

LANDMARK GOLDLINE

2501 N. GAREY AVENUE, POMONA, CALIFORNIA

CEDGARCHITECTS

ARCHITECTURE //
BUILD //
LANDSCAPE //

// 401 e. columbia ave.
pomona, ca 91767

// 909.625.3916
// cedgarchitects.com
// info@cedgarchitects.com

STAMP



CONSULTANTS

PROJECT

LANDMARK GOLDLINE
2501 N. GAREY AVENUE
POMONA, CA 91767

APPLICANT

LANDMARK WEST ENTERPRISES
3712 W JEFFERSON BLVD.# 200
LOS ANGELES, CA 90016

REVISIONS

△ 1ST PLANNING SUBMISSION
△ 5/27/2020 PLANNING
△ 7/10/2020 PLANNING

DATE: 12 / 17 / 2019

SCALE: AS NOTED

JOB NO: 180904

DWN BY: CCW

CHK BY: EGP

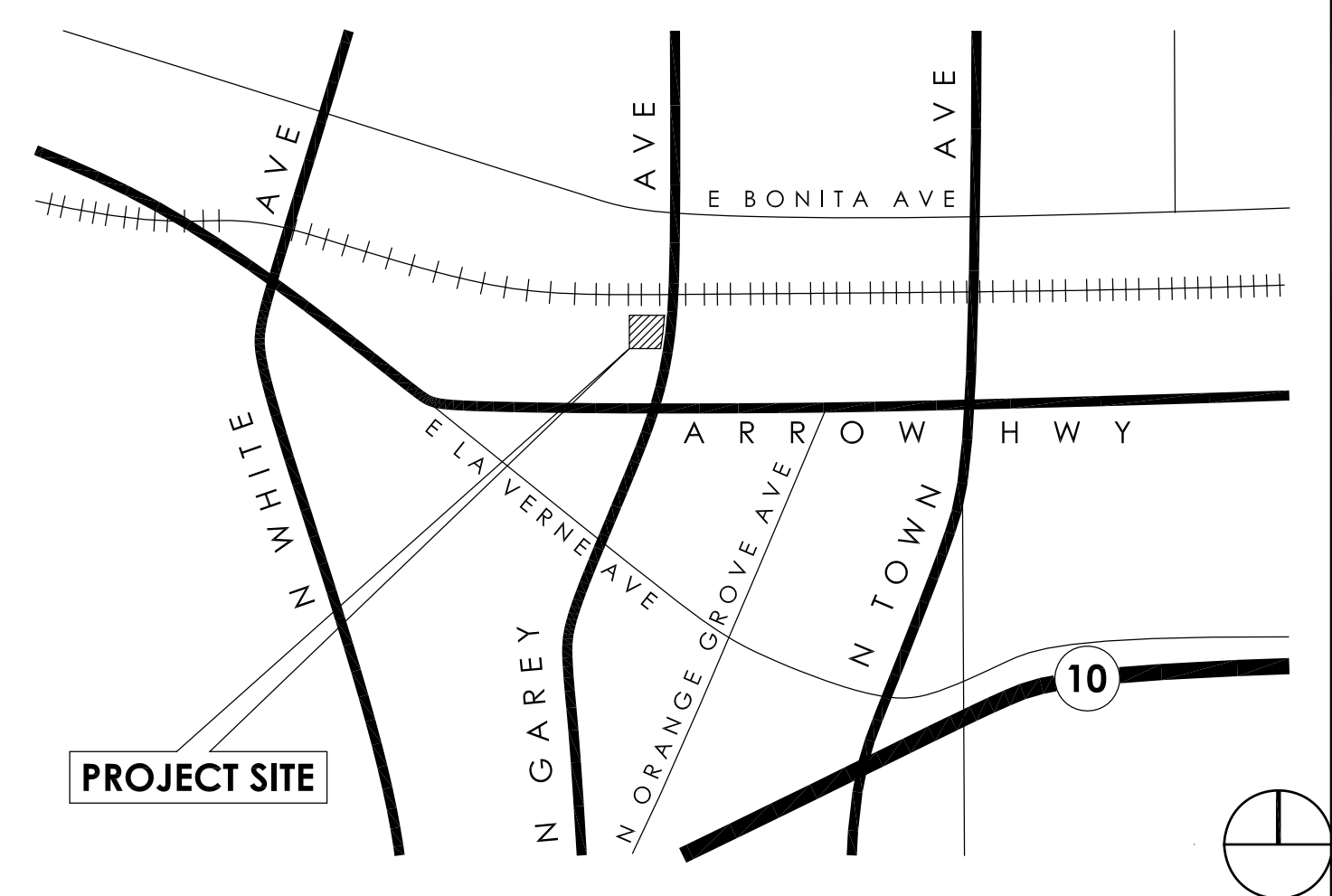
SHEET NO.

G-0.0

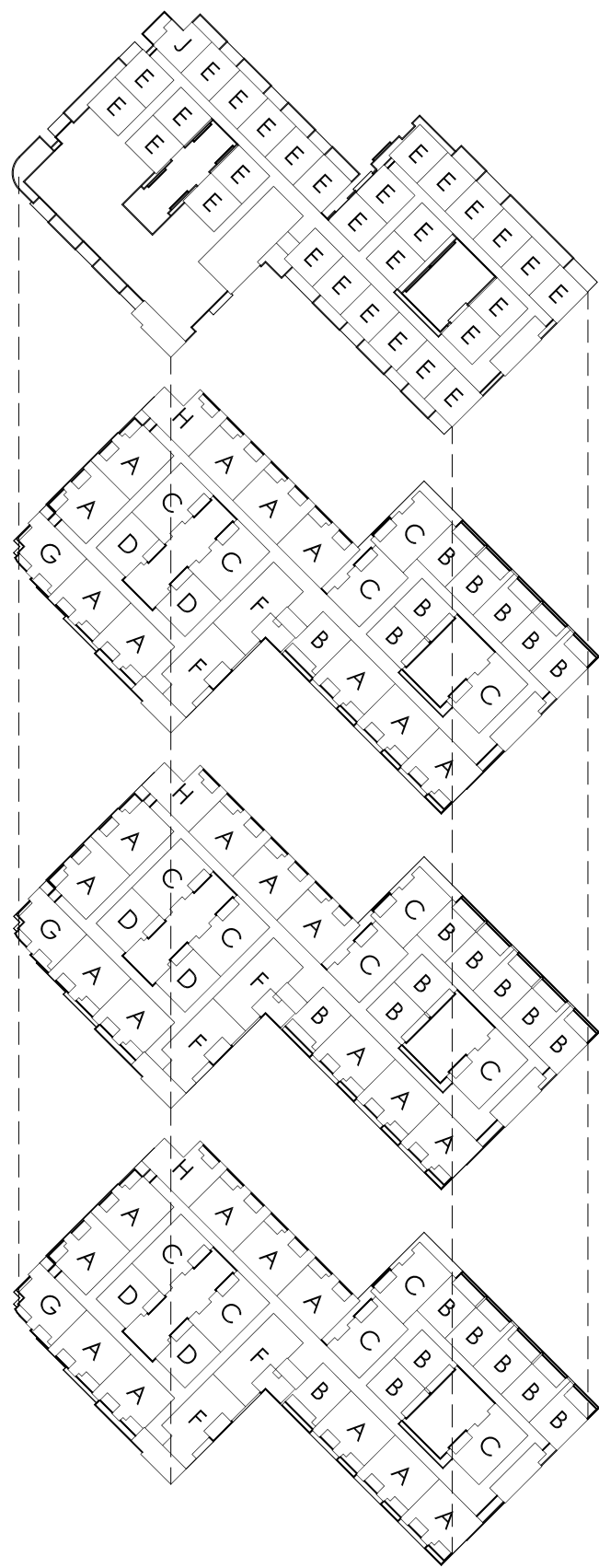
GENERAL NOTES

1. THESE PLANS REPRESENT THE FINISHED STRUCTURE AND ARE FOR GENERAL PERMITTING AND CONSTRUCTION PURPOSES ONLY. THEY ARE NOT EXHAUSTIVELY DETAILED OR FULLY SPECIFIED AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND OWNER TO SELECT, VERIFY, RESOLVE, AND INSTALL ALL EQUIPMENT, FINISHES, AND FEATURES. THE ARCHITECT SHALL BEAR NO RESPONSIBILITY FOR INFORMATION NOT INCLUDED IN THESE PLANS, NOR FOR COORDINATION, MODIFICATION, OR ACTUAL CONSTRUCTION OF THE BUILDING DESCRIBED HEREIN.

VICINITY MAP



UNIT DISTRIBUTION DIAGRAM



LEVEL 5
(SHEET A-1.4)

LEVEL 4
(SHEET A-1.3)

LEVEL 3
(SHEET A-1.3)

LEVEL 2
(SHEET A-1.2)

PROJECT SUMMERY TABLE

OWNER: LANDMARK WEST ENTERPRISES
3712 W JEFFERSON BLVD.# 200
LOS ANGELES, CA 90016

PROPERTY ADDRESS: 2501 N. GAREY AVENUE, POMONA, CA, 91767
ASSESSOR'S PARCEL NUMBERS: 8371-014-040, 8371-014-041, 8371-014-042
8371-014-043, 8371-014-900, 8371-014-901

GOVERNING AGENCY: CITY OF POMONA
ZONING: TRANSIT-ORIENTED DISTRICT
LAND AREA: 37,560 SQ. FT. (0.862 ACRES)

TYPE OF OCCUPANCY USE: YES, INSTALL PER NFPA-13
TYPE OF CONSTRUCTION:
AUTOMATIC FIRE SPRINKLERS:

TOTAL BUILDING FOOTPRINT: 36,844 SQ. FT.

NUMBER OF LEVELS: 1 UNDERGROUND PARKING GARAGE
1 PODIUM STYLE PARKING GARAGE @ GROUND LEVEL
4 LEVELS ABOVE PARKING GARAGE

MAX. BUILDING HEIGHT: 72'-0"

PARKING COUNT	LOWER LEVEL	GROUND LEVEL	TOTAL
ACCESSIBLE PARKING PROVIDED	2	4	6
STANDARD PARKING PROVIDED	35	78	113
COMPACT SPACES PROVIDED	0	0	0
TOTAL PARKING PROVIDED	37	82	119

BUILDING DATA

FLOOR AREA	PARKING AREA (SQ. FT.)	RESIDENTIAL AREA (SQ. FT.)	COMMON AREA (SQ. FT.)	TOTAL (SQ. FT.)
UNDERGROUND	20,257	0	0	20,257
GROUND LEVEL	36,844	0	0	36,844
LEVEL 2	0	23,599	0	23,599
LEVEL 3	0	23,599	0	23,599
LEVEL 4	0	23,599	0	23,599
LEVEL 5	0	20,415	1,434	21,849
	57,101	91,212	1,434	149,747

UNIT TABULATION	LEVEL 2	LEVEL 3	LEVEL 4	LEVEL 5	TOTAL
UNIT A TWO BEDROOM 891 SQ. FT.	10	10	10	0	30
UNIT B STUDIO 501 SQ. FT.	8	8	8	0	24
UNIT C TWO BEDROOM 899 SQ. FT.	5	5	5	0	15
UNIT D STUDIO 614 SQ. FT.	2	2	2	0	6
UNIT E STUDIO WITH LOFT 656 SQ. FT.	0	0	0	29	29
UNIT F TWO MASTER SUITES 1,037 SQ. FT.	2	2	2	0	6
UNIT G TWO BEDROOM 857 SQ. FT.	1	1	1	0	3
UNIT H TWO BEDROOM 862 SQ. FT.	1	1	1	0	3
UNIT J STUDIO WITH LOFT 637 SQ. FT.	0	0	0	1	1
	29	29	29	30	117

PROJECT DESCRIPTION

NEW PODIUM STYLE APARTMENT BUILDING WITH 117 UNITS AND GROUND LEVEL PARKING GARAGE.

LEGAL DESCRIPTIONS

APN 8371-014-040, 041, 042 & 043:
LOTS 7-11 IN BLOCK 12 OF THE TOWNSITE OF PALOMARES, M.R. 15/71-72.

APN 8371-014-900 & 901:
PORTIONS OF LOTS 17-19, LOT 21 AND THAT PORTION OF A CERTAIN VACATED ALLEY IN BLOCK 12 OF THE TOWNSITE OF PALOMARES, M.R. 15/71-72.

SHEET INDEX

G-0.0 COVER SHEET AND EXISTING SITE PLAN

TOPOGRAPHIC MAP

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SHEET 2 OF 8 PRECISE GRADING PLAN 2ND FLOOR PLAN
SHEET 3 OF 8 PRECISE GRADING PLAN 1ST FLOOR PLAN
SHEET 4 OF 8 PRECISE GRADING PLAN UNDERGROUND LEVEL PLAN

A-0.0 EXISTING CONDITION SITE PLAN

A-0.1 PROPOSED SITE PLAN
A-0.2 DRYWELL LOCATION PLANS
A-1.0 LOWER GARAGE FLOOR PLAN
A-1.1 STREET LEVEL GARAGE FLOOR PLAN
A-1.2 LEVEL 2 FLOOR PLAN
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A-1.5 LOFT FLOOR PLAN @ LEVEL 5
A-1.6 ROOF PLAN
A-1.7 TYPICAL UNIT FLOOR PLANS
A-1.8 TYPICAL UNIT FLOOR PLANS
A-1.9 TYPICAL UNIT FLOOR PLANS

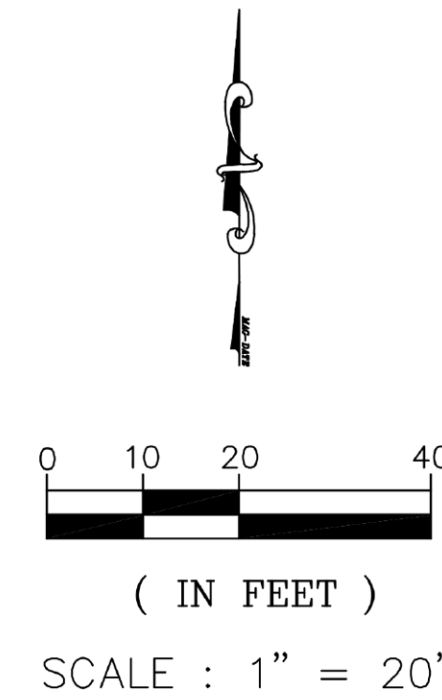
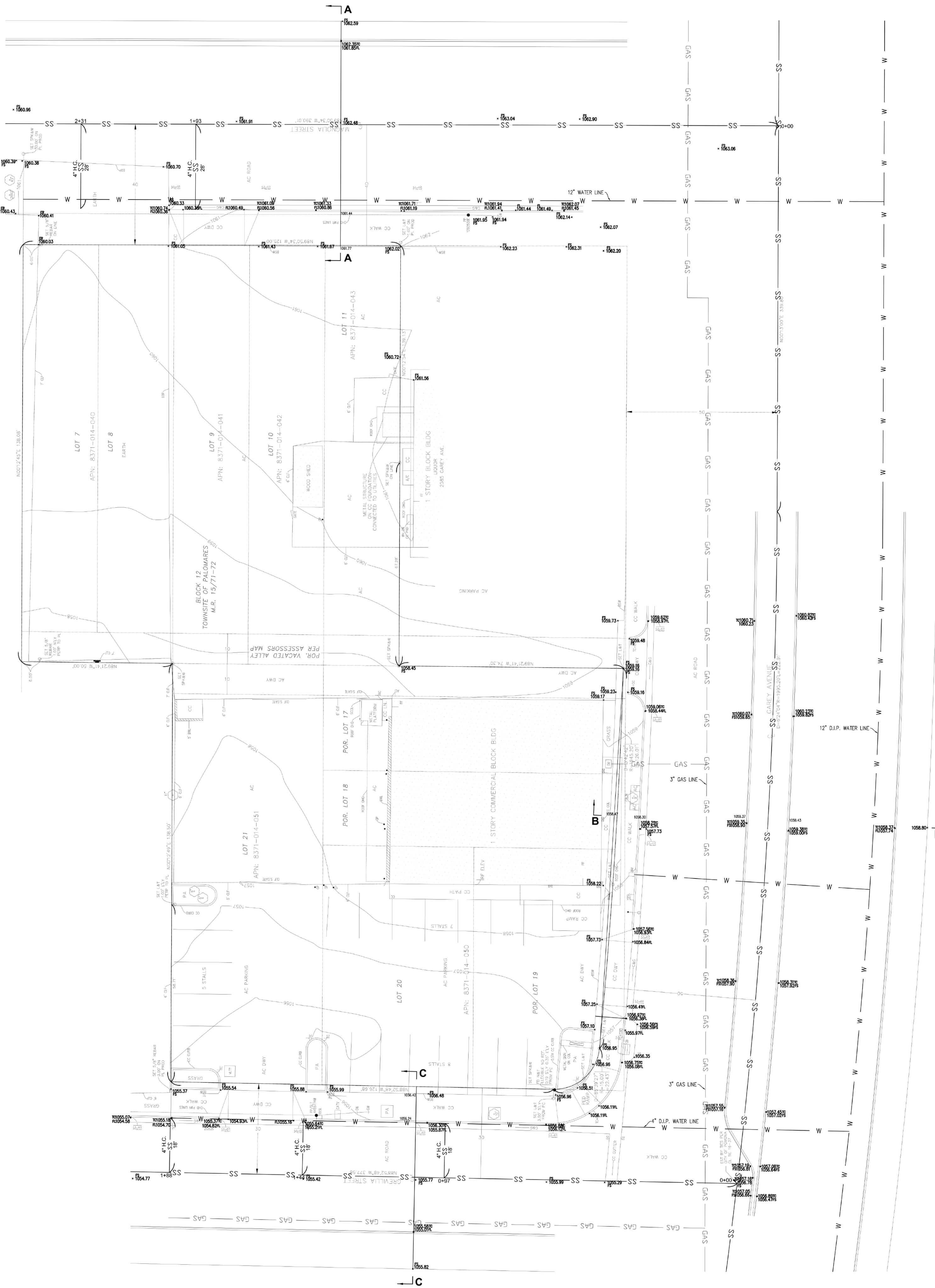
A-2.1 EXTERIOR ELEVATIONS
A-2.2 EXTERIOR ELEVATIONS

A-3.1 BUILDING SECTIONS
A-3.2 BUILDING SECTIONS

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E-02 SINGLE LINE DIAGRAM
E-03 SERVICE ELEVATION
E-05 SUBTERRANEAN PARKING LAYOUT
E-06 FIRST FLOOR PARKING LAYOUT
E-07 2ND-4TH FLOOR LAYOUTS

PM-1 LOWER GARAGE PHOTOMETRIC PLAN
PM-2 STREET LEVEL GARAGE PHOTOMETRIC PLAN

LP-0 PRELIMINARY LANDSCAPE PLAN - GROUND FLOOR
LP-1 PRELIMINARY LANDSCAPE PLAN - 2ND FLOOR
LP-2 PRELIMINARY LANDSCAPE PLAN - 5TH FLOOR
LP-3 PRELIMINARY LANDSCAPE PLAN - 3RD AND 4TH FLOOR



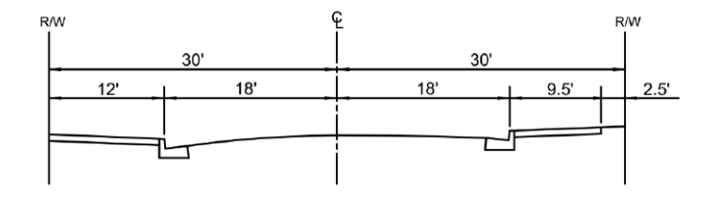
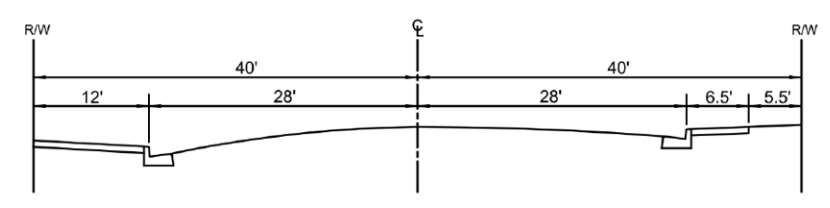
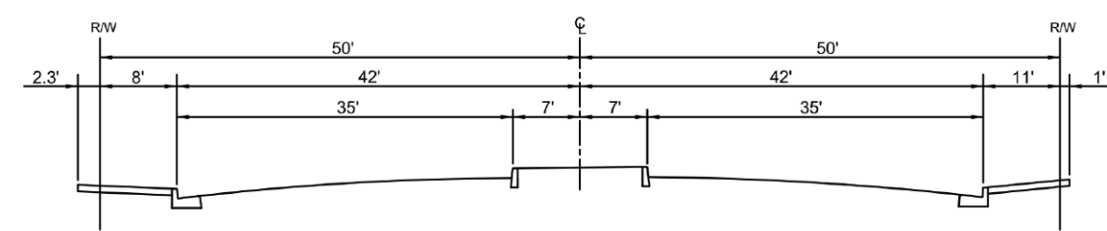
- LEGEND
- CENTER LINE
 - PROPERTY LINE
 - CURB UNLESS OTHERWISE NOTED
 - WALL
 - FENCE
 - COLUMN
 - GUY WIRE
 - POWER POLE
 - GUARD POST
 - STREET LIGHT
 - SURFACE DRAIN
 - TREE WITH TRUNK DIAMETER

- ABBREVIATIONS
- | | |
|--------|-----------------------|
| A/C | AIR CONDITION |
| AC | ASPHALT CONCRETE |
| BLDG | BUILDING |
| BSW | BACK OF SIDEWALK |
| SWL | BLOCK WALL |
| C&G | CURB & GUTTER |
| CATV | CABLE TELEVISION |
| CB | CATCH BASIN |
| CBO | CATCH BASIN OUTLET |
| CC | CONCRETE |
| CLF | CHAIN LINK FENCE |
| COL | COLUMN |
| DO | DRAIN OUTLET |
| DWY | DRIVEWAY |
| EG | EDGE OF GUTTER |
| ELEV | ELEVATION |
| EOP | EDGE OF PAVING |
| ER | EARTH |
| FF | FINISH FLOOR |
| FL | FLOW LINE |
| GM | GAS METER |
| GP | GUARD POST |
| GW | GUY WIRE |
| INF | IRON FENCE |
| LN | LANDING |
| M.R | MAP RECORD |
| OHD | OVERHEAD |
| DHG | OVERHANG |
| PA | PLANTING AREA |
| PED | PEDESTRIAN |
| PP | POWER POLE |
| PWR | POWER |
| RF | ROOF |
| S.GATE | SLIDE GATE |
| SCOL | STEEL COLUMN |
| SLT | STREET LIGHT |
| TC | TOP OF CURB |
| TW | TOP OF WALL |
| VLT | VAULT |
| WH | WATER HEATER |
| WM | WATER METER |
| YBSL | YARD BOX STREET LIGHT |

- BOUNDARY NOTE
- A DISCREPANCY OF 6 FEET WAS FOUND IN THE SURVEY OF THE BLOCK. THE BOUNDARY SHOWN HEREON IS PRELIMINARY UNTIL THE FILED RECORD OF SURVEY IS RECORDED.
- NOTES
- REFERENCE DOCUMENT FOR LEGAL DESCRIPTIONS AND EASEMENTS:
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- B. A RIGHT OF WAY FOR CONDUCTING WATER FROM THE SAN ANTONIO CANON, AS GRANTED TO CHARLES F. LOOP BY A DEED RECORDED IN BOOK 36 PAGE 5 OF DEEDS, BLANKET EASEMENT OVER LOTS 7-11, NOT PLOTTED.

- BASIS OF BEARINGS
- THE CENTERLINE OF GAREY AVENUE BEING N 0°13'00" E PER TRACT NO. 12414, M.B. 232/47-48.
- BENCH MARK
- COUNTY OF LOS ANGELES BENCH MARK NO. JG2172 ELEV=1041.066 QUAD YEAR: 2005
- DESCRIPTION: L&PK NAIL IN N CB 1W(3.3FT) E/O BCR @ NE COR ARROW HWY & MARIPOSA ST 13.5M(44.3FT) N/O & 16M(52.5FT) E/O C/L INT.



PLANS PREPARED BY:

JCE

JOY CIVIL ENGINEERING

9681 GARDEN GROVE BLVD. #205
GARDEN GROVE, CA 92844
TEL)714-323-5795

TOPOGRAPHIC MAP

140 & 152 E. MAGNOLIA STREET
2501 N. GAREY AVENUE, 141 E. GREVILLA STREET
POMONA, CALIFORNIA 91767

REGISTERED PROFESSIONAL ENGINEER

JIN KIM

64433

Exp 6-30-21

CIVIL

STATE OF CALIFORNIA

GRADING/DRAINAGE PLAN

2501 N. GAREY AVE. POMONA, CA 91767

STANDARD GRADING NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF POMONA ORDINANCE NO. 3444 AND THE LATEST STATE CODES AS MANDATED TO BE ENFORCED BY THE CITY AND STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION, PLUS ANY SUPPLEMENTS.
** A BOND IS REQUIRED PER SECTION 3311 OF UNIFORM BUILDING CODE.
- AN APPROVED SET OF PLANS SHALL BE ON THE JOB AT ALL TIMES.
- NO WORK SHALL BE STARTED WITHOUT FIRST NOTIFYING THE BUILDING DIVISION AT (909) 620-2371.
- ADEQUATE BARRICADES, LIGHTS, FLAGMEN, SIGNS AND OTHER SAFETY DEVICES SHALL BE PROVIDED AS SPECIFIED BY THE TRAFFIC MANUAL PUBLISHED BY THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION.
- EXISTING CITY STREETS SHALL BE KEPT CLEAN OF ALL MATERIALS RESULTING FROM THE GRADING OPERATIONS. THE STREET RIGHT-OF-WAY SHALL BE CLEANED UP DAILY AND AS NECESSARY TO MAINTAIN PEDESTRIAN AND VEHICULAR PASSAGE OVER THE PUBLIC RIGHT-OF-WAY AT ALL TIMES.
- THE PERMITEE OR HIS AGENT SHALL NOTIFY THE BUILDING OFFICIAL AT LEAST 24 HOURS BEFORE THE GRADING OPERATIONS IS READY FOR EACH OF THE FOLLOWING:
 - PRE GRADE MEETING: WHEN THE PERMITEE IS READY TO BEGIN WORK AND BEFORE ANY GRADING OR BRUSHING IS STARTED. THE FOLLOWING PEOPLE MUST PRESENT-OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, BUILDING OFFICIAL OR THEIR REPRESENTATIVE.
 - TOE INSPECTION: AFTER THE NATURAL GROUND IS EXPOSED AND PREPARED TO RECEIVE FILL AND BEFORE ANY FILL IS PLACED.
 - EXCAVATION INSPECTION: AFTER THE EXCAVATION IS STARTED AND BEFORE THE DEPTH OF EXCAVATION EXCEEDS 10 FEET.
 - FILL INSPECTION: AFTER THE AREA TO RECEIVE FILL HAS BEEN PREPARED AND INSPECTED BY THE SOILS ENGINEER.
 - DRAINAGE DEVICE INSPECTION: AFTER FORMS, STEEL AND PIPE ARE IN PLACE, AND BEFORE ANY CONCRETE IS POURED.
 - ROUGH GRADING: WHEN ALL ROUGH GRADING HAS BEEN COMPLETED.
 - FINAL INSPECTION: WHEN ALL WORK, INCLUDING INSTALLATION OF ALL DRAINAGE STRUCTURES AND OTHER PROTECTIVE DEVICES HAS BEEN COMPLETED AND THE AS-GRADED PLAN AND REQUIRED REPORTS HAVE BEEN SUBMITTED AND APPROVED.

THE PERMITEE SHALL WAIT FOR APPROVAL BY THE INSPECTOR BEFORE PROCEEDING WITH THE WORK.
- SUFFICIENT TESTS OF SOIL PROPERTIES, INCLUDING SOIL TYPES AND SHEAR STRENGTH SHALL BE MADE DURING THE GRADING OPERATIONS TO VERIFY COMPLIANCE WITH DESIGN CRITERIA. THE RESULTS OF SUCH TESTING SHALL BE FURNISHED TO THE BUILDING OFFICIAL UPON COMPLETION OF GRADING OPERATIONS OR WHEN NECESSITATED BY FIELD CONDITIONS UPON REQUEST OF THE BUILDING OFFICIAL.
- THE GRADING CONTRACTOR SHALL SUBMIT A WRITTEN STATEMENT VERIFYING THAT WORK DONE UNDER HIS DIRECTION WAS PERFORMED IN ACCORDANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF CHAPTER 33 OF THE UNIFORM BUILDING CODE OR DESCRIBING ALL VARIANCES FROM THE APPROVED PLANS AND REQUIREMENTS OF THE CODE.
- THE LOCATION AND PROTECTION OF ALL THE UTILITIES IS THE RESPONSIBILITY OF THE PERMITEE.
- DUST SHALL BE CONTROLLED BY WATERING.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE FROM THE BEGINNING TO COMPLETION OF GRADING OPERATIONS.
- ALL GRADING SHALL CONFORM TO THE RECOMMENDATIONS IN THE APPROVED GEOTECHNICAL REPORT BY _____ DATED _____
- THE CONTRACTOR SHALL INCORPORATE EROSION CONTROL MEASURES WHEN DEEMED NECESSARY BY THE BUILDING OFFICIAL. SEPARATE PLANS FOR TEMPORARY DRAINAGE AND EROSION CONTROL MEASURES TO BE USED DURING THE RAINY SEASON WILL BE SUBMITTED PRIOR TO SEPTEMBER 15, THE CONTROL DEVICES SHOWN ON SAID PLANS WILL BE INSTALLED ON LATER THAN OCTOBER 1, AND MAINTAINED IN OPERABLE CONDITION UNTIL APRIL 1.
- THE ENGINEERING GEOLOGIST SHALL INSPECT AND APPROVE ALL CUT SLOPES.
- PRIOR TO ISSUANCE OF THE BUILDING PERMITS, A SOIL EXPANSION TEST PERFORMED IN ACCORDANCE WITH THE PROCEDURES OF UNIFORM BUILDING CODE STANDARD ON. 18-2 IS REQUIRED
- PRIOR TO PLACING COMPACTED FILL, THE SURFACE SHALL BE STRIPPED OF VEGETATION AND THE SURFACE SCARIFIED TO A DEPTH OF 12 INCHES OR AS SPECIFIED BY THE SOILS ENGINEER AND APPROVED BY THE BUILDING OFFICIAL, BROUGHT TO OPTIMUM MOISTURE CONTENT, RECOMPACTED TO 90% MAXIMUM DENSITY AND INSPECTED BY THE GRADING INSPECTOR AND THE SOIL TEST AGENCY.
- CUT SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.
- FILLS SHALL BE COMPACTED THROUGHOUT TO 90% OF MAXIMUM DENSITY AS DETERMINED BY UNIFORM BUILDING CODE SECTION 3313, LATEST EDITION ADOPTED BY THE CITY, AND CERTIFIED BY THE SOILS ENGINEER NOT LESS THAN ONE FIELD DENSITY TEST WILL BE MADE FOR EACH 2 FEET OF VERTICAL LIFT OR FILL NOR LESS THAN ONE SUCH TEST FOR EACH 1,000 CUBIC YARDS OF MATERIAL PLACED, AT LEAST ONE-HALF OF THE REQUIRED TESTS SHALL BE MADE AT THE LOCATION OF THE FINAL FILL SLOPE.

- FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL AND SHALL BE COMPACTED TO NO LESS THAN 90% OF MAXIMUM DENSITY OUT TO THE FINISHED SURFACE. ALL FILL SLOPES GREATER THAN 5 FEET IN VERTICAL HEIGHT SHALL BE GRID ROLLED TO COMPACT THE OUTER 6" TO 8" TO AT LEAST 90% OF MAXIMUM DENSITY.
- NO ROCK OR SIMILAR MATERIAL GREATER THAN 12 INCHES IN DIMENSION WILL BE PLACED IN THE FILL UNLESS RECOMMENDATIONS FOR SUCH PLACEMENT HAVE BEEN SUBMITTED BY THE SOILS ENGINEER IN ADVANCE AND APPROVED BY THE BUILDING OFFICIAL.
- NO FILL SHALL BE PLACED UNTIL STRIPPING OF VEGETATION, REMOVAL OF UNSUITABLE SOILS AND INSTALLATION OF SUBDRAINS (IF REQUIRED) HAVE BEEN INSPECTED AND IMPROVED BY THE SOILS ENGINEER AND THE CITY GRADING INSPECTOR.
- CONTINUOUS INSPECTION BY THE SOILS ENGINEER OR HIS RESPONSIBLE REPRESENTATIVE WILL BE PROVIDED DURING ALL FILL PLACEMENT AND COMPACTION OPERATIONS.
- ALL EXISTING FILLS SHALL BE APPROVED BY THE SOILS ENGINEER AND THE BUILDING OFFICIAL OR HIS REPRESENTATIVE BEFORE ANY ADDITIONAL FILLS ARE ADDED.
- ALL TRENCH BACKFILLS SHALL BE TESTED AND CERTIFIED BY THE SLIS ENGINEER.
- ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ONSITE SOILS SHALL BE CONSTRUCTED WITH TYPE 5 SIX (6) SACK CEMENT UNLESS SULFATE-CONTENT TESTS CONDUCTED BY THE SOILS ENGINEER SHOW IS TO BE UNNECESSARY.
- THE CIVIL ENGINEER SHALL PROVIDE PROFESSIONAL INSPECTION WITHIN SUCH ENGINEER'S AREA OF TECHNICAL SPECIALTY, WHICH SHALL CONSIST OF OBSERVATION AND REVIEW AS TO THE ESTABLISHMENT OF LINE, GRADE AND SURFACE DRAINAGE OF THE DEVELOPMENT AREA.
- THE SOILS ENGINEER SHALL PROVIDE SUFFICIENT INSPECTION DURING THE PREPARATION OF NATURAL GROUND AND PLACEMENT OF COMPACTION TO VERIFY THAT SUCH WORK IS BEING PERFORMED IN ACCORDANCE WITH THE CONDITIONS OF THE APPROVED PLAN AND THE REQUIREMENTS OF THE UNIFORM BUILDING CODE SECTION 3317.3 LATEST EDITION ADOPTED BY THE CITY. REVISED RECOMMENDATIONS RELATING TO CONDITIONS DIFFERING FROM THE APPROVED SOILS ENGINEERING REPORT SHALL BE SUBMITTED TO THE PERMITEE, THE BUILDING OFFICIAL, AND THE CIVIL ENGINEER.
- THE ENGINEERING GEOLOGIST SHALL PROVIDE A PROFESSIONAL INSPECTION OF THE REDROCK EXCAVATION TO DETERMINE IF CONDITIONS ENCOUNTERED ARE IN ACCORDANCE WITH THE APPROVED REPORTS, THE PLANS, SPECIFICATIONS AND CODE WITHIN THEIR PURVIEW, IN ACCORDANCE WITH THE UNIFORM BUILDING CODE SECTION 3317.4 LATEST EDITION ADOPTED BY THE CITY.
- THE PERMITEE SHALL BE RESPONSIBLE FOR THE WORK TO BE PERFORMED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND IN CONFORMANCE WITH THE PROVISIONS OF THE UNIFORM BUILDING CODE SECTION 3371.5, AND THE PERMITEE SHALL ENGAGE CONSULTANTS, IF REQUIRED, TO PROVIDE PROFESSIONAL INSPECTIONS ON A TIMELY BASIS. THE PERMITEE SHALL ACT AS A COORDINATOR BETWEEN THE CONSULTANTS, THE CONTRACTOR AND THE BUILDING OFFICIAL IN THE EVENT OF CHANGED CONDITIONS, THE PERMITEE SHALL BE RESPONSIBLE FOR INFORMING THE BUILDING OFFICIAL OF SUCH CHANGE AND SHALL PROVIDE REVISED PLANS FOR APPROVAL.
- ANY REVISION MADE TO THE APPROVED GRADING PLAN MUST BE SPECIFICALLY APPROVED BY THE BUILDING OFFICIAL OR HIS DESIGNATED REPRESENTATIVE.

