

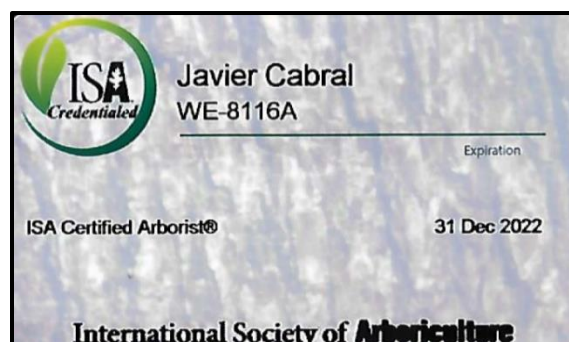
To: Farook Zia
From: Javier Cabral / Consulting Arborist
Date: October 20, 2021
Subject: 1137 & 1149 Philips Ranch Rd.

This memorandum is to address the translatability of one *Coast live oak tree # 4 on the tree inventory. This Oak tree sits directly on the footprint of the proposed rear unit and cannot be saved.*

- 1) To transplant this Oak tree, first it would have to be substantially trimmed to allow for excavation of the required root ball size and access to cabling for aerial movement and for transplant activities. Unfortunately, the season for Coast live oak tree trimming has passed as they are to be trimmed between July and September when the weather is hot and dry. Trimming now thru June 2022, would risk infection with Witches Broom "Sphaerotheca lanestris" a powdery mildew that infects new growth when infected. It is very hard to impossible to control once infected and there is no chemical treatment for this.
- 2) A multi-trunk tree such as Tree # 4 Oak is also not compatible with the dimensions of the landscape areas because as a multi trunk tree the base is very wide at the bottom and would severely crowd the usable area for to be used as a common garden.
- 3) Tree transplanting requires careful planning months in advance to have a high likelihood of a successful outcome. Root pruning a year in advance is highly recommended to allow for new root growth before boxing or lifting the tree out of its original location for transplanting. Transplant failure and eventual tree decline, insect & disease infestation, and death are common when long term planning is not implemented.
- 4) I would be highly recommend a new container grown tree be planted in a size and location on the site where it can grow and thrive for many years instead of risking disease on a tree that will be challenged to survive all of the risks and challenges of transplanting.

Prepared by:
Javier Cabral Consulting Arborist
International Society of Arborists # WE- 8116A

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1137 & 1149 W. Philips Ave Pomona, CA 91766

Prepared for:

Farook Zia
1137 & 1149 W. Philips Ave
Pomona, CA 91766

March 19, 2020

Prepared by:

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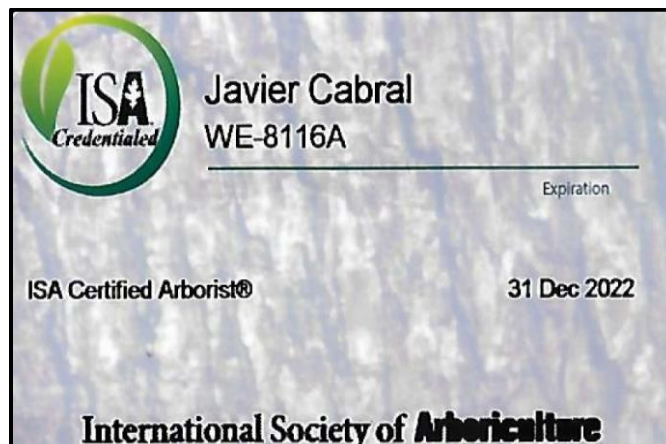


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Summary

Mr. Zia,

You have retained my consulting arborist services to provide a tree inventory for the property described as 1137 & 1149 W. Philips Blvd Pomona, CA 91766. The two homes previously on the lots have been demolished and you are in the planning and permitting process of redeveloping the property with a multifamily 12 units.

The proposed demolition and construction are expected to require that all on-site trees be removed due to their proximity to the footprint of the proposed structures.

Background and assignment

Mr. Zia has requested that I provide the following arboricultural services.

- 1) Identify all on-site trees and off-site trees near the property lines. and label them on the architectural drawings as provided to the arborist by Mr. Jackson Huang.
- 2) Evaluate the current health of the trees.

