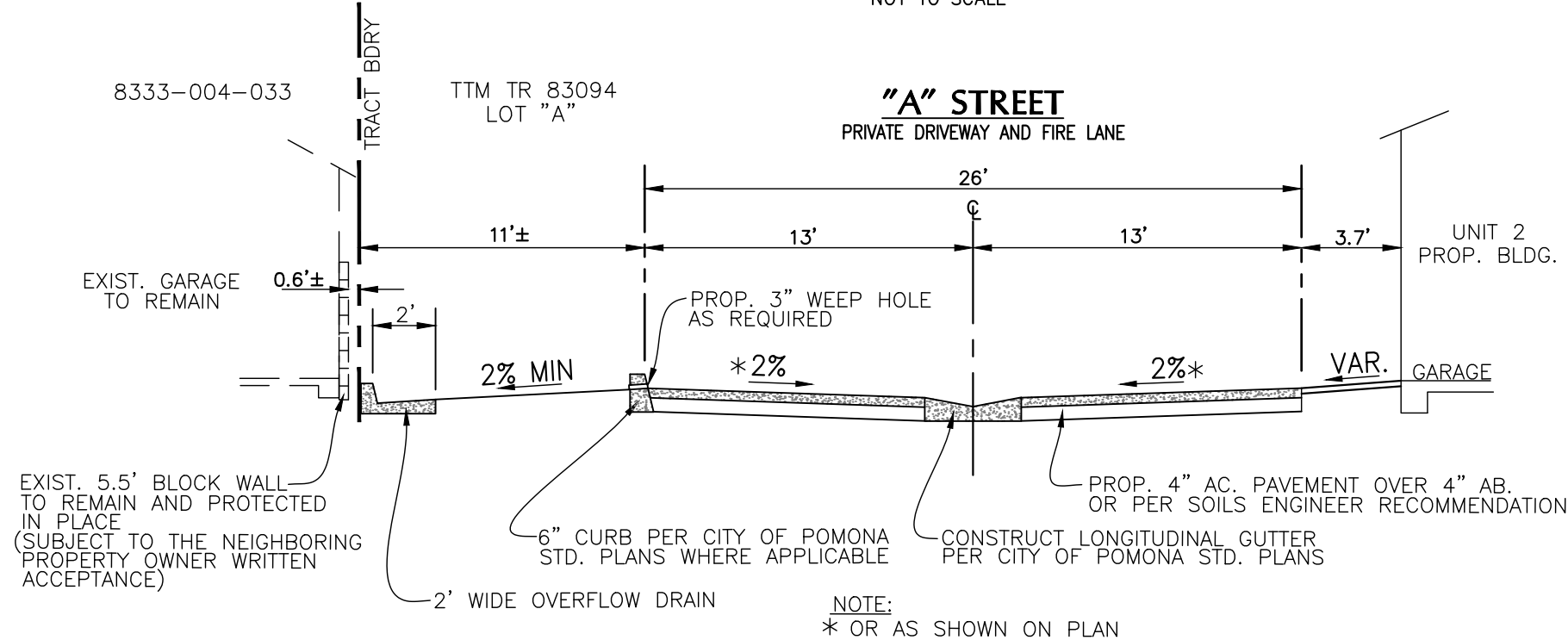
Project Engineer
PROJECT ENGINEER 06/25/2020
DATE



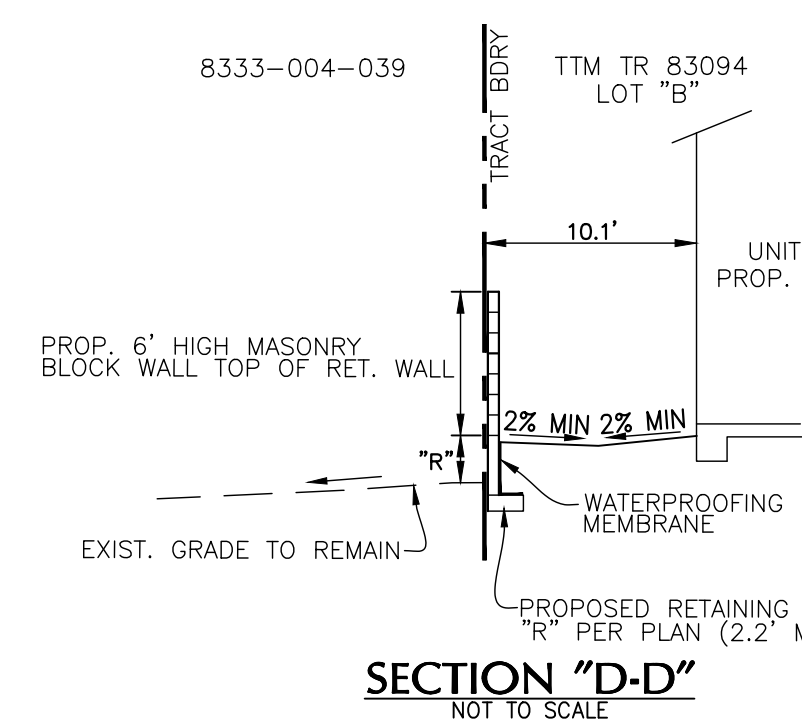
SECTION "A-A"
26' WIDE PRIVATE DRIVEWAY AND FIRE LANE
NOT TO SCALE



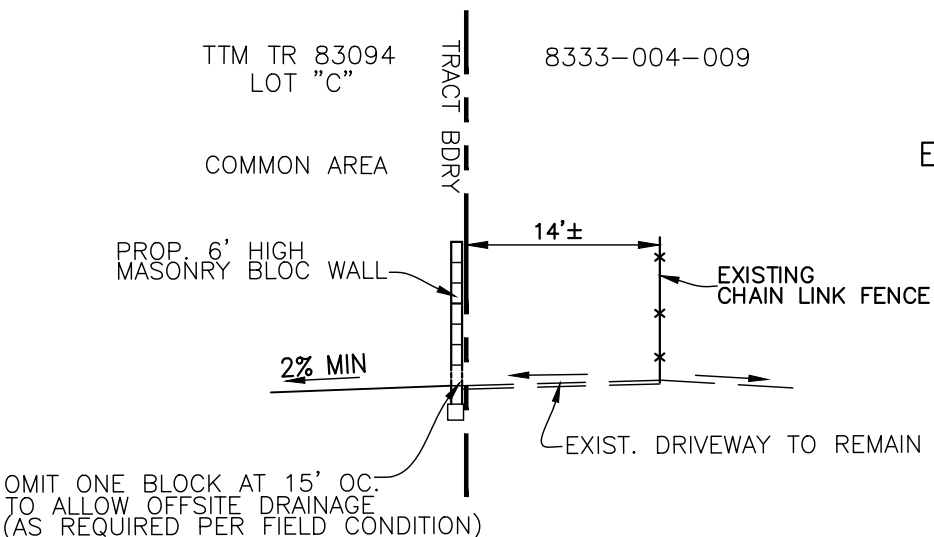
SECTION "B-B"
PRIVATE DRIVEWAY AND FIRE LANE
NOT TO SCALE



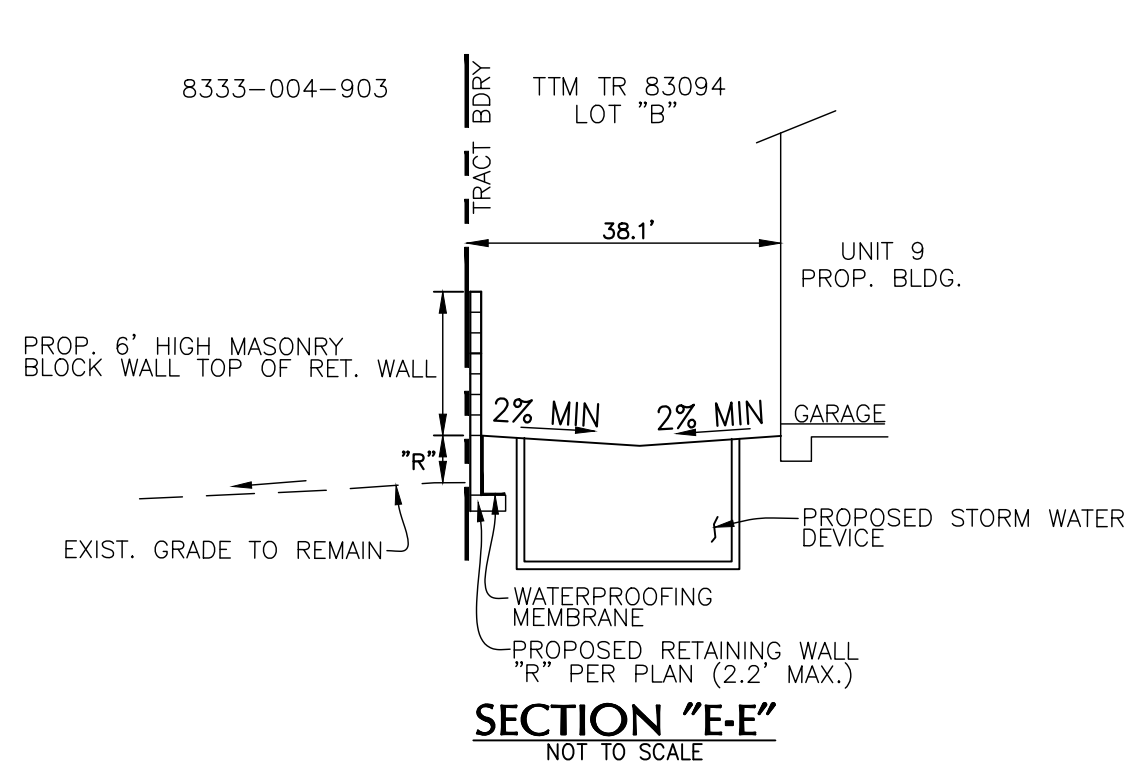
SECTION "C-C"
26' WIDE PRIVATE DRIVEWAY AND FIRE LANE
NOT TO SCALE



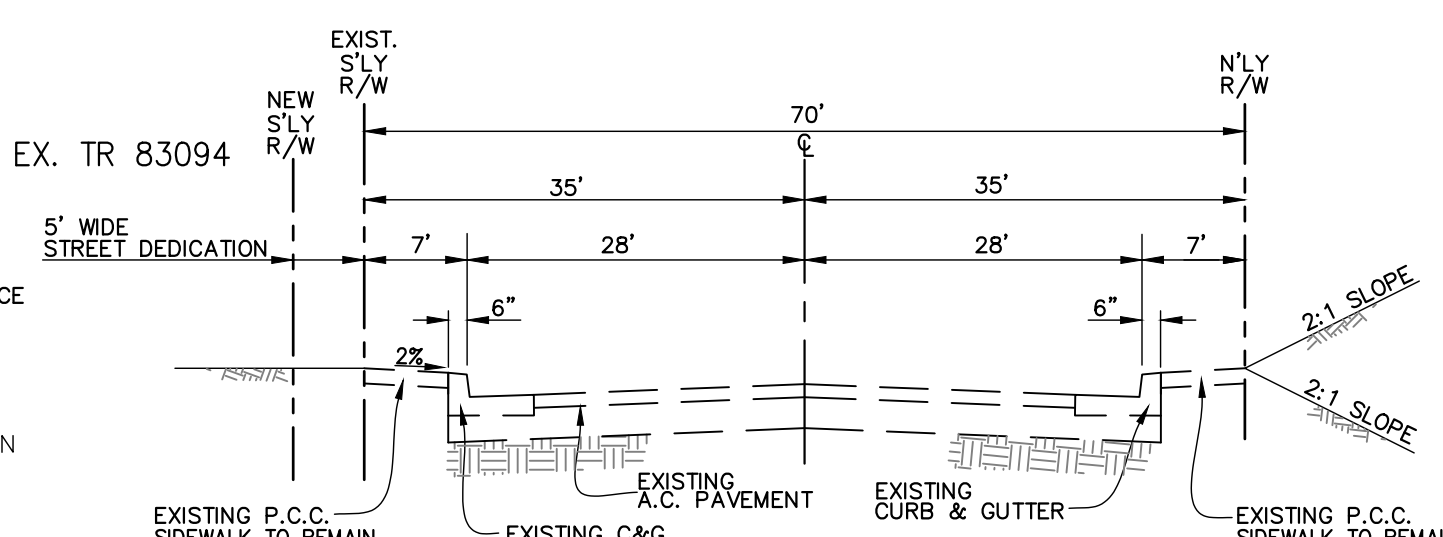
SECTION "D-D"
NOT TO SCALE



SECTION "E-E"
NOT TO SCALE



SECTION "F-F"
NOT TO SCALE



TYPICAL SECTION E 9TH STREET
NOT TO SCALE

CITY OF POMONA

TENTATIVE TRACT MAP 83094
NEW MULTI-FAMILY RESIDENTIAL DEVELOPMENT
952 E. 9TH STREET, POMONA, CA. 91766

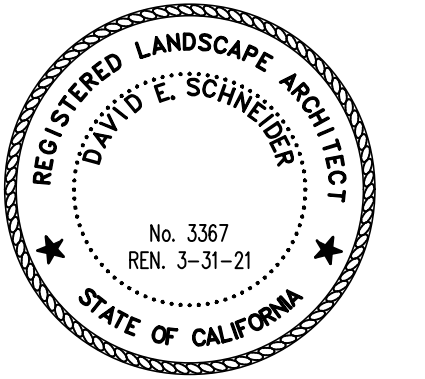
DESIGNED:	LDC	DRAWN:	LDC	CHECKED:	S.H.	SCALE:	AS SHOWN
DESIGN DATE:	06/25/2020	DRAWING NO.:	20002-004	SHEET:	2	OF	2

