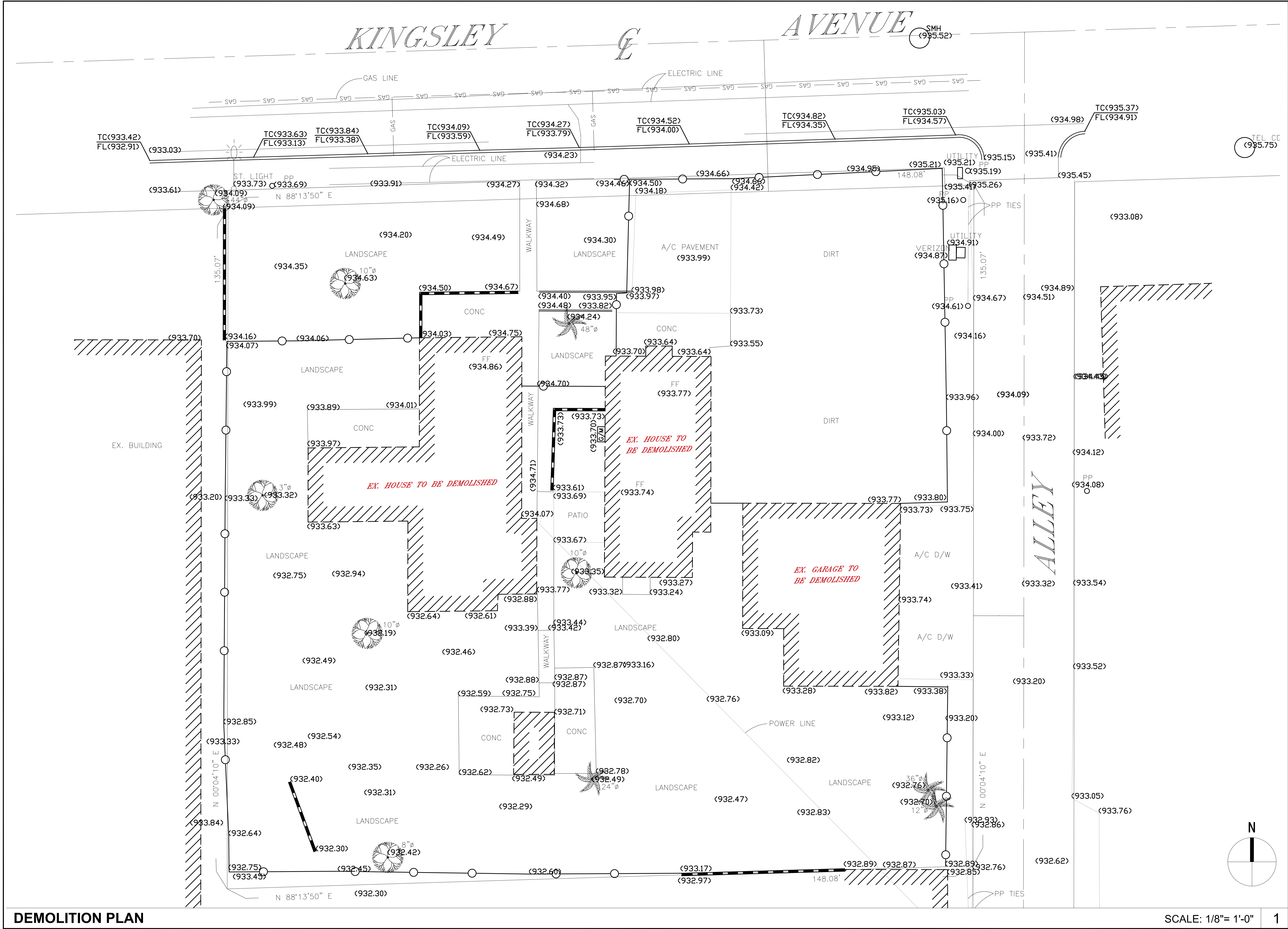




Tel: 818.856.0986
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Pasadena, CA 91101

REVISIONS
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PROJECT NAME:
**DEMOLISH (E) HOUSE &
BUILD (N) 8-UNIT APARTMENT**
1324 E KINGSLEY AVE, POMONA, CA 91767

DEMOLITION PLAN

DRAWN:
YUHUI LI

DATE:
09/21/2020

SHEET:
A-5.0

DEMOLISH (E) HOUSE &
BUILD (N) 8-UNIT APARTMENT
1324 E KINGSLEY AVE, POMONA, CA 91767



VICINITY

1

NOTES ON PLANS:

