



CITY OF POMONA

HISTORIC PRESERVATION

COMMISSION

DATE: December 2, 2020

TO: Historic Preservation Commission (HPC)

FROM: Development Services Department, Planning Division

SUBJECT: **MAJOR CERTIFICATE OF APPROPRIATENESS (MAJCOA 14450-2020)**

Major Certificate of Appropriateness (MAJCOA 14450-2020) to allow a 335 square foot workshop addition to an existing garage, converted to an ADU, on a contributing single-family residential site within the R-1-6,000 (Single Family Residential) zoning at 269 E. Alvarado Street in the Lincoln Park Historic District.

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Commission adopt the attached resolution (Attachment 1) approving Major Certificate of Appropriateness (MAJCOA 14450-2020), subject to findings and conditions of approval.

PROPERTY & APPLICANT INFORMATION

Address	269 E. Alvarado Street
Assessor's Parcel Number (APN)	8339-013-017
Lot Size	7,822 sf.
General Plan Land Use Designation	Residential Neighborhood
Zoning District	R-1-6,000
Historic District	Lincoln Park Historic District
Specific Plan	N/A
City Council District	District 4
Applicant	Augusto Dolce
Property Owner	Augusto Dolce

RELATED ACTIONS

Historic Preservation Commission	2020 – New six feet tall wooden dog ear fence to match existing
Code Enforcement	No active or open cases.
Building & Safety	1966 – 21 x 24 Detached garage
Planning	None

SITE DESCRIPTION AND BACKGROUND

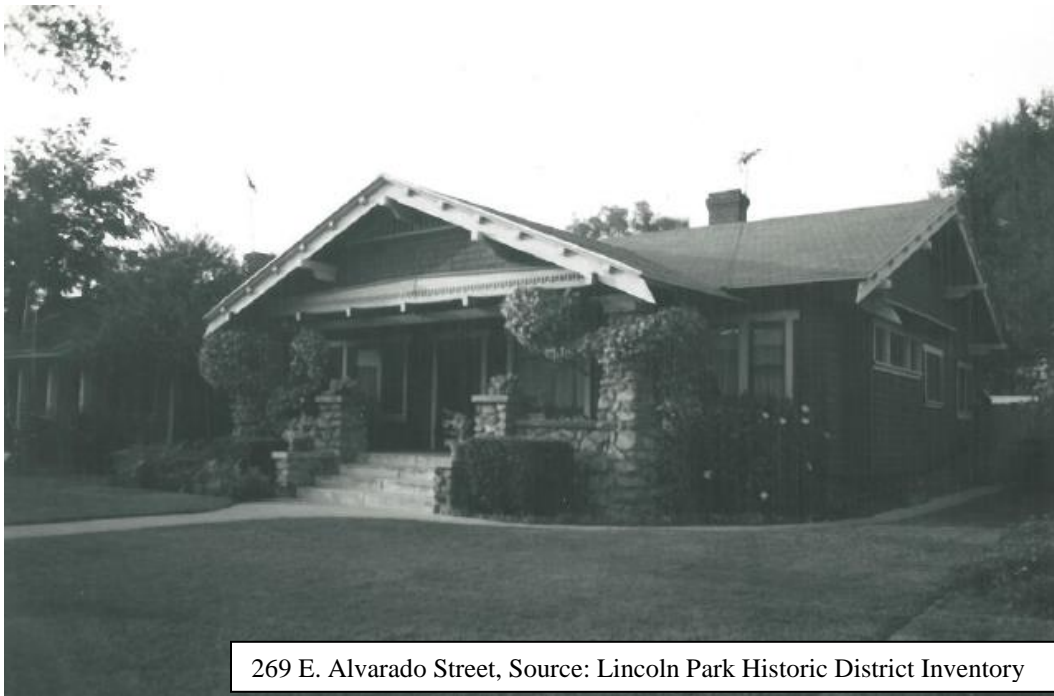
The property is currently developed as a 1,312 square foot single-family residence with a detached 508 square foot garage on a 7,822 square foot lot. It is located on E. Alvarado Street within the R-1-6,000 zoning district and the Lincoln Park Historic District. Surrounding the subject property to the north, west, east are single-family residential homes, and to the southwest is the St. Paul's Episcopal Church (Attachment 2).

Building permit record indicates that the detached garage was constructed in 1966, and additional permits reveal that minimal work such as reroof, electrical work, and plumbing have been maintained on the home.

The site is identified as a contributing structure in the Lincoln Park Historic District and is provided the following description in the Historic Resource Survey (Attachment 3):

“This attractive single-storied Craftsman-style bungalow has a gabled front porch and side wings and brick chimney. Sturdy fieldstone columns and front wall support the main beam of the front porch. The roof has exposed beam-ends and some decorative brace work. Clapboard siding, large stationary windows and a large front door complete the Craftsman influences. Fieldstone continues in the foundation of the house.

Built in 1914, the house's first recorded owners Daniel G. and Adda Alter.”



269 E. Alvarado Street, Source: Lincoln Park Historic District Inventory

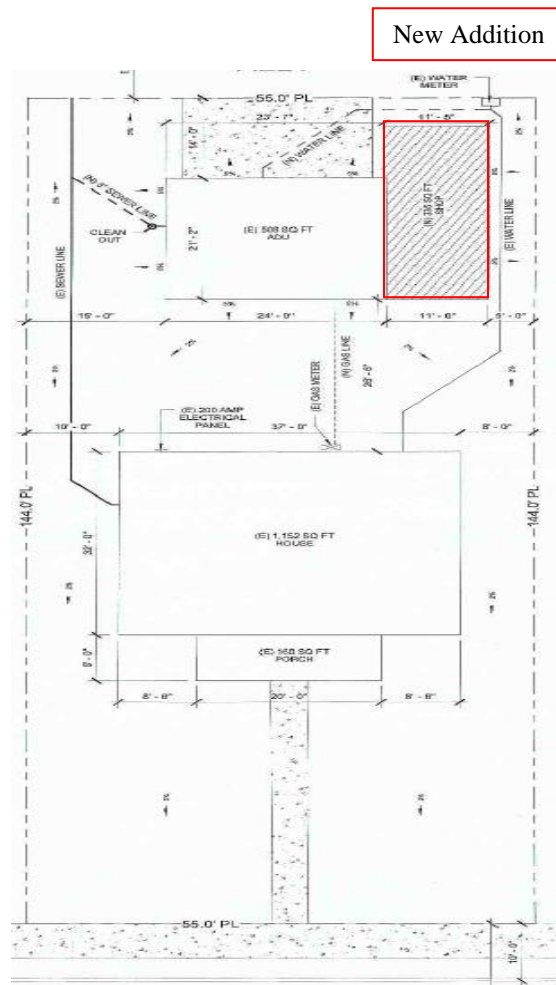
Owner and applicant, Augusto Dolce, submitted an application for Major Certificate of Appropriateness on September 2, 2020 for the proposed workshop addition to the existing garage. The existing garage will be converted to an Accessory Dwelling Unit (ADU) under separate ministerial review, since the conversion occurs within an existing space. Photos of the home have been included for reference as Attachment 4.

PROPOSED PROJECT

The proposed project consists of adding 335 square feet of habitable area to the east of the existing garage located at the rear of the property lot. The proposed addition is to be used as a workshop and small indoor gym for the applicant.