OWNER:
MR. HONGHUA SHANG
18931 COLIMA ROAD, #A
ROWLAND HEIGHTS, CA 91748
PHONE: 626.652.9666
EMAIL: HOUSEEXPRESS888@GMAIL.COM

ARCHITECT:
FENG XIAO ARCHITECT, INC.
2540 HUNTINGTON DR., #207
SAN MARINO, CA 91108
PHONE: 626.380.7098
EMAIL: FENG@FXARCHITECT.COM

CIVIL ENGINEER:
LAND DESIGN CONSULTANTS, INC.
800 ROYAL OAKS DRIVE, SUITE 104
MONROVIA, CA 91016
PHONE: 626.578.7000
EMAIL: SHUNTER@LDCLA.COM

LANDSCAPE ARCHITECT:
FONG HART SCHNEIDER+PARTNERS
31742 COAST HIGHWAY
LAGUNA BEACH, CA 92651
PHONE: 949.645.9444
EMAIL: D.SCHNEIDER@FHSP.NET



PLANNING SUBMISSION
APR 8, 2020

952 E 9TH

952 E 9TH ST, POMONA, CA 91766

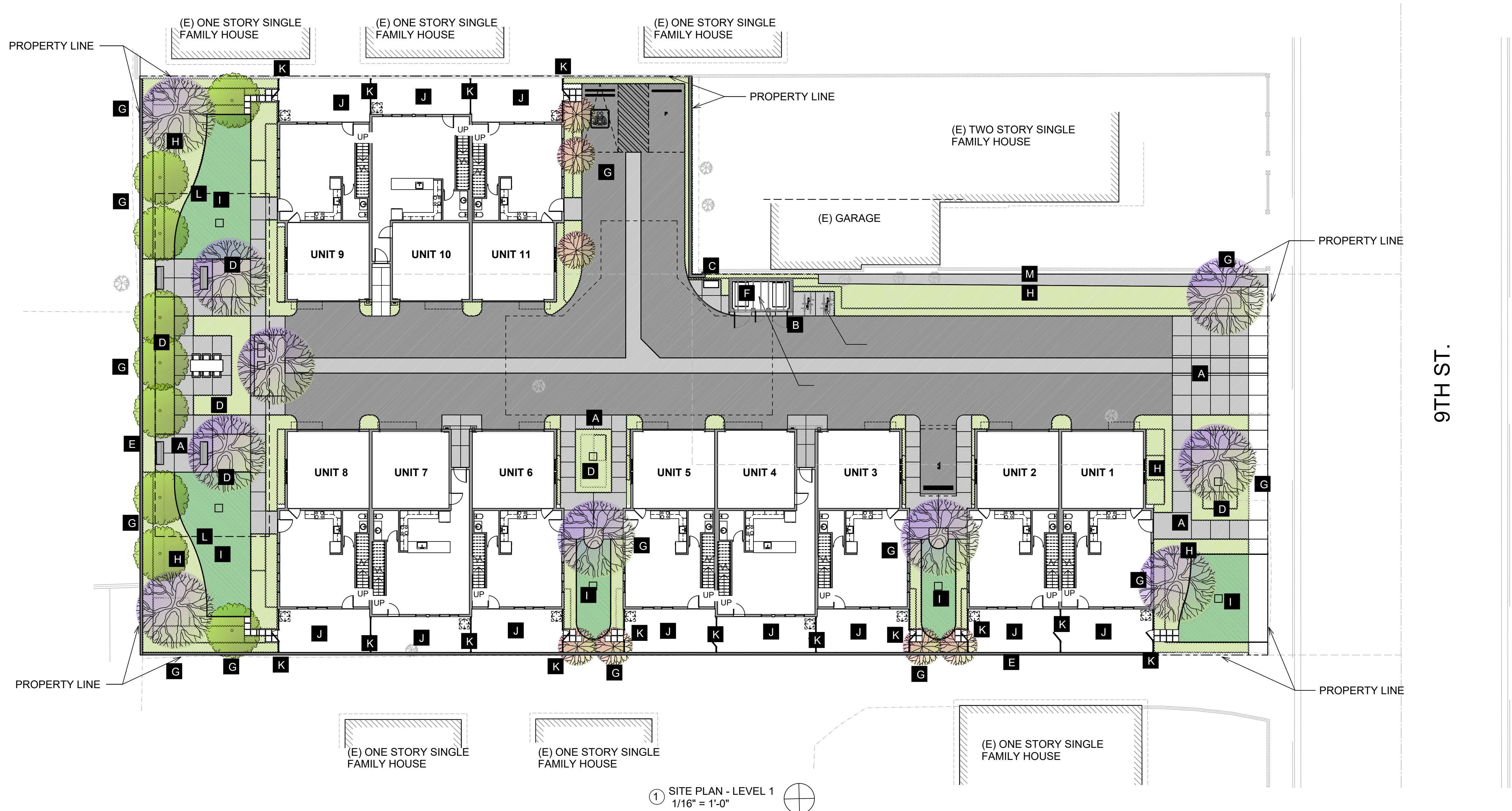
© 2020 Feng Xiao Architect, Inc.

**SITE PLAN -
LANDSCAPING**

Project number: 20003 Date: Issue Date
Drawing No.

L001

Scale: 1/16" = 1'-0"



LEGEND

SYMBOL	DESCRIPTION
A	CONCRETE PAVING WITH SAWCUT JOINTS
B	SHORT TERM BICYCLE PARKING
C	MAIL BOXES
D	THE GARDEN SEATING AREA, WITH BENCHES, FLOWERING TREES AND FLOWERING SHRUBS AND PERENNIALS.
E	PERIMETER BLOCK WALL WITH VINES
F	TRASH ENCLOSURE AND PEDESTRIAN ACCESS, WITH VINES ON WALLS
G	TREES 24" BOX MINIMUM
H	DROUGHT TOLERANT LANDSCAPE AREAS
I	LAWN AREA
J	PRIVATE OPEN SPACE
K	WOOD PRIVACY FENCES 5-6FT HIGH
L	LIMITS OF UNDERGROUND STORAGE TANK, SEE CIVIL PLANS
M	CONCRETE GUTTER FOR DRAINAGE, SEE CIVIL PLANS

OWNER:
MR. HONGHUA SHANG
18931 COLIMA ROAD, #A
ROWLAND HEIGHTS, CA 91748
PHONE: 626.652.9666
EMAIL: HOUSEXPRESS888@GMAIL.COM

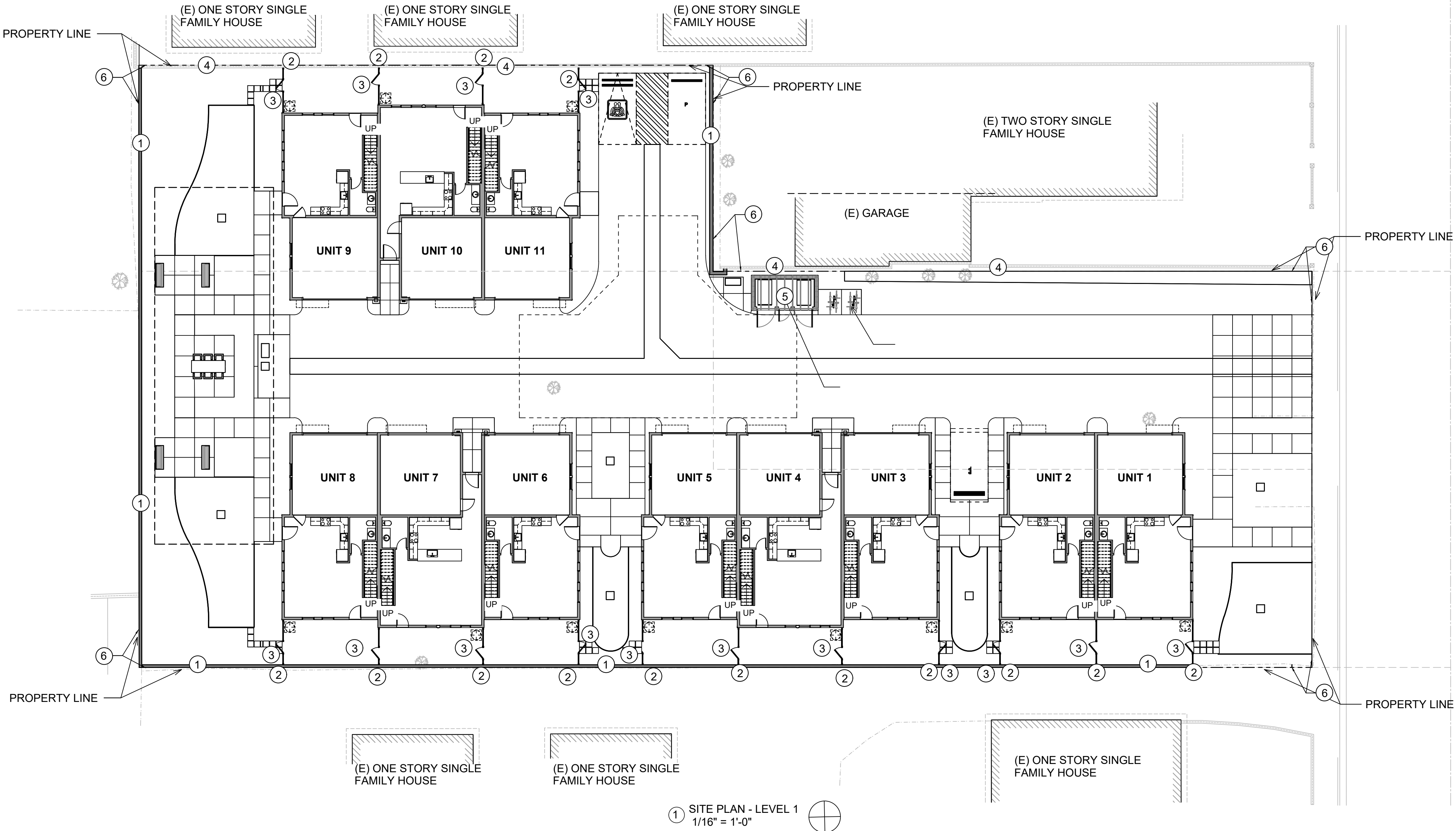
ARCHITECT:
FENG XIAO ARCHITECT, INC.
2540 HUNTINGTON DR., #207
SAN MARINO, CA 91108
PHONE: 626.380.7098
EMAIL: FENG@FXARCHITECT.COM

CIVIL ENGINEER:
LAND DESIGN CONSULTANTS, INC.
800 ROYAL OAKS DRIVE, SUITE 104
MONROVIA, CA 91016
PHONE: 626.578.7000
EMAIL: SHUNTER@LDCLA.COM

LANDSCAPE ARCHITECT:
FONG HART SCHNEIDER+PARTNERS
31742 COAST HIGHWAY
LAGUNA BEACH, CA 92651
PHONE: 949.645.9444
EMAIL: D.SCHNEIDER@FHSP.NET

