

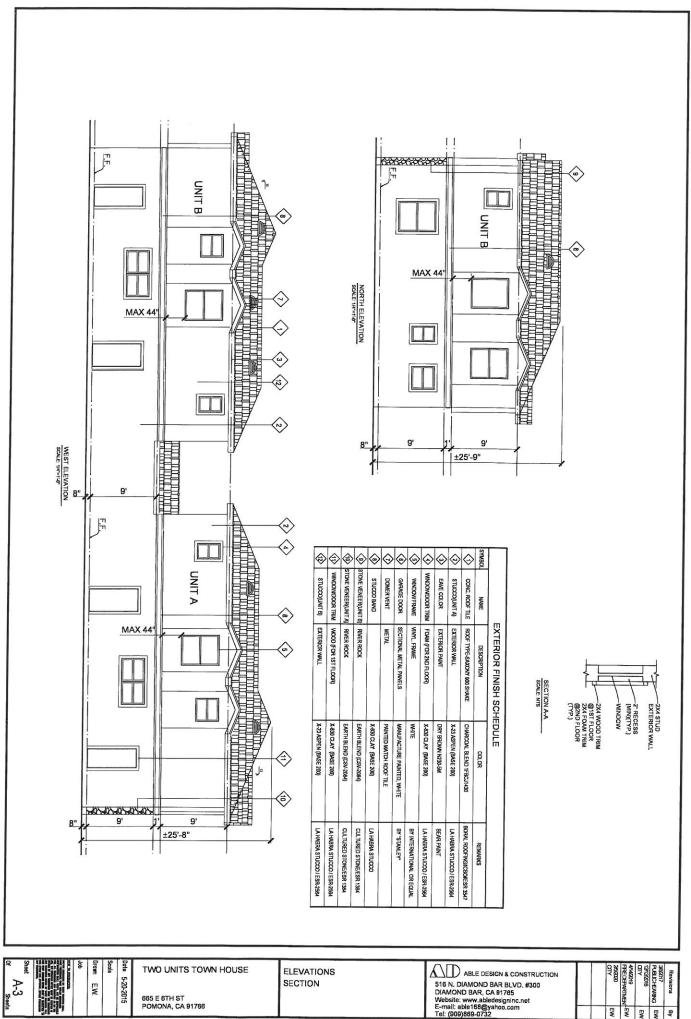
5-20-2015 E.W.

