

2ND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

WINDOW NO.	NO. OF UNIT	WIDTH	HEIGHT	MATERIAL	GLAZING	SCREEN	WINDOW SILL	U-VALUE	SHGC	REMARK
1	1	4'-0"	5'-0"	WIND. FRAME	DOUBLE GLAZE	YES	2'-0"	0.30	0.21	SINGLE HUNG
2	1	4'-0"	5'-0"	WIND. FRAME	DOUBLE GLAZE	YES	2'-0"	0.30	0.21	SINGLE HUNG
3	1	4'-0"	5'-0"	WIND. FRAME	DOUBLE GLAZE	YES	2'-0"	0.30	0.21	SINGLE HUNG
4	1	4'-0"	5'-0"	WIND. FRAME	DOUBLE GLAZE	YES	2'-0"	0.30	0.21	SINGLE HUNG
5	1	4'-0"	5'-0"	WIND. FRAME	DOUBLE GLAZE	YES	2'-0"	0.30	0.21	SINGLE HUNG
6	1	4'-0"	5'-0"	WIND. FRAME	DOUBLE GLAZE	YES	2'-0"	0.30	0.21	SINGLE HUNG
7	1	4'-0"	5'-0"	WIND. FRAME	DOUBLE GLAZE	YES	2'-0"	0.30	0.21	SINGLE HUNG
8	1	4'-0"	5'-0"	WIND. FRAME	DOUBLE GLAZE	YES	2'-0"	0.30	0.21	SINGLE HUNG
9	1	4'-0"	5'-0"	WIND. FRAME	DOUBLE GLAZE	YES	2'-0"	0.30	0.21	SINGLE HUNG
10	1	4'-0"	5'-0"	WIND. FRAME	DOUBLE GLAZE	YES	2'-0"	0.30	0.21	SINGLE HUNG

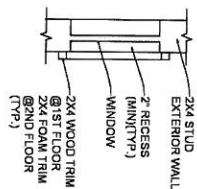
DOOR SCHEDULE

DOOR NO.	NO. OF UNIT	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	HARDWARE	REMARK
1	1	3'-0"	6'-0"	1 1/2"	SOLID CORE	PAINT	PASSAGE LOCK	DOUBLE SWING
2	1	3'-0"	6'-0"	1 1/2"	SOLID CORE	PAINT	PASSAGE LOCK	DOUBLE SWING
3	1	3'-0"	6'-0"	1 1/2"	SOLID CORE	PAINT	PASSAGE LOCK	DOUBLE SWING
4	1	3'-0"	6'-0"	1 1/2"	SOLID CORE	PAINT	PASSAGE LOCK	DOUBLE SWING
5	1	3'-0"	6'-0"	1 1/2"	SOLID CORE	PAINT	PASSAGE LOCK	DOUBLE SWING
6	1	3'-0"	6'-0"	1 1/2"	SOLID CORE	PAINT	PASSAGE LOCK	DOUBLE SWING
7	1	3'-0"	6'-0"	1 1/2"	SOLID CORE	PAINT	PASSAGE LOCK	DOUBLE SWING
8	1	3'-0"	6'-0"	1 1/2"	SOLID CORE	PAINT	PASSAGE LOCK	DOUBLE SWING
9	1	3'-0"	6'-0"	1 1/2"	SOLID CORE	PAINT	PASSAGE LOCK	DOUBLE SWING
10	1	3'-0"	6'-0"	1 1/2"	SOLID CORE	PAINT	PASSAGE LOCK	DOUBLE SWING