The primary structure on site is built as a Craftsman Bungalow, and is noted for its key architectural features such as its gabled front porch, fieldstone foundation and columns, clapboard sidings, large stationary windows, and decorative brace work underneath the roof. The proposed addition will carry some of the key architectural elements such as the horizontal siding, wooden windows with sill, and rafters underneath the roof.

Figure 1. Site Plan



New Addition

The exterior façade of the new addition and the garage conversion will complement the existing structure as the proposed structure will be consistent with the existing home in material, colors, and architectural details. The new addition and garage conversion will be differentiated from the primary structure in that the horizontal siding will consist of similar but different material: hardy boards. New windows will match the existing wood windows and sill, and rafters will be placed underneath the roof eaves to carry the same architectural detail from the primary structure.

APPLICABLE CODE SECTIONS

Per Section .5809-13(F)(8) of the City of Pomona Zoning Ordinance (Historic Preservation), *Major projects shall include changes which significantly alter the following: height, proportions, the relationship of the building mass and space, roof shape, scale or distinctive facades of the structure. Examples of major projects shall include, but not be limited to room additions, adding dormers, expanding a garage, adding a porch, removing distinctive shutters or part or all of a structure. This category also includes demolition and/or replacement of primary use buildings or structures, and construction/installation of new buildings, structures, new public sidewalks, new public streetscape improvements, new street lamps, new public buildings and structures, and development of new public spaces within an historic district.*

The existing structure is located within the Lincoln Park Historic District, therefore a Major Certificate of Appropriateness is required for the proposed addition. Furthermore, the proposed project must be to consistent with the City of Pomona's 1999 Historic Design Guidelines and Secretary of Interior (SOI) Standards for Rehabilitation of Historic Properties.

ANALYSIS:

Consistency with Section .5809-13 (Historic Preservation) of the Zoning Ordinance Standards:

Section .5809-13 of the Pomona Zoning Ordinance (PZO) requires that all Certificates of Appropriateness be reviewed for consistency with the standards contained in the code. As illustrated in Table 1, the proposed addition, as conditioned, are consistent with the standards contained in Section .5809-13 of the PZO.

Table 1. Compliance with .5809-13 (Historic Preservation)

Historic Preservation Design Review			
Design Criteria	Review	Yes	No
Height	Is the height and bulk compatible with surrounding structures and in conformance with maximum allowable height?	X	
Proportions of Windows and Doors	Are proportions and relationships between doors and windows compatible with the architectural style	X, as conditioned	

Historic Preservation Design Review			
Design Criteria	Review	Yes	No
	and character of surrounding structures?		
Relationship of Building Masses and Spaces	Are proposed structures and/or remodeled spaces and created spaces consistent with the shapes and setbacks of existing adjacent structures?	X	
Roof Shape	Is the design of the roof compatible with the architectural character and style of surrounding structures?	X	
Scale	Is the scale of the structure compatible with the architectural character and style of the existing building?	X	
Directional Expression/Facades	Are facades compatible with the dominant horizontal and vertical expression of surrounding structures?	X	
Architectural Details	Do architectural details like materials and textures make new construction compatible with the architectural style and character of the historic district?	X, as conditioned	
Architectural Rhythm and Articulation	Do proposed structures and façade remodeling show rhythmic repetition of architectural details for compatibility with façade articulation of existing adjacent buildings?	X, as conditioned	
New additions	When new additions and adjacent related new construction are removed, will essential form and integrity of the historic property and its environment be impaired?	X	
Exterior mechanical equipment	Is the design, style, color and texture of the required screening method compatible with the existing or proposed building/façade design?	N/A	

Consistency with the Historic Preservation Design Guidelines

Addition:

The ideal preservation approach in the Design Guidelines state that new additions preserve the historic and architectural integrity of the existing residence and that the individual features such as windows, doors, roof, siding, and foundation maintain the same characteristics as the existing. As stated previously, the proposed addition will have the same style, proportions, detailing, and similar materials as the existing residence. The exterior walls of the addition will have horizontal

sidings that match the existing residence. The new windows and doors will match the existing and architectural details and rhythms on the existing home will be carried throughout the addition of the structure. The existing garage was built in 1966, and its foundation on concrete slab. As such, the façade of the garage conversion and new addition will not have fieldstone foundation as it was not part of the original design. Therefore, the proposed addition is consistent with the ideal preservation approach described in the Design Guidelines.

Consistency with the Secretary of the Interior's (SOI) Standards

The SOI Standards for Rehabilitation of Historic Properties contains two standards that are directly related to additions and new construction. The standards are as follows:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the integrity of the property and its environment.

The proposed project involves a 335 square foot addition to an existing garage built in 1966. The existing garage is built on concrete slab. The exterior façade of the garage conversion and addition has been designed to resemble the existing structure's architectural style. New windows will match the proportion and material of the existing window. Siding of the new exterior will be compatible with the existing sidings and architectural details such as the rafters underneath the roof will be carried throughout the new structure. As such, the proposed project will be consistent in style with the residence located in the Lincoln Park Historic District. The proposed project will not impact the historic character of the home and the surrounding historic district will not be negatively impacted.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed addition will not affect the significant architectural features of the residence because the addition is only an expansion to the existing garage. The expansion to the existing garage structure will not have a negative impact on the essential form and integrity of the historic property.

PUBLIC COMMUNICATIONS

On November 19, 2020, public hearing notices were sent to the applicant/owner and to the property owners and occupants of the properties located directly adjacent to and directly across the street from subject site (Attachment 6). As of the writing of this report, no public comments have been received to date.

ENVIRONMENTAL DETERMINATION

Pursuant to the Guidelines for Implementation of the California Environmental Quality Act (CEQA), the proposed project meets the criteria for a Class 3 (New Construction or Conversion of Small Structures), Section 15303, Categorical Exemption per Section 15303(e)(2). The proposed project meets the exemption requirement as the proposed project consists of small workshop addition. Therefore, no further environmental review is required.

CONCLUSION

The proposed addition is consistent with the applicable standards and guidelines found in the Pomona Zoning Ordinance, Historic Preservation Design Guidelines, the Secretary of Interior's Standards, and the General Plan. The proposed addition will match the architectural style of the primary residence and will have no adverse impact on the historic district.

RECOMMENDED MOTION

Staff recommends the following motion:

- Move that the Historic Preservation Commission close the public hearing, find that the project is categorically exempt pursuant to State and Local CEQA guidelines, and approve the Major Certificate of Appropriateness (MAJCOA 14450-2020) per staff's recommendation, subject to the findings and conditions included in the draft resolution.

Respectfully submitted by:

Anita D. Gutierrez, AICP
Development Services Director

Prepared by:

Eunice Im, AICP
Assistant Planner

ATTACHMENTS:

- 1) Attachment 1- Draft HPC Resolution
- 2) Attachment 2 - Location Map & Aerial Photo
- 3) Attachment 3 - Historic Resources Inventory Form
- 4) Attachment 4 – Site Photographs
- 5) Attachment 5 – Proposed Plans
- 6) Attachment 6 - Public Hearing Notice

HPC RESOLUTION NO.