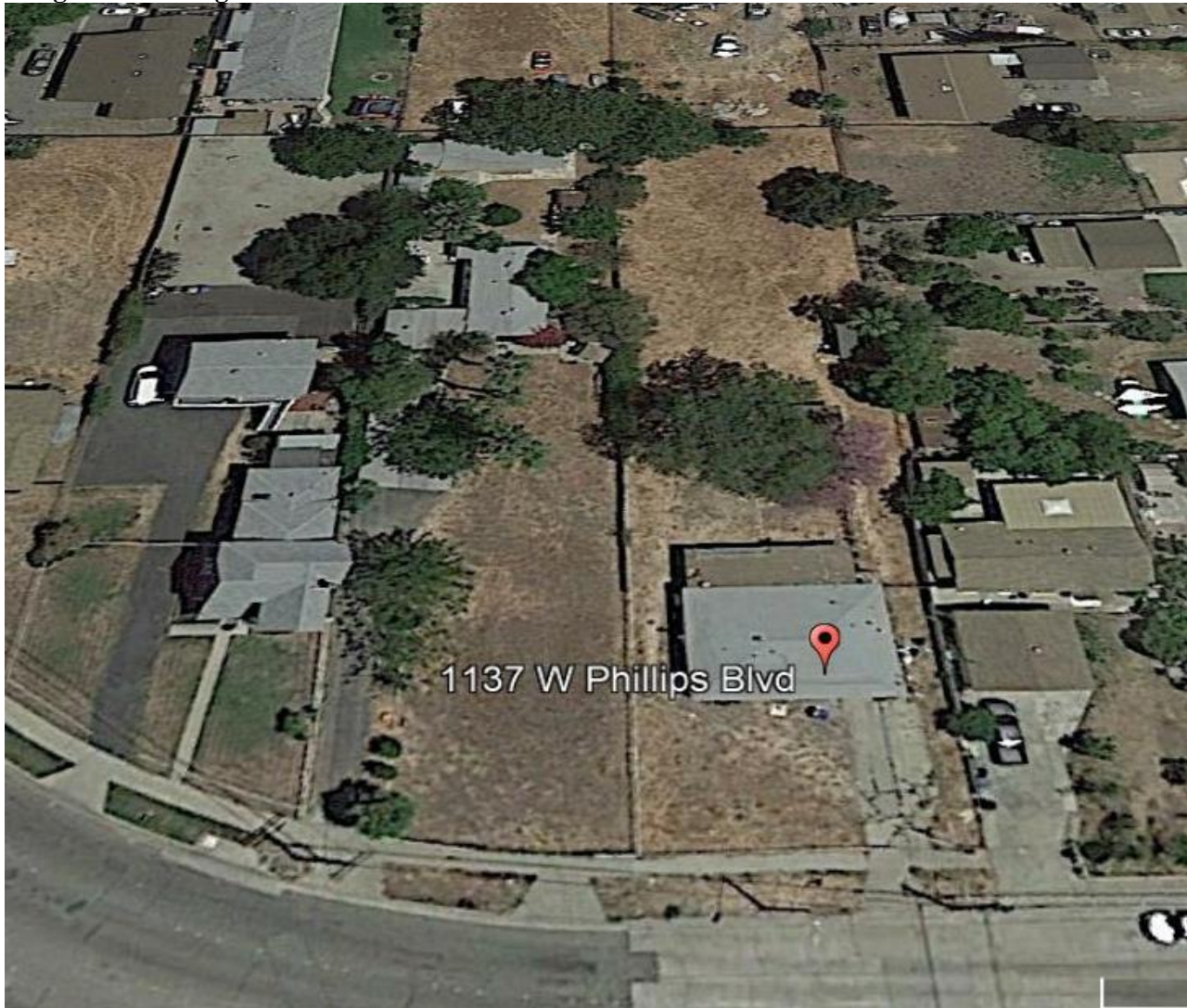
The following report is based on my site visit on March 18, 2020, and my analysis of the trees, Topographic survey, and surrounding landscape. For the purpose of this report I will address these trees as **Trees # 1 thru 12.**

Site conditions

The single-family homes that were located on these properties have been demolished and the two lots are clear of any structures. The Arborist will only inventory existing trees that are on-site and off-site trees that are near the property lines.

- 1) There are 7 total trees on the subject property and 5 off-site trees that will be inventoried.
- 2) Of the 7 on-site trees 4 are coast live oak species. Most of the trees growing on this lot are not good specimens to preserve.