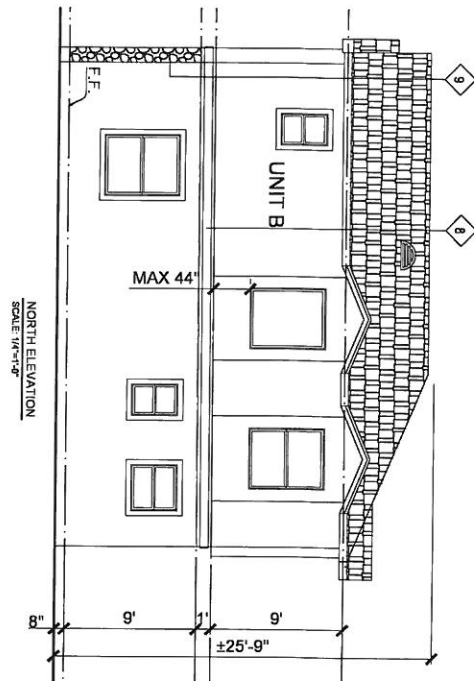
ATTIC VENTILATION  
1ST FLOOR ATTIC AREA (EACH UNIT)  
24" x 12" HALF ROUND DOWNER LOWERS  
PROVIDE (1) ROUND VENT  
AREA PROVIDED IS GREATER THAN REQD.

ATTIC VENTILATION  
2ND FLOOR ATTIC AREA (EACH UNIT)  
24" x 12" HALF ROUND DOWNER LOWERS  
PROVIDE (1) ROUND VENT  
AREA PROVIDED IS GREATER THAN REQD.

NOTE: SQUARE ZONES MUST BE CLEARLY INDICATED ON THE ROOF  
PLAN FOR ALL POSSIBLE ORIENTATIONS SHOWING THE MINIMUM 200  
SQUARE FEET IN THE 110 TO 270 DEGREE ORIENTATIONS (CIRC  
110 TO 270 IN)

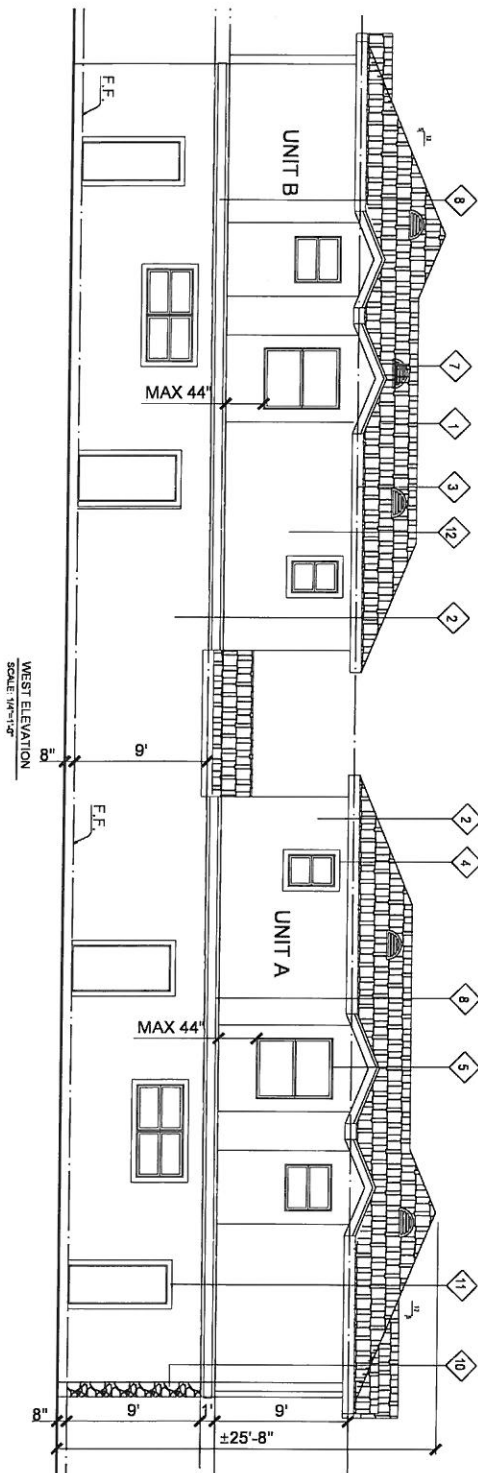


SECTION A-A  
SCALE: 1/8" = 1'-0"



NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE			
SYMBOL	NAME	DESCRIPTION	REMARKS
1	CONC. ROOF TILE	ROOF TYPE: SHOWN 800 SHAKE	CARROLL BLEND (BASE 200)
2	STUCCO (UNIT A)	EXTERIOR WALL	LA HABRA STUCCO / ESR-2564
3	EAVE COLOR	EXTERIOR PAINT	BEAR PAINT
4	WINDOW/DOOR TRIM	FOAM (FOR 1ST FLOOR)	LA HABRA STUCCO / ESR-2564
5	WINDOW FRAME	WIND. FRAME	BY INTERNATIONAL OR EQUAL
6	GRABAGE DOOR	SECTIONAL METAL PANELS	BY STANLEY
7	DOWNER VENT	METAL	
8	STUCCO BAND	PAINTED MATCH ROOF TILE	LA HABRA STUCCO
9	STONE VENEER (UNIT B)	RIVER ROCK	CULTURED STONE/ESR-1384
10	STONE VENEER (UNIT A)	RIVER ROCK	CULTURED STONE/ESR-1384
11	WINDOW/DOOR TRIM	WOOD (FOR 1ST FLOOR)	LA HABRA STUCCO / ESR-2564
12	STUCCO (UNIT B)	EXTERIOR WALL	LA HABRA STUCCO / ESR-2564



WEST ELEVATION  
SCALE: 1/8" = 1'-0"

Revisions	By
3/20/17	PUBLIC/CHANG
12/20/16	EW
4/14/2016	EW
2/2/2016	EW
2/2/2016	EW

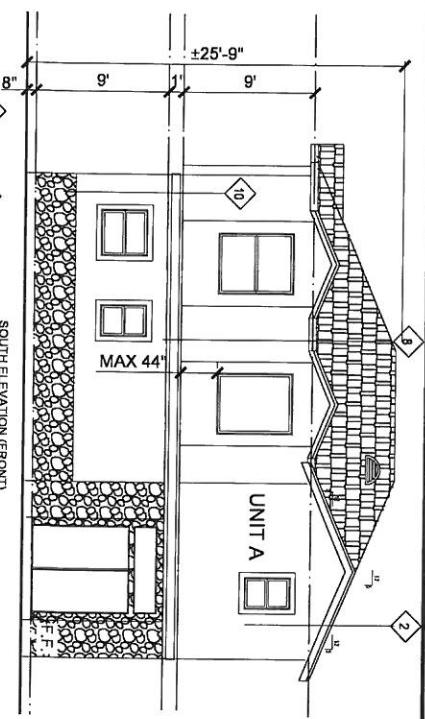
ABLE DESIGN & CONSTRUCTION  
516 N. DIAMOND BAR BLVD. #300  
DIAMOND BAR, CA 91765  
Website: www.abledesigninc.net  
E-mail: able168@yahoo.com  
Tel: (800)868-0732