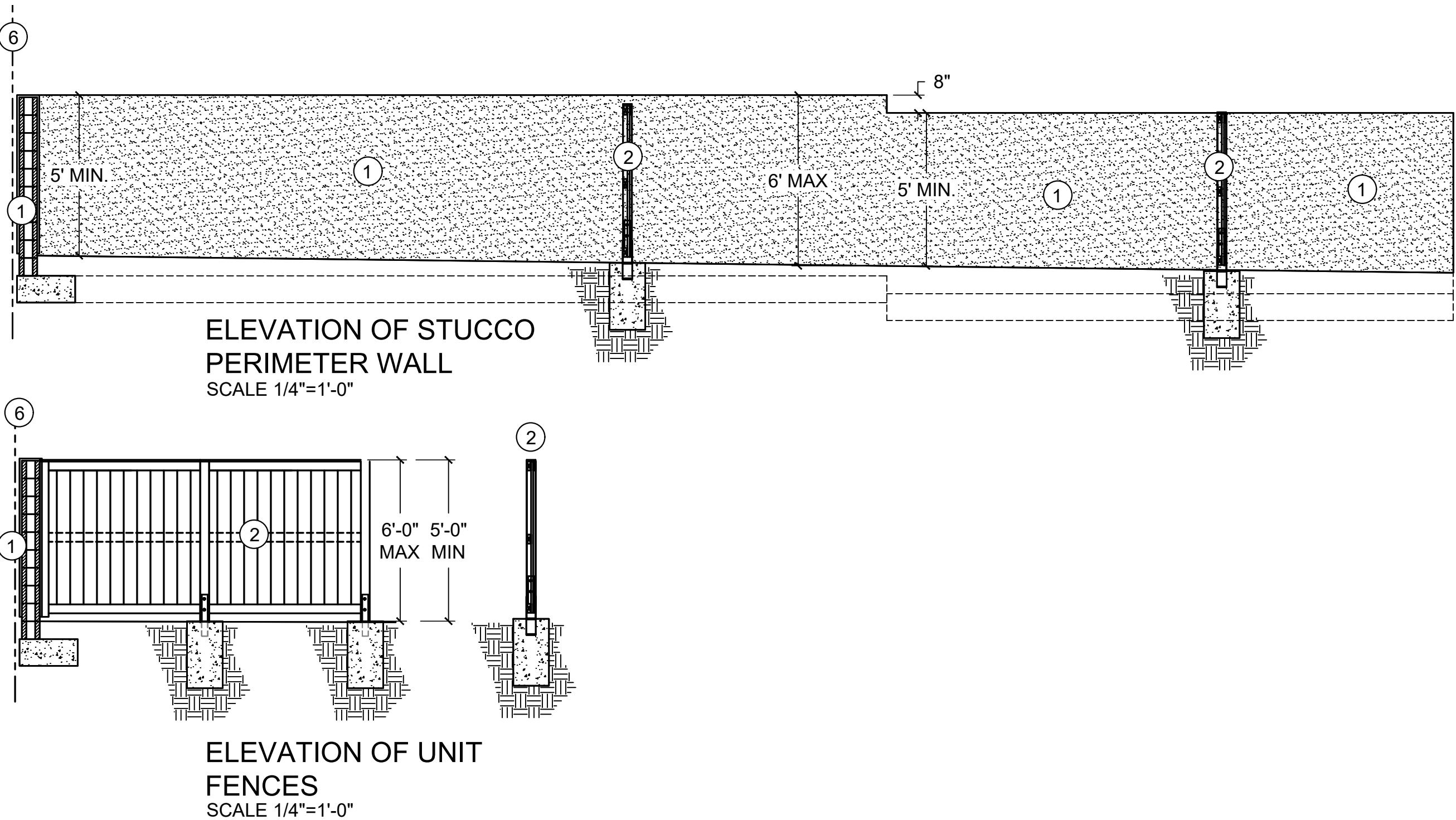


PLANNING SUBMISSION
APR 8, 2020



LEGEND

SYMBOL	DESCRIPTION
①	8X8X16 CONCRETE MASONRY UNIT WALL WITH STUCCO FINISH TO MATCH BUILDING FINISH AND COLOR
②	WOOD FENCING DIVIDING PRIVATE OPEN SPACE SEE DETAIL L003
③	WOOD FENCING GATE SEE DETAIL L003
④	EXISTING NEIGHBORS BLOCK WALL PROTECT IN PLACE
⑤	PROPOSED TRASH ENCLOSURE SEE DETAIL NEXT SHEET
⑥	PROPERTY LINE

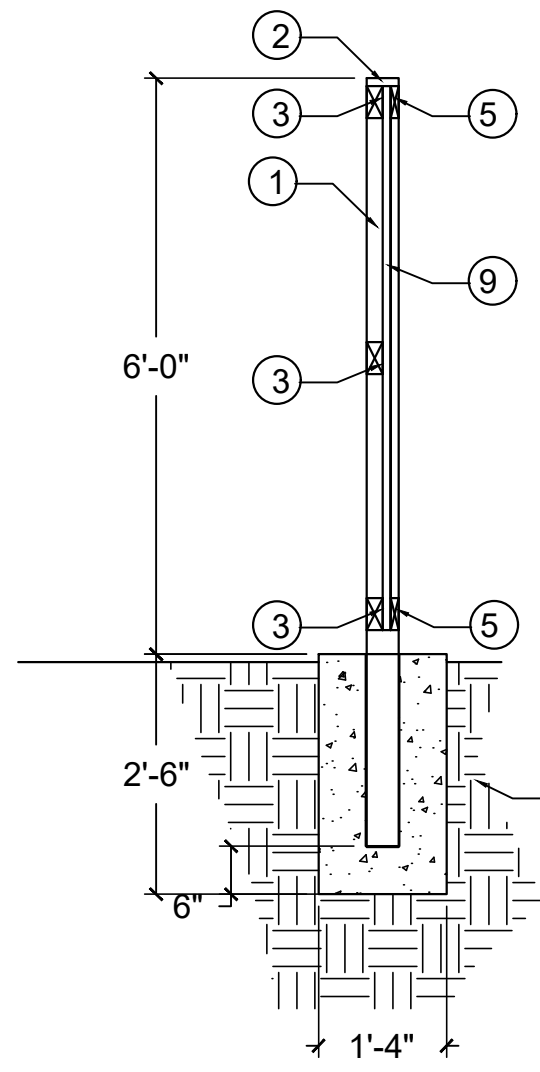
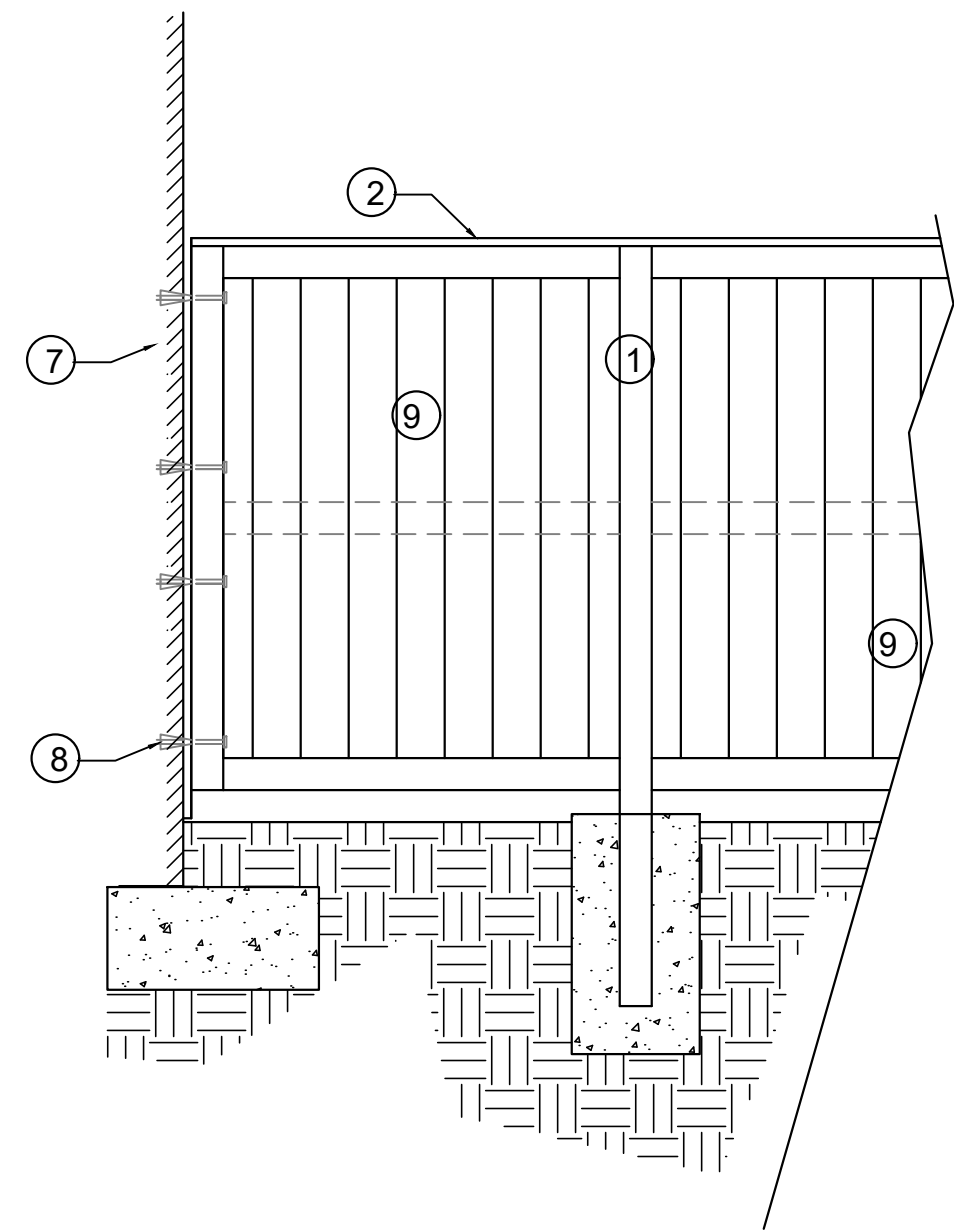


952 E 9TH
952 E 9TH ST, POMONA, CA 91766
© 2020 Feng Xiao Architect, Inc.

SITE PLAN - WALLS AND FENCES

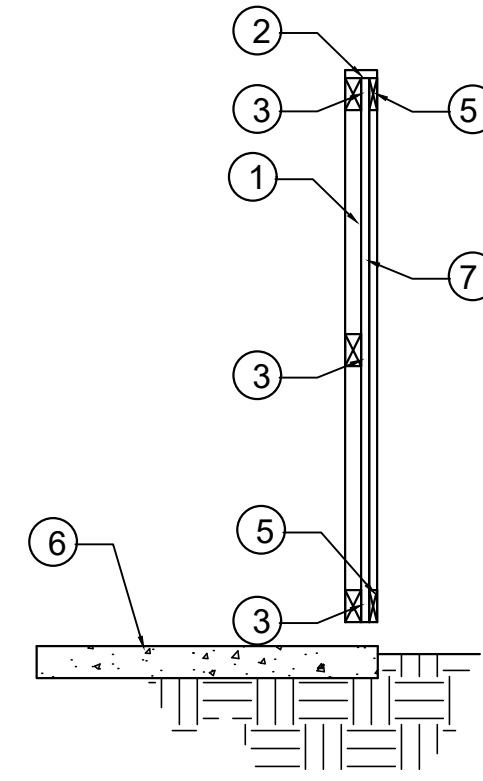
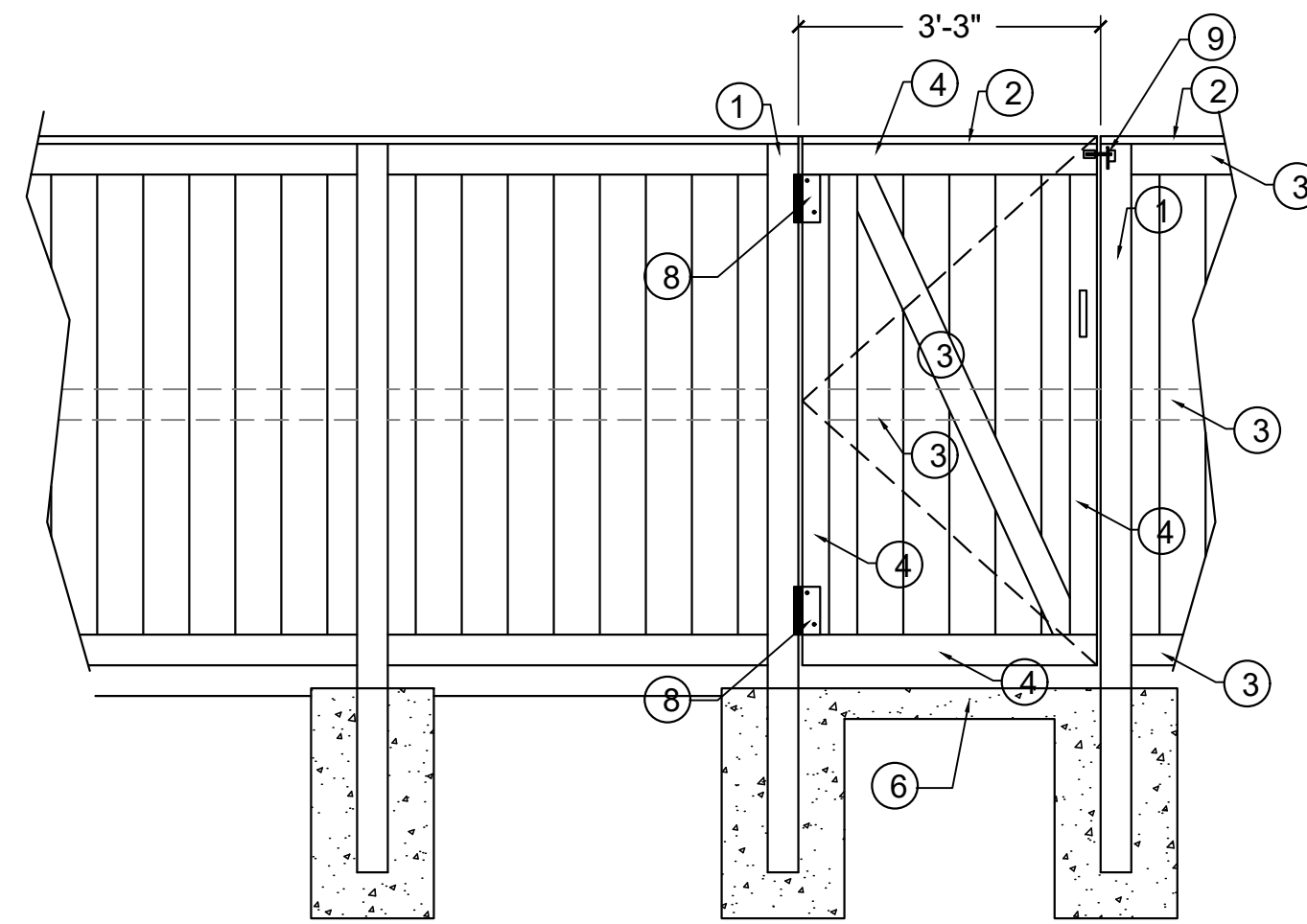
Project number: 20003	Date:	Issue Date
Drawing No.	L002	

