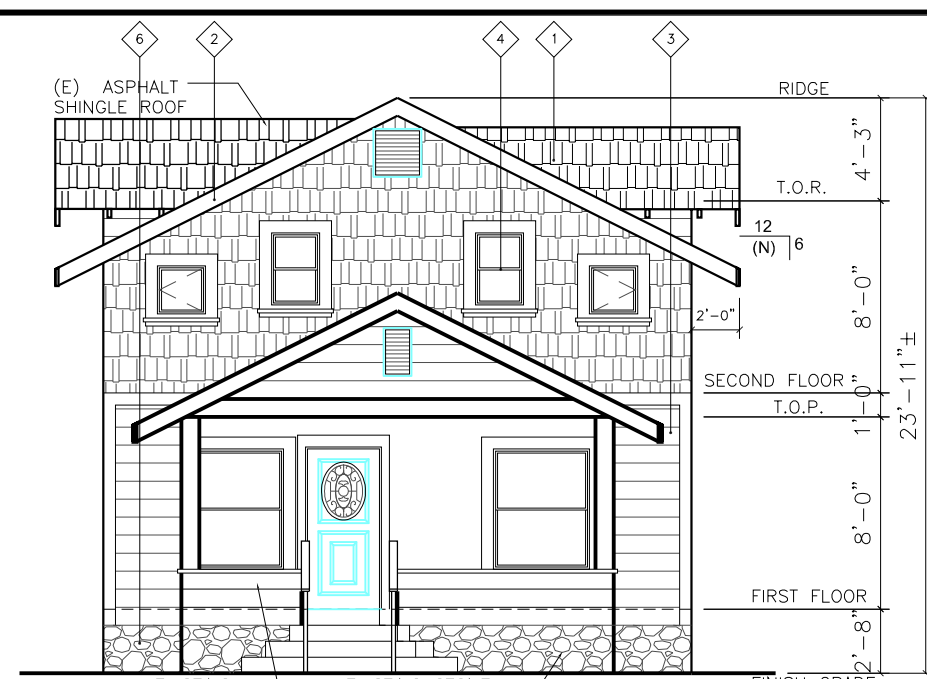
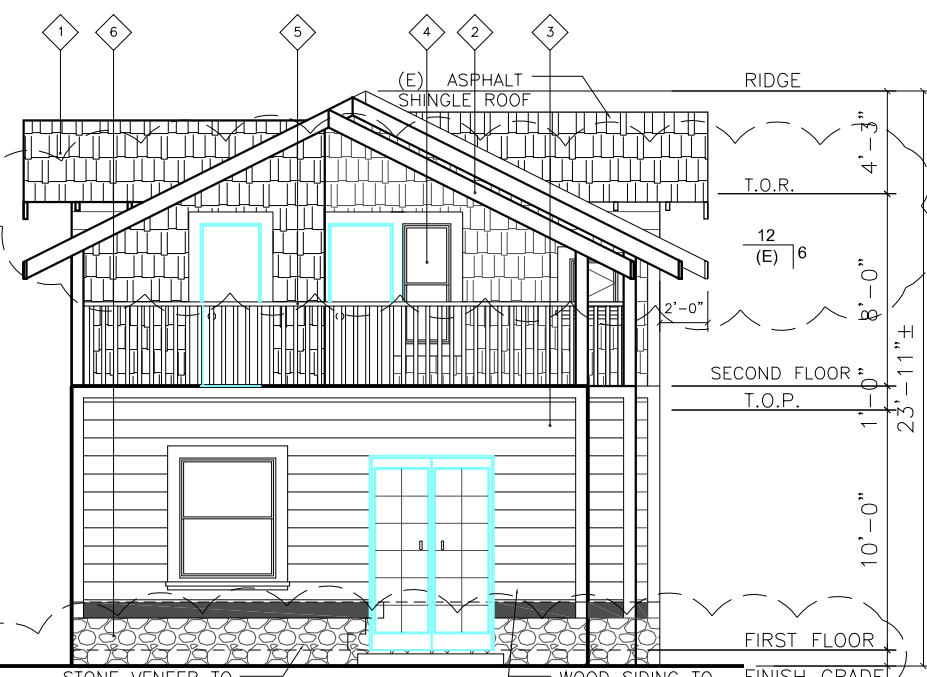




NORTH ELEVATION (MAIN HOUSE)