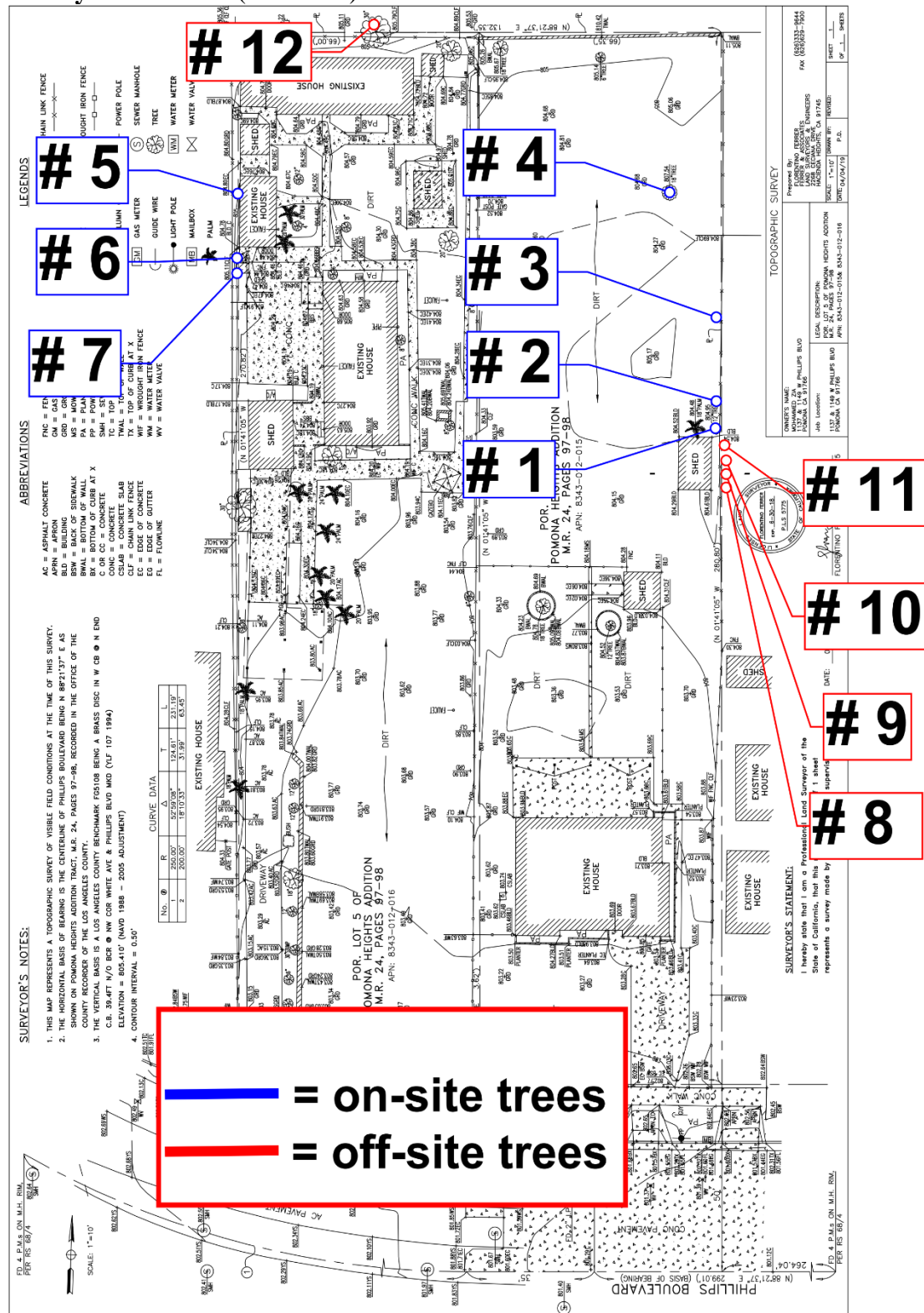
Google Earth Image



List Inventory pg. 1

Tree #	Common Name	Botanical Name	Diameter at 4.5 feet (dbh) In inches	Height (in feet)	Spread (in feet)	Physiological condition	Protection status	REMOVE or Remain	Comments
1	Evergreen ash	<i>Fraxinus uhdei</i>	multi 1+2+3	12	5	good	no	REMOVE	growing against fence
2	Tree of heaven	<i>Ailanthus altissima</i>	multi 1+2++2+2	20	21	good	no	REMOVE	growing against fence
3	Coast live oak	<i>Quercus agrifolia</i>	multi 1+1+4	12	6	good	no	REMOVE	growing against fence
4	Coast live oak	<i>Quercus agrifolia</i>	multi 3+7+10+11	12	5	good	mature significant	REMOVE	This Oak tree is to be removed because the trunk sits in the footprint of the rear unit and it cannot be saved
5	Coast live oak	<i>Quercus agrifolia</i>	6	18	12	poor	no	REMOVE	growing against wall & girdled post