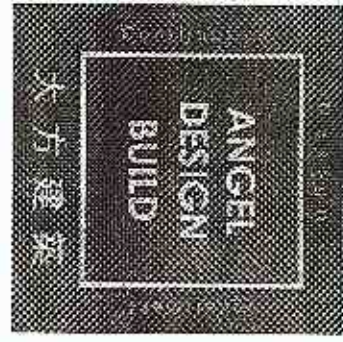
1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN THEN FEET OF ANY POWER LINES, WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND / OR ADDITIONAL EXPENSES.
2. AN APPROVED SEISMIC GAS SHUT OFF VALVE OR EXCESS FLOW SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN-STREAM SIDE OF THE UTILITY METER AND BE RELIABLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170.158 AND 180.670) SEPARATE PLUMBING PERMIT IS REQUIRED.
3. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
4. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
5. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
6. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
7. WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)
8. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. (R314.2)
9. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.)
10. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDELES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
11. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE
12. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D. (R313, 12.21A17(d))
13. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
14. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT. (ENERGY CODE 110.10(D))
15. FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. (STATE ASSEMBLY BILL NO. 1881)

PROJECT INFORMATION

1. PROJECT: DEMOLISH (E) HOUSE & BUILD (N) 8-UNIT APARTMENT
- OWNER:
FULL LOVE TRUST
4521 CAMPUS DR., STE 362
IRVINE, CA 92612
EMAIL: FULLLOVETR@GMAIL.COM
TEL: (949)899-7888
- DESIGNER:
ANGEL DESIGN BUILD
423 WALDO AVE, STE 307
PASADENA, CA 91101
EMAIL: YUHU18500@GMAIL.COM
TEL: (909) 542-8420
2. PROJECT ADDRESS: 1324 E KINGSLEY AVE, POMONA, CA 91767
3. AIN: 8323-021-004
4. LOT AREA: 19,767 SQ.FT.
5. ZONING: R3
6. OCCUPANCY: R-2
7. CONSTRUCTION TYPE: TYPE V-A
8. BUILDING CODE:
2020 CBC, CRC, CMC, CPC, CEC, ALONG WITH THE 2020 CA ENERGY CODE AND LOCAL MUNICIPAL CODE.
9. PROJECT DATA:
BUILDING 1 FOOTPRINT: 3,802.00 SQ.FT.
BUILDING 2 FOOTPRINT: 3,630.00 SQ.FT.
TOTAL FOOTPRINT: 7,432.00 SQ.FT
LOT COVERAGE: 7,432.00/19,767 = 37.60%
FLOOR AREA:
BUILDING 1: 4,996.50 SQ.FT.
BUILDING 1 GARAGE: 1,760.00 SQ.FT.
BUILDING 2: 4996.50 SQ.FT.
BUILDING 2 GARAGE: 1,600.00 SQ.FT.
10. FRONT YARD: 25'-0"
WEST SIDE YARD: 25'-0"
EAST SIDE YARD: 10'-0"
REAR YARD: 25'-2"
(THE HEIGHT OF THE BUILDING WALL ADJACENT TO THE WEST SIDE YARD: 18'-6")
(THE HEIGHT OF THE BUILDING WALL ADJACENT TO THE EAST SIDE YARD: 18'-6")
(FLOOR PLAN IS ORIENTED TO A SIDE YARD AND COURT YARD, THE REAR YARD SETBACK COULD BE REDUCED TO TEN FEET)
BUILDING HEIGHT: 25'-0" < 35'-0" (TWO STORIES)
11. AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA13R.

ARCHITECTURAL PLANS

- A-0.0 COVER SHEET
- A-1.0 SITE PLAN
- A-2.0 BUILDING 1 FIRST FLOOR PLAN
- A-2.1 BUILDING 1 SECOND FLOOR PLAN
- A-2.2 BUILDING 1 ELEVATION
- A-3.0 BUILDING 2 FIRST FLOOR PLAN
- A-3.1 BUILDING 2 SECOND FLOOR PLAN
- A-3.2 BUILDING 2 ELEVATION
- A-4.0 MATURE TREE REMOVAL



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COVER SHEET

DRAWN:
YUHU LI

DATE:
09/21/2020

SHEET:

A-0.0



GENERAL NOTES

2

PROJECT INFORMATION

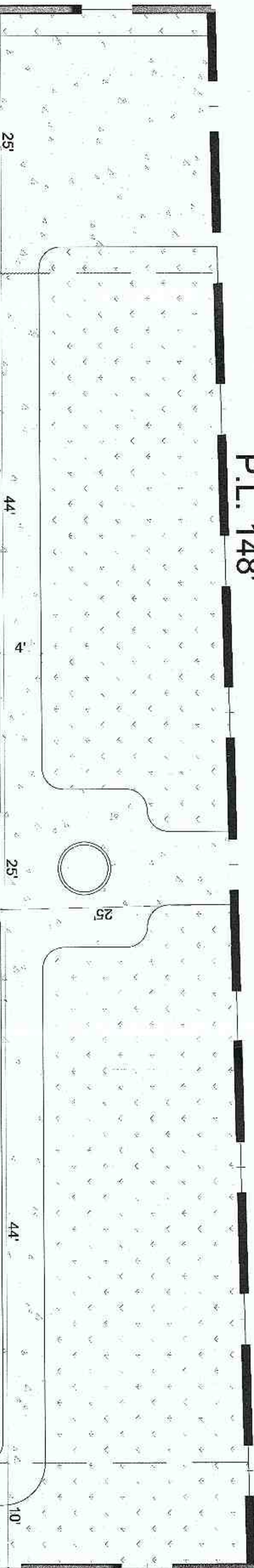
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E Kingsley Ave

P.L. 148'



20'

Alley

P.L. 135'

CONCRETE DRIVEWAY

P.L. 135'

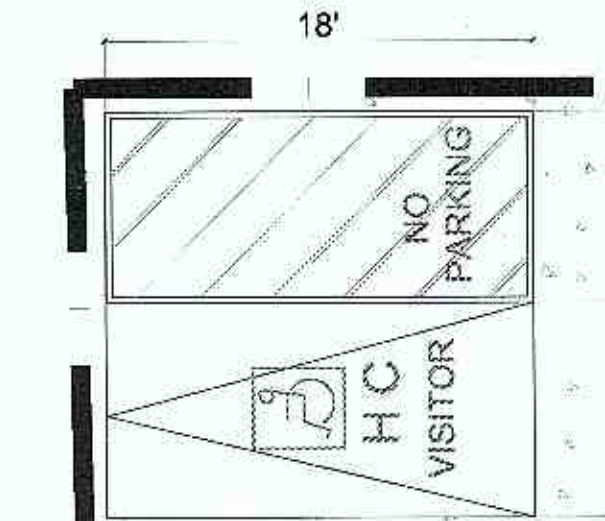
BUILDING 1

BUILDING 2

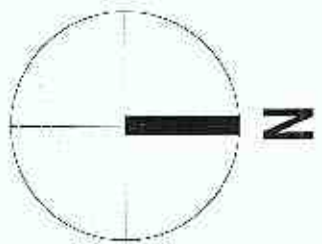
PICNIC AREA

VISITOR

NO PARKING
H.C.
VISITOR



P.L. 148'



SCALE: 1/8"= 1'-0"

