



# NOTICE OF PUBLIC HEARING

## PROPOSED PROJECT

A request for a Development Plan Review (DPR) to develop a new 117-unit, 4 to 5 story multiple-family residential project with a 119-space partial underground parking garage and various onsite landscape and hardscape improvements on a 0.86-acre site within the Pomona Corridors Specific Plan, Transit Oriented District.

<b>Applicant</b>	Erik Peterson
<b>Location</b>	2501 N Garey Avenue (APNs: 8371-014-040, 8371-014-041, 8371-014-042, 8371-014-043 & 8371-014-900, 8371-014-901)
<b>Hearing Body</b>	Development Services Director
<b>Case File</b>	DPR-13183-2019

### Environmental Determination

The City of Pomona, as lead agency, has conducted an environmental review on the proposed project per the California Environmental Quality Act (CEQA). Pursuant to State CEQA Guidelines Section 15182 (Projects Pursuant to a Specific Plan), where a public agency has prepared an Environmental Impact Report (EIR) on a specific plan after January 1, 1980, a residential project undertaken pursuant to and in conformity to that specific plan is exempt from CEQA if the project meets the requirements of State CEQA Guidelines Section 15182(c) (Residential Projects Implementing Specific Plans). The Development Services Director will consider adopting an exemption in compliance with State CEQA Guidelines Section 15182(c). The proposed project described above hereby meets the guidelines for this exemption. Therefore, no further environmental review is required.

## PUBLIC HEARING INFORMATION

<b>Time &amp; Date:</b>	Development Services Director's Hearing, Thursday, September 17, 2020 at 11:00 a.m.
<b>Location:</b>	Available to view via Zoom Video Conferencing (There will be no in-person public meeting location).
<b>Questions:</b>	Alina Barron, Assistant Planner, (909) 802-7729, <a href="mailto:alina_barron@ci.pomona.ca.us">alina_barron@ci.pomona.ca.us</a>

On March 16, 2020, the City Council declared a local emergency in response to the global COVID-19 outbreak. Preserving the health and safety of our employees and the public is our top priority.

In accordance with California Governor's Executive Order N-25-20 regarding the Brown Act and guidance from the California Department of Public Health on gatherings, please note the following:

This Planning Commission meeting will occur via video conference only. **There will be no in-person public meeting location.**

**To participate by video conference:** Visit <https://zoom.us/join> (Meeting ID 893 5496 3051; Password 040288)

**To participate by telephone:** Dial (669) 900-9128 (Meeting ID 893 5496 3051 followed by #. For Participant ID, press #. Enter Password 040288 followed by #).

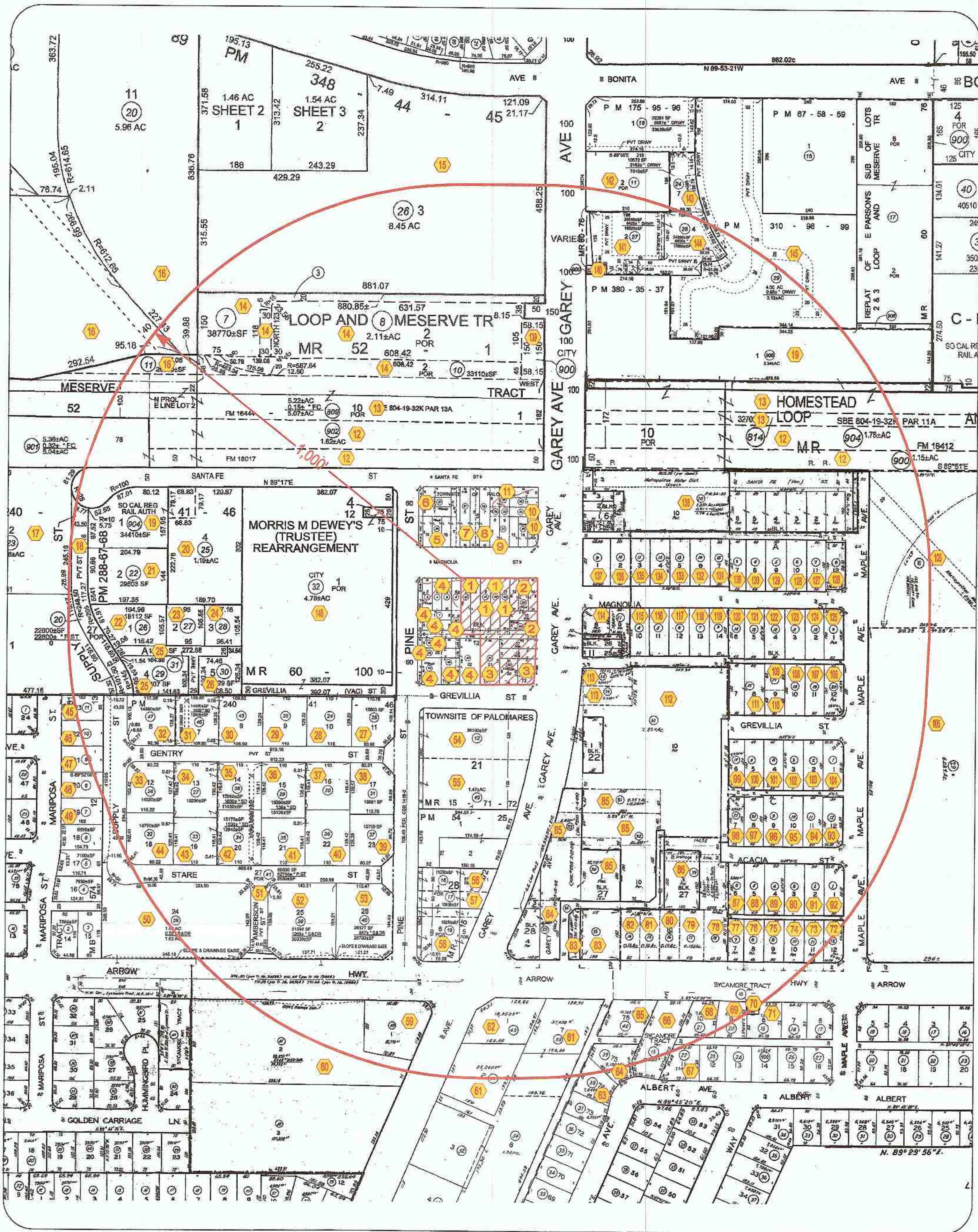
**Written Comments:** May be submitted to [DevServicesComments@ci.pomona.ca.us](mailto:DevServicesComments@ci.pomona.ca.us), by 10:00 a.m. the day of the hearing. Comments must be limited to 200 words. Please title your email "DSD Public Comment 9-17-2020".

The staff report on this matter will be available on or about September 10, 2020 on the City of Pomona website, which may be accessed at <https://pomona.legistar.com/Calendar.aspx> or by emailing the case planner, Alina Barron.

**PLEASE NOTE:** If you challenge this matter in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City of Pomona, Planning Division at, or prior to, the public hearing.

**Para Información en Español, llame (909) 620-2439.**





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 12106 LAMBERT AVE. EL MONTE, CA 91732 - FAX (626) 350-1532

**PROJECT INFORMATION**  
 2501 N. GAREY AVE.  
 POMONA, CA.  
 19-531

**OWNERSHIP MAP**  
 SCALE 1" = 150'  
 [Hatched Box] = SUBJECT LOT