665 E 6TH ST POMONA, CA 91766

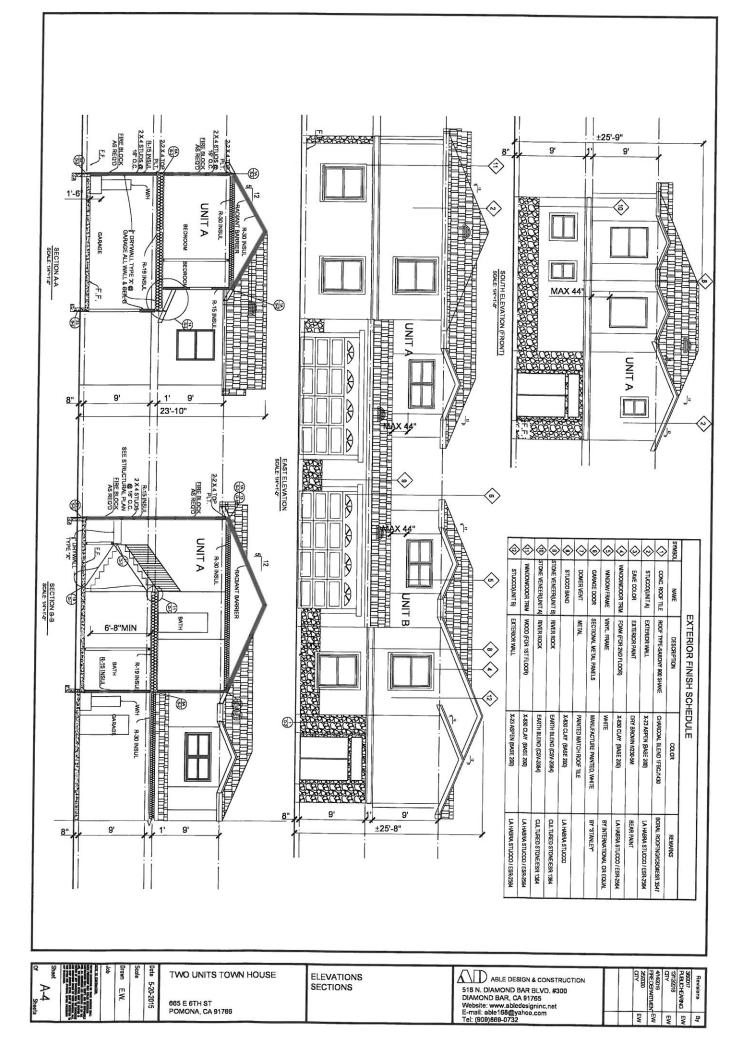
ROOF PLAN

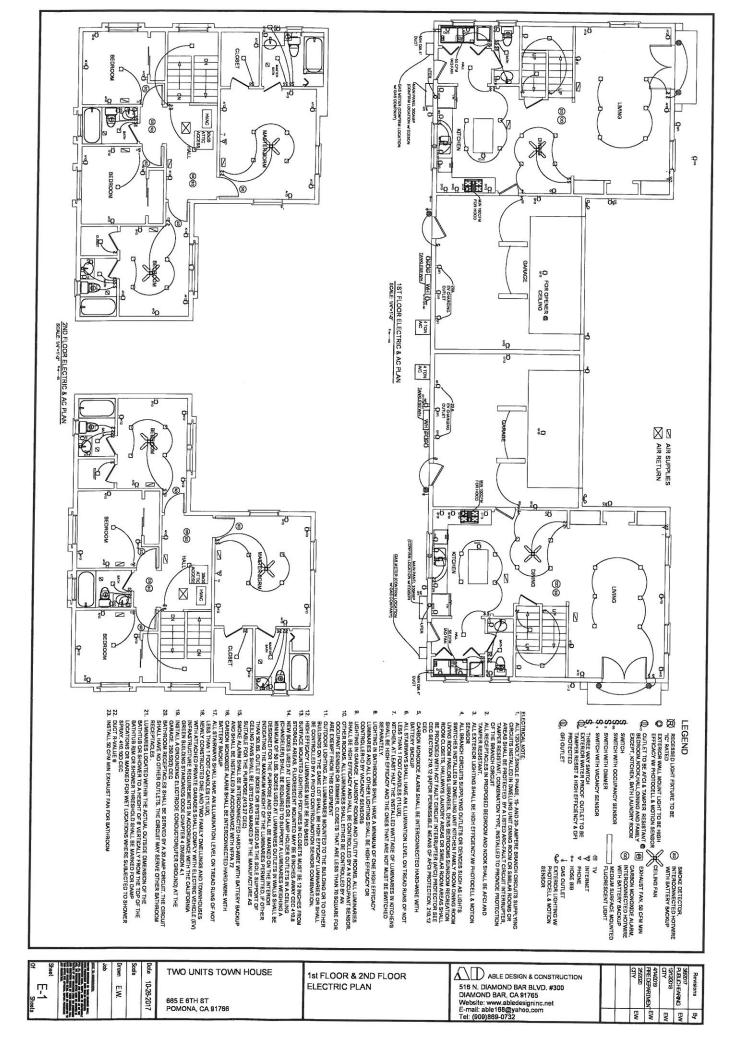
516 N. DIAMOND BAR BLVD. #300 DIAMOND BAR, CA 91765 Website: www.abledesigninc.net E-mail: able168@yahoo.com Tel: (909)869-0732

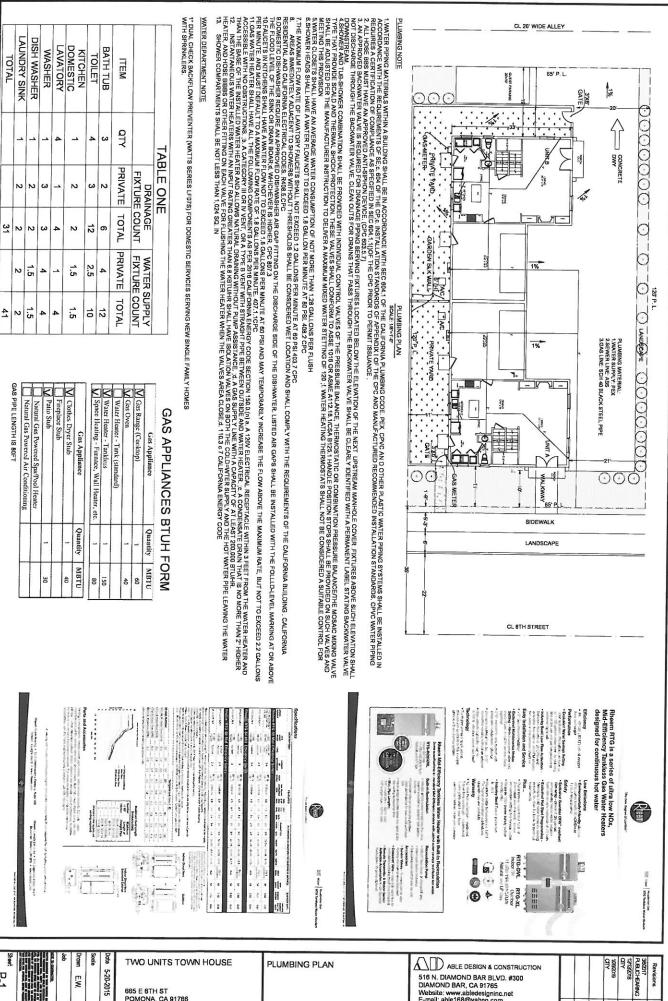
Revisions
382017
PLBLCHEARNG
12722018
CITY
4742019
PRECBEARTMEN
255020 EW EW EW EW



516 N. DIAMOND BAR BLVD. #300 DIAMOND BAR, CA 91765 Website: www.abledesigninc.net E-mail: able168@yahoo.com Tel: (909)869-0732







<u>P</u>

TWO UNITS TOWN HOUSE

Socie

E.W.

5-20-2015

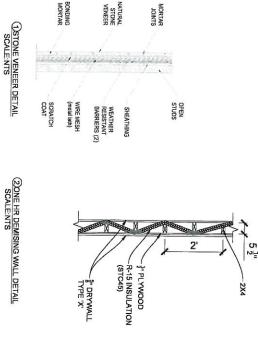
665 E 6TH ST POMONA, CA 91766

PLUMBING PLAN

ABLE DESIGN & CONSTRUCTION 516 N. DIAMOND BAR BLVD. #300 DIAMOND BAR, CA 91765 Website: www.abledesigninc.net E-mail: able168@yahoo.com Tel: (909)869-0732

Revisions

E W W EW Ву



City of Pomona —Building and Safety Division Masonry (Block) Wall building prends is required for any massery (block) wall that is over 2 dot high.
 Please provide a site-pies of your property as the back of this bandons.

382017 PUBLICHEARNG 12/12/2018 CITY 011Y

W E

EQQTING OPTION "A"

to see for Receiving Made

ESCIING OPTION "B"



of "chima we required turns da chem and obbas monas. States" melle retorne a di interdendi ballago.

