

SAN ANTONIO DEVELOPMENT

1476 S. San Antonio Avenue, Pomona CA 91766

PROJECT DATA

JOB ADDRESS..... 1476 S. SAN ANTONIO AVENUE
POMONA CA 91766
OWNER..... MR. AERON ZAMORA
ACCESSOR'S PARCEL NO..... 8327-001-004
LEGAL DESCRIPTION..... BLOCK 196 OF POMONA TRACT, IN THE CITY OF POMONA
COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AS
PER MAP RECORDED IN BOOK 3 PAGES 96 & 97
LOT AREA..... 0.41 ACRES (17,920 SF.)
ZONING..... R-2 LOW DENSITY MULTI FAMILY, S-OVERLAY
EXISTING USE..... RESIDENTIAL
PROPOSED USE..... PROPOSED (4) SINGLE FAMILY UNIT
NO. OF STORIES..... 2
BUILDING HEIGHT..... 25'
OCCUPANCY..... R4
LANDSCAPING AREA (COMMON OPEN SPACE) = 1,930 SF.
TOTAL LANDSCAPING AREA = 3,125 SF.
PERCENTAGE = 17% OF 0.41 ACRES

BREAKDOWN OF SQUARE FOOTAGE PER DWELLING UNIT:
MODEL TYPE A: (TYPICAL OF 3)
NO. OF BEDROOMS: 4
GARAGE: 400 SF.
FIRST FLOOR LIVABLE AREA: 1,406 SF.
SECOND FLOOR LIVABLE AREA: 621 SF.
SECOND FLOOR BALCONY: 204 SF.
TOTAL MODEL TYPE A SF.: 2,327 SF.
MODEL TYPE B: (SINGLE UNIT)
NO. OF BEDROOMS: 4
GARAGE: 600 SF.
FIRST FLOOR LIVABLE AREA: 1,406 SF.
SECOND FLOOR LIVABLE AREA: 621 SF.
SECOND FLOOR BALCONY: 204 SF.
TOTAL MODEL TYPE B SF.: 2,327 SF.
PARKING REQUIREMENTS:
FOR SINGLE FAMILY DWELLING UNIT
REQUIRED : 2 SPACES PER DWELLING UNIT
PROVIDED : 2 SPACES PER GARAGE
1 GUEST PARKING REQUIRED FOR EVERY 4 UNITS
PROVIDED : 1 GUEST PARKING
1 HANDICAPPED PARKING REQUIRED
PROVIDED : 1 HANDICAPPED PARKING

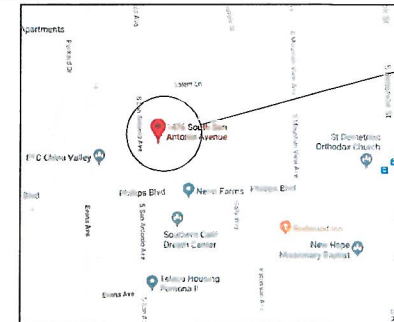
PROJECT DIRECTORY

OWNER'S INFORMATION:
AERON ZAMORA
ARTURO ZAMORA
ELENA ZAMORA
ADDRESS: 1476 S. SAN ANTONIO AVENUE, POMONA CA 91766
PHONE NO.: (909) 843-7025

DESIGNER'S INFORMATION:
CRV DESIGN & BUILD SERVICES
ADDRESS: 11027 SHERMAN WAY, STANTON CA 90680
CONTACT PERSON: CECILE VILLAROSA
PHONE NO.: (714) 472-0519

ENGINEER'S INFORMATION:
RALPH J. SOLIS CONSULTING CIVIL ENGINEER
ADDRESS: 1811 LAUREL AVENUE, REDLANDS CA 92373
PHONE NO.: (909) 215-7114

VICINITY MAP



THE SITE
1476 S. SAN ANTONIO AVENUE
POMONA CA 91766

HISTORY RECORDS:

Date	Description
07/19/19	RESUBMITTAL

PLANS PREPARED BY:



CONTACT:
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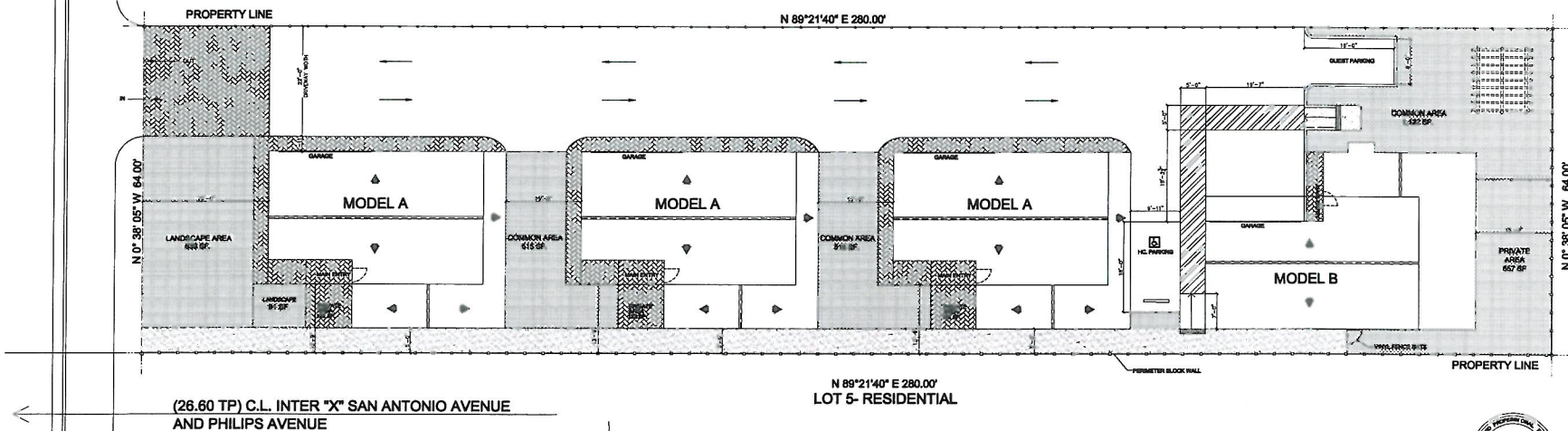
SAN ANTONIO DEVELOPMENT
1476 S. SAN ANTONIO AVENUE
POMONA CA 91766
APN: 8327 001 004

DRAWING CONTENT:
**SITE PLAN &
PROJECT INFO.**

SHEET NO.

A0

LOT 3- RESIDENTIAL
THIS LOT IS ALSO OWN BY SAME OWNER. SPACE FOR FUTURE EXPANSION



1

SITE PLAN

Scale: 1" = 10'



DOOR SCHEDULE

DOOR NO.	ROOM NAME	SIZE	TYPE	DOOR MATERIAL	FINISH	FRAME MAT.	FINISH	HARDWARE LOCKSET
(A)	GARAGE DOOR	16'-0" X 8'-0"	ROLL UP	MECHANICAL ROLL UP DOOR	PAINT	TIMELY	PAINT	-
(B)	ENTRY DOOR, GARAGE SERVICE DOOR	3'-0" X 7'-6"	SWING	SOLID CORE WOOD	PAINT	TIMELY	PAINT	KEYED
(C)	BEDROOM, OFFICE, STUDY ROOM	2'-6" X 7'-6"	SWING	HOLLOW CORE WOOD	PAINT	TIMELY	PAINT	PRVACY
(D)	TOILET & BATH, UTILITY, CLOSET	2'-6" X 7'-0"	SWING	HOLLOW CORE WOOD	PAINT	TIMELY	PAINT	PRVACY
(E)	SLIDING DOORS	6'-0" X 7'-0"	SWING	ALUMINUM GLASS SLIDING DOOR	ALUM	TIMELY	PAINT	LOCK

BREAKDOWN OF SQUARE FOOTAGE FOR FIRST FLOOR:
 GARAGE: 400 SF.
 LIVING ROOM: 159 SF.
 DINING ROOM: 82 SF.
 FAMILY ROOM: 231 SF.
 KITCHEN: 90 SF.
 BATH & UTILITY: 90 SF.
 BEDROOM: 136 SF.
 TOTAL SQUARE FOOTAGE: 1,187 SF.