- PRIOR TO FINAL APPROVAL OF ROUGH GRADING THE CIVIL ENGINEER SHALL SUBMIT AN "AS-BUILT" GRADING PLAN, IN ACCORDANCE WITH SECTION 3318.1 FOR APPROVAL BY THE BUILDING OFFICIAL. THIS PLAN SHALL SHOW ORIGINAL GROUND SURFACE AND AS-GRADED GROUND SURFACE ELEVATIONS, ALL FEATURES SHOWN ON THE APPROVED GRADING PLAN, FINAL PAD GRADES, THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL SUBDRAINS, ROCK DISPOSAL SITES, KEYWAYS, BUTTRESS, OR STABILITY FILLS AND ANY OTHER REMEDIAL GRADING, ANY VARIANCES BETWEEN THE FINISHED WORK AND THE APPROVED PLANS, ACTUAL YARDAGE MOVED (INCLUDING REMEDIAL GRADING) AND A CERTIFICATION THAT THE AS-BUILT PLANS SHOW THE ABOVE ITEMS. ROUGH GRADING WILL NOT BE APPROVED UNTIL AFTER THE "AS-BUILT" GRADING PLAN.
- FOR ROUGH GRADING THE CONTRACOTR SHALL CONSTRUCT BERMS AT THE TOP OF ALL MANUFACTURED SLOPES AS SHOWN PER DETAIL ON THIS PLAN.
- FINISH GRADING WILL BE COMPLETED AND APPROVED AND SLOPE PLANTING AND IRRIGATION SYSTEM INSTALLED BEFORE OCCUPANCY OF ANDY BUILDING AND BEFORE RELEASE OF ANY GRADING BONDS.
- ALL CUT AND FILL SLOPES OVER 5 FEET IN VERTICAL HEIGHT SHALL BE PLANTED AND PROVIDED WITH AN IRRIGATION SYSTEM IN ACCORDANCE WITH AN APPROVED LANDSCAPE PLAN.
- ALL REQUIREMENTS OF THE APPROVAL OF TENTATIVE TRACT NO. N/A APPLICABLE TO THE FINAL MAP SHALL BE MET BY THE APPLICANT.
- ALL REQUIREMENTS OF THE PLANNING COMMISSION RESOLUTION NUMBER(S) N/A SHALL BE MET.

37. QUANTITY OF EARTH TO BE MOVED

EXPORT: 7000 cu. yds.
CUT: 7000 cu. yds.
FILL: 0 cu. yds.

(THIS QUANTITY IS ESTIMATION ONLY-CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING HIS OWN QUANTITIES)

INDEX TO DRAWINGS

SHEET 1.	TITLE SHEET
SHEET 2.	2ND FLOOR PLAN
SHEET 3.	1ST FLOOR PLAN
SHEET 4.	UNDER GROUND LEVEL PLAN
SHEET 5.	DETAILS
SHEET 6.	EROSION CONTROL PLAN
SHEET 7.	EROSION CONTROL PLAN DETAIL
SHEET 8.	UTILITY PLAN

BOUNDARY NOTE

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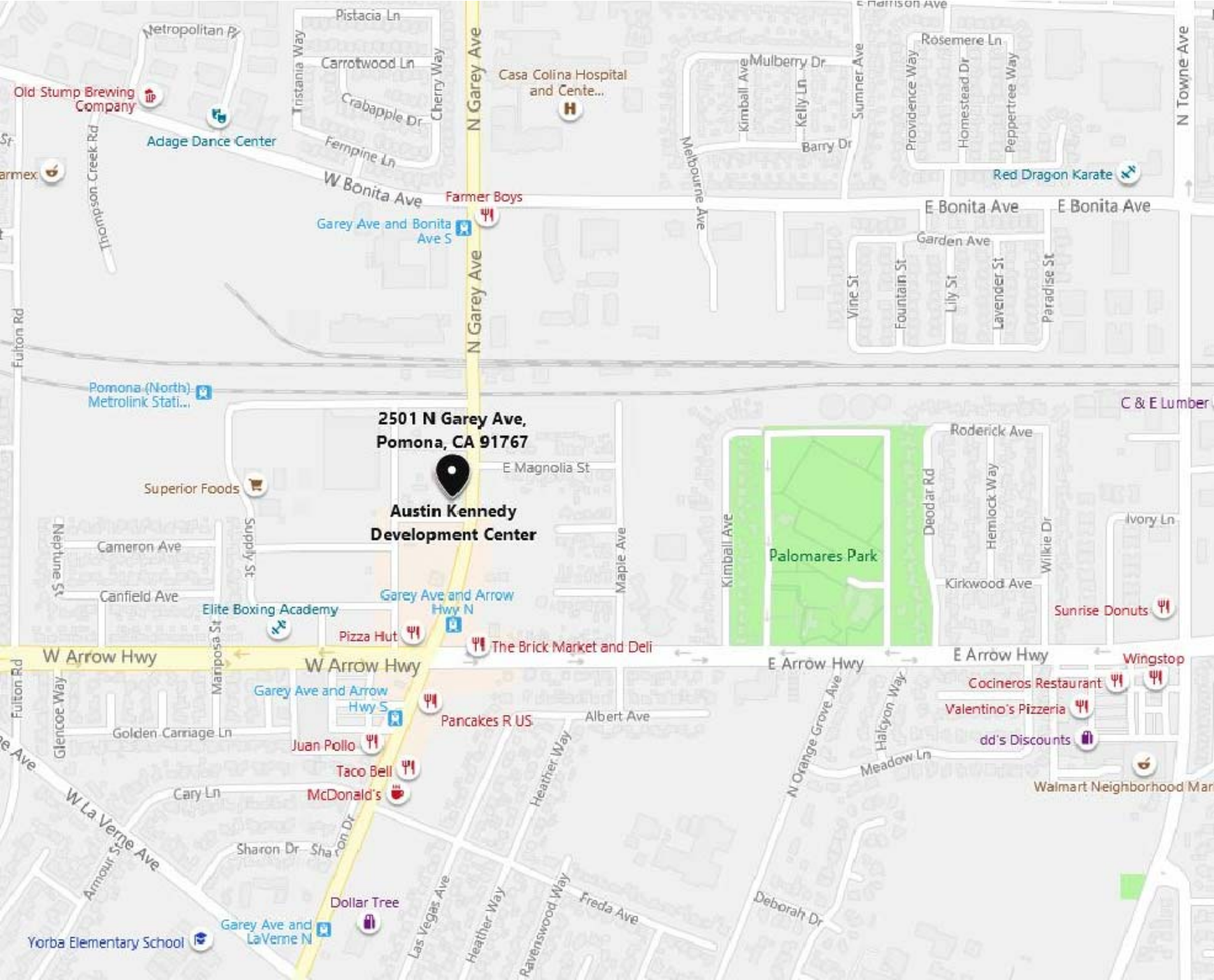
BASIS OF BEARINGS

THE CENTERLINE OF GAREY AVENUE BEING N 0°13'00" E PER TRACT NO. 12414, M.B. 232/47-48.

BENCH MARK

COUNTY OF LOS ANGELES BENCH MARK NO. JG2172
ELEV=1041.066
QUAD YEAR: 2005

DESCRIPTION: L&PK NAIL IN N CB 3.3FT E/O BCR @ NE COR ARROW HWY & MARIPOSA ST 44.3FT N/O & 52.5FT E/O C/L INT.



VICINITY MAP

SCALE : N.T.S.

- It is the owner's and the contractor's responsibility to repair all damage to the existing public improvements due to the proposed construction activities and to address all repairs requested by the Public Works Inspector based on the inspector's review of the current condition of the said public improvements.

- Undergrounding of all existing and proposed utility lines is required as per City of Pomona Municipal Code Section 62-31(b)(1).

- The parkway landscaping shall be maintained by the property owner per City of Pomona Municipal Code Section 46-496

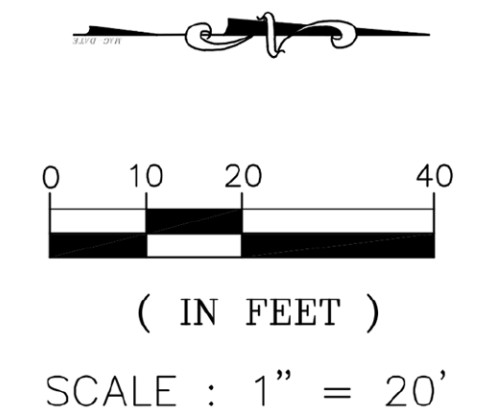
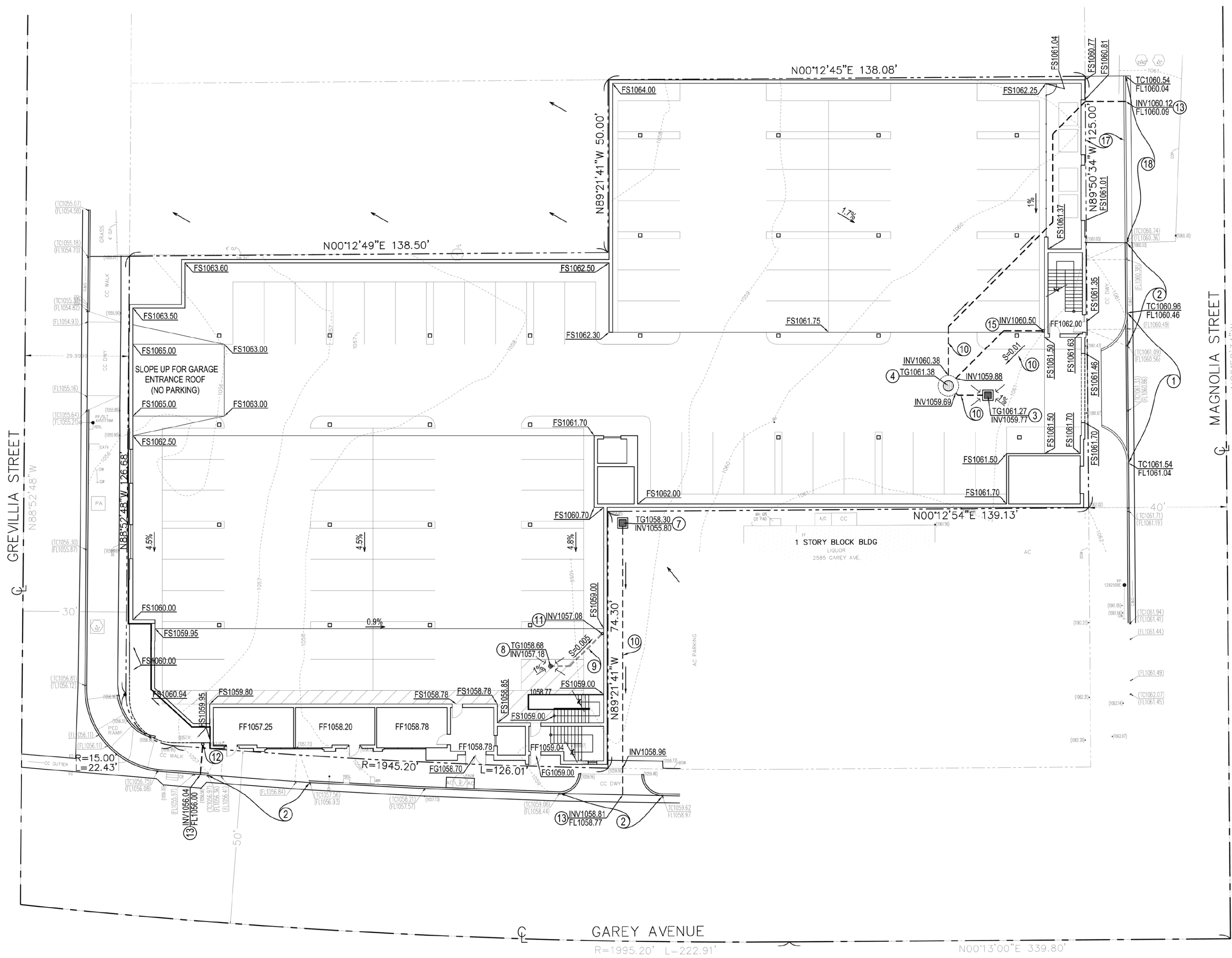
IMPORTANT NOTICE
Section 4216/4217 of the Government Code requires a Dig Alert identification Number be issued before a Permit to Excavate will be valid
For your Dig Alert ID Number Call

UNDERGROUND SERVICE ALERT

1-800-422-4133

For Underground Locating
2 Working Days before You Dig

BENCH MARK: COUNTY OF LOS ANGELES BENCH MARK NO. JG2172 ELEV=1041.066 QUAD YEAR: 2005	DEVELOPER INFORMATION					2501 N. GAREY AVE. POMONA, CA. 91767				
							SCALE	DESIGNED:	PVT ENGR	SHT. <u>1</u> OF <u>8</u> SHTS
								DRAWN:	PVT ENGR	
								CHECKED:		
								REVIEWED:		
		△	REVISIONS		DATE	INITIAL	AS SHOWN			



CONSTRUCTION NOTES

- 1-CONSTRUCT COMMERCIAL DRIVEWAY PER CITY STD. NO. A-27-10 SHEET 2
W= 20', Y= 4'. CONCRETE T=6", CMB T=4" 2 E.A.
- 2-REMOVE EXISTING DRIVEWAY APPROACH. REPLACE WITH P.C.C. CURB,
GUTTER AND SIDEWALK TO MATCH EXISTING 4 E.A.
- 3-INSTALL CATCH BASIN 2 E.A.
- 4-CONSTRUCT DRYWELL WITH SOLID TRAFFIC GRATE PER DETAIL SHT. C-4 2 E.A.
- 5-RELOCATE EXISTING POWER POLE, STREET LIGHT POLE AND
LIGHT POLE CONTROL BOX 1 E.A.
- 6-CONSTRUCT 6"-WIDE GRATED TRENCH DRAIN AND INSTALL FILTER WITH
"NO DUMPING, DRAIN TO OCEAN" STENCIL PER DETAIL SHT. C-4 1 E.A.
- 7-INSTALL PUMP SUMP PER DETAIL SHT. C-5 2 E.A.
- 8-INSTALL AREA DRAIN PER DETAIL SHT. C-5 8 E.A.
- 9-INSTALL 4" CAST IRON DRAIN PIPE MIN. S=0.005 322 L.F.
- 10-INSTALL UNDERGROUND 4" PVC PIPE 505 L.F.
- 11-INSTALL 4" CAST IRON PIPE FROM BOTTOM OF 1ST FLOOR TO BASEMENT DRYWELL 1 E.A.
- 12-INSTALL 4" CAST IRON PIPE FROM PUMP SUMP TO STREET PARKWAY DRAIN 1 E.A.
- 13-CONSTRUCT PARKWAY DRAIN S=12" PER SPPWC 151-2, INLET TYPE 2 3 E.A.
- 14-INSTALL ROOF DOWNSPOUT 12 E.A.
- 15-INSTALL 4" CAST IRON PIPE FROM BOTTOM OF 2ND FLOOR TO 1ST FLOOR DRYWELL 1 E.A.
- 16-INSTALL 3" PVC SUB-DRAIN PIPE 453 L.F.
- 17-INSTALL 1-1/2" SUB-DRAIN PVC PIPE @ 16" O.C WITH PERFORATED CAP 120 L.F.
- 18-INSTALL 4" STORM DRAIN PIPE TO TERMINATE OUTSIDE WALL WITH MIRA DRAIN
PER PLUMBING PLAN 30 E.A.
- 19-CONNECT 3" PVC SUB-DRAIN PIPE TO PUMP SUMP 2 E.A.
- 20-CONSTRUCT NEW SIDEWALK 540 S.F.
- 21-CONSTRUCT NEW CURB & GUTTER 50 L.F.

QUANTITIES

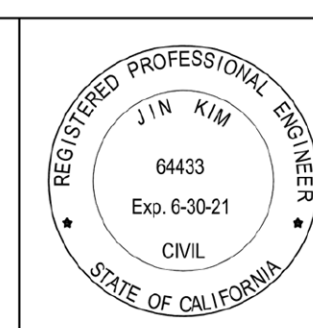
LEGEND

- CENTER LINE
- PROPERTY LINE
- CURB UNLESS OTHERWISE NOTED
- /// WALL
- FENCE
- ⊠ COLUMN
- GUY WIRE
- PP POWER POLE
- GUARD POST
- STREET LIGHT
- SURFACE DRAIN
- 10" TREE WITH TRUNK DIAMETER
- XXX.XX (N) SPOT ELEVATION
- *(XXX.XX) (E) SPOT ELEVATION

ABBREVIATIONS

- | | | | |
|------|--------------------|---------|-----------------------|
| A/C | AIR CONDITION | PA | PLANTING AREA |
| AC | ASPHALT CONCRETE | PED | PEDESTRIAN |
| BLDG | BUILDING | PP | POWER POLE |
| BSW | BACK OF SIDEWALK | PWR | POWER |
| BWL | BLOCK WALL | RF | ROOF |
| C&G | CURB & GUTTER | S. GATE | SLIDE GATE |
| CATV | CABLE TELEVISION | SCOL | STEEL COLUMN |
| CB | CATCH BASIN | SLT | STREET LIGHT |
| CBD | CATCH BASIN OUTLET | TC | TOP OF CURB |
| CC | CONCRETE | TW | TOP OF WALL |
| CLF | CHAIN LINK FENCE | VLT | VAULT |
| COL | COLUMN | VH | WATER HEATER |
| DO | DRAIN OUTLET | WM | WATER METER |
| DWY | DRIVEWAY | YBSL | YARD BOX STREET LIGHT |
| EG | EDGE OF GUTTER | | |
| ELEV | ELEVATION | | |
| EDP | EDGE OF PAVING | | |
| ER | EARTH | | |
| FF | FINISH FLOOR | | |
| FL | FLOW LINE | | |
| GM | GAS METER | | |
| GP | GUARD POST | | |
| GW | GUY WIRE | | |
| INF | IRON FENCE | | |
| LN | LANDING | | |
| M.R. | MAP RECORD | | |
| DHD | OVERHEAD | | |
| DHG | OVERHANG | | |

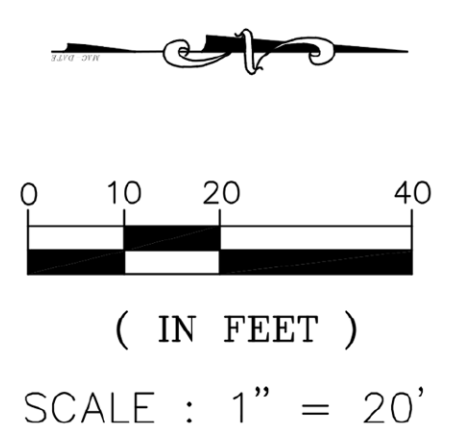
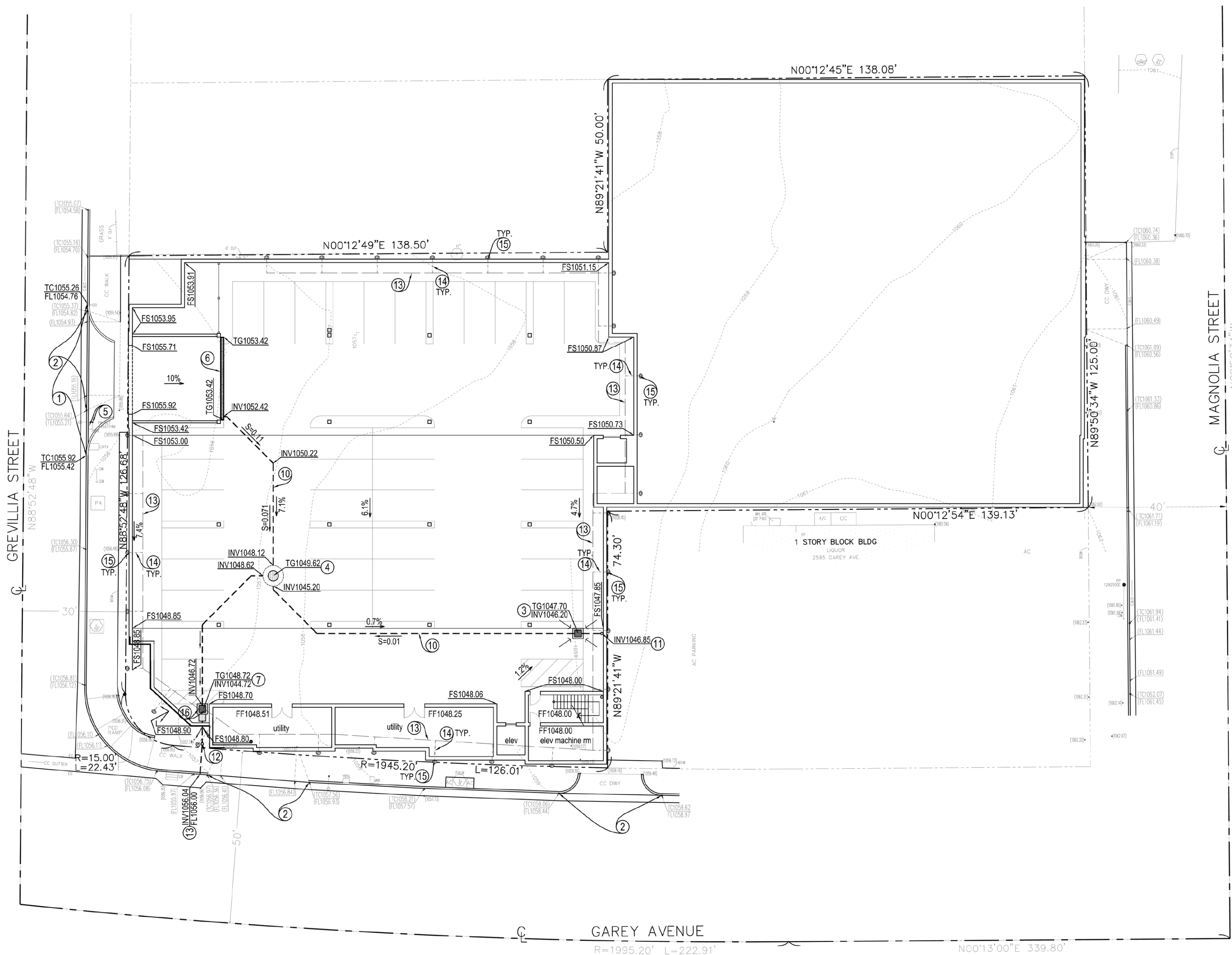
PLANS PREPARED BY: **JCE**
JOY CIVIL ENGINEERING
9681 GARDEN GROVE BLVD. #205
GARDEN GROVE, CA 92844
TEL 714-323-5795



ACCEPTED			
BY: _____		DATE: _____	
ACCEPTED			
BY: _____		DATE: _____	
CONCURRED			
BY: _____		DATE: _____	
CITY OF POMONA PUBLIC WORKS DEPARTMENT/ENGINEERING DIVISION			
PRECISE GRADING PLAN 1ST FLOOR PLAN			
2501 N. GAREY AVE. POMONA, CA. 91767			
SCALE	DESIGNED: _____	PVT ENGR	SHT. <u>3</u>
	DRAWN: _____	PVT ENGR	OF
	CHECKED: _____		
	REVIEWED: _____		
AS SHOWN	REVISIONS	DATE	INITIAL

BENCH MARK:
COUNTY OF LOS ANGELES BENCH MARK
NO. JG2172
ELEV=1041.066
QUAD YEAR: 2005

DEVELOPER
INFORMATION



CONSTRUCTION NOTES

- 1- CONSTRUCT COMMERCIAL DRIVEWAY PER CITY STD. NO. A-27-10 SHEET 2 W= 20', Y= 4'. CONCRETE T=6", CMB T=4" 2 E.A.
- 2- REMOVE EXISTING DRIVEWAY APPROACH. REPLACE WITH P.C.C. CURB, GUTTER AND SIDEWALK TO MATCH EXISTING 4 E.A.
- 3- INSTALL CATCH BASIN 2 E.A.
- 4- CONSTRUCT DRYWELL WITH SOLID TRAFFIC GRATE PER DETAIL SHT. C-4 2 E.A.
- 5- RELOCATE EXISTING POWER POLE, STREET LIGHT POLE AND LIGHT POLE CONTROL BOX 1 E.A.
- 6- CONSTRUCT 6"-WIDE GRATED TRENCH DRAIN AND INSTALL FILTER WITH "NO DUMPING, DRAIN TO OCEAN" STENCIL PER DETAIL SHT. C-4 1 E.A.
- 7- INSTALL PUMP SUMP PER DETAIL SHT. C-5 2 E.A.
- 8- INSTALL AREA DRAIN PER DETAIL SHT. C-5 8 E.A.
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- 13- CONSTRUCT PARKWAY DRAIN S=12" PER SPPWC 151-2, INLET TYPE 2 3 E.A.
- 14- INSTALL ROOF DOWNSPOUT 12 E.A.
- 15- INSTALL 4" CAST IRON PIPE FROM BOTTOM OF 2ND FLOOR TO 1ST FLOOR DRYWELL 1 E.A.
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- 20- CONSTRUCT NEW SIDEWALK 540 S.F.
- 21- CONSTRUCT NEW CURB & GUTTER 50 L.F.

QUANTITIES

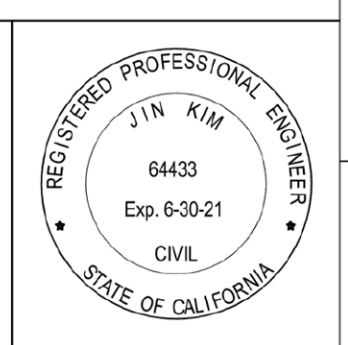
LEGEND

- Center line
- Property line
- Curb unless otherwise noted
- Wall
- Fence
- Column
- Guy wire
- Power pole
- Guard post
- Street light
- Surface drain
- Tree with trunk diameter
- (N)SPOT ELEVATION
- (E)SPOT ELEVATION

ABBREVIATIONS

- | | | | |
|-------|--------------------|---------|-----------------------|
| A/C | AIR CONDITION | PA | PLANTING AREA |
| AC | ASPHALT CONCRETE | PED | PEDESTRIAN |
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| BSW | BACK OF SIDEWALK | PWR | POWER |
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| CBD | CATCH BASIN OUTLET | TC | TOP OF CURB |
| CC | CONCRETE | TW | TOP OF WALL |
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| COL | COLUMN | WH | WATER HEATER |
| DO | DRAIN OUTLET | WM | WATER METER |
| DWY | DRIVEWAY | YBSL | YARD BOX STREET LIGHT |
| EG | EDGE OF GUTTER | | |
| ELEV | ELEVATION | | |
| EDP | EDGE OF PAVING | | |
| ER | EARTH | | |
| FF | FINISH FLOOR | | |
| FL | FLOW LINE | | |
| GM | GAS METER | | |
| GP | GUARD POST | | |
| GW | GUY WIRE | | |
| INF | IRON FENCE | | |
| LN. | LANDING | | |
| M. R. | MAP RECORD | | |
| DHD | OVERHEAD | | |
| DHG | OVERHANG | | |

PLANS PREPARED BY: **JCE**
JOY CIVIL ENGINEERING
9681 GARDEN GROVE BLVD. #205
GARDEN GROVE, CA 92844
TEL 714-323-5795

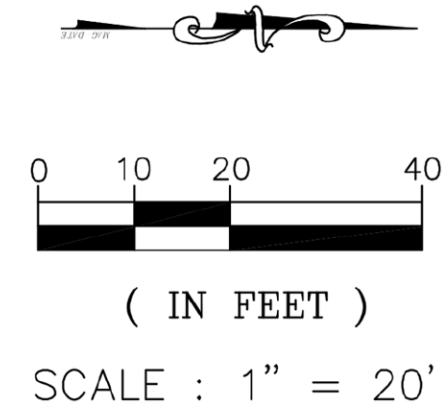
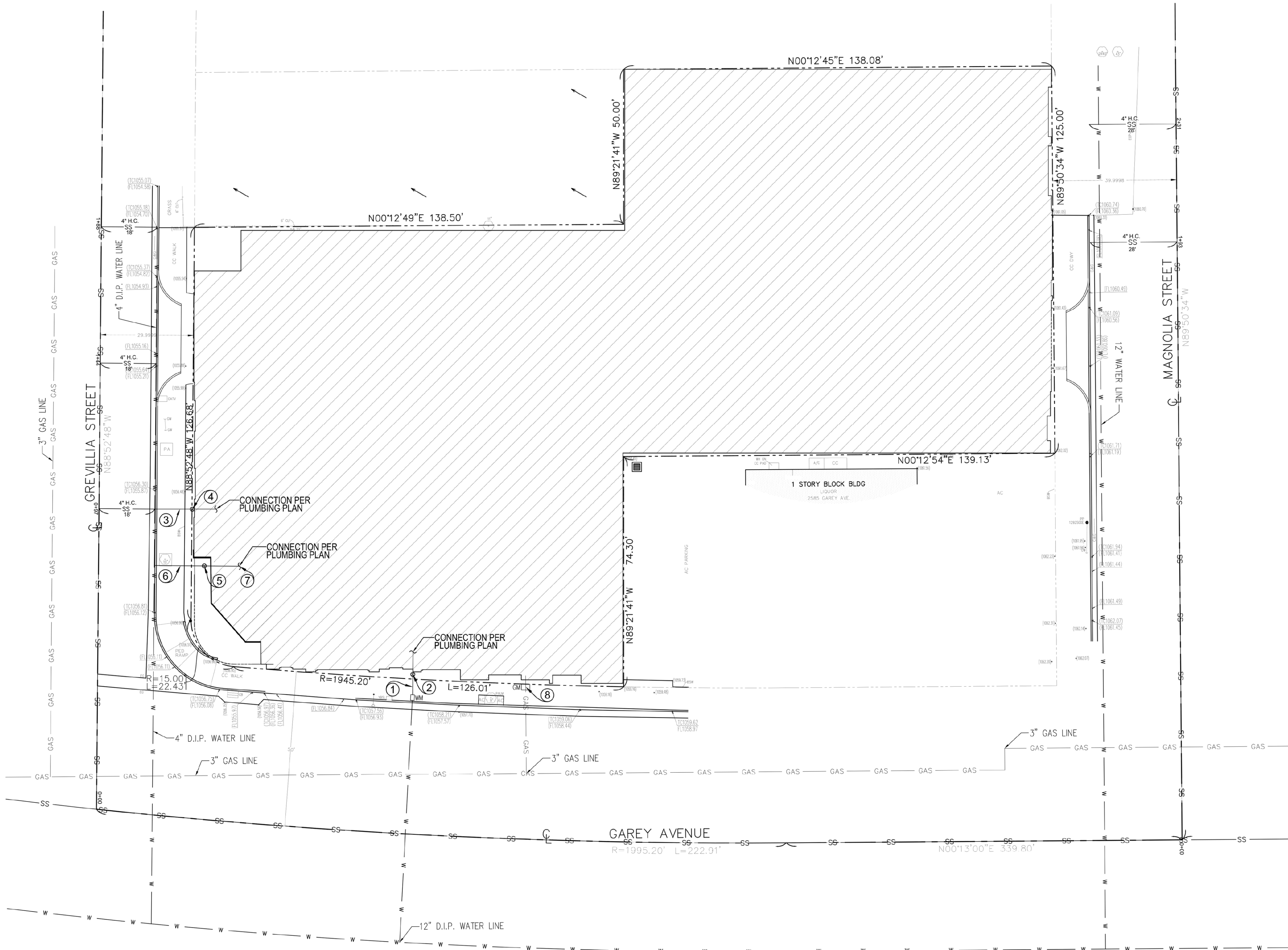


BENCH MARK:
COUNTY OF LOS ANGELES BENCH MARK
NO. JG2172
ELEV=1041.066
QUAD YEAR: 2005

DEVELOPER
INFORMATION

REVISIONS	DATE	INITIAL

ACCEPTED			
BY: _____		DATE: _____	
ACCEPTED			
BY: _____		DATE: _____	
CONCURRED			
BY: _____		DATE: _____	
RENE GUERRERO, P.E., RCE NO. 66263, CITY ENGINEER			
CITY OF POMONA PUBLIC WORKS DEPARTMENT/ENGINEERING DIVISION			
PRECISE GRADING PLAN UNDER GROUND LEVEL PLAN			
2501 N. GAREY AVE. POMONA, CA. 91767			
SCALE	DESIGNED: _____	PVT ENGR	SHT. <u>4</u>
	DRAWN: _____	PVT ENGR	OF
	CHECKED: _____		
	REVIEWED: _____		
AS SHOWN			<u>8</u> SHTS



LEGEND

GS	(E)GAS METER
WM	(E)WATER METER
	(N)BUILDING
— GAS —	GAS LINE
— W —	WATER LINE
— SS —	SEWER LINE
- - - - -	PROPERTY LINE
—+—+—+—	CENTER LINE

CONSTRUCTION NOTE

①	INSTALL 2" COPPER DOMESTIC AND IRRIGATION WATER PIPE	9 L.F.
②	INSTALL NEW GATE VALVE	1 EA.
③	CONSTRUCT 6" PVC SEWER LATERAL	13 L.F.
④	CONSTRUCT SEWER CLEANOUT	1 EA.
⑤	INSTALL 2" COPPER REDUCED PRESSURE BACK FLOW PREVENTION ASSEMBLY	1 EA.
⑥	INSTALL NEW 6" COPPER FIRE WATER LINE	20 L.F.
⑦	FIRE SPRINKLER SYSTEM RISER	-
⑧	RELOCATE EXISTING GAS METER	1 EA.

QUANTITIES

PLANS PREPARED BY: **JCE**
JOY CIVIL ENGINEERING
2122 S. GRAND AVE. SUITE B
SANTA ANA, CA 92705
TEL)714-323-5795

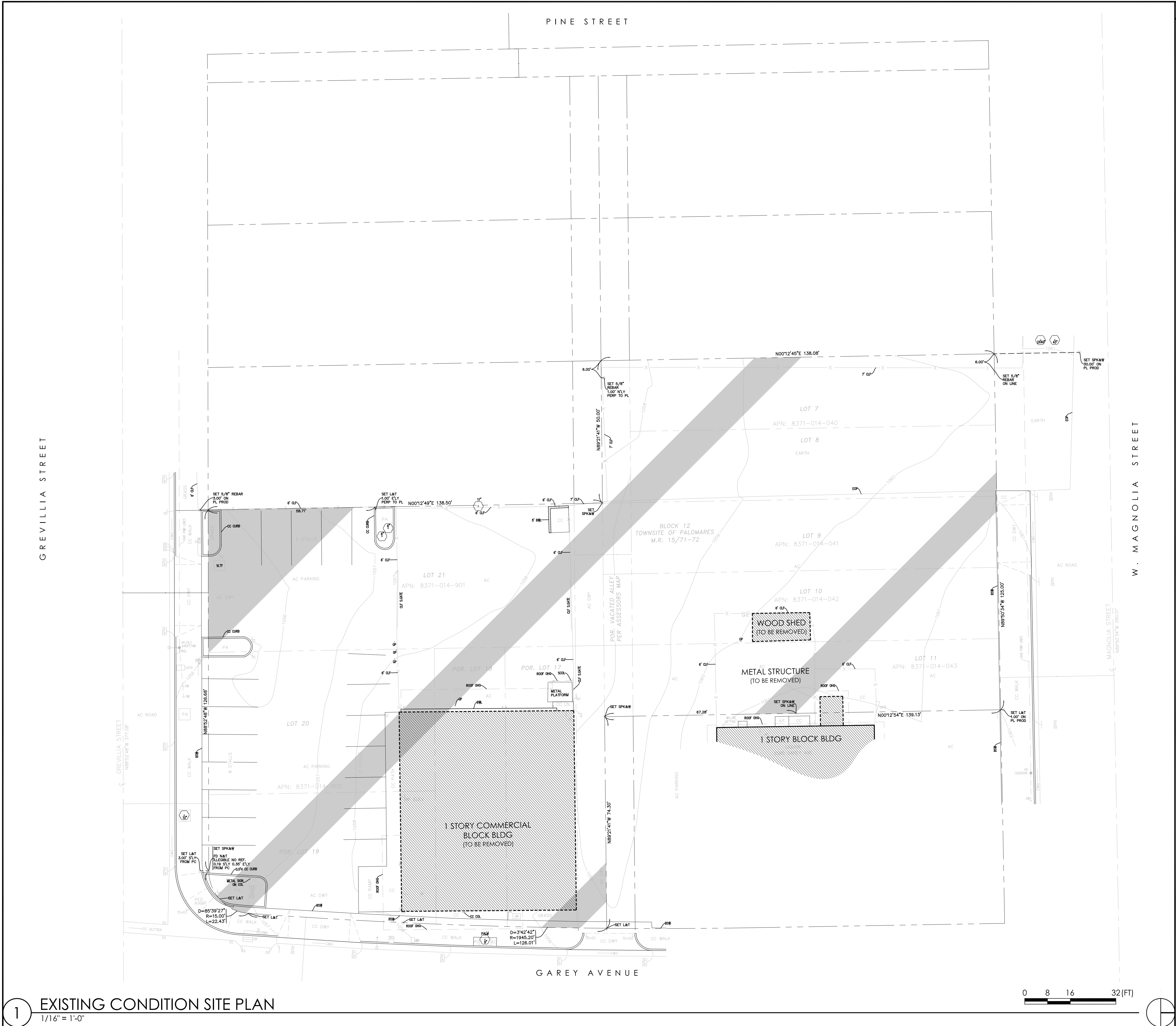


BENCH MARK:
COUNTY OF LOS ANGELES BENCH MARK
NO. J62172 ELEV=1041.066
QUAD YEAR: 2005
DESCRIPTION: L&PK NAIL IN N CB 3.3FT
E/O BCR @ NE COR ARROW HWY &
MARIPOSA ST 44.3FT N/O & 52.5FT
E/O C/L INT.