Januari Di propri Code, con por l'in chi 2011 un per carti e deversi te sudda della retorne di prochem al Dispositi Code, con por l'in chi 2011 un per carti e deversi te sudda della retorne di pro
dendi e deversi teles monas de retorni della mende di culta consolità ballago della mella discussione di consolità della mella mella della discussione della consolità della consolita della della consolita della della consolita della consoli

IONOXIDE ALABAL For develogs consisting a field for appliance, a finefall—of an altituded garage with an incommensate with the develops, are sure reported on the college of a large and with the present frequency and as a case of the develope of a case in the college of a large and the college of the develope of the fine of the college of the develope of the develo

MORE ALARM: Invaded to each more ascel for electing purpa-

♦ ± 0 0 Ovdroom Living Room

Bedroom

Denove O Medroum

Single Story Residence.

The same of California area also experies a permissibilities with all several and story residence of the story of the story

NOTE: This offer when option to you while to construct the the exterior of the war see they consecution to the action of the course of action of the security of the action of the actio License #

thir do red, between the flow world that only required so does not all numbers to do to be found in a the required loss on a suit that all plus thing to a mouthly and to be found in a suit that all plus thing to be required to the suit of the Section of the suit of the

COMPLIANCE FORMS AND WORKSHEETS

SCALE:NTS

Construction Waste Management (CWM) Plan

All Substructures shall samply with the pressor's Construction whole Management Plan All Substructions are forement shall supplied CV*C Flore Action of Agreement Shall.

skymmates sky foll is overfy om het trae Managemen Plan till krekjet is baseksage er van skilage (pysios. 28 Armad oppropriet For latters, "skymmates sky op enemantes fyr byte fast hate been de general to a sage materal system skyllet to berkhalege er versteld pepassas. 20 detende appropriet.

- The registric result is set of the state of
- e long accesses will be described in the bestian ag of weekly rebenturation me way. As each to we as into e wash! Committees our generalizes the with a cree of the C to I plea and pre-call now can be substituted as the pre-call met for an in "a problem delene" a provinciate force with all considering me and in a lateral problems of the C to I plan and women as Actionomy to work like a call to . The C to I plan and we make the contract of the call to .
- The state of the s wild pro- status, and they be at the p. . for m. of the extremal or was "homehom, which can be a made of the control of the co
- In the company of the
- ALSERVICE CONTRACT, (DISPENDENCE ALSERVICE)

DIA CALIFORNIA GREEN BUILDING STANDARDS

now to the second secon INDICATE BLOCK WALL MATERIAL AND FINISH, (to be completed by Planning Department) D D NO TABLE 'B' 12 OC LAND Y JULY AND MINESALD GARAGE GARAGE ATTIC SCALE:NTS ATTIC STATISTICS ATTIC ò 000 GARAGE

MODIE,

1. GARAGE FLOOR SHALL BE OF NONCOMBUSTIBLE MATERIAL. THE AREA OF THE FLOOR USED FOR PARKING OF VEHICLES

1. GARAGE FLOOR SHALL BE OF NONCOMBUSTIBLE MATERIAL. THE AREA OF THE FLOOR USED FOR PARKING OF VEHICLES

1. GARAGE FLOOR SHALL TOWARD THE MAIN VEHICLE ENTRY DOOR.

2. DUCTS PENETTRANTING WALL DAY GELINIO SEFMANTIONS BETWEEN A GARAGE AND A DWELLING UNIT SHALL BE

CONSTRUCTED OF MINIMUM 28 GAGE SHEET METAL AND EXALL HAVE NO OPENING INTO THE GARAGE

3. AUTOMATIC CARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL325.

AND TO WARK ITS CAPAGED DOOK OF ENERGY, IF PROVIDED, SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL325.

AND TO OVERCULT STRINGERS

SIFRE BLOCKING MUST BE PROVIDED IN CONCEALED SPACES SETTEMES STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND SETTING AND IN LINE WITH THE RUN OF STAIRS IF THE WALL UNDER AT THE TOP AND BOTTOM OF THE RUN AND SETTING AND IN LINE WITH THE RUN OF STAIRS IF THE WALL UNDER AT THE FOR AND BOTTOM OF THE RUN AND RESCUE OPENING OF HAND IN LONG AN ART CLEAR OPENING OF NOT LESS THAN \$ SQUARE FEET; AS THE NET CLEAR HEIGHT SHALL BE NOT LESS THAN \$ SQUARE FEET; AS THE NET CLEAR HEIGHT SHALL BE NOT LESS THAN \$ SQUARE FEET; AS THE NET CLEAR HEIGHT SHALL BE NOT LESS THAN \$ SQUARE FEET; AS THE NET CLEAR HEIGHT SHALL BE NOT LESS THAN \$ SQUARE FEET; AS THE NET CLEAR HEIGHT SHALL BE NOT LESS THAN \$ SQUARE FEET; AS THE NET CLEAR HEIGHT SHALL BE NOT LESS THAN \$ SQUARE FEET; AS THE NET CLEAR HEIGHT SHALL BE NOT LESS THAN \$ SQUARE FEET; AS THE NET CLEAR HEIGHT SHALL BE NOT LESS THAN \$ SQUARE FEET; AS THE NET CLEAR WORLD SHOW AND SHOWER SHALL BE NOT LESS THAN \$ SQUARE FEET; AS THE NOT LESS THAN \$ SQUARE FEET; AS THAN \$ S

Drawn

E.W.