BREAKDOWN OF SQUARE FOOTAGE FOR SECOND FLOOR:
 MASTER'S BEDROOM: 165 SF.
 MASTER'S TOILET & BATH & W.I.C.: 216 SF.
 BEDROOM #2: 116 SF.
 HALLWAY & UTILITY: 96 SF.
 BEDROOM #3: 113 SF.
 BATH: 46 SF.
 DECK: 205 SF.
 TOTAL SQUARE FOOTAGE: 958 SF.

WINDOW SCHEDULE

WINDOW NUMBER	SIZES (L X H)	MAKE	FRAME	DESCRIPTION	REMARKS
(1)	6'-0" X 4'-4"	CLEAR DUAL GLAZED	VINYL	SLIDING X 0	TEMPERED
(2)	4'-4" X 4'-0"	CLEAR DUAL GLAZED	VINYL	SLIDING X 0	TEMPERED
(3)	2'-2" X 1'-6"	CLEAR DUAL GLAZED	VINYL	SLIDING X 0	TEMPERED
(4)	5'-0" X 4'-0"	CLEAR DUAL GLAZED	VINYL	SLIDING X 0	TEMPERED
(5)	6'-0" X 1'-3"	CLEAR DUAL GLAZED	VINYL	SLIDING X 0	TEMPERED
(6)	4'-0" X 3'-0"	CLEAR DUAL GLAZED	VINYL	SLIDING X 0	TEMPERED

HISTORY RECORDS:

Date	Description
07/18/18	RESUBMITTAL

PLANS PREPARED BY:



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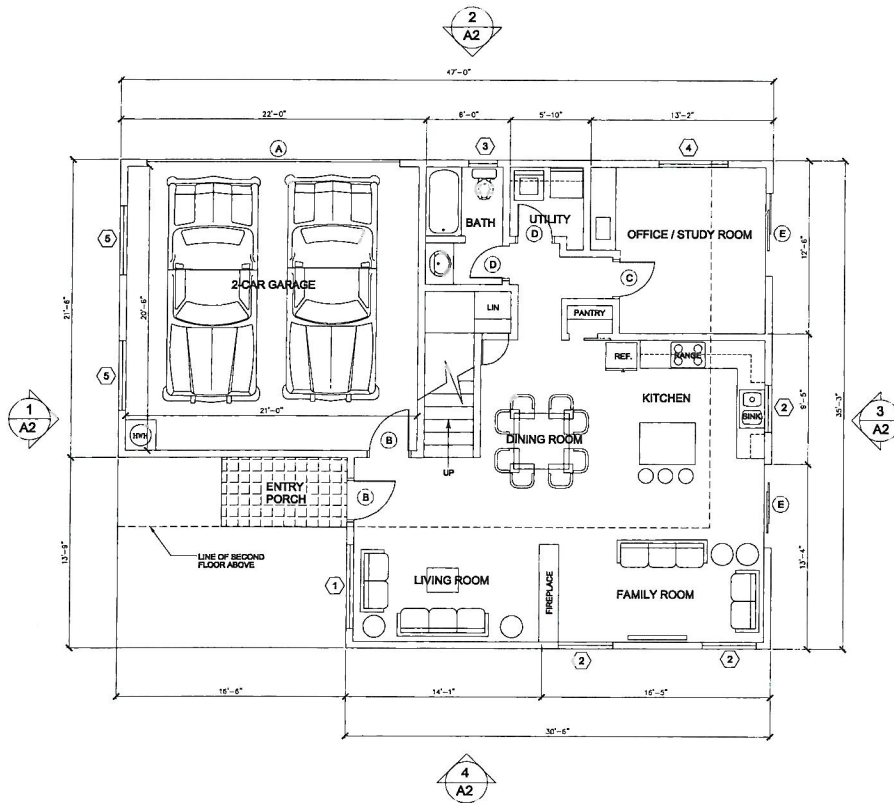
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DRAWING CONTENT:
MODEL HOUSE
TYPE A-
FLOOR PLAN

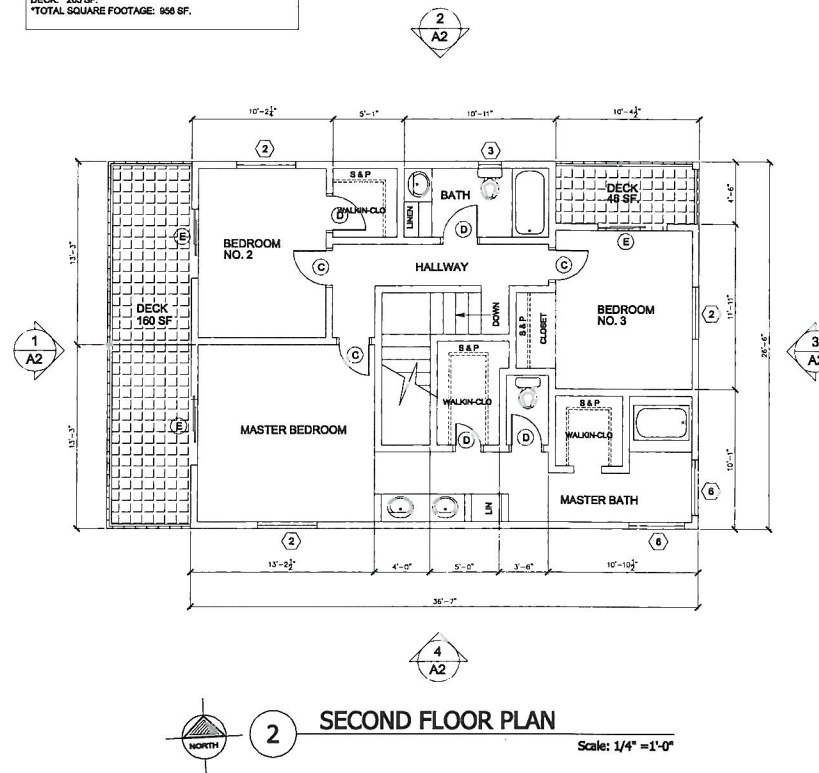
SHEET NO.

A1



1 FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"



2 SECOND FLOOR PLAN

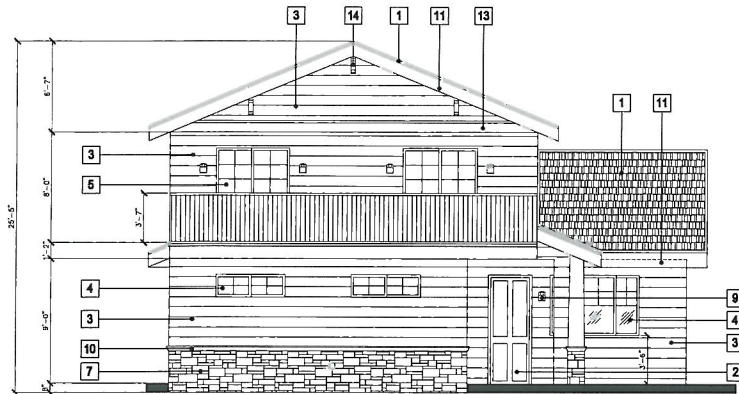
Scale: 1/4" = 1'-0"



ELEVATION KEY NOTES:

1	ASPHALT SHINGLES ROOFING. ICC# ESR-1717	8	WHITE MECHANICAL ROLL UP DOOR PANEL
2	EXTERIOR WHITE SOLID WOOD DOOR	9	DECORATIVE EXTERIOR WALL LIGHT FIXTURE
3	EXTERIOR WOOD SIDING. COLOR VARIES EACH UNITS	10	4" DECORATIVE CAP
4	WHITE VINYL WINDOW, TYP.	11	FASCIA BOARD, PAINTED WHITE
5	GLASS SLIDING DOOR	12	GARAGE DOOR EXTERIOR MOLDING, WHITE
6	WOOD RAILING, PAINTED WHITE	13	EXPOSED RAFTERS, PAINTED WHITE
7	STONESTONE. SEE COLOR BOARD FOR STONE SELECTION.	14	DECORATIVE CORBELS, PAINTED WHITE

NOTE: NO FOAM TRIMS ON THE FIRST FLOOR.