Scale: 1/16" = 1'-0"



- 1 4X4 WOOD POST
2 1X4 TOP CAP
3 2X4 STRINGERS
4 2X4 WOOD FRAME FOR GATE
5 1X4 TOP AND BOTTOM FASCIA
6 COMPACTED SUBGRADE PER SOILS REPORT
7 BUILDING WALL SEE ARCH'S DRAWINGS.
8 BOLT LAST FENCE POST TO BUILDING WALL AT FOUR PLACES.
9 1X6 OR 1X8 FENCE BOARD FACING EXTERIOR COMMON OPEN SPACING
10 CIP CONCRETE FOOTING WITH 6" GRAVEL FOOT AND BITUTHANE WRAP POST BOTTOM

- NOTES:
1 ALL MATERIAL SHALL BE ROUGH CUT CEDAR UNLESS STATED. STAIN WOOD FENCE AND GATES
2 FASTENERS TO BE GALVANIZED SCREWS FOR STRINGERS AND GALVANIZED FINISHING NAILS FOR NAILING BOARDS AND FENCE BOARDS
3 INSTALL FLAT BLACK GATE HARDWARE PADDLE LATCH, GATE PULL AND HINGES
4 STAIN ALL WOOD WITH DARK BROWN SHERWIN WILLIAMS SW 3007 LODGE BROWN EXTERIOR SOLID STAIN OR EQUAL. PAINT ALL EXPOSED METAL WORK FLAT BLACK



- 1 4X4 WOOD POST
2 1X4 TOP CAP
3 2X4 STRINGERS/DIAGONAL BRACE
4 2X4 WOOD FRAME FOR GATE
5 1X4 TOP AND BOTTOM FASCIA
6 CONCRETE PAVING
7 1X6 OR 1X8 FENCE BOARD FACING EXTERIOR COMMON OPEN SPACING
8 HEAVY DUTY HINGES
9 GATE LATCH AND GATE PULL

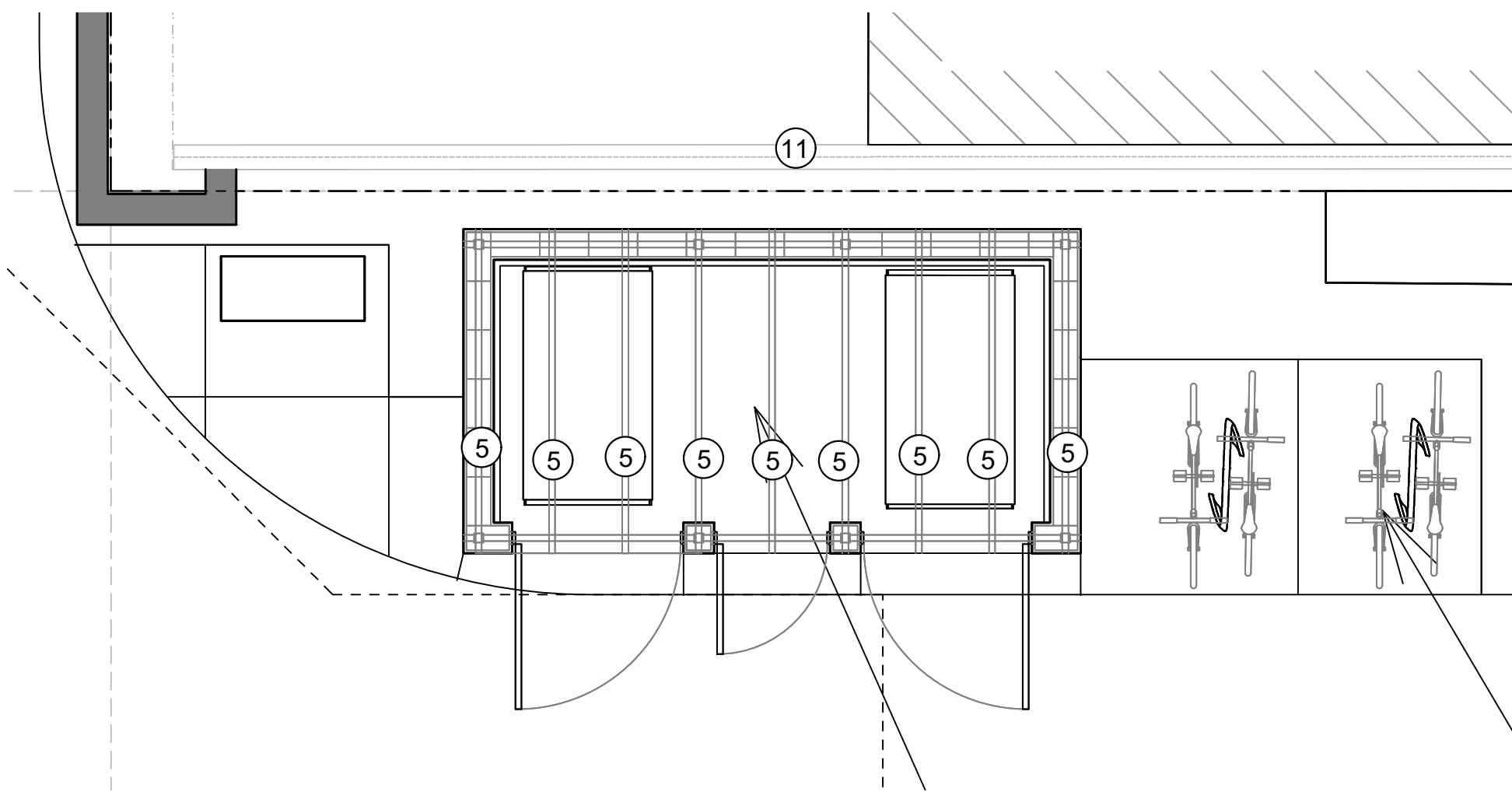
- NOTES:
1 ALL MATERIAL SHALL BE ROUGH CUT CEDAR UNLESS STATED. STAIN WOOD FENCE AND GATES
2 FASTENERS TO BE GALVANIZED SCREWS FOR STRINGERS AND GALVANIZED FINISHING NAILS FOR NAILING BOARDS AND FENCE BOARDS
3 INSTALL FLAT BLACK GATE HARDWARE PADDLE LATCH, GATE PULL AND HINGES
4 STAIN ALL WOOD WITH BENJAMIN MOORE WILLIAMSBURG COLOR COLLECTION TARPLEY BROWN CW 170 OR EQUAL. PAINT ALL EXPOSED METAL WORK FLAT BLACK

1 YARD FENCE

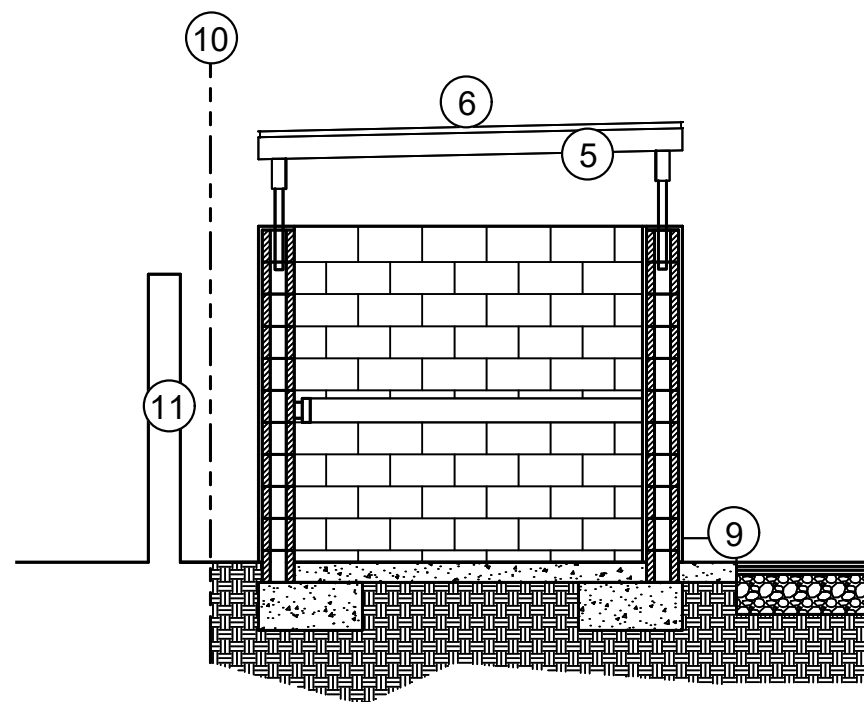
SCALE: 1/2" = 1'-0"

2 YARD FENCE/GATE

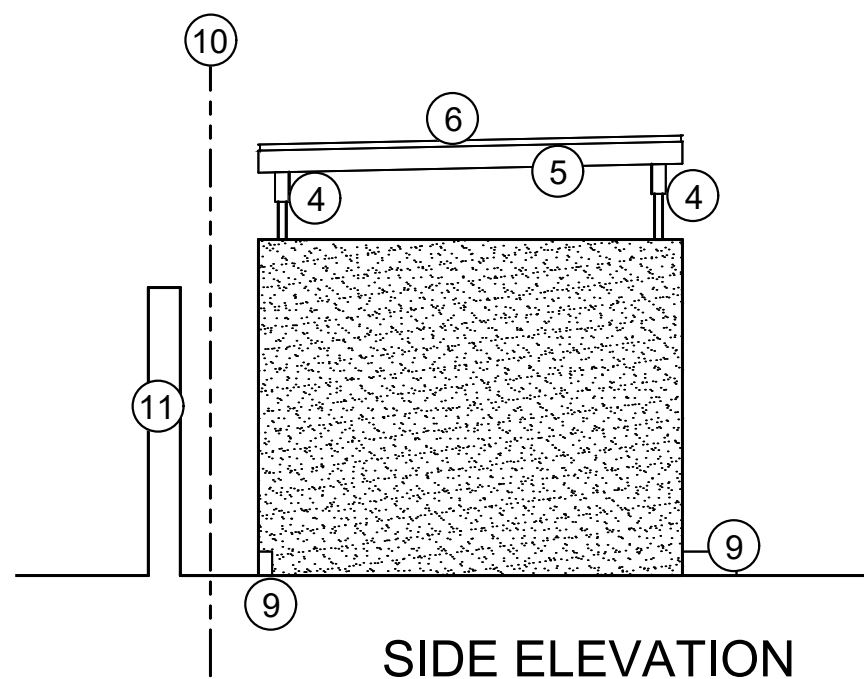
SCALE: 1/2" = 1'-0"



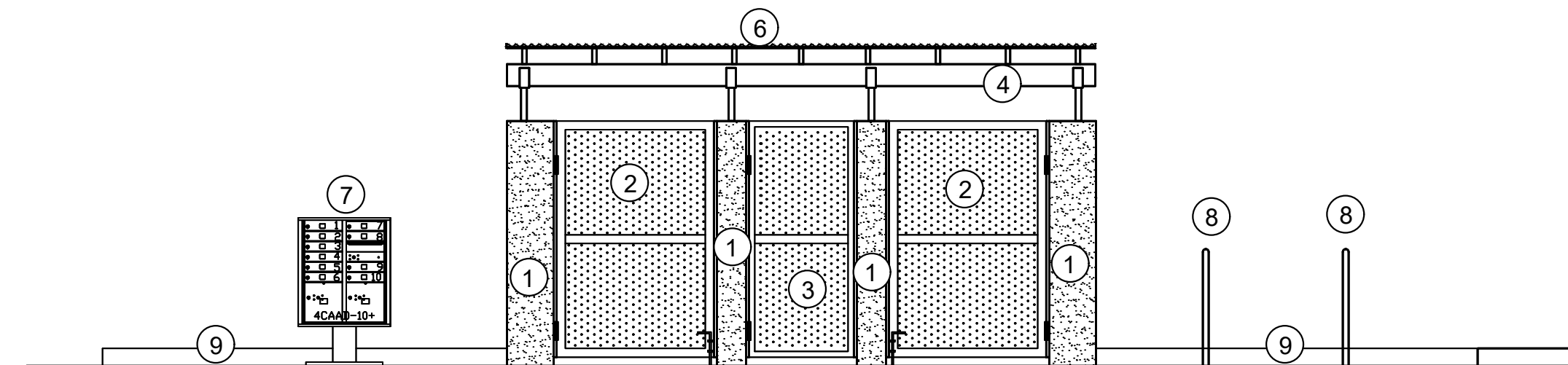
PLAN



SECTION



SIDE ELEVATION



FRONT ELEVATION

LEGEND

- | SYMBOL | DESCRIPTION |
|--------|--|
| 1 | 8X8X16 CONCRETE MASONRY UNIT WALL WITH STUCCO FINISH TO MATCH BUILDING FINISH AND COLOR |
| 2 | 2X3 TUBULAR STEEL FRAME TRASH BIN DOOR AND PERFORATED METAL PANEL. PAINTED BLACK. |
| 3 | 2X2 TUBULAL STEEL PEDESTRIAN DOOR WITH PERFORATED METAL PANEL |
| 4 | 4X8 WOOD BEAM SUPPORTED BY METAL POSTS PAINTED BLACK |
| 5 | 2X6 JOISTS AT 24" ON CENTER PAINTED BLACK |
| 6 | 3/4" THICK PLYWOOD WITH WATERPROOFING MEMBRANE UNDER CORRUGATED METAL ROOFING, PAINTED BLACK |
| 7 | MULTI-UNIT MAILBOX PAINTED BLACK |
| 8 | 2 LOOPED BIKE RACKS PAINTED BLACK |
| 9 | CONCRETE CURB |
| 10 | PROPERTY LINE |
| 11 | NEIGHBORS WALL |