A RESOLUTION OF THE HISTORIC PRESERVATION COMMISSION OF THE CITY OF POMONA, CALIFORNIA APPROVING MAJOR CERTIFICATE OF APPROPRIATENESS (MAJCOA 14450-2020) TO ALLOW A 335 SQUARE FOOT ADDITION TO AN EXISTING GARAGE ON CONTRIBUTING SINGLE-FAMILY RESIDENCE LOCATED AT 269 EAST ALVARADO STREET IN THE LINCOLN PARK HISTORIC DISTRICT.

THE HISTORIC PRESERVATION COMMISSION OF THE CITY OF POMONA DOES RESOLVE AS FOLLOWS:

WHEREAS, the applicant and owner, August Dolce, has submitted a Major Certificate of Appropriateness (MAJCOA 14450-2020) to approve 335 sq. feet of addition to an existing garage located at 269 East Alvarado Street (APN: 8339-013-017);

WHEREAS, the subject property is a contributing structure, located within the Lincoln Park Historic District, which was designated as a historic district by the Pomona City Council on 1998;

WHEREAS, addition or new construction within a designated historic district requires the Historic Preservation Commission to approve a Major Certificate of Appropriateness prior to the issuance of building permits;

WHEREAS, the Historic Preservation Commission must make findings as described in Section .5809-13.F.6 of the Zoning Ordinance to approve a Major Certificate of Appropriateness for major alterations on a property located in a historic district;

WHEREAS, the Historic Preservation Commission of the City of Pomona, has, after giving notice thereof as required by law, held a public hearing on December 2, 2020, concerning the requested Major Certificate of Appropriateness (MAJCOA 14450-2020); and

WHEREAS, the Historic Preservation Commission has carefully considered all pertinent testimony and the staff report offered in the case presented at the public hearing.

NOW THEREFORE, BE IT HEREBY RESOLVED by the Historic Preservation Commission of the City of Pomona, California, as follows:

SECTION 1. The Historic Preservation Commission hereby determines that, Pursuant to the Guidelines for Implementation of the Environmental Quality Act (CEQA), the proposed project meets the criteria for a Class 3 (New Construction or Conversion of Small Structures), Section 15303 Categorical Exemption per Section 15303 (e)(2). The proposed project meets the exemption requirement as in that the proposed project consists of small workshop addition. Therefore, no further environmental review is required.

SECTION 2. Section .5809-13.F.6 of the Zoning Ordinance requires the Historic Preservation Commission to make findings to approve a Major Certificate of Appropriateness. The Historic Preservation Commission hereby makes the following findings:

- a. *The proposed change will not adversely affect any significant historical, cultural, architectural, or aesthetic features of the concerned property or the historic district in which it is located.*

Approving the addition will not adversely affect any significant historical, cultural, architectural, or aesthetic features of the concerned property or the historic district in which it is located because the architectural style of the proposed addition is consistent with the architectural style of the existing residence. New siding will match existing clapboard siding, proposed new windows and doors will match the existing windows and doors. Architectural details of the home, as conditioned, will be consistent in proportion, operation, material, and detailing with those found on the existing residence. Furthermore, the proposed addition is attached to the existing garage built in 1966, detached from the primary structure.

- b. *The proposed change is compatible in architectural style with the existing adjacent contributing structures in an historic district.*

The proposed work is consistent and similar in material, architectural style, and color to the existing residence and therefore will not detract from the adjacent contributing structures in the Lincoln Park Historic District. The project will remain a single story property. The exterior of the home will maintain its exterior horizontal siding; new roof will be of same composition shingle, and windows and doors will be of same proportion and material as the existing home. Architectural details such as rafters and venting will be consistent throughout.

- c. *The proposed change is consistent with the architectural style of the building as specified in Section .5809-13 F 5 of the Zoning Ordinance.*

The proposed project, as conditioned, is consistent with the architectural style of the main building as specified in Section .5809-13.F.5 of the Zoning Ordinance. The addition includes a new roof which meets the minimum pitch requirement of 3:12 and also consists of new siding complementary to the existing siding. In addition, the windows and doors are conditioned to be compatible in proportion and installed with the same material and detailing as the existing double hung windows and doors. Exposed rafters underneath the eaves of roof and venting are also conditioned to maintain the architectural style of the building.

- d. *The scale, massing, proportions, materials, textures, fenestration, decorative features, and details proposed are consistent with the period and/or compatible with adjacent structures.*

The style of the proposed addition, as conditioned, will match the existing residence in terms of roof shape, architectural details, material and proportion of windows and doors, and exterior facade. The project is compatible with adjacent structures and will not negatively impact the architectural style of the adjacent structures.

- e. In case of demolition, the applicant must show that demolition of the subject structure(s) will not adversely affect a cultural, architectural, or aesthetic features of the concerned property or the historic district in which it is located.*

There is no demolition of structures associated with the proposed project.

SECTION 3. The Historic Preservation Commission hereby approves the Major Certificate of Appropriateness (MAJCOA 14450-2020) for a 335 square foot addition to an existing single-family residence, with the following conditions:

1. The subject property shall be developed and/or used in the manner requested and shall be in substantial conformity with the plans approved by the Historic Preservation Commission on December 2, 2020, in accordance with the revisions and/or additional conditions specifically required in this resolution of approval.
2. This approval shall lapse and become void if the privileged authorized is not utilized or where some form of construction pursuant to issuance of a building permit has not commenced within four (4) years from the date of approval (December 2, 2024).
3. Within four (4) years from the date of approval, plans shall be submitted into the Building and Safety Division for plan check review for the addition.
4. The applicant shall include copies of all approved resolutions related to the project, which shall be placed on the title sheet of construction plans prior to plan check submittal.
5. In the event that conditions imposed by the Historic Preservation Commission are inconsistent with provisions of the California Code of Regulations, Title 24 (also known as the California Building Standards Code) or any uniform construction code applicable within this jurisdiction, such conditions of the Historic Preservation Commission shall be waived in favor of such code.
6. The windows shall be installed with similar material and proportion as existing window, which are double-hung windows with wood casing and sills. Any new doors or replacement of existing doors shall be installed with similar material and remain in character with Craftsman Bungalow architecture. The applicant shall submit a revised window and door schedule to the Planning Division prior to the issuance of building permits.

7. Prior to the issuance of building permits, applicant shall submit window specifications and trim details demonstrating that all proposed windows are consistent with the original windows on the residence, to be reviewed and approved by the Development Services Manager.
8. New exterior siding shall be of horizontal siding and consistent in style and appearance with the existing structure.
9. The addition shall maintain the rhythmic architectural detail of the existing structure by including exposed rafters underneath the roof eaves.

SECTION 4. The Secretary shall certify to the adoption of this Resolution and forward the original to the City Clerk.

APPROVED AND PASSED THIS 2ND DAY OF DECEMBER, 2019.