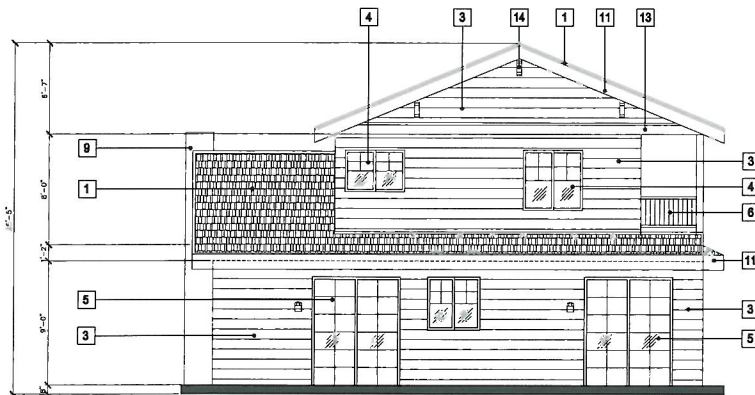
1 WEST ELEVATION

Scale: 1/4" = 1'-0"



2 NORTH ELEVATION

Scale: 1/4" = 1'-0"



3 EAST ELEVATION

Scale: 1/4" = 1'-0"



4 SOUTH ELEVATION

Scale: 1/4" = 1'-0"

HISTORY RECORDS:

Date	Description
07/18/18	RESUBMITTAL

PLANS PREPARED BY:



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POMONA CA 91766
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DRAWING CONTENT:
**MODEL HOUSE
TYPE A-
EXTERIOR
ELEVATIONS**

SHEET NO.

A2



DOOR SCHEDULE

DOOR NO.	ROOM NAME	SIZE	TYPE	DOOR		FRAME		HARDWARE
				MATERIAL	FINISH	MAT.	FINISH	
(A)	GARAGE DOOR	18'-0" X 8'-0"	ROLL UP	MECHANICAL ROLL UP DOOR	PAINT	TIMELY	PAINT	-
(B)	ENTRY DOOR, GARAGE SERVICE DOOR	3'-0" X 7'-6"	SWING	SOLID CORE WOOD	PAINT	TIMELY	PAINT	KEYED
(C)	BEDROOM, OFFICE, STUDY ROOM	2'-6" X 7'-0"	SWING	HOLLOW CORE WOOD	PAINT	TIMELY	PAINT	PRIVACY
(D)	TOILET & BATH, UTILITY, CLOSET	2'-6" X 7'-0"	SWING	HOLLOW CORE WOOD	PAINT	TIMELY	PAINT	PRIVACY
(E)	SLIDING DOORS	6'-0" X 7'-0"	SWING	ALUMINUM GLASS SLIDING DOOR	ALUM	TIMELY	PAINT	LOCK

BREAKDOWN OF SQUARE FOOTAGE FOR FIRST FLOOR:
 GARAGE: 600 SF.
 LIVING ROOM: 158 SF.
 DINING ROOM: 82 SF.
 FAMILY ROOM: 231 SF.
 KITCHEN: 90 SF.
 BATH & UTILITY: 80 SF.
 BEDROOM: 135 SF.
 *TOTAL SQUARE FOOTAGE: 1,367 SF.

BREAKDOWN OF SQUARE FOOTAGE FOR SECOND FLOOR:
 MASTER'S BEDROOM: 165 SF.
 MASTER'S TOILET & BATH & W.C.: 215 SF.
 BEDROOM #2: 115 SF.
 HALLWAY & UTILITY: 96 SF.
 BEDROOM #3: 113 SF.
 BATH: 45 SF.
 DECK: 205 SF.
 *TOTAL SQUARE FOOTAGE: 965 SF.

WINDOW SCHEDULE

WINDOW NUMBER	SIZES (L X H)	MAKE	FRAME	DESCRIPTION	REMARKS
(1)	6'-0" X 4'-4"	CLEAR DUAL GLAZED	VINYL	SLIDING X 0	TEMPERED
(2)	4'-4" X 4'-0"	CLEAR DUAL GLAZED	VINYL	SLIDING X 0	TEMPERED
(3)	2'-2" X 1'-6"	CLEAR DUAL GLAZED	VINYL	SLIDING X 0	TEMPERED
(4)	5'-0" X 4'-0"	CLEAR DUAL GLAZED	VINYL	SLIDING X 0	TEMPERED
(5)	5'-0" X 1'-3"	CLEAR DUAL GLAZED	VINYL	SLIDING X 0	TEMPERED
(6)	4'-0" X 3'-0"	CLEAR DUAL GLAZED	VINYL	SLIDING X 0	TEMPERED

HISTORY RECORDS:

Date	Description
07/18/18	PLANNING REVISION

PLANS PREPARED BY:



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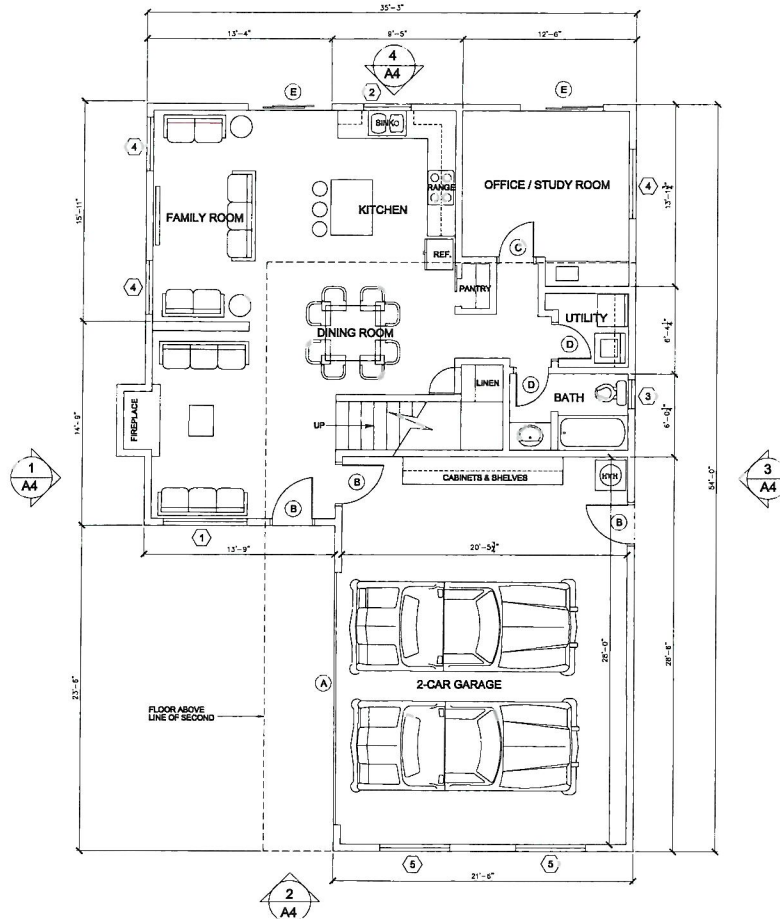
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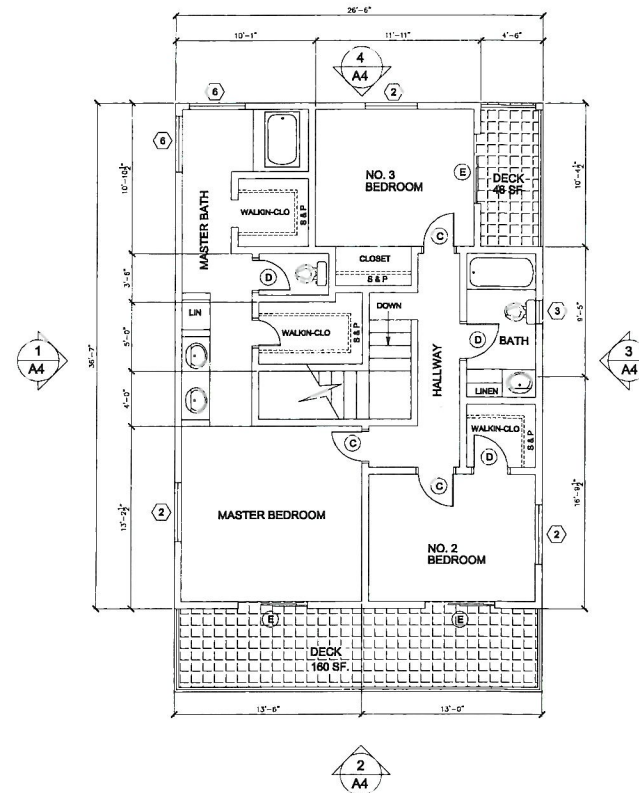
DRAWING CONTENT:
**MODEL HOUSE
 TYPE B-
 FLOOR PLAN**

SHEET NO.

