

THE COLLECTION AT MOUNTAIN CREST HILLS
1137 AND 1149 WEST PHILLIPS BLVD
POMONA CA 91766

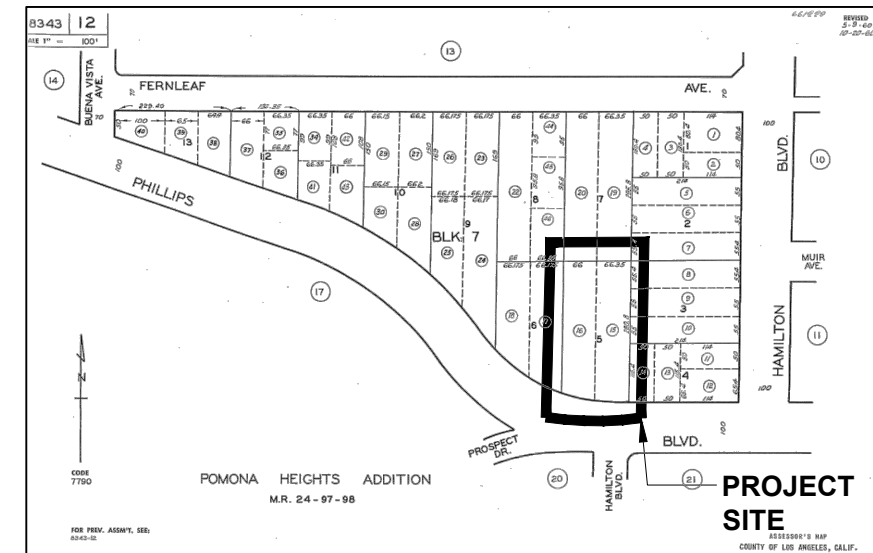


FRONT PERSPECTIVE



VICINITY MAP

SOURCE: FREE GOOGLE MAP ONLINE



ASSESSOR'S MAP

SCALE: NTS



SCOPE OF WORK

MERGE TWO LOTS AND NEW CONSTRUCTION OF 12 UNITS TOWNHOMES.

OWNER'S INFORMATION

KHURSHID KHAN
TRUSTEE OF THE WEST COAST OCEANSIDE TRUST
16392 E. EDNA PLACE
COVINA, CA 91722
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PROJECT TEAM

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BUILDING CODE

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA ENERGY CODE
2019 CALGREEN CO
CITY OF POMONA, MUNICIPAL CODE

PROJECT DATA

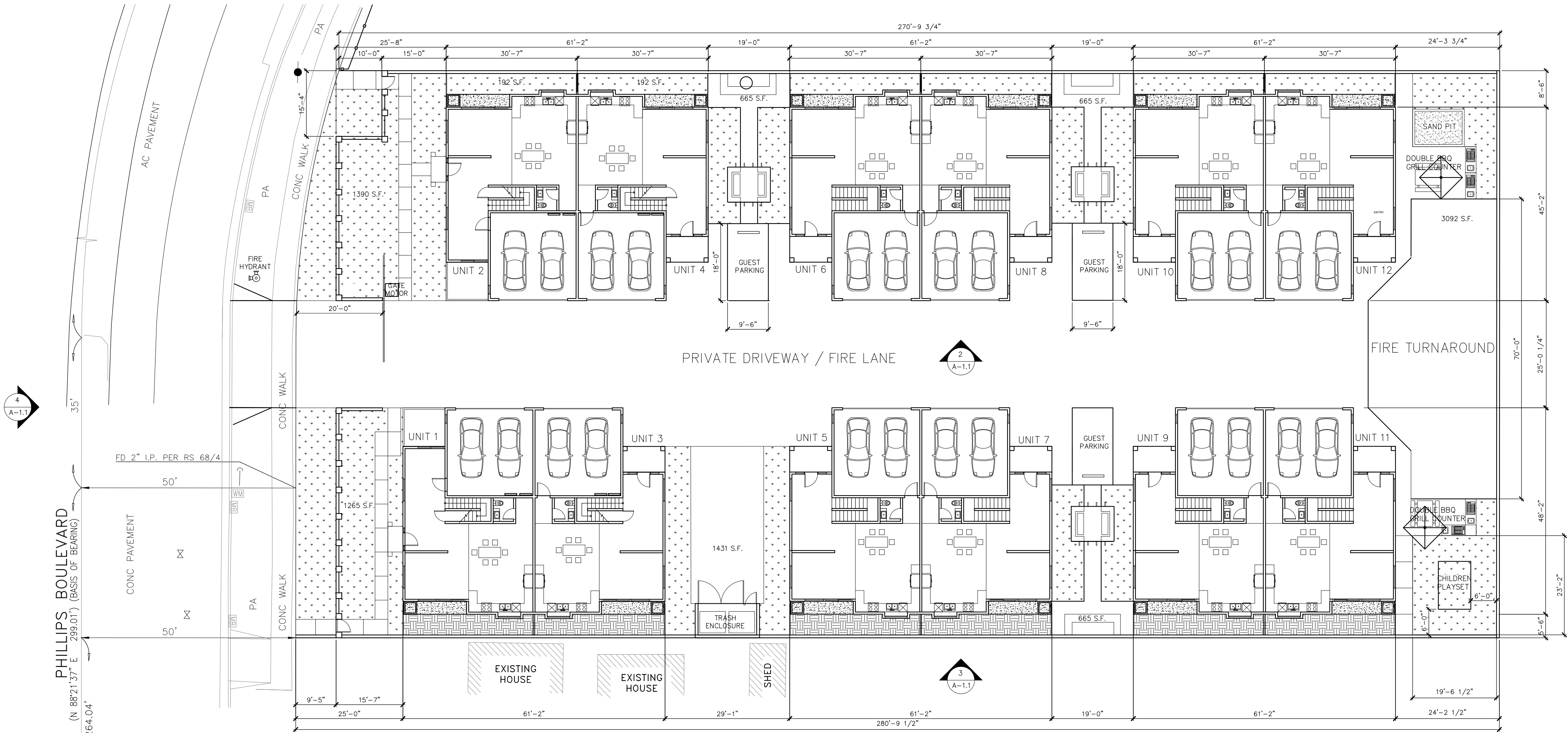
PROPERTY TYPE:	TOWNHOMES
ASSESSOR'S ID NO.:	8343-012-015
ZONE:	8343-012-016
LOT AREA:	R-2 S OVERLAY
NUMBER OF UNITS:	37164 S.F.
	12
UNIT 1 AND UNIT 2 SQ. FT.:	1ST. FL. 902 S.F. PER UNIT
	2ND. FL. 1,232 S.F. PER UNIT
	TOTAL: 2,134 S.F. PER UNIT
GARAGE:	400 S.F. PER UNIT
UNIT 3 TO UNIT 12 SQ. FT.:	1ST. FL. 858 S.F. PER UNIT
	2ND. FL. 1,232 S.F. PER UNIT
	TOTAL: 2,090 S.F. PER UNIT
GARAGE:	400 S.F. PER UNIT
COMMON OPEN SPACE REQUIRED:	6,000 S.F.
COMMON OPEN SPACE PROVIDED:	6,518 S.F.
UNIT 1 TO UNIT 12 PRIVATE OPEN SPACE 1ST FL. REQUIRED:	150 S.F. PER UNIT
UNIT 1 TO UNIT 12 PRIVATE OPEN SPACE 1ST FL. PROVIDED:	192 S.F. PER UNIT
UNIT 1 TO UNIT 12 PRIVATE OPEN SPACE 2ND FL. REQUIRED:	90 S.F. PER UNIT
UNIT 1 TO UNIT 12 PRIVATE OPEN SPACE 2ND FL. PROVIDED:	140 S.F. PER UNIT
LANDSCAPE AREA:	8124 S.F.
GUEST PARKING:	3 SPACES

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- A-5.0 COLORS AND MATERIALS

NOTE

TEMPORARY NOISE BARRIERS AND / OR BLANKETS WITH A MINIMUM HEIGHT OF 8'-0" SHALL BE CONSTRUCTED ALONG THE ENTIRE NORTHERN, WESTERN, AND EASTERN PROJECT SITE. PLEASE REFER TO NOISE AND VIBRATION STUDY FOR DETAIL.



NO.	REVISION DATE
PROJECT: THE COLLECTION AT MOUNTAIN CREST HILLS 1137 AND 1149 WEST PHILLIPS BLVD. POMONA, CA 91766	OWNER: TRUSTEE OF THE WEST COAST OCEANSIDE TRUST 16392 E. EDNA PLACE COVINA, CA 91722
CONSULTANT	
TITLE SHEET / SITE PLAN	
A	
1.0	

GENERAL NOTES:

- WORK SHOWN HEREON SHALL BE DONE IN ACCORDANCE WITH THE "STANDARD PLANS & SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", LATEST EDITION AND SUPPLEMENTS.
- WORK SHOWN HEREON SHALL BE DONE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION," LATEST EDITION AND SUPPLEMENTS, THE UNIFORM BUILDING CODE (EXCAVATION AND GRADING), AND CITY OF POMONA LOCAL ORDINANCES AS APPLICABLE.
- ALL GRADING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS.
- IT IS SHOWN AS PART OF THIS PLAN FOR REFERENCE ONLY. ANY DISCREPANCIES ONSITE SHALL BE REPORTED BY THE CONTRACTOR TO THE CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.
- PRIOR TO COMMENCING CONSTRUCTION, CONTRACTOR SHALL HIRE A LICENSED LAND SURVEYOR TO VERIFY THAT THE ELEVATIONS SHOWN ON THE GRADING PLAN AT THE JOIN TO THE EXISTING IMPROVEMENTS MATCHES THE EXISTING ELEVATIONS IN THE FIELD. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES, AND SHALL NOT BEGIN CONSTRUCTION, IN THE AREAS OF DISCREPANCIES UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
- PRIOR TO COMMENCING CONSTRUCTION, CONTRACTOR SHALL POT HOLE AND VERIFY THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE LIMIT OF WORK SHOWN ON THE CONSTRUCTION DRAWINGS, INCLUDING VERTICAL AND HORIZONTAL LOCATION OF EXISTING UNDERGROUND FACILITIES AT THE POINT-OF-CONNECTIONS AND CROSSINGS WITH THE PROPOSED UNDERGROUND FACILITIES. CONTRACTOR SHALL VERIFY THE POT HOLING INFORMATION AGAINST THE CONSTRUCTION DRAWINGS AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES AND/OR CONFLICTS. THE CONTRACTOR SHALL NOT BEGIN CONSTRUCTION OF UNDERGROUND FACILITIES UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
- ALL DRAWINGS ARE CONSIDERED TO BE A PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
- THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
- THE EXISTENCE, LOCATION AND CHARACTERISTICS OF UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM A REVIEW OF AVAILABLE RECORD DATA. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
- IF AT ANY TIME DURING GRADING OPERATIONS, ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, GRADING IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED.
- THE PROPOSED GRADE IS THE FINAL GRADE AND NOT THE ROUGH GRADE. THE CONTRACTOR SHALL SUBTRACT THE THICKNESS OF THE PAVED SECTION AND/OR LANDSCAPE TOPSOIL SECTION TO ARRIVE AT THE ROUGH GRADE ELEVATION.
- STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON THE PLANS.
- ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.
- ALL FILL SOILS OR SOILS DISTURBED OR OVEREXCAVATED DURING CONSTRUCTION SHALL BE COMPACTED PER THE REQUIREMENTS OF THE SOILS REPORT BUT NOT LESS THAN 90% MAXIMUM DENSITY AS DETERMINED BY A.S.T.M. SOIL COMPACTION TEST D-1557.
- THE CONTRACTOR SHALL OBTAIN AN O.S.H.A. PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE CONSTRUCTION OF TRENCHES OR EXCAVATIONS WHICH ARE FIVE FEET OR DEEPER.
- DIMENSIONS TO PIPE LINES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER FROM TOP OF PIPE TO FINISHED GRADE, UNLESS OTHERWISE NOTED.
- THRUST BLOCKS SHALL BE INSTALLED AT WATERLINE HORIZONTAL AND VERTICAL BENDS, TEES, CAPPED ENDS AND REDUCERS ACCORDING TO THE DETAILS PROVIDED ON THESE PLANS.
- CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR.
- THE CONTRACTOR SHALL REPLACE ALL EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION TO MATCH EXISTING, INCLUDING PERMANENT TRENCH RESURFACING.
- CONTRACTOR TO CONTACT UNDERGROUND SERVICE ALERT (800-227-2600) PRIOR TO EXCAVATION.
- ALL DIMENSIONS ARE IN FEET OR DECIMALS THEREOF.
- ALL CURB DIMENSIONS AND RADII ARE TO PAVEMENT FACE OF CURB.
- CONTRACTOR TO BE AWARE OF ALL OVERHEAD LINES AT ALL TIMES, SO AS NOT TO DISTURB THEM.
- WATER SHALL BE PROVIDED ONSITE AND USED TO CONTROL DUST DURING CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS FROM THE CITY OF PASADENA FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE, DURING INTERIM CONDITIONS OF CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING NPDES, FROM THE APPROPRIATE JURISDICTIONAL AGENCIES FOR DISCHARGE OF GROUNDWATER THAT MAY BE NECESSARY TO ACCOMPLISH EXCAVATIONS SHOWN ON THESE PLANS.
- BLANKET PROTECTION SHALL BE PROVIDED FOR ALL UTILITY PIPES AND CONDUITS UNDER DRIVEWAYS, ROADWAYS, PARKING LOTS, AND OTHER VEHICULAR PATH OF TRAVEL PER APWA STANDARD PLAN 225-1 WHERE THE MINIMUM COVER OVER THE PIPES AND CONDUITS IS LESS THAN 36".
- CONTRACTOR SHALL ADJUST ALL EXISTING UTILITIES SUCH AS MANHOLE COVERS, CLEAN OUTLET COVERS, METER BOXES, PULL BOXES, VALVE BOXES, AREA DRAINS, CATCH BASINS, FIRE HYDRANTS AND OTHER SURFACE UTILITIES TO NEW FINISH GRADE. NOT ALL EXISTING SURFACE UTILITIES MAY HAVE BEEN IDENTIFIED ON THESE PLANS THAT MAY REQUIRE ADJUSTMENT TO NEW GRADE, THE CONTRACTOR SHALL BE RESPONSIBLE TO VISIT THE SITE TO FULLY ACKNOWLEDGE, UNDERSTAND AND INCLUDE THE EXTEND OF WORK REQUIRED.
- CONTRACTOR SHALL APPLY EXCAVATION PERMIT FROM PUBLIC WORKS PRIOR TO CONSTRUCTION OF ALL WORK IN PUBLIC-RIGHT-OF-WAY. A SEPARATE PERMIT MAYBE REQUIRED BY PUBLIC WORKS TO BE SECURED FROM P.W.P. AND PASADENA D.O.T.