6	Coast live oak	<i>Quercus agrifolia</i>	10	25	8	poor	mature significant	REMOVE	growing against wall & girdled post
7	Tree of heaven	<i>Ailanthus altissima</i>	multi 3+4	20	8	poor	no	REMOVE	trunk damage
8	Glossy privet	<i>Ligustrum lucidum</i>	multi 5+6+8 off-site	25	12	good	mature significant	PRESERVE	growing against fence
9	Glossy privet	<i>Ligustrum lucidum</i>	5 off-site	20	9	good	no	PRESERVE	growing against fence
10	Glossy privet	<i>Ligustrum lucidum</i>	5 off-site	20	7	good	no	PRESERVE	growing against fence
11	Glossy privet	<i>Ligustrum lucidum</i>	10 off-site	30	7	good	mature significant	PRESERVE	growing against fence
12	Tree of heaven	<i>Ailanthus altissima</i>	multi 12+18+20 off-site	50	55	good	mature significant	PRESERVE	

March 20, 2020
Pg. # 6



Trees # 1 & 2 (facing east)



1 Evergreen ash
Dbh = 1+2+3 in.

1 tree of heaven
Dbh = 1+2+2+2+2 in.

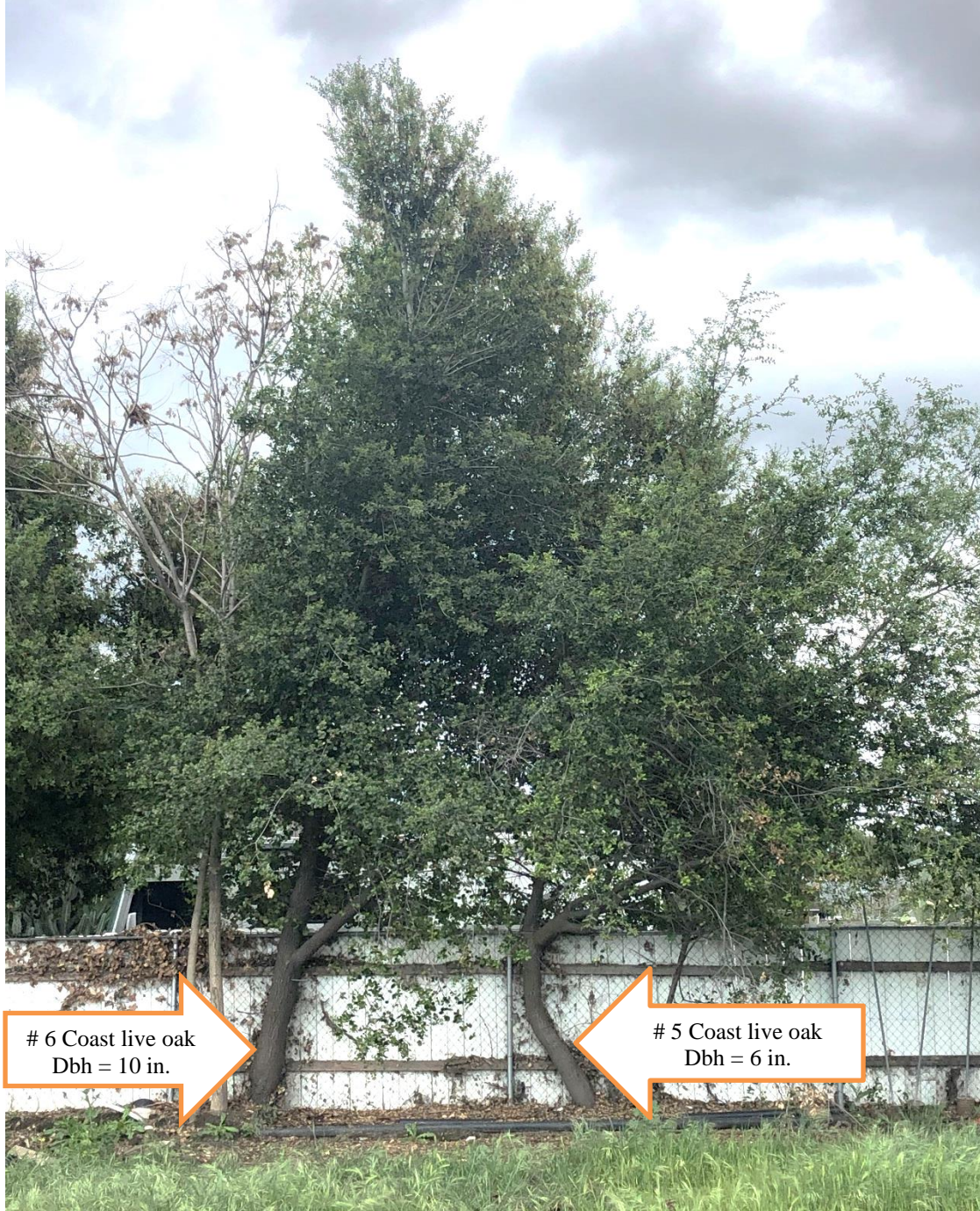
Tree # 3 (facing east)