A3



1 FIRST FLOOR PLAN
 Scale: 1/4" = 1'-0"



2 SECOND FLOOR PLAN
 Scale: 1/4" = 1'-0"



ELEVATION KEY NOTES:

1	ASPHALT SHINGLES ROOFING. ICC# ESR-1717	8	WHITE MECHANICAL ROLL UP DOOR PANEL
2	EXTERIOR WHITE SOLID WOOD DOOR	9	DECORATIVE EXTERIOR WALL LIGHT FIXTURE
3	EXTERIOR WOOD SIDING. COLOR VARIES EACH UNITS	10	4" DECORATIVE CAP
4	WHITE VINYL WINDOW, TYP.	11	FASCIA BOARD, PAINTED WHITE
5	GLASS SLIDING DOOR	12	GARAGE DOOR EXTERIOR MOLDING, WHITE
6	WOOD RAILING, PAINTED WHITE	13	EXPOSED RAFTERS, PAINTED WHITE
7	STONEWORK. SEE COLOR BOARD FOR STONE SELECTION.	14	DECORATIVE CORBELS, PAINTED WHITE

NOTE: NO FOAM TRIMS ON THE FIRST FLOOR.

HISTORY RECORDS:

Date	Description
07/19/19	PLANNING RESUBMITTAL

PLANS PREPARED BY:



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SAN ANTONIO DEVELOPMENT
1476 S. SAN ANTONIO AVENUE
POMONA CA 91766
APN: 8327 001 004

DRAWING CONTENT:
**MODEL HOUSE
TYPE B-
EXTERIOR
ELEVATIONS**

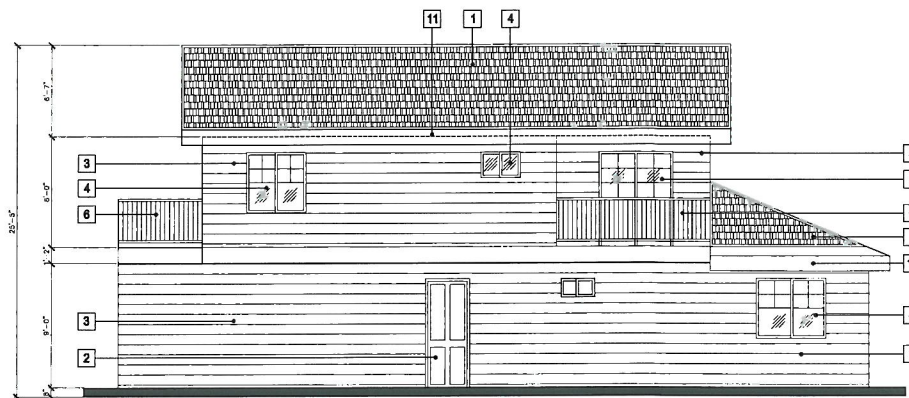
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A4



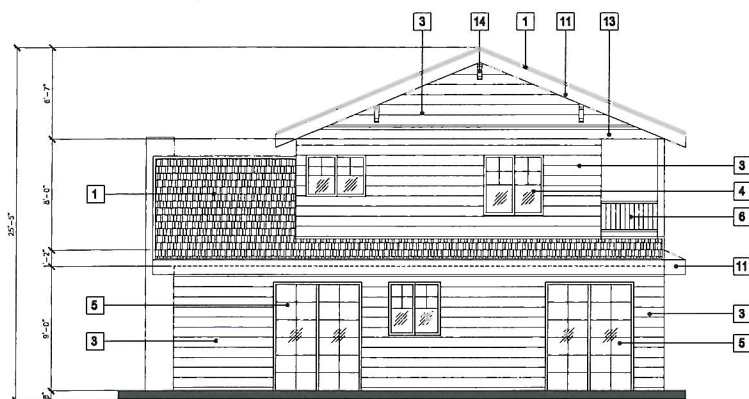
1 WEST ELEVATION

Scale: 1/4" = 1'-0"



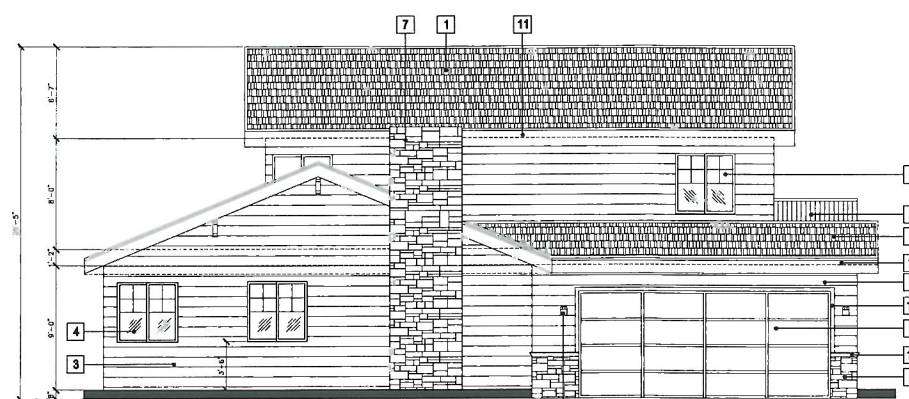
2 SOUTH ELEVATION

Scale: 1/4" = 1'-0"



3 EAST ELEVATION

Scale: 1/4" = 1'-0"



4 NORTH ELEVATION

Scale: 1/4" = 1'-0"



CRRC RAPID RATINGS FOR ROOF

CRRC PROD. ID	MANUFACTURER	BRAND AND MODEL	PRODUCT TYPE	COLOR	SOLAR REFLECTIVE		THERMAL EMITTANCE		SRI	
					INITIAL	3 YEAR	INITIAL	3 YEAR	INITIAL	3 YEAR
ICC ESR-1717	EAGLE ROOFING PRODUCTS	OWENS CORNING SUPREME - ESTATE GREY	TILE	GREY	0.21	0.21	0.93	0.91	22	21

ROOF PLAN NOTES

ROOF MATERIAL - ASPHALT SHINGLES 3-TAB ARCHITECTURAL ROOFING AND SHALL BE CLASS 'B' FIRE RATED MINIMUM.(ICC-ESR-1717)

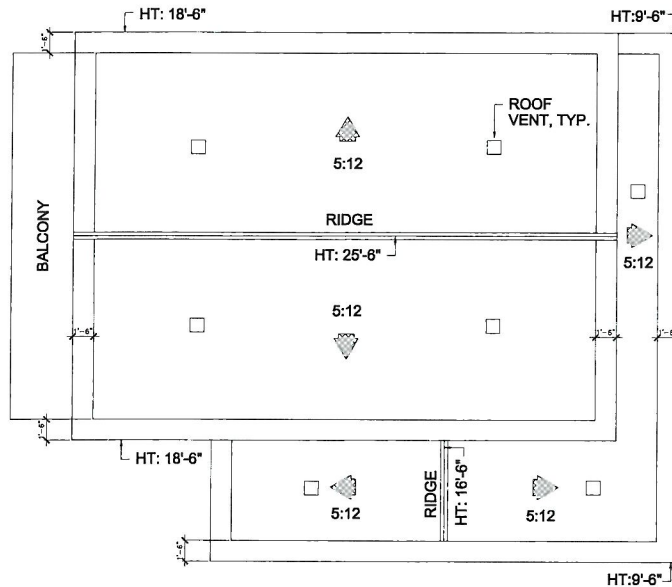
ROOF CONSTRUCTION SHALL BE PER MANUFACTURER'S SPECIFICATIONS WITH THE FOLLOWING AS MINIMUM REQUIREMENTS.

- A. 11 GA. CORROSION RESISTANT NAILS WITH MINIMUM 5/8" PENETRATION INTO SHEATHING PER U.B.C. TABLE 15-D-1.
- B. THE NOSES OF ALL RIDGE, HIP AND RAKE CAPS SHALL BE SET IN A BEAD OF APPROVED ROOFER'S MASTIC.
- C. USE MIN. 30 L.B. ROOFING FELT UNDERLAYMENT, TYPICAL.
- D. MIN. ROOF SHEATHING TO BE USED IS EXISTING 1/2" STRIP SHEATH, 7/16" CD-X PLYWOOD OR OSB ON ENTIRE NEW ROOF.
- E. PROVIDE MINIMUM 28 GA. GALV. METAL FLASHING AT ALL VALLEYS.
- F. ROOF PITCH, FASCIA BOARD STYLE AND TRIM TO MATCH EXISTING CONSTRUCTION, TYPICAL.