AS THE CIVIL ENGINEER OF THE PROJECT, I HAVE REVIEWED THE DEVELOPMENT PLANNING FOR STORM WATER MANAGEMENT-A MANUAL FOR STANDARD URBAN STORMWATER MITIGATION PLAN (SUSMP), AND HAVE PROPOSED THE IMPLEMENTATION OF THE PERMANENT BEST MANAGEMENT PRACTICES (BMPs) APPLICABLE TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THE PROJECT'S STORMWATER RUNOFF. THE SELECTED BMP'S WILL BE INSTALLED PER THE APPROVED PLANS AND AS RECOMMENDED BY THE PRODUCT MANUFACTURER AS APPLICABLE.

1-800-227-2600
CALL USA/SC FOR
UNDERGROUND
LOCATING 48 HOURS BEFORE
YOU DIG!

IMPORTANT NOTICE

SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIGALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIGALERT I.D. NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE 1-800-227-2600 TWO WORKING DAYS BEFORE YOU DIG

GEOTECHNICAL NOTES: GRADE, AND SUBGRADE PREPARATION REQUIREMENT

- ALL WORK MUST BE IN COMPLIANCE WITH THE RECOMMENDATIONS INCLUDED IN THE GEOTECHNICAL CONSULTANT'S REPORT(S) AND THE APPROVED GRADING PLANS AND SPECIFICATIONS.
- THE GEOTECHNICAL ENGINEER IS TO APPROVE THE KEY OR BOTTOM OF EXCAVATION AND LEAVE A CERTIFICATE ON THE SITE FOR THE CITY INSPECTOR. THE CONSTRUCTION MANAGER IS TO BE NOTIFIED BEFORE ANY GRADING BEGINS AND FOR BOTTOM INSPECTION BEFORE FILL IS PLACED.
- GRADING OPERATIONS MUST BE CONDUCTED UNDER PERIODIC INSPECTIONS BY THE GEOTECHNICAL CONSULTANTS WITH MONTHLY INSPECTION REPORTS TO BE SUBMITTED TO THE CONSTRUCTION MANAGER.
- THE SOIL ENGINEER SHALL PROVIDE SUFFICIENT INSPECTIONS TO MAKE SURE THAT THE WORK IS BEING PERFORMED IN ACCORDANCE WITH THE PLAN AND LATEST EDITION OF CALIFORNIA BUILDING CODE.
- ALL SITE PREPARATION AS INDICATED SHALL BE INSPECTED PER TABLE 1704 OF 2-13 CALIFORNIA BUILDING CODE. THE CONTRACTOR SHALL FOLLOW THAT TABLE FOR ITEMS THAT NEED PERIODIC AND CONTINUOUS INSPECTION. CONTINUOUS INSPECTION IS ONLY REQUIRED FOR VERIFICATION OF USE OF PROPER MATERIALS, DENSITIES, AND LIFT THICKNESS DURING PLACEMENT AND COMPACTION OF CONTROLLED FILL; UNLESS OTHERWISE INSTRUCTED BY THE DSA INSPECTOR, SOIL'S ENGINEER, OR OAR.
- ALL EXISTING FILL SOILS AND TOP SOIL/COLLOVIUM ARE TO BE REMOVED AND REPLACED BY PROPERLY COMPACTED FILL.
- FOR SUPPORT OF CONCRETE WALKS AND SLABS ON GRADE, THE CONTRACTOR SHALL COMPACT THE SUBGRADE TO A RELATIVE COMPACTION OF AT LEAST 90% AT OPTIMUM MOISTURE CONTENT.
- IN THE AREAS OF FILL, ALL SOILS SHOULD BE REMOVED UNTIL BEDROCK IS EXPOSED, THE AREAS TO RECEIVE COMPACTION FILL SHALL BE SCARIFIED TO A DEPTH OF ABOUT 8 INCHES, MOISTEN AS REQUIRED TO BRING TO APPROXIMATELY OPTIMUM MOISTURE CONTENT, AND COMPACTED TO AT LEAST 90% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE ASTM DESIGNATION D 1557-02 COMPACTION METHOD.
- PRIOR TO CONSTRUCTION, THE AREAS PLANNED FOR NEW CONSTRUCTION SHOULD BE CLEARED OF EXISTING IMPROVEMENTS INCLUDING VEGETATION, TRASH, AND DEBRIS, WHICH SHOULD BE PROPERLY DISPOSED OFFSITE. EFFORTS SHOULD BE MADE TO LOCATE ANY EXISTING OR ABANDONED UTILITY LINES IN THE AREA PLANNED FOR CONSTRUCTION. EXISTING UTILITIES SHOULD BE EITHER PROPERLY ABANDONED AND REMOVED OR REROUTED AROUND THE DEVELOPMENT AREA TO PRESERVE THEIR FUNCTION. EXCAVATIONS THAT RESULT FROM THE REMOVAL OF UTILITIES AND OTHER SITE IMPROVEMENTS SHOULD BE PROPERLY BACKFILLED AND COMPACTED.

10. SITE PREPARATION : THE CONTRACTOR SHALL FOLLOW AND DO THE FOLLOWING REQUIREMENT:

- ALL FILL SHALL BE GRANULAR IN NATURE. THEREFORE, ONLY THE EXCAVATED SANDY SOIL FROM THE SITE MAYBE REUSED IN THE AREAS OF COMPACTED FILL.
- BEFORE WALL BACKFILLING, SUBDRAIN SHALL BE INSTALLED. THE SUBDRAIN SYSTEM SHALL CONSIST OF 4" DIAMETER PERFORATED PIPES EMBEDDED IN ABOUT 1 CU.FT. OF FREE DRAINING GRAVEL PER FOOT OF PIPE. AN APPROVED FILTER FABRIC SHALL BE WRAPPED AROUND THE FREE DRAINING GRAVEL. NON PERFORATED OUTLET PIPES SHALL PASS THROUGH THE WALL INTO INTERIOR SUMP PUMP.
- THE EXCAVATED SANDY SOILS FROM THE SITE ARE CONSIDERED TO BE SATISFACTORY TO BE REUSED IN THE AREAS OF COMPACTED FILL AND WALL BACKFILL PROVIDED THAT ROCKS LARGER THAN 6" IN DIAMETER ARE TO BE REMOVED.
- FILL MATERIALS, APPROVED BY THE SOIL'S ENGINEER, SHOULD BE PLACED IN CONTROLLED LAYERS. EACH LAYER SHALL BE COMPACTED TO AT LEAST 90% OF THE MAXIMUM UNIT WEIGHT AS DETERMINED BY ASTM D 1557-02 FOR THE MATERIAL USED.
- THE FILL SHALL BE PLACED IN LAYERS WHICH WHEN COMPACTED SHALL NOT EXCEED 8" PER LAYER. EACH LAYER SHALL BE SPREAD EVENLY AND SHALL BE THOUROUGHLY MIXED DURING THE SPREADING TO INSURE UNIFORMITY OF MATERIAL IN EACH LAYER.
- WHEN MOISTURE CONTENT OF THE FILL MATERIAL IS TOO LOW TO OBTAIN ADEQUATE COMPACTION, WATER SHALL BE ADDED THOROUGHLY DISPERSED UNTIL MOISTURE CONTENT IS NEAR OPTIMUM.
- WHEN THE MOISTURE CONTENT OF THE FILL MATERIAL IS TOO HIGH TO OBTAIN ADEQUATE COMPACTION, THE FILL MATERIAL SHALL BE AERATED BY BLADING OR ORTHER SATISFACTORY METHODS UNTIL NEAR OPTIMUM CONDITION IS ACHIVED.
- INSPECTION AND FIELD DENSITY TEST SHALL BE CONDUCTED BY THE SOIL'S ENGINEER DURING GRADING WORK TO ASSURE ADEQUATE COMPACTION IS ATTAINED. WHERE COMPACTION IS LESS THAN 90% RELATIVE DENSITY, CONTRACTOR SHALL CONDUCT/MAKE ADDITIONAL COMPACTION TO ACHIEVE 90% RELATIVE COMPACTION.

19. TEMPORARY EXCAVATION:

WHEN SPACE LIMITATION PERMITS, UNSHORED TEMPORARY EXCAVATION SLOPES CAN BE USED WITH THE FOLLOWING CONDITION:

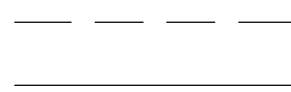
MAXIMUM DEPTH OF CUT	MAXIMUM SLOPE RATIO
0-4' >4'	1/2:1 3/4:1 (OVERALL GRADIENT)

20. WATER SHALL NOT BE ALLOWED TO FLOW OVER THE TOP OF EXCAVATION IN UNCONTROLLED MANNER. NO SURCHARGE SHALL BE ALLOWED WITHIN 45-DEGREES LINE DRAWN FROM THE BOTTOM OF EXCAVATION. EXCAVATION SURFACE SHALL BE KEPT MOIST BUT NOT SATURATED TO RETARD RAVELING AND SLOUGHING DURING CONSTRUCTION.

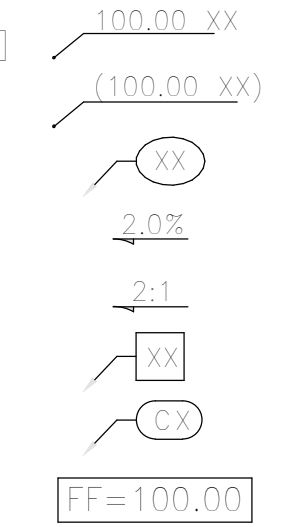
NOTE TO CONTRACTOR:

CONTRACTOR TO OBTAIN SEPARATE PERMIT FROM CITY OF POMONA AND OTHER AGENCIES / UTILITY PURVEYOR(S), FOR WORK WITHIN THE PUBLIC RIGHT OF WAY INCLUDING (BUT NOT LIMITED TO), SIDEWALK IMPROVEMENTS, STORM DRAIN, SEWER, GAS, WATER, AND OTHER UNDERGROUND UTILITY LATERALS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE PERMITS AND CONSTRUCTION WORK AND SCHEDULE TO AGENCIES AND UTILITY OWNERS. CONTRACTOR TO INCLUDE THIS PERMIT PROCESSING ON HIS/HER BID.