Tree # 4 (facing east)



Tree # 5 & 6 (facing west)



6 Coast live oak
Dbh = 10 in.

5 Coast live oak
Dbh = 6 in.

Tree # 5 (facing west)



Tree # 6 (facing west)



Fence imbedded into
the trunk

Fence imbedded into
the trunk

Trees # 6 & 7 (facing west)



Trees # 8 thru 11 (facing east)



Tree 11 (facing north)

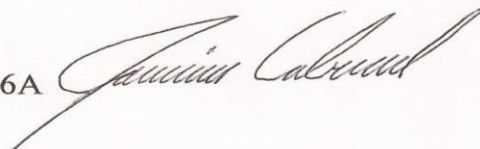


11 Tree of heaven
Dbh = 12+18+20 in.

Thank you and feel free to contact me if you have any questions or concerns.

Yours truly,

Javier Cabral / Consulting arborist
1390 El Sereno Ave Pasadena, Ca 91103
International Society of Arboriculture # WE 8116A

A handwritten signature in black ink, reading "Javier Cabral", written in a cursive style.

Certificate of Performance & Arborists Disclosure Statement

I Javier Cabral certify the following:

- No warranty is made, expressed or implied, that problems or deficiencies of the trees or the property will not occur in the future, from any cause. The Arborist shall not be responsible for damages or injuries caused by any tree defects and assume no responsibility for the correction of defects or tree related problems. The Arborist assumes no responsibility for damage to trees as a result of the construction activities as the Arborist cannot be present at all times to witness all construction tasks near the subject trees.
- The owner and client of the trees may choose to accept or disregard the recommendations of the Arborist or seek additional advice if the owner decides not to accept the Arborists findings or recommendations.
- The Arborist has no past, present or future interest in the removal or preservation of any tree. The opinions contained in the Arborist report are independent and objective judgements of the Arborist.
- The findings, opinions, and recommendations of the Arborist are based on based on the physical inspection of said property. The opinions are based on knowledge, experience, and education.
- The Arborist shall not be required to provide testimony, provide site monitoring, provide further documentation for changes beyond the control of the Arborist, be deposed, or to attend any meeting without contractual arrangements for additional fees to the Arborist.
- The Arborist assumes no responsibility for verification of ownership or location of property lines, or for any recommendations based on inaccurate information.
- This Arborist report may not be reproduced without the expressed written permission of the Arborist and the client to whom the report was provided to. Any changes or alteration of this report invalidates the entire report.
- Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, make recommendations to prevent or minimize damage to trees during and after construction projects, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or to seek additional advice.
- Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like any medicine, cannot be guaranteed.
- Treatment, pruning and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, and other issues. Arborists cannot take such considerations into account unless complete and accurate information is disclosed to the arborist. An arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.
- Trees can be managed, but they cannot be controlled. To live near trees is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate all trees.