Date

1/8/2018

11.A MINIMUM 26 GA, CORROSION-RESISTANT OR PLASTIC WEEP SCREED WITH A MINIMUM VERTICAL FLANGE OF 3½ SHALL BE PROVIDED AT OR BELOW FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS. SCREED SHALL BE A MINIMUM OF 4* ABOVE EARTH OR 2" ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR

12. A MINIMUM OF 1 INCH IS REQUIRED BETWEEN THE PLYWOOD AND THE INSULATION AND THE EAVE VENTS.

Q Q

TWO UNITS TOWN HOUSE

665 E 6TH ST POMONA, CA 91766

DETAILS

ABLE DESIGN & CONSTRUCTION
516 N. DIAMOND BAR BLVD, #300
DIAMOND BAR, CA 91785
Website: www.sbledesigninc.net
E-mail: able168@yahoo.com
Tel: (908)869-0732

PC RESOLUTION NO. 18-040

A RESOLUTION OF THE FLAVOR'S COMMISSION OF THE CITY OF PRIVING, CLUBERS, LANGE COMMISSION OF THE CITY OF PRIVING, CLUBERS, LANGE COMMISSION OF THE COMMISSION OF A REPRESENT LANGE, CLUBER WITHIN THE MOVAL METERAL ARTHUR, METALL JOHNON DISTRICT OF THE DIMANTON OF THE MOVAL METALL JOHNON DISTRICT INCLUTED AT 466 EXTR. SIXTILI STREET (APN. EUS-621248)

WHEREAS, the applicant. I'm Law, has submitted an application for Conditional Use Permit (CUP 5344-2016) to allow now attached residential condominium units on a property measuring 3-200 square beet located at 665 E set Shath Street (AFN 8335-022-006).

WHEREAS, the subject property is currently located within the MU-AR (Mixed-lise I Retail) anoing district of the Downtown Pomona Specific Plan;

WHEREAS, the subject properly is on a parcel designated as "Neighborhood Edge" on the General Plan Land Ose Majn. WHEREAS, the development of attached single-samily r = dentited units in the MUAR g district is subject to a Conditional Use Fermit.

WHEREAS, a Teoloise Parcel Map (TPM 07-002 PM No. 6%) 7, Resultion 07-44) for a list studomotium subdivision was approved by the Planting Commessaen on June 13, 2007.

WHEREAS, the Planning Commission of the City of Peemona has, after aving notice thereof as required by law, held a public hearing on October 10, 201K, contaming the requisited Conditional Use Peronii (CUP \$344-2016), and

WHEREAS, the Planning Commission has carefully considered all perfinent lestimes the said report offered in the case as presented at the public hearing. NOW, THEREFORE, BE IT HERPHY RESOLVED by the Planning Commission of the Planning. California:

SECIONAL The Penerity Communities to consuming instructional prolyment finals that the proposed proposed time is a specific on the so-active processor to the Cauchiness of the Authority and the Cauchiness and their Section (153) at the Calcifination Public Researce (Code, Which canning and the Cauchiness that and another section (153) at the Cauchiness Public Researce (Code, Which canning and the Cauchiness that and the Authority and the Cauchiness (Code, Which canning and the Cauchiness and the Authority Cauchiness (Code, Which canning and the Cauchiness and the Authority Cauchiness (Code, Which canning and the Cauchiness and Cauchiness and Cauchiness and Cauchiness and Cauchiness (Code, Which canning and the Cauchiness and Cauchiness and

PC Resolution No. Conditional Use Pennit (CV:P \$344-2016) 065 f mt Sixth Street Page 2 of 11

SECTION 1. If any part, provision, or section of this wondulon is alsummand by a court of the legal authority with principlicians over the solicies made of this seculation to be mentioperable or no stick the translated of the entities of this recolution that the lifeted and shall community fifth force and effect. To this and the provisions of this resolution are severable.

SECTIONS. In secondaries with Section AND of the Zeeling Quidonese, the Pleaning Communication must make free (s) Findings in used on appear to condensed the Fernine (17) Edd at 101 file and the Condensed of the Andrews of the Andr

The temperature of the state of the control of the second of the second

The proposed use of the subject we for residential development, specifically, the development of event one residential consumminum units at this particular lections, will contribute to the particular the hough of the confighenced calls the continuity or expectably housing opportunities for nesteets by enhancing the apply monce of the general area.

The such use will not, under the viernments as the part what con-ke determented to the health is stirt, peace, or granul to, are as persons reade to the view of in the view of determined to the convenient to the view of the peace of the pe

Histophysicalities hydramodal in wheelth stills; respect a post of effective frameworking or working in the vision's passe due to project in a fill confidentation of the development under the statement of the 21 cost. The project will not be functionable to the cost of the project will not be functionable to be fact, whether, and only instead in project yet information in the cost of the

Then the size of the proposed use is of adequate up maps, size and about to an annual to the size of t

The subject site is large and relatively flat with approximately 30,189 square feet of area. Therefore, the site has the adequate topographic size and shape to accommodate the proposed teatherish development project.

That it we about streets and inchesys are adequate in weigh and traffic governments by an able progressed use.

PC Resolution No.
Conditional Use Perma (CUP 3/44-2016)
605 Fast Suth Street
Page 3 of 11

The subject site has street necess directly to Grand Avenue, which is of adequate south and improvement to early traffic generations typical of residential development projects.

SECTION.4. Based upon the above findings, the Planning Countions to being opports Conflored for Petral (CIP 514-7016) subjects compilisate with all paylockle between Anti-ord (Cir. Cipy used as the addition of the following profilem, without so whether for time a compile any of which shell substitute promotifier revisation of the conditional see present or any portion forced:

PLANNING

General Conditions:

This approval shall have and sections with the private attention in not sublined within two years from the new of the approval () coulded it.) NORTH the section of the proval () coulded it is extended by the coulded by the application for a limit for the strated property industrials by the application for a limit for the strated property industrials by the application and a least their private in the contribution data of this approval.

The applicant shall indomnify, protect, defend, and hald harmless, the City, and or any of its officials, edifficials, engine vs., a years, departments, operates, and internateablists thereof. From any and all chains of means, in, a stars, who of remainings and all chains of means, in, a stars, who of transfares, and all care years on a started to the proceedings by before legal, searable, decis ones, takingle, last on timed to arbitrational proceedings and admirate a starting and all careful residences and other such procedures, (collections). "Actional"). Inought against the City, and distinguish and other such procedures, (collections). "Actional"). Inought against the City,

and granics—such reviewed and use permit will not an exceed a receive General F on of the city and variance to "represented to the coning a character."