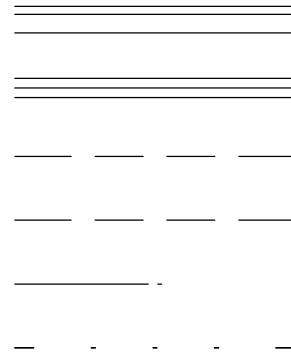
GENERAL



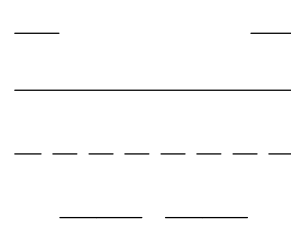
ANNOTATION



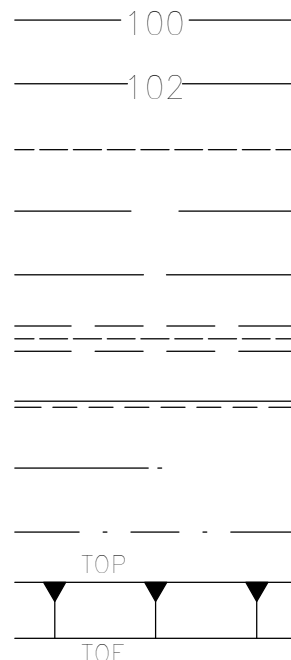
SITE



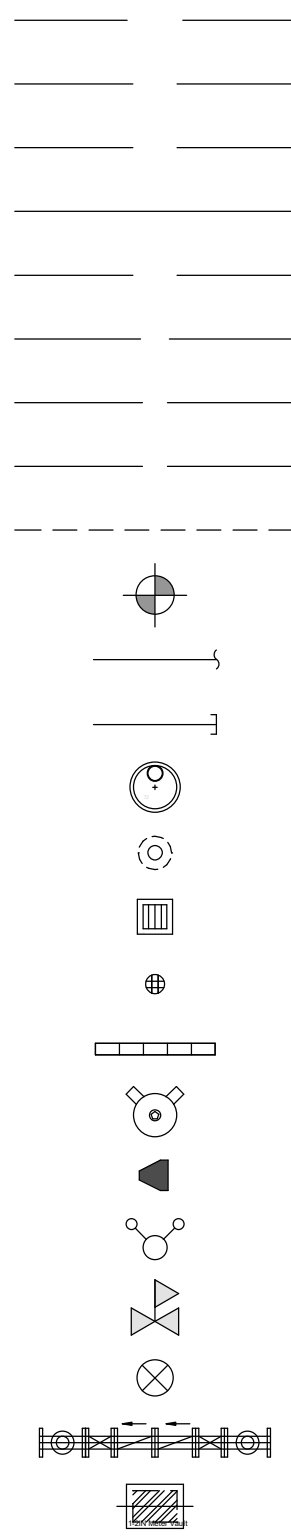
EROSION CONTROL



GRADING



UTILITY



ABBREVIATIONS:

AC	ASPHALTIC CONCRETE	PA	PLANTER AREA
BW	BACK OF WALK	POC	POINT OF CONNECTION
BLDG	BUILDING	PIV	POST INDICATOR VALVE
BM	BENCH MARK	PCC	PORTLAND CEMENT CONCRETE
BOS	BOTTOM OF STAIRS	PRV	PRESSURE REDUCING VALVE
BMP	BEST MANAGEMENT PRACTICES	PVC	POLYVINYL CHLORIDE
CB	CATCH BASIN	PWP	PASADENA WATER & POWER
CI	CAST IRON	PW	PUBLIC WORKS
CL	CENTER LINE	PPW	PASADENA PUBLIC WORKS
CMU	CONCRETE MASONRY UNIT	R	RADIUS
CO	CLEANOUT	RCIP	RECTANGULAR CAST IRON PIPE
CONC	CONCRETE	RD	ROOF DRAIN
CF	CURB FACE	RW	RIGHT-OF-WAY
DW	DOMESTIC WATER	(S)	SOUTH
(E)	EAST	S=	SLOPE EQUALS
EG	EDGE OF GUTTER	SD	STORM DRAIN
EL. OR ELEV	ELEVATION	SSMH	SANITARY SEWER MANHOLE
ELEC	ELECTRIC, ELECTRICAL	SS	SANITARY SEWER
EX. OR EXIST.	EXISTING	STD	STANDARD
FDC	FIRE DEPARTMENT CONNECTION	SDMH	STORM DRAIN MANHOLE
FF	FINISHED FLOOR	TC	TOP OF CURB
FG	FINISHED GRADE (LANDSCAPE)	TEL	TELEPHONE
FS	FINISHED SURFACE (HARDSCAPE)	TG	TOP OF GRATE
FH	FIRE HYDRANT	TOS	TOP OF STAIRS
FL	FLOW LINE	TW	TOP OF WALL
FT	FOOT OR FEET	TS	TRAFFIC SIGNAL
FU	FIXTURE UNITS	TSB	TRAFFIC SIGNAL BOX
GV	GATE VALVE	TYP	TYPICAL
FW	FIRE WATER	TV	TELEVISION
GPM	GALLONS PER MINUTE	VIF	VERIFY IN FIELD
HDPE	HIGH DENSITY POLYETHYLENE	VL	VAULT
HP	HIGH POINT	VCP	VITRIFIED CLAY PIPE
INV.	INVERT	(W)	WEST
LP	LOW POINT	W	WATER
MAX.	MAXIMUM	WM	WATER METER
MIN.	MINIMUM	WV	WATER VALVE

CIVIL SHEETS

SHEET NO.	SHEET NAME
C-0.1	CIVIL GENERAL NOTES
1	TOPOGRAPHIC SURVEY
C-2.0	SITE CONTROL PLAN
C-3.0	GRADING PLAN
C-4.0	UTILITY PLAN

ESTIMATED EARTHWORK QUANTITIES

ON-SITE EARTHWORK QUANTITIES (PAVING ONLY):

CUT: 3,360 CY
FILL: 2,520 CY
SITE AREA: 0.83 ACRES

NOTES:

- THE ESTIMATED QUANTITIES PROVIDED ABOVE ARE TO BE USED FOR JURISDICTIONAL PLAN CHECKING AND PERMITTING PURPOSES ONLY. THE CONTRACTOR SHALL NOT USE THE ABOVE QUANTITIES IN HIS BID. THE CONTRACTOR SHALL CALCULATE HIS OWN EARTHWORK QUANTITIES NECESSARY FOR HIS BID AND WORK.
- ESTIMATED EARTHWORK ABOVE IS BASED ON DESIGN FINISH GRADES TO EXISTING GRADES AND/OR CONTOURS AS PROVIDED ON THE BASE SURVEY. THE ESTIMATED EARTHWORK DOES NOT ACCOUNT FOR THE OVEREXCAVATION, RECOMPACTION REQUIREMENT, THICKNESS OF PAVEMENTS, FOUNDATIONS AND SLABS ON GRADE, FOOTINGS, CLEARING AND GRUBBING, AND CONSTRUCTION MEANS AND METHODS.
- THE ESTIMATED EARTHWORK QUANTITIES DO NOT INCLUDE SHRINKAGE AND/OR EXPANSION FACTORS DUE TO COMPACTION OR OVER EXCAVATION QUANTITIES.
- CONTRACTOR SHALL REFER TO GENERAL GEOTECHNICAL NOTES (C-0.1) AND THE SOIL'S REPORT FOR OVEREXCAVATION, RECOMPACTION, AND FILL REQUIREMENTS. CONTRACTOR SHALL CONSIDER THESE OVEREXCAVATION, RECOMPACTION, & FILL QUANTITIES IN HIS BID.
- EARTHWORK QUANTITIES DOES NOT INCLUDE BUILDING FOUNDATION & SLAB EXCAVATION AND OVEREXCAVATION.
- ESTIMATED EARTHWORK QUANTITIES ABOVE ASSUME THAT ALL ONSITE MATERIALS ARE SUITABLE FOR BACKFILLING. HOWEVER, ACTUAL EXISTING ONSITE MATERIALS AND IMPORTED MATERIALS MUST FIRST BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION, REMOVAL, OR REPLACEMENT.

NO.	REVISIONS	DATE

PROJECT: WEST PHILLILPS TOWNHOMES
ADDRESS: 1137 AND 1149 WEST PHILLIPS BLVD. POMONA, CA 91766
OWNER: KHURSHID KHAN
TRUSTEE OF THE WEST COAST OCEANSIDE TRUST

CONSULTANT



JOB NO:	
DATE:	
1ST REV:	
DRAWN:	
PLOTTED:	
SCALE:	AS SHOWN

CIVIL GENERAL NOTES

SHEET TITLE

SHEET NUMBER

C-0.1

FD 4 P.M.s ON M.H. RIM,
PER RS 68/4

SURVEYOR'S NOTES:

1. THIS MAP REPRESENTS A TOPOGRAPHIC SURVEY OF VISIBLE FIELD CONDITIONS AT THE TIME OF THIS SURVEY.
2. THE HORIZONTAL BASIS OF BEARING IS THE CENTERLINE OF PHILLIPS BOULEVARD BEING N 88°21'37" E AS SHOWN ON POMONA HEIGHTS ADDITION TRACT, M.R. 24, PAGES 97-98, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF THE LOS ANGELES COUNTY.
3. THE VERTICAL BASIS IS A LOS ANGELES COUNTY BENCHMARK FG5108 BEING A BRASS DISC IN W CB @ N END C.B. 39.4FT N/O BCR @ NW COR WHITE AVE & PHILLIPS BLVD MKD (YLF 107 1994)
ELEVATION = 805.410' (NAVD 1988 - 2005 ADJUSTMENT)
4. CONTOUR INTERVAL = 0.50'

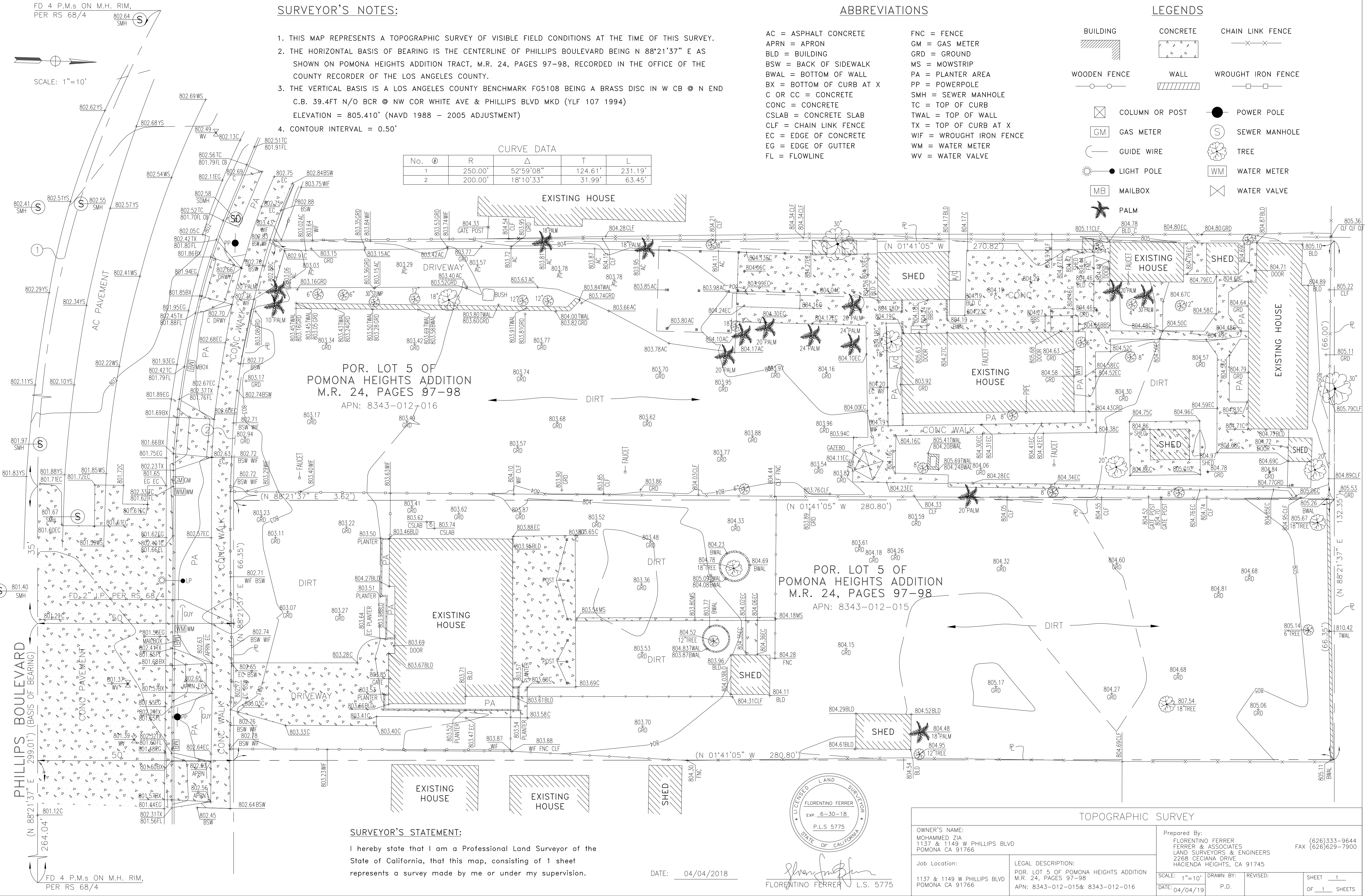
CURVE DATA				
No.	#	R	Δ	L
1		250.00'	52°59'08"	124.61'
2		200.00'	18°10'33"	31.99'