ANN TOMKINS
HISTORIC PRESERVATION COMMISSION
CHAIRPERSON

ATTEST:

ANITA D. GUTIERREZ, AICP
HISTORIC PRESERVATION COMMISSION SECRETARY

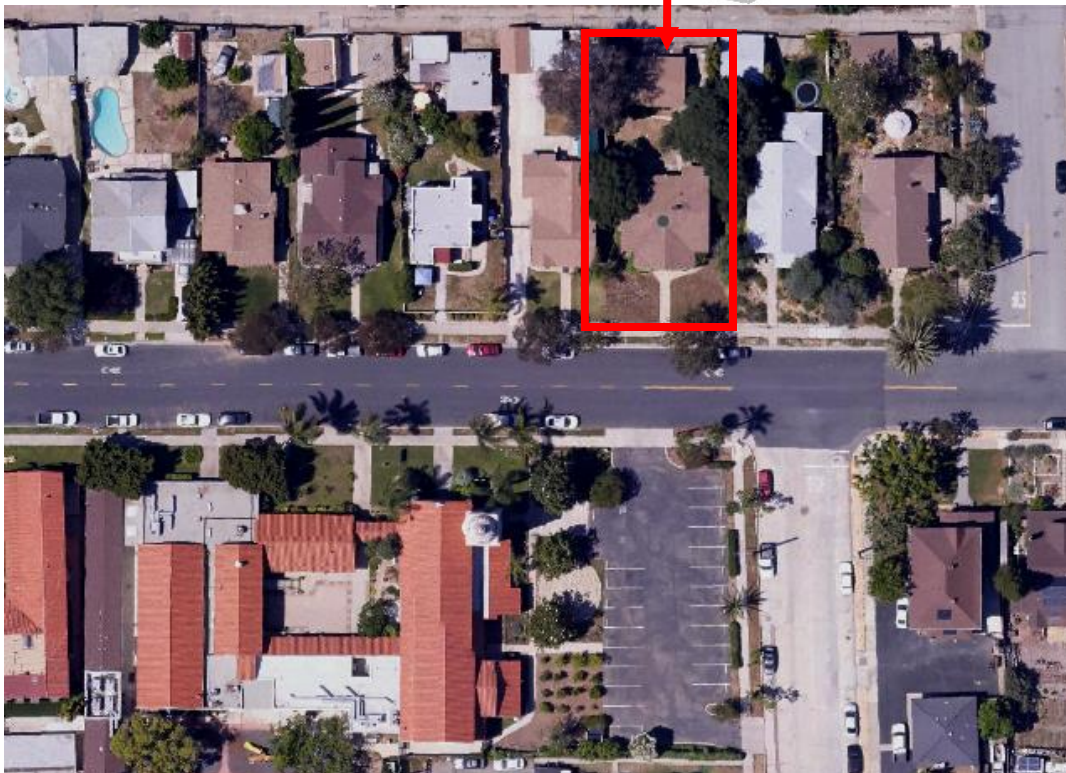
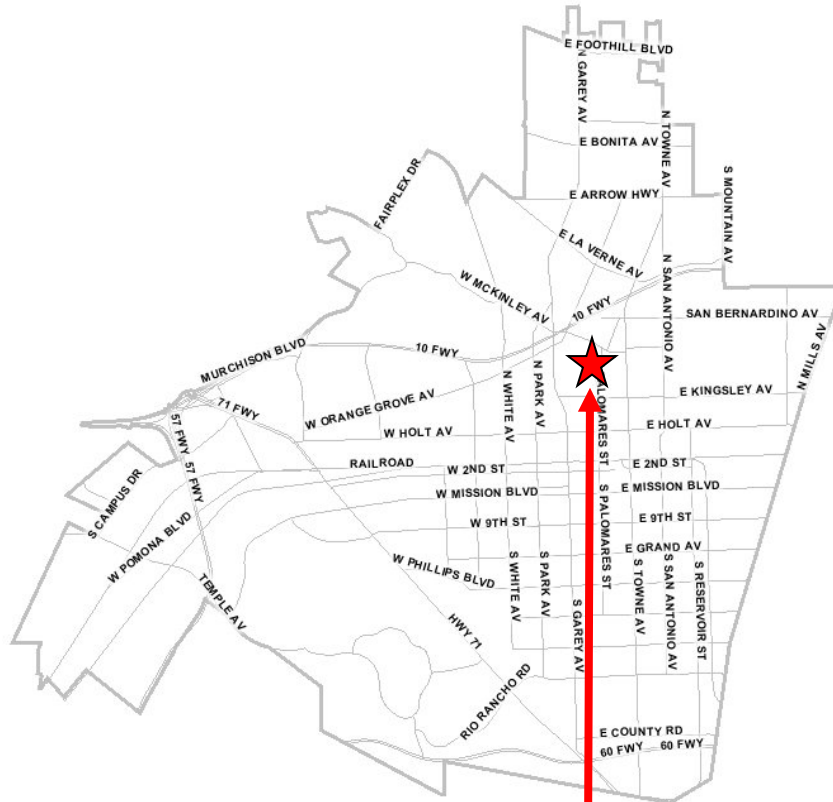
STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES)
CITY OF POMONA)

AYES:
NOES:
ABSTAIN:
ABSENT:

Pursuant to Resolution No. 76-258 of the City of Pomona, the time in which judicial review of this action must be sought is governed by California Code of Civil Procedure 1094.6.

Location Map & Aerial Photograph

269 E. Alvarado Street



269 E. Alvarado St.

Parcel No. 8339-013-017
Contributing

CRAFTSMAN BUNGALOW

1914



This attractive single-storied Craftsman-style bungalow has a gabled front porch and side wings and brick chimney. Sturdy fieldstone columns and front wall support the main beam of the front porch. The roof has exposed beam-ends and some decorative brace work. Clapboard siding, large stationary windows and a large front door complete the Craftsman influences. Fieldstone continues in the foundation of the house.

Built in 1914, the house's first recorded owners were Daniel G. and Adda Alter.



Historic Site Photographs 269 E. Alvarado Street



Front view of 269 E. Alvarado Street



Rear elevation of primary structure on site



East elevation of the primary structure



Elevation of the detached garage, proposed to be converted to ADU



Side elevation of the proposed garage

WINDOW SCHEDULE								
WINDOW NUMBER	WINDOW SIZE	TYPE-MATERIAL	FINISH	THICKNESS	U-FACTOR	SHGC	NFRC	FINISH COMMENTS
4030	4'-0"x3'-0"	WOOD	PF	1 3/4"	.30	.23	NFRC	
4040	4'-0"x4'-0"	WOOD	PF	1 3/4"	.30	.23	NFRC	
3030	3'-0"x3'-0"	WOOD	PF	1 3/4"	.30	.23	NFRC	

The load resistance of glass under uniform load shall be determined in accordance with ASTM E1300.

5 WINDOW SCHEDULE
12" = 1'-0"

FIRE NOTES:

1. ALL WALLS OF STRUCTURES THAT NOT CONTAIN FIRE SPRINKLERS AND ARE LESS THAN 5 FEET TO THE PROPERTY LINE REQUIRES ONE-HOUR FIRE-RESISTIVE CONSTRUCTION ON ENCLOSED SIDE. (1/2" TYPE X, GYP. BRD.)
2. EXTERIOR GLAZING SHALL BE DUAL-PANE UNITS WITH A MINIMUM OF ONE TEMPERED PANE OR GLASS BLOCK UNITS OR MINIMUM 20-MIN RATED.