3 TRASH ENCLOSURE

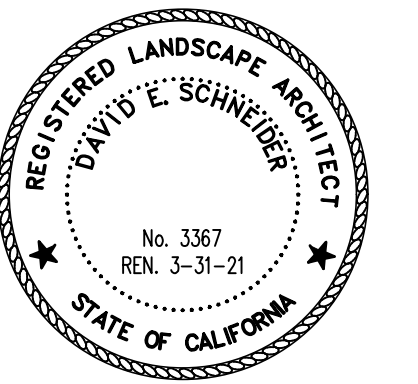
SCALE: 1/4" = 1'-0"

OWNER:
MR. HONGHUA SHANG
18931 COLIMA ROAD, #A
ROWLAND HEIGHTS, CA 91748
PHONE: 626.652.9666
EMAIL: HOUSEEXPRESS888@GMAIL.COM

ARCHITECT:
FENG XIAO ARCHITECT, INC.
2540 HUNTINGTON DR., #207
SAN MARINO, CA 91108
PHONE: 626.380.7098
EMAIL: FENG@FXARCHITECT.COM

CIVIL ENGINEER:
LAND DESIGN CONSULTANTS, INC.
800 ROYAL OAKS DRIVE, SUITE 104
MONROVIA, CA 91016
PHONE: 626.578.7000
EMAIL: SHUNTER@LDCLA.COM

LANDSCAPE ARCHITECT:
FONG HART SCHNEIDER+PARTNERS
31742 COAST HIGHWAY
LAGUNA BEACH, CA 92651
PHONE: 949.645.9444
EMAIL: D.SCHNEIDER@FHSP.NET



PLANNING SUBMISSION
APR 8, 2020

952 E 9TH
952 E 9TH ST, POMONA, CA 91766

© 2020 Feng Xiao Architect, Inc.

SITE PLAN - WALLS AND FENCES

Project number: 20003 Date: Issue Date
Drawing No.

L003

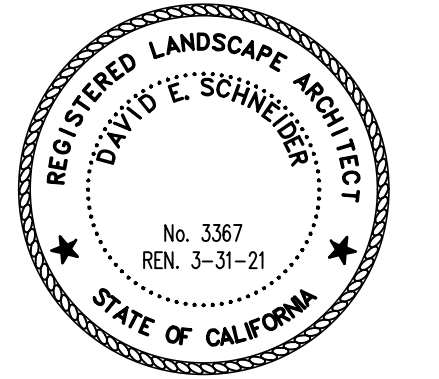
Scale: 1/16" = 1'-0"

OWNER:
MR. HONGHUA SHANG
18931 COLIMA ROAD, #A
ROWLAND HEIGHTS, CA 91748
PHONE: 626.652.9666
EMAIL: HOUSEEXPRESS888@GMAIL.COM

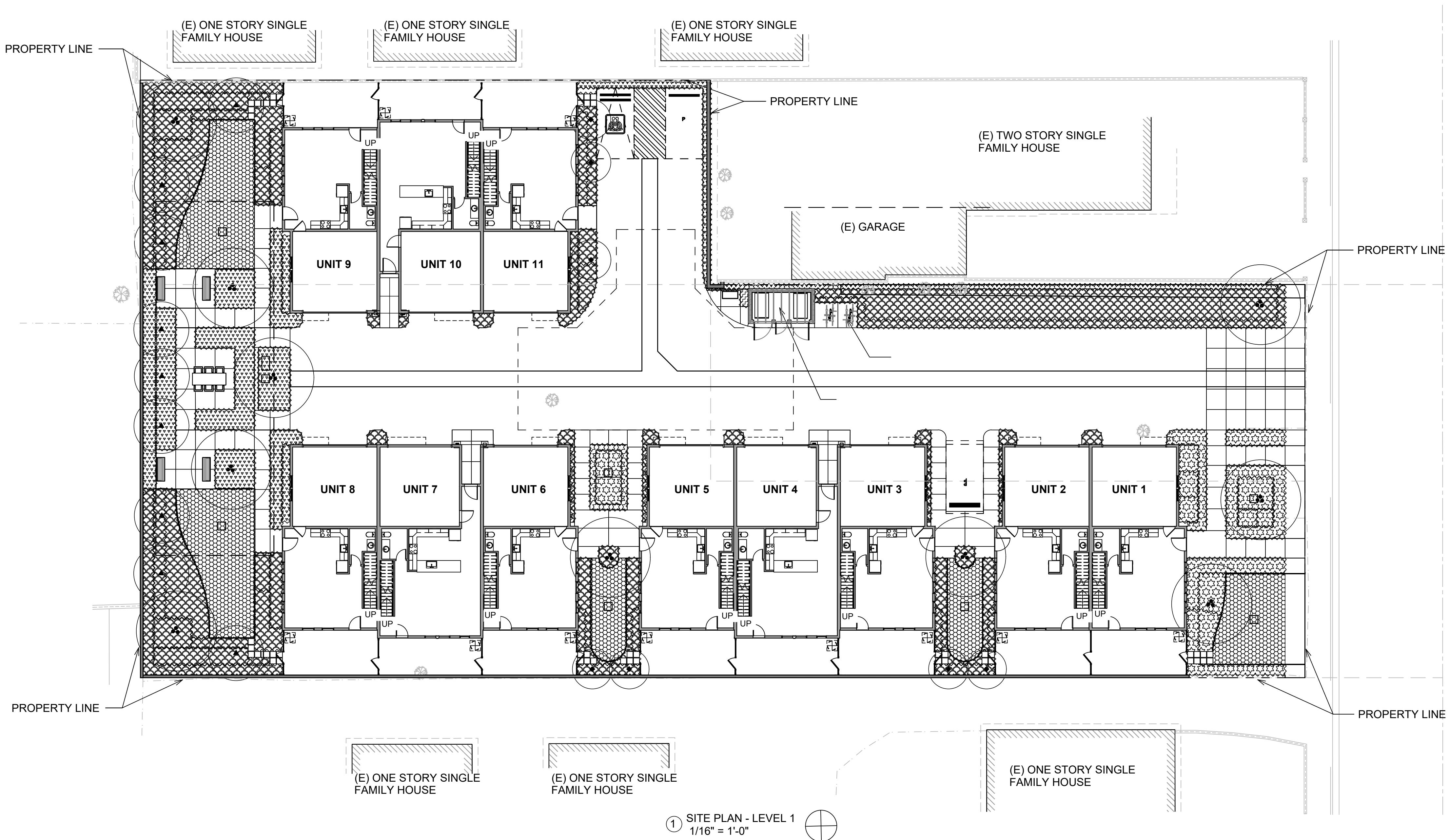
ARCHITECT:
FENG XIAO ARCHITECT, INC.
2540 HUNTINGTON DR., #207
SAN MARINO, CA 91108
PHONE: 626.380.7098
EMAIL: FENG@FXARCHITECT.COM

CIVIL ENGINEER:
LAND DESIGN CONSULTANTS, INC.
800 ROYAL OAKS DRIVE, SUITE 104
MONROVIA, CA 91016
PHONE: 626.578.7000
EMAIL: SHUNTER@LDCLA.COM

LANDSCAPE ARCHITECT:
FONG HART SCHNEIDER+PARTNERS
31742 COAST HIGHWAY
LAGUNA BEACH, CA 92651
PHONE: 949.645.9444
EMAIL: D.SCHNEIDER@FHSP.NET



PLANNING SUBMISSION
APR 8, 2020



1 SITE PLAN - LEVEL 1
1/16" = 1'-0"

WATER USE CALCULATION

MAWA = Maximum Applied Water Allowance

Eto x ETAF x LA x Const = MAWA (Basic)

Eto x S.ETAF x S.LA x Const = MAWA (Add for Special Landscape Area)

Definitions

Eto	ET Adjustment Factor (55% as defined by California)	47.5
ETAF	ET Adjustment Factor (100% as defined by California)	0.55
S.ETAF	ET Adjustment Factor (100% as defined by California)	
LA	Landscape Area	8431
S.LA	Special Landscape Area*	0
Const	Constant to convert to Gallons Per Year	0.62
GPY	Gallons Per Year	

* Special Landscape Area is defined as an area dedicated solely for edible plants, active recreational play or areas irrigated with recycled water

MAWA	=	47.5 x 0.55 x 8431 x 0.62	136,561
ETWU			110,733

ETWU = Estimated Total Water Usage

Eto x Ks x LA x Const = ETWU
IEA

ETWU = Estimated Total Water Usage

HYDROZONE	P F	IM	IE	ETAF	LA	ETAFxLA	ETWU
Hydrozone 1 low	0.2	Drip	0.81	0.25	3916	966.9	28475.60
Hydrozone 2 medium/sun	0.5	Drip	0.81	0.62	1468	906.2	309.00
Hydrozone 3 medium/part shade	0.45	Drip	0.81	0.56	1030	572.2	16851.94
Hydrozone 4 high	0.8	Spray	0.73	1.1	2017	2210.4	65096.60

8431 4655.7

Total EAWU= 110733.16

ETAF CALCULATIONS

TOTAL ETAFxLA	4655.7
TOTAL LA	8431
AVERAGE ETAF	0.55

HYDROZONE LEGEND

SYMBOL	DESCRIPTION	TOTAL AREA
	HIGH WATER USE / TURF GRASS	2017 S.F.
	MEDIUM WATER USE SHRUBS SUN	1468 S.F.
	MEDIUM WATER USE SHRUBS PART SHADE	1030 S.F.
	LOW WATER USE / SHRUBS	3916 S.F.

952 E 9TH

952 E 9TH ST, POMONA, CA 91766

© 2020 Feng Xiao Architect, Inc.

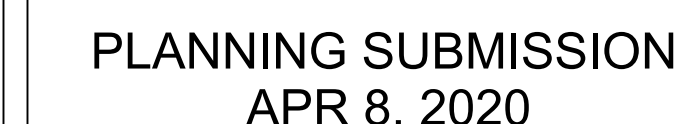
SITE PLAN - HYDRO-ZONE
IRRIGATION/WATER CALCS

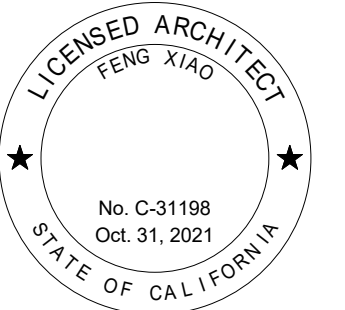
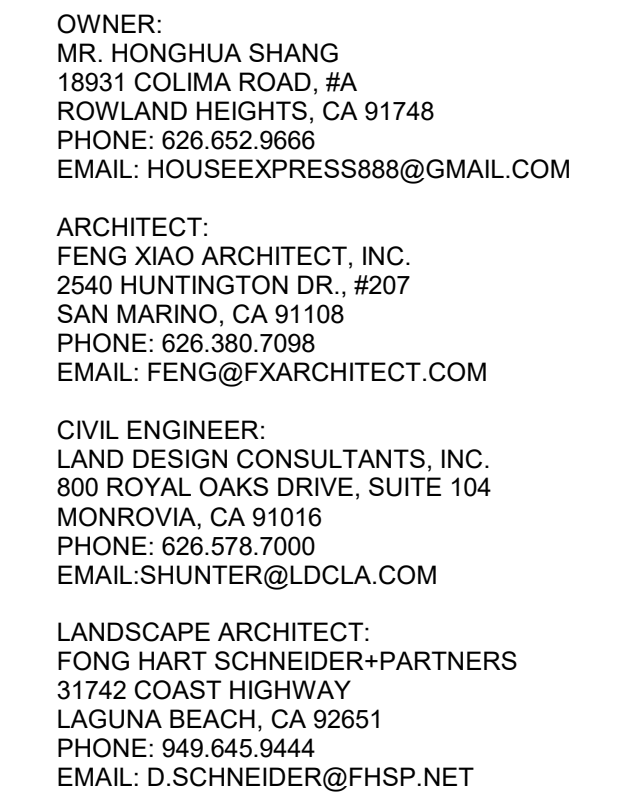
Project number: 20003 Date: Issue Date

Drawing No.