ABBREVIATIONS

AC = ASPHALT CONCRETE
APRN = APRON
BLD = BUILDING
BSW = BACK OF SIDEWALK
BWAL = BOTTOM OF WALL
BX = BOTTOM OF CURB AT X
C OR CC = CONCRETE
CONC = CONCRETE
CSLAB = CONCRETE SLAB
CLF = CHAIN LINK FENCE
EC = EDGE OF CONCRETE
EG = EDGE OF GUTTER
FL = FLOWLINE
FNC = FENCE
GM = GAS METER
GRD = GROUND
MS = MOWSTRIP
PA = PLANTER AREA
PP = POWERPOLE
SMH = SEWER MANHOLE
TC = TOP OF CURB
TWAL = TOP OF WALL
TX = TOP OF CURB AT X
WIF = WROUGHT IRON FENCE
WM = WATER METER
WV = WATER VALVE

LEGENDS

BUILDING
WOODEN FENCE
COLUMN OR POST
GAS METER
GUIDE WIRE
LIGHT POLE
MAILBOX
CONCRETE
WALL
COLUMN OR POST
POWER POLE
SEWER MANHOLE
TREE
WATER METER
WATER VALVE
CHAIN LINK FENCE
WROUGHT IRON FENCE



SURVEYOR'S STATEMENT:

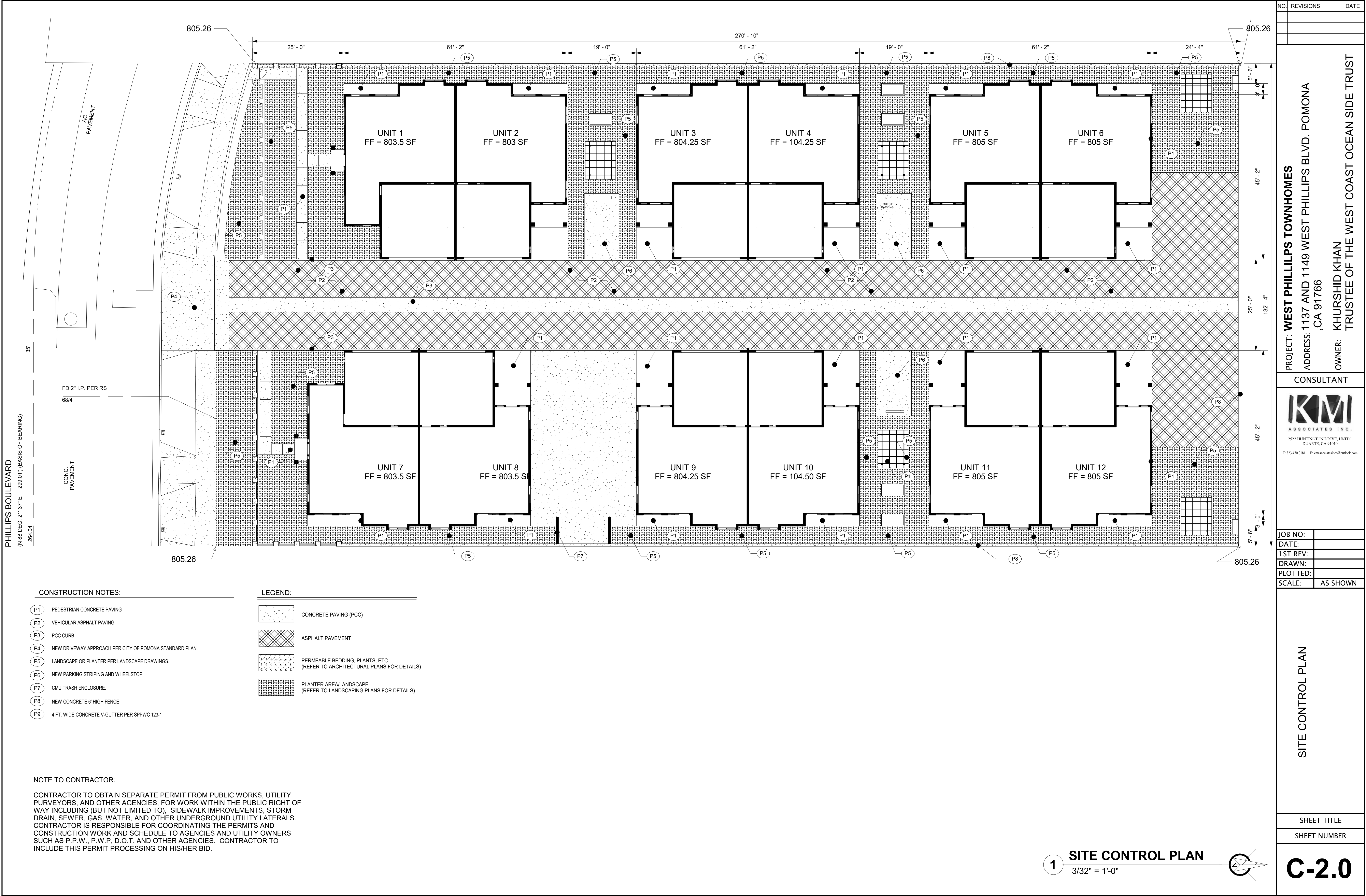
I hereby state that I am a Professional Land Surveyor of the State of California, that this map, consisting of 1 sheet represents a survey made by me or under my supervision.

DATE: 04/04/2018

FLORENTINO FERRER
EXP. 6-30-18
P.L.S 5775
STATE OF CALIFORNIA
FLORENTINO FERRER L.S. 5775

TOPOGRAPHIC SURVEY

OWNER'S NAME: MOHAMMED ZIA 1137 & 1149 W PHILLIPS BLVD POMONA CA 91766		Prepared By: FLORENTINO FERRER FERRER & ASSOCIATES LAND SURVEYORS & ENGINEERS 2268 CECIANA DRIVE HACIENDA HEIGHTS, CA 91745 (626)333-9644 FAX (626)629-7900	
Job Location: 1137 & 1149 W PHILLIPS BLVD POMONA CA 91766	LEGAL DESCRIPTION: POR. LOT 5 OF POMONA HEIGHTS ADDITION M.R. 24, PAGES 97-98 APN: 8343-012-015& 8343-012-016	SCALE: 1"=10' DATE: 04/04/19	DRAWN BY: P.D. REVISED: SHEET 1 OF 1 SHEETS



PHILLIPS BOULEVARD

(N 88 DEG 21' 37" E 299.01') (BASIS OF BEARING)

284.04'

35'

CONC.
PAVEMENT

FD 2" I.P. PER RS
68/4

AC
PAVEMENT

805.26

805.26

805.26

805.26

GRADING NOTES:

- STREETS SHALL BE SWEEP AS FREQUENTLY AS DETERMINED BY THE ENGINEER OF THE CITY OF POMONA TO KEEP PAVED AREAS ACCEPTABLY CLEAN DURING GRADING AND HAULING OPERATIONS. A STREET SWEEPER SHALL BE A DOUBLE-GUTTER BROOM, SELF-LOADING MOTOR SWEEPER WITH SPRAY NOZZLES. ANY SPILLAGE ON HAUL ROUTES SHALL BE REMOVED IMMEDIATELY AND THE AREA CLEANED.
- DRAINAGE SHALL NOT BE BLOCKED IN THE STREET.
- THE GRADING CONTRACTOR SHALL INSTALL SAND MAINTAIN COMPACTED UNTREATED BASE MATERIAL FOR A MINIMUM DISTANCE OF 75 FEET FROM THE CURB FACE AN INGRESS AND EGRESS PRIOR TO ON-SITE PAVING. THE THICKNESS OF UNTREATED BASE SHALL BE A MINIMUM OF 6 INCHES.
- CURB SHALL BE CUT WHERE FUTURE DRIVEWAY(S) ARE TO BE INSTALLED. ONLY THE CURB CUT AREA SHALL BE USED FOR INGRESS AND EGRESS. ACCESS TO THE SITE OVER CURBS IS PROHIBITED.
- THE GRADING CONTRACTOR SHALL BE REQUIRED TO PROVIDE FLAG PERSONS WITH RED VESTS, HARD HATS, AND SIGNS APPROVED BY THE CITY ENGINEER AT ANY TIME THE ENGINEER DETERMINES THAT FLAG PERSONS ARE NECESSARY FOR TRAFFIC CONTROL DUE TO CONTRACTOR'S OPERATIONS.
- THE CONTRACTOR SHALL IMPLEMENT STORM WATER AND URBAN RUNOFF POLLUTION PREVENTION CONTROLS, AND BEST MANAGEMENT PRACTICES (BMP'S) ON CONSTRUCTION SITES IN ACCORDANCE WITH CHAPTER 52, STORM WATER RUNOFF, OF THE CITY CODE. THE CONTRACTOR IS REQUIRED TO FILE A NOTICE OF INTENT WITH THE REGIONAL WATER QUALITY CONTROL BOARD AND PREPARE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AS SPECIFIED IN THE STATE OF CALIFORNIA GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH NPDES MANDATE TO PROTECT RECEIVING WATERS AND STORM DRAINS FROM CONSTRUCTION ACTIVITY RELATED EROSION AND POLLUTION.
- THE SUPERVISING GRADING ENGINEER SHALL INSPECT AND CERTIFY THE CONSTRUCTION OF ON-SITE STORM DRAIN AND DRAINAGE FACILITIES, AND SUBMIT A STATEMENT THAT THE COMPLETED WORK IS IN CONFORMANCE WITH THIS APPROVED PLAN PRIOR TO BUILDING OCCUPANCY.
- ALL CATCH BASINS AND STORM DRAIN INLET FACILITIES SHALL BE STAMPED WITH THE MESSAGE "NO DUMPING, DRAINS TO OCEAN." CONTRACTOR SHALL SUBMIT/PROPOSE STAMPING OPTIONS FOR APPROVAL PRIOR TO INSTALLING PERMANENT MESSAGE. SUGGEST STAMPING MESSAGE DIRECTLY INTO A CONCRETE SURFACE, "HOT TAPE," SIGNS, OR OTHER APPROVED METHOD FOR STORM WATER POLLUTION PREVENTION PER CHAPTER 52 OF THE CITY CODE (ORDINANCE 851).

- OWNER/DEVELOPER SHALL SUBMIT FOR APPROVAL A 24" X 36" RECORD DRAWING OR "AS-BUILT" TO THE CITY ENGINEER SHOWING PLAN AND PROFILE OF ON-SITE STORM DRAIN SYSTEM (NPDES REQUIREMENT). THIS PLAN SHALL BE PREPARED BY A REGISTERED CIVIL ENGINEER, AND BE REVIEWED AN APPROVED BY THE CITY ENGINEER PRIOR TO BUILDING OCCUPANCY.
- ON-SITE DRAINAGE SYSTEMS SHALL BE PRIVATELY MAINTAINED. OWNER/DEVELOPER SHALL SUBMIT TO THE CITY ENGINEER DRAINAGE COVENANTS, PRIVATE EASEMENT DOCUMENTS OR RECIPROCAL DRAINAGE PROVISIONS IN CC&R'S FOR CROSS-LOT DRAINAGE FLOWS TO BE RECORDED IN THE OFFICE OF THE COUNTY RECORDER.
- OWNER WILL INCORPORATE THE FOLLOWING INDEMNIFICATION CLAUSE IN THE CC&R'S AND/OR OTHER DOCUMENTS TO BE RECORDED IN CONJUNCTION WITH THIS PROJECT IF PONDING AREAS ARE IDENTIFIED ON THE GRADING PLANS:
- THE CITY RECOMMENDS THE PLACEMENT OF FLOODING/PONDING WARNING SIGNS AT DRIVEWAY ENTRANCES AND OTHER PROMINENT LOCATIONS, AND NOTICES POSTED ON BULLETIN BOARDS TO ADVISE EMPLOYEES AND VISITORS OF POTENTIAL FLOODING/PONDING DURING THE RAIN STORMS.
- IT IS THE RESPONSIBILITY OF THE DEVELOPER TO PROPOSE AND IMPLEMENT MITIGATION MEASURES AND PROVIDE COMPLIANCE CERTIFICATION PRIOR TO ISSUANCE OF BUILDING PERMITS.
- FUGITIVE DUST, REASONABLE AVAILABLE CONTROL MEASURES (AQMD RULE 403) - THE GRADING CONTRACTOR SHALL IMPLEMENT CONTROL AND HIGH WIND MEASURES TO MITIGATE THE SOURCES OF FUGITIVE DUST UNDER AQMD RULE 403. A LIST OF REASONABLE AVAILABLE FUGITIVE DUST CONTROL MEASURES CAN BE OBTAINED FROM PUBLIC WORKS DEPARTMENT.
- ALL REQUIREMENTS OF THE PUBLIC WORKS DEPARTMENT SHALL BE MET PRIOR TO BUILDING OCCUPANCY.
- THE PROJECT SHALL CONFORM TO ORDINANCE 915, WHICH AMENDS CHAPTER 52 "STORMWATER/URBAN RUNOFF" OF THE CITY CODE AND IMPLEMENTS THE REQUIREMENTS OF THE APPROVED STANDARD URBAN STORM WATER MITIGATION PLAN ("SUSMP"). THE SUSMP INCLUDES A REQUIREMENT TO IMPLEMENT POST CONSTRUCTION BMP'S TO MITIGATE (INFILTRATE OR TREAT) THE FIRST 3/4" OF RUNOFF FROM ALL STORM EVENTS AND TO CONTROL PEAK FLOW DISCHARGES.
- NO ROUGH GRADING PLAN IS PROVIDED. CONTRACTOR SHALL PROVIDE HIS OWN ROUGH GRADING PLAN AS NEEDED FOR HIS MEANS AND METHODS OF CONSTRUCTION.