DEVELOPER
INFORMATION

Δ	REVISIONS	DATE	INITIAL

ACCEPTED		
BY:	PLANNING DIVISION	DATE: _____
ACCEPTED		
BY:	BUILDING OFFICIAL	DATE: _____
CONCURRED		
BY:	RENE GUERRERO, P.E., RCE NO. 66263, CITY ENGINEER	DATE: _____
CITY OF POMONA PUBLIC WORKS DEPARTMENT/ENGINEERING DIVISION		
PRECISE GRADING PLAN UTILITY PLAN		
1095 W. 8TH ST. POMONA, CA. 91766		
SCALE	DESIGNED: _____ DRAWN: _____ CHECKED: _____ REVIEWED: _____	PVT ENGR PVT ENGR _____ _____ _____ _____ SHT. <u>8</u> OF <u>8</u> SHTS



SITE PLAN KEYNOTES

1. PROPERTY LINE.
2. 10'-0" SETBACK LINE.
3. 3'-0" SETBACK LINE.
4. EXISTING CURB.

CEDGARCHITECTS

ARCHITECTURE //
BUILD //
LANDSCAPE //

// 401 e. columbia ave.
pomona, ca 91767

// 909.625.3916
// cedgarchitects.com
// info@cedgarchitects.com

STAMP



CONSULTANTS

LANDMARK GOLDLINE
2501 N. GAREY AVENUE
POMONA, CA 91767

LANDMARK WEST ENTERPRISES
3712 W JEFFERSON BLVD.# 200
LOS ANGELES, CA 90016

LANDMARK WEST ENTERPRISES
3712 W JEFFERSON BLVD.# 200
LOS ANGELES, CA 90016

LANDMARK WEST ENTERPRISES
3712 W JEFFERSON BLVD.# 200
LOS ANGELES, CA 90016

PROJECT
LANDMARK GOLDLINE
2501 N. GAREY AVENUE
POMONA, CA 91767

APPLICANT
LANDMARK WEST ENTERPRISES
3712 W JEFFERSON BLVD.# 200
LOS ANGELES, CA 90016

EXISTING CONDITION SITE PLAN

REVISIONS

- | | |
|---|-------------------------|
| 1 | 1ST PLANNING SUBMISSION |
| 2 | 5/27/2020 PLANNING |
| 3 | 7/10/2020 PLANNING |

DATE: 12 / 17 / 2019

SCALE: AS NOTED

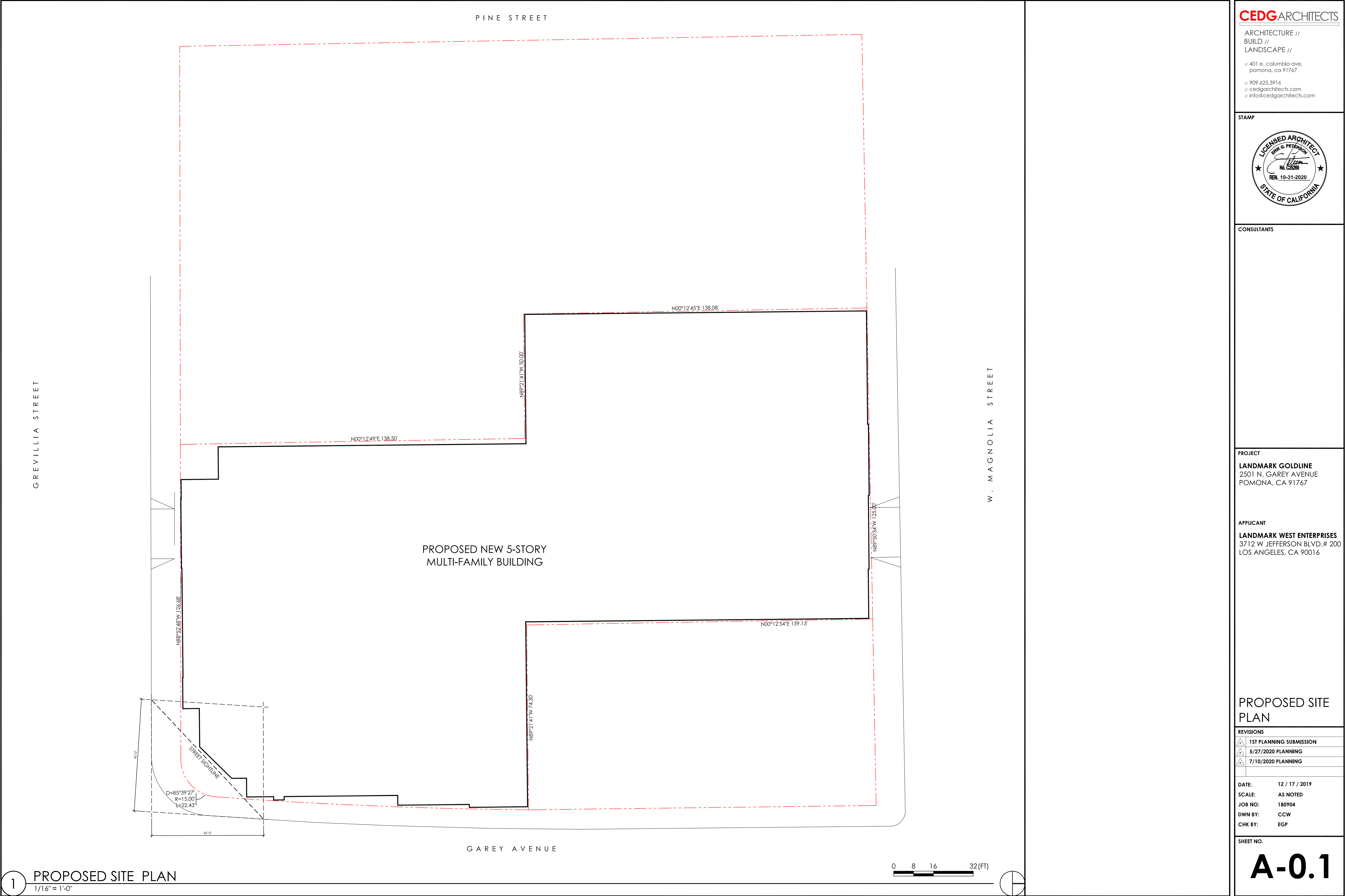
JOB NO: 180904

DWN BY: CCW

CHK BY: EGP

SHEET NO.

A-0.0



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LANDSCAPE //

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// 909.425.3916
// cedgarchitects.com
// info@cedgarchitects.com

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CONSULTANTS

PROJECT

LANDMARK GOLDLINE
2501 N. GAREY AVENUE
POMONA, CA 91767

APPLICANT

LANDMARK WEST ENTERPRISES
3712 W JEFFERSON BLVD.# 200
LOS ANGELES, CA 90016

PROPOSED SITE PLAN

REVISIONS

△	1ST PLANNING SUBMISSION
△	5/27/2020 PLANNING
△	7/10/2020 PLANNING

DATE: 12 / 17 / 2019

SCALE: AS NOTED

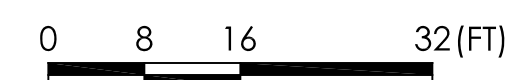
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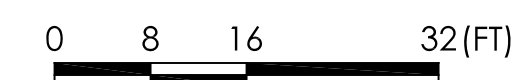
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SHEET NO.

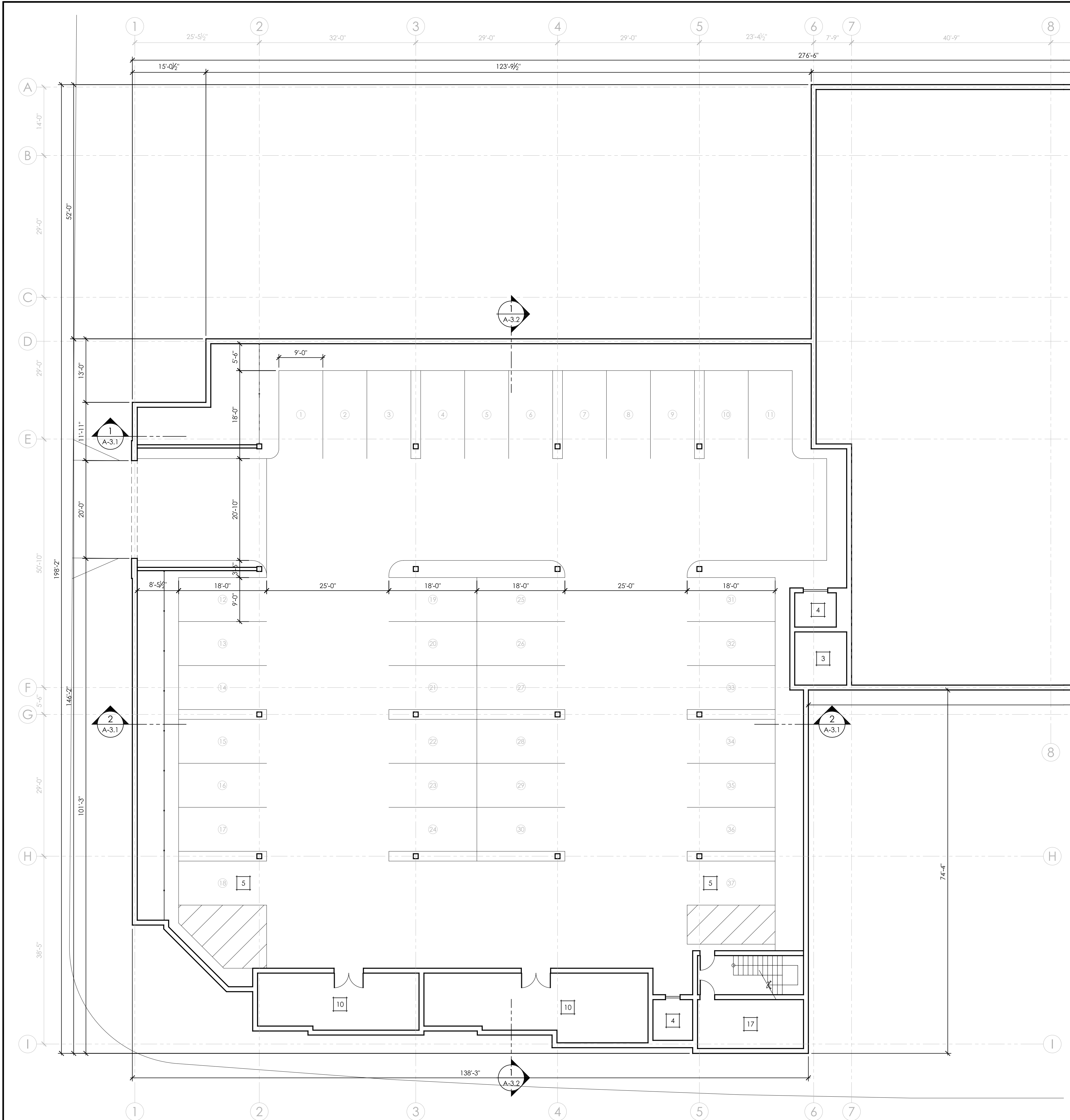
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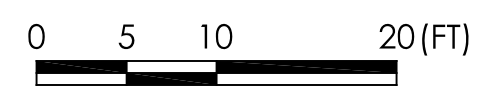
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— G —



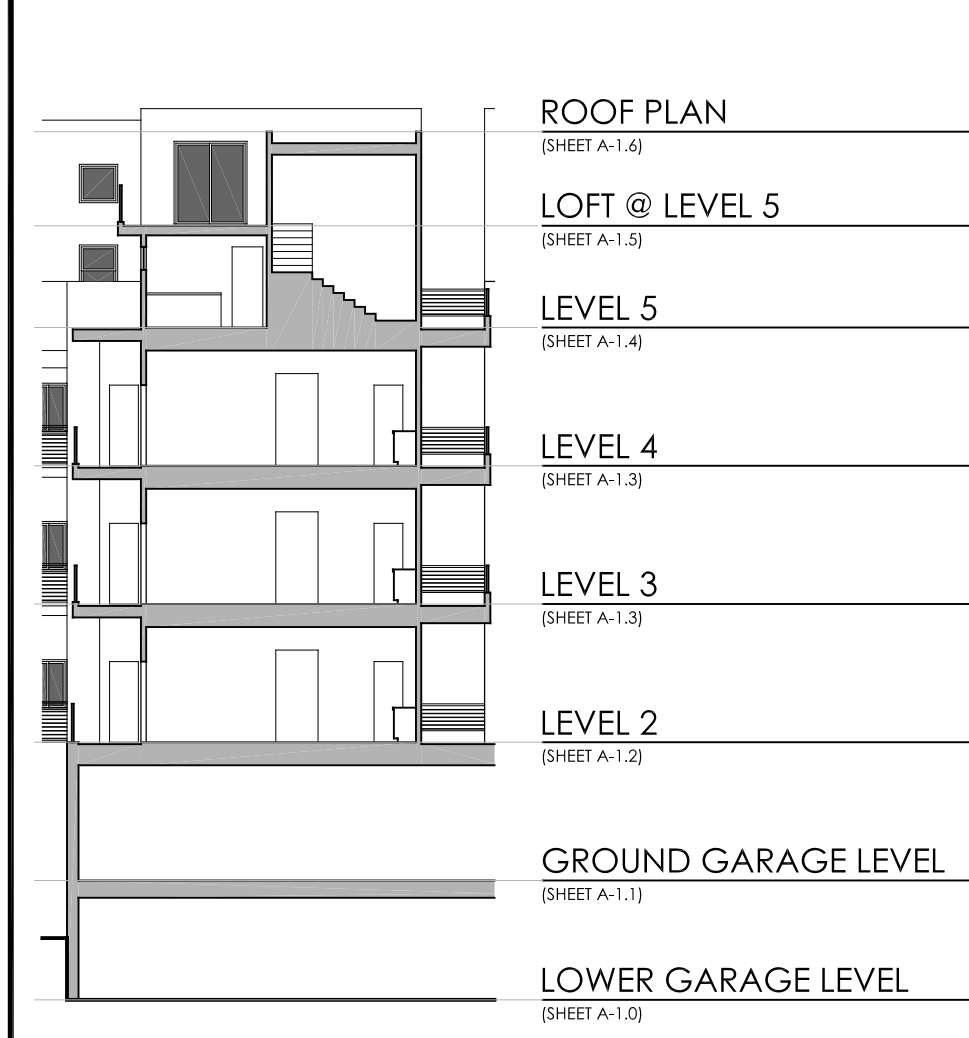
1 LOWER GARAGE FLOOR PLAN
3/32" = 1'-0"



FLOOR PLAN KEYNOTES

1. RETAIL/ OFFICE.
2. ELECTRICAL ROOM.
3. SECONDARY ELECTRICAL ROOM.
4. ELEVATOR.
5. ACCESSIBLE PARKING STALL.
6. TRANSFORMER PAD.
7. TRASH AREA.
8. MAIN ENTRANCE.
9. OFFICE.
10. STORAGE.
11. RECYCLE ROOM W/ GARBAGE CHUTE SYSTEM.
12. ROOF ELEMENT BELOW.
13. STAIR.
14. LANDSCAPE/ COMMON OPEN SPACE.
15. OPEN TO BELOW.
16. COMMUNITY ROOM.
17. ELEVATOR MACHINE ROOM.

FLOOR LEVEL KEY



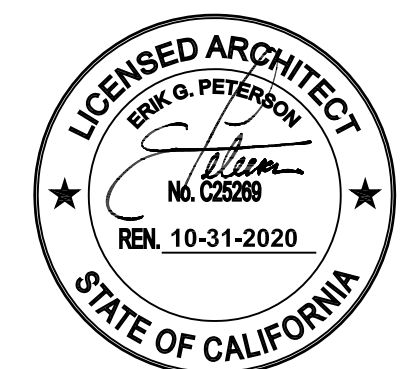
CEDGARCHITECTS

ARCHITECTURE //
BUILD //
LANDSCAPE //

// 401 e. columbia ave.
pomona, ca 91767

// 909.625.3916
// cedgarchitects.com
// info@cedgarchitects.com

STAMP



CONSULTANTS

PROJECT

LANDMARK GOLDLINE
2501 N. GAREY AVENUE
POMONA, CA 91767

APPLICANT

LANDMARK WEST ENTERPRISES
3712 W JEFFERSON BLVD.# 200
LOS ANGELES, CA 90016

LOWER
GARAGE FLOOR
PLAN

REVISIONS

- | | |
|---|-------------------------|
| 1 | 1ST PLANNING SUBMISSION |
| 2 | 5/27/2020 PLANNING |
| 3 | 7/10/2020 PLANNING |

DATE: 12 / 17 / 2019

SCALE: AS NOTED

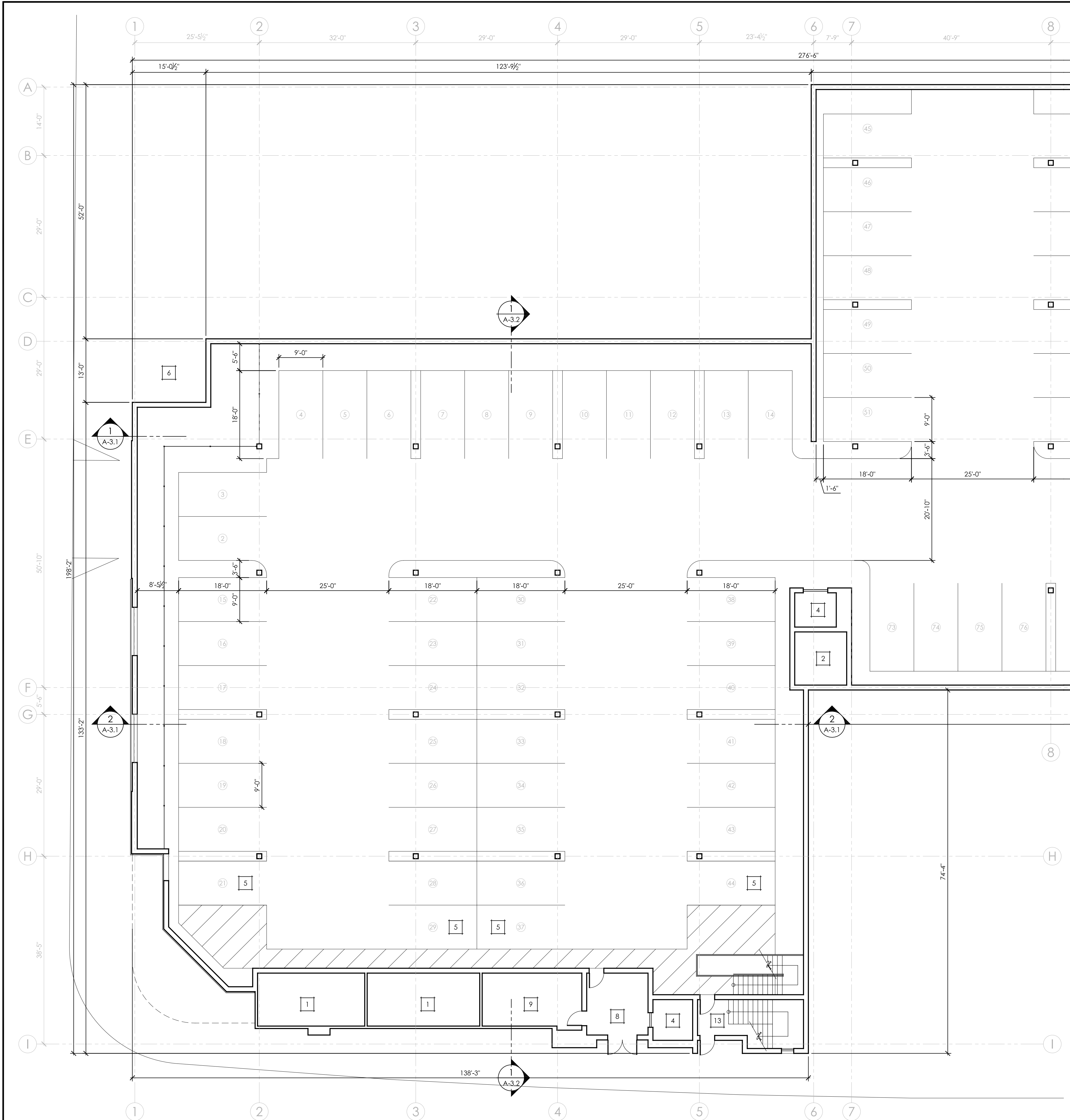
JOB NO: 180904

DWN BY: CCW

CHK BY: EGP

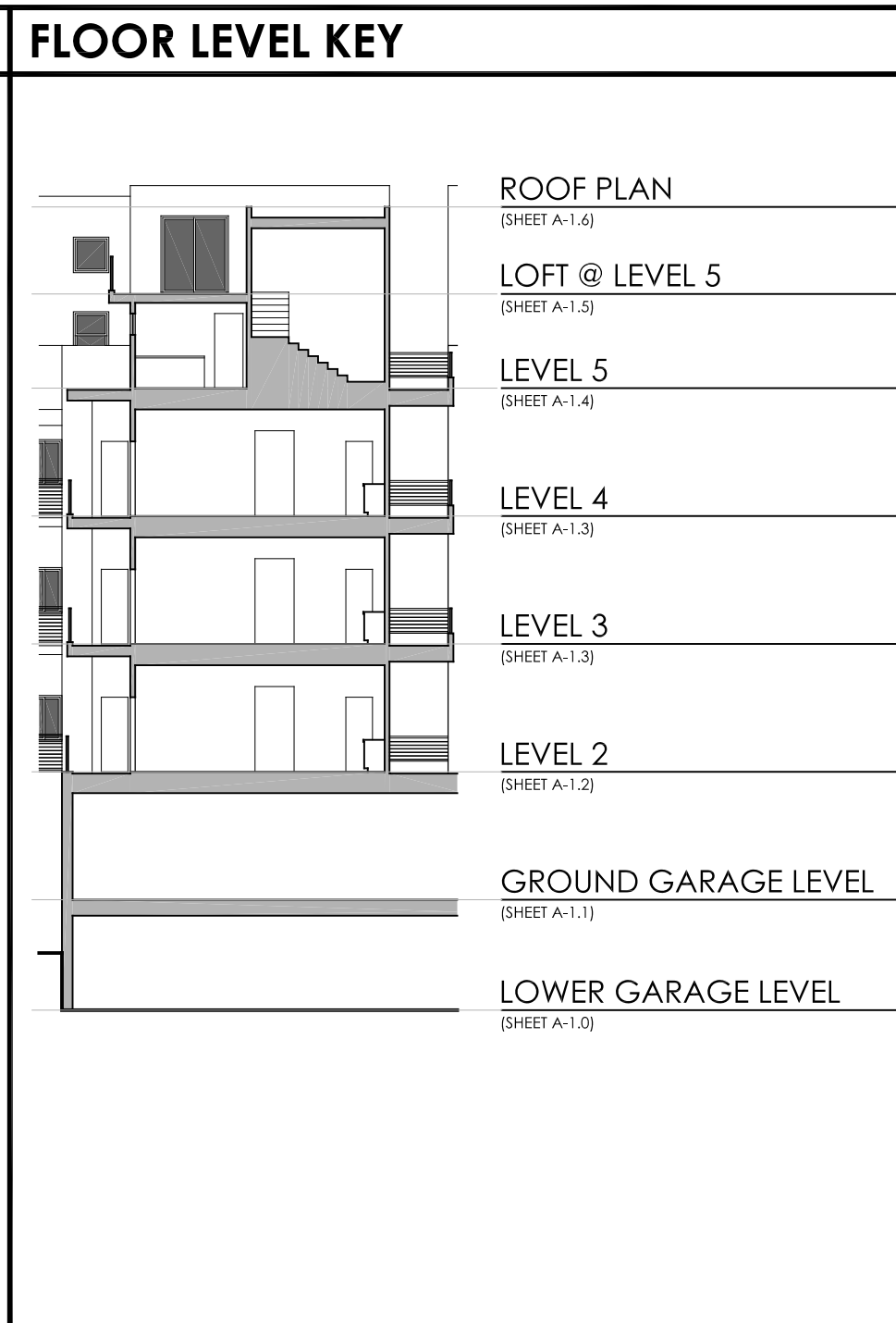
SHEET NO.

A-1.0



1 STREET LEVEL GARAGE FLOOR PLAN
3/32" = 1'-0"


- | FLOOR PLAN KEYNOTES |
|---|
| 1. RETAIL/ OFFICE. |
| 2. ELECTRICAL ROOM. |
| 3. SECONDARY ELECTRICAL ROOM. |
| 4. ELEVATOR. |
| 5. ACCESSIBLE PARKING STALL. |
| 6. TRANSFORMER PAD. |
| 7. TRASH AREA. |
| 8. MAIN ENTRANCE. |
| 9. OFFICE. |
| 10. STORAGE. |
| 11. RECYCLE ROOM W/ GARBAGE CHUTE SYSTEM. |
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| 14. LANDSCAPE/ COMMON OPEN SPACE. |
| 15. OPEN TO BELOW. |
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CEDGARCHITECTS
ARCHITECTURE //
BUILD //
LANDSCAPE //

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pomona, ca 91767

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STAMP


CONSULTANTS

PROJECT
LANDMARK GOLDLINE
2501 N. GAREY AVENUE
POMONA, CA 91767

APPLICANT
LANDMARK WEST ENTERPRISES
3712 W JEFFERSON BLVD.# 200
LOS ANGELES, CA 90016

STREET LEVEL GARAGE FLOOR PLAN
REVISIONS

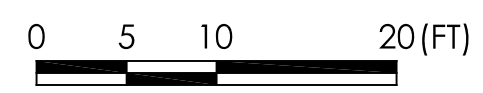
1	1ST PLANNING SUBMISSION
2	5/27/2020 PLANNING
3	7/10/2020 PLANNING

DATE:	12 / 17 / 2019
SCALE:	AS NOTED
JOB NO:	180904
DWN BY:	CCW
CHK BY:	EGP

SHEET NO.
A-1.1



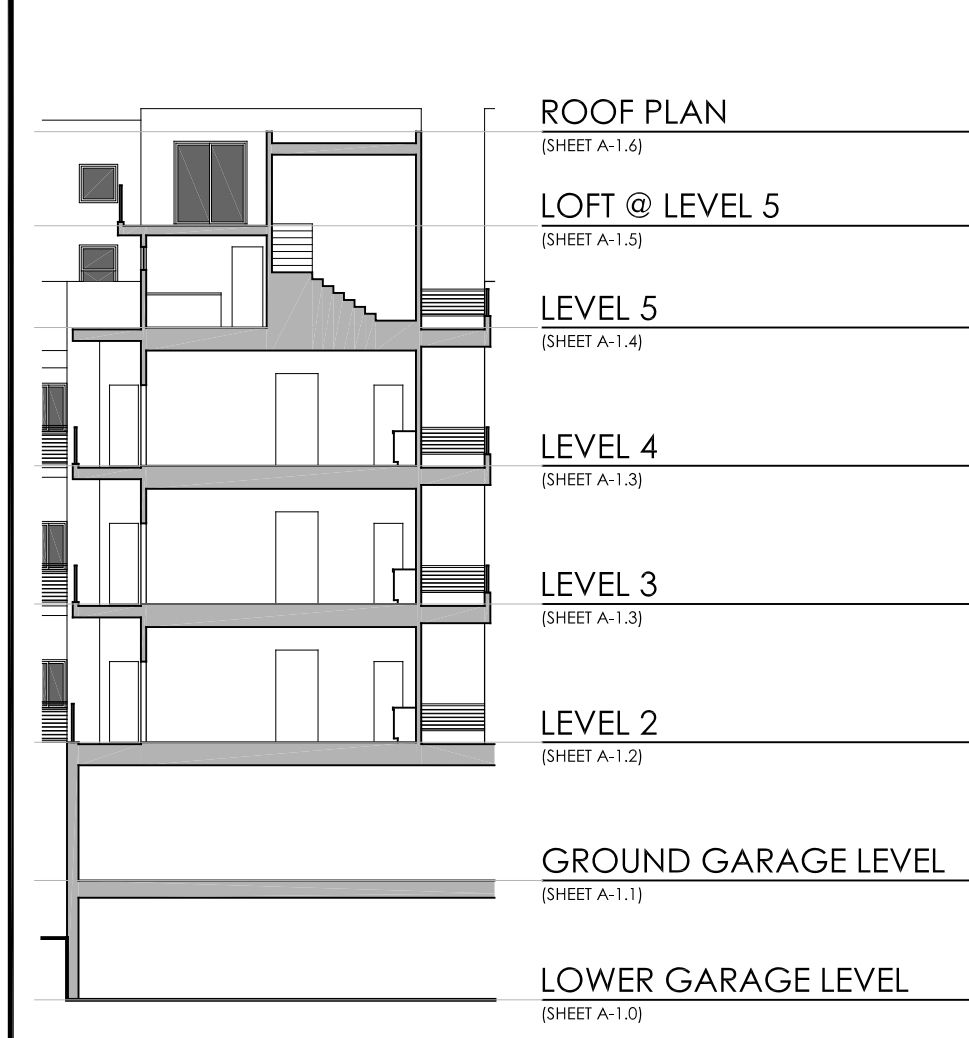
1 LEVEL 2 FLOOR PLAN
3/32" = 1'-0"



FLOOR PLAN KEYNOTES

1. RETAIL/ OFFICE.
2. ELECTRICAL ROOM.
3. SECONDARY ELECTRICAL ROOM.
4. ELEVATOR.
5. ACCESSIBLE PARKING STALL.
6. TRANSFORMER PAD.
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11. RECYCLE ROOM W/ GARBAGE CHUTE SYSTEM.
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13. STAIR.
14. LANDSCAPE/ COMMON OPEN SPACE.
15. OPEN TO BELOW.
16. COMMUNITY ROOM.
17. ELEVATOR MACHINE ROOM.

FLOOR LEVEL KEY



CONSULTANTS

PROJECT
LANDMARK GOLDLINE
2501 N. GAREY AVENUE
POMONA, CA 91767

APPLICANT
LANDMARK WEST ENTERPRISES
3712 W JEFFERSON BLVD. # 200
LOS ANGELES, CA 90016

LEVEL 2 FLOOR PLAN

REVISIONS	
1	1ST PLANNING SUBMISSION
2	5/27/2020 PLANNING
3	7/10/2020 PLANNING

DATE: 12 / 17 / 2019
SCALE: AS NOTED
JOB NO: 180904
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SHEET NO.
A-1.2

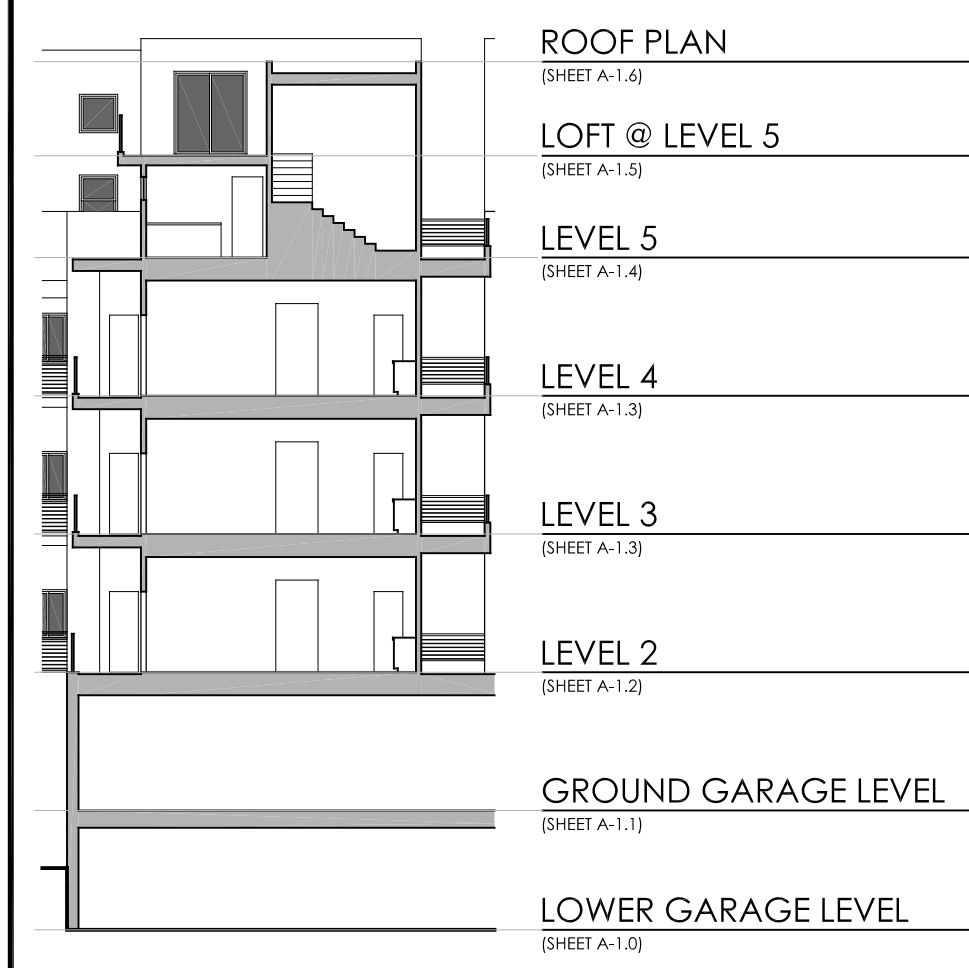


1 LEVEL 3 AND LEVEL 4 FLOOR PLAN
3/32" = 1'-0"

FLOOR PLAN KEYNOTES

1. RETAIL/ OFFICE.
2. ELECTRICAL ROOM.
3. SECONDARY ELECTRICAL ROOM.
4. ELEVATOR.
5. ACCESSIBLE PARKING STALL.
6. TRANSFORMER PAD.
7. TRASH AREA.
8. MAIN ENTRANCE.
9. OFFICE.
10. STORAGE.
11. RECYCLE ROOM W/ GARBAGE CHUTE SYSTEM.
12. ROOF ELEMENT BELOW.
13. STAIR.
14. LANDSCAPE/ COMMON OPEN SPACE.
15. OPEN TO BELOW.
16. COMMUNITY ROOM.
17. ELEVATOR MACHINE ROOM.