The granting of the conditional toe permit well set all—may affice the Grantal Lon and confirmation the pro-control the Francial Canage Chatanee. The proposed re-cleaned are a constructive this few "admiration Parks (pays a designated in the Grantal Long Chatanee. The proposed residence of the Grantal Parks (pays the Chatanee) proposed afficers of the Grantal Plans Specialist the proposed afficience (and Grick the "arms seek", femile —more parks and the proposed afficience (and Grick the "arms seek" and the proposed afficers of the proposed affice can be proposed afficers of the proposed affice can be proposed affice that the control parks of the proposed affice can be proposed affice that the proposed affice can be controlled as the design and or supplied.

The subject improve deal for the object and or used its interact consistent with the griph-pliest converted and approved by the Planning Communition on Ordon (10, 101), and then used in the exampled approved by the Planning Communities in the approved project datases shall be reserved and approved by the Planning Communities in part of a modification on the approved plann. Are more modifications that do not also after could monit of the approved by project may be received and approved by the Development Societies Manager approved to project may be received and approved by the Development Societies Manager approved to project may be received and approved by the Development Societies Manager approved to project may be received and approved by the Development Societies Manager approved to the Community of the Community of the Development Societies Manager approved to the Community of the Communit

PC Resolution No. Conditional Use Permit (CUP 5344-2016) 665 Fass Sixth Street Page 4 of 11

382017 PUBLICHEARING 12/12/2018 C/TY

WH Wa wa Revisions

and/or any of the officials, officers, complayers, agents, expertments, agencies, and intrimensialment inferred that challings a market as et al. (2014) and the annual officers, neglected that challings and the expertment of the product stated by the Copy and the expertment of the challing officers, reprises a special copyrations, as the conditions of the copy for a concerning the parties, whether creat Anisons are foundly made the California in Provincemental Challing Act, the Planning and Zening Law, the visites interned stays have the Copy of the Province Second 10 in 1994. See any offer-state, chacles of hydred stays the copyration of the copyratio

In case of a violation of step of the conclusion of approval and or Cuy law, the property water and tumer will be insue? A Notice of Criterion. If said violation is our methods with the conclusion of time analysis a subsequent violations of the conclusion upon at a stock the property of the control of the conference of the conclusion of Criterion in the property source and the Notice of property in the conference of the property source and the Notice of the requirement of the conference of the property and staff that of the conference of the property in the order to the control of the conference of the property in the conference of the conference of

The project in adjust to remain the appeal period. Writing appeals may be filled with the City, Cites which records on the case of control metabons, the depletions or any person remaining projecy within the instant of four city control metabons in the application of propers. The appeals half he field with the City Cites within 1 with day from the date of section by the fillening Commission.

Plan Check:

The applicant shall include all conditions of approval from Conditional Use Permit (CUP 2014) 2016) on the title shoct of construction plans prior to plan check submittal.

The tit glist whit melabe this still properties, work as he not include in, lead flow do cost and flowed treatflow melabers and the still problem of the stilling, and otherwise the stilling, and otherwise the stilling, and otherwise the stilling, and otherwise the stilling of the stilling of

PC Resolution No. Unrelational Une Permit (CLP 5344-2016) 663 best Seth Street Page 7 of U1

The closing of the building shall comply with the 3916 California Building Codes.

13 All grading shall conform to the 2016 Cultifornia Braiding Code, and all other relievant to a confunctes and re-unitions governous grading as solvened by the Co- of Formaca the opticism that leads the spatialing periods from the Braiding & Sofery Dresson prior to commercing use, grading or site ora reunion.

Required the admittal of a freeze and well fails over not contempted at any of city permit and required the admittal of a freeze and well from if two rew we approach by the Thiuman Davison (Davison) (Daviso

F

Applieme thall consult City Arbesta and Doethopsonst Sec. — Davetar or D. najmes on an evaluation of the catestare mendatality in front of the property. (The text is determined to be a pool helds, Gauer transforance and ironatine goal for teaching the best of section and brothon; if the cost is determined to be no poor breath; if shall be explicately a time observity the City Arbards.

Appliens shall consult Development Servines Director on providing a sufficient screening mountal for lands uping along the extrem property line.

Site Development & Maintenance:

Within 30 days of approval of this Conditional Use Permit, applicant shall remove any trash, distrix, or other unpermitted materials on the property

PU Resolution No. Conditional 1 = Permit (* 1 P 5344-2016) 64 3 Fast Sixth Sirect Page 5 of 11

PC Resolution No. Conditional Use Pernat (CUP \$144.7) Mill East Seth Street Page 6 of 11

Generates: all and/or soils reports required in order to obtain a gas ing permit shall be submitted to the duiding follows for review and approx. Prote a surround a grading permit. All grading shall be no aren, manusce with the recommencedurious of the positional production of the production of the

13

All proposed work shall comply with the 2016 California brangs Code and all other relevant laws, ordinances and resolutions asseming Energy conservation as adopted by the City of Pomona.

Proposed project shall comply with the 2016 California Green fluiding Standards Code and all other referant laws, ordinances and resolutions governing stockhards design as a simpled by the C to of Fornona.

36 Proposed project shall be sprinkered and compty with all other relevant laws, withinners and resolutions governing residential sprinklets as adopted by the City of Pomons.