L004

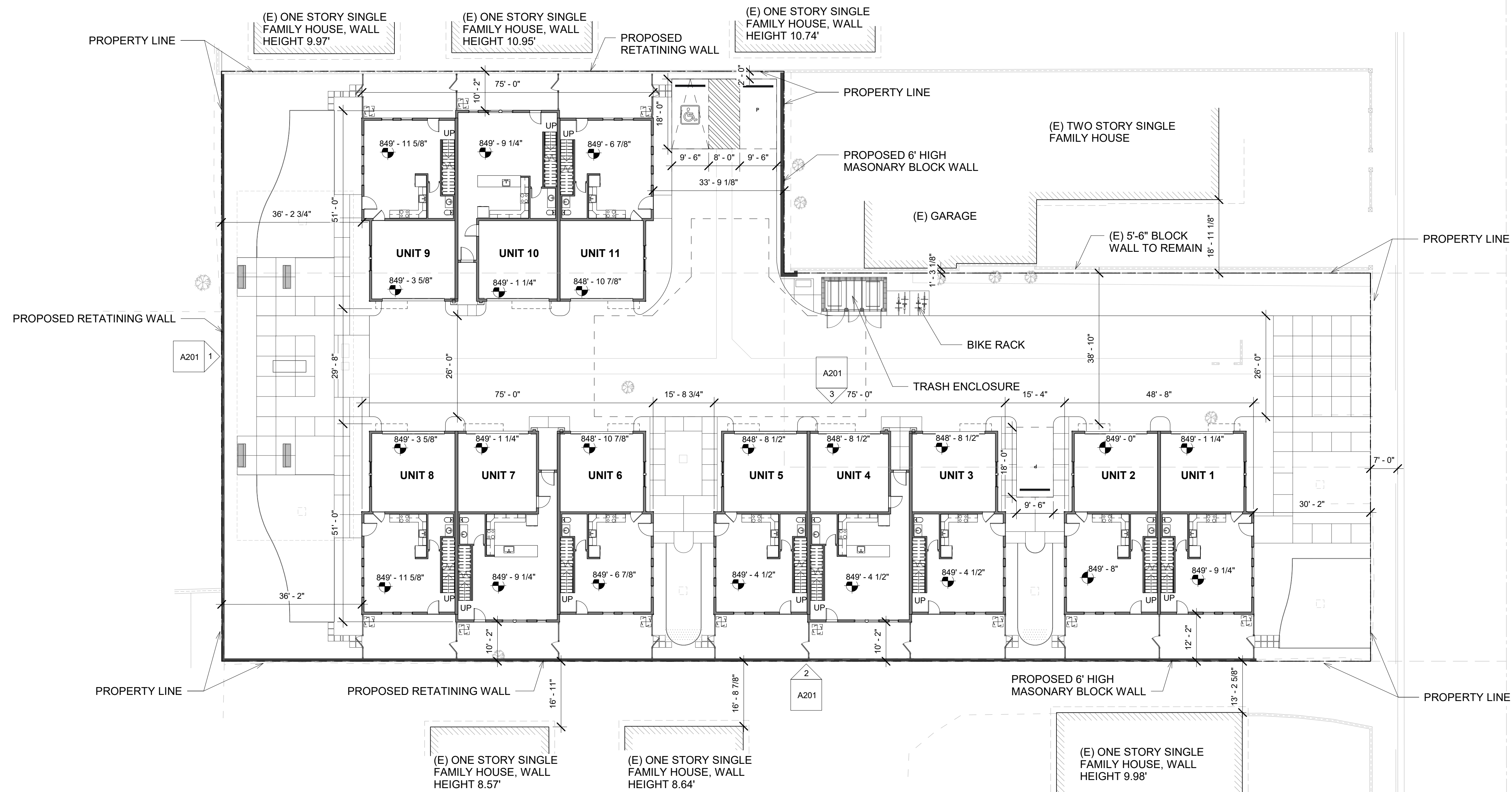
Scale: 1/16" = 1'-0"



[illegible]

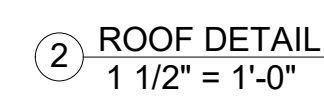
Project number: 20003	Date: 06/09/20
-----------------------	----------------

Scale: $1/16" = 1'-0"$



1 SITE PLAN - LEVEL 1
1/16" = 1'-0"

- NOTES:
1. DIMENSIONS FOR WALLS INDICATED IN PROJECT SUMMARY AND ON PLANS ARE TO FACE OF STUDS, FROM FACE OF STUDS, AND/OR EDGE OF STUDS.
 2. SEE DETAIL SPOT ELEVATIONS ON CIVIL PLAN VTTM SHEET 1.



6/29/2020 7:44:40 PM

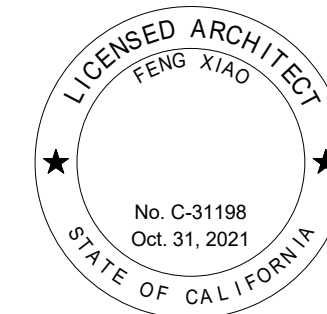


OWNER:
MR. HONGHUA SHANG
18931 COLIMA ROAD, #A
ROWLAND HEIGHTS, CA 91748
PHONE: 626.652.9666
EMAIL: HOUSEEXPRESS888@GMAIL.COM

ARCHITECT:
FENG XIAO ARCHITECT, INC.
2540 HUNTINGTON DR., #207
SAN MARINO, CA 91108
PHONE: 626.380.7098
EMAIL: FENG@FXARCHITECT.COM

CIVIL ENGINEER:
LAND DESIGN CONSULTANTS, INC.
800 ROYAL OAKS DRIVE, SUITE 104
MONROVIA, CA 91016
PHONE: 626.578.7000
EMAIL:SHUNTER@LDCLA.COM

LANDSCAPE ARCHITECT:
FONG HART SCHNEIDER+PARTNERS
31742 COAST HIGHWAY
LAGUNA BEACH, CA 92651
PHONE: 949.645.9444
EMAIL: D.SCHNEIDER@FHSP.NET



PLANNING RESUBMISSION
JUN 26, 2020

[illegible]

952 E 9TH

952 E 9TH ST, POMONA, CA 91766

© 2020 Feng Xiao Architect, Inc.

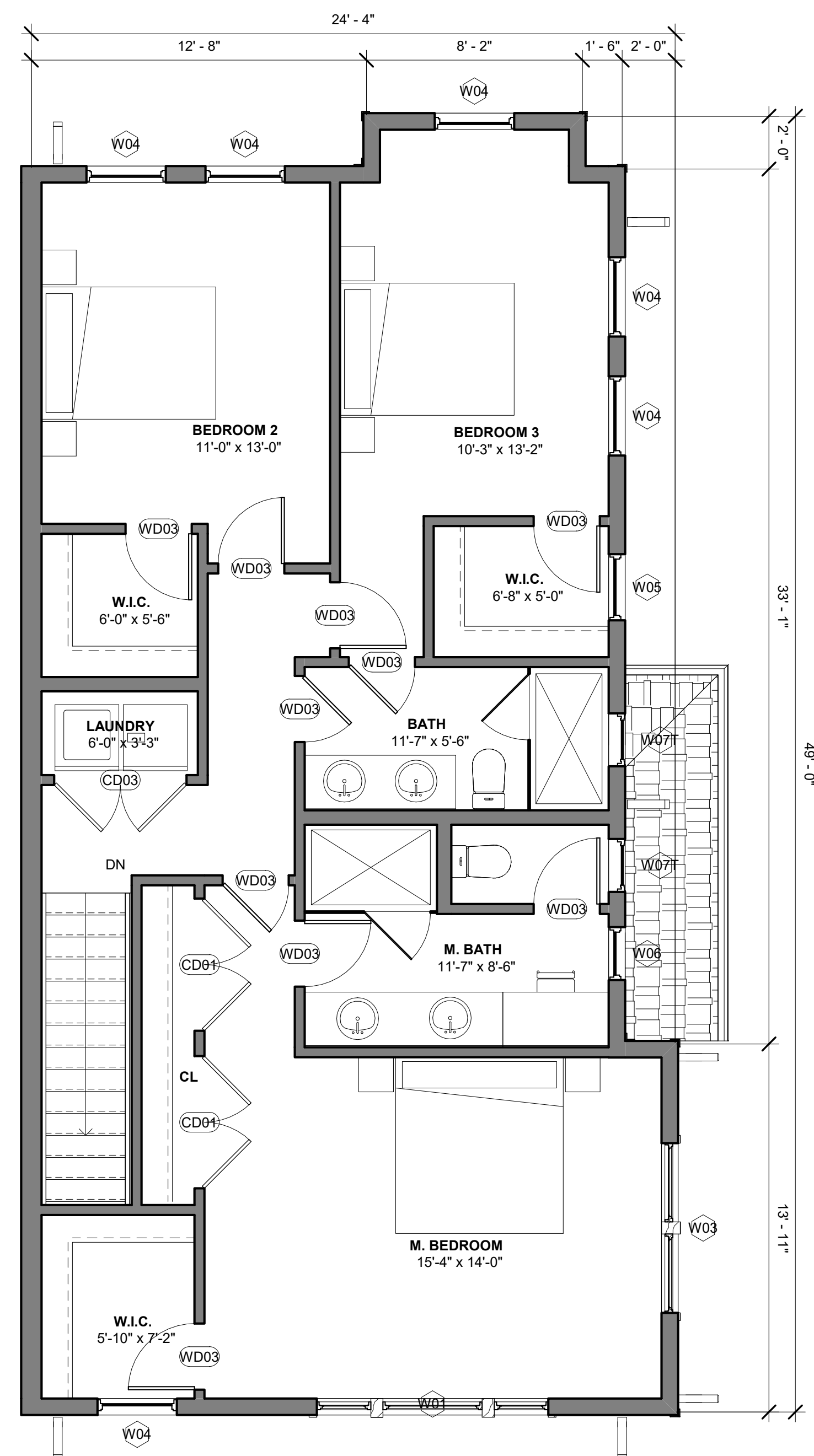
UNIT FLOOR PLAN - TYPE A

Project number: 20003	Date: 06/09/20
-----------------------	----------------

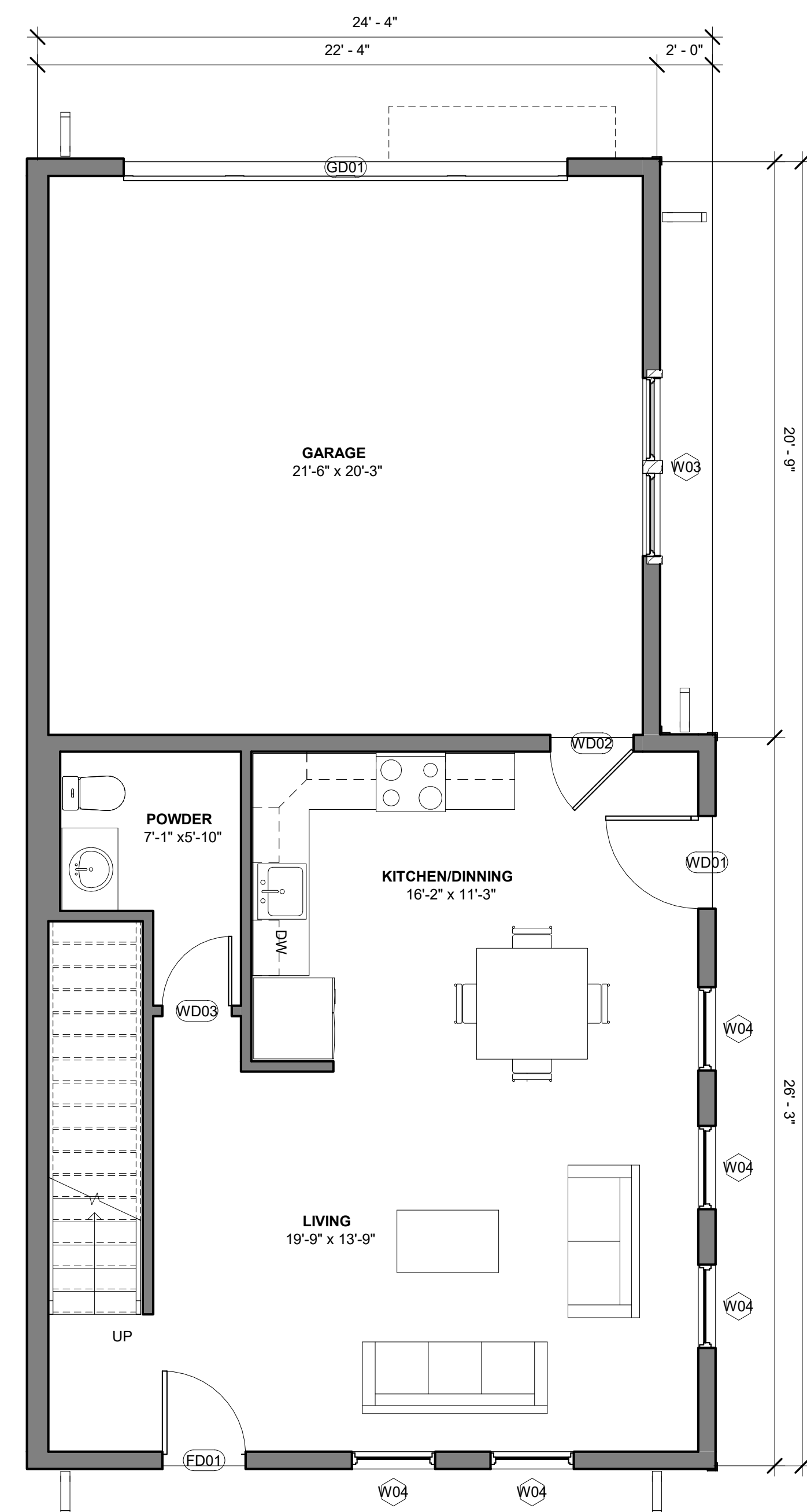
Drawing No.