FLOOR LEVEL KEY



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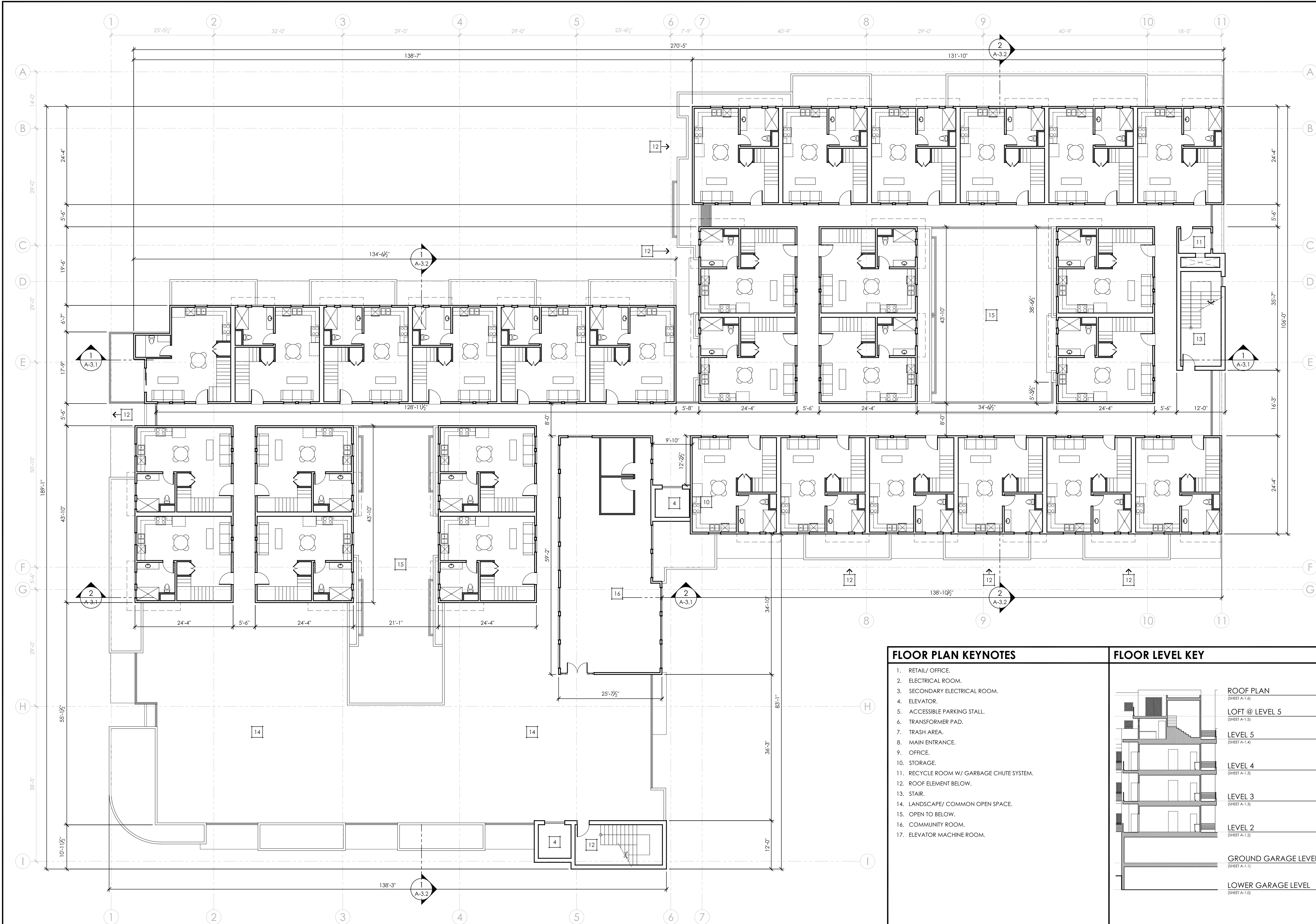
APPLICANT
LANDMARK WEST ENTERPRISES
3712 W JEFFERSON BLVD.,# 200
LOS ANGELES, CA 90016

LEVEL 3 AND
LEVEL 4 FLOOR
PLAN

REVISIONS	
1	1ST PLANNING SUBMISSION
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SHEET NO.
A-1.3

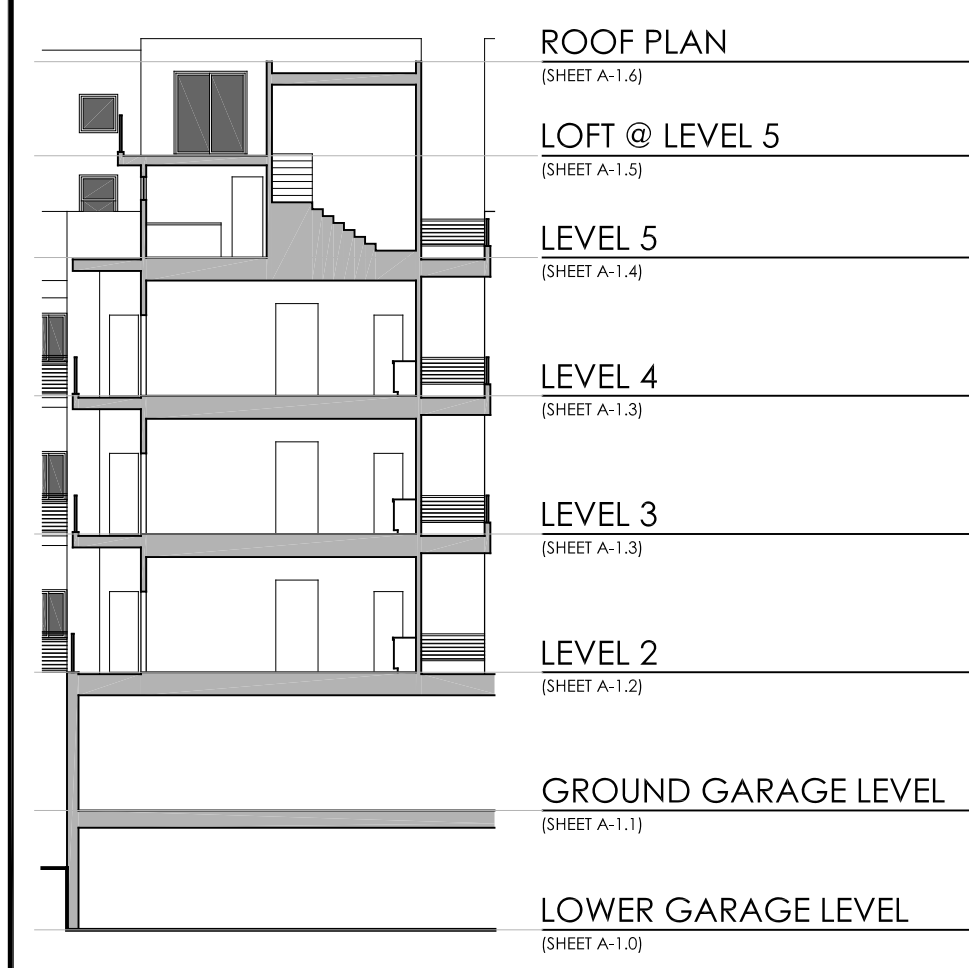


1 LEVEL 5 FLOOR PLAN
3/32" = 1'-0"

FLOOR PLAN KEYNOTES

- 1. RETAIL/ OFFICE.
- 2. ELECTRICAL ROOM.
- 3. SECONDARY ELECTRICAL ROOM.
- 4. ELEVATOR.
- 5. ACCESSIBLE PARKING STALL.
- 6. TRANSFORMER PAD.
- 7. TRASH AREA.
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- 15. OPEN TO BELOW.
- 16. COMMUNITY ROOM.
- 17. ELEVATOR MACHINE ROOM.

FLOOR LEVEL KEY



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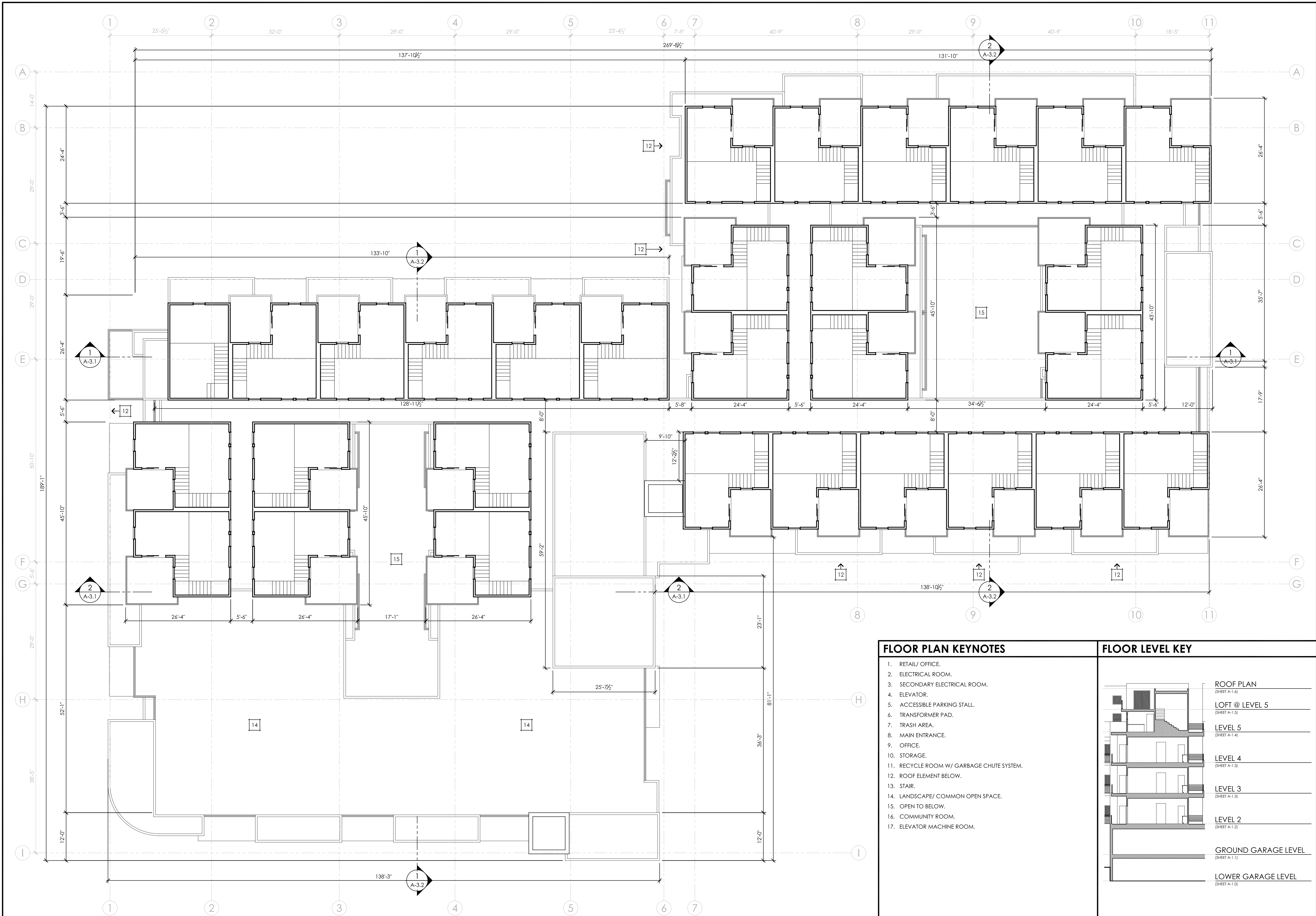
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LEVEL 5 FLOOR PLAN

REVISIONS	
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SHEET NO.
A-1.4

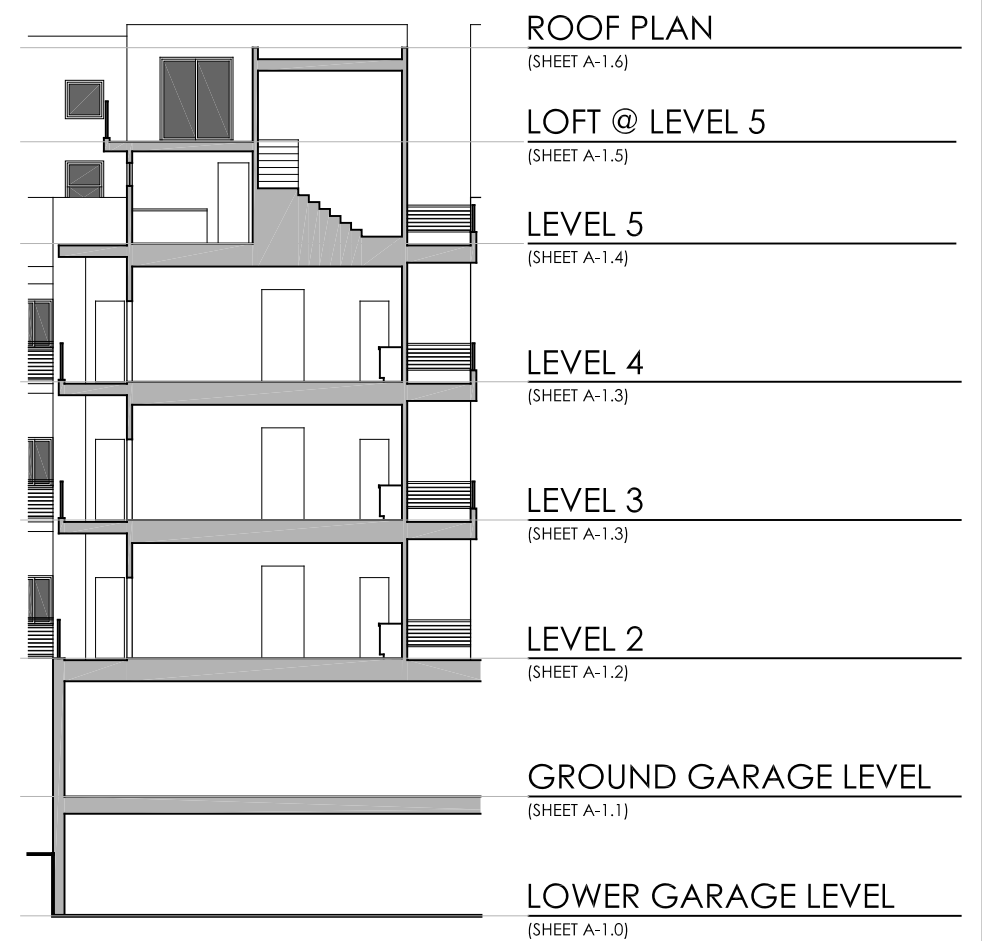


1 LOFT FLOOR PLAN @ LEVEL 5
3/32" = 1'-0"

FLOOR PLAN KEYNOTES

1. RETAIL/ OFFICE.
2. ELECTRICAL ROOM.
3. SECONDARY ELECTRICAL ROOM.
4. ELEVATOR.
5. ACCESSIBLE PARKING STALL.
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17. ELEVATOR MACHINE ROOM.

FLOOR LEVEL KEY



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LOFT FLOOR PLAN @ LEVEL 5

REVISIONS

- | | |
|---|-------------------------|
| △ | 1ST PLANNING SUBMISSION |
| △ | 5/27/2020 PLANNING |
| △ | 7/10/2020 PLANNING |

DATE: 12 / 17 / 2019

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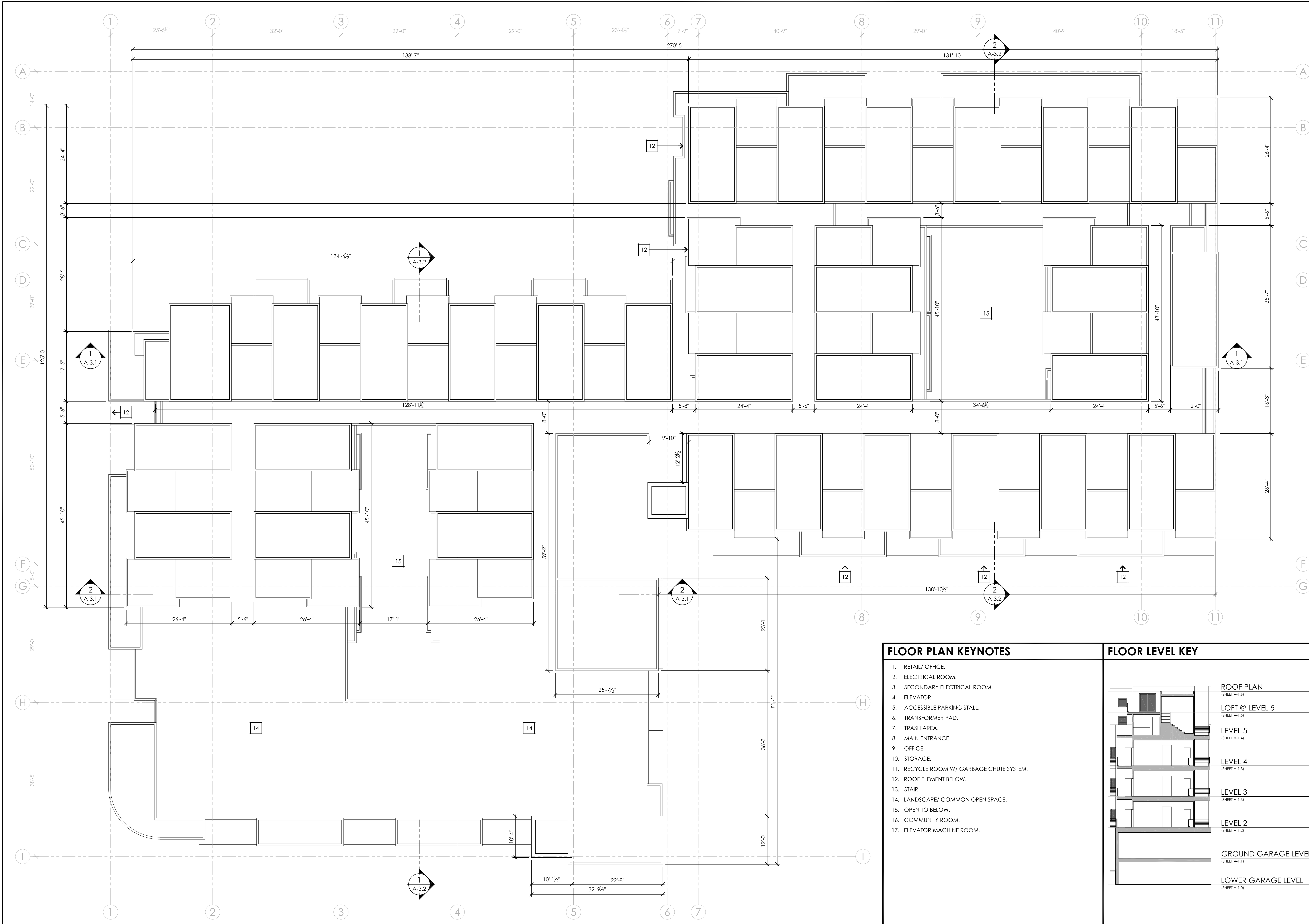
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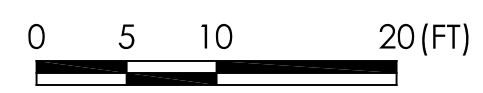
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A-1.5



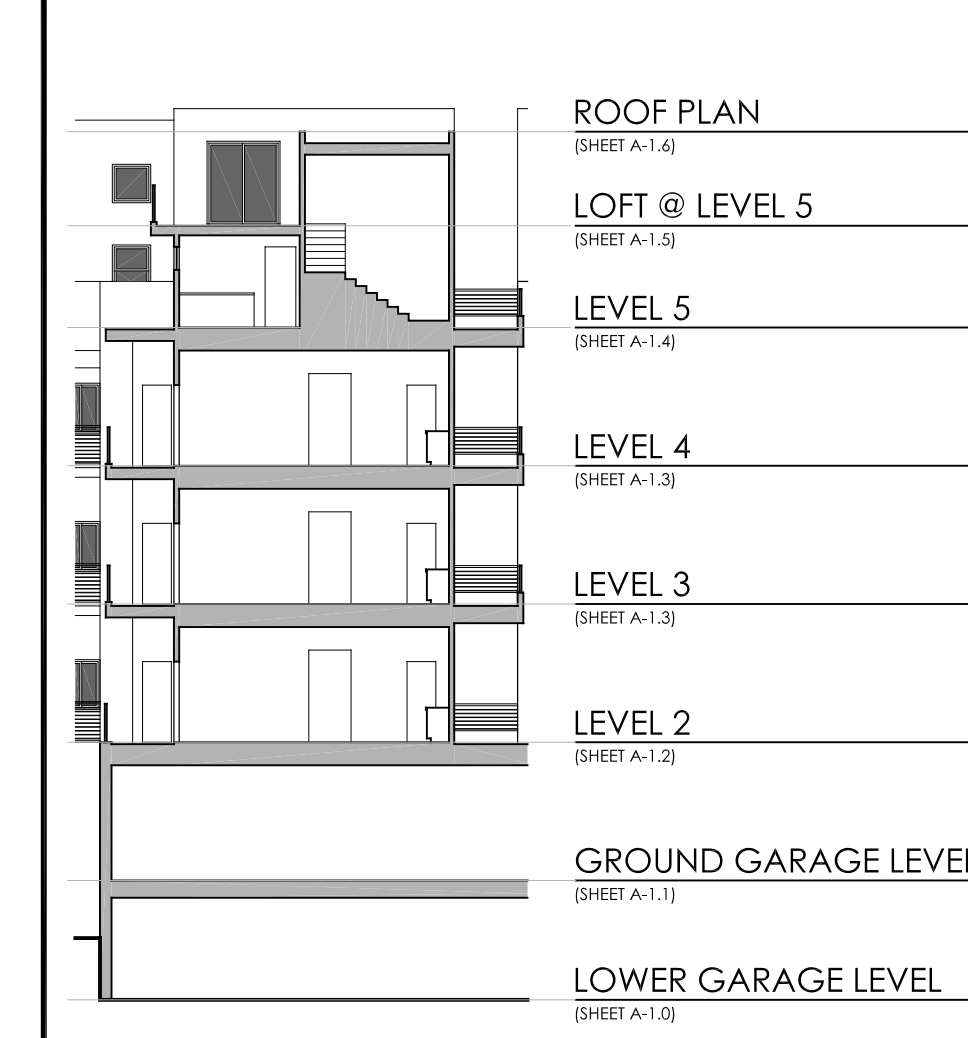
1 ROOF PLAN
3/32" = 1'-0"



FLOOR PLAN KEYNOTES

- 1. RETAIL/ OFFICE.
- 2. ELECTRICAL ROOM.
- 3. SECONDARY ELECTRICAL ROOM.
- 4. ELEVATOR.
- 5. ACCESSIBLE PARKING STALL.
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- 17. ELEVATOR MACHINE ROOM.

FLOOR LEVEL KEY



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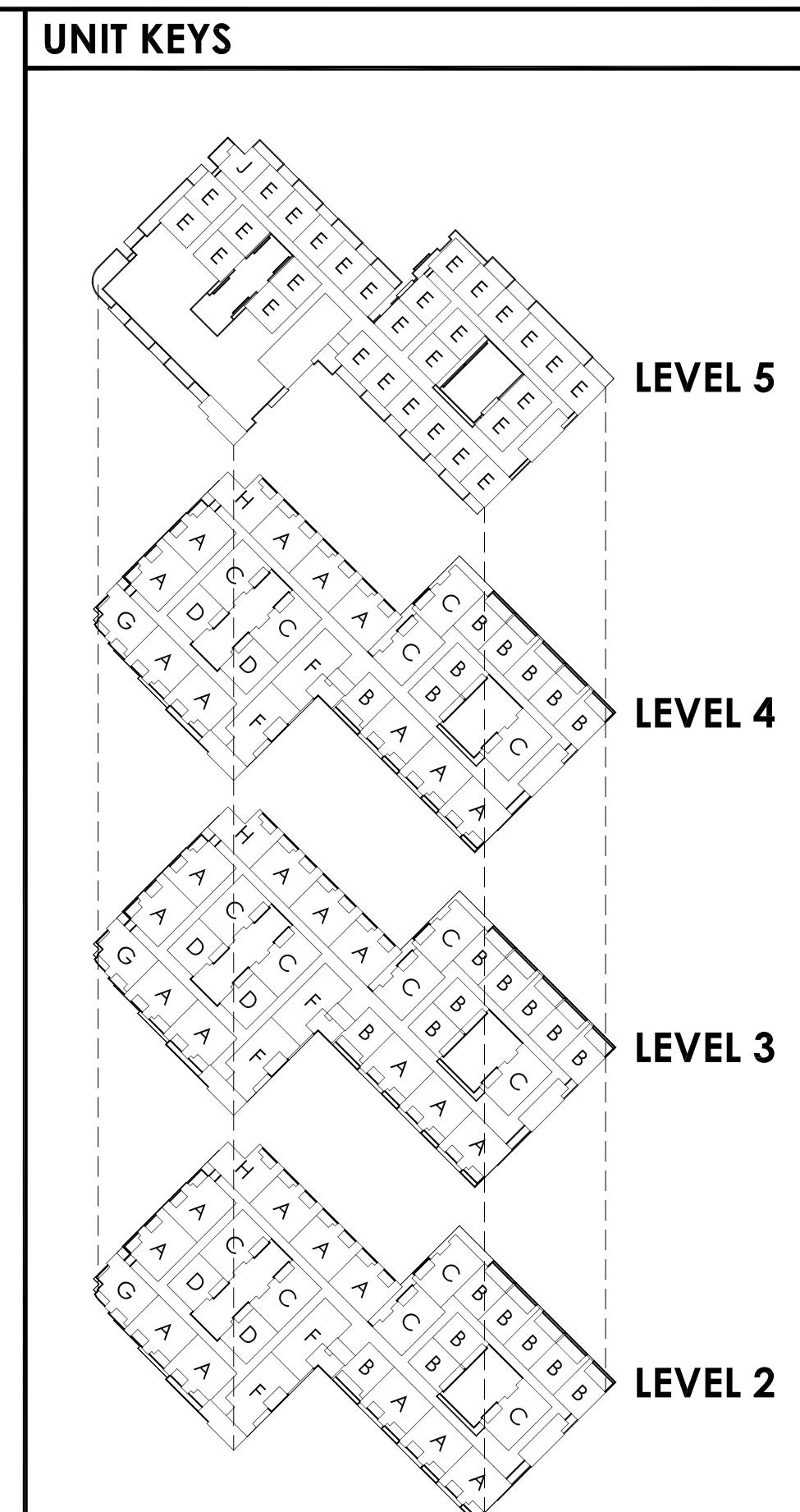
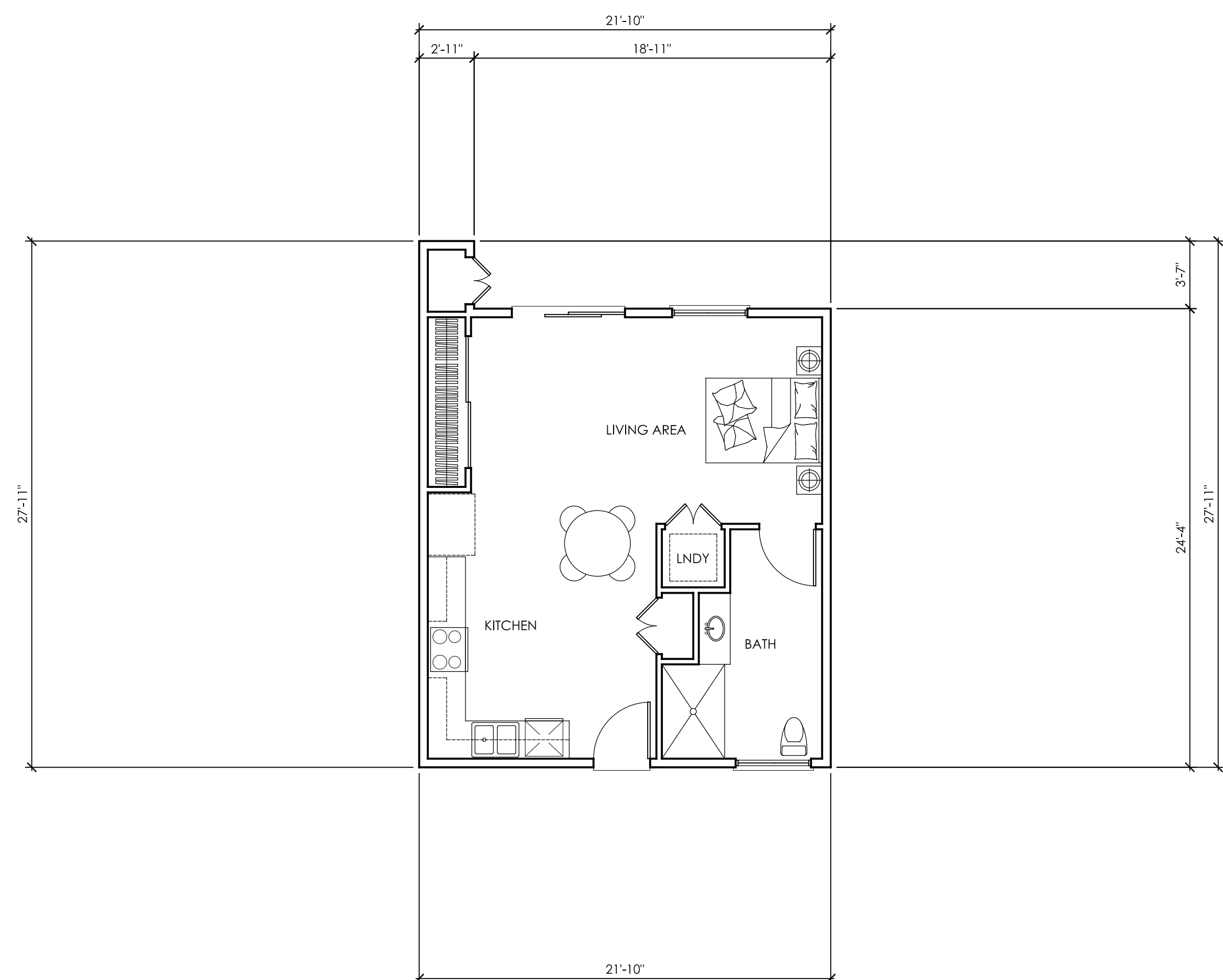
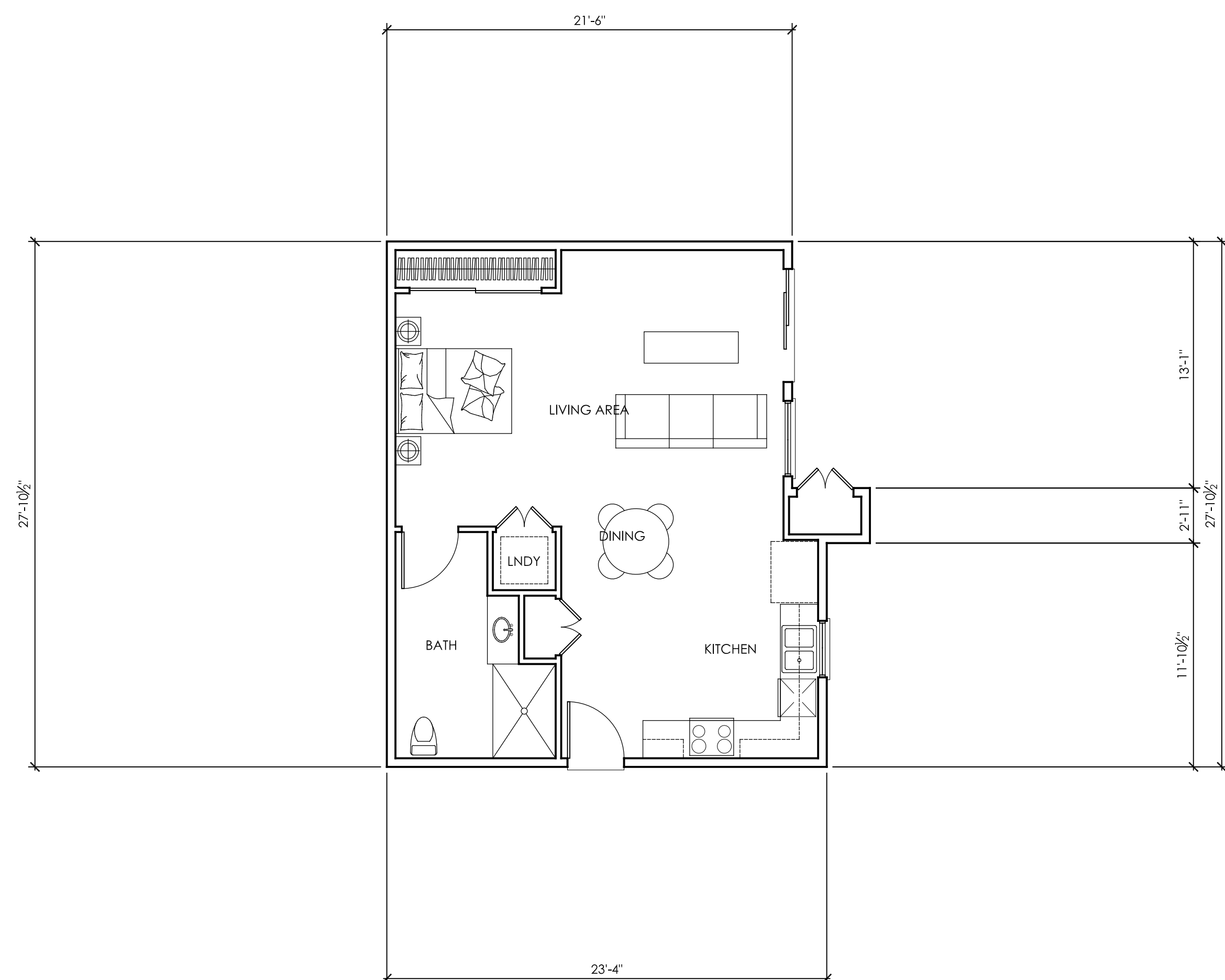
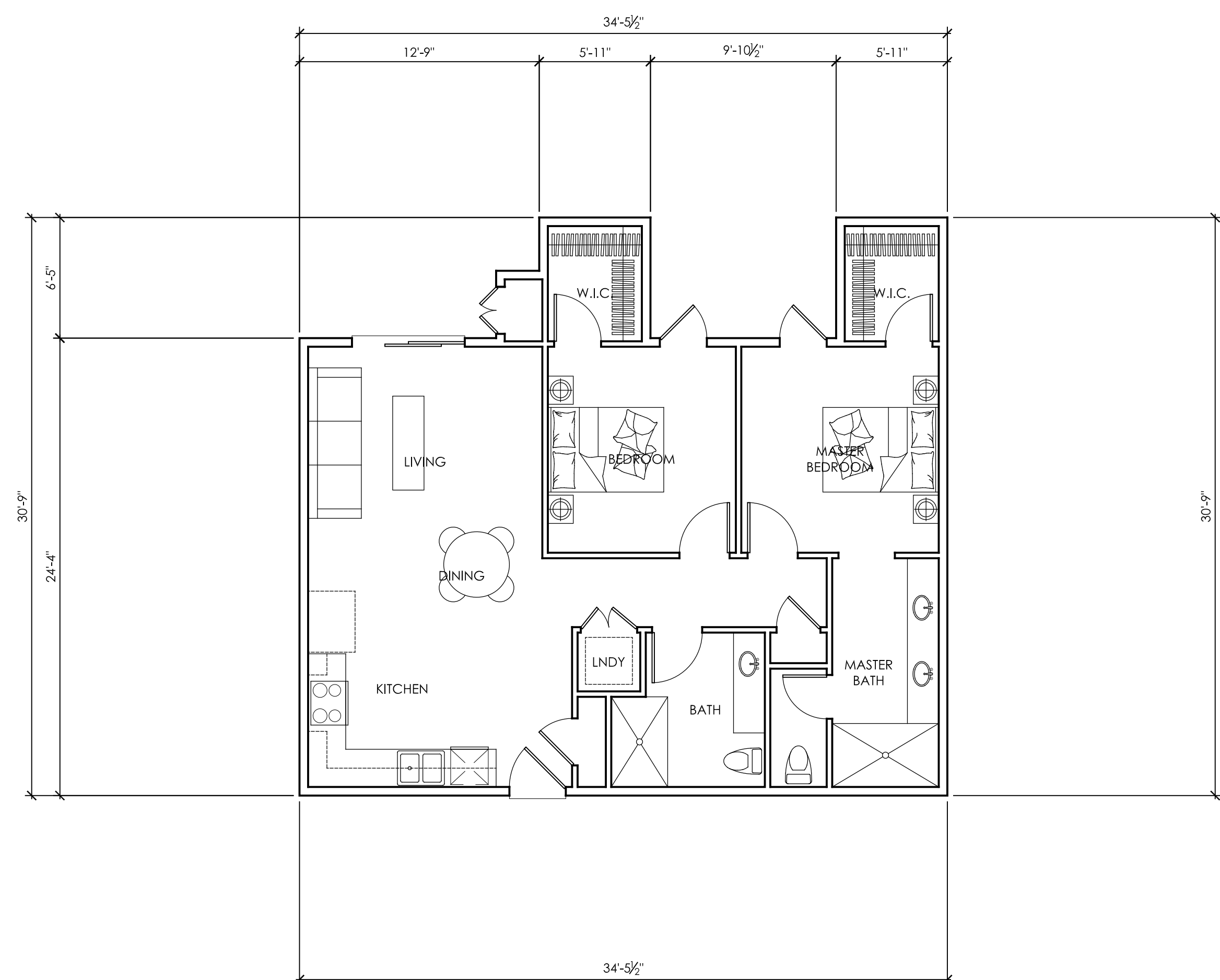
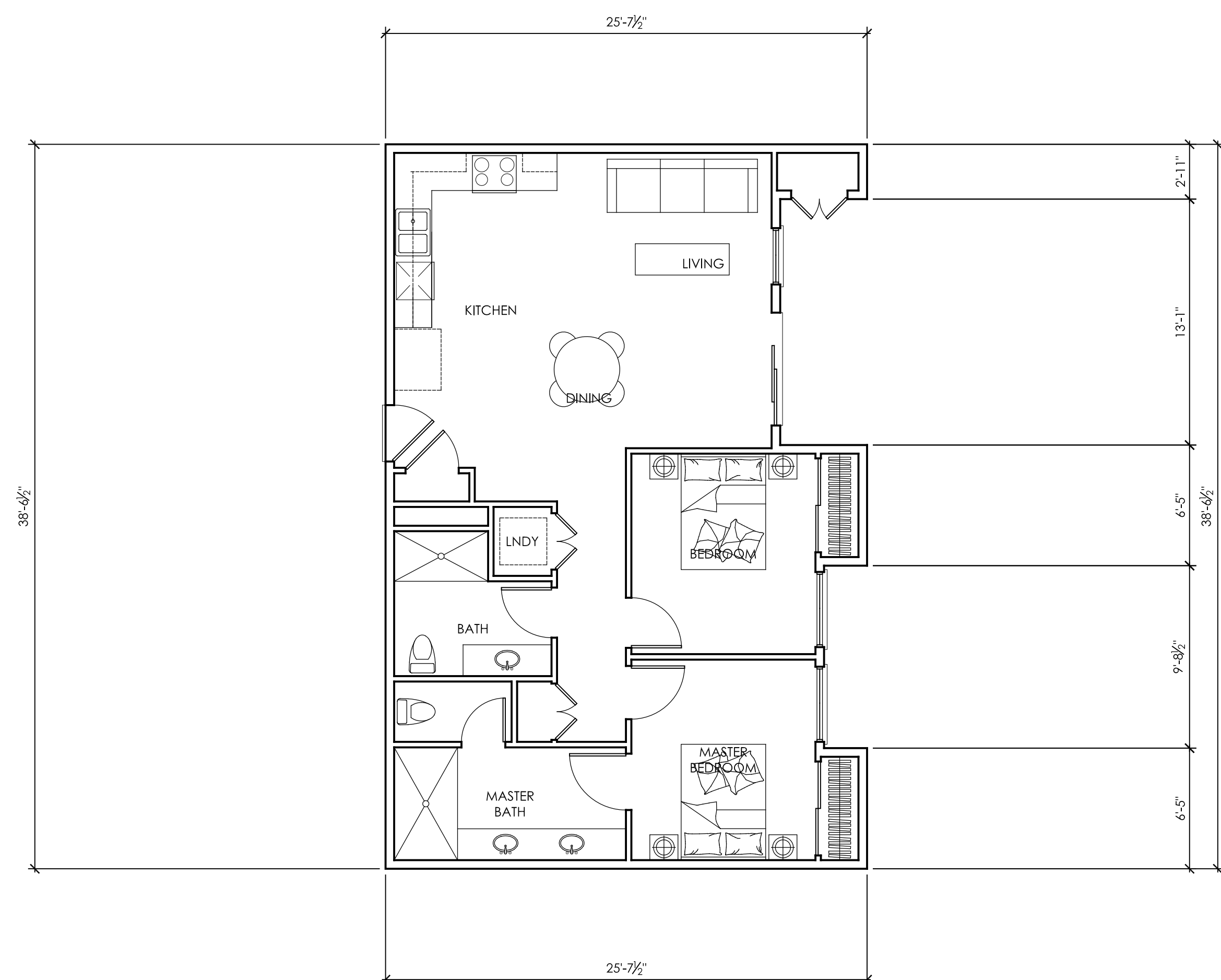
APPLICANT
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ROOF PLAN