33

27 Park and Recreation Improvesse construction, (Orientance 1506) sent Fee shall be \$675 per dwelling unit for new

3) Al multi-cape that for the in this sense in descenate to the conceptual studences; and other more continuous to the other forest former in the Studence to the Studence

5 5

The proper parties shall recove any parties on the project one within 24 borns of delevery. The plant office to cove the grafted shall advantaged to the proper parties of the event that the partie thank of the sheef areas is encousely dispute parties and the parties thank of the sheef areas is encousely dispute parties from the rest of the swatzura, the property owned that plant additional periods of the bridding to minimise the disputity, solutes to the approval of the Development Services. The construction area shall be kept clean at all times prior to, during, and after count I 13

During demilision, parallog, kie ee, religenat, and ee on suprice. All requirements of the Porenta Confej Colomore, and Marcocki (v. d., sudding ill store depressions, shall be abbreted to a Marcine in reliability track delevers). The substitution of the substitutio

25 24.

Prior to the issuance of any building permits, the following must be completed The restantly of the handscape within the interior constrainty course and shall be presided with decorative elements to include, but not limited as, patiented so incidented constructions and the restaurch construction and the restaurch.

(C. Cutalizon, Correana, and Newsicks on CCC(kin) shall be tadenmed to the Planning Drivent for review Prior to the issuence of certificate of ecceptures; Conditions, Covenana, and Residentian (CC kit) shall be avoided fresh activitiesy and prior to the sale of any first or or ellipse. As a minimum, the CCR(sh. shall necked priors ago that to be conditionally a strength of the condition of the condition of the condition of the CCLP and 3) provide receivous access to accurate and finelizate for use, and mannerance of the common as are.

BUILDING AND NAFETY

19 The undergrounding of it

20. The design must be nown
State of California - thu

The undergrounding of utility facilities is required. (PM(62-31)

21

A building permit shall be obtained for the proposed construction and site development The design must be no weed and stamped by an archite tor everincer licensed to the Samo of California - (Busine s and Pr. 1 — tons code Sections 5537, 5538 and 6737.1) Z

Gaza areas shall not be used for slorage to the exclusion of parking of vesseles. All landscaping thall be maintained in a next and clean interer, and in conformance the approval of Conditional Use Permit 5344-270(a, Prior to retarn ting or replacing Landscaped areas, exists with the Planning Con ions. Substantial changes may recognize the Director.

17

b) A Planometric plan demonstrating a minimum one fore-cardle of alternitution of perforg, obviously, volksays, and comman areas. Plan shall default benative, of proper analysis and building-properties light features. Scape and photocurrent information in fitures, and directing to orient light many from adjacent properties and buildings.

Building Department conument based on information provided. are subject to plus check. Comments are

120

29 Fence and wall plan required.

There are currently existing water and sewer use. with this site for

WATER RESOURCES

30. There are currendly

PUBLIC WORKS DEPARTMENT

NOTE

PC Resolution No. Conditional User Permit (CUP #844-2016) 667 Uset Sixth Street Page & of 11

Land development construents

Guardie Proced Vag FFU (9 Aut.) PM, Vs. (86%) has have appreced by the Planning

Guardie Proced Vag FFU (9 Aut.) PM, Vs. (86%) has have appreced by the Planning

Commission and Aug. 1 (2007 Feed, Vs. No. 1007 Feed, Vs. 177 FFE)

des Subfereinna Mag. 14 and what fc. (1) Collamon. Vs. 177 FFE (1007 FEED)

Geo. Consoll for apprecal subject to the Planning Commission apprecial of Conditional Use

Consoll for apprecal subject to the Planning Commission apprecial of Conditional Use

Consoll for Sub-Park. improvement plans requirements

13

Applicant Developer shall reduce the grading detallarge and evoduat control plants for now and approach by the Polic Visios, Planning and Building and Siefoy Departments.

1) The plants shall be a menimism of 1 - 10 peaks to sheeth, when this behalfs the plant shall be non-incident 25° + 35° when we with a tandrast (-10 mit 6 beek.)

1) One-dost upperquisite customs of the use must extend a minimum of 15 feet beyond the boundary tier.

The plens whill include units one cross sections to show all block wall focultions, parkway width and all permanent facilities that might require maintenance and across cuscinents.

d) Drainage configurations on the existing adjacent properties shall not be altered redirected or modified in any way.

For it is usuate of the problem promit the Applicant Developer shall adontly written undifficulties to the next plant of the problem of the problem of the fluming i common menting notification for regularly the uniter all an included a unaccined with the proposed contribution. The molfication shall include a susua-ciation with the total contribution of the problem of the proper is unaccined with the problem of the proposed contribution of the proper is unaccined with the problem of the proposed of the proper is unaccined in the delication of the problem of the pr

Prior to the issuance of the grading permit the applicantides object shall pure ale non-interference letters from all applicable cuttin agances for all using resonances leveral within the more subject or practing periorities. All such documents shall be subject to review and approved by the City Langueger.

There is someter of the grading permit the Applicant Develope additionable with a sulfa and probleghe prepared to address the soft and additionable and applications of the sulfation and the problem and the

35

34

New side walk and carb to replace off damaged, cracked and uplified sections

<u>-</u>2

ABLE DESIGN & CONSTRUCTION 516 N. DIAMOND BAR BLVD. #300 DIAMOND BAR, CA 91765 Website: www.abledesigninc.net E-mail: able168@yahoo.com Tel: (909)869-0732

Drawn Date Scale TWO UNITS TOWN HOUSE 10-26-2017 E.W.

665 E 6TH ST POMONA, CA 91766

b = 40 3 De Applicant Needigers stati dientijs fiet ensbene oft all 'tij pulition dan me je in conflict untilste.

Applicant Needigers stati dientijs fiet ensbene oft all 'tij pulition' for floate ("in untilste.")