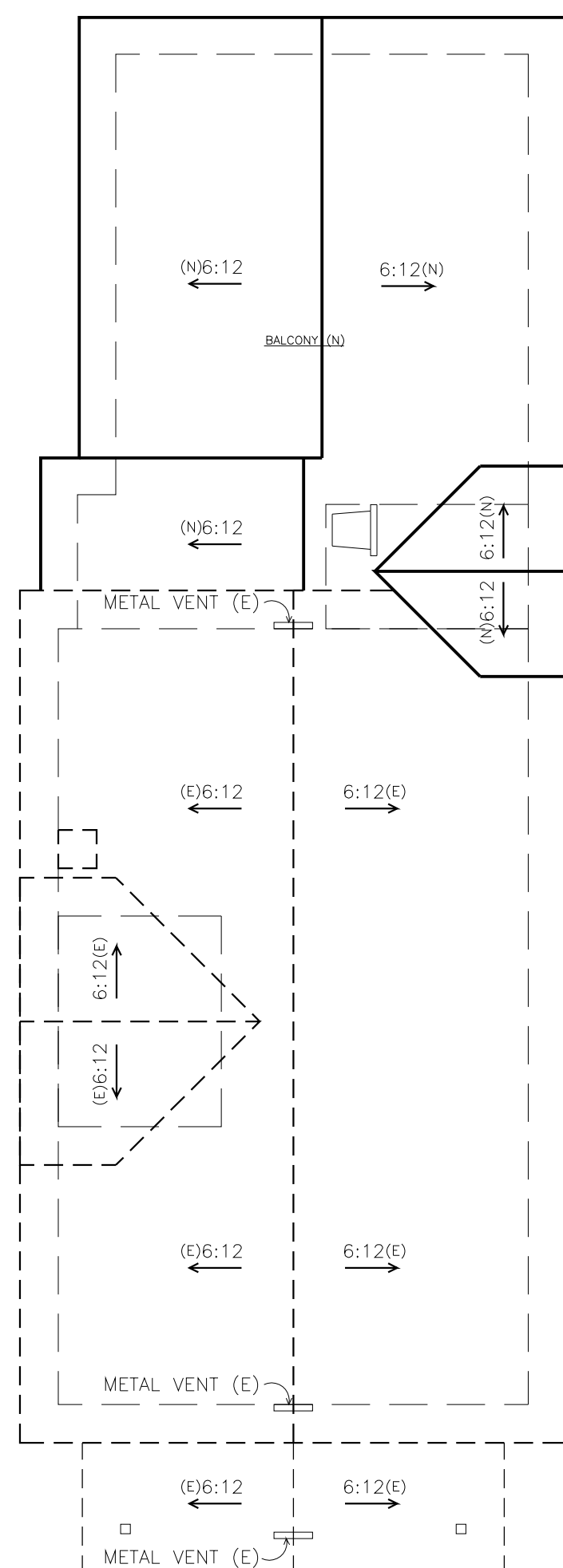


SOUTH ELEVATION (MAIN HOUSE)

<u>EXTERIOR FINISH SCHEDULE</u>				
	MATERIAL	FINISH	COLOR	MANUF.
1	SHINGLE ROOF	ASPHALT	GRAY	OWENS CORNING ROOFING AND ASPHALT, LLC
2	2X6 FASCIA BOARD	PAINTED	WHITE	DUNN-EDWARDS
3	SIDING	PANEL SIDING	BLUE	JAMESHARDIE
4	WINDOWS	WOOD	WHITE	JELD WEN
5	RAILING	WOOD	WHITE	FIBERON HOME SELECT
6	STONE VENEER	REAL RIVER ROCK	GRAY	ELDORADO STONE, LLC

ELEVATIONS (MAIN HOUSE)

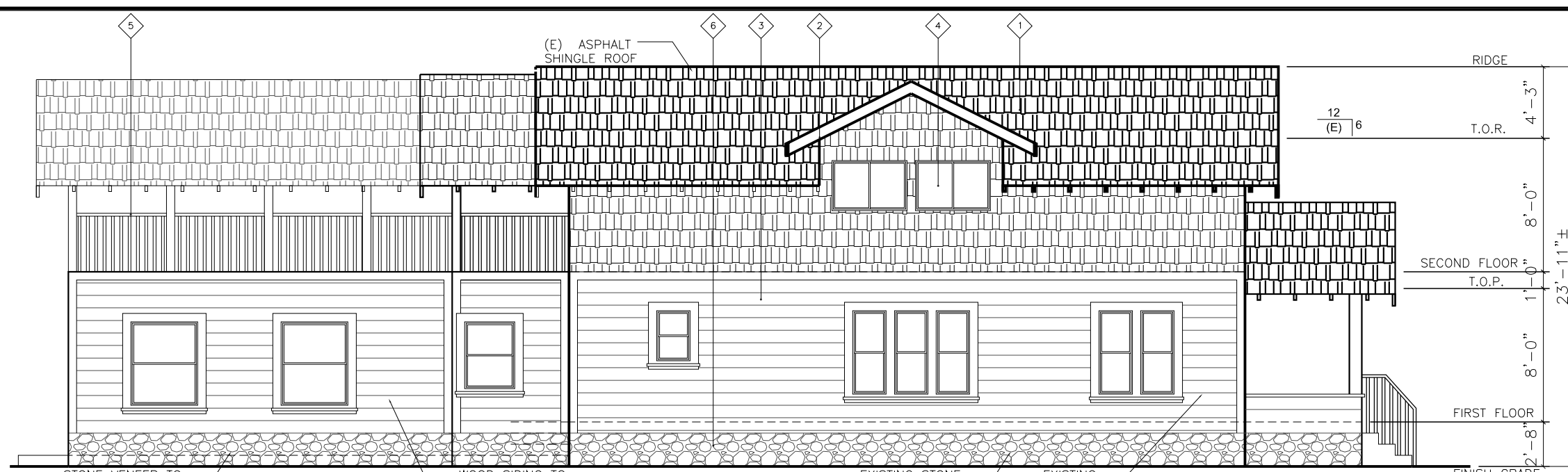
SCALE: 1/8" = 1'-0" **6**



— — — — EXISTING WALL LINE
- - - - - EXISTING 1ST ROOF LINE
- - - - - EXISTING 2ND ROOF LINE
————— NEW 2ND ROOF LINE

NEW MAIN ROOF
 ROOF ATTIC AREA = 69 S.F.
 ROOF VENT REQ'D. = 69 S.F. / 150 = 0.46 S.F.
 ROOF VENT PROVIDED = (1) X 0.9375 = 0.9375 S.F.
 TOTAL = 0.9375 S.F. > 0.46 S.F.