1

SITE PLAN

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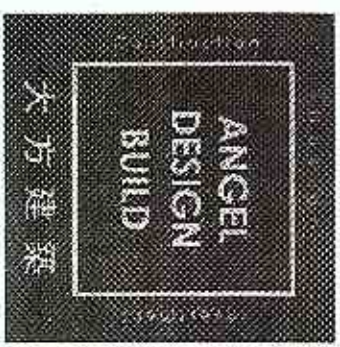
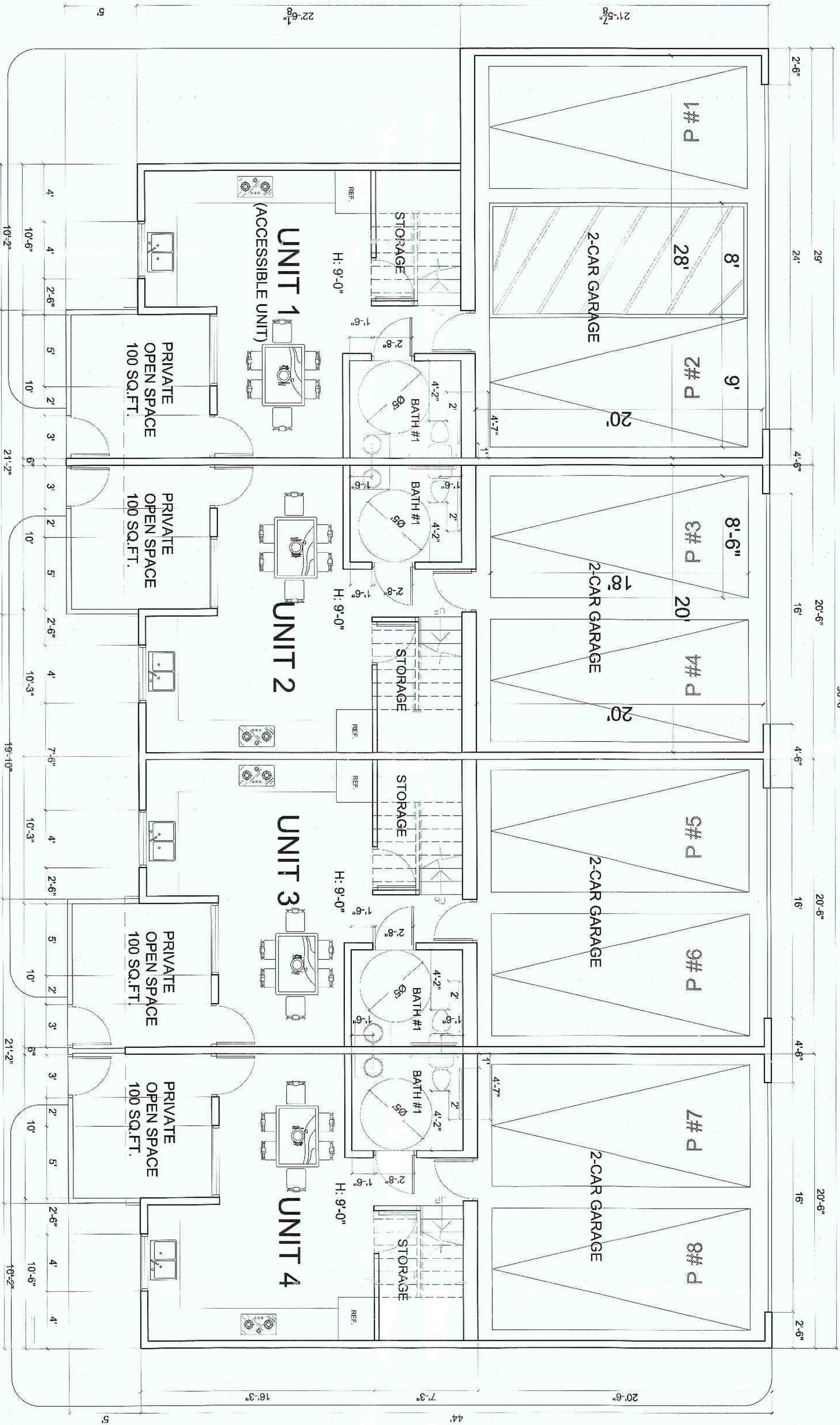
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PROJECT NAME:
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**BUILDING 1
FIRST FLOOR PLAN**

DRAWN:
YUHUI LI

DATE:
09/21/2020

SHEET:



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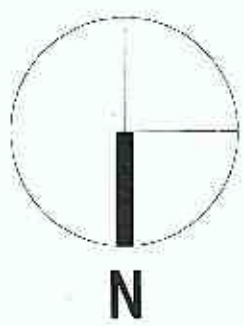
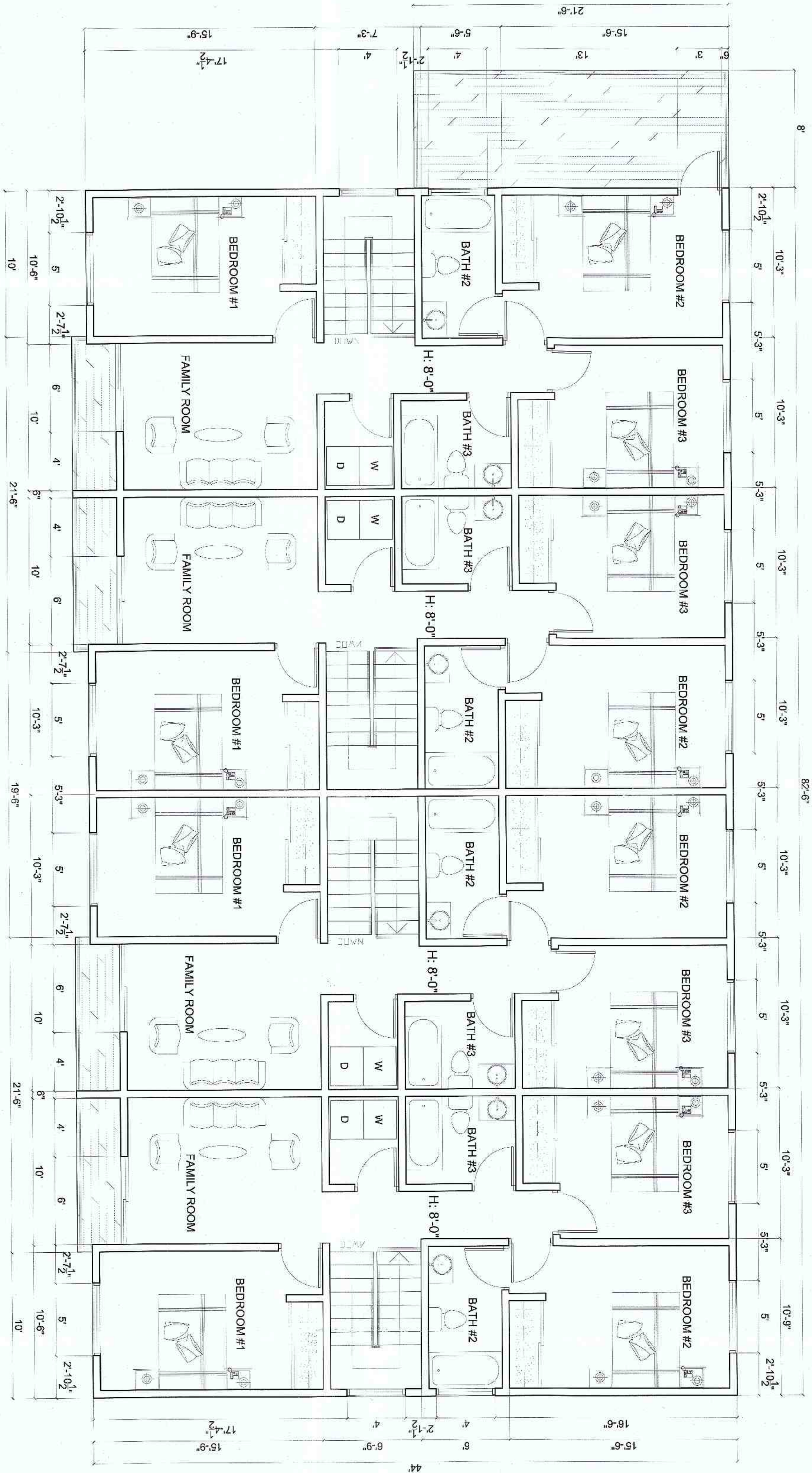
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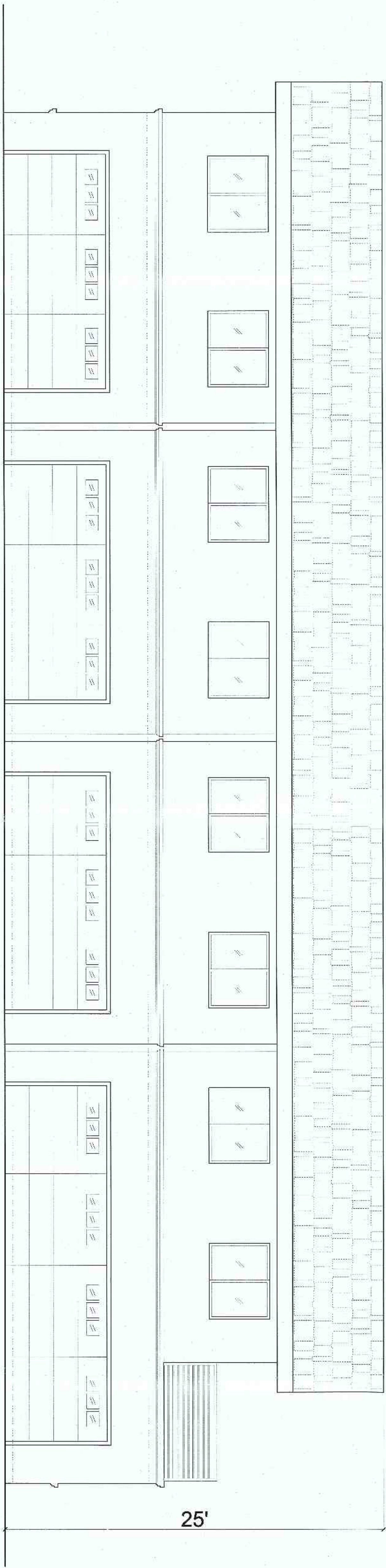
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**BUILDING 1
SECOND FLOOR PLAN**