EXPOSED VALLEY FLASHINGS SHALL BE AT LEAST NO. 28- GAUGE CORROSION-RESISTANT METAL, INSTALLED OVER A MINIMUM 36" WIDE UNDELAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY.

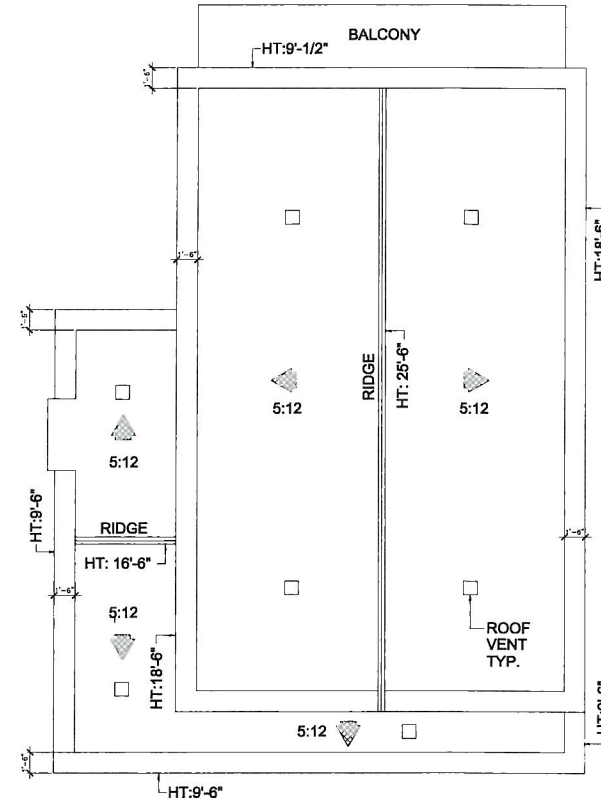
ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS. (COUNTY BUILDING CODE 704A.15)

ALL ROOF VENTILATION SHALL BE APPROVED OR EQUAL TO VENTILATION MAXIMUM LTD, MODEL VMAX-101.12



1 MODEL TYPE A- ROOF PLAN

Scale: 1/4" = 1'-0"



2 MODEL TYPE B- ROOF PLAN

Scale: 1/4" = 1'-0"

HISTORY RECORDS:

Date	Description
07/19/18	PLANNING RESUBMITTAL

PLANS PREPARED BY:



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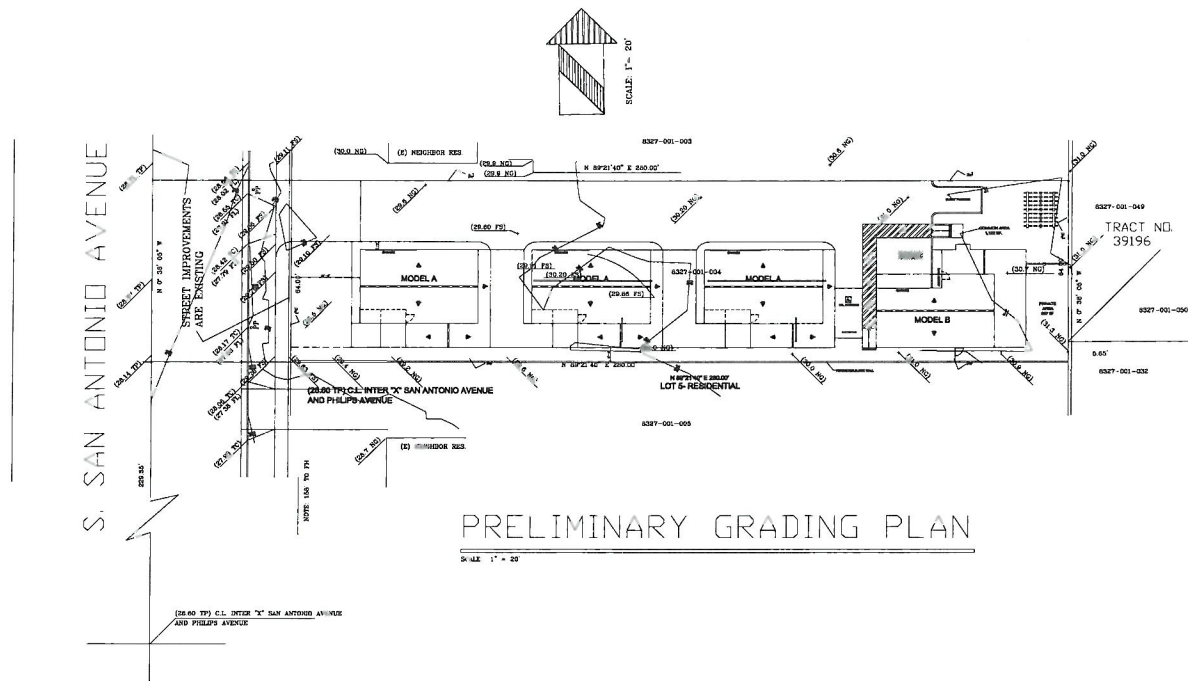
DRAWING CONTENT:

MODEL HOUSE
TYPE A & B
ROOF PLANS

SHEET NO.

A5





HISTORY RECORD:

Date	Description
07/19/18	PLANNING RESUBMITTAL

PLANS PREPARED BY:



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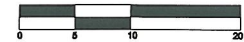
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DRAWING CONTENT:
**PRELIMINARY
GRADING PLAN**

SHEET NO.

GR1



LANDSCAPE AREA: 964 SF.
 HANDSCAPE AREA: 770 SF.
 COMMON AREA: 2,152 SF.
 PRIVATE AREA FOR EACH HOUSE:
 MODEL A: ENTRY PORCH- 122 SF,
 DECK- 80 SF + 80 SF + 48 SF = 208 SF,
 TOTAL: 328 SF.
 MODEL B: ENTRY PORCH- 63 SF,
 DECK- 80 SF + 80 SF + 48 SF = 208 SF,
 BACKYARD- 687 SF,
 TOTAL: 918 SF.

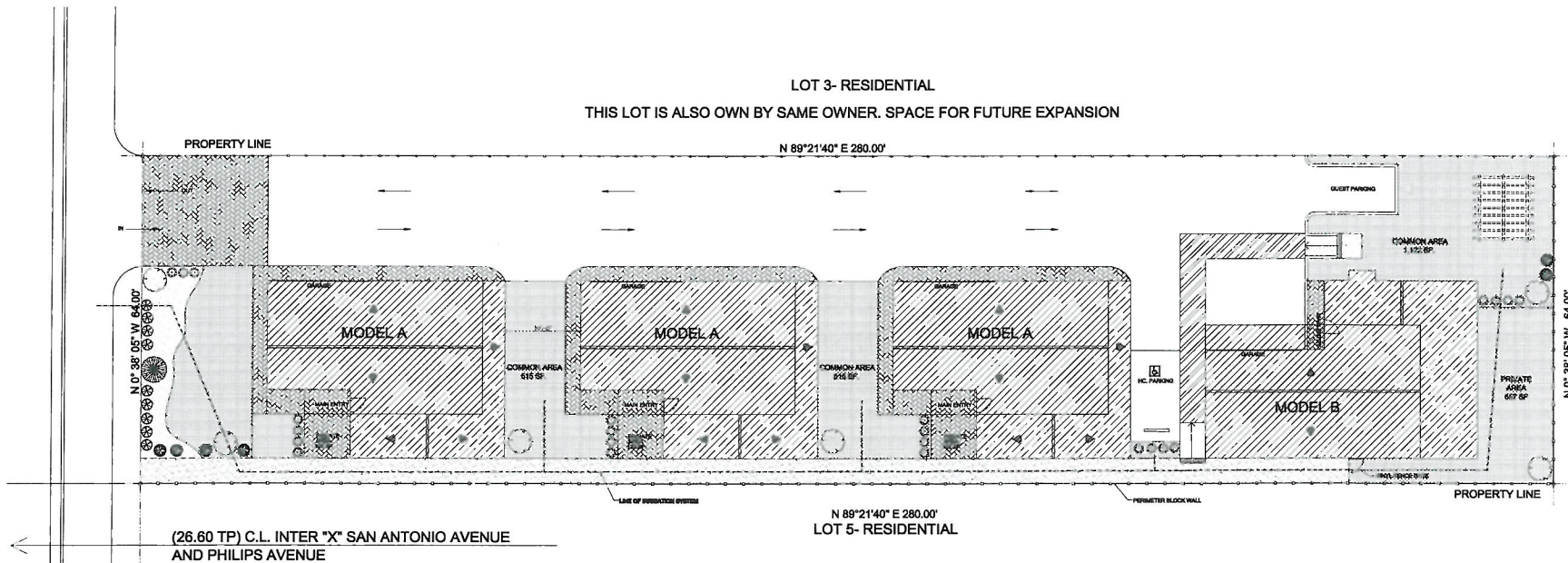
LEGENDS

	STAMPED CONCRETE 760 PRAIRIE TAN
	LAWN GRASS
	LANDSCAPING SOIL
	EXTENT OF FIRST FLOOR
	EXTENT OF SECOND FLOOR

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.
	LAGERSTROEMIA	CREPE MYRTLE	6
	TILIA	BASSWOOD	1
	MAORI	RAINBOW QUEEN	6
	ROSA HYBRIDA	ROSE TREE	9
	HEMEROCALLIS	DAYLILY	16