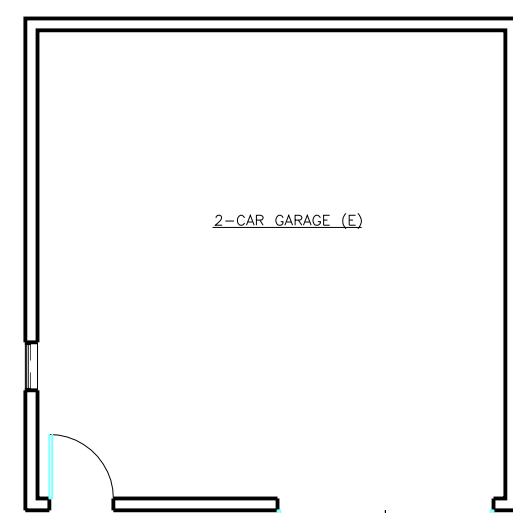
- 1 14"x24" METAL VENT LOUVER HAS 168 SQ. IN.
(=1.1667 SQ. FT.) FREE AREA (TYP.)
 - 2 24" HALF ROUND METAL VENT LOUVER HAS 135 SQ. IN.
(=0.9375 SQ. FT.) FREE AREA (TYP.)
- OPENINGS SHALL HAVE 1/4" CORROSION RESISTANT
METAL MESH COVERING
- * ROOF PITCH TO MATCH THE EXISTING.



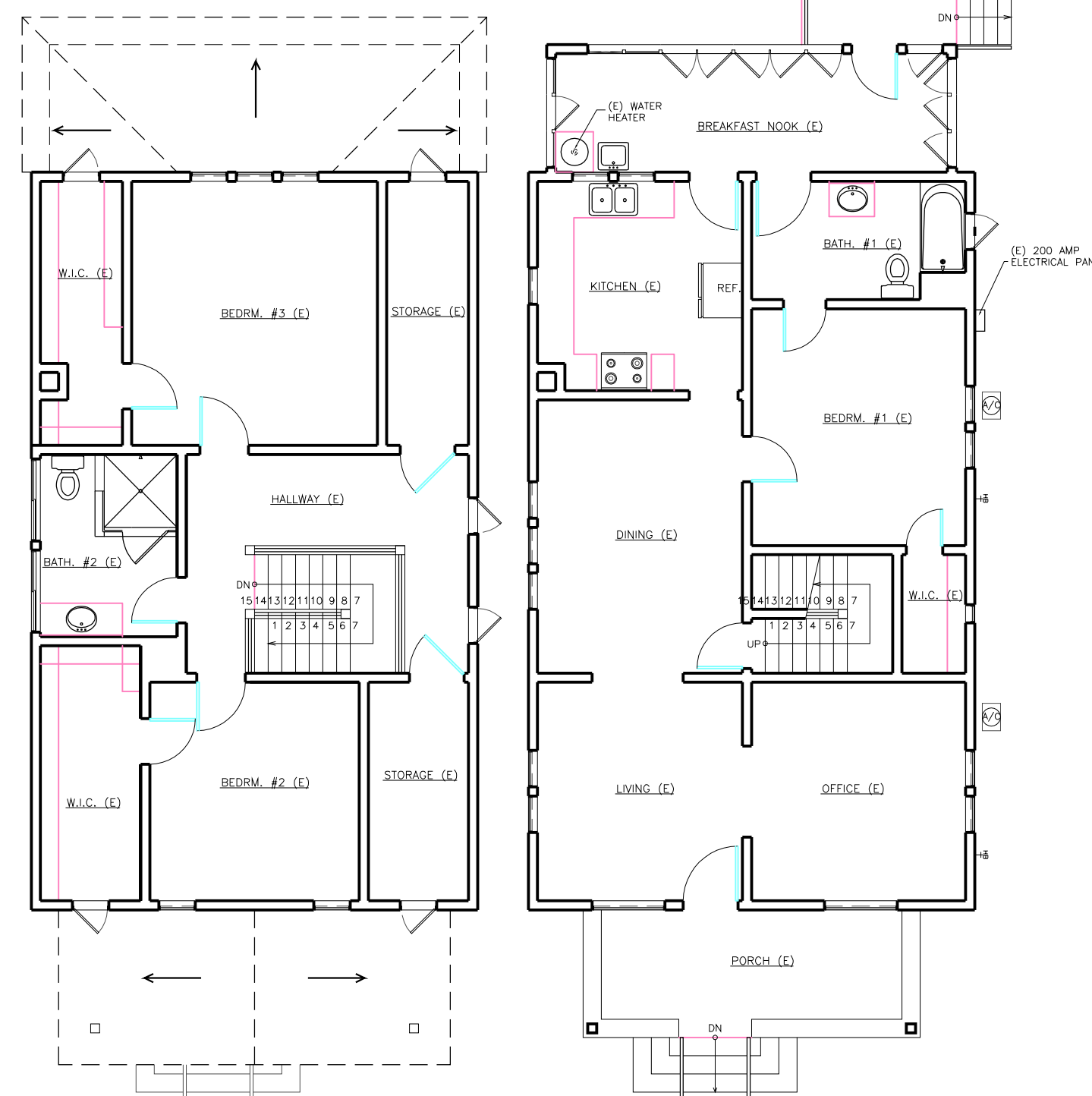
EAST ELEVATION (MAIN HOUSE)