A101

Scale: $1/4" = 1'-0"$



② LEVEL 2 - TYPE A
1/4" = 1'-0"



① LEVEL 1 - TYPE A
1/4" = 1'-0"

NOTES:
DIMENSIONS FOR WALLS INDICATED IN PROJECT SUMMARY AND ON PLANS ARE TO
FACE OF STUDS, FROM FACE OF STUDS, AND/OR EDGE OF STUDS.

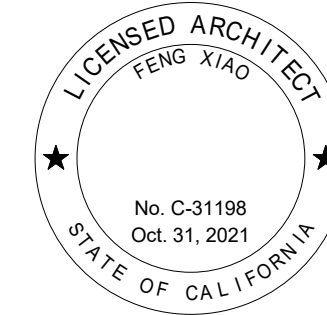


OWNER:
MR. HONGHUA SHANG
18931 COLIMA ROAD, #A
ROWLAND HEIGHTS, CA 91748
PHONE: 626.652.9666
EMAIL: HOUSEEXPRESS888@GMAIL.COM

ARCHITECT:
FENG XIAO ARCHITECT, INC.
2540 HUNTINGTON DR., #207
SAN MARINO, CA 91108
PHONE: 626.380.7098
EMAIL: FENG@FXARCHITECT.COM

CIVIL ENGINEER:
LAND DESIGN CONSULTANTS, INC.
800 ROYAL OAKS DRIVE, SUITE 104
MONROVIA, CA 91016
PHONE: 626.578.7000
EMAIL:SHUNTER@LDCLA.COM

LANDSCAPE ARCHITECT:
FONG HART SCHNEIDER+PARTNERS
31742 COAST HIGHWAY
LAGUNA BEACH, CA 92651
PHONE: 949.645.9444
EMAIL: D.SCHNEIDER@FHSP.NET



PLANNING RESUBMISSION
JUN 26, 2020

[illegible]

952 E 9TH
952 E 9TH ST, POMONA, CA 91766

© 2020 Feng Xiao Architect, Inc.

UNIT FLOOR PLAN - TYPE B

Project number: 20003	Date: 06/09/20
-----------------------	----------------

Drawing No. **A 100**

A102

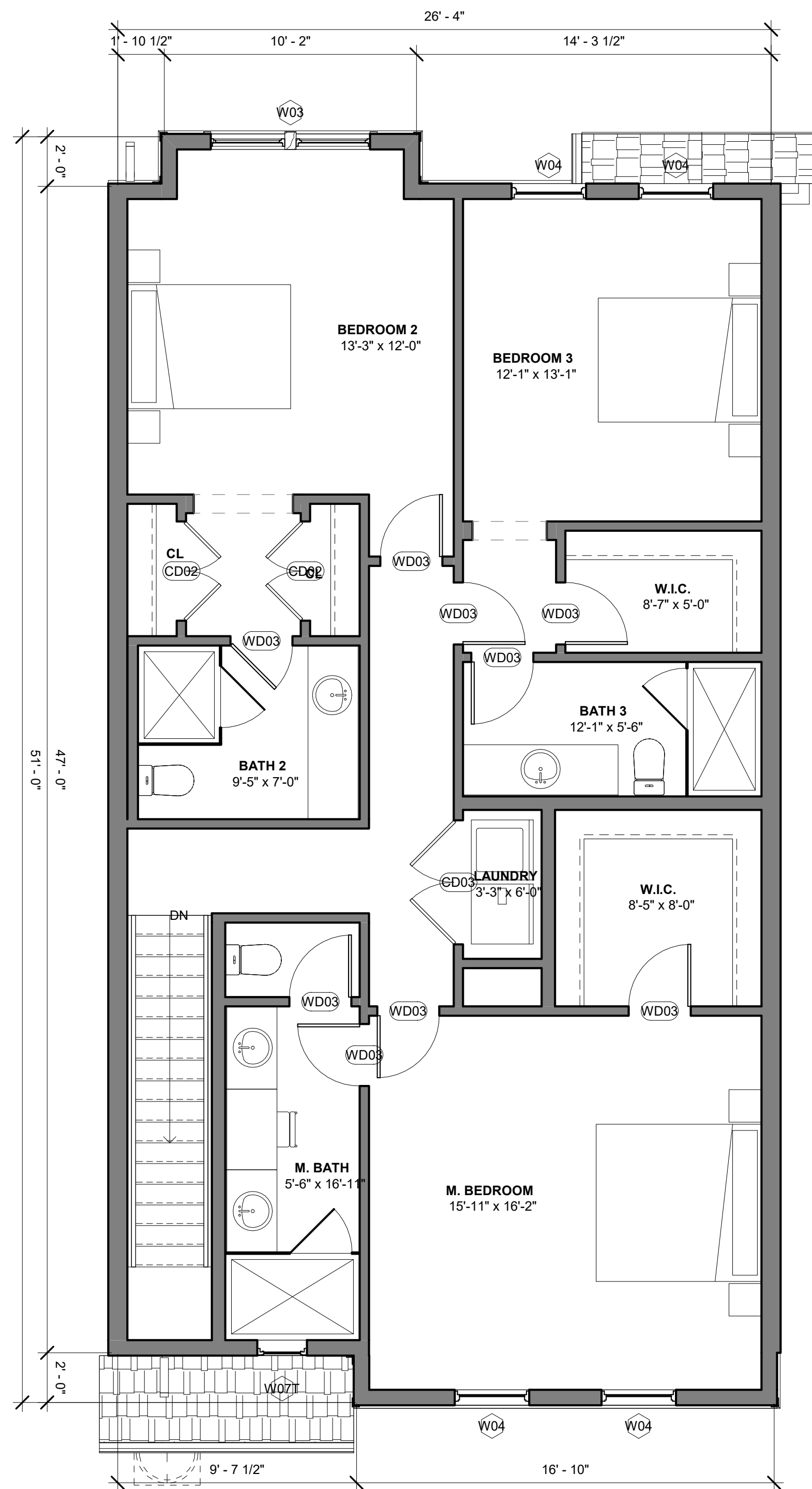
Scale: $1/4" = 1'-0"$

Area Schedule - TypeB		
Level	Name	Area

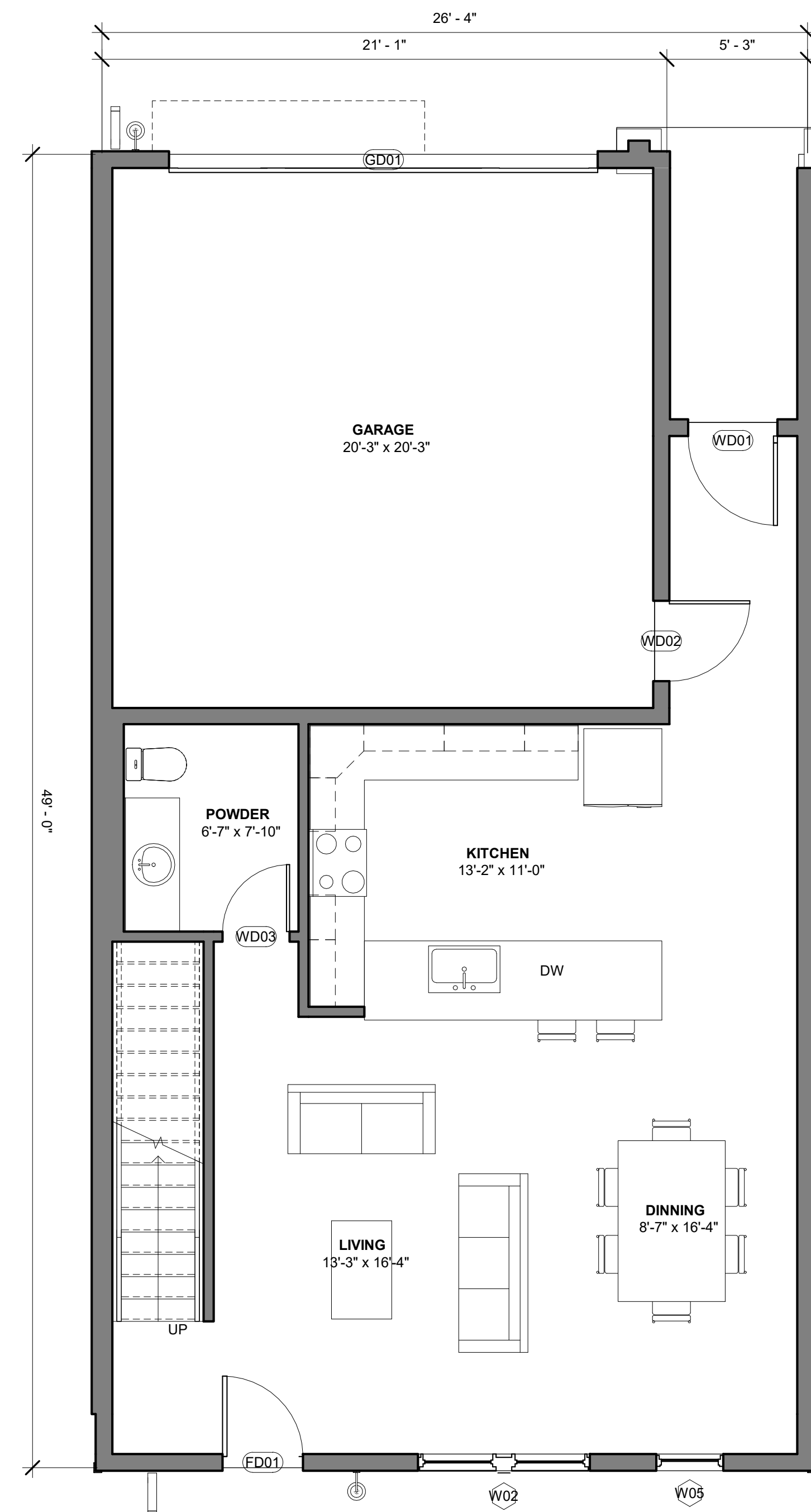
LEVEL 1	FAR	803 SF
LEVEL 1	GARAGE	443 SF
LEVEL 2	FAR	1231 SF
		2478 SF