If filmer pletometer formenes of meante on collete with location of celular public untilste (water, sower and soam domit, then improvement plans proposing the electrons or shondometer of inferited dettilses made be entirelect, reverse and in Kerperdy to het public were. Department. "In publicational in distances and IR common of entirelectron and Applicant Develope valuat improved by the filmed publication of the collectron of the control of the collectron of the coll The grade as Indextopolators shall be manifored by the proposity most can exquisited by the Crop Antomopolation as some of the State as one to the first shall be added to the paths of smear in other paths of the contract of the contract of the contract of the contract of the path of the contract of the contract of the path of the proposed of the contract of the path of the proposed of the path of the proposed of the path of the proposed of the path of t PC Resolution No.
Confisional Use Permit (CUP 5144-2016)
665 East South Servet
Page 9 of 11 Prior to the issuance of the building permits Applicant/Developer is responsible for the proment of all City water and sever connection fees and shall make proof of proment of the Los Abgeles County Suriotion Dutrict from account with the proposed development In this event that project related hardware, we make the justiles provided uses to be like the extended and the Solit Society and the profession of the following beautiful control in constance with the City standard A-2b-City and the control of the control of the control of the control of the politic after) and proposal over mater and some drain functional one of the control of the politic after) and proposal overhead of the department of the control o Brear to issuances of the balding pounds Applicant Duveloper is responsible for paying the development ters associated with the proposed grayer.

It The fluid improvement plane, as charen on the Aylter, and the provided to the Civy in him hard copy and electricate in AssociAVI. Y. 2010. Full-using construction and prior in severation of the Civy in the hard Copy and electricate in Association, inchespoise engineer and provide the advantable of the Civy in the Association of the Civy Engineer. As to Martin of the Civy in the Association of the Civy Fugioner. As to Martin of the Civy in the Association of the Civy Fugioner. As to Martin of the Civy in the Association of the Civy Fugioner. As contained Civy in the North, and unusual controls, and the public right of the Martin of the Civy in the State of the Civy in the All work in the guidic ingless of so subject to review, approach and permitting requirements of bables Weeks Department.

46. Prior to the recordation of the parcel map or the humanes of the grading permit, which there execute lines, applicated probager shall get murey bound for the proposed public improvements, localidity but not limited as indexeduce, each, street posting, a perfect by indirectly province, each, and action done improvements.

57. Paramiter shall provine and mornium throughout the period of the Formit in the following definess of informites. Automobile Lisbini;

 Wether "Congression as required by the State of California;

Note: The Commercial Geore all tability and the Automobile Lisbiny policies shall reduce for the Commercial Geore all tability and the Automobile Lisbiny policies shall reduce for Congression Commercial Georgia of the Congression State of the Congression Bancese. Lorence of Personal Bankese Lorence and Automobile State Public Works Improvements Permit PC Resolution No.
Conditional User Permit (CLP 5344-2016)
665 East Seeth Street
Page 10 of 11 <u>SECTION 5.</u> The Secretary shall certify to the adoption of this Resolution and forward ganal to the City Chest. APPROVED AND ADOPTED THIS 19TH DAY OF OCTOBER, 2018. Commercial General Liability The dependence of the control of the Pursuant to Resolution No. 76-258 of the City of Purmon, the time in which judicial assists of this account must be sought to averaged to Cost turnin Code of Civil Procedure Section 1094.6. STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES).es.
CITY OF POMONA) ATTEST: APPROVED AS TO FORM: NIARIO SLAREZ, AICP PLANNING COMMISSION SECRETARY PC Ps. adution No.
Conditional Use Permit (CUP \$344, 2016)
665 East Stath Street
Page 11 of 11 ANDREW JARED
ASSISTANT CITY ATTORISEY AYEN Arias, Brown, Grejsda, Hewnitz, Juants, Kercharal, NULS.
ABSTAIN:
ABSTAIN:
ABSTAIN: KALE BROWN
PLANNING COMMISSION CHAIRPERSON Scole Date Revisions 382017 PUBLICHEARNG 12/12/2018 CITY CILA TWO UNITS TOWN HOUSE NOTE 10-26-2017

N-2 Sheets

E.W.

685 E 6TH ST POMONA, CA 91766

ABLE DESIGN & CONSTRUCTION
516 N. DIAMOND BAR BLVD. #300
DIAMOND BAR, CA 91765
Website: www.abledesigninc.net
E-mail: able 168@yahoo.com
Tel: (909)869-0732

EW EW E

E. INCOMATION ROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.

A. EPULATION RANDOR CARPOOL OPTIONS ANALUSALE. IN THE AREA.

A. EPULATION ROM SECOND OPTIONS AND MATERIAL TO THE WASTE AREA TO AND THE POLICY HUMBITY BETWEEN 30-00% AND WHAT METHODS AN OCCUPANT MAY USE TO MANITAN THAT RANGE.

A. EPULATION AND WASTE RESOLAR ENGINE OF THE POLICY HUMBITY BETWEEN 30-00% AND WHAT METHODS AN OCCUPANT MAY USE TO MANITAN THAT RANGE.

A. REDUCATIONS FOR MANITAN MAD IT WASTER CONSERVING LANGEAGE AND REAL THE MAD THE MAD THAT AND THE MAD THAT AND THE MAD THAT AND THAT AN CREEN BLOCK NOTE.

OREEN BLOCK N MECHANICAL NOTE:

MECHANICAL PROTES

A DOMESTIC CLOTHES DRYER DUCT SHALL BE OF METAL AND A MINIMUM OF 2 FEET SHALL BE DEDUCTED

2. A DOMESTIC CLOTHES DRYER DUCT SHALL BE OF METAL AND A MINIMUM OF 4 INCHES IN DIAMETER. THE EXHAUST DUCT SHALL NOT EXCRED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET INCLUDING TWO 90 DEGREE ELBOW. A LENGTH OF 2 FEET SHALL BE DEDUCTED

3. A HOOD ABOVE THE ANGE TO A MINIMUM OF 90 (504.42 CMC)

3. A HOOD ABOVE THE RANGE TO A MINIMUM OF 90 (504.42 CMC)

3. A HOOD ABOVE THE RANGE TO A MINIMUM OF 90 (504.42 CMC)

4. A COMPRESSOR OR PORTION OF A CONDENSING UNIT SUPPORTED FROM THE GROUND SHALL REST ON A CONCRETE OR OTHER APPROVED BASE EXTENDING NOT LESS THAN 3" ABOVE THE ADJOINING GROUND LEVEL (1105.2 CMC) EURINGY MOTE

EURING MOTE

FRESSURE SODIUM LAMPS, .G. GUZ4 SOCKETS CONTAINING CEL OR LED LIGHT SOURCE.