# ELEVATIONS SECTION

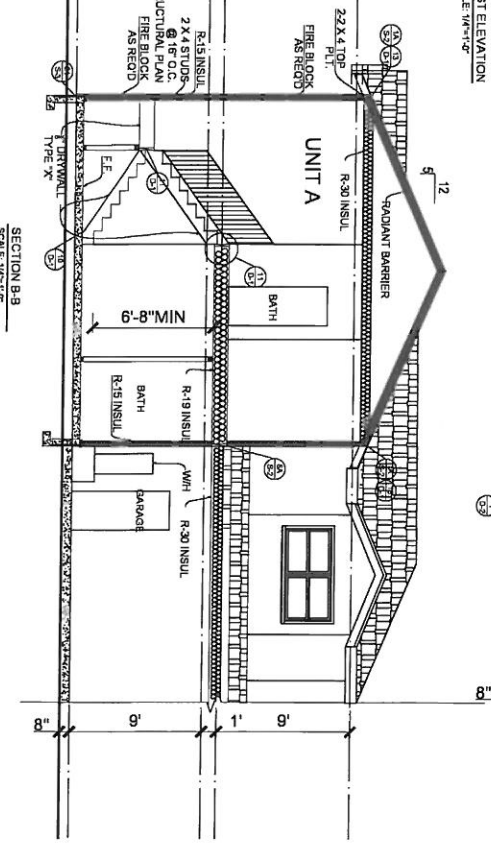
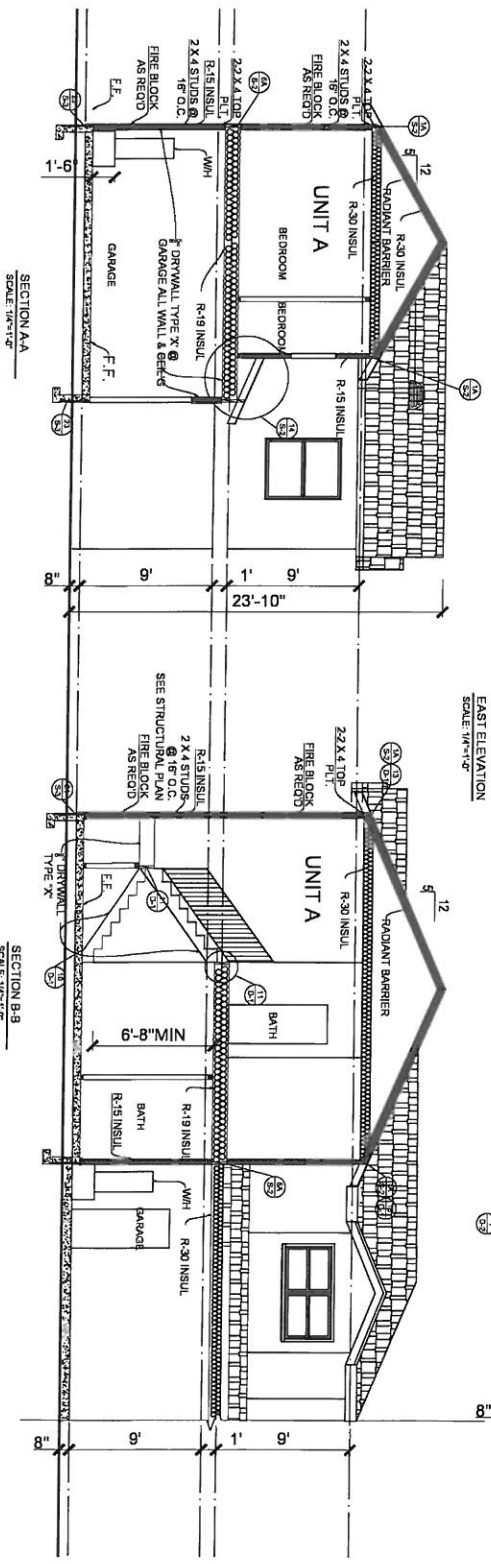
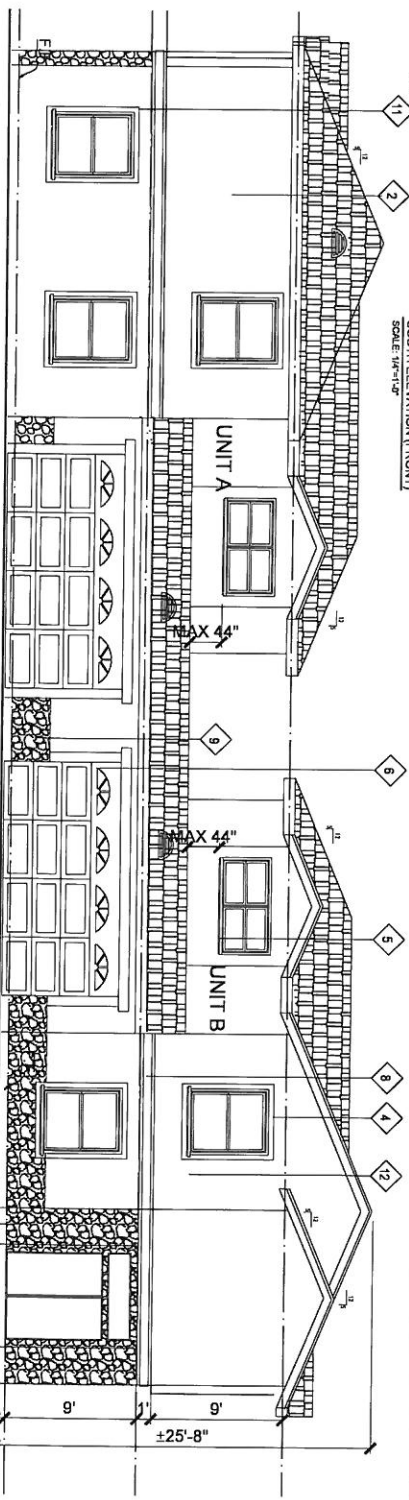
TWO UNITS TOWN HOUSE  
665 E 6TH ST  
POMONA, CA 91768