LOT 3- RESIDENTIAL

THIS LOT IS ALSO OWN BY SAME OWNER. SPACE FOR FUTURE EXPANSION



1

PRELIMINARY LANDSCAPING PLAN

Scale: 1" = 10'

LANDSCAPING AREA (COMMON OPEN SPACE) = 1,830 SF.
 TOTAL LANDSCAPING AREA = 3,125 SF.
 PERCENTAGE= 17% OF 0.41 ACRES



HISTORY RECORDS:

Date	Description
07/10/19	PLANNING RESUBMITTAL

PLANS PREPARED BY:



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DRAWING CONTENT:
LANDSCAPING PLAN

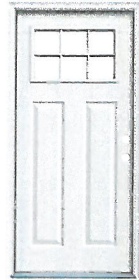
SHEET NO.

L1



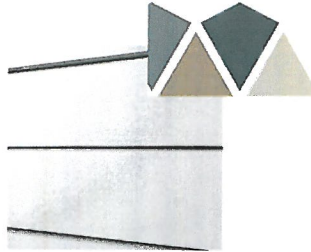
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ASPHALT SHINGLES ROOFING. ICC# ESR-1717
OWENS CORNING SUPREME- ESTATE GREY
3-TAB ROOF SHINGLES



2

EXTERIOR WHITE SOLID WOOD DOOR
PRIMED WOOD ENTRY DOOR WITH
DECORATIVE GLASS



3

EXTERIOR WOOD SIDING
JAMES HARDIE 8.25-IN X 144-IN-HZ5
HARDIEPLANK CEDARMILL LAP SIDING
1 COLOR FOR EACH UNIT



4

WHITE VINYL WINDOW
ANDERSEN SLIDING WINDOW



5

GLASS SLIDING DOOR
STANLEY DOOR, GLACIER WHITE
LOW-E SLIDING PATIO DOOR



6

WOOD RAILING, PAINTED WHITE
PRO RAIL WHITE HANDRAIL



Splitface Fieldstone

Brentwood

Beech Blend

Arapaho

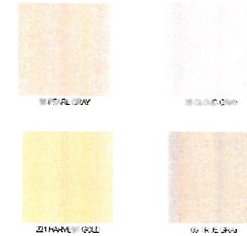
7

STONEWORK- 1 STONEWORK FOR EACH UNIT
RCP BLOCK & BRICK



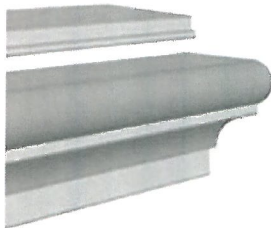
8

WHITE MECHANICAL ROLL UP DOOR PANEL
CLOPAY GARAGE DOOR



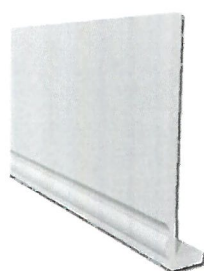
9

CHIMNEY- STUCCO FINISH TO MATCH EXTERIOR WALL
1 COLOR FOR EACH UNIT- OMEGA STUCCO COLORS



10

4" DECORATIVE CAP/ TRIMS
RCP BLOCK & BRICK



11

FASCIA BOARD, PAINTED WHITE
ALUMINUM FASCIA BOARD, PAINTED WHITE



12

GARAGE DOOR EXTERIOR MOLDING, WHITE
GARAGE DOOR TRIM, PAINTED WHITE



HISTORY RECORDS:

Date	Description
07/18/19	PLANNING RESUBMITTAL

PLANS PREPARED BY:



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SAN ANTONIO DEVELOPMENT

1476 S. SAN ANTONIO AVENUE
POMONA CA 91766

APN: 8327 001 004

DRAWING CONTENT:

COLOR BOARD

SHEET NO.

AA

A. GENERAL

1. THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE OF THE WORK AND THOROUGHLY FAMILIARIZE HIMSELF WITH THE WORKING CONDITIONS AND THE EXACT NATURE AND EXTENT OF THE WORK TO BE DONE, TAKING INTO ACCOUNT ANY SPECIAL OR UNUSUAL FEATURES PECULIAR TO THIS JOB.

2. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY ELECTRICAL PERMIT(S) PRIOR TO HIS START AND OBTAIN PRIOR INSPECTION FROM DEPARTMENT OF BUILDING AND SAFETY.

3. ALL ELECTRICAL INSTALLATION SHALL COMPLY WITH THE APPLICABLE ELECTRICAL CODE OF CITY OF POMONA, CALIFORNIA ELECTRICAL CODE 2016, TITLE 24 OF STATE OF CALIFORNIA AND OTHER APPLICABLE ORDINANCES AND STATUTES.

4. OVERCURRENT PROTECTION AND DISCONNECTING MEANS FOR ALL MOTORS SHALL BE INSTALLED TO COMPLY WITH ELECTRICAL CODE AND EQUAL TO MOTOR HP.

5. EXIST LOCATION OF ALL EQUIPMENT SHALL BE VERIFIED IN THE FIELD OF EXISTING OF CONDUITS SHALL SUIT FIELD CONDITIONS.

6. ALL ELECTRICAL EQUIPMENT OUTDOORS SHALL BE WEATHERPROOF, AND LISTED FOR THE PURPOSE.

7. IT IS THE INTENT OF THESE DRAWINGS THAT THIS BE A COMPLETE ELECTRICAL JOB. ANY ERRORS OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO BIDDING THE JOB. IF CONTRACTOR FAILS TO INFORM ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO BIDDING ANY ERRORS OR OMISSIONS WHICH IS DEEMED NECESSARY TO BE PART OF A COMPLETE ELECTRICAL WORK AS MANDATED BY ANY LOCAL CODES OR OTHER GOVERNING AUTHORITIES SHALL BE INSTALLED BY THE INSTALLING ELECTRICAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

8. CONTACT POWER AND TELEPHONE CO. AND PROVIDE AND INSTALL SERVICES AS PER UTILITY CO. REQUIREMENTS AT NO ADDITIONAL COST TO THE OWNER, PAY FEES.

9. THE CONTRACTOR SHALL EXAMINE THE CONTRACT PLANS IN ORDER TO LOGICALLY LOCATE WORK IN COORDINATION WITH CONSTRUCTION SUCH AS ROOFETS, BEAMS, FLOORING, DOOR SWEEPS, ETC.

10. CONDUITS SHALL BE CLEAN OF WATER, DEBRIS, AND OTHER FOREIGN MATERIAL PRIOR TO PULLING CONDUCTORS.

11. CONDUITS WHICH ARE INSTALLED AT THIS TIME AND LEFT EMPTY FOR FUTURE USE INCLUDING TELEPHONE AND INTERCOMMUNICATION SYSTEM, SHALL HAVE #12 GALVANIZED PULL WIRE LEFT IN PLACE FOR FUTURE.

12. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PHASING OF THE BRANCH CIRCUITS INSIDE PANELBOARD(S).