WEST ELEVATION (MAIN HOUSE)

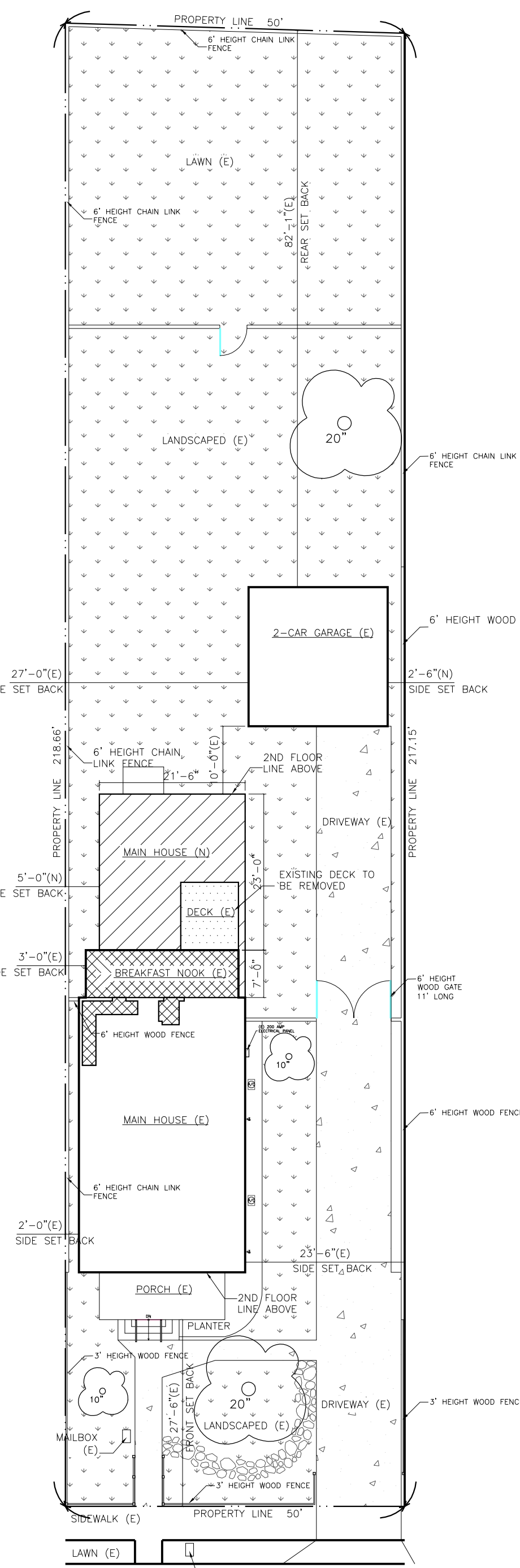


GARAGE



SECOND FLOOR

FIRST FLOOR

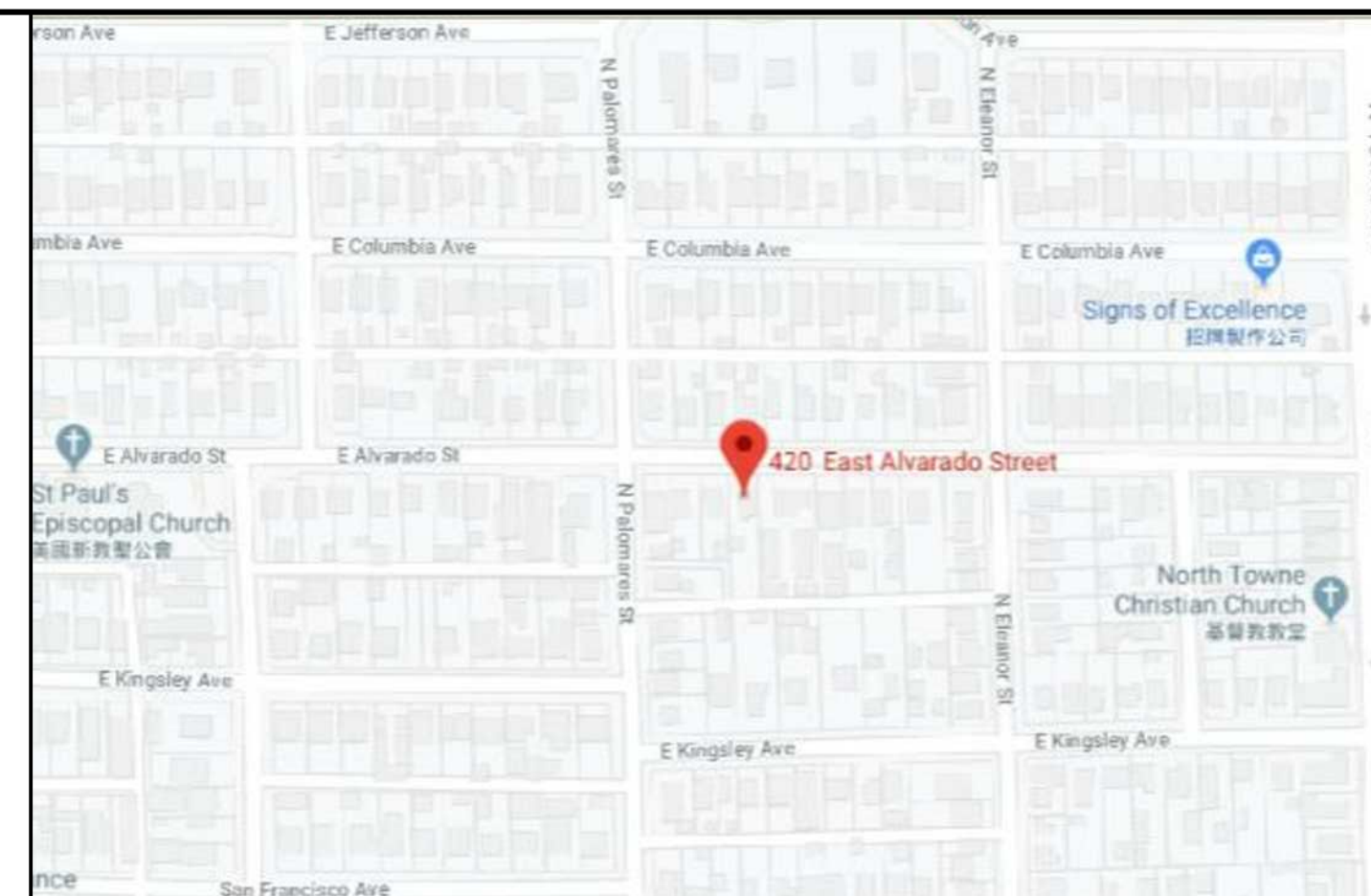


PERMEABLE LOT COVERAGE:
6,363 S.F. (LANDSCAPE) / 10,900 S.F. (LOT SIZE)
= 58.38%

E ALVARADO ST
LEGEND
 1ST FLOOR ADDITION
 DELETE AREA
 REMODELING AREA

PLOT PLAN

SCALE: 1/16" = 1'-0"



VICINITY MAP

N.T.S.

2

RESIDENTIAL ADDITION

1. OWNER: JINBAO ZHAO
420 E ALVARADO ST.,
POMONA, CA 91767
2. CODE:
2019 EDITIONS OF THE CALIFORNIA BUILDING
CODE, CALIFORNIA RESIDENTIAL CODE,
CALIFORNIA ELECTRICAL CODE, CALIFORNIA
PLUMBING CODE, CALIFORNIA MECHANICAL
CODE, CALIFORNIA FIRE CODE, CALIFORNIA
ENERGY CODE, AND THE CAL GREEN CODES.
3. LOT SIZE: 10,900 S.F.
4. EXISTING:
MAIN HOUSE = 2,074 S.F. (1F: 1,150 S.F., 2F: 924 S.F.)
PORCH = 130 S.F.
DECK = 85 S.F.
GARAGR = 420 S.F.