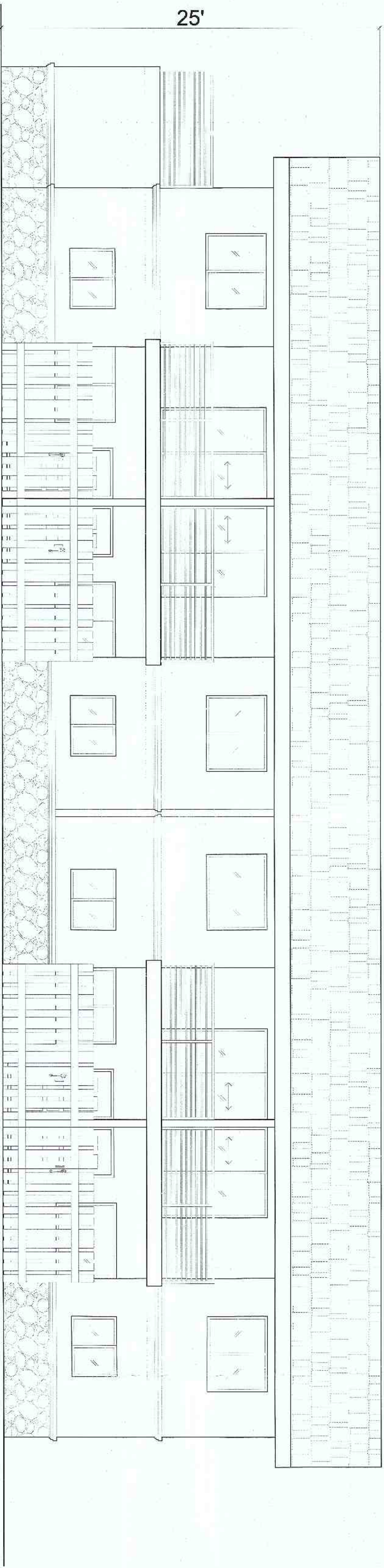
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YUHHUI LI
DATE:
09/21/2020
SHEET:

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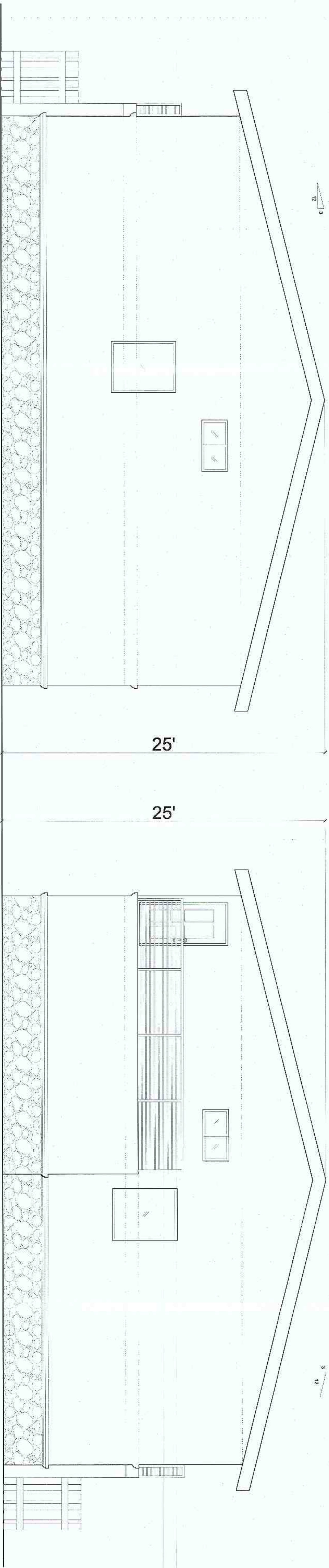




WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION

SOUTH ELEVATION

BUILDING 1 ELEVATION

SCALE: 1/4"= 1'-0" 1



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**BUILDING 1
ELEVATION**

DRAWN:
YUHU LI

DATE:
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SHEET:

A-22