Date	5-20-2015
Scale	1/8" = 1'-0"
Drawn	EW
Job	
Sheet	A-3
Of	3





EXTERIOR FINISH SCHEDULE			
SYMBOL	NAME	DESCRIPTION	QTY OR
1	CONC. ROOF TILE	ROOF TYPE: SHOWN 800 SHADE	
2	STUCCO (UNIT A)	CHABOL BLEND / FSC-1400	BOVAL ROOM/CHABOL/ESR 3547
3	EXTERIOR WALL	EXTERIOR WALL	LA HABRA STUCCO / ESR-2564
4	EXTERIOR PAINT	EXTERIOR PAINT	BEAR PAINT
5	WINDOW FRAME	FOAM (FOR 2ND FLOOR)	LA HABRA STUCCO / ESR-2564
6	WINDOW FRAME	WHITE	BY INTERNATIONAL OR EQUAL
7	GARAGE DOOR	SECTIONAL METAL PANELS	BY "STANLEY"
8	DOWNER VENT	METAL	
9	STUCCO BAND	PAINTED MATCH ROOF TILE	LA HABRA STUCCO
10	STONE VENEER (UNIT A)	STONE VENEER	CULTURED STONE/ESR 1364
11	STONE VENEER (UNIT B)	STONE VENEER	CULTURED STONE/ESR 1364
12	WINDOW/DOOR TRIM	WOOD (FOR 1ST FLOOR)	LA HABRA STUCCO / ESR-2564
13	STUCCO (UNIT B)	EXTERIOR WALL	LA HABRA STUCCO / ESR-2564



Revisions	By
362017	EW
PUBLIC/CHABOL	EW
12/12/2018	EW
4/14/2019	EW
FIRE/DEVELOPMENT	EW
2/22/2020	EW

ABLE DESIGN & CONSTRUCTION  
516 N. DIAMOND BAR BLVD. #300  
DIAMOND BAR, CA 91765  
Website: www.abledesigninc.net  
E-mail: able168@yahoo.com  
Tel: (909)869-0732

ELEVATIONS  
SECTIONS

TWO UNITS TOWN HOUSE  
665 E 6TH ST  
POMONA, CA 91768

Date: 5-20-2015  
Scale: E.W.  
Draw: E.W.  
Job: A-4  
Sheet: A-4  
Of: 5









A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF POMONA, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT CUP 5544-2016 FOR TWO ATTACHED RESIDENTIAL CONDOMINIUM UNITS ON A PROPERTY LOCATED WITHIN THE 50-AR (SINGLE-USE ARTS/RETAIL) ZONING DISTRICT OF THE DOWNTOWN POMONA SPECIFIC PLAN ON PROPERTY LOCATED AT 665 EAST SIXTH STREET (APN: 83-5-022-008)

**SECTION 2.** If any protest, riot, or action of this resolution is determined by a court to be illegal, such jurisdiction over the subject matter of this resolution to the unenforceability or to void, the remainder of the authority of this resolution shall not be affected and shall continue in full force and effect. To this end, the provisions of this resolution are severable.