REVISIONS	
1	1ST PLANNING SUBMISSION
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TYPICAL UNIT FLOOR PLANS

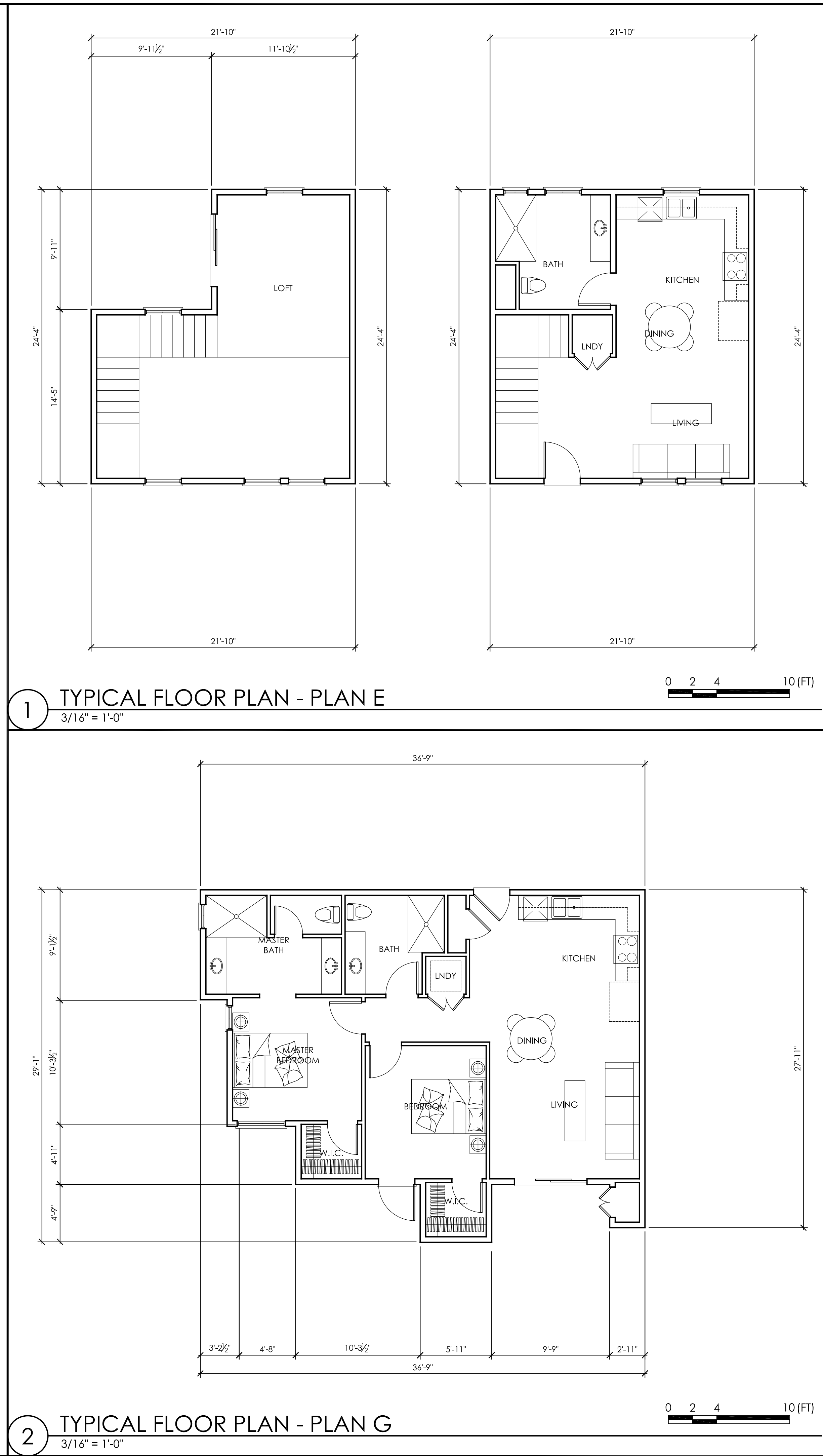
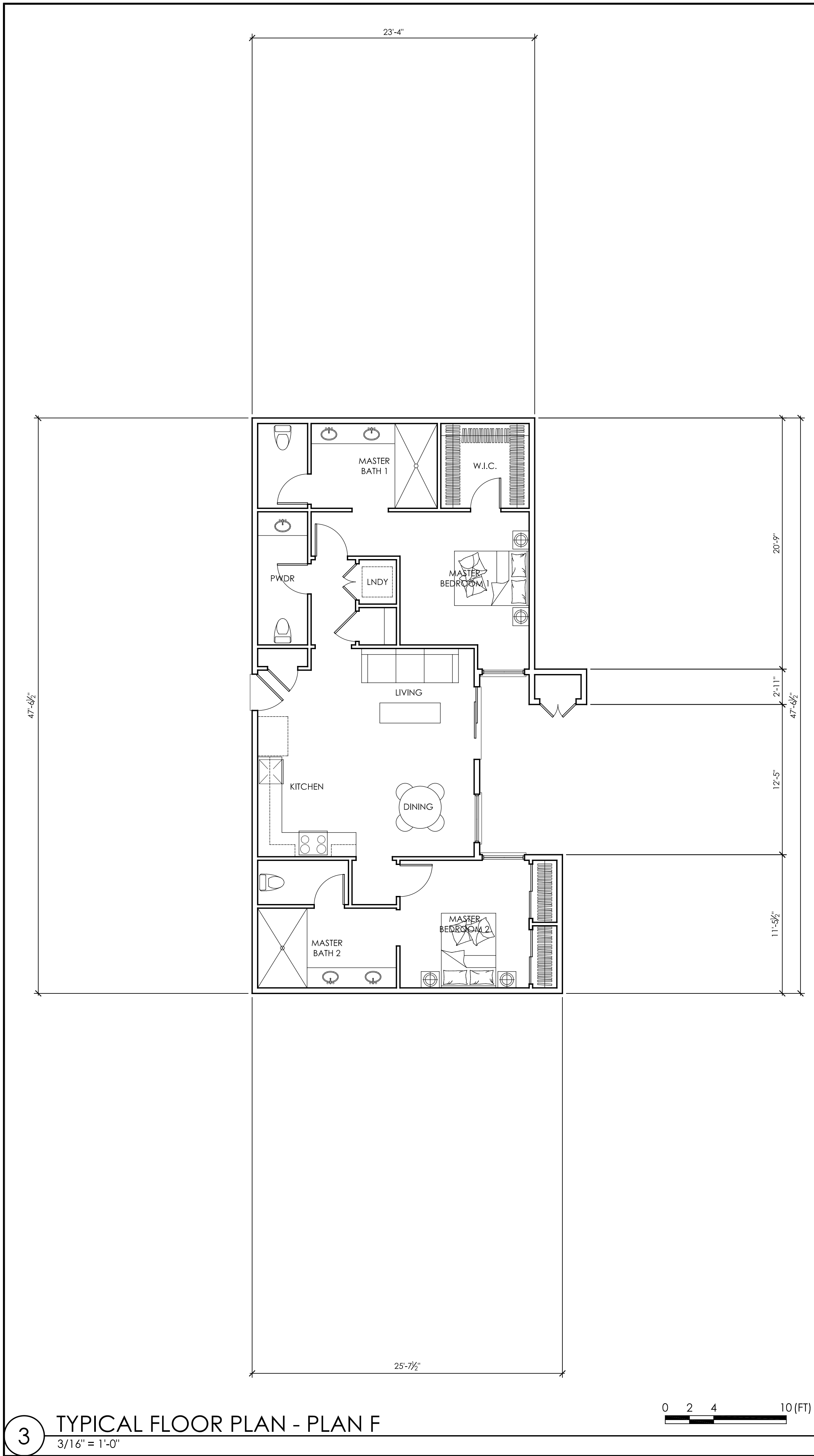
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	7/10/2020 PLANNING

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A-1.7



UNIT KEYS

LEVEL 5

LEVEL 4

LEVEL 3

LEVEL 2

PROJECT

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APPLICANT

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TYPICAL UNIT FLOOR PLANS

REVISIONS

DATE	DESCRIPTION
5/27/2020	1ST PLANNING SUBMISSION
7/10/2020	PLANNING

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SHEET NO.

A-1.8

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LICENSED ARCHITECT
BRIAN G. PETERSON
No. C22089
REL. 10-31-2020
STATE OF CALIFORNIA

CONSULTANTS

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TYPICAL UNIT FLOOR PLANS

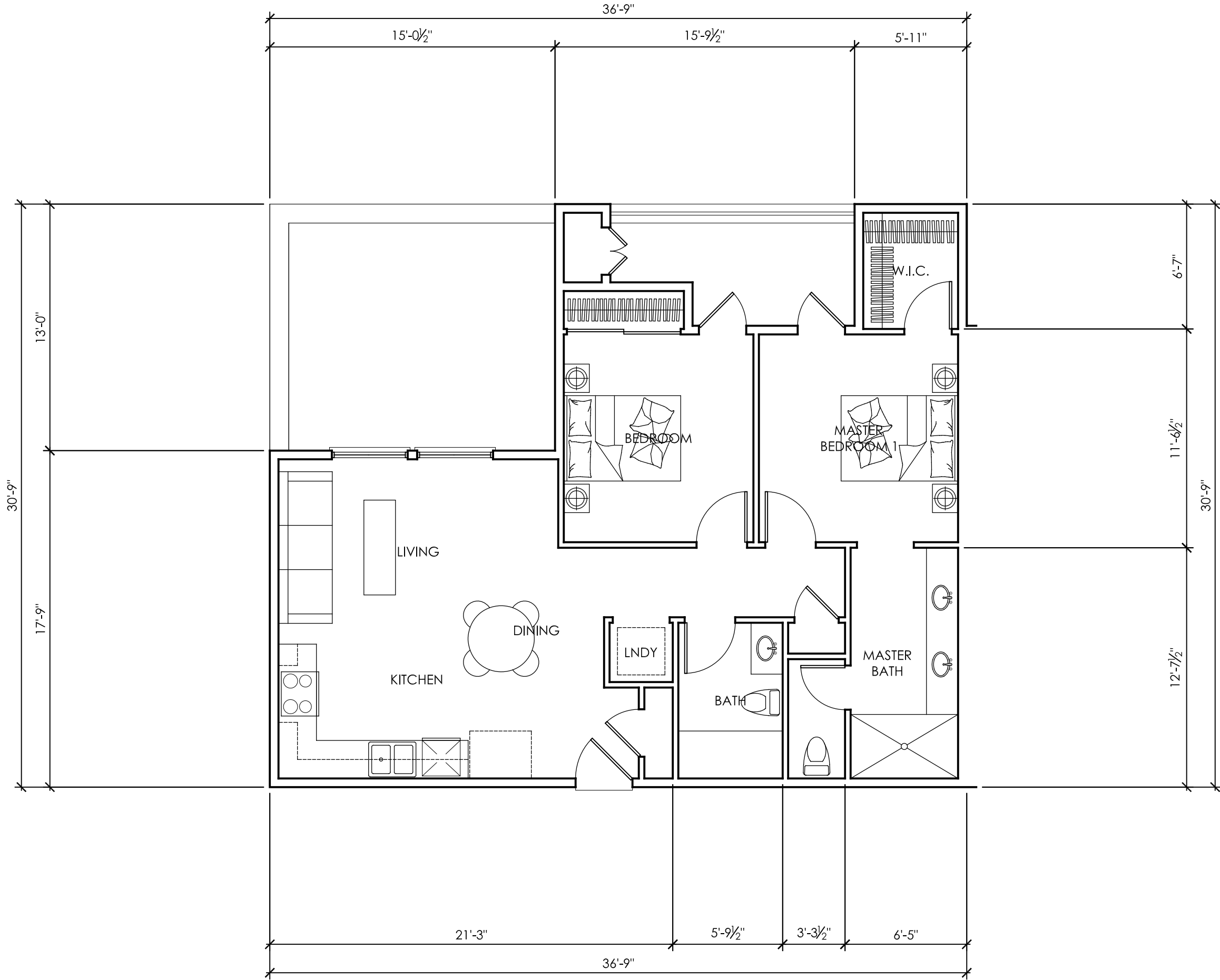
REVISIONS

DATE	DESCRIPTION
5/27/2020	1ST PLANNING SUBMISSION
7/10/2020	PLANNING

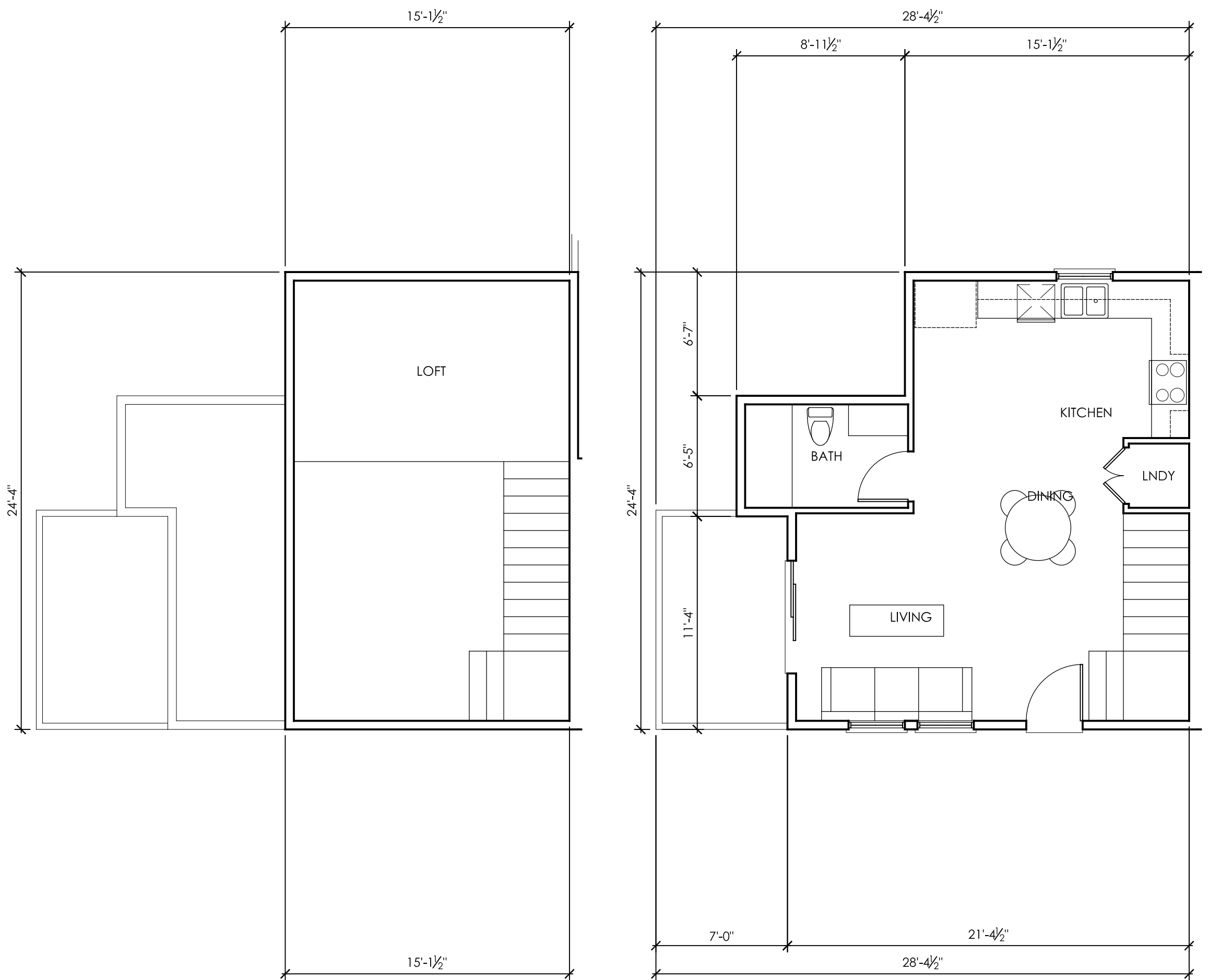
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JOB NO: 180904
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SHEET NO.

A-1.8



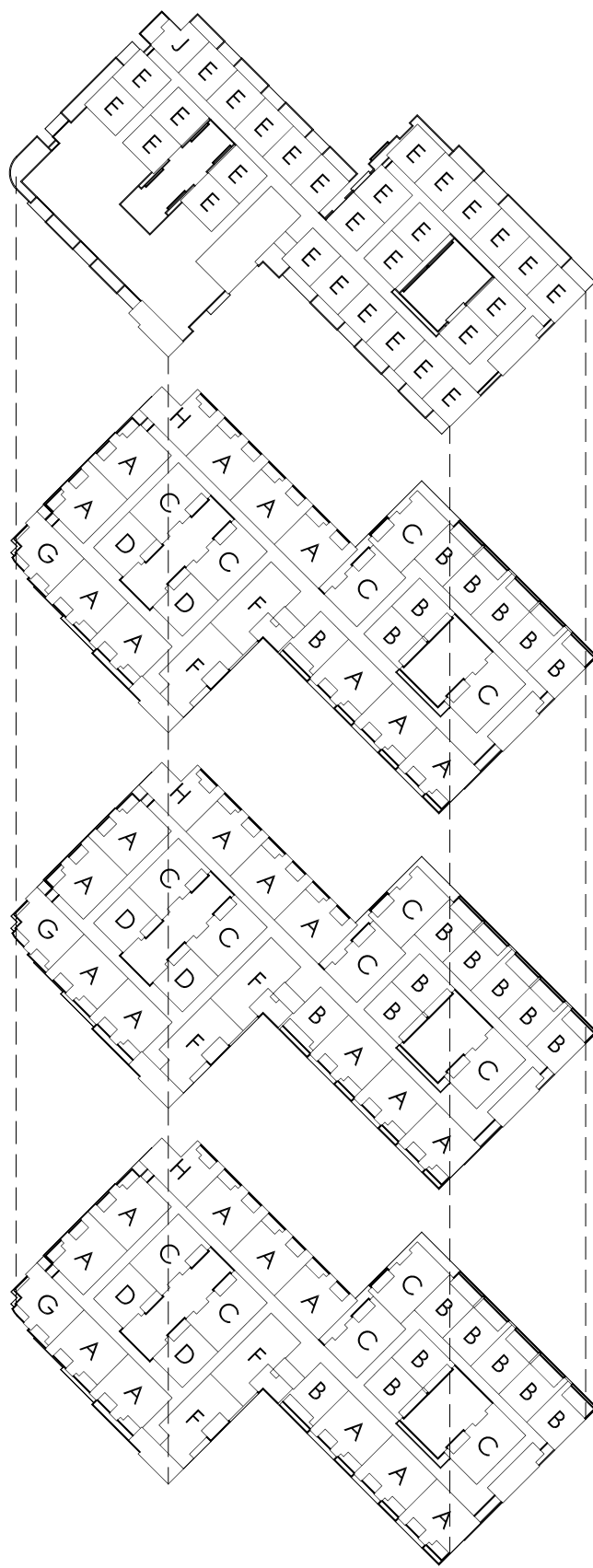
1 TYPICAL FLOOR PLAN - PLAN H
3/16" = 1'-0"



2 TYPICAL FLOOR PLAN - PLAN J
3/16" = 1'-0"



UNIT KEYS



LEVEL 5

LEVEL 4

LEVEL 3

LEVEL 2

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APPLICANT

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LOS ANGELES, CA 90016

TYPICAL UNIT
FLOOR PLANS

REVISIONS

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5/27/2020 PLANNING

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SHEET NO.

A-1.9



1 EAST ELEVATION (GAREY AVENUE)
3/32" = 1'-0"

0 5 10 20 (FT)



2 NORTH ELEVATION (W. MAGNOLIA STREET)
3/32" = 1'-0"

0 5 10 20 (FT)

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EXTERIOR
ELEVATIONS

REVISIONS

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SHEET NO.

A-2.1



1 WEST ELEVATION
3/32" = 1'-0"



2 SOUTH ELEVATION (GREVILLIA STREET)
3/32" = 1'-0"

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EXTERIOR
ELEVATIONS

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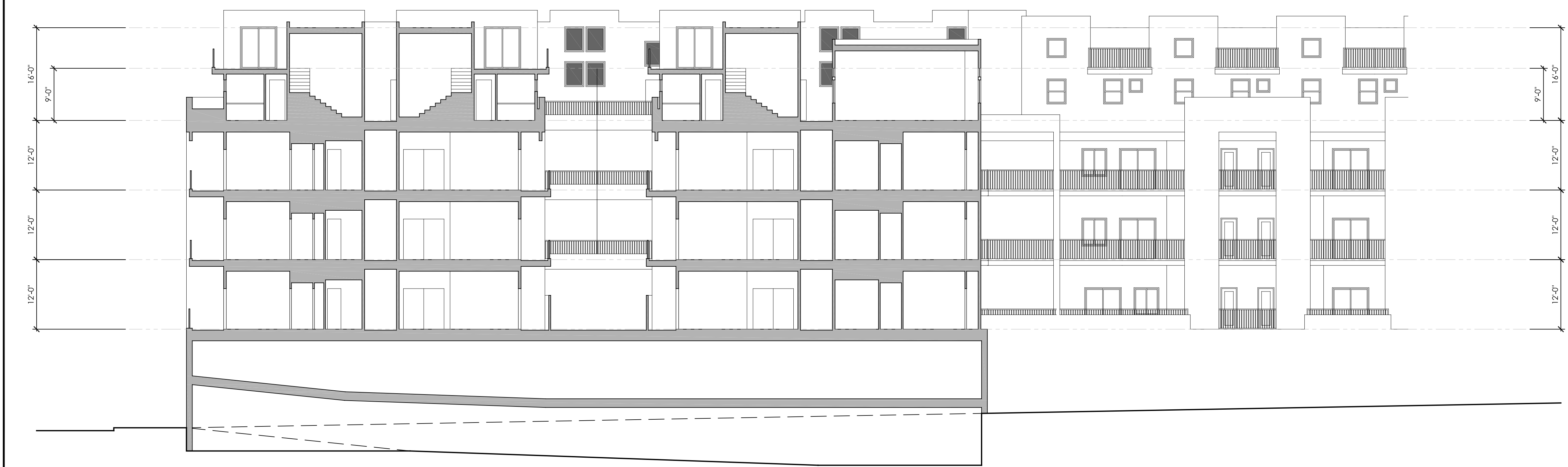
SHEET NO.

A-2.2



1 BUILDING SECTION
3/32" = 1'-0"

0 5 10 20 (FT)



2 BUILDING SECTION
3/32" = 1'-0"

0 5 10 20 (FT)

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EXTERIOR ELEVATIONS

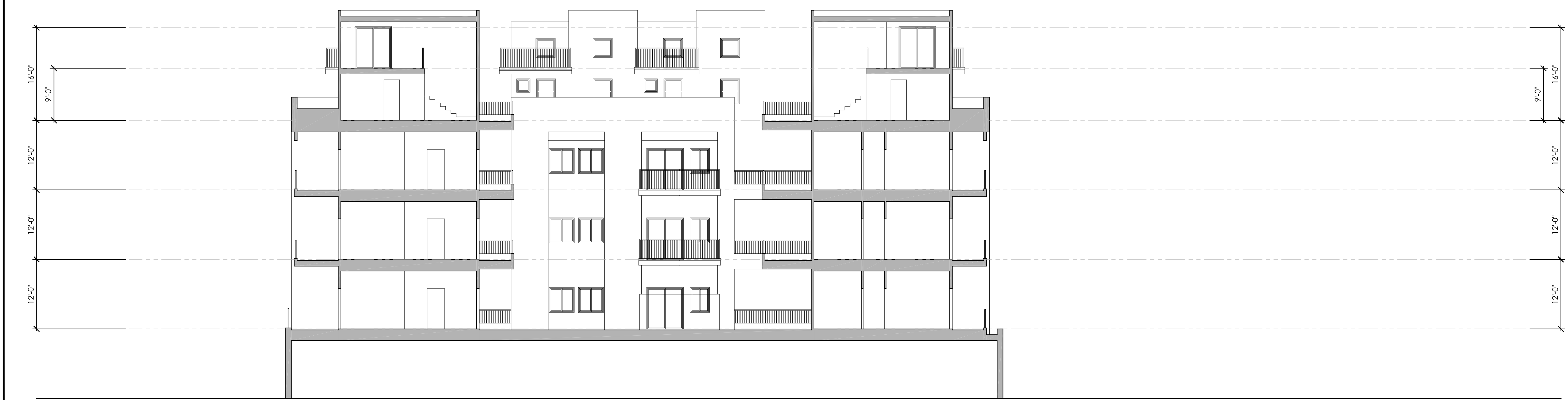
REVISIONS	
△	1ST PLANNING SUBMISSION
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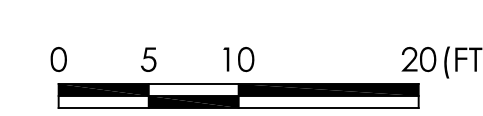
SHEET NO.
A-3.1



1 BUILDING SECTION
3/32" = 1'-0"



2 BUILDING SECTION
3/32" = 1'-0"

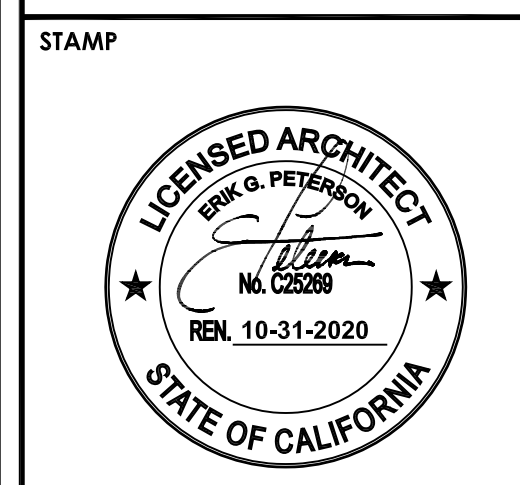


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EXTERIOR
ELEVATIONS

REVISIONS	
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A-3.2

GENERAL ELECTRICAL NOTES

- 1- ELECTRICAL CONTRACTOR SHALL VISIT THE PROJECT SITE AND THOROUGHLY STUDY AND BE FAMILIARIZED WITH APPROVED ELECTRICAL AND RELATED CONSTRUCTION PLANS PRIOR TO SUBMITTAL OF FINAL BID TO VERIFY PLAN'S INCONSISTENCIES, OMISSIONS, DISCREPANCIES OR MISTAKES.
- 2- ELECTRICAL CONTRACTOR SHALL INFORM THE ELECTRICAL ENGINEER AND ARCHITECT AND/OR THE RESPONSIBLE AUTHORITY IN WRITING WHEN ENCOUNTERED WITH INCONSISTENCIES, OMISSIONS, DISCREPANCIES OR MISTAKES REGARDING APPROVED ELECTRICAL PLANS, SPECIFICATION, OR SITE CONDITIONS.
- 3- ELECTRICAL CONTRACTOR SHALL STUDY & ANALYZE REQUIRED LIST OF ELECTRICAL MATERIAL, DEVICES, FIXTURES, AND APPLIANCES SHOWN ON THE PLANS WITH RESPECT TO THEIR TEMPERATURE, AMPACITY, INTERRUPTING CAPACITY, AND KVA/HP RATINGS PRIOR TO FINALIZING ANY ORDER OR SUBMITTAL.
- 4- ELECTRICAL CONTRACTOR SHALL SELECT UL-LISTED OR CITY OF L.A. APPROVED MATERIAL, DEVICES, FIXTURES, AND APPLIANCES WITH RATINGS SPECIFIED ON ELECTRICAL PLANS AND CONSISTENT WITH NEC AND LOCAL CODES AND REQUIREMENTS. THEY SHALL BE APPROVED IN WRITING BY ELECTRICAL ENGINEER PRIOR TO FINALIZING ANY ORDER OR SUBMITTAL.
- 5- THE LOCATIONS OF ELECTRICAL EQUIPMENT, DEVICES, PANEL/METER/SERVICE BOARDS, AND CONDUIT ROUTINGS SHOWN ON THE ELECTRICAL PLANS ARE INTENDED TO FACILITATE CONTRACTOR'S UNDERSTANDING OF BUILDING'S ELECTRICAL DISTRIBUTION, AND, MAYBE REVISED AS FIELD AND CONSTRUCTION CONDITIONS DICTATE. ELECTRICAL CONTRACTOR TO INFORM THE ENGINEER AND ARCHITECTS AND/OR THE RESPONSIBLE AUTHORITY, IN WRITING, OF ALL SUCH REVISIONS PRIOR TO ANY CHANGE ORDERS FOR CLARIFICATION.
- 6- DISTANCES FOR FEEDERS AND BRANCH-CIRCUITS ARE FOR THE ENGINEERING DESIGN PURPOSES ONLY. THESE VALUES SHALL NOT BE USED BY THE ELECTRICAL CONTRACTOR FOR ESTIMATION AND BIDDING. THE EXACT MEASUREMENTS SHALL BE MADE AT THE SITE BY ELECTRICAL CONTRACTOR.
- 7- CIRCUIT/FEEDER CONDUCTORS #1-AWG OR SMALLER SHALL BE RATED FOR 60°C, AND CIRCUIT/FEEDER CONDUCTORS LARGER THAN #1-AWG SHALL BE RATED FOR 75°C PER NEC 110.14(C)(1)
- 12- EQUIPMENT GROUND CONDUCTORS SHALL BE SIZED PER NEC TABLE 250-122. IF CONDUIT IS USED AS EQUIPMENT GROUNDING CONDUCTOR, COMPRESSION TYPE FITTINGS SHALL BE USED AND GROUNDING CONTINUITY SHALL BE MAINTAINED USING GROUNDING BUSHINGS AND JUMPERS INSIDE J-BOXES, PULL BOXES, AND PANEL BOARDS.
- 15- RECEPTACLES RATED 15-20A, 125-250V, IN WET LOCATIONS SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF WHETHER OR NOT THE ATTACHMENT PLUG CAP IS INSERTED. ALL 15-20A, 125-250V, NON-LOCKING RECEPTACLES SHALL BE LISTED WEATHER-RESISTANT TYPE PER NEC 406.8(B)(1)
- 16- IDENTIFY SPARE OVERCURRENT DEVICES IN PANEL-BOARDS AS "SPARE."
- 17- NUMBER OF CONDUCTORS IN OUTLETS DEVICES, JUNCTION-BOXES, AND CONDUIT-BODIES TO BE DETERMINED PER ARTICLE 370-16 OF NEC BY CONTRACTOR.
- 18- ALL 125 VOLTS, 15- AND 20-AMP RECEPTACLES REQUIRED UNDER 210.52 BE LISTED AS TAMPER-RESISTANT.
- 19- LIGHTING AND PANEL BOARD HOUSING SHALL NOT BE RECESSED IN FIRE RATED ASSEMBLIES UNLESS BOXED WITH CONSTRUCTION MATERIAL APPROVED FOR THE USE.
- 20- FUSES SHALL BE PROVIDED WITH REJECTION TYPE FUSE HOLDERS.
- 21- WHERE A DISCONNECTING MEANS IS NOT LOCATED WITHIN SIGHT FROM THE EQUIPMENT IT SERVES, IT IS REQUIRED TO BE CAPABLE OF BEING LOCKED IN THE OPEN (OFF) POSITION AND THE MEANS FOR ADDING THE LOCK MUST REMAIN WITH THE EQUIPMENT WHETHER THE LOCK IS INSTALLED OR NOT.
- 22- THE WORKING SPACE REQUIRED IN SECTION 110.26 SHALL NOT BE USED AS STORAGE.
- 23- ELECTRICAL APPLIANCES PROVIDED AND INSTALLED MEETS ENERGY STAR IF ANY ENERGY STAR DESIGNATION IS APPLICABLE FOR THAT APPLIANCE AND IS SUBJECT TO FIELD VERIFICATION.
- 24- NO PIPING, DUCTS, OR EQUIPMENT FOREIGN TO ELECTRICAL EQUIPMENT SHALL BE PERMITTED TO BE LOCATED WITHIN THE DEDICATED SPACE ABOVE THE ELECTRICAL EQUIPMENT.
- 25- WHERE ELECTRIC MOTORS OR HEATERS ARE INSTALLED IN HUNG CEILINGS, PROVIDE DISCONNECT SWITCH IN HUNG CEILING WITHIN REACH FROM ACCESS POINT.
- 26- FURNISH APPROVED EXPANSION FITTINGS WHERE RACEWAY CROSSES BUILDING EXPANSION JOINTS.
- 27- SUPPORT PANELBOARDS, JUNCTION AND PULL BOXES INDEPENDENTLY TO BUILDING STRUCTURE WITH NO WEIGHT BEARING ON RACEWAYS.
- 28- ALL EXTERIOR ELECTRICAL DEVICES AND EQUIPMENT SHALL BE WEATHERPROOF TYPE.
- 29- ALL CONDUIT PENETRATIONS THROUGH FIRE RATED WALLS, PLASTER-BOARD BOXES AROUND PANEL-BOARDS, AND/OR CABINETS AND FLOORS SHALL BE PROTECTED BY MATERIALS TESTED IN ACCORDANCE WITH UL1479/ASTM E-814. INSTALLATION SHALL FOLLOW MANUFACTURER'S INSTRUCTIONS AND MAINTAIN THE FIRE RATING OF WALLS, PLASTERBOARD BOXES, AND/OR FLOORS AFFECTED. PROVIDE HILTI C5240 FIRESTOP SEALANT, CSFM LISTING NO. 4060-1200;100, OR EQUIVALENT STATE FIRE MARSHAL APPROVED AND LISTED MATERIAL.
- 30- ELECTRICAL RECEPTACLE OUTLETS ON BRANCH CIRCUITS OF 30A OR LESS AND COMMUNICATION SYSTEM RECEPTACLES SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE RECEPTACLE OUTLET BOX OR RECEPTACLE HOUSING NOR LESS THAN 15" MEASURED FROM THE BOTTOM OF THE THE RECEPTACLE OUTLET BOX OR RECEPTACLE HOUSING TO THE LEVEL OF THE FINISH FLOOR OR WORKING PLATFORM.
- 31- CONTROLS AND SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLES OUTLETS, APPLIANCES OR COOLING, HEATING AND VENTILATING EQUIPMENT, SHALL BE LOCATED ON MORE THAN 48" MEASURED FROM THE TOP OF THE OUTLET BOX NOR LESS THAN 15" MEASURED FROM THE BOTTOM OF THE OUTLET BOX TO THE LEVEL OF THE FINISH FLOOR OR WORKING PLATFORM
- 32- WHERE A SERVICE RACEWAY ENTERS THE BUILDING/STRUCTURE THROUGH AN UNDERGROUND DISTRIBUTION SYSTEM SHALL BE SEALED