2. LUMINANTES STORE SODIUM LAMPS, .G. GUZ4 SOCKETS CONTAINING CEL OR LED LIGHT SOURCE.

2. LUMINANTES RECESSED INTO CEILINGS SHALL MEET ALL OF THE FOLLOWING RECUIREMENTS, a BE LISTED FOR ZERO CLEARANCE INSULATION CONTACT(IC); .b. HAVE A LABEL THAT CERTIFIES THE LUMINANTES IS AIRTIGHT WITH A LAKKING LESS THAN 2.0 CFM AT 75 PASCAL WHEN TESTED IN ACCORDANCE WITH A CASKET OR CALLEY THE FOLLOWING RECUIREMENT HE LEAN PAIR BETWEEN THE MUNINANTES HOURS WITH A CASKET OR CALLEY ACCORDANCE MOTE

BALLASTS OR DRIVERS ALLOW BALLAST OR DRIVER MAINTENANCE AND REPLACEMENT TO BE READLY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW THE CELLING WITHOUT REQUIREMENT THE CULTING OF HOLES IN THE CELLING WITHOUT REQUIREMENT THE CULTING OF HOLES IN THE CELLING WITH A CASKET OR CALLEY. SHALL NOT CONTAIN SCREW BASE SOCKETS, .IS HALL STORE WITH A CASKET OR CALLEY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW THE CELLING WITHOUT REQUIREMENT THE CULTING OF HOLES IN THE CELLING WITHOUT REQUIREMENT THE CULTING OF HOLES IN THE CELLING WITHOUT REQUIREMENT THE CULTING OF HOLES IN THE CELLING WITHOUT REQUIREMENT THE CULTING OF HOLES IN THE CELLING WITHOUT SERVICE AND THE CONTAIN SCREW BASE SOCKETS, .IS HALL NOT BE RECESSED DOWNLIGHT LUMINARIES SHALL CONTAIN LAMPS THAT COMPLY WITH REFERENCE JOINT APPENDIX JAB 2. THE

3. SCREW BASED LUMINARIES SHALL CONTAIN LAMPS THAT COMPLY WITH REFERENCE JOINT APPENDIX JAB 2. THE CALGIGENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017
2016 CALGREEN COMB.
REQUIREMENTS Cimple: 3 - GREEN Bull-Ding 4.106.2 4.106.4 301.1.1 101.3.1 Applies to ALL newly constructed residential buildings: low-rise, high-rise, and 301.2 Applies to addition a statistical formation in all interfaces.

Applies to addition or addition of the statistic formation buildings were the dedition or addition or addition or addition or additional formation and the statistic formation of the statistic formatio EV charging. 1- 6.2 dumity development of the state of th Raceway shall not be built bear trade size 1 (control of text) trade during it. Raceway shall originate at the name encode or subspaces and the during of cablind, box or other endosers in close processly to the proposed locations a listed divinger.
Raceways are maybrid to be continuous at endoses of controlled series and species. Electric which supply equipment (E) SI1 shall be installed in accordance with the california Electrical Crist. Aurola 613. Exceptions on a read-by-case base as altermined by the Local Enforcing Agenty 1. When there is no commercial power supply and the control of the 2. Verification that meeting requirements will aim the local usifity infrastructure 2. Verification that meeting requirements will aim the local usifity infrastructure. Service when and/or subpanel shall provide capacity to install a 40-ampoise minimum dedicated branch circus and space/s) roserved to permit installation of a branch circuit overcurrent protective (evice: Service painel or simparial circus considers on the control of the cont CAL Green. 4.105.4.2.1 SECTION 4.106.4.1 & 4.106.4.1.1 continued 4.106.4.2.2 4.106.4.2.3 4,106,4,2 the requirement was the bosterior deglecent to an advantable parking space meeting the requirement was the bosterior to an advantable parking space. Dealber 11-0, allow use of the 5° charge from the secondate parking space, Dealber 11-0, allow use of 7° The EV space shall be becauted on an acro-side mode to the shading at defined in the 1-dealbers space of 10-dealbers 11-dealbers space of 10-dealbers 11-dealbers 11-dealber directory shall dishut, the constrained special present (in this between the constrained control of the Control of SEV Code SELE. The memory investment control shall be between the control of the control of the code of the When EV chargers are installed EV spaces required by Section 4,106.4, tlem 3, shall comply with at least 1 of the following options:

1. The EV spilling shall be located adjacent to an accountable perfung space ma The total number of parking spaces provided for all types of parking facility no case less than one, shall be electric vehicle charging waces (EV capable of supporting future EVSE. Calculations for the number of EV RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2017 raceway shall not be live. Ihan trade size 1 (nominal 1-Inch inside veter). 2016 CALGREEN CODE REQUIREMENTS shall originate at the main service or subpanel and shall terminate ablinet, box or encionure in close proximity to the proposed location to a base of proposed if y space. All monuse areas and available for use by all device spa sqs) researed for future manation location shall be e the project's capability requirement for EV spaces distruse Date 10-26-2017 382017 PUBLICHEARING TWO UNITS TOWN HOUSE NOTE CITY ABLE DESIGN & CONSTRUCTION

516 N. DIAMOND BAR BLVD. #300 DIAMOND BAR, CA 91765
Website: www.abledesigninc.net
E-mail: able188@yahoo.com
Tel: (909)869-0732

EW EW EW Ву

ν<u>-</u>ω

E.W.

665 E 6TH ST **POMONA, CA 91766**