13. ALL PANELS SHALL HAVE HINGED DOOR AND SHALL HAVE LOCKABLE DOORS. INSTALL A TYPEWRITTEN DIRECTORY IN ALL PANELS.

14. ALL CONTROL WIRING FOR THE A/C AND HEATING SHALL BE OF 600V INSULATION, MINIMUM NO. 14 AWG, COPPER.

15. ALL WIRING SHALL BE TYPE THHN OR THWN 600 VOLTS UNLESS NOTED OTHERWISE.

16. THERMOSTATS SHALL BE MOUNTED ON 45 X 1-1/2" DEEP J-BOX.

17. BOND ALL METALLIC GAS AND WATER PIPING FOR CONTINUITY PER N.E.C. PRE-1996 EDITION.

18. SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LIGHTING FIXTURES LOCATION.

19. ROOF ACCESS IS PROVIDED. SEE ARCHITECTURAL PLAN.

20. CHECK WITH MECHANICAL FOR ACTUAL NO. OF CONTROL WIRE TO A/C UNIT, AND TIMECLOCK. CONTRACTOR TO PROVIDE AND INSTALL TIMECLOCK AS REQUIRED BY MECHANICAL CONTRACTOR FOR A/C UNIT IN ACCORDANCE TO TITLE 24 PRIOR TO START OF WORK. ELECTRICAL CONTRACTOR SHALL VERIFY WITH A/C CONTRACTOR THE ELECTRICAL REQUIREMENTS FOR THE A/C AND HEATING SYSTEM. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL NECESSARY ELECTRICAL WORK TO MAKE A COMPLETE AND OPERABLE SYSTEM. PROVIDE 1/2" C. FROM EACH A/C UNIT TO THERMOSTAT. SEE MECHANICAL HVAC DRAWINGS FOR CONTROLS WIRING DIAGRAM AS PART OF THIS WORK.

21. ALL FEEDER AND BRANCH CIRCUIT CONDUCTORS ARE BASED ON COPPER CONDUCTOR RATING.

22. CONTRACTOR SHALL BE RESPONSIBLE FOR ORDERING PROPER TYPES OF TRIM FOR ALL RECESSED FLUORESCENT FIXTURES AND INDEPENDENT FIXTURES TO FIT CEILING.

23. ALL FIXTURES SHALL BE U.L. LISTED AND APPROVED FOR THE PURPOSE.

24. ACRYLIC LENS SHALL BE 100% PURE, VIRGIN ACRYLIC.

25. ALL LIGHTING FIXTURES SHALL BE INSTALLED PER MANUFACTURERS' INSTRUCTIONS.

26. RECESSED FIXTURES SHALL BE PRE-WIRED TO ATTACH J-BOX IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS. FIXTURES SHALL BE APPROVED FOR MAXIMUM NUMBER OF WIRES GOING IN AND OUT OF THE FIXTURE AS SHOWN ON PLANS.

27. CONTRACTOR SHALL VERIFY THE TYPE OF CEILING BEFORE ORDERING ANY FIXTURES. HE IS FULLY RESPONSIBLE TO PROVIDE ALL MOUNTING BRACKETS, CEILING CONDITIONS, AT NO EXTRA CHARGE TO THE OWNER.

28. PROVIDE GROUNDING CONDUCTOR FOR FLEXIBLE METALLIC CONDUIT SUPPLIED BY 20A C.O.P. OR LESS & THE COMBINED LENGTH OF FLEXIBLE METALLIC TUBING & LIQUID TIGHT FLEXIBLE CONDUIT IN THE SAME GROUND RETURN PATH DOES NOT EXCEED 8 FT PER NEC SEC. 250-118(b) & (c).

29. ALL OUTLET BOXES MUST BE SIZE PER CODE SECT. 370-16 AND 370-18. MINIMUM SIZE TO BE 4" TRADE SIZE.

30. ALL CONDUITS SHALL BE RUN CONCEALED UNLESS NOTED OTHERWISE.

31. FROM EXISTING PANELBOARDS RECESSED IN WALLS THAT IS RELOCATED, STUDS TWO (2) CONDUITS INTO ACCESSIBLE JOINTING SPACE FOR FUTURE USE. LABEL "SPARE".

32. TERMINATE ALL TELEPHONE HOME-RUNS AT TELEPHONE BACKBOARD.

C. DRAWINGS

1. DRAWING IS DIAGRAMMATIC AND INDICATES THE LOCATION OF OUTLETS AND EQUIPMENT AND THE CIRCUIT ARRANGEMENT OF THE REQUIRED WIRING, AND THOUGH NOT NECESSARILY INDICATING THE ACTUAL ROUTES OF THE CONDUITS, THE DRAWING SHALL BE FOLLOWED AS CLOSELY AS PROPER COORDINATION WITH THE WORK OF THEIR TRADES AND SERVICES AVAILABLE WILL PERMIT.

D. MATERIALS AND EQUIPMENT

1. DESCRIPTIVE NAMES - WHEN SPECIFIC NAMES ARE NOT STATED, ONLY THE BEST AVAILABLE QUALITY OF MATERIAL OR EQUIPMENT SHALL BE SUBMITTED FOR REVIEW AND USED IN THE INSTALLATION.

2. TREATMENT OF NAMED MATERIALS SHALL COMPLY WITH THE REQUIREMENTS AS MODIFIED BY THE FOLLOWING. WHERE THE PHRASES "SIMILAR TO," "EQUAL TO," OR "AS APPROVED" OR WORDS OF SIMILAR MEANING ARE USED IN REFERENCE TO MATERIAL OR EQUIPMENT, THE PRODUCT IS SPECIFIED FOR TYPE AND CONSTRUCTION ONLY AND EQUIVALENT PRODUCTS MAY BE SUBMITTED FOR REVIEW.

3. WHEN NAMES OF SELECTED MANUFACTURERS AND CERTAIN TYPES OF MATERIALS ARE SHOWN OR SPECIFIED WITHOUT THE USE OF THE ABOVE PHRASES, THE CONTRACTOR SHALL SUBMIT HIS PROPOSAL AND WORK ON USE OF THE SELECTED PRODUCTS AND ONLY SUCH PRODUCTS SHALL BE SUBMITTED FOR REVIEW.

E. INSPECTION

1. WORK AND MATERIALS COVERED BY THIS SPECIFICATION SHALL BE SUBJECT TO INSPECTION AT ANY TIME BY REPRESENTATIVES OF THE OWNER. SHOULD ANY WATER INQUIRY WITHIN SPECIFICATIONS, THE CONTRACTOR SHALL WITHIN THREE DAYS AFTER BEING NOTIFIED BY OWNER REMOVE MATERIAL FROM THE PREMISES, AND IF THE MATERIAL IN QUESTION HAS ALREADY BEEN INSTALLED, THE ENTIRE EXPENSE OF REMOVING AND REPLACING SAME SHALL BE BORNE BY THE CONTRACTOR.

F. TRENCING, BACKFILL AND PATCHING

1. THE ELECTRICAL CONTRACTOR SHALL DO ALL TRENCING AND BACKFILL NECESSARY IN CONNECTION WITH HIS WORK. THE ELECTRICAL CONTRACTOR SHALL REPAIR ANY DAMAGE DONE TO THE WORK OF OTHER TRADES. SAW CUTTING AND PATCHING OF EXISTING A.C. FLOORING, IF REQUIRED, SHALL BE DONE BY THE GENERAL CONTRACTOR.

G. PRODUCTS

1. CONDUITS
RIGID STEEL CONDUITS SHALL BE USED FOR CONDUIT RUN IN CONCRETE OR CONCEALED INSIDE THE MASONRY, EXPOSED ON BUILDING INTERIOR WITHIN 8 FT ABOVE FLOOR STUD, EXPOSED ON EXTERIOR OF BUILDING, LOCATED IN WET OR DAMP AREAS, LOCATED ABOVE EXTERIOR HUNG CEILING, OR SIXTIES OR CANDIES.

NON METALLIC CONDUIT SHALL BE USED FOR UNDERGROUND RUN, BENDS AND RISER SHALL BE RIGID STEEL CONDUIT. RISER SHALL TERMINATE AT PANELS AND PULL BOXES WITH DOUBLE LOCKNUTS AND INSULATED GROUND BUSHING. UPPER GROUND WIRE SHALL BE INSTALLED IN CONDUIT RUNS BETWEEN PANELS AND PULL BOXES AND CONNECTED TO GROUND BUSHING AT EACH END. GROUND WIRE SHALL BE GAGE SIZED OR AS INDICATED IN THE DRAWINGS.