5. *The probability of such a revision would not be so small as to be irrelevant to the General Trust as a charity and, therefore, to the "promoters of the Society of Friends."*

and/or any of its officials, officers, employees, agents, departments, associates, or representatives thereof, that threaten, attack, or seek to modify, or to make, void or annul, any action of, or any permit or approval issued by, the City and/or any of its officials, officers, employees, agents, departments, associates, and representatives, either (a) individually or (b) in concert with one or more persons, for the purpose of influencing any action approved by the voters of the City, for or concerning the motion. Whether or not

*1* That the principal use of this "scientific" factor will "contribute to the general use" of "a good deal of the time" of the "residential" community.

[illegible][illegible][illegible]

Thus the site of the proposed use is of suitable topography, size and shape for residential use as well as of suitable soils, water, air, geology, flooding, underground water, and other factors necessary to allow such development in the proposed and made a compatible fit.

The subject site is large and actively flat with approximately 10,189 square feet of area. Therefore, the site has the potential for use and design to accommodate the proposed additional residential project.

That the use, when served and abutments are adequate in width and depth, meet to carry the maximum weight of the proposed use.

6. The applicant shall include all conditions of approval from Council (i.e. Permit (C1/P 5344-2016) on the title sheet of construction plans prior to plan check and initial.
7. The site plan shall include all utility services, such as but not limited to, location of, size and location of manholes, utility meter, and be surveyed from view from public right-of-way. Location, penetration depth, shall not be revealed on the front or back and shall be screened from public view. The site plan and notes shall include the location of all utilities. All existing utilities, electrical, water, gas, telephone, gas, sewer, as approved by the City of San Antonio, shall be shown on the plan. If located on a building, they shall be indicated and surveyed with the building. All existing utilities shall be indicated and surveyed with the building.

PC Revision No.  
 C:\Program Files\PC  
 Condensed 1 - Penna (V)(p.5,14a,116)  
 2000-01-28  
 Page 6 of 11

Pre-translation Note:  
Coversheet for Form 1 (27" x 44" (16)  
6-11) 1 and 14 Sheet

11. *Do you think that people in your country are honest and trustworthy?* (Response: 1 = Strongly agree, 2 = Agree, 3 = Neither agree nor disagree, 4 = Disagree, 5 = Strongly disagree)
12. *People are honest and trustworthy in your country.* (Response: 1 = Strongly agree, 2 = Agree, 3 = Neither agree nor disagree, 4 = Disagree, 5 = Strongly disagree)
13. *When I hear of a person of this kind, I feel disappointed.* (Response: 1 = Strongly agree, 2 = Agree, 3 = Neither agree nor disagree, 4 = Disagree, 5 = Strongly disagree)
14. *During education, training, etc. we are taught not to do anything all right, everything is wrong.* (Response: 1 = Strongly agree, 2 = Agree, 3 = Neither agree nor disagree, 4 = Disagree, 5 = Strongly disagree)