- THE ESTIMATED QUANTITIES PROVIDED ABOVE ARE TO BE USED FOR JURISDICTIONAL PLAN CHECKING AND PERMITTING PURPOSES ONLY. THE CONTRACTOR SHALL NOT USE THE ABOVE QUANTITIES IN HIS BID. THE CONTRACTOR SHALL CALCULATE HIS OWN EARTHWORK QUANTITIES NECESSARY FOR HIS BID AND WORK.
- ESTIMATED EARTHWORK ABOVE IS BASED ON DESIGN FINISH GRADES TO EXISTING GRADES AND/OR CONTOURS AS PROVIDED ON THE BASE SURVEY. THE ESTIMATED EARTHWORK DOES NOT ACCOUNT FOR THE OVEREXCAVATION, RECOMPACTION REQUIREMENT, THICKNESS OF PAVEMENTS, FOUNDATIONS AND SLABS ON GRADE, FOOTINGS, CLEARING AND GRUBBING, AND CONSTRUCTION MEANS AND METHODS.
- THE ESTIMATED EARTHWORK QUANTITIES DO NOT INCLUDE SHRINKAGE AND/OR EXPANSION FACTORS DUE TO COMPACTION OR OVER EXCAVATION QUANTITIES.
- CONTRACTOR SHALL REFER TO GENERAL GEOTECHNICAL NOTES (C-0.1) AND THE SOIL'S REPORT FOR OVEREXCAVATION, RECOMPACTION, AND FILL REQUIREMENTS. CONTRACTOR SHALL CONSIDER THESE OVEREXCAVATION, RECOMPACTION, & FILL QUANTITIES IN HIS BID.
- ESTIMATED EARTHWORK QUANTITIES ABOVE ASSUME THAT ALL ONSITE MATERIALS ARE SUITABLE FOR BACKFILLING. HOWEVER, ACTUAL EXISTING ONSITE MATERIALS AND IMPORTED MATERIALS MUST FIRST BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION, REMOVAL, OR REPLACEMENT.

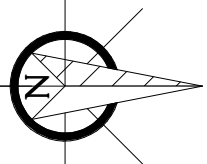
NOTE:
TEMPORARY NOISE BARRIERS AND / OR BLANKETS WITH A MINIMUM HEIGHT OF 8'-0" SHALL BE CONSTRUCTED ALONG THE ENTIRE NORTHERN, WESTERN, AND EASTERN PROJECT SITE. PLEASE REFER TO NOISE AND BBI

NO.	REVISIONS	DATE
PROJECT: WEST PHILLILPS TOWNHOMES ADDRESS: 1137 AND 1149 WEST PHILLIPS BLVD. POMONA, CA 91766 OWNER: KHURSHID KHAN TRUSTEE OF THE WEST COAST OCEAN SIDE TRUST		
CONSULTANT		
<div><div>KMI</div><div>ASSOCIATES INC.</div><div>2522 HUNTINGTON DRIVE, UNIT C DUARTE, CA 91010</div><div>T: 323.470.0181 E: kmiassociatesinc@outlook.com</div></div>		
JOB NO:		
DATE:		
1ST REV:		
DRAWN:		
PLOTTED:		
SCALE:	AS SHOWN	

GRADING PLAN

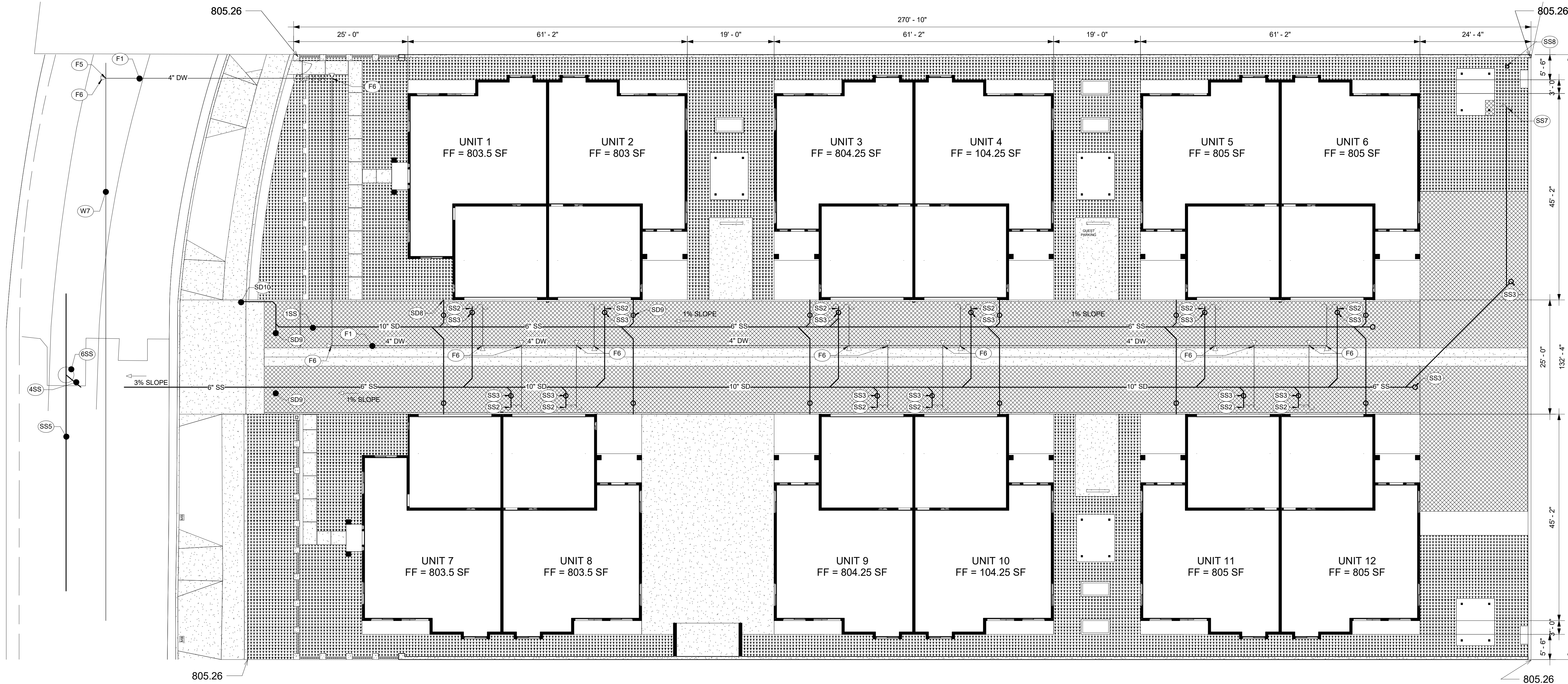
SHEET TITLE
SHEET NUMBER

1 GRADING PLAN
3/32" = 1'-0"



C-3.0

PHILLIPS BOULEVARD



UTILITY CONSTRUCTION NOTES:

- SANITARY SEWER**
- SS1 VCP OR CAST IRON SANITARY SEWER PIPE. SIZE AND SLOPE PER PLAN.
 - SS2 POINT OF CONNECTION 5 FEET FROM BUILDING FACE. SEE PLUMBING DRAWINGS FOR CONTINUATION.
 - SS3 SEWER CLEANOUT PER SPPWC.
 - SS4 CONNECT TO MAIN SEWER LINE. CONTRACTOR TO COORDINATE WITH CITY OF PUBLIC WORKS FOR CONNECTION APPLICATION AND PERMIT PROCESS.
 - SS5 EXISTING CITY SEWER MAIN LINE.
 - SS6 EXISTING SEWER MANHOLE.
 - SS7 POINT OF CONNECTION TO TRASH ENCLOSURE DRAIN.
 - SS8 FOX DUAL DRAIN

NOTE: NO INTRUSIVE INVESTIGATION MADE DURING DESIGN, CONTRACTOR TO FIELD VERIFY ALL INVERT ELEVATIONS OF EXISTING PIPES WHERE TIE-IN IS REQUIRED, PRIOR TO CONSTRUCTION. 2% MINIMUM SLOPE; AND 36" COVER WHERE ABLE, 30" ABSOLUTE MINIMUM. WHERE 2% SLOPE CANNOT BE MET, UPSIZE PIPE TO 6" DIAMETER (1% ABSOLUTE MINIMUM SLOPE).

- DOMESTIC WATER**
- W1 PVC C-900 DOMESTIC WATER LINE. SEE PLAN FOR SIZES.
 - W2 POINT OF CONNECTION TO PLUMBING. SEE PLUMBING DRAWINGS FOR CONTINUATION.
 - W3 REDUCED PRESSURE BACKFLOW ASSEMBLY
 - W4 WATER METER & VAULT. CONTRACTOR TO COORDINATE WITH P.W.P. SERVICE PLANNER FOR INSTALLATION.
 - W5 CONNECT TO EXISTING WATER MAIN. CONTRACTOR TO COORDINATE WITH P.W.P. OR LOCAL PROVIDER FOR PERMITS AND CONNECTION APPLICATION PROCESS.
 - W6 THRUST BLOCK PER SSPWC 508-3.
 - W7 EXISTING WATER MAIN LINE.

- FIRE WATER**
- F1 PVC C-900 FIRE WATER LINE. 4" DIAMETER OR MATCH THE SIZE OF PIPE PER FIRE WATER CONSULTANT'S DESIGN, WHICHEVER IS LARGER.
 - F2 POINT OF CONNECTION 5 FEET FROM BUILDING FACE. SEE FIRE WATER CONSULTANT'S DRAWING FOR CONTINUATION.
 - F3 BACKFLOW PREVENTION DEVICE
 - F4 WATER METER VAULT. INSTALLATION BY [LOCAL WATER PROVIDER. CONTRACTOR]. SHOWN FOR COORDINATION PURPOSES ONLY. CONTRACTOR TO COORDINATE FIRE WATER SERVICE CONNECTION WITH LOCAL PROVIDER. NOTE, IF DCDA WILL BE USED, A SEPARATE METER MAY NOT BE NEEDED. COORDINATE WITH P.W.P.-WATER.
 - F5 CONNECT TO EXISTING WATER MAIN. CONTRACTOR TO COORDINATE WITH P.W.P. OR LOCAL PROVIDER FOR PERMITS AND CONNECTION APPLICATION PROCESS.
 - F6 THRUST BLOCK PER SSPWC 508-3.

- STORM DRAIN**
- SD1 PVC, SCHEDULE 40 STORM DRAIN PIPE. SIZE AND SLOPE PER PLAN.
 - SD2 PIPE DRAIN UNDER THE CURB.
 - SD3 BUBBLER CATCH BASIN (WITH STRAINER)
 - SD4 48" LONG x 7' WIDE x 4' DEEP PERMEABLE BEDDING (2' COVER)
 - SD5 6" Ø PVC PERFORATED PIPE.
 - SD6 3" OBSERVATION/MONITORING WELL.
 - SD7 STORM DRAIN FORCE MAIN.
 - SD8 DOWNSPOUT, SEE PLUMBING DRAWINGS FOR DETAIL.
 - SD9 CLEAN OUT PER SPPWC
 - SD10 CATCH BASIN WITH STRAINER
 - SD11 CONTECH CDS 5640 UNIT OR APPROVED EZUAL

NOTE TO CONTRACTOR:
CONTRACTOR TO OBTAIN SEPARATE PERMIT FROM PUBLIC WORKS, UTILITY PURVEYORS, AND OTHER AGENCIES, FOR WORK WITHIN THE PUBLIC RIGHT OF WAY INCLUDING (BUT NOT LIMITED TO), SIDEWALK IMPROVEMENTS, STORM DRAIN, SEWER, GAS, WATER, AND OTHER UNDERGROUND UTILITY LATERALS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE PERMITS AND CONSTRUCTION WORK AND SCHEDULE TO AGENCIES AND UTILITY OWNERS SUCH AS P.W.P., P.W.P. D.O.T. AND OTHER AGENCIES. CONTRACTOR TO INCLUDE THIS PERMIT PROCESSING ON HIS/HER BID.