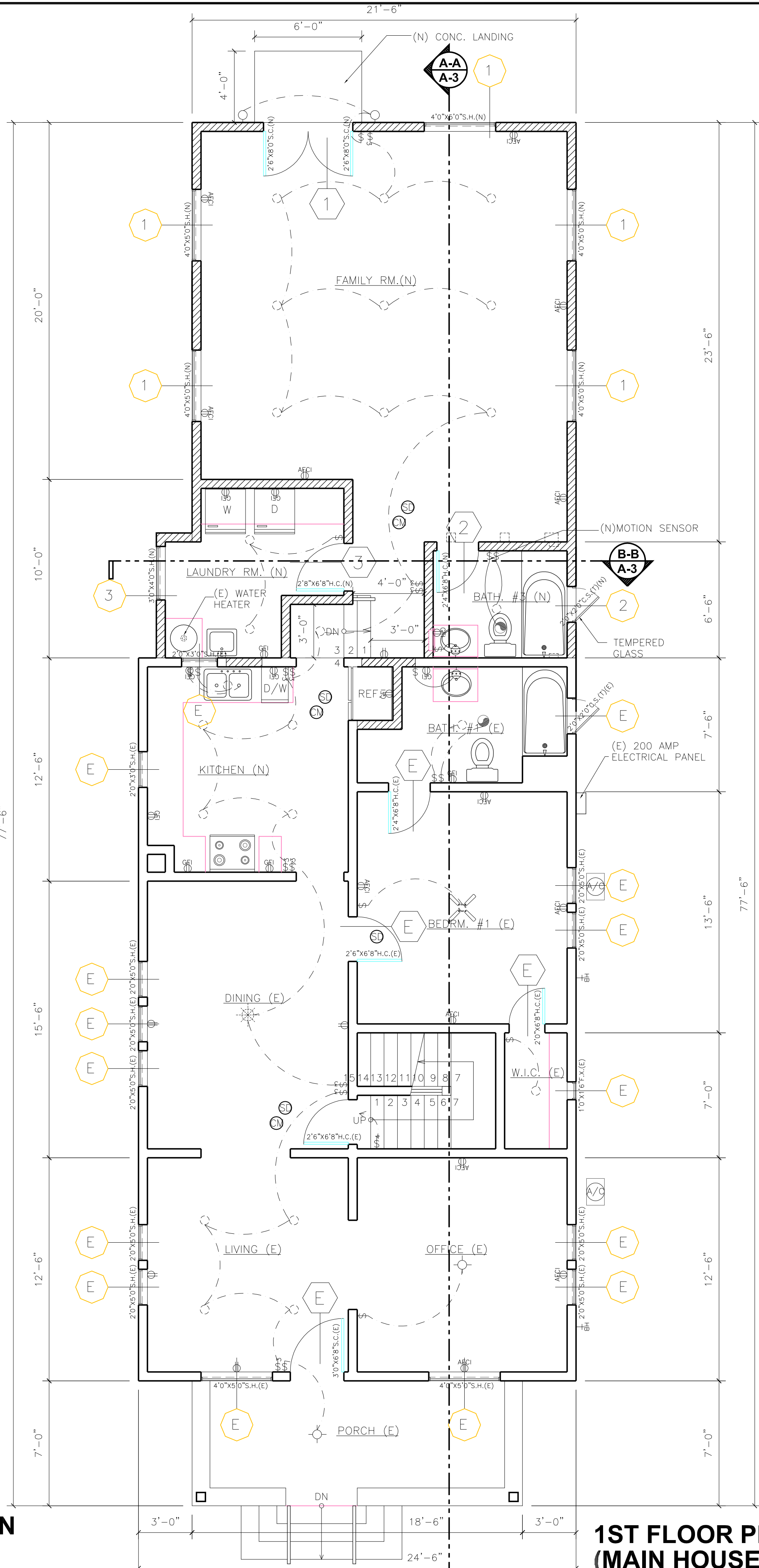
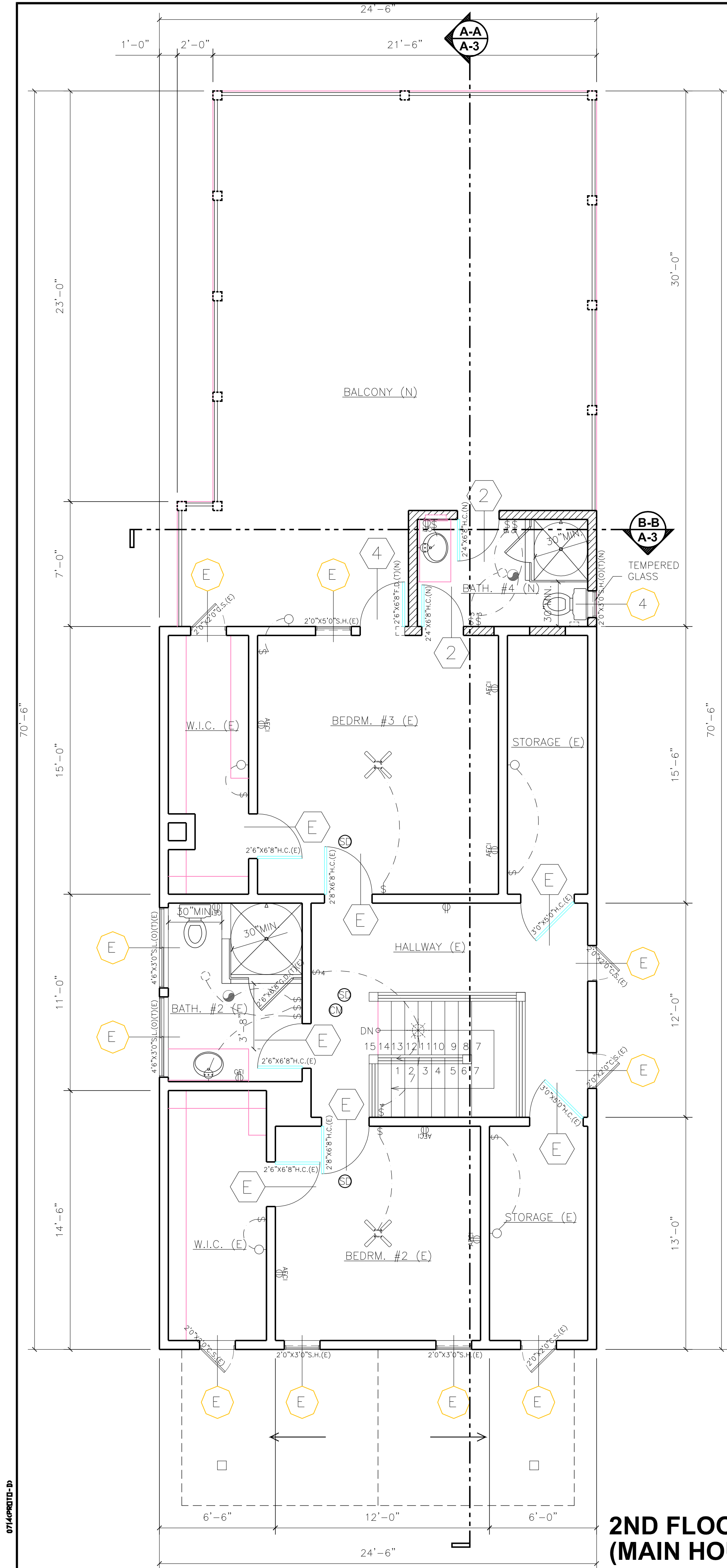
5. PROPOSED :

1. DEMOLISH DECK.
2. REMODEL EXISTING BREAKFAST NOOK AND KITCHEN.
3. ADD FAMILY ROOM, LAUNDRY ROOM, AND 2 BATHROOMS.
4. ADD BALCONY (590 S.F.)