ELECTRICAL WIRING NOTES

- 1- USE MAX. OF (3) CURRENT CARRYING CONDUCTORS IN CABLES OR RACEWAYS, OR WHERE A SINGLE CONDUCTOR OR MULTI-CONDUCTOR CABLES ARE STACKED OR BUNDLED LONGER THAN 24" WITHOUT MAINTAINING SPACING AND ARE NOT INSTALLED IN RACEWAYS. ADJUST CONDUCTOR SIZE PER NEC:TABLE -310.15(B)(2)(A).
- 2- ALL BRANCH CIRCUITS ARE SIZED: #12-AWG MINIMUM, THHN/THWN/THHW, COPPER, U.O.N.
- 3- ALL BRANCH CIRCUIT, FEEDER, AND SERVICE CONDUCTORS TO BE THHN/COPPER U.O.N.
- 4- WIRING SIZE, FROM HOME-RUN TO THE LAST BRANCH CIRCUIT, TO BE THE SAME AS THAT INDICATED FOR THE HOME-RUN ON THE PLANS, OR AS SHOWN ON THE PANEL-SCHEDULE OR 1-LINE.
- 5- PROVIDE SEPARATE EQUIPMENT GREEN GROUND CONDUCTOR INSIDE ALL BRANCH CIRCUIT CONDUITS/ RACEWAYS.
- 6- UNLESS SUPPLIED BY A DEDICATED CIRCUIT, ALL BATTERY-PACK EMERGENCY EXIT-LIGHTS AND EXIT-SIGNS SHALL BE CONNECTED TO THE NEAREST UN-SWITCHED LIGHTING CIRCUIT SUPPLYING THAT AREA PER ARTICLE 700-12 OF NEC.
- 7- MULTIWIRE BRANCH CIRCUITS SUPPLYING LINE-TO-NEUTRAL LOADS SHALL NOT SHARE A COMMON NEUTRAL CONDUCTOR PER CEC 210.4.
EXCEPTION: WHERE UNGROUNDED CONDUCTOR ARE OPENED SIMULTANEOUSLY USING APPROVED HANDLE-TIES.

ABBREVIATIONS

- W: WEATHER-PROOF

RP: RAIN-PROOF

UG: UNDER GROUND

V: VAPOR-PROOF

F/C: FAN-COIL

A/C: AIR CONDITIONER

H/P: HEAT PUMP

E/F: EXHAUST FAN

EG: EQUIPMENT GROUND, COPPER

HP: HORSE POWER

CNTL: CONTROL UNIT

GEF: GARAGE EXHAUST FAN
- GSF: GARAGE SUPPLY FAN

N: NEW

E: EXISTING

R: REPLACE

DN: DOWN

F: FUSE

D: DEMOLISH

VL: VERIFY LOCATION

U.O.N.: UNLESS OTHERWISE NOTED

N.T.S: NOT TO SCALE

Isc: AVAILABLE SHORT CIRCUIT CURRENT

Msc: MOTOR SHORT CIRCUIT CONTRIBUTION

MOUNT THE FOLLOWING ABOVE FINISH FLOOR:
OUTLETS-18" to 48"
SWITCHES-36" to 48"
THERMOSTATS-36" to 48"

- APPLICABLE CODES
- 1) 2014 CITY OF L.A. ELECTRICAL CODE
- 2) 2011 NEC
- 3) 2016 CALIFORNIA ENERGY CODE
- 4) 2010 FIRE CODE

GENERAL ENERGY COMPLIANCE NOTES

- 1- ALL SIGNS INSTALLED BY OTHERS.
- 2- ALL BUILDINGS OVER 10,000-SF SHALL COMPLY WITH THE 2013 BUILDING EFFICIENCY DEMAND RESPOND SYSTEM AND ALL LIGHTING SHALL BE CONTROLLED WITH A LIGHTING CONTROL PANEL.
- 3- ELECTRICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL NECESSARY ACCEPTANCE TESTING CERTIFICATION FORMS. ELECTRICAL ENGINEER IS NOT RESPONSIBLE TO OBTAIN OR PROVIDE ANY FORMS OR OBTAIN ANY APPROVAL FORM STATE APPROVED ACCEPTANCE TESTERS / AGENTS.
- 4- ELECTRICAL ENGINEER SHALL SPECIFY THE FUNCTION OF ALL LIGHTING CONTROLS ON THE PLANS AND THEIR LOCATIONS BUT IT IS THE ELECTRICAL CONTRACTORS RESPONSIBILITY TO CONTACT ANY MANUFACTURER AND INSTALL STATE APPROVED DEVICES FOR ALL PURPOSES IN ALL LOCATIONS. ALL THE DEVICES INSTALLED / PROVIDED SHALL COMPLY WITH 2013 BUILDING EFFICIENCY CODES AND REQUIREMENTS.
- 5- NEW RESIDENTIAL GRADE APPLIANCES PROVIDED AND INSTALLED MEETS IF AN ENERGY STAR DESIGNATION IS APPLICABLE FOR THAT APPLIANCE AND SUBJECT TO FIELD VERIFICATION.
- 6- LIGHTING CONTROL SYSTEM:
A) UTILITY ROOMS, STORAGE, TRASH ROOM, AND SIMILAR OCCUPANCIES'S LIGHTING TO BE CONTROLLED WITH DIMMERS OR DIMMABLE OCCUPANCY SENSORS.
B) STAIRS ENTRANCE LIGHTING FIXTURES SHALL BE ON ALL THE TIME. ALL LANDING LIGHTING FIXTURES SHALL BE CONTROLLED WITH OCCUPANCY SENSORS.
C) PARKING AREA LIGHTING SHALL BE GROUPED IN MAX. 500WATTS AND BE CONTROLLED WITH OCCUPANCY SENSORS PER GROUP.
D) LOBBY AREA SHALL BE CONTROLLED WITH PRIM AND SECONDARY OCCUPANCY SENSORS.
E) BATHROOM LIGHTING SHALL BE CONTROLLED WITH DIMMABLE OCCUPANCY SENSOR.
F) OUTSIDE DECK AND LIGHTING SHALL BE CONTROLLED WITH MOTION SENSORS ON THE FIXTURES.
G) CORRIDORS AND WALKWAYS SHALL BE CONTROLLED WITH 50% OCCUPANCY SENSORS (EVERY OTHER LIGHTING FIXTURE.)
H) LANDSCAPE LIGHTING SHALL BE CONTROLLED WITH PROGRAMMABLE TIMER.
I) RECREATION ROOM AND BATHROOM LIGHTING SHALL BE CONTROLLED WITH DIMMABLE OCCUPANCY SENSORS.

DEVICE LEGEND

15/20A, 120V RECEPTACLE, 1/2 SWITCHED

15/20A, 120V RECEPTACLE

20A, 1PH, 240V RECEPTACLE

15/20A, 120V RECEPTACLE WITH GFCI

TOGGLE SWITCH

TOGGLE SWITCH, 3-WAY

TOGGLE SWITCH, 4-WAY

TOGGLE SWITCH WITH HUMIDITY SENSOR

MANUALLY ON-AUTOMATIC OFF OCCUP. SENSOR DIMMER SWITCH

DIMMER SWITCH

DIMMER SWITCH, 3-WAY

120V SMOKE/DETECTOR WITH BATTERY BAKE-UP

120V "CO-SMOKE" COMBO DETECTOR WITH BATTERY BAKE-UP

PHONE JACK

PANEL BOARD

EXHAUST FAN

DISCONNECT SWITCH

F: FUSIBLE

30AS/15AF: DESCRIBES 30A-SWITCH WITH 15A-FUSE

ELECTRIC MOTOR

MOTOR STARTER

LCP

PROGRAMABLE LIGHTING CONTROL PANEL

OS

OVERRIDE SWITCH

L|F

LIGHT/FAN COMBINATION

J|J

JUNCTION BOX

OS

CEILING MOUNTED OCCUPANCY SENSOR
LEVITON: OSC20-MOW (UP TO 2000SF)
LEVITON: ODCOS-11W (UP TO 530SF)

MS

EXTERIOR LIGHTING MOTION SENSOR
LEVITON:

DS

SKYLIT DAYLIT AREA SENSOR
LEVITON

SS

SECONDARY DAYLIT AREA SENSOR
LEVITON

PS

PRIMARY DAYLIT AREA SENSOR
LEVITON

(SOLID) CONDUIT IN WALL OR CEILING

(DASHED) CONDUIT RUN UNDERGROUND, OR UNDER FLOOR

MULTI-CONDUCTOR CONDUIT

DENOTES GROUND WIRE

DENOTES NEUTRAL OR HOT WIRE

INDICATES BRANCH-CIRCUIT HOME-RUN

SEE ELECTRICAL WIRING NOTES FOR MULTIWIRE CIRCUITS.

FIXTURE SCHEDULE

	SYMBOL	TYPE	DESCRIPTION	TOTAL WATTS	LAMP QTY	LAMP WATTS	LAMP TYPE	MOUNTING
INTERIOR		L1	4' LED TUBE	18	1	18	LED TUBE	SURFACE
			4' LED TUBE WITH BUILT IN OCCUP. SENSOR					
		L2	4"-TO-6" DIAMETER LED DOWN LIGHT	12	1	12	LED	SURF. RECESS.
		L3	2x6' LED WALL MOUNT FIXTURE	15	1	15	LED	WALL SURFACE
		L4	BATH BRACKET FIXTURE	30 MAX.	2	30	LED	WALL
		L5	PENDANT LED LIGHT FIXTURE	20 MAX.	-	20 MAX.	LED	SURFACE
		L6	PENDANT LED LIGHT FIXTURE	10	1	10	LED	PENDANT
EXTERIOR		L7	4"-DIAMETER, RESIDENTIAL GRADE, LED DOWN LIGHT	12	1	12	LED	RECESS.
		F2	24"x6" FLUSHED FLUOR, SCONCE WITH PROTECTIVE CAGE	30	1	30	FLUR.	WALL
		L8	WALL MOUNTED LED FIXTURE	12	1	12	LED	WALL
			WALL MOUNTED LED FIXTURE WITH MOTION SENSOR					
EMERGENCY		L9	LANDSCAPE EXIT PATH SCONCE LIGHT	18 MAX	1	18	LED	WALL FLUSH
		L10	WALL MOUNTED LED FIXTURE					WALL
		E	EMERGENCY UNIT-EQUIPMENT WITH AN INTEGRAL 90MIN. BACK-UP, 120V. BY LITHONIA: QUANTUM SERIES MODEL:ELM2 LED	6.0	2	3.0	LED	WALL OR CEILING
		X	EMERGENCY EXIT SIGN WITH AN INTEGRAL 90MIN. BACK-UP, 120V. LITHONIA: QUANTUM SERIES, THERMOPLASTIC MODEL:LQM EL N	4.0	2	2.0	LED	WALL OR CEILING
		XE	EMERGENCY UNIT-EQUIPMENT/EXIT-SIGN COMBINATION WITH AN INTEGRAL 90MIN. BACK-UP, 120V. LITHONIA: QUANTUM SERIES MODEL:LHQM LED	10	2	5.0	LED	WALL OR CEILING
		LE	4' LED TUBE WITH 90-MIN BATTERY UNIT BY RETHINK: RT48-4K110	18	1	18	LED TUBE	SURFACE

NOTE: ALL OUTDOOE USED FIXTURES SHALL BE NEMA-3 RATED

LEGAL DESCRIPTION

APN 8371-014-040, 041, 042 & 043:
LOTS 7-11 IN BLOCK 12 OF THE TOWNSITE OF PALOMARES, M.R. 15/71-72.

APN 8371-014-900 & 901:
PORTIONS OF LOTS 17-19, LOT 21 AND THAT PORTION OF A CERTAIN VACATED ALLEY IN BLOCK 12 OF THE TOWNSITE OF PALOMARES, M.R. 15/71-72.

BUILDING DATA

- OWNER:

LANDMARK WEST ENTERPRISES
3712 W JEFFERSON BLVD.# 200
LOS ANGELES, CA 90016
- PROPERTY ADDRESS:

2501 N. GAREY AVENUE, POMONA, CA, 91767
- ASSESSOR'S PARCEL NUMBERS:

8371-014-040, 8371-014-041, 8371-014-042
8371-014-043, 8371-014-900, 8371-014-901
- GOVERNING AGENCY:

CITY OF POMONA
- ZONING:

TRANSIT-ORIENTED DISTRICT
- LAND AREA:

37,560 SQ. FT. (0.862 ACRES)
- TYPE OF OCCUPANCY USE

TYPE OF CONSTRUCTION:

AUTOMATIC FIRE SPRINKLERS:

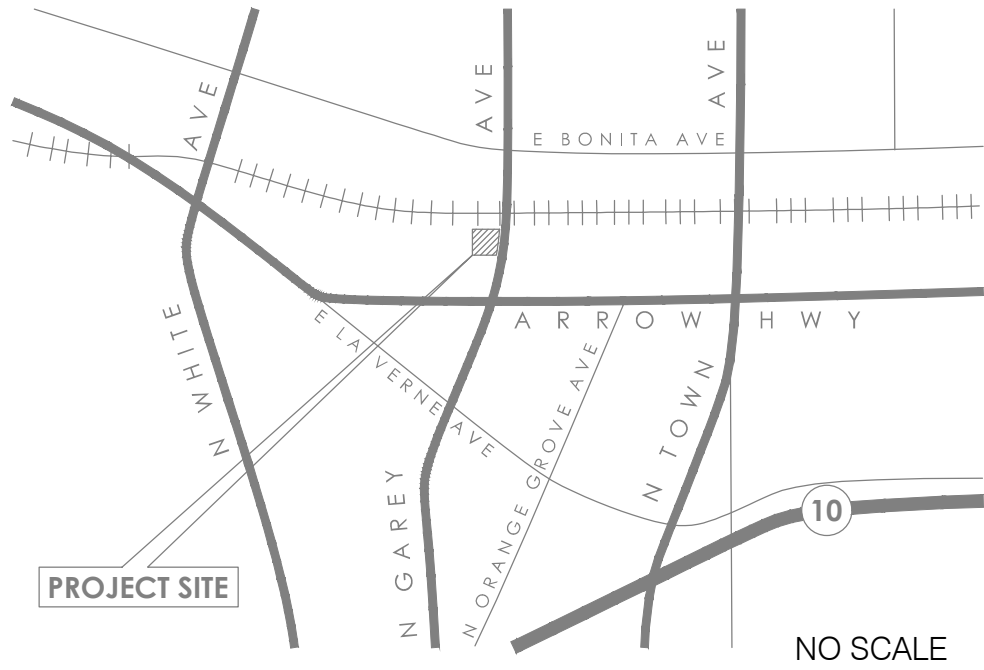
YES, INSTALL PER NFPA-13
- TOTAL BUILDING FOOTPRINT:

36,844 SQ. FT.
- NUMBER OF LEVELS:

1 UNDERGROUND PARKING GARAGE
1 PODIUM STYLE PARKING GARAGE
@ GROUND LEVEL
4 LEVELS ABOVE PARKING GARAGE
- MAX. BUILDING HEIGHT:

72'-0"

VICINITY MAP



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DATE

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DATE

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2550 HONOLULU AVE., #206
MONTEROSE, CA 91020
(818)219-7192 mb
(818)275-3888 wk
Robert@Tomtecheng.com

Professional Engineer

No. E 13193

Exp: 09-30-2020

Electrical

State of California

CEDGARCHITECTS

ARCHITECTURE // BUILD // LANDSCAPE //

// 401 e. columbia ave.
pomona, ca 91767

// 909.625.3916
// cedgarchitects.com
// info@cedgarchitects.com

GENERAL NOTES, LEGAL DESCRIPTION & LEGEND

2501 N. GAREY AVENUE
POMONA, CA 91767

SHEET TITLE

JOB TITLE

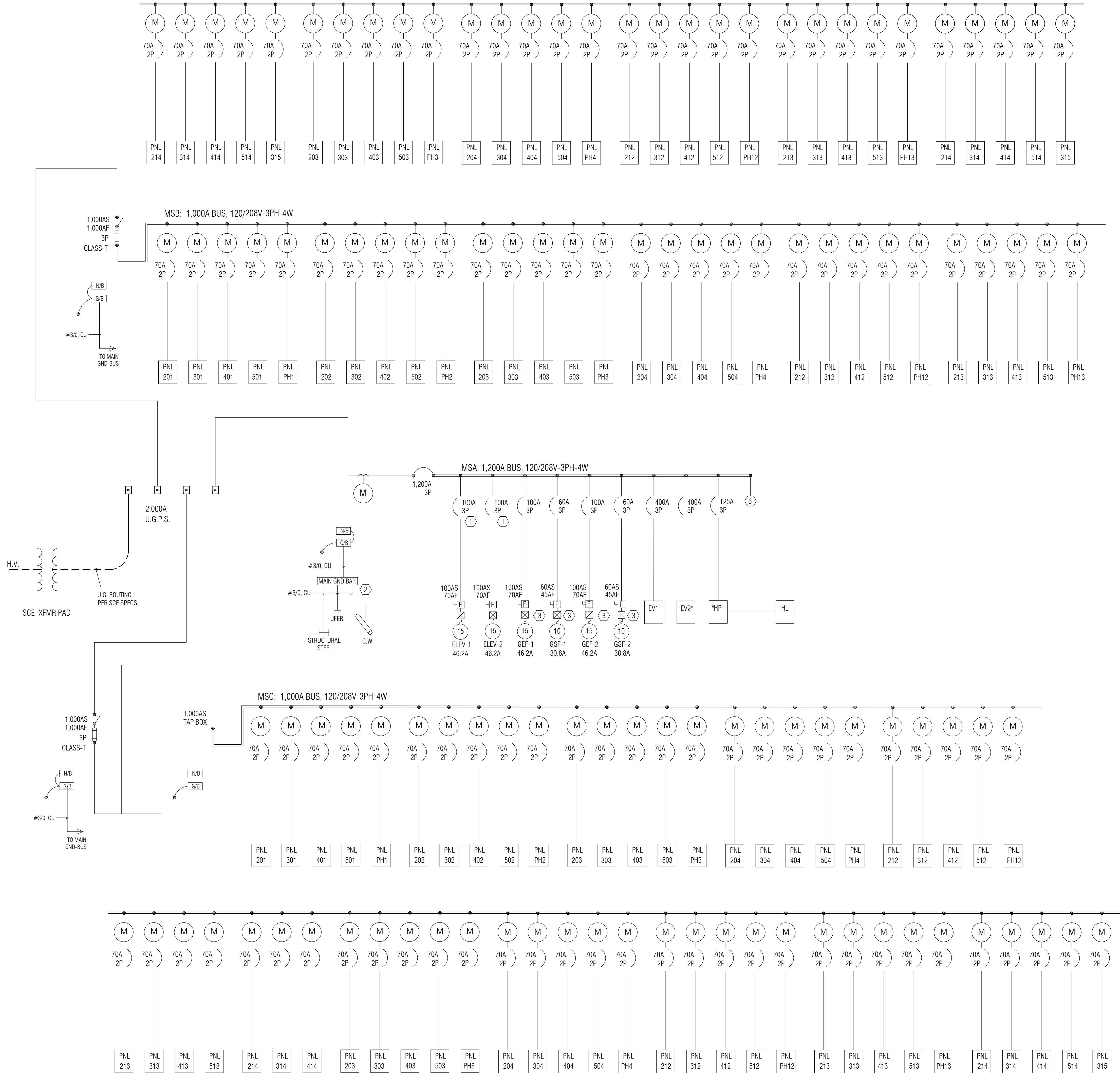
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M.T

CHECKED
SEPT. 2019

JOB
TT-190602

SHEET

E-01

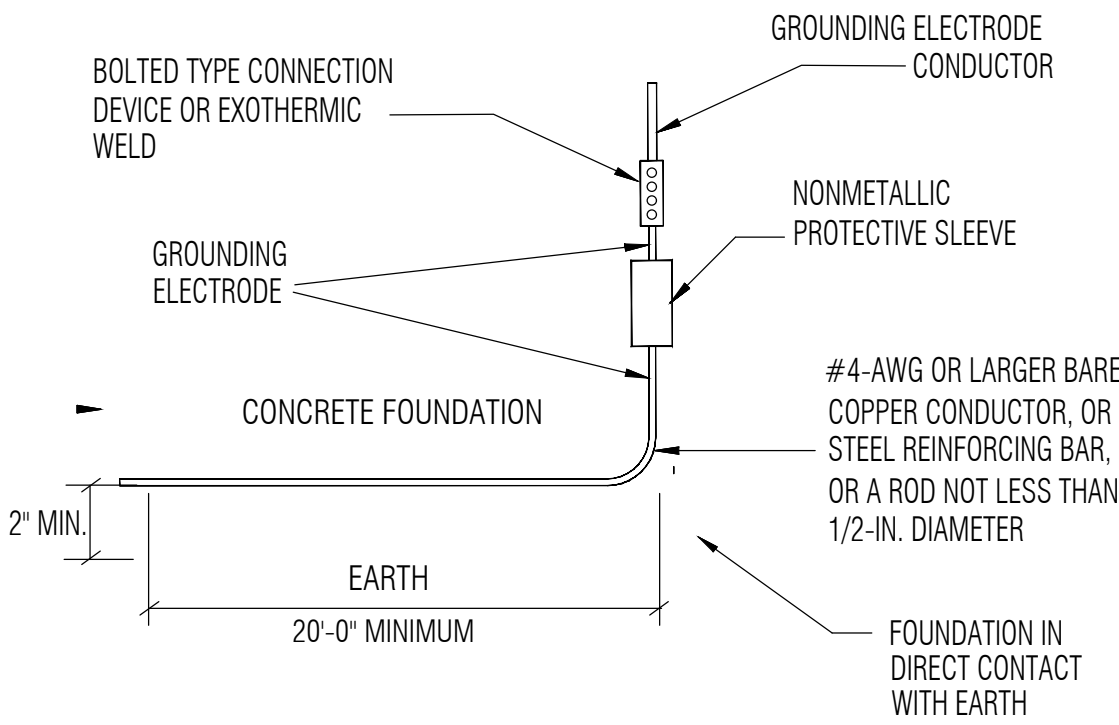


1-LINE SPECIFIC NOTES

1. PROVIDE A SHUNT-TRIP, BOLT-ON BREAKER WITH THE TYPE AND SETTING RECOMMENDED BY THE ELEVATOR MANUFACTURER. THE HEAT DETECTOR SENSOR IN THE ELEVATOR EQUIPMENT ROOM TO TRIP ELEVATOR BREAKER. THIS COINCIDES WITH FIRE ALARM SYSTEM IF REQUIRED BY STATE FIRE CODE.
2. PROVIDE GROUNDING ELECTRODE SYSTEM & GROUNDING ELECTRODE CONDUCTOR PER N.E.C. ARTICLE 250-50, AND SIZED PER NEC TABLE 250-66.
 - A. PRIMARY GROUND: USE MAIN COLD-WATER METAL UNDERGROUND PIPE WITH CONNECTION TO THE INTERIOR METAL WATER PIPING MADE WITHIN 5- FEET FROM THE POINT OF ENTRANCE.
 - B. SUPPLEMENTAL GROUND: ELECTRICAL CONTRACTOR TO INSTALL EITHER "UFFER" GROUNDING SYSTEM AS SPECIFIED ON THE DETAIL DRAWING, OR A "GROUNDING ROD SYSTEM" PER NEC 250.53/52. THE GROUNDING ROD SYSTEM SHALL INCLUDE MIN. OF TWO GROUNDING RODS 5/8" COPPER 8'-LONG MINIMUM EACH, AND SEPARATED BY SIX FEET WITH RESISTANCE TO GROUND NOT EXCEEDING 25-OHMS.
 - C. BOND ALL METALLIC PIPING OF THE BUILDING
 - D. INSTALL BUILDING GROUNDING ELECTRODE SYSTEM PER NEC-250 CODE.
 - E. ALL SWITCHBOARDS SHALL BE GROUNDED TO SAME GROUNDING ELECTRODE SYSTEM AND BONDED TO FUNCTION AS ONE.
3. ELECTRICAL CONTRACTOR TO COORDINATE WITH MECHANICAL CONTRACTOR FOR INTERLOCKING GARAGE EXHAUST FAN WITH CARBON MONOXIDE DETECTOR CONTROL PANEL.
4. PANEL BOARD AND BREAKERS TO BE FULLY RATED FOR xxKAIC.
5. PANEL BOARD AND BREAKERS TO BE SERIES RATED FOR MIN. xxKAIC. VERIFY SERIES-RATED BREAKER TYPE WITH MANUFACTURER.
6. CONTRACTOR TO INSTALL (2)1.0" CONDUITS AND TERMINATE THEM AT THE ROOF FOR THE FUTURE PHOTO-VOLTAIC INSTALLATION. CREATE A LOCATION THROUGH A COMMON WALL DIRECTLY ABOVE THE MAIN ELECTRICAL SWBD SWBD LOCATION, IF POSSIBLE.

1-LINE GENERAL NOTES

1. SHORT CIRCUIT RATING OF ALL ELECTRICAL EQUIPMENT, SWITCH-BOARDS, PANELBOARDS, AND SERVICE/METER-BORDS TO WITHSTAND AVAILABLE FAULT CURRENT INCLUDING MOTOR CONTRIBUTIONS. VERIFY WITH SERVING UTILITY COMPANY. CONTRACTOR IS RECOMMENDED TO USE "SIEMENS" MEETERING, SWTH-BOARDS, PANEL BOARDS, AND BREAKERS.
2. PROVIDE SEISMIC BRACING FOR ALL SERVICE EQUIPMENT, SWITCHBOARDS AND OTHER FLOOR STANDING EQUIPMENT BY INSTALLING APPROVED ANCHORS TO THE BUILDING STRUCTURE FROM EACH EQUIPMENT ENCLOSURE.
3. FURNISH ELECTRICAL EQUIPMENT OF THE SAME TYPE OR CLASS FROM ONE MANUFACTURER.
4. EQUIP ALL DISTRIBUTION FUSIBLE SWITCHES WITH REJECTION TYPE FUSE CLIPS FOR USE WITH CURRENT LIMITING, U.L. CLASS "R" FUSES.
5. PROVIDE CURRENT LIMITING FUSES FROM ONE MANUFACTURER.
6. EQUIP ALL FUSIBLE SWITCHES WITH PROVISIONS FOR LOCKING IN EITHER "ON" OR "OFF" POSITION.
7. PROVIDE GROUNDING ELECTRODE SYSTEM & GROUNDING ELECTRODE CONDUCTOR PER N.E.C. ARTICLE 250-50, AND SIZED PER NEC TABLE 250-66.
8. ALL FEEDER BREAKERS AND PANELS / LOAD CENTERS SHALL BE RATED FOR 75°C.
9. FOR SPECIFIED GROUND RODS, THERE SHALL BE TWO GROUND RODS SEPARATED BY SIX FEET. THE RESISTANCE TO GROUND NOT TO EXCEED 25-OHMS.
10. MOTOR CONTRIBUTION - SERIES RATING SHALL NOT BE USED WHERE
 - A. MOTORS ARE CONNECTED TO THE LOAD SIDE OF THE LOWER RATED
 - B. THE SUM OF THE MOTOR FULL LOAD CURRENTS EXCEEDS 1% OF DEVICE, AND
 - C. THE INTERRUPTING RATING OF THE LOWER RATED DEVICE.
11. THE ELECTRICAL EQUIPMENT SHALL BE LISTED BY A CITY OF POMONA RECOGNIZED ELECTRICAL TESTING LABORATORY OR APPROVED BY THE DEPARTMENT.