1 SITE UTILITY
3/32" = 1'-0"

NO.	REVISIONS	DATE

PROJECT: **WEST PHILLIPS TOWNHOMES**
ADDRESS: 1137 AND 1149 WEST PHILLIPS BLVD. POMONA, CA 91766
OWNER: KHURSHID KHAN
TRUSTEE OF THE WEST COAST OCEAN SIDE TRUST

CONSULTANT

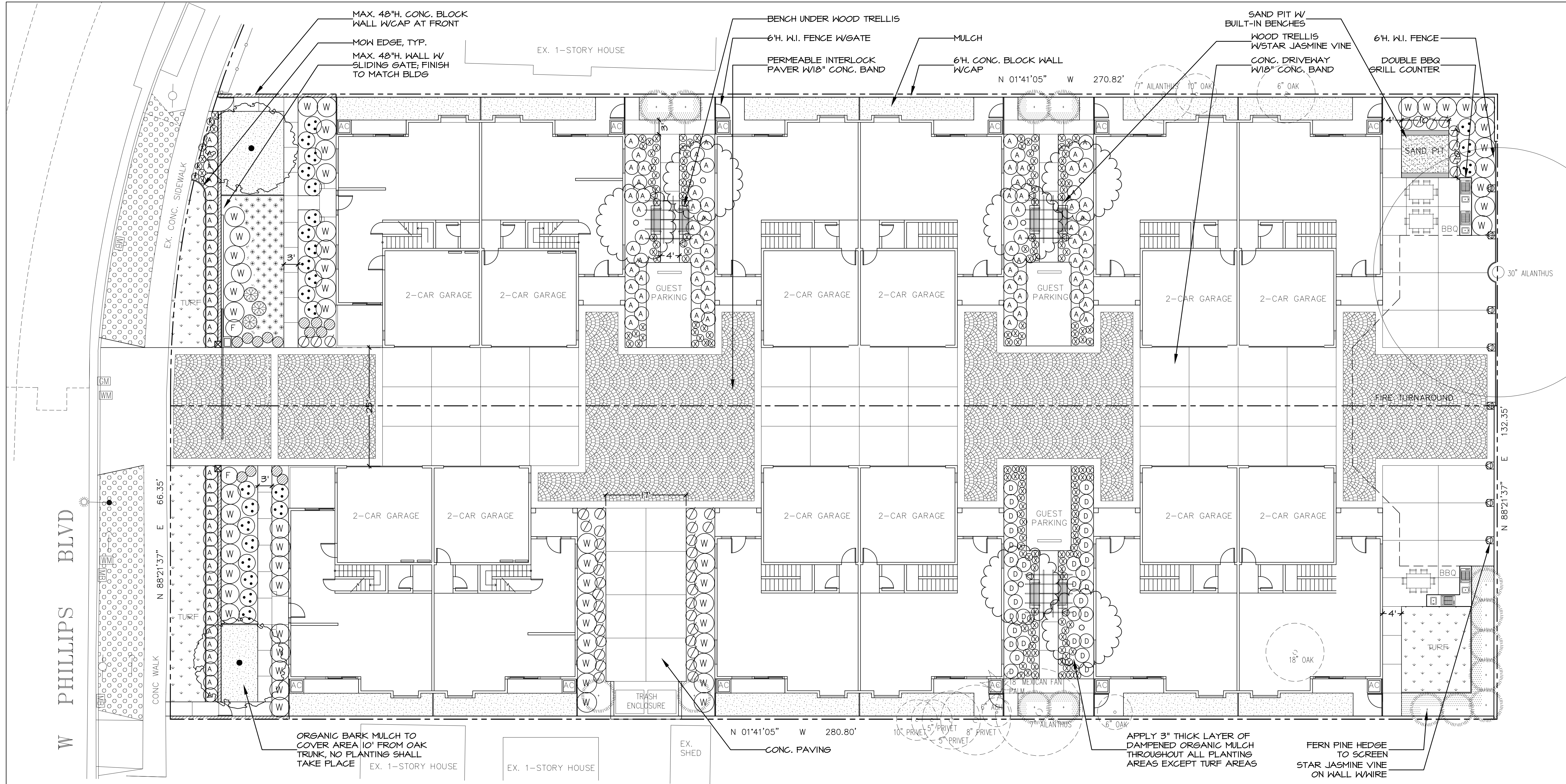
KMI
ASSOCIATES INC.
2522 HUNTINGTON DRIVE, UNIT C
DUARTE, CA 91010
T: 323.470.0181 E: kmiassociatesinc@outlook.com

JOB NO:	
DATE:	
1ST REV:	
DRAWN:	
PLOTTED:	
SCALE:	AS SHOWN

UTILITY PLAN

SHEET TITLE
SHEET NUMBER

C-4.0



PLANTING LEGEND

TREES

- EX. TREE TO REMAIN
- EX. TREES TO BE REMOVED
(TOTAL 11 TREES TO BE REMOVED
INCLUDING 4 COAST LIVE OAK)
- 02 | QUERCUS AGRIFOLIA
36" BOX | COAST LIVE OAK (L)(T)
- 08 | CERCIS CANADENSIS 'FOREST PANSY'
24" BOX | FOREST PANSY EASTERN REDBUD (M)(T)
- 15 | PODOCARPUS GRACILIOR
24" BOX | FERN PINE (M)(T)

SHRUBS PALETTE

- W | RHAMNUS CALIFORNICA 'EVE CASE'
15 GAL. | EVE CASE COFFEEBERRY (L)(S)
- 5 GAL. | LAVANDULA ANGUSTIFOLIA
ENGLISH LAVENDER (L)(S)
- F | PENNISETUM SETACEUM 'RUBRUM'
5 GAL. | RED FOUNTAIN GRASS (L)(G)
- 5 GAL. | AGAVE DESMETTIANA 'VARIEGATA'
SMOOTH AGAVE (L)(P)
- 5 GAL. | SALVIA GREGGII 'FURMAN'S RED'
RED AUTUMN SAGE (L)(S)
- A | AGAPANTHUS 'STORM CLOUD'
5 GAL. | LARGE DARK BLUE LILY OF THE NILE (M)(P)
- D | DIETES BICOLOR
5 GAL. | FORNIGHT LILY (M)(S)
- 5 GAL. | LAVANDULA ANGUSTIFOLIA
ENGLISH LAVENDER (L)(S)
- 1 GAL. | TRACHELOSPERMUM JASMINOIDES
STAR JASMINE (M)(V)
- 4" POT | IMPATIENS WALLERIANA 'MIXED COLORS'
MIXED COLORS IMPATIENS (M)(Gc)
- 1 GAL. | SENECIO SERPENS
BLUE CHALKSTICKS (L)(Gc)

GROUNDCOVERS

- 878 S.F. | ST. AUGUSTINE GRASS
SOD | WARM SEASON TURF (WST)
- 219 S.F. | VINCA MINOR
1 GAL. | DWARF PERIWINKLE (M)(Gc) - AT 18" O.C.
- 200 S.F. | LANTANA SPREADING HYBRID 'YELLOW'
1 GAL. | YELLOW SPREADING LANTANA (L)(Gc) - AT 30" O.C.
- 912 S.F. | MYOPORUM PARVIFOLIUM 'PUTAH CREEK'
1 GAL. | PUTAH CREEK MYOPORUM (L)(Gc) - AT 30" O.C.
- 3" MIN. OF ORGANIC BARK MULCH

W.U.C.O.L.S REGION 4 PLANT FACTOR: (L)-LOW,
(M)- MODERATE, (H)- HIGH, (T)- TREE, (S)-
SHRUB, (Gc)- GROUND COVER, (P)- PERENNIAL,
(V)- VINE

LOT COVERAGE SUMMARY

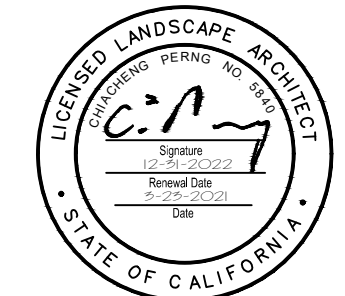
TOTAL LANDSCAPED AREA: 8,124 SF.

878 SF. OF WST WATER USE ON LAWN (10.8%)
2,347 SF. OF MEDIUM WATER USE PLANTS (28.9%)
3,093 SF. OF LOW WATER USE PLANTS (38.1%)
1,806 SF. OF NO WATER USE ON GRAVEL (22.2%)

LANDSCAPE COVERAGE: (21.98%) > 20%

THE LANDSCAPE PLAN WILL COMPLY WITH
THE WATER EFFICIENT LANDSCAPE
ORDINANCE.

TWO TREES
DESIGN, INC.
LANDSCAPE ARCHITECTURAL DESIGN SERVICES
CALIFORNIA REG. NO. 40544
10000 S. JENSEN RD., SUITE 100, WEST COVINA, CA 91790
626-278-2786
info@twotreesdesign.com
www.twotreesdesign.com