A/C - HEATING NOTE:

1. A/C DUCTING NOT TO REDUCE OR COMPROMISE THE FIRE STEPPING/BLOCKING
2. Existing ducts to be extended to the new addition

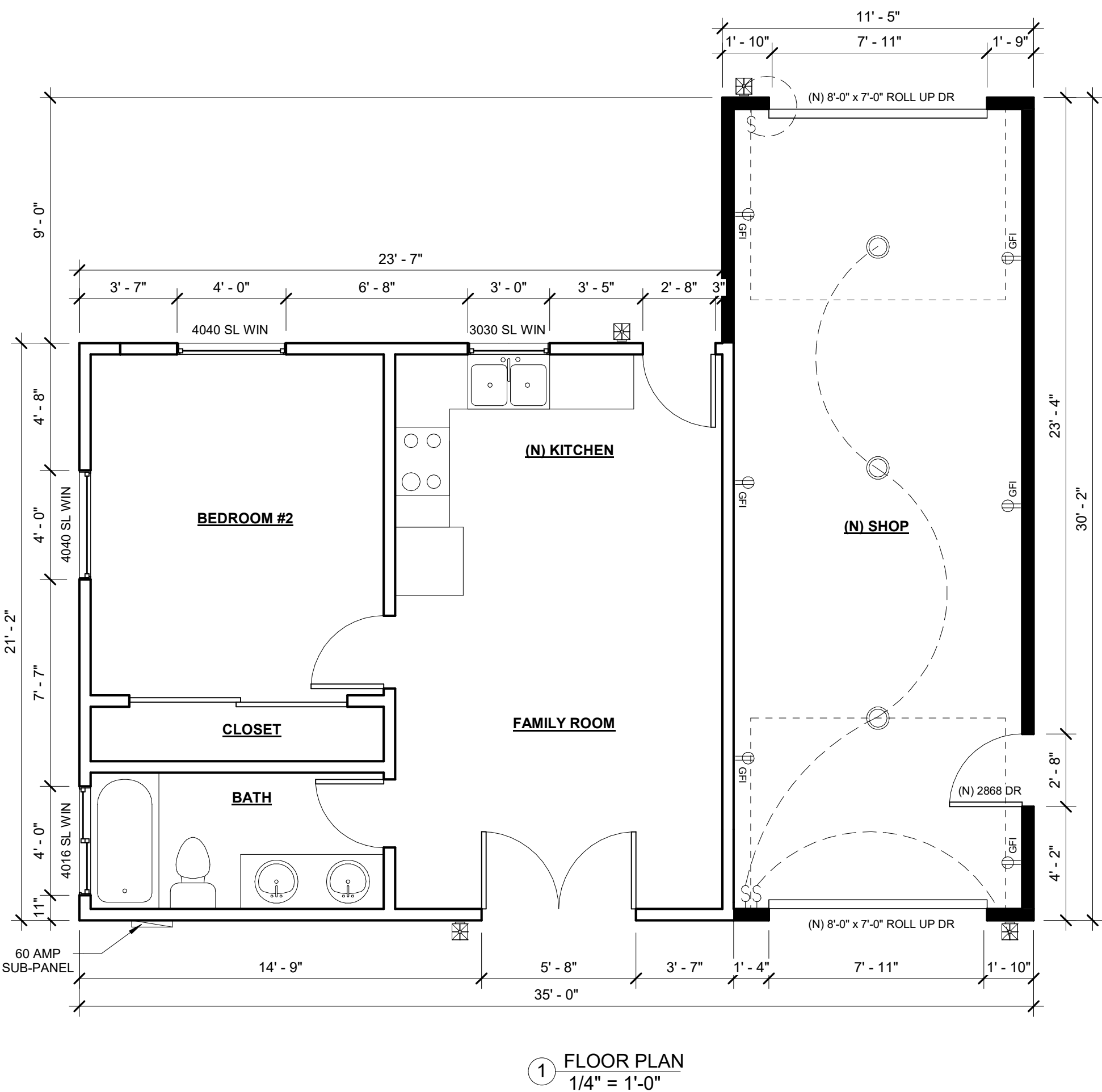
California Green Building Standards Code (CalGreen)

1. Waste Management Plan: The City of Pomona Ordinance requires that construction materials from new construction, remodeling, or demolition shall be identified for reuse, recycling, or disposal. The intent is to reuse or recycle as much as possible of construction waste. Forms are available at the Building Division for this purpose. Permits for construction will not be issued until the required forms have been completed.
2. Exhaust fans in bathrooms (rooms which contain a bathtub, shower, or tub/shower combination) shall comply with the following. Show on the plans. (4.506.1 CBGSC) Exhaust fans shall be ENERGY STAR compliant and be located outside the building. Unless functioning as a component of a whole house ventilation system, the fan must be controlled by a humidity control. Humidity controls shall be capable of adjustment between a humidity range of 50 to 80%. A humidity control may be a mechanical humidity control means of adjustment. A humidity control may be a separate component to an exhaust fan and is not required to be integral (i.e. built-in).
3. All finish materials, such as adhesives, sealants, caulks, paints, aerosol paints, coatings, carpet systems, and floor covering systems, shall be applied in accordance with the VOC and formaldehyde limits set forth in Section 4.504.2, 4.503.4, 4.504.4, 4.504.5 and Tables 4.504.1, 4.504.2, 4.504.3 and 4.504.5." Each bathroom containing a bathtub, shower or tub/shower shall be mechanically ventilated with a minimum exhaust fan capacity of 75 CFM (per the requirements of ASHRAE R303.3.1, CMCA Table 403.7). The fan must be controlled by a humidity control. [Calgreen 4.506.1]