UFER GROUND DEYTAIL
N.T.S

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PRODUCT SAFETY

2550 HONOLULU AVE., #206
MONROSE, CA 91020
(818)219-7192 mb
(818)275-3888 wk
Robert@tomtecheng.com

REGISTERED PROFESSIONAL ENGINEER

No. E 13193
Exp: 09-30-2020

Electrician

State of California

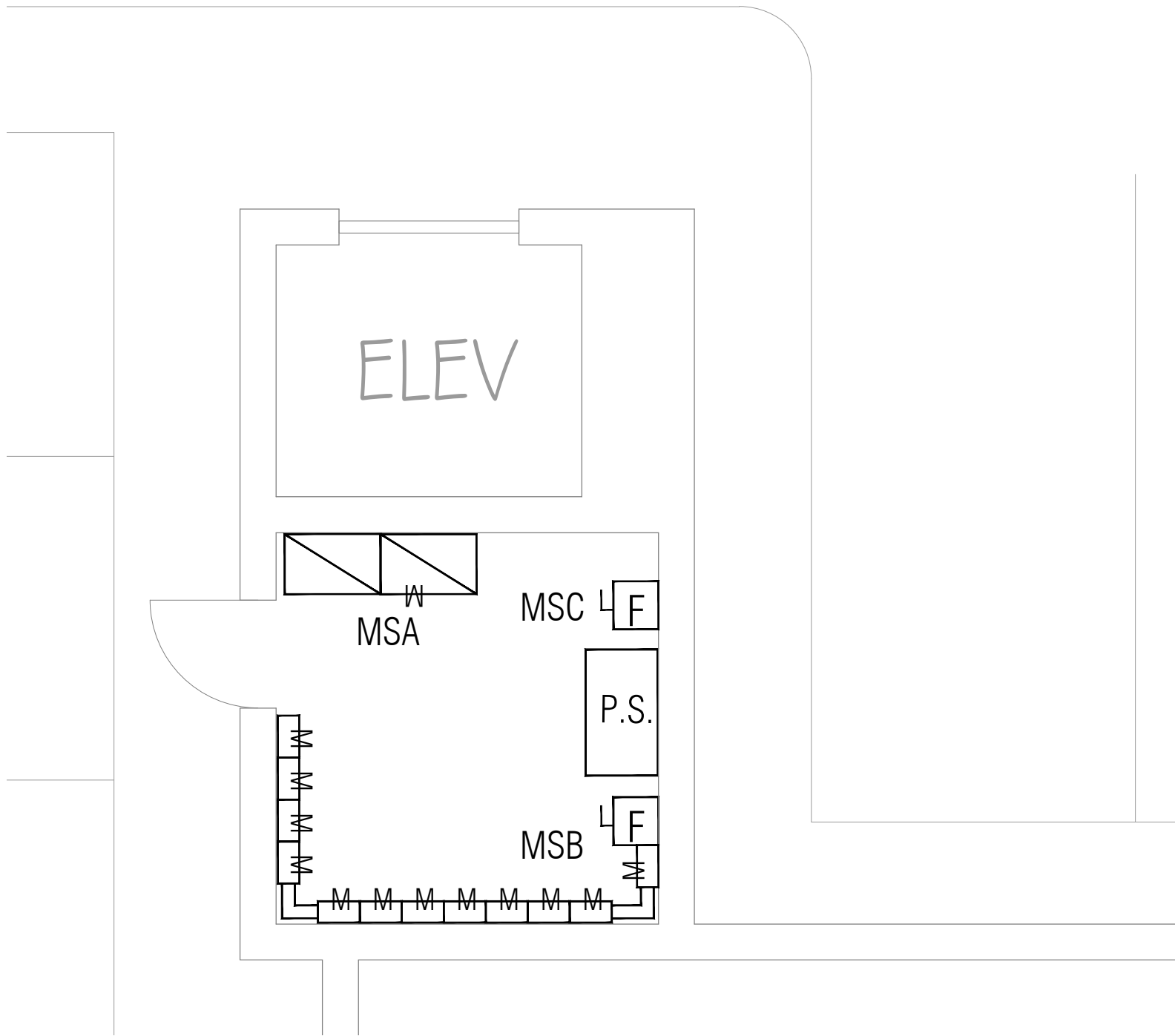
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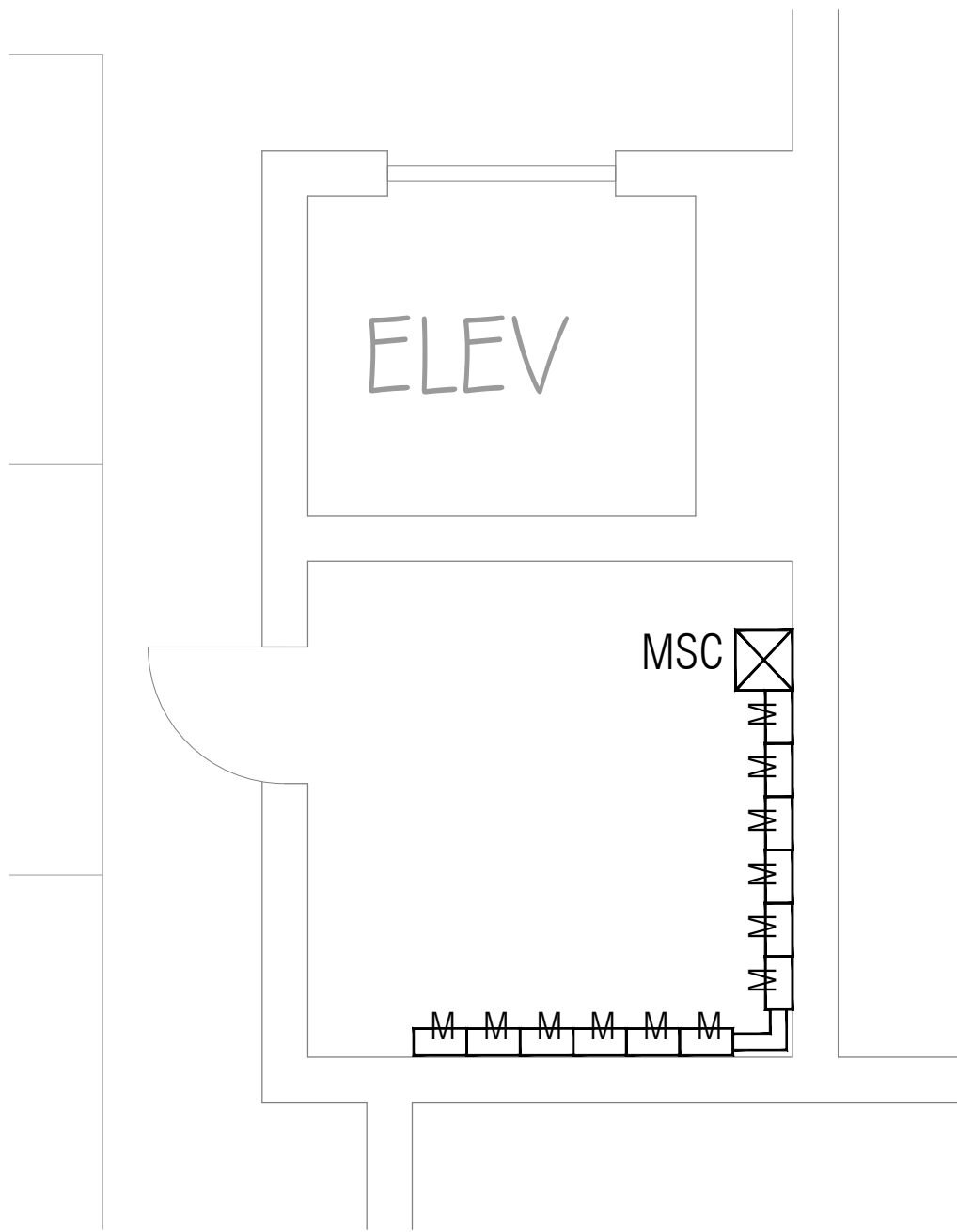
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pomona, ca 91767

// 909.625.3916
// cedgarchitects.com
// info@cedgarchitects.com

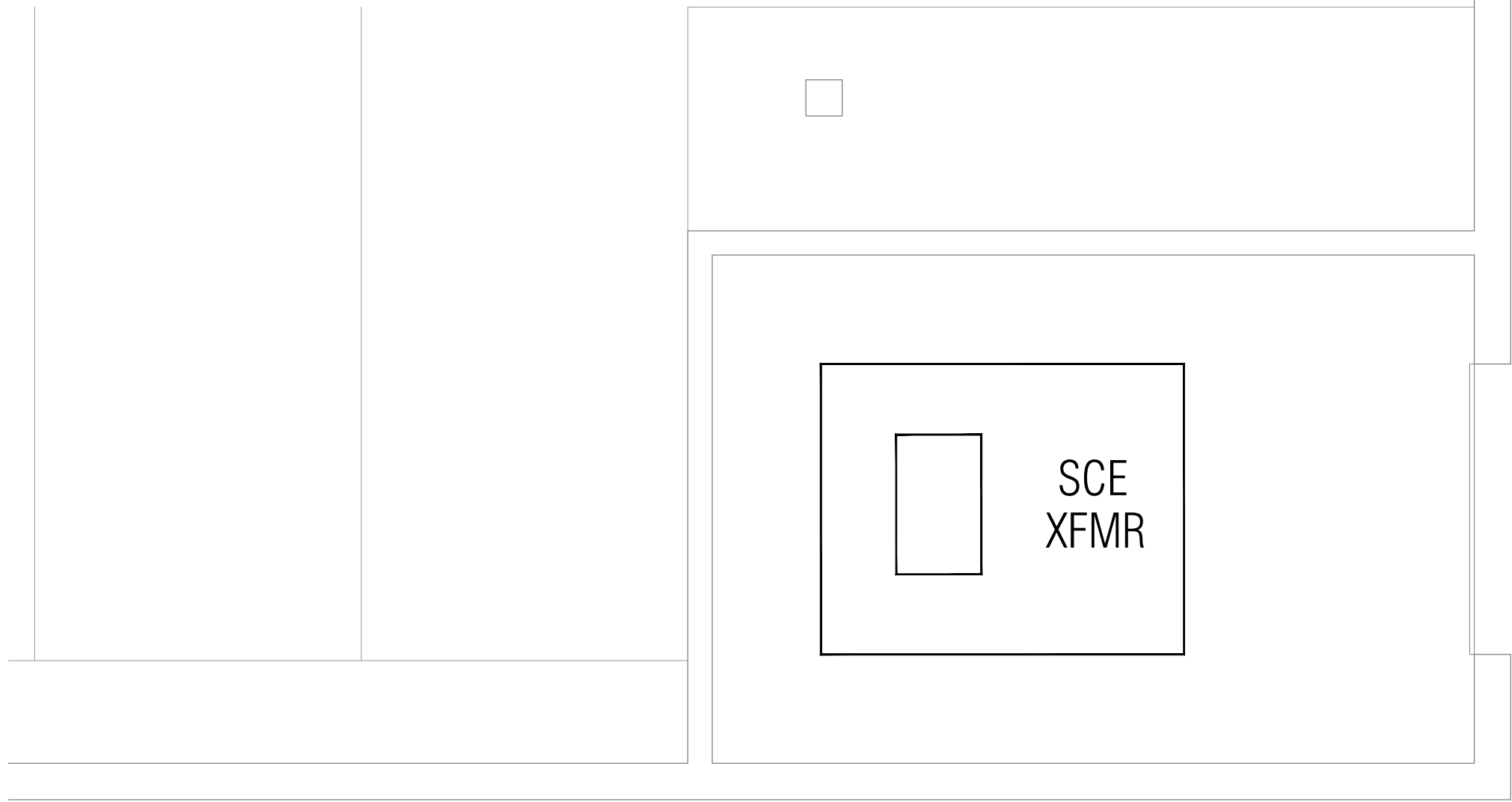
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JOB TITLE	2501 N. GAREY AVENUE POMONA, CA 91767
DRAWN M.T	<div><div></div></div>
CHECKED SEPT. 2019	
JOB TT-190602	
SHEET	E-02



ENLARGED MAIN ELECTRIC ROOM
1/4"=1'-0" GRADE LEVEL



ENLARGED REMOTE ELECTRIC ROOM
1/4"=1'-0" SUBTERRANEAN LEVEL



ENLARGED UTILITY TRANSFORMER
1/4"=1'-0" GRADE LEVEL

MAGNOLIA ST.

SCOPE OF WORK

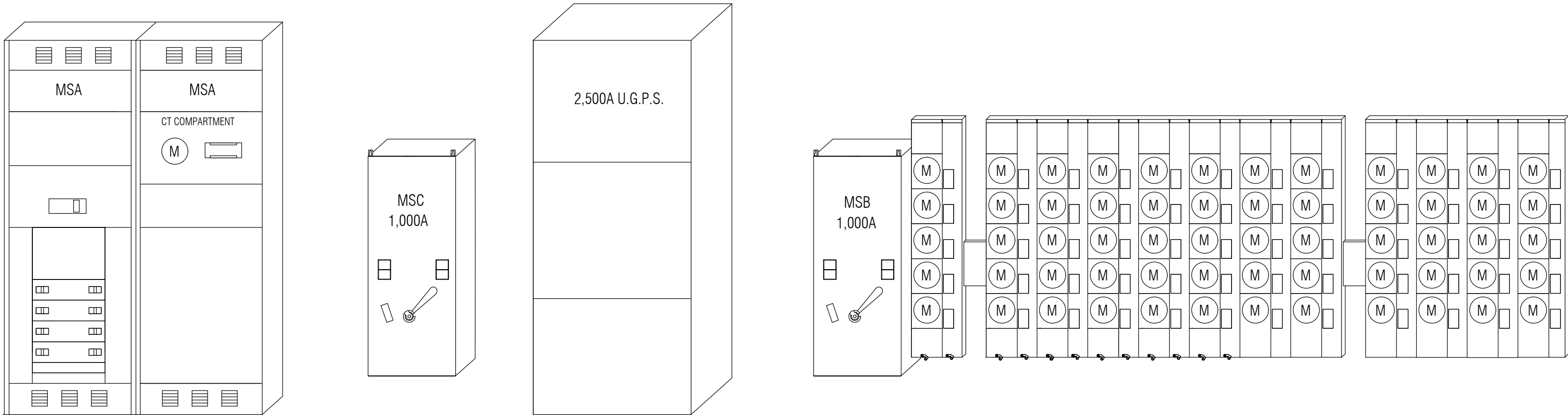
THESE ELECTRICAL DRAWINGS AND SPECIFICATIONS ARE INTENDED TO FACILITATE CONTRACTOR'S WORK WHICH INCLUDES FURNISHING ALL LABOR, MATERIAL, TOOLS, AND EQUIPMENT FOR INSTALLING A SAFE AND FUNCTIONAL LIGHTING, POWER , AND ENERGY MANAGEMENT SYSTEM PER STATE AND LOCAL CODES AND REQUIREMENTS FOR A NEW, FULLY SPRINKLERED, 5-STORY, 117-UNIT MULTIDWELLING WITH A SUBTERRANEAN AND GRADE LEVEL PARKING GARAGES.

MSB @ 120/208V-3PH, 4W					
QTY	DESCRIPTION OF AREA or EQUIPMENT	AREA (SQFT)	(VA)/PER (SQFT)	(VA)/PER EQPMT	TOTAL LOAD(VA)
1	DWELLING GEN. LIGHTING	40598	3		121794
60	LAUNDRY			1500	90000
60	SMALL APPLIANCES			3000	180000
60	GARBAGE DISP.			870	52200
60	DISHWASHER			1200	72000
60	EXHAUST FANS			250	15000
60	MICROWAVE/HOOD			1500	90000
60	ELECTRIC COOKING (NOT USED)			8000	480000
42	H/P-1 (SPLIT)			3536	148512
18	H/P-2 (SPLIT)			3536	63648
60	F/C-1			400	24000
TOTAL					1337154
@24% DEMAND					320917
@ 120/208-3PH					891 AMP

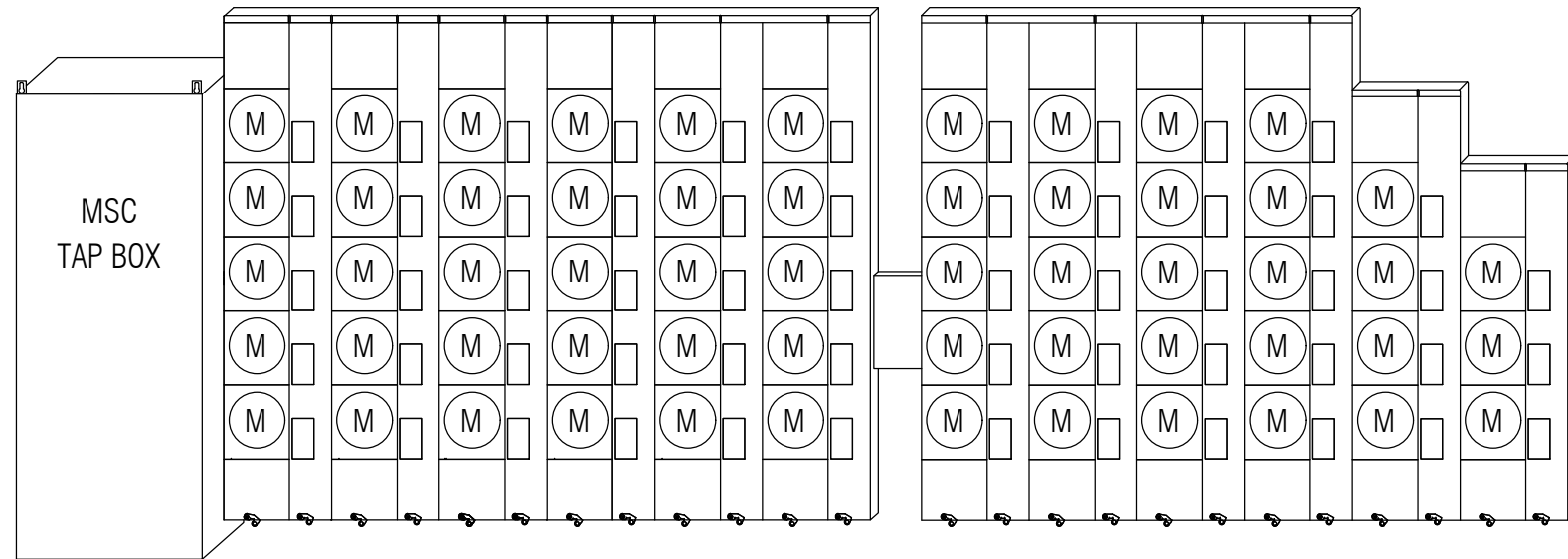
MSC @ 120/208V-3PH, 4W					
QTY	DESCRIPTION OF AREA or EQUIPMENT	AREA (SQFT)	(VA)/PER (SQFT)	(VA)/PER EQPMT	TOTAL LOAD(VA)
1	DWELLING GEN. LIGHTING	48240	3		144720
57	LAUNDRY			1500	85500
57	SMALL APPLIANCES			3000	171000
57	GARBAGE DISP.			870	49500
57	DISHWASHER			1200	68400
57	EXHAUST FANS			250	14250
57	MICROWAVE/HOOD			1500	85500
57	ELECTRIC COOKING (NOT USED)			8000	456000
21	H/P-1			3536	74256
36	H/P-2			3536	127296
57	F/C-1			400	22800
TOTAL					1299312
@24% DEMAND					311835
@ 120/208-3PH					866 AMP

MSA @ 120/208V-3PH, 4W		
DESCRIPTION	LOAD (VA)	
MAIN HOUSE PANEL "HP"	45000	
EV CHARGE PANEL "EV1"	99840	
EV CHARGE PANEL "EV2"	99840	
15HP GEF-1	16632	
10HP GSF-1	11088	
15HP GEF-2	16632	
10HP GSF-2	11088	
15HP ELEVATOR-1	16632	
15 HP ELEVATOR-2	16632	
TOTAL	333384	
25% OF LARGEST MOTOR	4158	
TOTAL	337542	
@ 120/208V-3PH	938	AMP

2500A PULL BOX: @ 120/208V-3PH, 4W					
QTY	DESCRIPTION OF AREA or EQUIPMENT	AREA (SQFT)	(VA) PER (SQFT)	(VA) PER EQPMT	TOTAL LOAD(VA)
1	DWELLING GEN. LIGHTING	88838	3		145278
117	LAUNDRY			1500	120000
117	SMALL APPLIANCES			3000	240000
117	GARBAGE DISP.			870	69600
117	DISHWASHER			1200	96000
117	MAX (2) 75VA EXHAUST FANS			875	70000
117	MICROWAVE/HOOD			1500	120000
117	ELECTRIC COOKING (NOT USED)			8000	640000
63	H/P-1			2288	98384
54	H/P-2			2912	107744
117	F/C-1			400	32000
SUBTOTAL					1739006
TOTAL RESIDENTIAL @23% DEMAND					399971
"MSA"					337542
TOTAL					737513
@ 120/208-3PH					2049 AMP



MAIN ELECTRIC ROOM ELEVATION
N.T.S.



REMOTE ELECTRIC ROOM ELEVATION
N.T.S.

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2550 HONOLULU AVE., #206

MONTEROSE, CA 91020

(818)219-7192 mob

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CEDGARARCHITECTS

ARCHITECTURE //

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LANDSCAPE //

// 401 e. columbia ave.

pomona, ca 91767

// 909.625.3916

// cedgararchitects.com

// info@cedgararchitects.com

SHEET TITLE

SERVICE ELEVATION

JOB TITLE

2501 N. GAREY AVENUE

POMONA, CA 91767

DRAWN

MT

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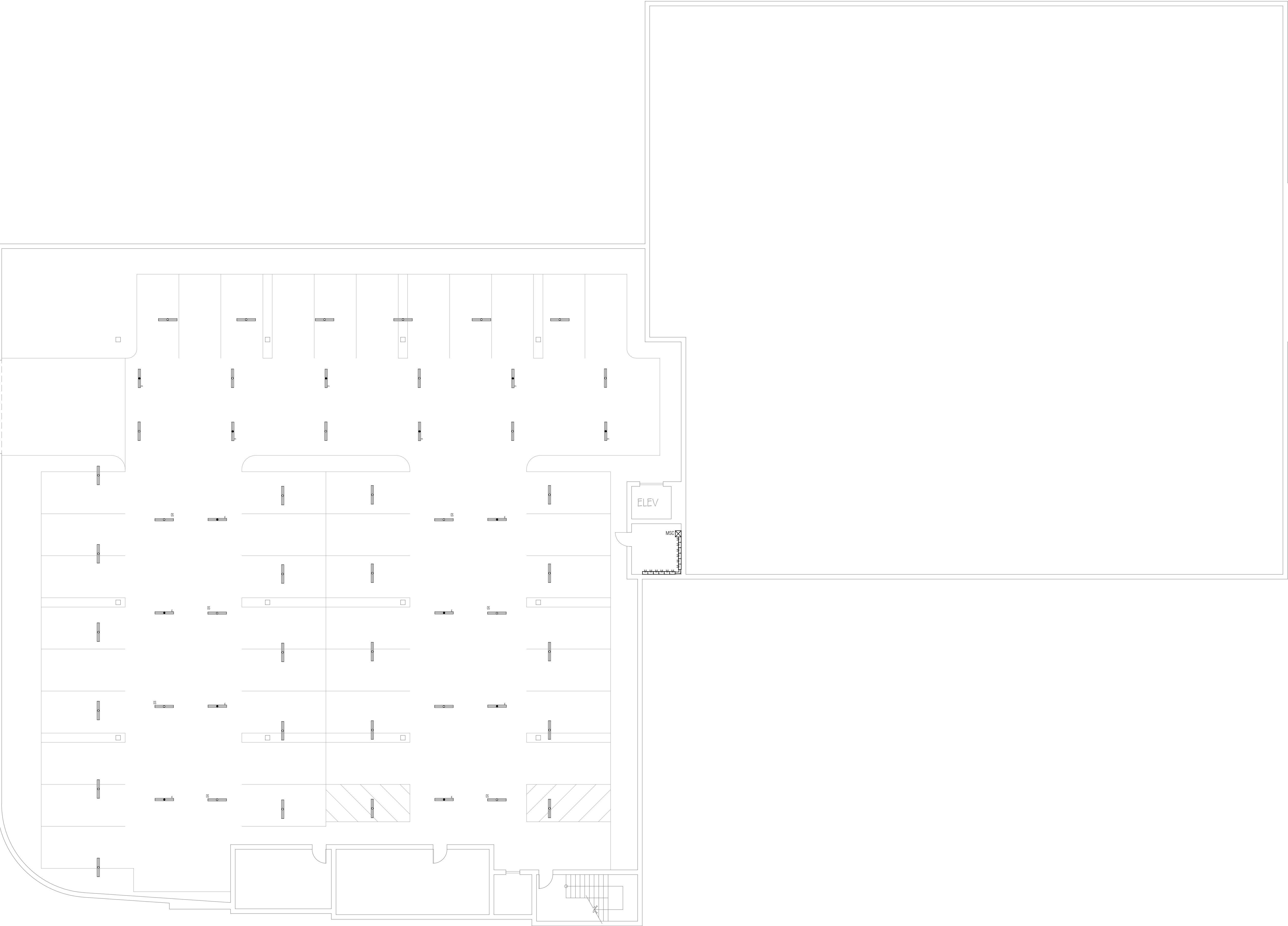
SEPT. 2019

JOB

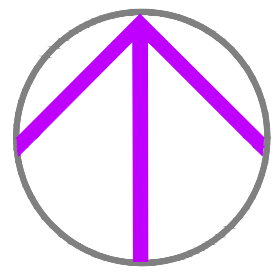
TT-190602

SHEET

E-03



SUBTERRANEAN PARKING
3/32" = 1'-0"

SHEET TITLE		SUBTERRANEAN PARKING LAYOUT		DATE		ISSUED FOR		DATE		REVISIONS	
JOB TITLE		2501 N. GAREY AVENUE POMONA, CA 91767									
		DRAWN		MT							
		CHECKED		SEPT. 2019							
		JOB		TT-190602							
		SHEET									
		E-05									

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2550 HONOLULU AVE., #206
MONTROSE, CA 91020
(818)219-7192 mib
(818)275-3888 wk
Robert@TomTecheng.com

REGISTERED PROFESSIONAL ENGINEER

No. E 13193

Exp: 09-30-2020

Electrical

State of California

CEDGARCHITECTS

ARCHITECTURE //

BUILD //

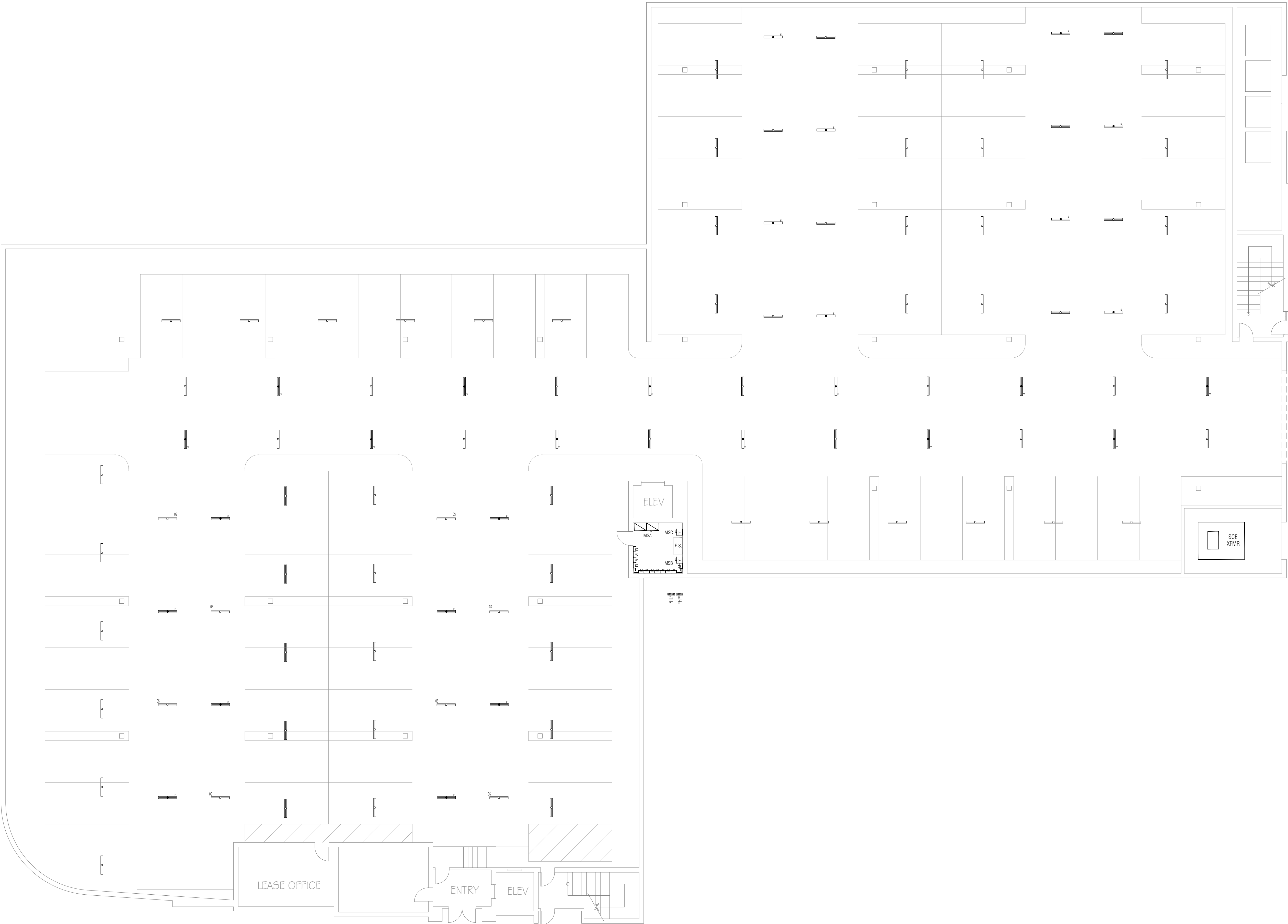
LANDSCAPE //

// 401 e. columbia ave.
pomona, ca 91767

// 909.625.3916

// cedgarchitects.com

// info@cedgarchitects.com



1ST FLOOR PARKING
3/32" = 1'-0"

SHEET TITLE	FIRST FLOOR PARKING LAYOUT	JOB TITLE	2501 N. GAREY AVENUE POMONA, CA 91767	DATE	ISSUED FOR	DATE	REVISIONS

TomTech

ENGINEERING INC.

ELECTRICAL CONSULTING

FIRE LIFE SAFETY

PRODUCT SAFETY

2550 HONOLULU AVE., #206
MONTROSE, CA 91020
(818)219-7192 mib
(818)275-3888 wk
Robert@TomTecheng.com

REGISTERED PROFESSIONAL ENGINEER

No. E 13193

Exp: 09-30-2020

Electrical

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ARCHITECTURE //
BUILD //
LANDSCAPE //

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pomona, ca 91767
// 909.625.3916
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// info@cedgarchitects.com

DRAWN
MT

CHECKED
SEPT. 2019

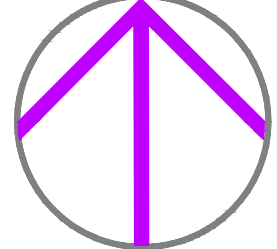
JOB
TT-190602

SHEET
E-06



2ND-4TH FLOOR
3/32" = 1'-0"

SHEET TITLE		JOB TITLE	
2ND-4TH FLOOR LAYOUTS		2501 N. GAREY AVENUE POMONA, CA 91767	



DRAWN
M.T

CHECKED
SEPT. 2019

JOB
TT-190602

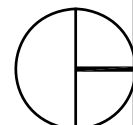
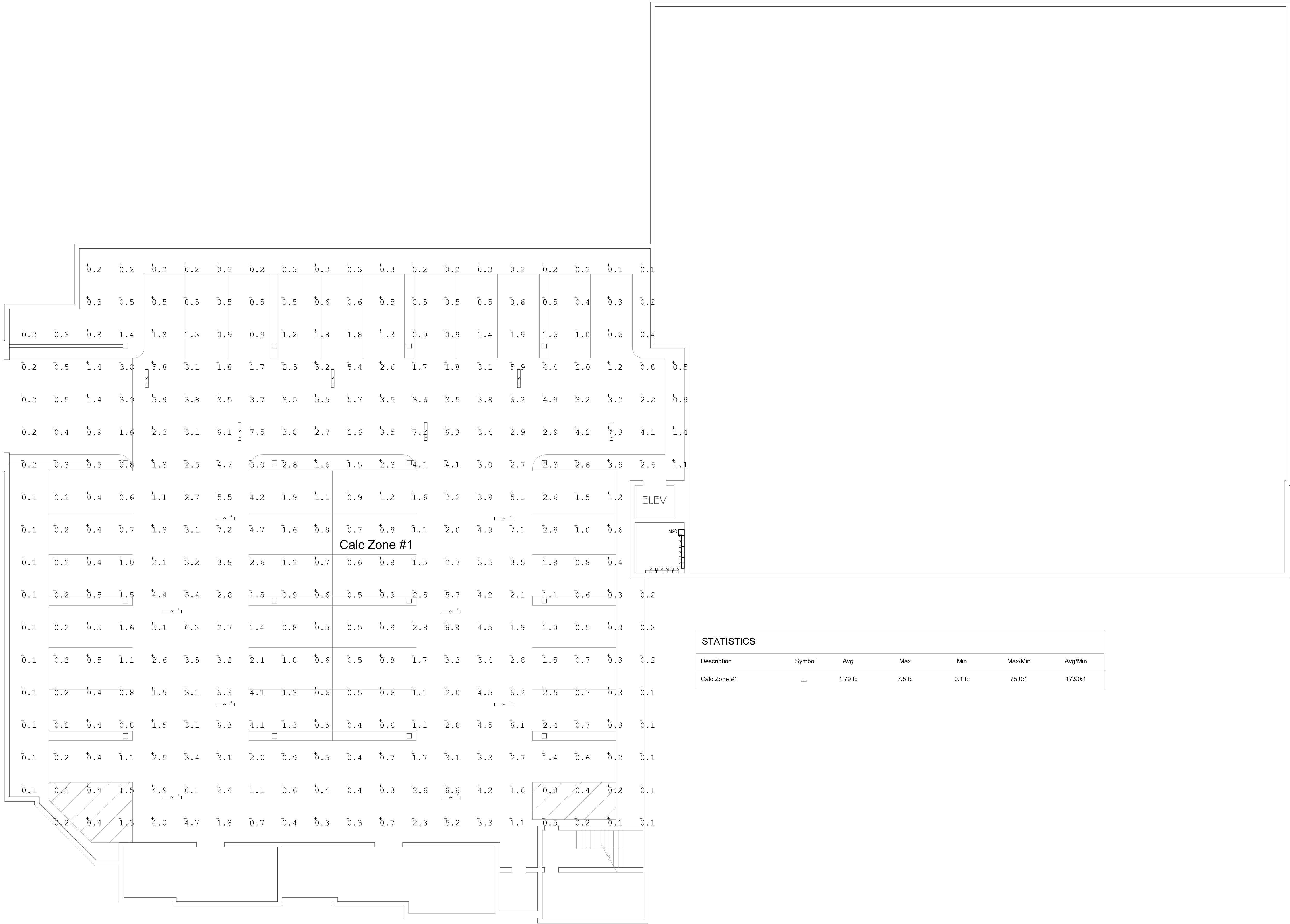
SHEET
E-07

TomTech
ENGINEERING INC.
ELECTRICAL CONSULTING
FIRE LIFE SAFETY
PRODUCT SAFETY
2550 HONOLULU AVE., #206
MONTROSE, CA 91020
(818)219-7192 mtd
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Robert@TomTecheng.com

REGISTERED PROFESSIONAL ENGINEER
No. E 13193
Exp: 09-30-2020
Electrical
State of California

CEDGARCHITECTS
ARCHITECTURE //
BUILD //
LANDSCAPE //
401 e. columbia ave.
pomona, ca 91767
909.625.3916
cedgarchitects.com
info@cedgarchitects.com

DATE	ISSUED FOR	DATE	REVISIONS



LOWER
GARAGE
PHOTOMETRIC
PLAN

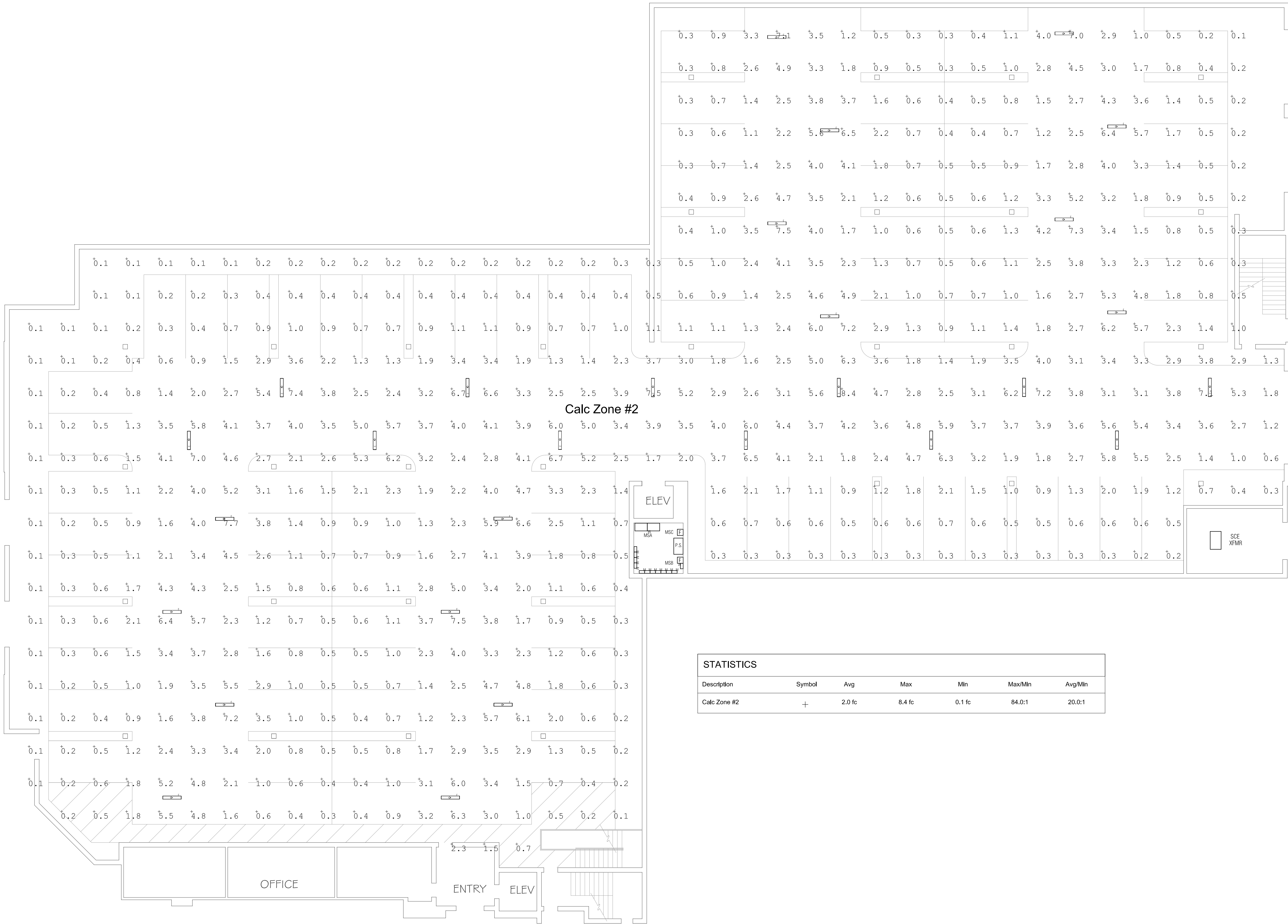
REVISIONS

△	1ST PLANNING SUBMISSION
△	5/27/2020 PLANNING
△	7/10/2020 PLANNING

DATE:	12 / 17 / 2019
SCALE:	AS NOTED
JOB NO:	180904
DWN BY:	CCW
CHK BY:	EGP

SHEET NO.