LANDSCAPE
PLANTING PLAN

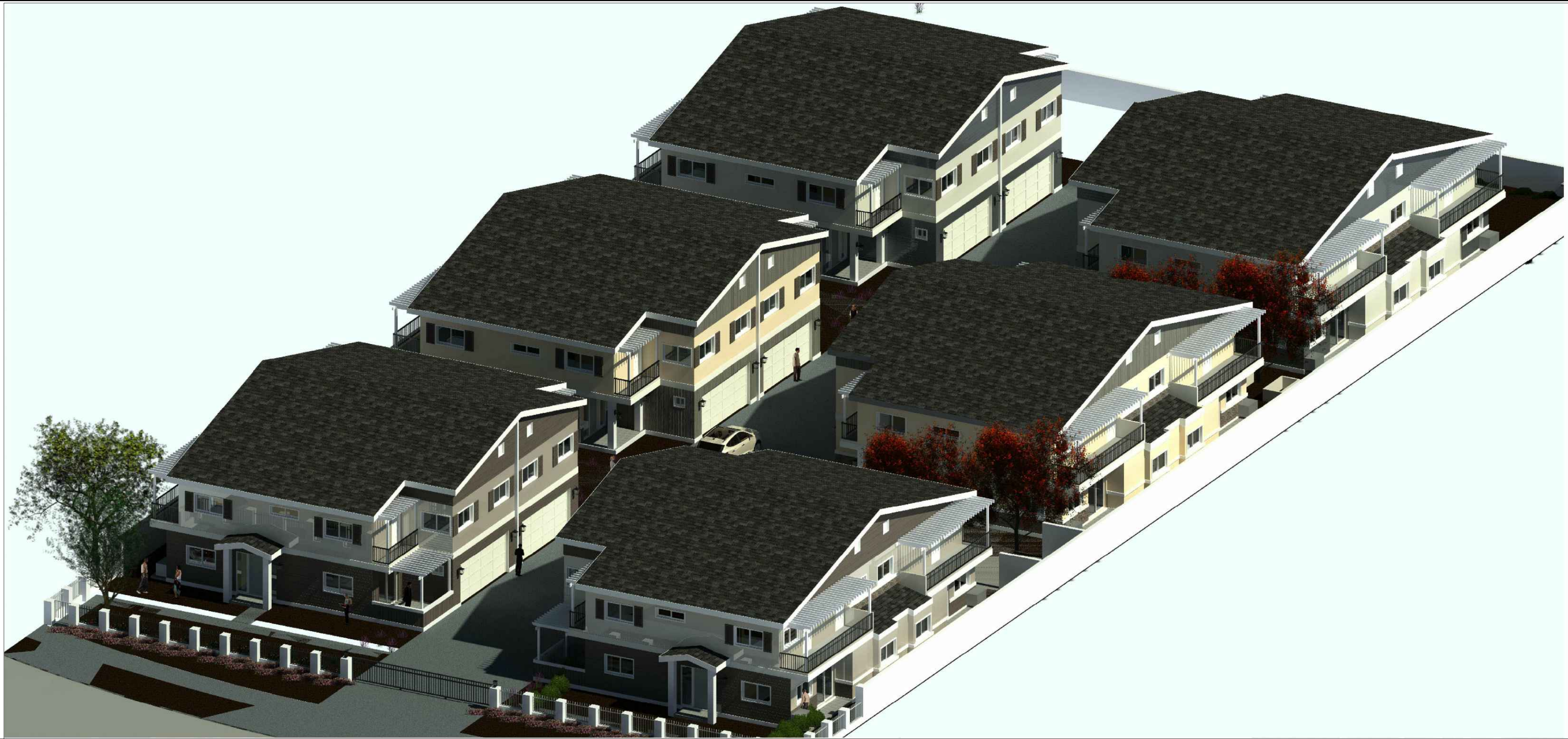
12 UNITS TOWNHOMES

1137 AND 1149 W PHILLIPS BLVD.
POMONA, CA. 91766

DATE	REVISIONS

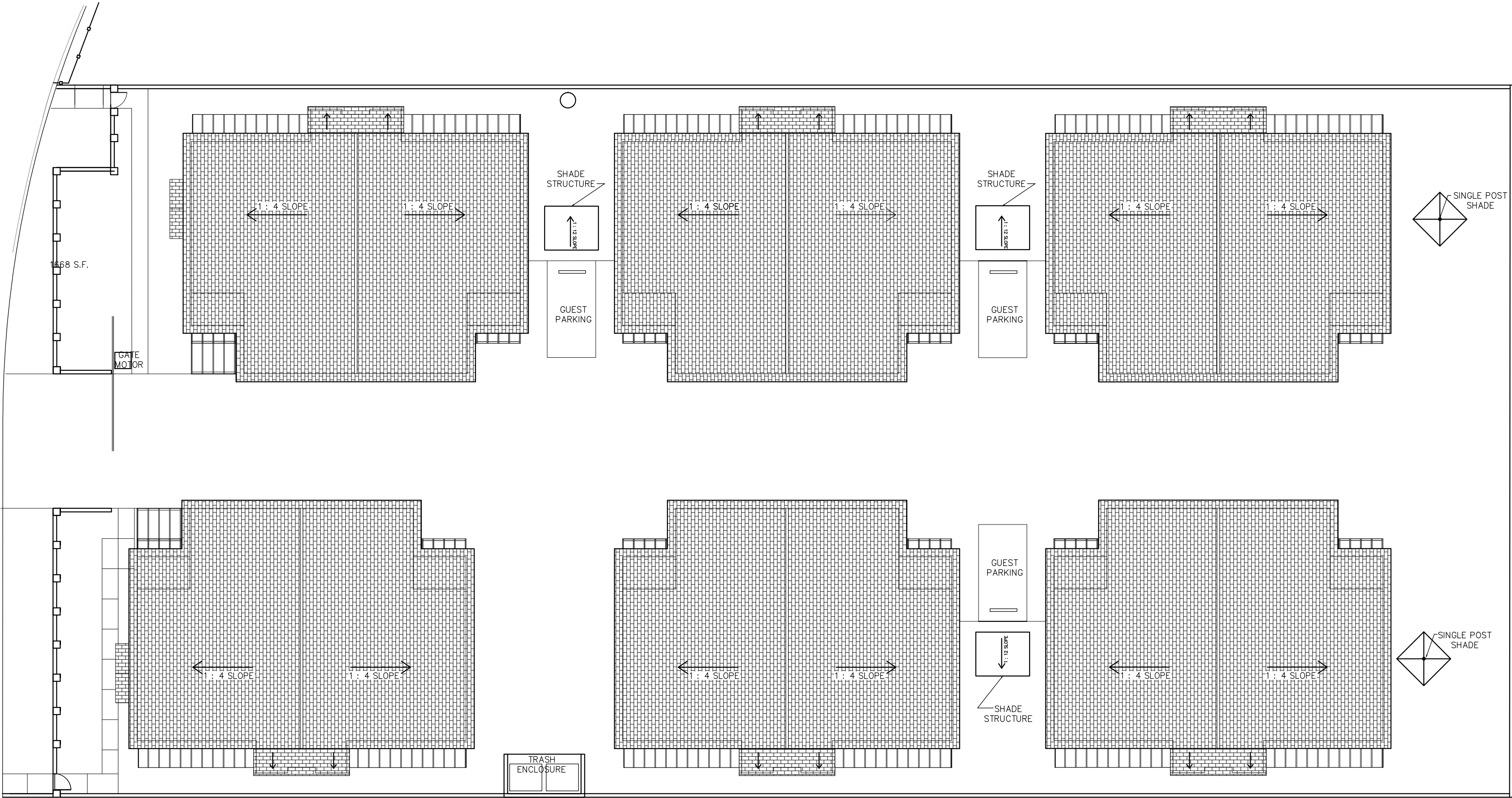
SCALE	3/32"=1'-0"
DATE	03-23-2021
PROJECT NO.	P2008
DRAWN BY	CP
CHECKED BY	

SHEET NO.
L-1
OF 1 SHEET



BIRD'S EYE VIEW PERSPECTIVE

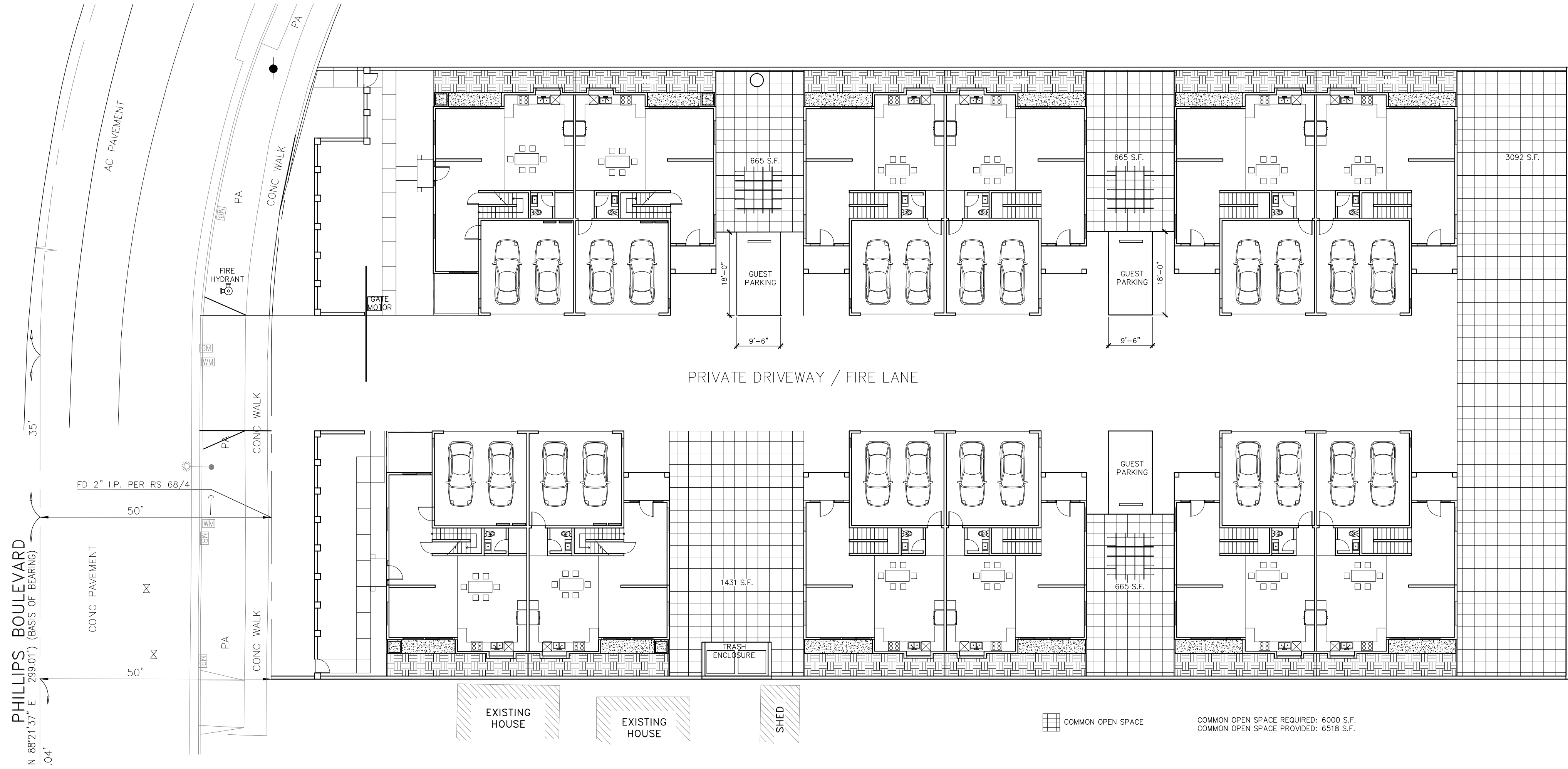
NO.	REVISION DATE
PROJECT	THE COLLECTION AT MOUNTAIN CREST HILLS 1137 AND 1149 WEST PHILLIPS BLVD. POMONA, CA 91766
OWNER	TRUSTEE OF THE WEST COAST OCEANSIDE TRUST 16392 E. EDNA PLACE COVINA, CA 91722
CONSULTANT	



JOB NO	
DATE	07-29-2021
1ST REV	
DRAWN	H/MS
PLOTTED	
SCALE	AS SHOWN

SITE ROOF PLAN AND BIRD'S EYE VIEW PERSPECTIVE

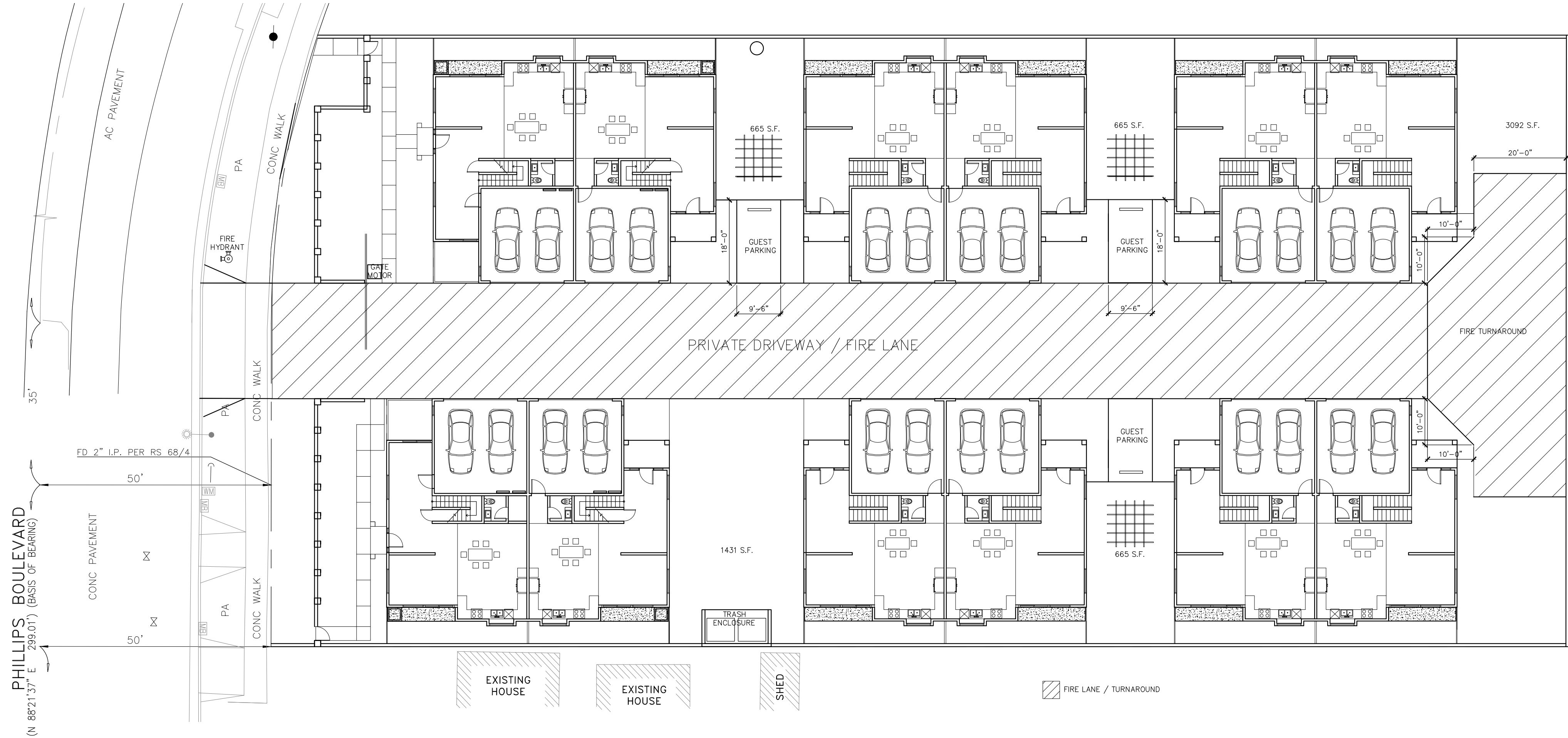
SITE ROOF PLAN



OPEN SPACE DIAGRAM

SCALE 1/16" = 1'-0"

1



FIRE LANE DIAGRAM

SCALE 1/16" = 1'-0"

2

NO.	REVISION DATE
PROJECT	THE COLLECTION AT MOUNTAIN CREST HILLS 1137 AND 1149 WEST PHILLIPS BLVD. POMONA, CA 91766
OWNER	TRUSTEE OF THE WEST COAST OCEANSIDE TRUST 16392 E. EDNA PLACE COVINA, CA 91722