22. Applicant Data =  $\text{oper} \cdot \text{size} + \text{cost} + \text{the grading, drainage, and erosion control plan}$  (the last three items are not included in the bid) and approved by the public Works, Planning and Building, and Public Safety Departments. The applicant must submit a copy of the approved plan to the City Council for approval subject to the Planning Committee's approval. (a) The plan shall be a minimum of 1" = 10' scale to show, all the items (b) The plan shall be a minimum of 1" = 10' scale with a standard 1" = 10' scale. (c) The plan shall be a minimum of 1" = 10' scale to show, all the items (d) The plan shall be a minimum of 1" = 10' scale to show, all the items (e) The plan shall be a minimum of 1" = 10' scale to show, all the items (f) The plan shall be a minimum of 1" = 10' scale to show, all the items (g) The plan shall be a minimum of 1" = 10' scale to show, all the items (h) The plan shall be a minimum of 1" = 10' scale to show, all the items (i) The plan shall be a minimum of 1" = 10' scale to show, all the items (j) The plan shall be a minimum of 1" = 10' scale to show, all the items (k) The plan shall be a minimum of 1" = 10' scale to show, all the items (l) The plan shall be a minimum of 1" = 10' scale to show, all the items (m) The plan shall be a minimum of 1" = 10' scale to show, all the items (n) The plan shall be a minimum of 1" = 10' scale to show, all the items (o) The plan shall be a minimum of 1" = 10' scale to show, all the items (p) The plan shall be a minimum of 1" = 10' scale to show, all the items (q) The plan shall be a minimum of 1" = 10' scale to show, all the items (r) The plan shall be a minimum of 1" = 10' scale to show, all the items (s) The plan shall be a minimum of 1" = 10' scale to show, all the items (t) The plan shall be a minimum of 1" = 10' scale to show, all the items (u) The plan shall be a minimum of 1" = 10' scale to show, all the items (v) The plan shall be a minimum of 1" = 10' scale to show, all the items (w) The plan shall be a minimum of 1" = 10' scale to show, all the items (x) The plan shall be a minimum of 1" = 10' scale to show, all the items (y) The plan shall be a minimum of 1" = 10' scale to show, all the items (z) The plan shall be a minimum of 1" = 10' scale to show, all the items

15. the construction work shall be kept to a minimum at all times prior to driving, and after driving commences, the driver shall be kept to a minimum.
16. The approval means shall ensure any driver on the project area within 1 km of the proposed road will be covered by sufficient noise abatement measures to ensure that the noise from the road will not be a significant and reasonably damaging disturbance to the amenity of the area.
17. All landscaping shall be maintained in a good and clean manner, and a certificate of approval of the Council shall be provided to the Council by the applicant.
18. *(Note: any street shall be used in a way that is consistent with the intention of reducing noise.)*
19. **BUILDING AND LANDSCAPING**
20. The undersiding of utility facilities is required. (P.M. 4.2.31)

The design must be reviewed and approved by the Council and the Council may request the design of California (1) be revised and (2) provisions of code Sections 45.2.2, 45.3.5 and 67.2.2 be applied.

33. During a meeting, conference, or any other meeting, adjacent properties shall not be used for any other purpose that is not related or modified in any way.
34. Prior to the issuance of the grading permit, the applicant shall prepare a final plan showing the proposed grading, including the proposed drainage system, and shall submit the same to the City Engineer for review and approval by the City Engineer.
35. Prior to issuance of the grading permit, the Applicant shall prepare a final plan showing the proposed grading, including the proposed drainage system, and shall submit the same to the City Engineer for review and approval by the City Engineer.
36. Prior to the issuance of the grading permit, the applicant shall prepare a final plan showing the proposed grading, including the proposed drainage system, and shall submit the same to the City Engineer for review and approval by the City Engineer.

**AD** ABLE DESIGN & CONSTRUCTION  
516 N. DIAMOND BAR BLVD. #300  
DIAMOND BAR, CA 91765  
Website: [www.abledesigninc.net](http://www.abledesigninc.net)  
E-mail: [able168@yahoo.com](mailto:able168@yahoo.com)  
Tel: (809)869-0732

**TWO UNITS TOWN HOUSE**

**665 E 6TH ST**  
**POMONA, CA 91766**

Sheet  
N-1  
of  
Sheets









[illegible]

Revisions	By	5/30/27	EW	516 N. DIAMOND BAR BLVD. #300 DIAMOND BAR, CA 91765 Website: <a href="http://www.abledesigninc.net">www.abledesigninc.net</a> E-mail: <a href="mailto:able168@yahoo.com">able168@yahoo.com</a> Tel: (908) 869-0732	NOTE	TWO UNITS TOWN HOUSE  665 E 6TH ST POMONA, CA 91766	Date 10-26-2017	Scale	Drawn E.W.	Job	Sheet N-4 of Sheets
-----------	----	---------	----	--	------	--	-----------------	-------	------------	-----	------------------------------