PM-1



Calc Zone #2

ELEV
MSA
MSC
P.S.
MSB

SCE
XFMR

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	2.0 fc	8.4 fc	0.1 fc	84.0:1	20.0:1

1 STREET LEVEL GARAGE PHOTOMETRIC PLAN
3/32" = 1'-0"

0 5 10 20(FT)

CEDARCHITECTS

ARCHITECTURE //
BUILD //
LANDSCAPE //

// 401 e. columbia ave.
pomona, ca 91767

// 909.625.3916
// cedgarchitects.com
// info@cedgarchitects.com

STAMP



CONSULTANTS

PROJECT

LANDMARK GOLDLINE
2501 N. GAREY AVENUE
POMONA, CA 91767

APPLICANT

LANDMARK WEST ENTERPRISES
3712 W JEFFERSON BLVD.# 200
LOS ANGELES, CA 90016

STREET LEVEL
GARAGE
PHOTOMETRIC
PLAN

REVISIONS

△	1ST PLANNING SUBMISSION
△	5/27/2020 PLANNING
△	7/10/2020 PLANNING

DATE: 12 / 17 / 2019
SCALE: AS NOTED
JOB NO: 180904
DWN BY: CCW
CHK BY: EGP

SHEET NO.

PM-2

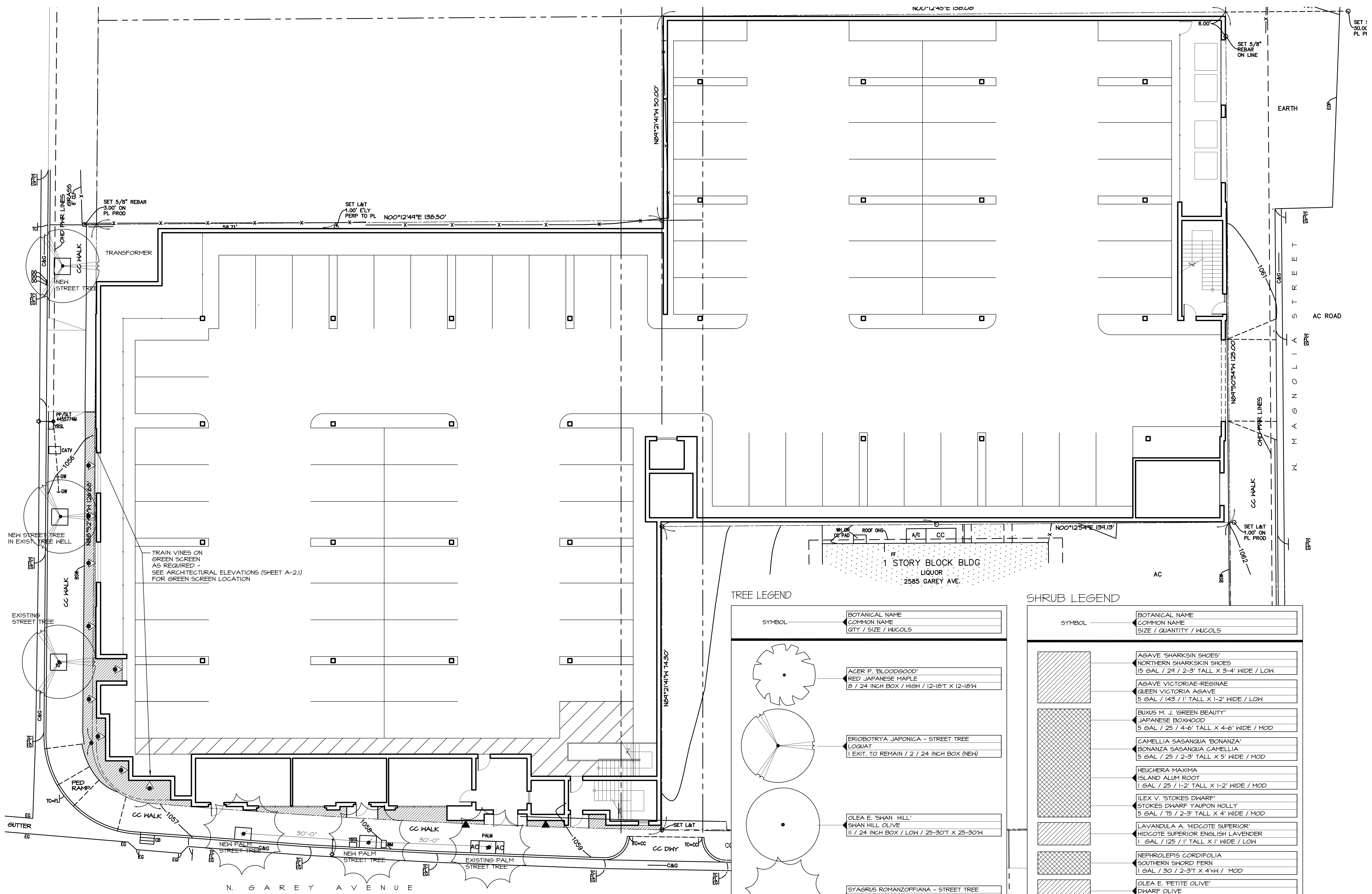
OWNER:
LANDMARK WEST ENTERPRISES
3712 W JEFFERSON BLVD. #200
LOS ANGELES, CA. 90016

PROJECT:
LANDMARK GOLDLINE
GAREY AVENUE
POMONA, CA.

These drawings are not final and shall not be used for construction purposes until signed by Susan E. McEwen, Landscape Architect #2180. These plans and all contained thereon are original, unpublished work and may not be duplicated, published or used in whole or part without prior written consent by Susan E. McEwen.

SHEET TITLE:
PRELIMINARY
LANDSCAPE PLAN
GROUND FLOOR

START DATE	MARCH 15, 2020
REVISION DATE	SITE PLAN 5 / 26 / 2020
REVISION DATE	REV. 01
REVISION DATE	REV. 02
REVISION DATE	REV. 03
REVISION DATE	REV. 04
REVISION DATE	REV. 05
REVISION DATE	REV. 06
REVISION DATE	REV. 07
REVISION DATE	REV. 08
REVISION DATE	REV. 09
REVISION DATE	REV. 10
REVISION DATE	REV. 11
REVISION DATE	REV. 12
REVISION DATE	REV. 13
REVISION DATE	REV. 14
REVISION DATE	REV. 15
REVISION DATE	REV. 16
REVISION DATE	REV. 17
REVISION DATE	REV. 18
REVISION DATE	REV. 19
REVISION DATE	REV. 20
REVISION DATE	REV. 21
REVISION DATE	REV. 22
REVISION DATE	REV. 23
REVISION DATE	REV. 24
REVISION DATE	REV. 25
REVISION DATE	REV. 26
REVISION DATE	REV. 27
REVISION DATE	REV. 28
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REVISION DATE	REV. 96
REVISION DATE	REV. 97
REVISION DATE	REV. 98
REVISION DATE	REV. 99
REVISION DATE	REV. 100



IRRIGATION NOTES:
AUTOMATIC IRRIGATION WILL BE PROVIDED FOR ALL PLANTING BEDS USING DRIP IRRIGATION, DEEP ROOT BUBBLERS TO EACH TREE ON SEPARATE VALVES, AND A WEATHER BASED CONTROLLER WITH A RAIN SENSOR SHUT OFF. IRRIGATION WILL COMPLY WITH STATE WATER EFFICIENT LANDSCAPE STANDARDS.

LANDSCAPE AREA:
SITE AREA: 37,556 SF
OPEN SPACE PROVIDED: 8,148 SF
PERCENTAGE OF OPEN SPACE: 21.7%
LANDSCAPED AREA PROVIDED: 3,912 SF
PERCENTAGE OF LANDSCAPE OF TOTAL SITE: 10.5%
PERCENTAGE OF LANDSCAPE OF OPEN SPACE: 44.8%

SYMBOL	BOTANICAL NAME COMMON NAME QTY / SIZE / HUCOLS
[Pattern]	CAMPANULA POSCHARSKYANA SERBIAN BELLFLOWER FLATS / PLANT @ 12" O.G. / MOD
[Pattern]	3" MULCH IN ALL PLANTERS
[Pattern]	SAFETY PLAY SURFACE UNDER TOT LOT
[Pattern]	DECORATIVE PAVING TO BE SELECTED

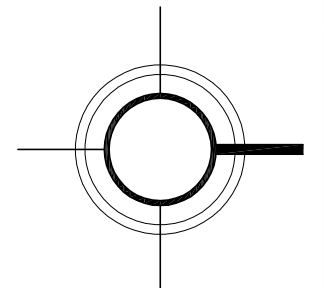
SYMBOL	BOTANICAL NAME COMMON NAME QTY / SIZE / HUCOLS
[Symbol]	ACER P. 'BLOODGOOD' RED JAPANESE MAPLE 8 / 24 INCH BOX / HIGH / 12-18" T X 12-18" W
[Symbol]	ERIOBOTRYA JAPONICA - STREET TREE LOQUAT 1 EXIST. TO REMAIN / 2 / 24 INCH BOX (NEW)
[Symbol]	OLEA E. 'SWAN HILL' SWAN HILL OLIVE 11 / 24 INCH BOX / LOW / 25-30" T X 25-30" W
[Symbol]	SYAGRUS ROMANZOFFIANA - STREET TREE QUEEN PALM 1 EXIST. TO REMAIN / 2 / 24 INCH BOX (NEW)

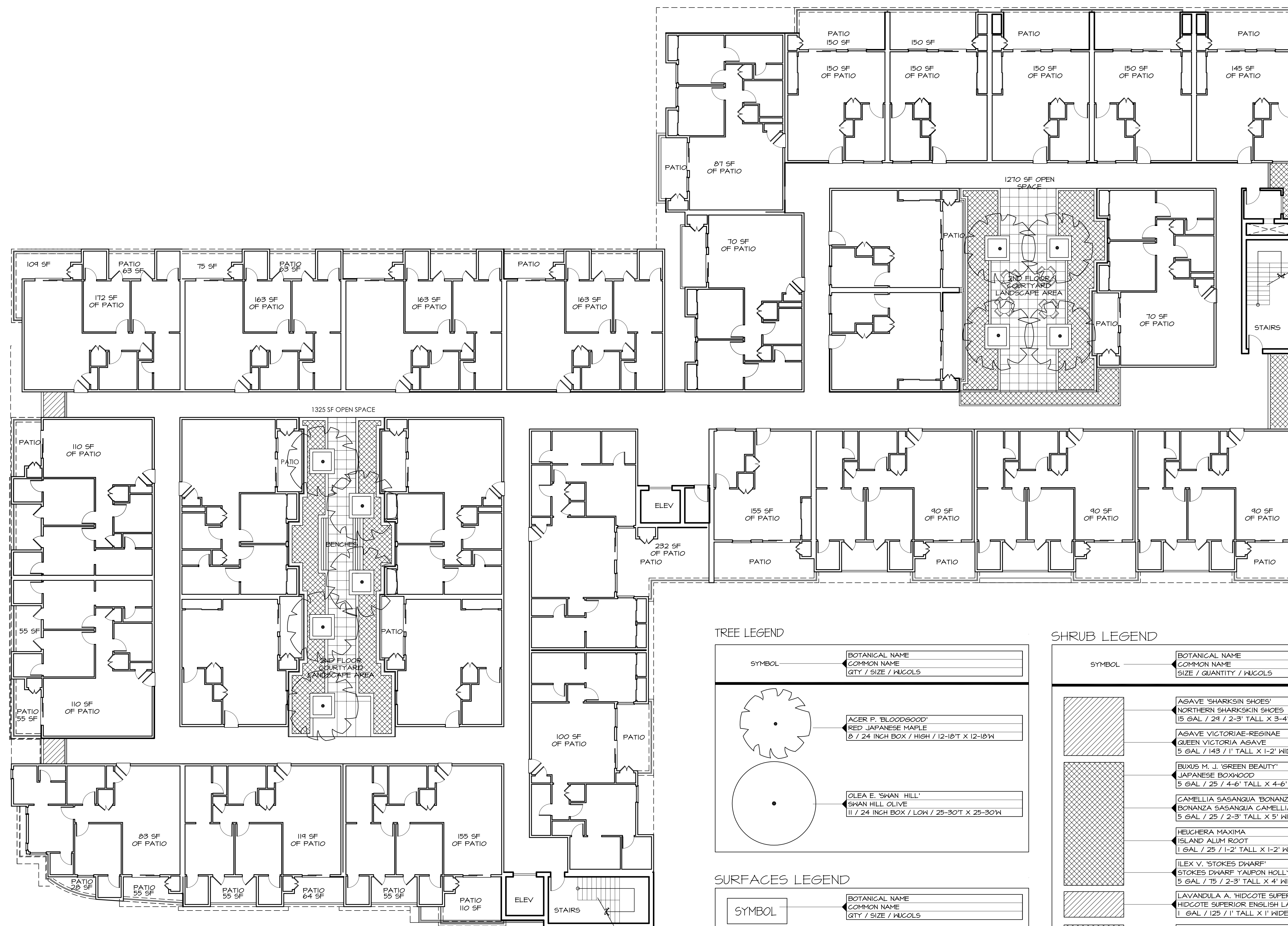
SYMBOL	BOTANICAL NAME COMMON NAME QTY / SIZE / HUCOLS
[Symbol]	BOISAINVILLEA SPP BOISAINVILLEA - TRAIN ON GREEN SCREEN 8 / 15 GAL / 18" T X 18" W / LOW
[Symbol]	HARDENBERGIA VIOLACEA LILAC VINE - TRAIN ON WIRE FRAME 2 / 15 GAL / 18" T X 18" W / LOW

SYMBOL	BOTANICAL NAME COMMON NAME QTY / SIZE / HUCOLS
[Symbol]	AGAVE 'SHARKSKIN SHOES' NORTHERN SHARKSKIN SHOES 15 GAL / 24 / 2-3' TALL X 3-4' WIDE / LOW
[Symbol]	AGAVE VICTORIAE-REGINAE QUEEN VICTORIA AGAVE 5 GAL / 143 / 1' TALL X 1-2' WIDE / LOW
[Symbol]	BUXUS M. J. 'GREEN BEAUTY' JAPANESE BOXWOOD 5 GAL / 25 / 4-6' TALL X 4-6' WIDE / MOD
[Symbol]	CAMELLIA SASANGUA 'BONANZA' BONANZA SASANGUA CAMELLIA 5 GAL / 25 / 2-3' TALL X 5' WIDE / MOD
[Symbol]	HEUCHERA MAXIMA ISLAND ALUM ROOT 1 GAL / 25 / 1-2' TALL X 1-2' WIDE / MOD
[Symbol]	ILEX V. 'STOKES DHARF' STOKES DHARF YAUPOH HOLLY 5 GAL / 75 / 2-3' TALL X 4' WIDE / MOD
[Symbol]	LAVANDULA A. 'HIDCOTE SUPERIOR' HIDCOTE SUPERIOR ENGLISH LAVENDER 1 GAL / 125 / 1' TALL X 1' WIDE / LOW
[Symbol]	NEPHROLEPIS CORDIFOLIA SOUTHERN SWORD FERN 1 GAL / 30 / 2-3' TALL X 4" WIDE / MOD
[Symbol]	OLEA E. 'PETITE OLIVE' DHARF OLIVE 5 GAL / 26 / 4" TALL X 4" WIDE / LOW
[Symbol]	OPHIOPOGON P. VAR. NIGRESCENS BLACK MONDO GRASS 1 GAL / 100 / 6" TALL X 6" WIDE / MOD
[Symbol]	SALVIA LEUCANTHA 'SANTA BARBARA' COMPACT MEXICAN BUSH SAGE 5 GAL / 22 / 2-3' TALL X 3-4' WIDE / LOW
[Symbol]	WESTRIGNIA F. 'LOW HORIZON' LOW HORIZON WESTRIGNIA 5 GAL / 222 / 1' TALL X 2' WIDE / LOW
[Symbol]	WESTRIGNIA F. 'MINDI' LOW COAST ROSEMARY 5 GAL / 75 / 2-3' TALL X 4-6' WIDE / LOW


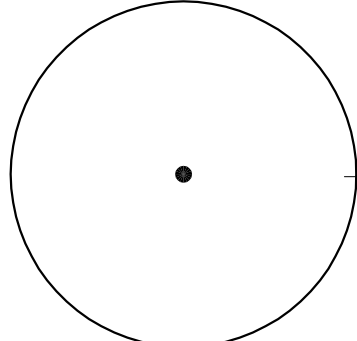
PRELIMINARY LANDSCAPE GROUND FLOOR

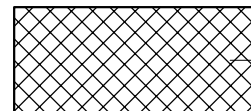


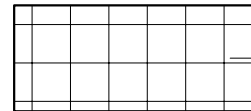
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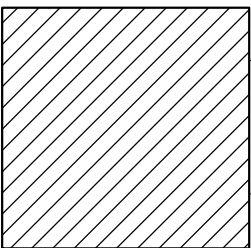
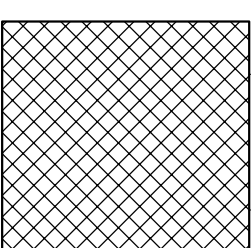
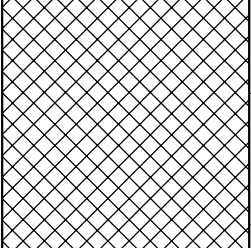
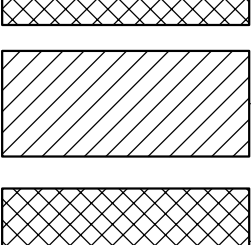
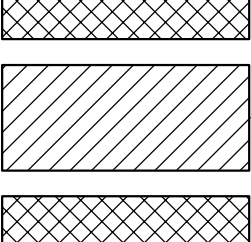
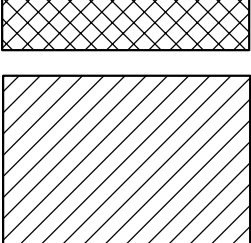
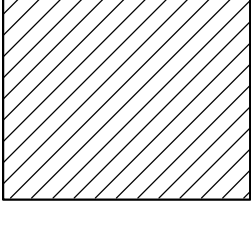
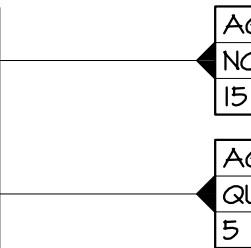
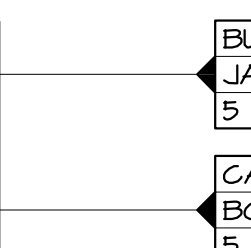
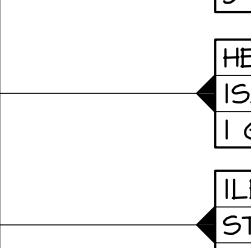
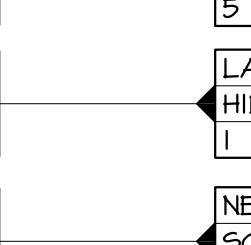
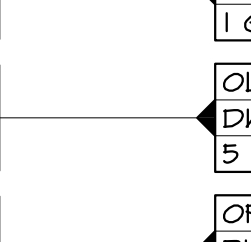
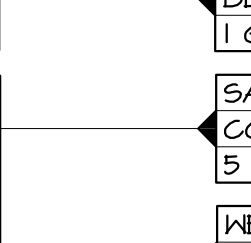




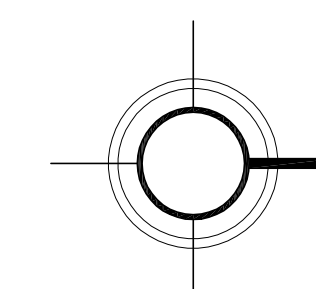
AUTOMATIC IRRIGATION WILL BE PROVIDED FOR ALL PLANTING BEDS USING DRIP IRRIGATION, DEEP ROOT BUBBLERS TO EACH TREE ON SEPARATE VALVES, AND A WEATHER BASED CONTROLLER WITH A RAIN SENSOR SHUT OFF. IRRIGATION WILL COMPLY WITH STATE WATER EFFICIENT LANDSCAPE STANDARDS.

SYMBOL	BOTANICAL NAME COMMON NAME QTY / SIZE / WUGOLS
	ACER P. 'BLOODGOOD' RED JAPANESE MAPLE 8 / 24 INCH BOX / HIGH / 12-18" X 12-18"
	OLEA E. 'SHAN HILL' SHAN HILL OLIVE 11 / 24 INCH BOX / LOW / 25-30" X 25-30"

SYMBOL		BOTANICAL NAME COMMON NAME QTY / SIZE / M/COLS
		CAMPANULA POSCHARSKYANA SERBIAN BELLFLOWER FLATS / PLANT @ 12" O.C. / MOD
		3" MULCH IN ALL PLANTERS
		SAFETY PLAY SURFACE UNDER TOT LOT
		DECORATIVE PAVING TO BE SELECTED

SYMBOL		BOTANICAL NAME
		COMMON NAME
		SIZE / QUANTITY / WUGOLS
	AGAVE 'SHARKSKIN SHOES'	NORTHERN SHARKSKIN SHOES
	15 GAL / 2'4" / 2-3" TALL X 3-4" WIDE / LOW	
	AGAVE VICTORIAE-RESINAE	QUEEN VICTORIA AGAVE
	5 GAL / 143" / 1" TALL X 1-2" WIDE / LOW	
	BUXUS M. J. 'GREEN BEAUTY'	JAPANESE BOXWOOD
	5 GAL / 25" / 4-6" TALL X 4-6" WIDE / MOD	
	CAMELLIA SASANGUA 'BONANZA'	BONANZA SASANGUA CAMELLIA
	5 GAL / 25" / 3-3" TALL X 5" WIDE / MOD	
	HEUCHERA MAXIMA	ISLAND ALUM ROOT
	1 GAL / 25" / 1-2" TALL X 1-2" WIDE / MOD	
	ILEX V. 'STOKES DWARF'	STOKES DWARF YALPOU HOLLY
	5 GAL / 75" / 2-3" TALL X 4" WIDE / MOD	
	LAVANDULA A. 'HIDCOTE SUPERIOR'	HIDCOTE SUPERIOR ENGLISH LAVENDER
	1 GAL / 125" / 1" TALL X 1" WIDE / LOW	
	NEPHROLEPIS CORDIFOLIA	SOUTHERN SWORD FERN
	1 GAL / 30" / 2-3" X 4" W. / MOD	
	OLEA E. 'PETITE OLIVE'	DWARF OLIVE
	5 GAL / 60" / 4" X 4" W. / LOW	
	OPHIOPOGON P. VAR. NIGRESCENS	BLACK MONDO GRASS
	1 GAL / 100" / 6" TALL X 6" WIDE / MOD	
	SALVIA LEUCANTHA 'SANTA BARBARA'	COMPACT MEXICAN BUSH SAGE
	5 GAL / 22" / 2-3" TALL X 3-4" WIDE / LOW	
	WESTRINGIA F. 'LOW HORIZON'	LOW HORIZON WESTRINGIA
	5 GAL / 222" / 1" TALL X 2" WIDE / LOW	
	WESTRINGIA F. 'MINDI'	LOW COAST ROSEMARY
	5 GAL / 75" / -21" TALL X 4-6" WIDE / LOW	

SCALE: 1" = 10'-0"

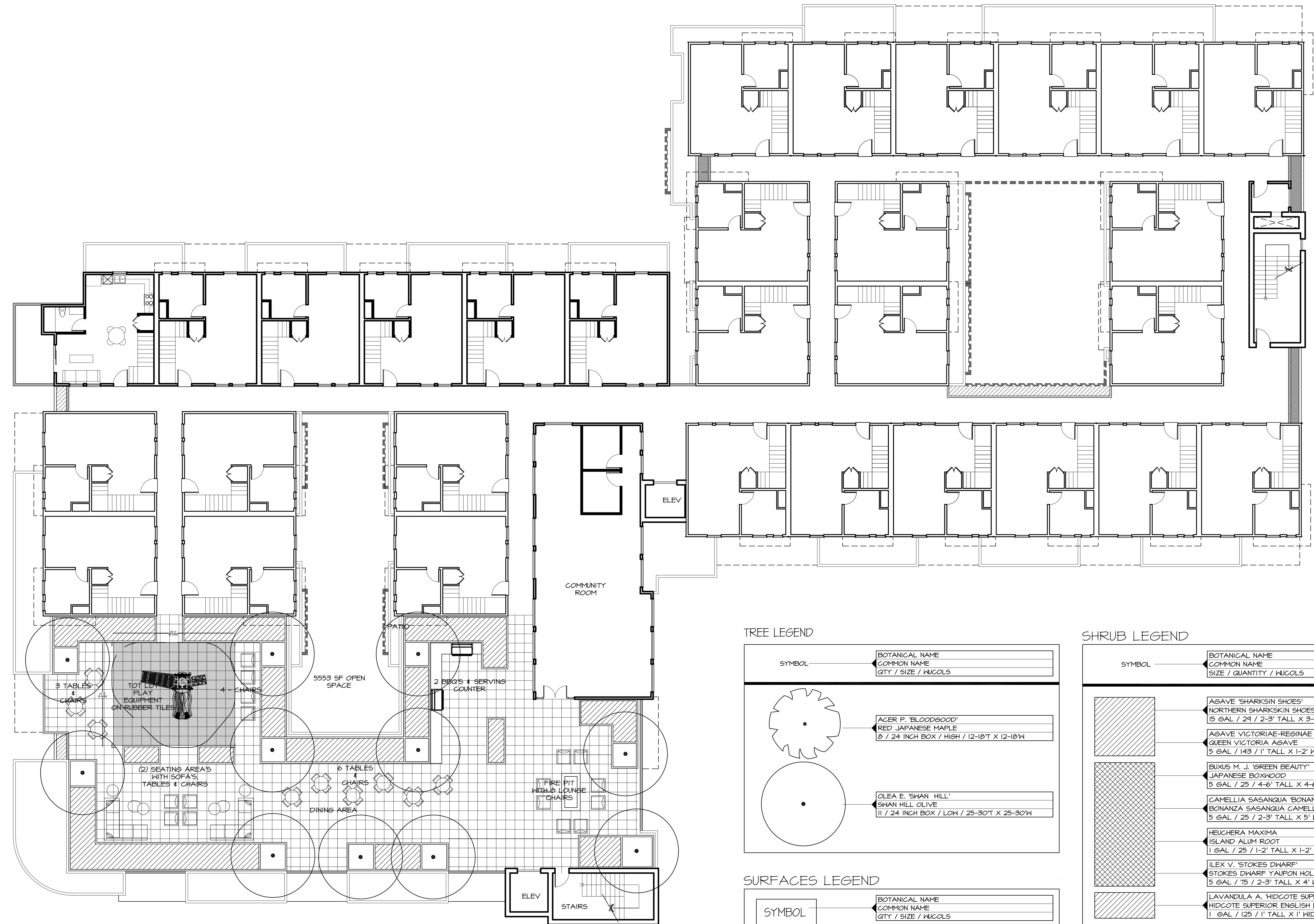


OWNER:
LANDMARK WEST ENTERPRISES
3712 W JEFFERSON BLVD. #200
LOS ANGELES, CA. 90016

PROJECT:
LANDMARK GOLDLINE
GAREY AVENUE
POMONA, CA.

SHEET TITLE:
PRELIMINARY
LANDSCAPE PLAN
5th FLOOR

START DATE:	MARCH 15, 2020
REVISION DATE 01:	SITE PLAN 5 / 26 / 2020
REVISION DATE 02:	REV. 02
REVISION DATE 03:	REV. 03
DRAWN BY:	SEH
CHECKED BY:	SEH
FILE NUMBER:	2018-1-5



TREE LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME SIZE / QUANTITY / MUGOLS
	ACER P. 'BLOODGOOD' RED JAPANESE MAPLE 8' / 24 INCH BOX / HIGH / 12-18" T X 12-18" W
	OLEA E. 'SHAN HILL' SHAN HILL OLIVE 11' / 24 INCH BOX / LOW / 25-30" T X 25-30" W

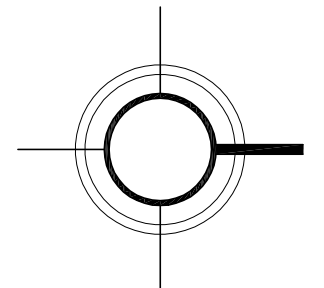
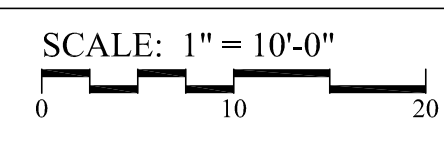
SURFACES LEGEND

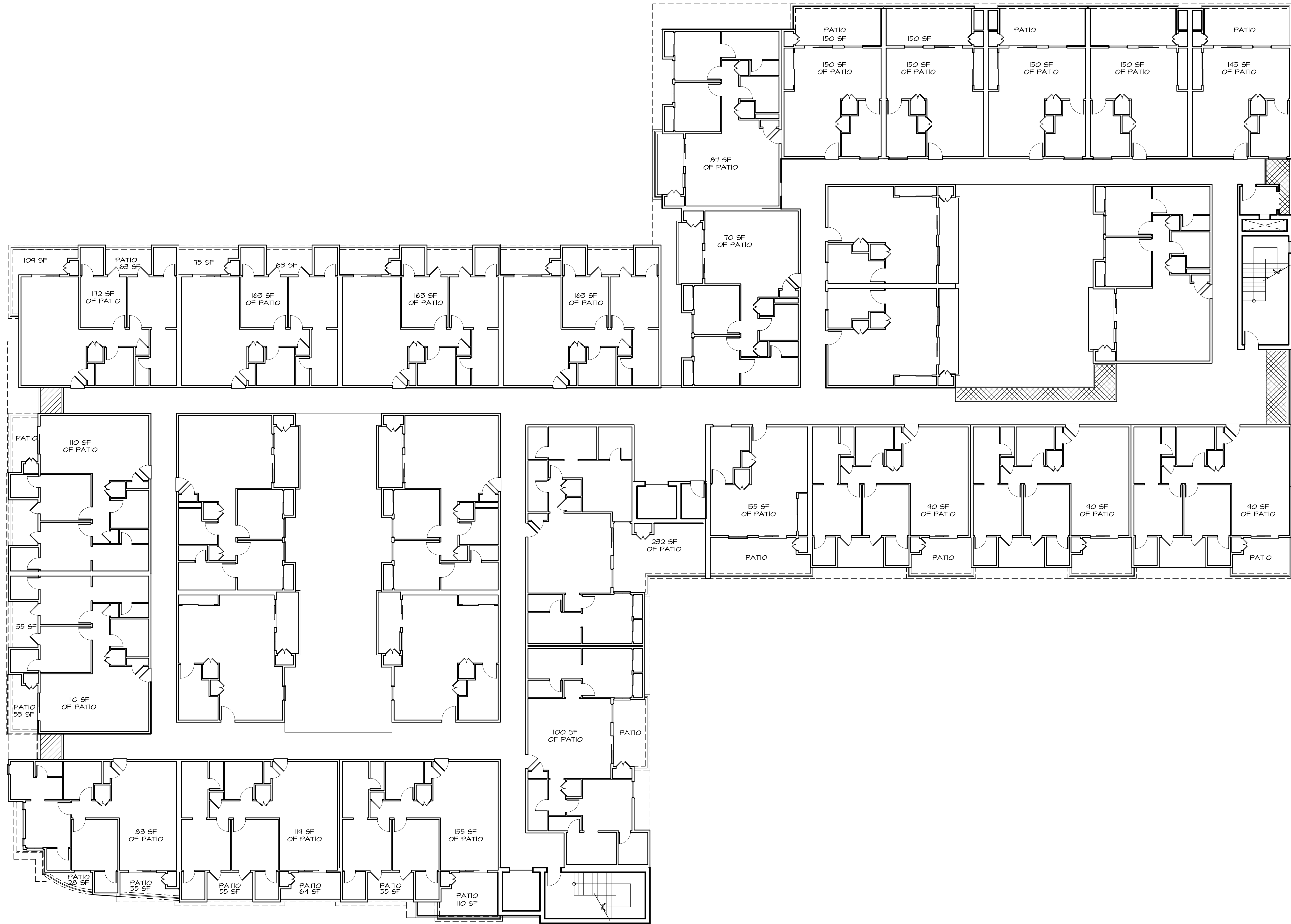
SYMBOL	BOTANICAL NAME COMMON NAME QTY / SIZE / MUGOLS
	CAMPANULA POSCHARSKYANA SERBIAN BELLFLOWER FLATS / PLANT @ 12" O.C. / MOD
	3" MULCH IN ALL PLANTERS
	SAFETY PLAY SURFACE UNDER TOT LOT
	DECORATIVE PAVING TO BE SELECTED

SHRUB LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME SIZE / QUANTITY / MUGOLS
	AGAVE 'SHARKSKIN SHOES' NORTHERN SHARKSKIN SHOES 15 GAL / 24 / 2-3' TALL X 3-4' WIDE / LOW
	AGAVE VICTORIAE-RESINAE QUEEN VICTORIA AGAVE 5 GAL / 143 / 1' TALL X 1-2' WIDE / LOW
	BUXUS M. J. 'GREEN BEAUTY' JAPANESE BOXWOOD 5 GAL / 25 / 4-6' TALL X 4-6' WIDE / MOD
	CAMELLIA SASANGUA 'BONANZA' BONANZA SASANGUA CAMELLIA 5 GAL / 25 / 2-3' TALL X 5' WIDE / MOD
	HEUCHERA MAXIMA ISLAND ALUM ROOT 1 GAL / 25 / 1-2' TALL X 1-2' WIDE / MOD
	ILEX V. 'STOKES DWARF' STOKES DWARF YAUPOH HOLLY 5 GAL / 75 / 2-3' TALL X 4' WIDE / MOD
	LAVANDULA A. 'HIDCOTE SUPERIOR' HIDCOTE SUPERIOR ENGLISH LAVENDER 1 GAL / 125 / 1' TALL X 1' WIDE / LOW
	NEPHROLEPIS CORDIFOLIA SOUTHERN SWORD FERN 1 GAL / 30 / 2-3' T X 4"W / MOD
	OLEA E. 'PETITE OLIVE' DWARF OLIVE 5 GAL / 26 / 4" T X 4"W / LOW
	OPHIOPOGON P. VAR. NIGRESCENS BLACK MONDO GRASS 1 GAL / 100 / 6" TALL X 6" WIDE / MOD
	SALVIA LEUCANTHA 'SANTA BARBARA' COMPACT MEXICAN BUSH SAGE 5 GAL / 22 / 2-3' TALL X 3-4' WIDE / LOW
	WESTRIGNIA F. 'LOW HORIZON' LOW HORIZON WESTRIGNIA 5 GAL / 222 / 1' TALL X 2' WIDE / LOW
	WESTRIGNIA F. 'MUNDI' LOW COAST ROSEMARY 5 GAL / 75 / -21" TALL X 4-6' WIDE / LOW

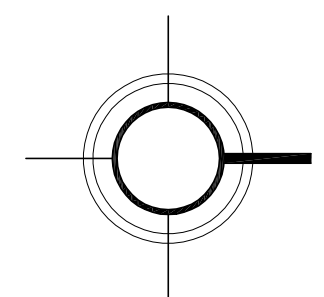
PRELIMINARY LANDSCAPE 5th FLOOR





PRELIMINARY LANDSCAPE 3rd & 4th FLOOR

SCALE: 1" = 10'-0"



THE OFFICE OF
SUSAN E. McEOWEN
LANDSCAPE ARCHITECT 2180
A CALIFORNIA CORPORATION
19197 Golden Valley Road, #924
Santa Clarita, CA 91387
Office Telephone: (661) 212-3335
Email Address: susan@landarch.us

OWNER:
LANDMARK WEST ENTERPRISES
3712 W JEFFERSON BLVD. #200
LOS ANGELES, CA. 90016

PROJECT:
LANDMARK GOLDLINE
GAREY AVENUE
POMONA, CA.

These drawings are not final and shall not be used for construction purposes until signed by Susan E. McEowen, Landscape Architect #2180. These plans and all contained thereon are an original, unpublished work and may not be duplicated, published or used in whole or part without prior written consent by Susan E. McEowen.

SHEET TITLE:
PRELIMINARY
LANDSCAPE PLAN
3rd & 4th FLOOR

START DATE:	MARCH 10, 2020
REVISION DATE 01:	SITE PLAN 5 / 26 / 2020
REVISION DATE 02:	REV_02
REVISION DATE 03:	REV_03
REVISION DATE 04:	REV_04
REVISION DATE 05:	REV_05
REVISION DATE 06:	REV_06
REVISION DATE 07:	REV_07
REVISION DATE 08:	REV_08
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GAREY AVE

LP-3