TOTAL ADDITION FLOOR AREA: MAIN HOUSE 1F: 501 S.F., 2F: 69 S.F.;
TOTAL DEMOLISH AREA: 85 S.F.
TOTAL REMODELING AREA: 202 S.F. (158 + 44)
BALCONY ADDITION : 590 S.F.

6. AFTER ADDITION:
- | | | |
|------------|---|---|
| MAIN HOUSE | = | 2,644 S.F. (1F: 1,651 S.F., 2F: 993 S.F.) |
| PORCH | = | 130 S.F. (NO CHANGE) |
| BALCONY | = | 590 S.F. |
| GARAGE | = | 420 S.F. (NO CHANGE) |
7. LOT COVERAGE (EXIST)= 1,150 (MAIN HOUSE 1F) + 130 (PORCH)
+ 85 (DECK) + 420 (GARAGE)
= 1,981 S.F.
1,785 / 10,900 = 16.38%
- LOT COVERAGE (NEW)= 1,651 (MAIN HOUSE 1F) + 130 (PORCH)
+ 420 (GARAGE)
= 2,201 S.F.
2,201 / 10,900 = 20.19%
8. NUMBER OF STORIES: 2
9. ZONING: R1
10. ASSESSOR'S ID NO: 8337-004-009

[illegible]



ELECTRICAL LEGEND

- 12"x48" W/2-TUBE
- FLUORESCENT LIGHT
- FIXTURE
- UNDER CABINET FLUORESCENT LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- CEILING MOUNTED FLUORESCENT LIGHT FIXTURE
- WALL MOUNTED W/MOTION SENSOR LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- RECESSED FLUORESCENT LIGHT FIXTURE
- ELECT. OUTLET (AT WALL)
- ARC-FAULT CIRCUIT INTERRUPTER OUTLET (AT WALL)
- ARC-FAULT CIRCUIT INTERRUPTER OUTLET (AT FLOOR)
- TELEPHONE JACK
- TELEVISION JACK
- SINGLE POLE SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- CEILING FAN W/LIGHT FIXTURE
- HARD WIRED CARBON MONOXIDE ALARM
- W/BATTERY BACK-UP INTERCONNECTED (TYP.)
- HARD WIRED SMOKE DETECTOR
- W/BATTERY BACK-UP INTERCONNECTED (TYP.)
- PROVIDE EXHAUST FAN (PROVIDING 5 AIR CHANGES PER HOUR W/BACKDRAFT DAMPER) TYP. 50 CFM. WITH HUMIDISTAT CONTROL. IN NON MODIFY OR NON REMODEL AREA, INSTALL BATTERY POWERED SMOKE DETECTORS IN HALLWAY AND IN EACH BED ROOM.
- H.B. W/NON-REMOVABLE BACKFLOW PREVENTER (TYP.)

WINDOW NOTES

WINDOW SIZE AND TYPE, CALL-OUT:
EXAMPLE: 3'-0"(W) X 4'-0"(H)/2'-8"(SILL HT.)
S.L.(WINDOW TYPE)
WINDOW TYPE:
S.L. : HORIZONTAL SLIDING
S.H. : SINGLE HUNG
F.X. : FIXED
C.S. : CASEMENT
G.W. : GARDEN WINDOW
S.D. : SIDE LIGHT (TEMPERED GLASS)
(T) : TEMPERED GLASS
(A) : ARCH WINDOW
(R/HR) : ROUND/HALF-ROUND WINDOW
(O) : OBSCURE GLASS
(E) : EXISTING
(N) : NEW INSTALLATION
U FACTOR: 0.32
SHGC: 0.27

DOOR NOTES
DOOR SIZE AND CONSTRUCT SEE PLAN
S.C. : SOLID CORE (1-3/4" THICKNESS)
H.C. : HOLLOW CORE (1-3/8" THICKNESS)
F.D. : FRENCH DOOR (TEMPERED GLASS)
G.L. : GLASS SLIDING DOOR (TEMPERED GLASS)
B.P. : BY-PASS DOORS
B.F. : BI-FOLDING DOOR
O.H. : GARAGE DOOR (ROLL-UP, SECTIONAL DOOR)
P.D. : POCKET DOOR

WALL LEGEND

- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- NEW WALL
- ONE HR. FIRE-RESISTIVE WALL
- EXISTING BUILDING LINE

WINDOW SCHEDULE

SYMBOL	SIZE		SILL HT.	TYPE	FRAME	GLAZING	U-FACTOR	SHGC	REMARK
	W	H							
1	4'0"	5'0"	3'0"	A	WOOD	CLEAR	0.32	0.25	
2	2'0"	2'0"	6'0"	B	WOOD	CLEAR	0.32	0.25	TEMPERED
3	3'0"	4'0"	4'0"	A	WOOD	CLEAR	0.32	0.25	
4	2'0"	3'0"	5'0"	A	WOOD	CLEAR	0.32	0.25	TEMPERED
E	EXISTING WINDOW TO REMAIN						0.71	0.73	