FLOOR NOTES

- PLUMBING WITHIN 24" FROM EDGE OF DOORS SHALL BE A SAFETY GLAZING.**
2. Plumbing fixtures and fittings shall comply with the following:
- Water Closets: ± 1.28 gal/min
 - Urinals: ± 0.5 gal/shuff
 - Single Showers: ± 2.0 gpm @ 80 psi
 - Double Showers: ± 2.5 gpm @ 80 psi
3. Showerheads and controls at all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gpm @ 80 psi or only one shower outlet to be in operation at a time
- Residential Lavatory Faucets: ± 1.5 gpm @ 80 psi
- Lavatory Faucets in Common and Public Use Areas of Residential Buildings: ± 0.5 gpm @ 80 psi
- Metering Faucets: ± 0.25 gpm per cycle
- Kitchen Faucets: ± 1.8 gpm @ 60 psi; temporary increase to 2.2 gpm allowed but shall default to 1.8 gpm
3. RECEPTACLE OUTLET LOCATIONS WILL COMPLY WITH NEC ART. 210-52(a)
4. SMOKE AND CARBON MONOXIDE DETECTOR ALARMS ON ALL BEDROOMS AND BATHROOMS AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
5. SMOKE & CARBON MONOXIDE ALARMS SHALL BE HARD WIRED WITH BATTERY BACK-UP.
6. Alarms shall be hardwired with battery backup and interconnected so that the activation of one alarm shall activate all other alarms in the dwelling unit. Retrofit alarms may be battery operated in rooms where construction is not proposed."
7. BATHROOM MUST HAVE A SEPARATE 20 AMP CIRCUITS FOR RECEPTACLE ONLY.
8. WINDOWS U-FACTOR SHALL BE PER T-2 SHEET "EN"
9. ALL ELECTRICAL IS TO BE INSTALLED PER 2019 CEC.
10. EXIST DED ROOM & HALLWAYS TO HAVE BATTERY OPERATED S.D.S.
11. APPROVED SPARK ARRESTORS SHALL BE INSTALLED ON ALL CHIMNEYS.
12. BEDROOM BRANCH CIRCUITS TO BE ARC FAULT CIRCUIT PROTECTED.
13. THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL PENETRATION RATING COUNCIL (NFPA) AND SHOWING COMPLIANCE WITH THE ENERGY CALCULATIONS.
14. DOOR BETWEEN DWELLING AND GARAGE SHALL BE NOT LESS THAN 1 3/4" THICK SOLID WOOD OR METAL FRAME AND SELF-CLOSING DEVICE.
15. WATER HEATER IN THE GARAGE SHALL BE RAISED 18" ABOVE THE FINISH FLOOR PROVIDED WITH SEISMIC STRAPPING, T AND P VALVE WITH DRAIN OUTSIDE OF DWELLING.
16. SHOWER ENCLOSURE SHALL BE INSTALLED IN EVERY OUTDOOR HOUSE BIB.
17. SHOWER ENCLOSURE DOOR SHOULD BE A SAFETY GLAZED OPENING.
18. PROVIDE DRYER EXHAUST PIPE WITH BACK DRIFT DAMPER PER MECHANICAL CODE.
19. RECESSED LIGHT FIXTURES SHALL BE PROTECTED BY GYPSUM BOARD.
20. ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS (E.G. RECEPTACLES, LIGHT FIXTURES, SMOKE ALARMS, SMALL WINDOW AIR CONDITIONER / HEAT PUMP, CEILING PADDED FANS, ETC.) AND CARBON MONOXIDE DETECTORS SHALL BE PROTECTED BY AN ARC FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
21. CARBON MONOXIDE DETECTORS SHALL BE INSTALL IN THE HALLWAYS LEADING TO BEDROOMS AS PER 2019 CALIFORNIA RESIDENTIAL CODE R315.1 CRC. (APPROVED COMBINED SMOKE ALARMS ARE ACCEPTABLE).
22. PROVIDE APPROVAL GASKET AT PERIMETER EDGES FOR ATTIC ACCESS.
23. PROVIDE A 20 AMP MIN. DEDICATED CIRCUIT FOR THE LAUNDRY ROOM.
24. PROVIDE A 20 AMP MIN. 2-20 AMP CIRCUITS FOR THE COMBINATION APPLIANCE.
25. Installation and Use Listed or labeled equipment shall be installed and used in accordance with any instructions included in the listing or labeling.
26. 5 inch minimum clearance on 4 inch soil pipe 18 inches from foundation and extend above grade CPC 2019 Section 707.10 and 719.
27. RECEPTACES SHALL BE TAMPER RESISTANT FOR ALL 15 & 20 AMPERE.
- RECEPTACLE OUTLET UNIT FAMILY, DINING, LIVING, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS AND AREAS PER 2016 CEC.
28. All construction to comply with the 2019 California Model Codes as based on the 2019 California Residential Code (CRC), International Mechanical & Plumbing Code, the 2019 National Electrical Code, 2019 California Energy and the 2019 California Green Building Standards Code.
29. Annular spaces around pipes, electric cables, conduits, or other openings in the soleplate plates at exterior walls shall be sealed with a coating of rodent proof caulk such as openings with cement mortar, concrete masonry, or metal plates. Piping prone to corrosion shall be protected in accordance with Section 313.0 of the California Plumbing Code (4.406.1).
30. Do not volt, wire, install 15 and 20 ampere branch circuits supplying outlets install in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas. Protection shall be provided by a listed arc-fault circuit interrupter, combination type, installed to provide protection for the entire branch circuit.
31. In every dwelling unit, fixed appliances such as washing machines and dryers, shall be on a separate 20 amp. branch circuit.
32. Bathroom receptacles shall be serviced by a 20 amp circuit. The circuit shall have no other outlets. The circuit may serve other bathroom receptacles. (CEC 210.11 (C) (3))
33. Safety glazing shall be provided in the following locations: (R308.4 CIRC)
- a. Glazing in all fixed and operable panes of swinging, sliding and double doors.
- b. Glazing in windows, enclosures, or fences containing swimming pools, whirlpools, saunas, steam rooms, bathtubs, showers and indoor or outdoor swimming pools where the bottom exposed edge of glazing is less than 60" measured vertically above any standing or walking surface. This shall apply to single glazing and all panes in multiple glazing.
- c. Glazing in glass railings or handrails. The exhaust duct for a range hood shall not exceed a combined horizontal and vertical length of 14ft, including two 90 degree elbows. Two feet shall be deducted for each 90 degree elbow in excess of two. (504.3.1 CMCC)
34. Carbon Monoxide Detectors shall be installed in every room with battery backup and interconnected so that the activation of one alarm shall activate all other alarms in the dwelling unit. Retrofit alarms may be battery operated in rooms where alterations/repairs do not result in the removal of walls or ceiling finishes
35. Smoke detectors shall be installed in accordance with local codes and standards in accordance with ASTM E1300.
36. A smoke detector, approved and listed by the State Fire Marshal, shall be installed in each dwelling when a permit for alterations, repairs or additions exceeds \$1,000.00. A battery powered smoke detector satisfies the requirements for a smoke detector. (R314.2.2 CRC)
37. A fire extinguisher shall be readily accessible, existing dwelling, or a fuel-burning stove, appliance, or fireplace is added to an existing dwelling, not previously required to be provided with carbon monoxide alarms, new carbon monoxide alarms shall be installed in accordance with Section R315.1 (R315.2.2 CRC)
38. The work shall include the installation of permanently maintained in front of all electrical equipment
39. Recessed lighting in insulated ceilings must meet three requirements:
- A. Rated IC;
 - B. Certified air tight,
 - C. Have sealed gasket or caulk between housing and ceiling.
40. All outdoor receptacles to have extra duty rated in use covers. [410-57 NEC]
41. Do not demolish any structural elements prior to shoring
42. Contractor to verify with engineer of record if any discrepancy between plan and job site, and any dangerous condition exist on job site before any demolition is done
43. "Special inspection is required for all work that cannot be visually inspected."
44. "The NFRC temporary label displayed on windows must remain on the unit until final inspection has been completed"

NOTES:
1. SHOP WILL MATCH THE EXISTING UNIT



TYP. LEGEND

-  - NEW 2x4 @ 16" O.C WALL FRAMING
 - EXISTING 2x4 @ 16" O.C WALL FRAMING TO REMAIN
 - EXISTING WALL FRAMING TO BE REMOVED

LIGHTING NOTES:

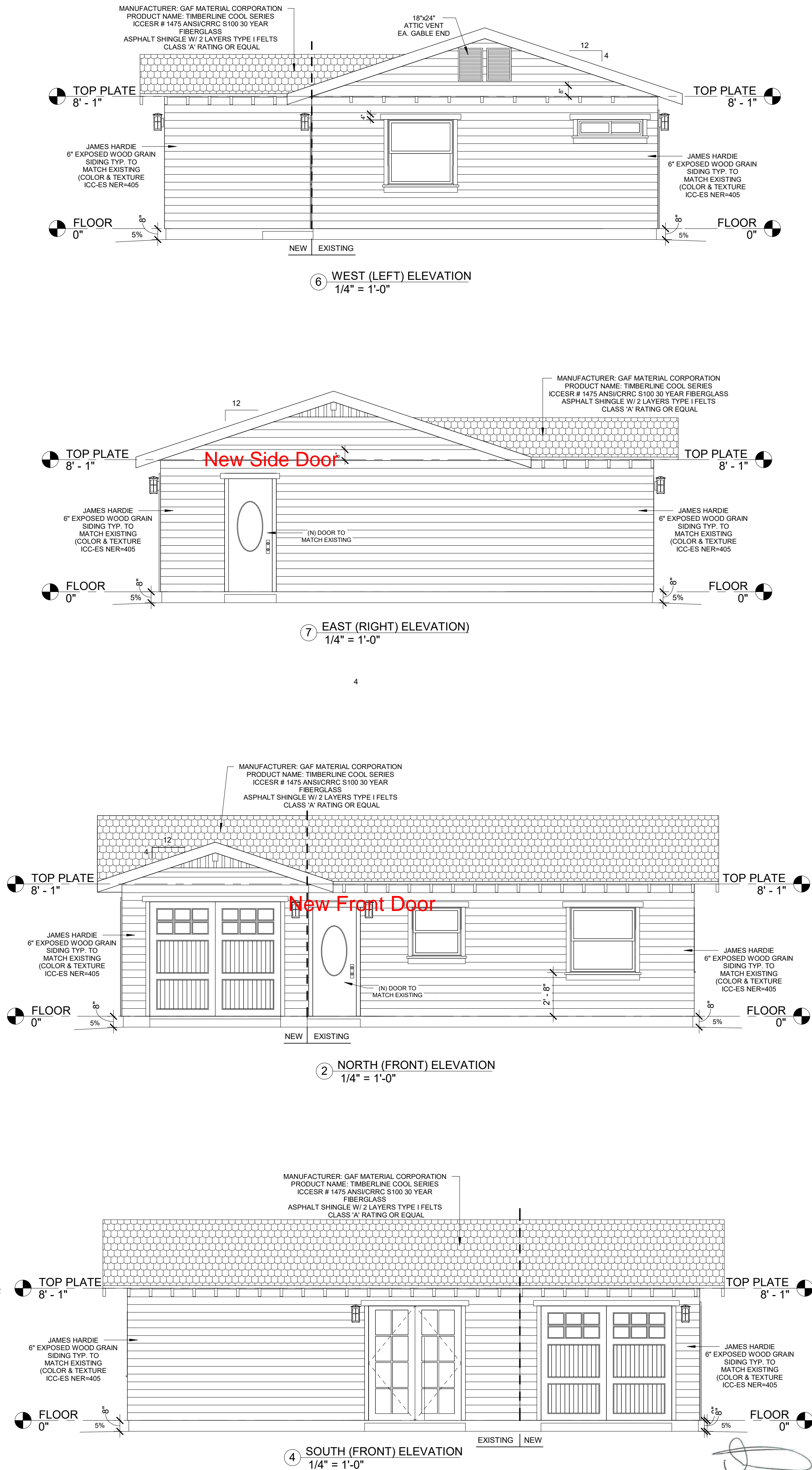
1. All installed luminaires shall be high-efficiency. (1500k 1A & Table 150.0-4C) High efficiency light sources include:
 - a. Pin-based incandescent or compact fluorescent lamps (CFL) sources used on electronic ballasts.
 - b. Pin-based metal halide lamps.
 - c. High pressure sodium lamps.
2. GU-24 sockets containing CFL or LED light sources.
 - a. Luminaires shall be labeled with the following requirements. Notes on plans. (1500k 1G 1CCE)
 - b. Be listed for zero clearance insulation contact (ILC).
 - c. Have a label that certifies the luminaire is certified with air leakage less than 2.0 CFM at 75 Pascals
 - d. Be tested according to listings with ASTM E 283.
 - e. Be sealed with a gasket or caulk between the luminaire housing and ceiling and shall have all air leaks between conditioned and unconditioned spaces sealed with a gasket or caulk.
 - f. Luminaires with perforated ballasts or dimmers shall have ballasts or dimmers replaced with readily accessible to building occupants from below the ceiling without requiring the cutting of holes in the ceiling.
 - g. Shall not contain screw base sockets.
 - h. Shall contain light sources that are marked "JAB-2016-E".
3. Screw based luminaires shall meet all of the following requirements: (1500k 1G 1CEC)
 - a. The luminaires shall be recessed downlight luminaires in ceilings.
 - b. The luminaire shall contain lamps that comply with the referenced Appendix JA8
 - c. The installed lamps shall be marked with "JA8-2016-E" or "JA8-2016-E".
4. Exhaust fans shall be switched separately from lighting system. Lighting indicator on the exhaust fan shall be on the ceiling switch as the fan provides lighting can be switched OFF while allowing the fan to continue to operate for an extended period of time. (1500k 2B 1CEC)
5. In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these areas shall be on a ceiling switch as a vacancy sensor. (1500k 2G 1CEC) Indicate on plans.
6. All JAB compliant light sources, except those in closets less than 70 square feet and in hallways, shall be controlled by dimmers or vacancy sensors. (1500k 2A & Table 150.0-4A) JAB compliant light sources include luminaires in ceilings containing downlight luminaires and GU-24 sockets containing LED light sources. Indicate on plans.
7. All residential outdoor lighting permanently mounted to the residence or other buildings on the same lot shall be controlled by the following requirements: (1500k 3A 1CEC)
 - a. Lights shall comply with one of the two options below:
 - i. Controlled by a photocell and motion sensor. Controls that override to ON shall not be required to override automatically to OFF.
 - ii. Controlled by (1) Photo control and automatic time switch control OR (2) Astronomical time clock OR (3) Energy management control system meeting the requirements of 1500k 3A.
 - b. Lights shall be controlled by a manual ON and OFF switch that does not override to ON the automatic actions of item i or item ii chosen above.

GENERAL PLUMBING NOTE:

1. ALL EXCAVATIONS FOR PIPING SHALL BE FILLED WITH CLEAN EARTH IN THEIR LAYERS TO 12" MAX.
 2. FIXTURES HAVING CONCEALED SLIP JOINT SHALL BE PROVIDED WITH 12"x12" ACCESS PANEL.
 3. WATER PRESSURE IN THE SYSTEM SHALL BE REDUCED BY INSTALLING A PRESSURE REGULATOR. NOT EXCEED 20 GALLONS PER MINUTE.
 4. WELDED JOINTS IN GAS PIPING SHALL BE DONE BY CERTIFIED WELDERS.
 5. BUILDING SEWER MUST CLEAR BUILDING MAIN BY AT LEAST 10 FEET.
 6. WATER PIPES SHALL BE FILLED WITH LEAD CONTENT EXCEEDING 0.05% ARE PROHIBITED.
 7. SOLDER AND FLUXES WITH LEAD CONTENT EXCEEDING 0.02% OF 1% ARE PROHIBITED.
 8. PROVIDE HAMMER VALVES FOR ALL POWER ACTUATED VALVES.
 9. SHOWER AND SHOWER TUB COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING TYPE.
 10. PROVIDE PERMANENTLY ACCESSIBLE 12" x 12" TUB TRAP ACCESS OR PROVIDE ONE PIECE TUB DRAIN SYSTEM. (16L 12" x 12" TUB TRAP ACCESS OR ONE PIECE TUB DRAIN SYSTEM.
- These valves shall conform to ASSE 1016 or ASME 1142. 11/CSA B12.15.
- Handle positions stops shall be provided on such valves and shall be adjusted per the manufacturer's instruction to deliver a minimum mixed water temperature of 120°F.
- Water heater thermostats shall not be considered a suitable control for meeting this division. (CPC 408.3).
11. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH SHOWER AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A MINIMUM OF 1/2" THICK CERAMIC TILE 12" x 12" ABOVE THE SHOWER AREA.
 12. FIBER-CEMENT, FIBER-REINFORCED CEMENT, GLASS MAT REINFORCED CEMENT OR GYPSUM BACKERS SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS. (Table R702.4.2, R702.4.2 CRC)
 13. WATER HEATERS LOCATED WITHIN HABITABLE SPACE REQUIRE THE MANUFACTURER'S SPECIFICATIONS DETAILING THE MINIMUM SEWER SLOPE TO BE 2%.
 14. Instantaneous gas water heaters (tankless) are not direct replacements for conventional tank type water heaters.
 15. Cement, fiber-cement, fiber-reinforced cement, glass mat gypsum or fiber-reinforced gypsum backers shall be used as a base for CONSTRUCTION AREA.
 16. Wall coverings in showers and tubs with showerheads shall be cement plaster, tile, or equal to 6 feet (72") *tub drain*.
- Enclosures must be of approved safety glazing and doors (22" min. width) must swing out of showers.*
- Windproof enclosures must be of approved safety glazing panels and doors (22" min. width) must swing out of showers.* § R307.2
16. Water closets shall have an average water consumption of not more than 1.28 gallons per flush. (411.2 CPC)
 17. The maximum flow rate of lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. (403.7 CPC)
18. PLUMBING WATER PIPES TO BE COPPER OR FLEX.
 19. Instantaneous water heaters with input less than 68 kBtu/hr. shall have isolation valves on both the cold-water supply and the hot water pipe leaving the water heater, and hose bibs or other fittings on each valve for flushing the water heater when the valves are closed. per CIPF, §110.3(c) for 7 CFC.
 20. Minimum sewer slope to be 2%.
 21. Per Civil Code Section 11114, for any single-family residential real property, on and after January 1, 2014, building addition, alteration or improvement will require all non-compliant plumbing fixtures to be replaced with water-conserving plumbing fixtures.
 22. Existing plumbing fixtures that do not meet the minimum water-conserving plumbing fixtures shall be replaced with water-conserving plumbing fixtures (regardless of whether property undergoes alterations or improvements)

Rheem Outdoor Gas Water Heater (Natural Gas)

Fuel Source	Natural Gas	
Hot Water Output (GPM)	7.5	
Major Appliances Included	Simultaneously 3	
Warranty	When the product is installed by a licensed operator according to written installation instructions for 5 years for residential and 5 years for commercial applications	
Freeze Protection	Available with J-A105 freeze protection	
Height (inches)	26	
Width (inches)	18.5	
Depth (inches)	10	
Weight (lbs.)	70	
Energy Factor	0.92	
UL Listed	Yes	
CSA Listed	Yes	
Vent Diameter (inches)	5	
ENERGY STAR Qualified	Yes	
BTU	100000 Residential	
Gallons per Minute 7.5		
Ignition Type	Electronic	
Remote Wireless Thermostat	Not available	
Vent Type	Other	
Installation Location	Outdoor	

[illegible]

NEW SHOP

NEW SHOP
Augusto Dolce
271 E Alvarado St
Pomona, CA 91767

FLOOR PLAN & ELEVATIONS

Project number	DOLCE2020
Date	7-29-17
Drawn by	O.J.M
Checked by	O.J.M
A-1	
Scale	As indicated

DECLARATION OF MAILING

I, Miroslava PourSanae, say that on the 19th of November 2020 a copy of the notice attached hereto was mailed to each of the persons whose name and address appears on the attached list. Said mailing was done at Pomona City Hall, Planning Division, located at 505 South Garey Avenue, Pomona, California.

Address: 269 E. Alvarado Street
Project: MAJCOA 014450-2020
Meeting Date: December 2, 2020

I declare, under penalty of perjury, that the foregoing is true and correct.

Miroslava PourSanae
Executed at Pomona, California on November 19, 2020



NOTICE OF PUBLIC HEARING

This is not a citation (Esto no es una citación).

If you are receiving this notice, your property is located directly adjacent to, or across the street from, the proposed project.

PROPOSED PROJECT

A request for a Major Certificate of Appropriateness for a small workshop (335 sq. ft.) addition to detached garage on a single family residential lot located at 269 E. Alvarado Street.

Applicant	Augusto Dolce
Location	269 E. Alvarado Street
Hearing Body	Historic Preservation Commission
Case File(s)	MAJCOA-014450-2020

Environmental Determination

The City of Pomona, as lead agency, has conducted an environmental review on the proposed project per the California Environmental Quality Act (CEQA). Pursuant to the provisions of CEQA (Public Resources Code, Section 21084 et. seq.), the guidelines include a list of classes of projects which have been determined not to have a significant effect on the environment and which shall, therefore, be exempt from the provisions of CEQA. The Planning Commission will consider adopting a Categorical Exemption in compliance with Article 19, Section 15303, (Class 3 – New Construction or Conversion of Small Structures). The proposed project described above hereby meets the guidelines for a Categorical Exemption because the project consists of a small workshop addition. Therefore, no further environmental review is required.

PUBLIC HEARING INFORMATION

Time & Date: Historic Preservation Commission Meeting, Wednesday, December 2, 2020, 6:30 p.m.

Location: Available to view via Zoom Video Conferencing

Questions: Eunice Im, AICP, Assistant Planner (909) 620-2446, eunice_im@ci.pomona.ca.us

On March 16, 2020, the City Council declared a local emergency in response to the global COVID-19 outbreak. Preserving the health and safety of our employees and the public is our top priority.

In accordance with California Governor's Executive Order N-25-20 regarding the Brown Act and guidance from the California Department of Public Health on gatherings, please note the following:

This Planning Commission meeting will occur via teleconference only. **There will be no in-person public meeting location.**

To participate by video conferencing: Visit <https://zoom.us/join>. Type in Meeting ID 856 7175 7368 and click "Join". Enter Meeting Password 996938 and click "Join Meeting". Please note that you will need to create a Zoom account to view the meeting. As an added security measure, upon joining, you will be placed in a "Waiting Room", and the Administrator will grant access to participate.

To participate by telephone: Dial (669) 900-9128. Enter Meeting ID 856 7175 7368 followed by #. For Participant ID, press #. Enter Password 996938 followed by #.

To submit comments by email: Comments for public participation or for a specific item on the agenda will be accepted by email. Comments will be read into the record by the Planning Commission Secretary. The deadline to submit your comments is Wednesday, December 2nd by 5:30 p.m. Please email your comments to DevServicesComments@ci.pomona.ca.us. Comments must be limited to 200 words. Please title your email "HPC Public Comment 12-2-2020" and indicate if you are commenting on a specific agenda item.

The staff report on this matter will be available on or about November 26, 2020 on the City of Pomona website, which may be accessed at <https://pomona.legistar.com/Calendar.aspx> or by emailing the case planner, Eunice Im.

PLEASE NOTE: If you challenge this matter in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City of Pomona, Planning Division at, or prior to, the public hearing.

Para Información en Español, llame (909) 620-2436.