FLEXIBLE METAL CONDUIT SHALL BE USED FOR FINAL CONNECTION TO LIGHT FIXTURES, FOR USED IN MOVABLE PARTITION, WHERE INDICATED ON THE DRAWINGS, AND IN OTHER LOCATIONS DUE TO STRUCTURAL CONDITIONS ARE PERMITTED BY CODE. RUN SEPARATE GROUND WIRE WITH CIRCUIT CONDUCTORS. LIQUIDTIGHT METAL CONDUIT SHALL BE USED FOR ALL FINAL CONNECTIONS TO MOTORS AND IN WET DAMP OR OUTDOOR AREAS WHERE DRAWINGS INDICATE USE OF FLEXIBLE CONDUIT. ELECTRIC METALLIC TUBING (EMT) SHALL BE USED FOR INTERIOR RUNS OR EXPOSED INTERIOR RUNS 4 FT OR MORE ABOVE FLOOR EXCEPT AS REQUIRED FOR RIGID STEEL CONDUIT FOR USED UNDER RIVETING AND WHERE PROTECTED BY ADJACENT RIGID RIGID INSULATION. DO NOT CAST IN CONCRETE SLAB OR MASONRY WALLS.

2. OUTLETS

OUTLET AND JUNCTION BOXES USED IN CONCEALED WORK, EXCEPT MASONRY, SHALL BE GALVANIZED OR SHEARDIZED ONE-PIECE, PRESSED STEEL, KNOCK-OUT TYPE SIZED IN ACCORDANCE WITH THE CODE FOR THE NUMBER OF CONDUCTORS OR THE NUMBER AND SIZE OF CONDUITS ENTERING THE BOX, BUT SHALL NOT BE LESS THAN 4" SQUARE AND 1-1/2" DEEP. PLASTER RINGS SHALL BE PROVIDED FOR ALL FLUSH MOUNTED BOXES.

OUTLET AND JUNCTION BOXES USED OUTSIDE OF BUILDING, ON ROOF, OR IN LANDSCAPED AREAS SHALL BE CAST ALUMINUM AS MANUFACTURED BY CROUSE-HINDS TYPE "TS" OR EQUAL WITH CONDUIT HUBS AS REQUIRED.

3. WIRE AND CABLE

CONDUCTORS SHALL BE COPPER #12 AWG MINIMUM UNLESS SPECIFICALLY NOTED OTHERWISE ON DRAWINGS.

CONDUCTORS #10 AWG AND SMALLER SHALL BE SOLID AND #8 AWG AND LARGER SHALL BE STRANDED UNLESS SPECIFICALLY NOTED OTHERWISE ON DRAWINGS.

CONDUCTORS SHALL HAVE TYPE THHN/THWN, 600 VOLT, INSULATION.

4. RECEPTACLES

SHALL BE 20 AMPERE, 125 VOLT A.C., HUBBELL # 5352-1 OR EQUAL BY BELL, SLATER, LEVITON, BRYANT OR ARROW-HART UNLESS INDICATED OTHERWISE ON DRAWINGS. SPECIAL RECEPTACLES SHALL BE AS INDICATED ON DRAWINGS.

5. WALL SWITCHES

SHALL BE HUBBELL # 1221-1 (SIMPLE POLE) AND # 1223-1 (3-WAY) OR EQUAL BY BELL, SLATER, LEVITON, BRYANT, OR ARROW-HART.

6. PLATES

SHALL BE SMOOTH THERMOPLASTIC, STANDARD SIZE FOR ALL SWITCHES, RECEPTACLES, TELEPHONE, AND BLANKED OUTLETS. PLATES SHALL HAVE THE SAME MANUFACTURER AS RECEPTACLES AND WALL SWITCHES. WEATHERPROOF RECEPTACLES SHALL HAVE HUBBELL # WP26 OR EQUAL LIST OTHER PLATES.

7. LIGHTING FIXTURES

SHALL HAVE THE TYPE AS INDICATED ON LIGHTING FIXTURES SCHEDULE AND SHALL BE UNDERWRITERS' APPROVED.

8. LAMPS

A. PROVIDE LAMP FOR EACH FIXTURE. LAMPS SHALL BE MANUFACTURED BY GENERAL ELECTRIC COMPANY, SYLVANIA OR WESTINGHOUSE (PHILIPS).

B. PROVIDE PILOT, ANNUNCIATOR AND OTHER MISCELLANEOUS LAMPS FOR PRODUCTS FURNISHED AS PART OF THE ELECTRICAL WORK.

8. 120/208 VOLT PANELBOARDS CIRCUIT BREAKERS

Q08 CIRCUIT BREAKER TYPE (SQUARE D OR EQUAL) FOR 3 PHASE, 4 WIRE GROUNDING NEUTRAL SERVICE.

C. CIRCUIT BREAKERS SHALL HAVE THE FOLLOWING CHARACTERISTICS.

a1 BOLTED - ON MOLDED CASE Q08 FRAME 120/240 VOLT TYPE, WITH AN INTERRUPTING CAPACITY OF 10,000 AMPERES RMS SYMMETRICAL.

a2 SINGLE OR TWO POLE TRIP SETTINGS SHOWN ON THE DRAWINGS OR PANEL SCHEDULES.

HISTORY REVISIONS	
Date	Description
07/19/18	PLANNING SUBMITTAL

PLANS PREPARED BY:



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SAN ANTONIO DEVELOPMENT

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APN: 8327 001 004

DRAWING CONTENT:

ELECTRICAL SPECIFICATIONS

SHEET NO.

E1



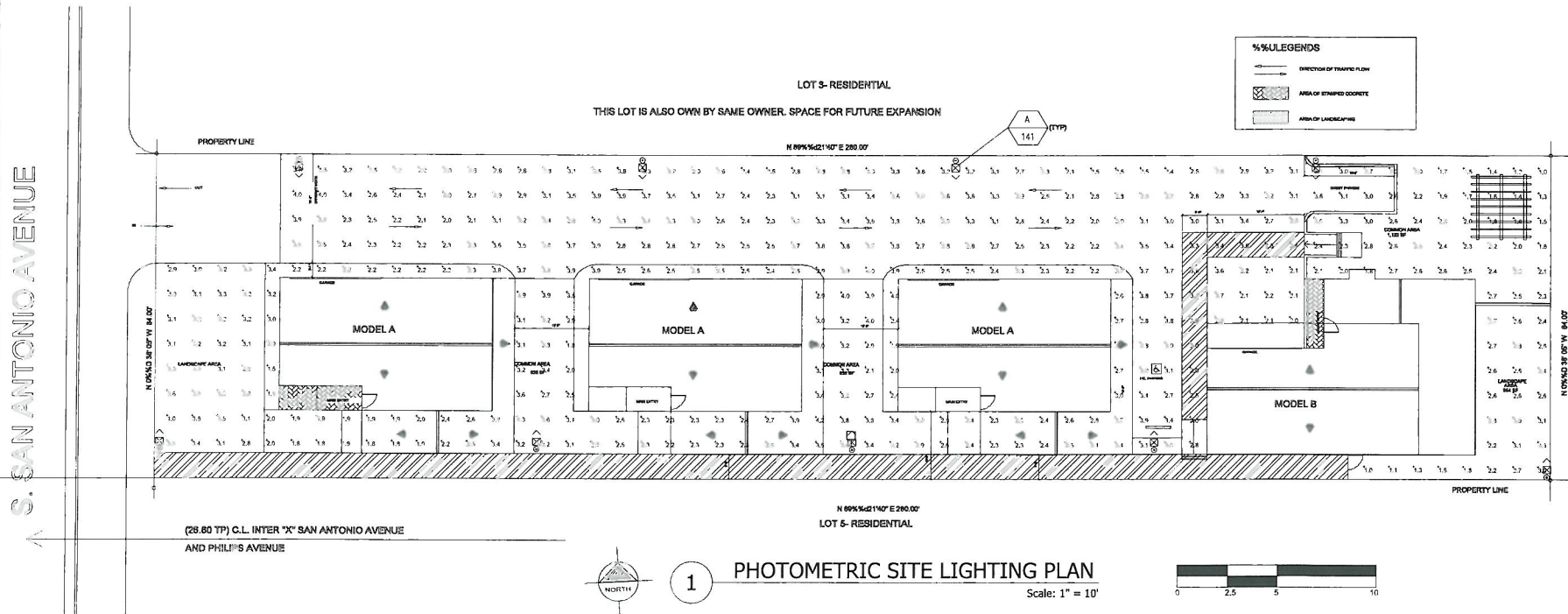
(Professional Seal)

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Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
DRIVE AISLE	+	2.8 fc	4.3 fc	1.0 fc	4.3:1	2.8:1

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
DRIVE AISLE	+	2.8 fc	4.3 fc	1.0 fc	4.3:1	2.8:1



E4



645-000-0168

1476 S. SAN ANTONIO AVE., POMONA, CA

DATE 06/01/19

SHEET 1 OF 1