A

B

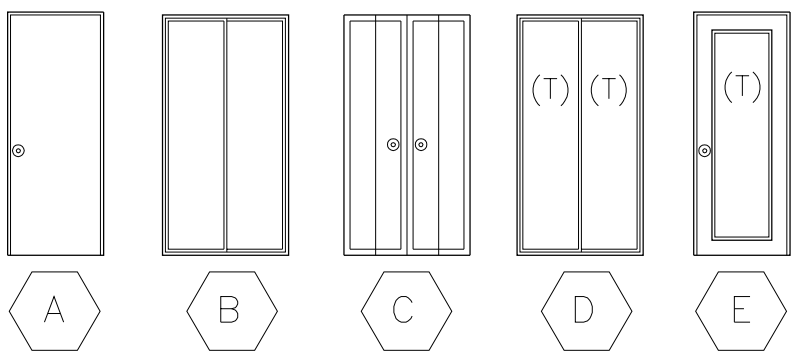
C

D

DOOR SCHEDULE

SYMBOL	SIZE			TYPE	CORE	FRAME	RATING	REMARK
	W	H	THK.					
1	2'8"	8'0"	1-3/4"	A	SOLID	WOOD	SEE T-24	
2	2'4"	6'8"	1-3/8"	A	HOLLOW	WOOD	SEE T-24	
3	2'8"	6'8"	1-3/8"	A	HOLLOW	WOOD	SEE T-24	
4	2'6"	6'8"	1/3-1/4"	E	GLASS	VINYL	SEE T-24	TEMPERED
E	EXISTING TO REMAIN							

DOOR TYPE



PROPOSED FLOOR PLAN (MAIN HOUSE)

2ND FLOOR PLAN (MAIN HOUSE)

1ST FLOOR PLAN (MAIN HOUSE)

SCALE: 1/4" = 1'-0"

REVISIONS

DATE	NO
REVISION COVERED PORCH 08-14-2020	
REVISION COVERED PORCH 09-27-2020	
REVISION COVERED PORCH 10-27-2020	

DESIGNER: GREEN H

JOB ADDRESS: ZHAO RESIDENCE 420 E ALVARADO ST., POMONA, CA 91767

SHEET TITLE: PROPOSED FLOOR PLAN (MAIN HOUSE)

STAMP: Date 9-27-2020 Scale AS SHOWN Drawn LH Job 1936 Sheet A-2

SECTIONS

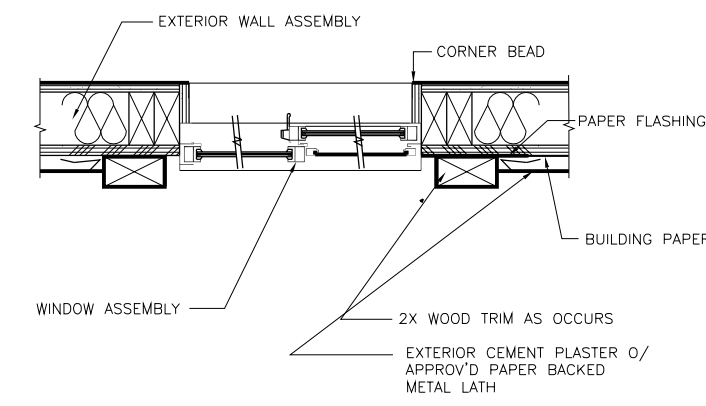
SCALE: 1/4" = 1'-0" | **1**

1

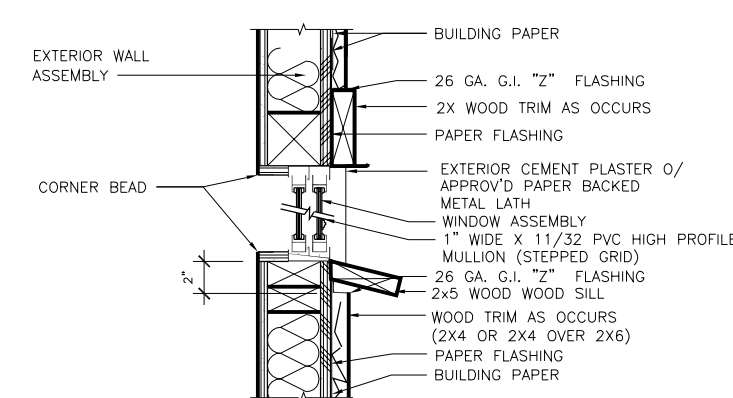
STAMP: SHEET TITLE: SECTIONS	JOB ADDRESS: ZHAO RESIDENCE 420 E ALVARADO ST., POMONA, CA 91767		DESIGNER: GREEN H CONSTRUCTION CORP. 21308 PATHFINDER RD., #204 DIAMOND BAR, CA 91765 TEL: (909) 841-1111 greenhconstruction@yahoo.com	REVISIONS	
	Date	9-27-2020		DATE	NO.
	Scale	AS SHOWN		REVISE COVERED PORCH 09-14-2020	△
	Job	1936		REVISE COVERED PORCH 09-27-2020	△
	Sheet			REVISE COVERED PORCH 10-27-2020	△
A-3					

SECTION KEY NOTES:

1. 2 X ROOF RAFTER (SEE ROOFING PLAN)
2. 2 X CEILING JOIST (SEE ROOFING PLAN)
3. 2 X FLOOR JOIST (SEE FRAMING PLAN)
4. R-30 INSULATION @ R.R. OR C.J. (TYP.)
5. R-13 INSULATION @ 2 X STUDS (TYP.)
6. R-19 INSULATION F.J. (TYP.)
7. CONC. FOOTING (SEE FOUNDATION PLAN)
8. STUCCO OVER WIRE MESH



JAMB DETAIL



HEAD & SILL DETAIL