LEVEL 1	FAR	803 SF
LEVEL 1	GARAGE	443 SF
LEVEL 2	FAR	1231 SF
		2478 SF

LEVEL 1	FAR	803 SF
LEVEL 1	GARAGE	443 SF
LEVEL 2	FAR	1231 SF
		2478 SF
		7433 SF

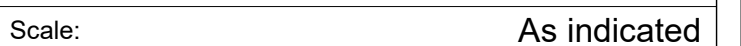
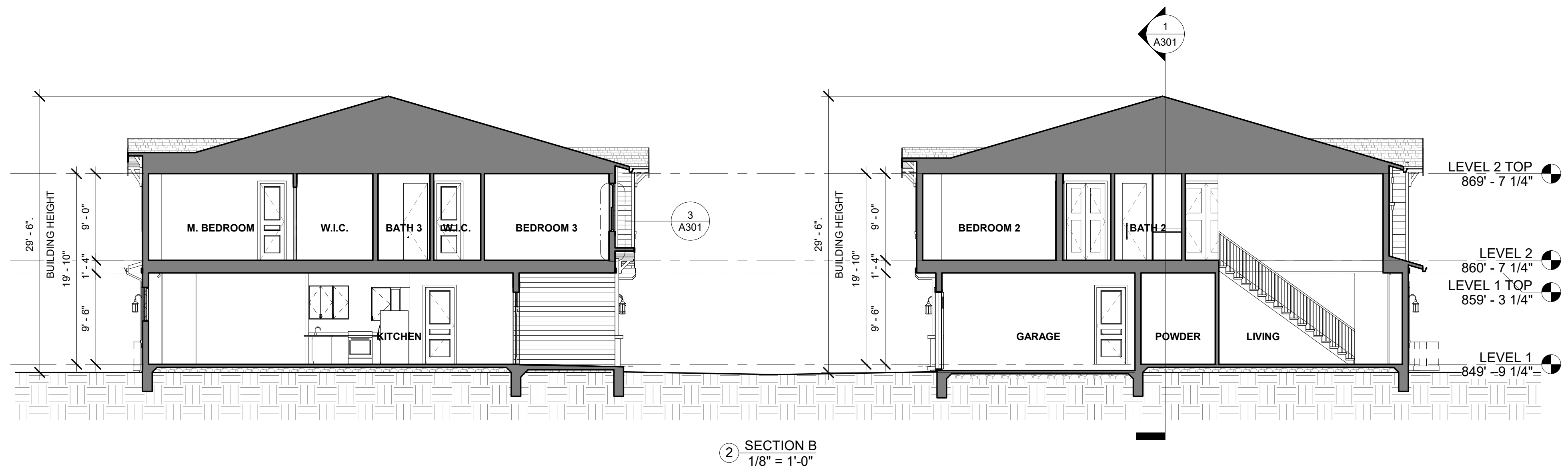
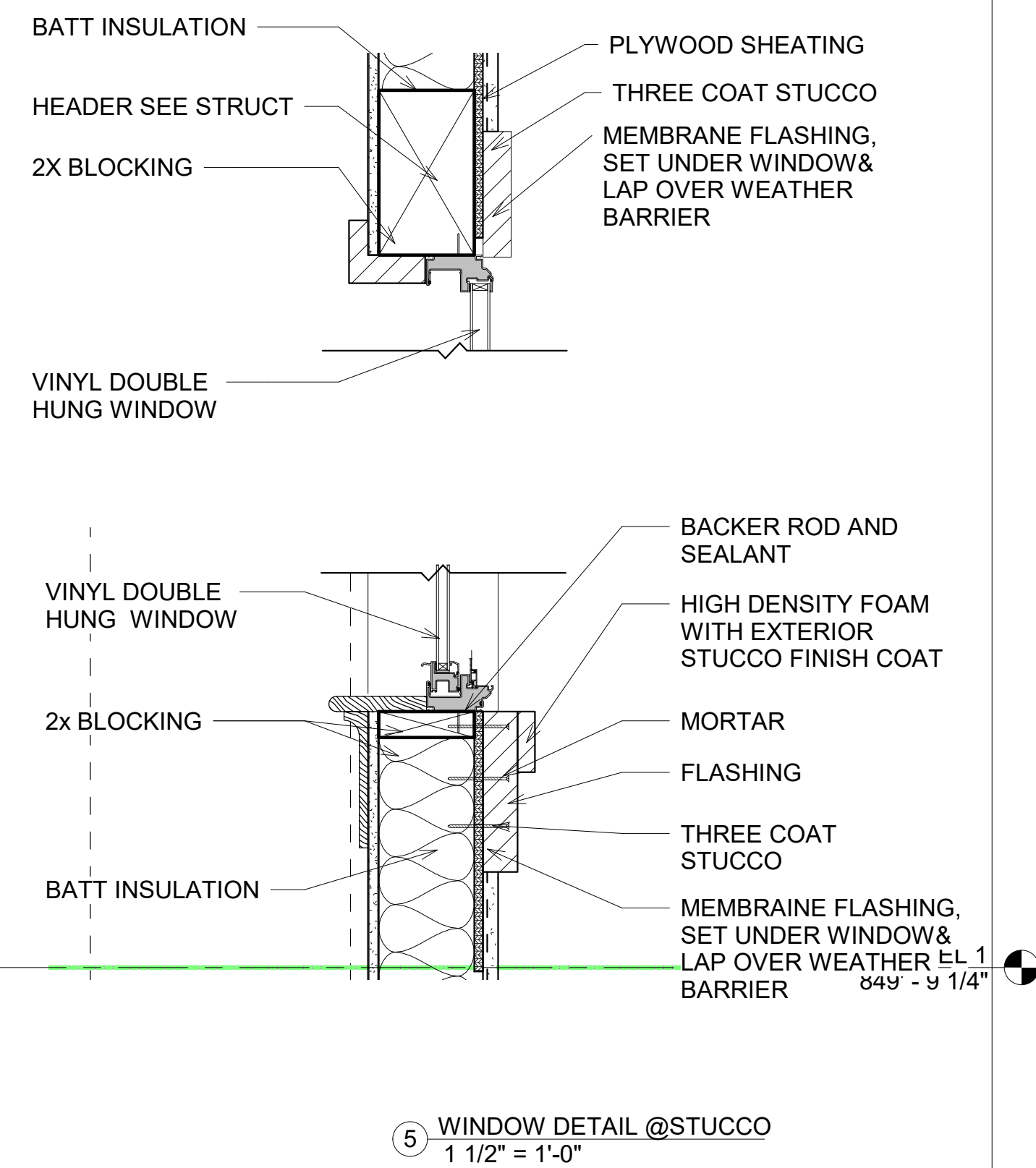


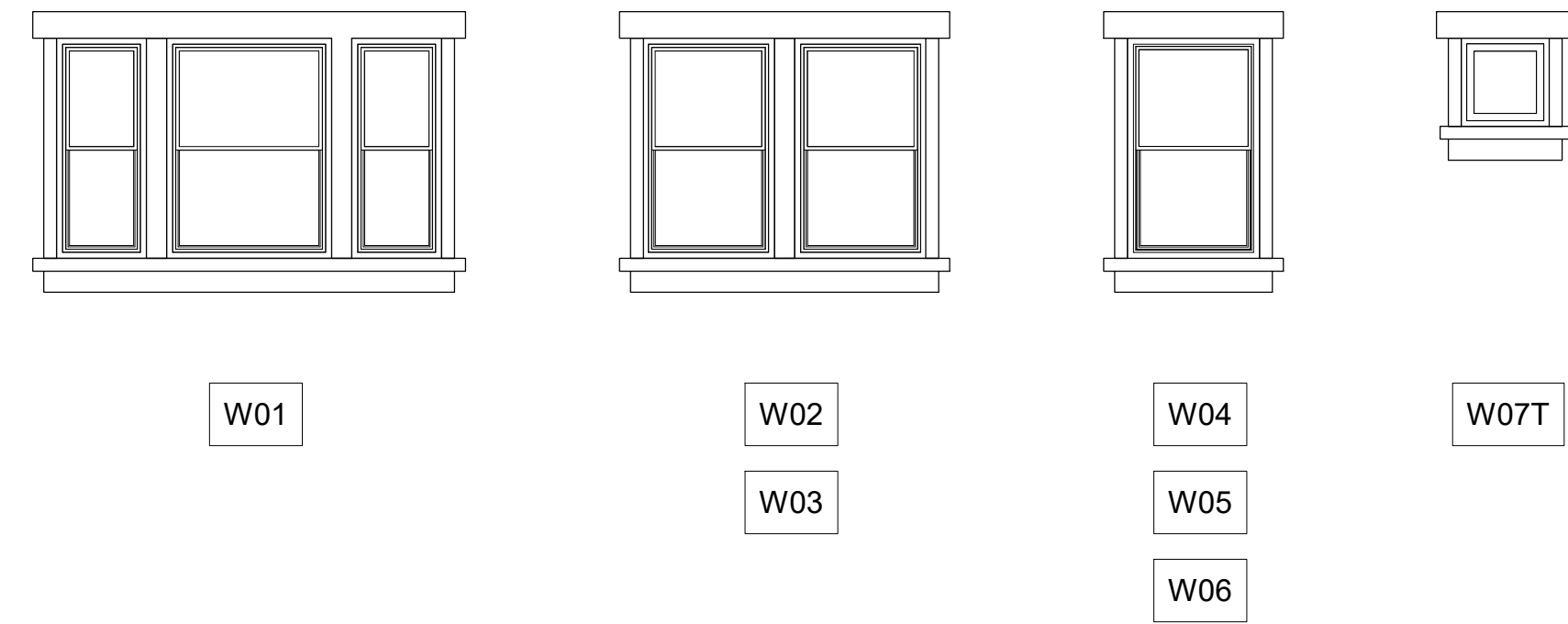
② LEVEL 2 - TYPE B
1/4" = 1'-0"



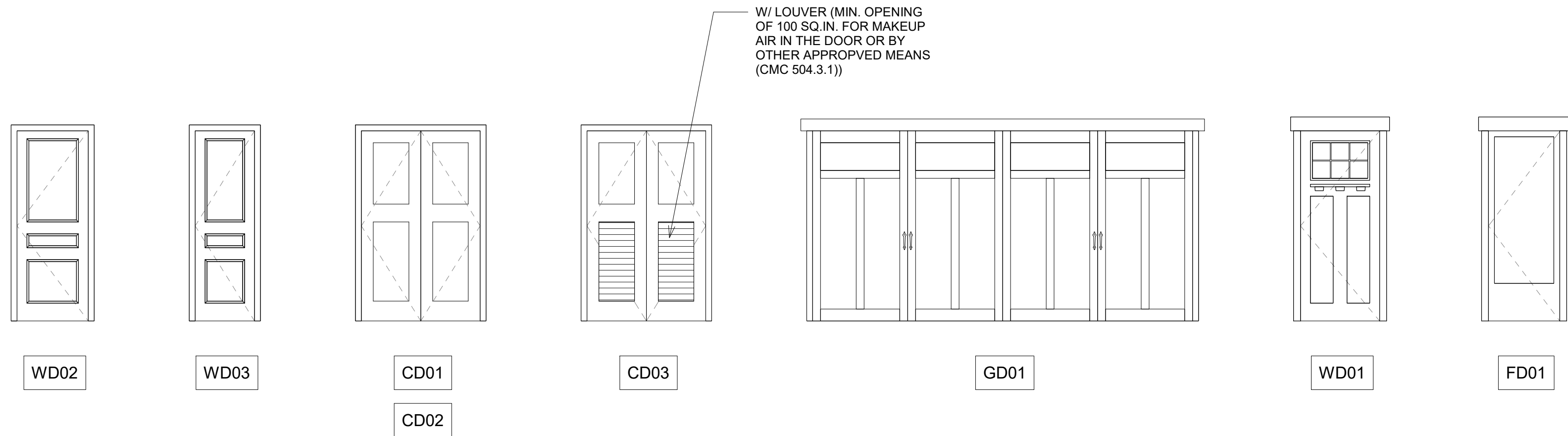
① LEVEL 1 - TYPE B
1/4" = 1'-0"

NOTES:
DIMENSIONS FOR WALLS INDICATED IN PROJECT SUMMARY AND ON PLANS ARE TO
FACE OF STUDS, FROM FACE OF STUDS, AND/OR EDGE OF STUDS.

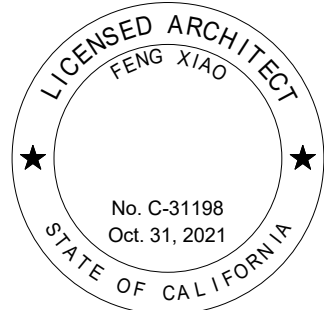




WINDOW SCHEDULE							
Type Mark	Count	Description	Head Height	Height	Sill Height	Width	Manufacturer
W01	8	VINYL SINGLE HUNG TRIPLE WINDOW (COLOR: ADOBE)	8' - 0"	5' - 0"	3' - 0"	8' - 9"	MI WINDOWS HOMEMAKERS3 SERIES
W02	3	VINYL SINGLE HUNG DOUBLE WINDOW (COLOR: ADOBE)	8' - 0"	5' - 6"	2' - 6"	6' - 5"	MI WINDOWS HOMEMAKERS3 SERIES
W03	19	VINYL SINGLE HUNG DOUBLE WINDOW (COLOR: ADOBE)	8' - 0"	5' - 0"	3' - 0"	6' - 5"	MI WINDOWS HOMEMAKERS3 SERIES
W04	100	VINYL SINGLE HUNG WINDOW (COLOR: ADOBE)	8' - 0"	5' - 0"	3' - 0"	3' - 0"	MI WINDOWS HOMEMAKERS3 SERIES
W05	11	VINYL SINGLE HUNG WINDOW (COLOR: ADOBE)	8' - 0"	3' - 6"	4' - 6"	2' - 6"	MI WINDOWS HOMEMAKERS3 SERIES
W06	8	VINYL SINGLE HUNG WINDOW (COLOR: ADOBE)	8' - 0"	3' - 6"	4' - 6"	2' - 0"	MI WINDOWS HOMEMAKERS3 SERIES
W07T	19	VINYL FIXED WINDOW (COLOR: ADOBE)	8' - 0"	2' - 0"	6' - 0"	2' - 0"	MI WINDOWS HOMEMAKERS3 SERIES



DOOR SCHEDULE							
Type Mark	Description	Width	Height	Thickness	Count	Fire Rating	
CD01	HOLLOW CORE COMPOSITE DOOR	5' - 0"	8' - 0"	0' - 1 3/8"	16		
CD02	HOLLOW CORE COMPOSITE DOOR	4' - 0"	8' - 0"	0' - 1 3/8"	6		
CD03	HOLLOW CORE DOOR W/LOUVERS	5' - 0"	8' - 0"	0' - 1 3/8"	11		
FD01	VINYL FRENCH DOOR	3' - 0"	8' - 0"	0' - 1 3/4"	11		
GD01	WOODGRAIN STEEL GARAGE DOOR	16' - 0"	8' - 0"	0' - 2"	11		
WD01	PAINTED PREHUNG STEEL ENTRY DOOR WITH TG	3' - 4"	8' - 0"	0' - 1 3/4"	11		
WD02	SOLID CORE COMPOSITE FIRE RATED DOOR	3' - 0"	8' - 0"	0' - 1 3/8"	11	1 HR RATED DOOR, EQUIPPED WITH SLEF-CLOSING AND SELF-LATCHING DEVICE	
WD03	HOLLOW CORE COMPOSITE DOOR	2' - 6"	8' - 0"	0' - 1 3/8"	118		



PLANNING RESUBMISSION
JUN 26, 2020

[illegible]

952 E 9TH ST, POMONA, CA 91766

© 2020 Feng Xiao Architect, Inc.

WINDOW&DOOR SCHEDULE

Project number: 20003	Date: 06/09/20
-----------------------	----------------

Drawing No.

A701

Scale: $1/4" = 1'-0"$