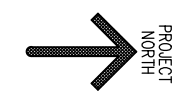
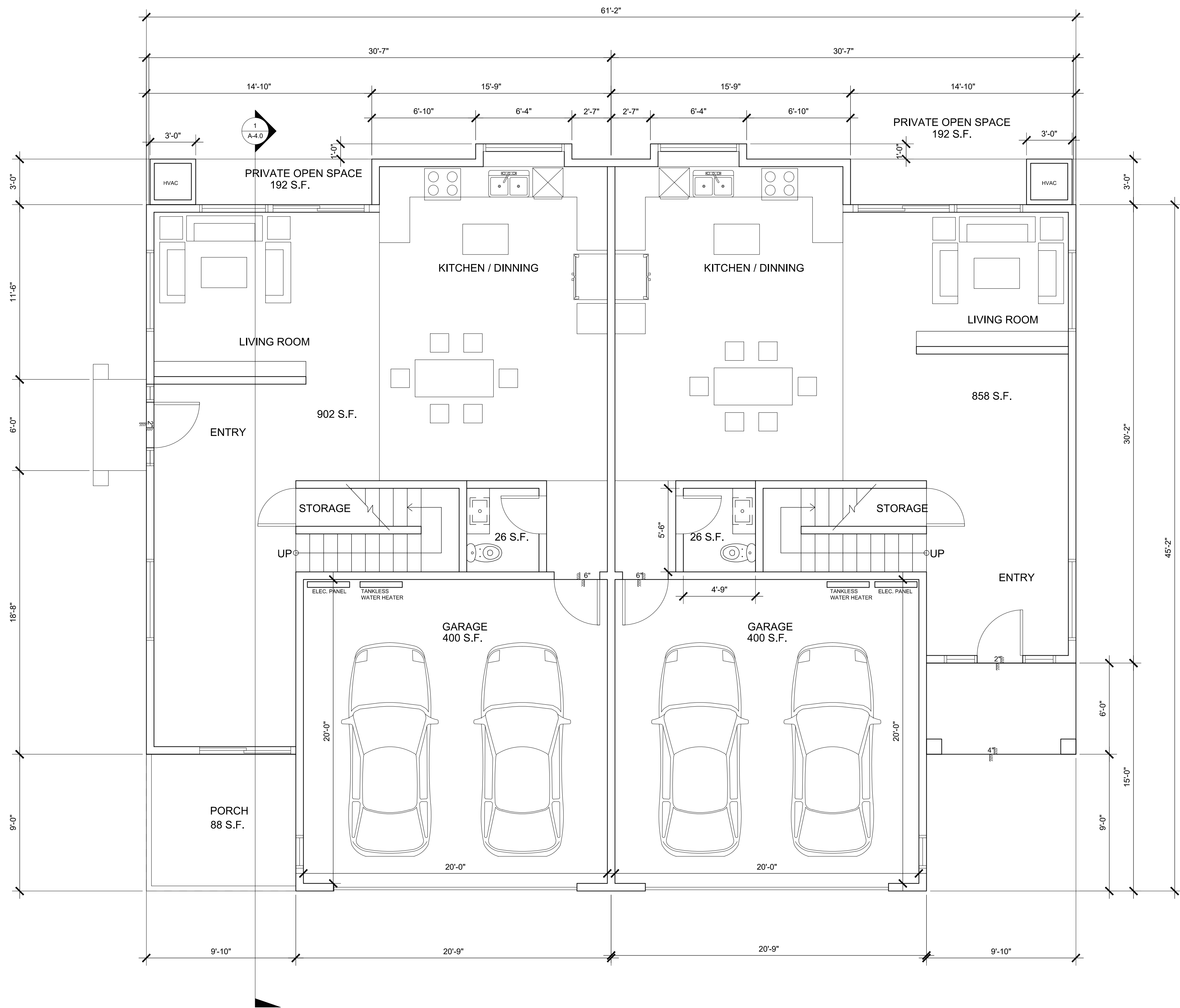
CONSULTANT

JOB NO	
DATE	07-29-2021
1ST REV	
DRAWN	H/M/S
PLOTTED	
SCALE	AS SHOWN

OPEN SPACE AND FIRE LANE
DIAGRAM

A

1.3



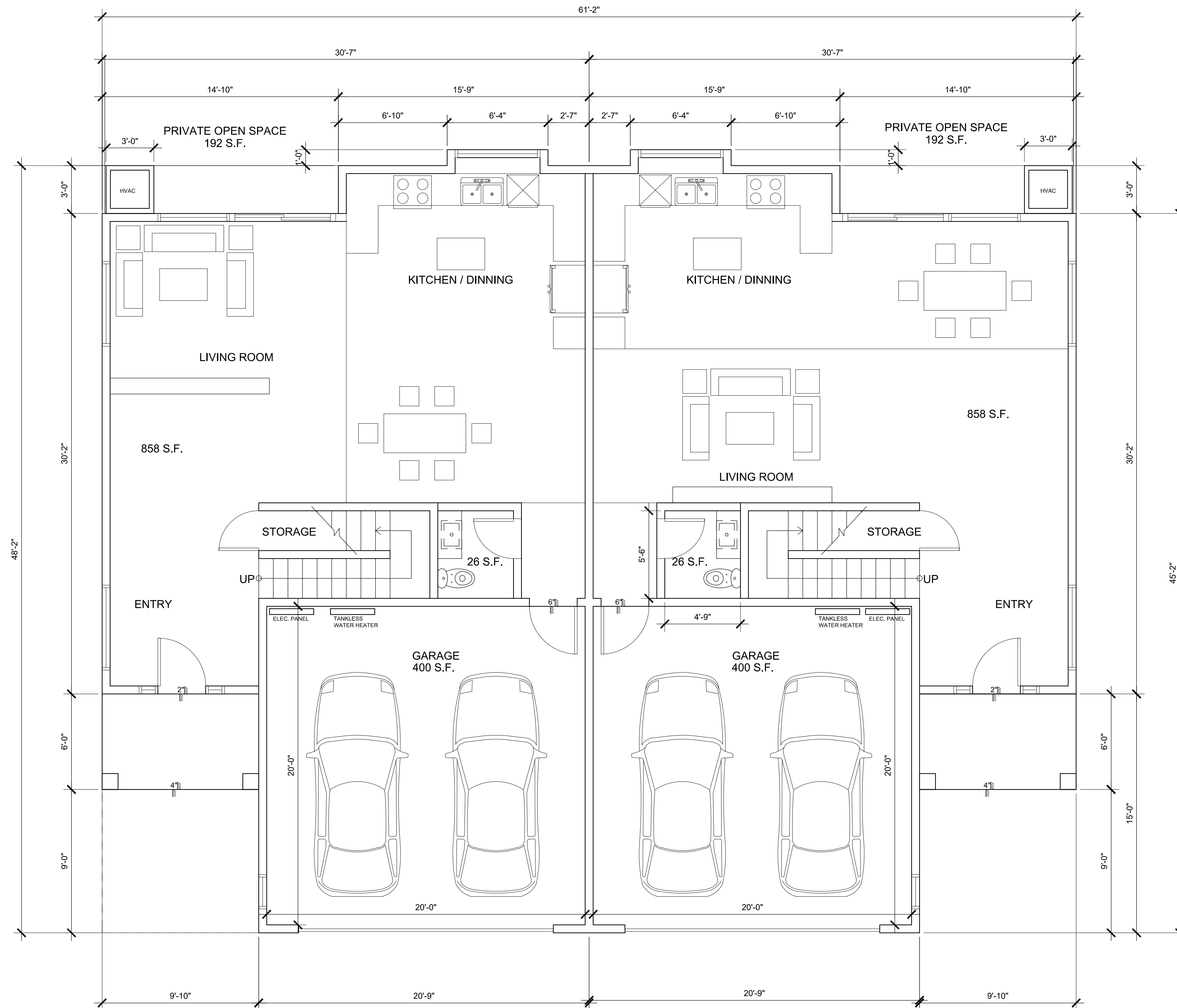
NEW UNIT 1 AND 2 FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"

NO.	REVISION DATE
PROJECT THE COLLECTION AT MOUNTAIN CREST HILLS 1137 AND 1149 WEST PHILLIPS BLVD. POMONA , CA 91766	
OWNER TRUSTEE OF THE WEST COAST OCEANSIDE TRUST 16392 E. EDNA PLACE COVINA, CA 91722	
CONSULTANT	
JOB NO	
DATE	07-29-2021
1ST REV	
DRAWN	H/MS
PLOTTED	
SCALE	AS SHOWN

NEW FIRST FLOOR PLAN

A
2.0

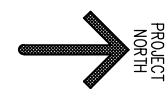
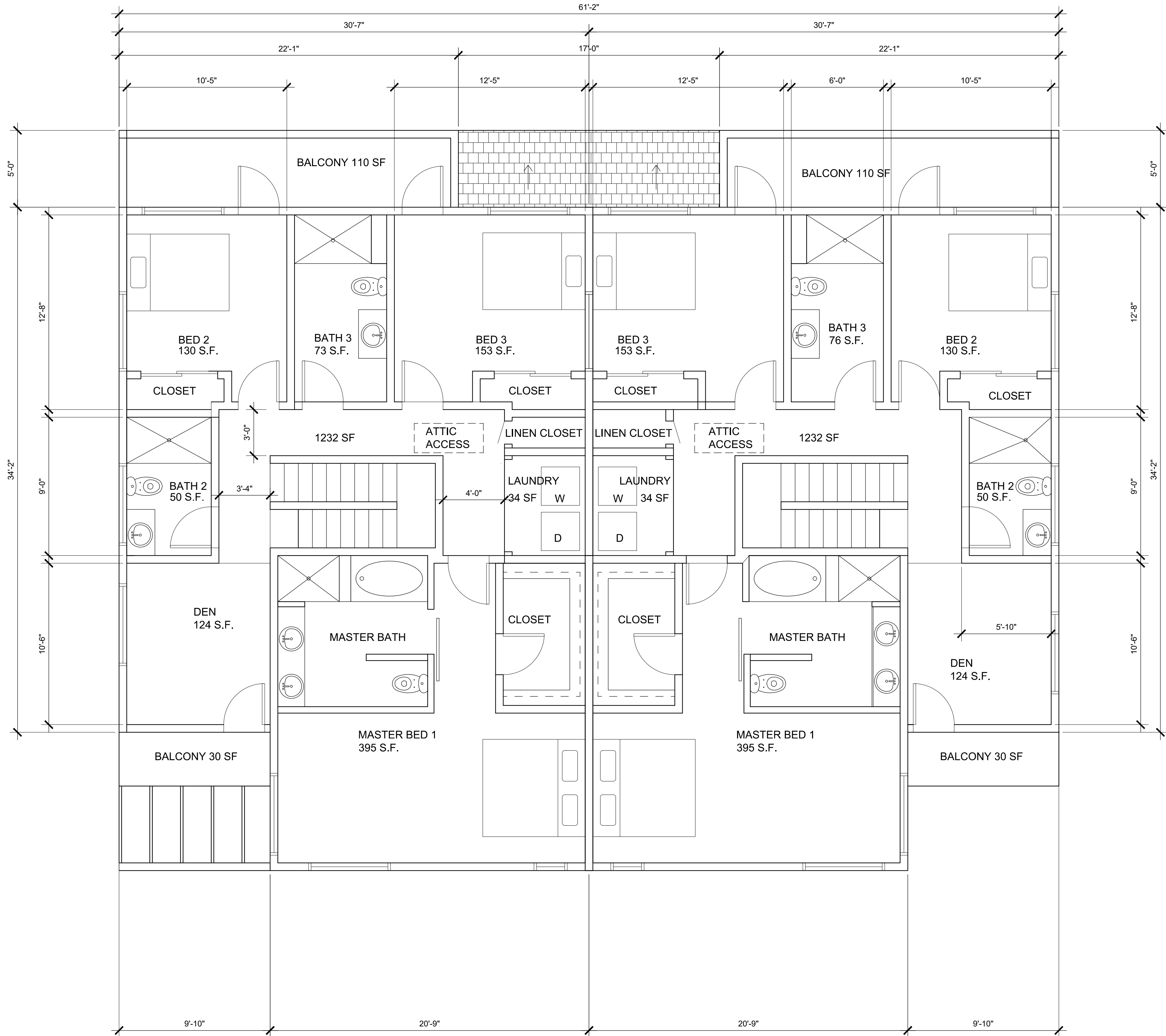


NEW UNIT 3 TO 12 FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"

1

NO.	REVISION DATE
PROJECT THE COLLECTION AT MOUNTAIN CREST HILLS 1137 AND 1149 WEST PHILLIPS BLVD. POMONA , CA 91766	
OWNER TRUSTEE OF THE WEST COAST OCEANSIDE TRUST 16392 E. EDNA PLACE COVINA, CA 91722	
CONSULTANT	
JOB NO DATE 07-29-2021 1ST REV DRAWN H/MS PLOTTED SCALE AS SHOWN	
NEW 3 TO 12 FIRST FLOOR PLAN	
A	
2.1	



NEW UNIT 1 AND UNIT 2 SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"

NO.	REVISION DATE

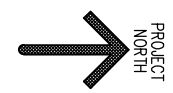
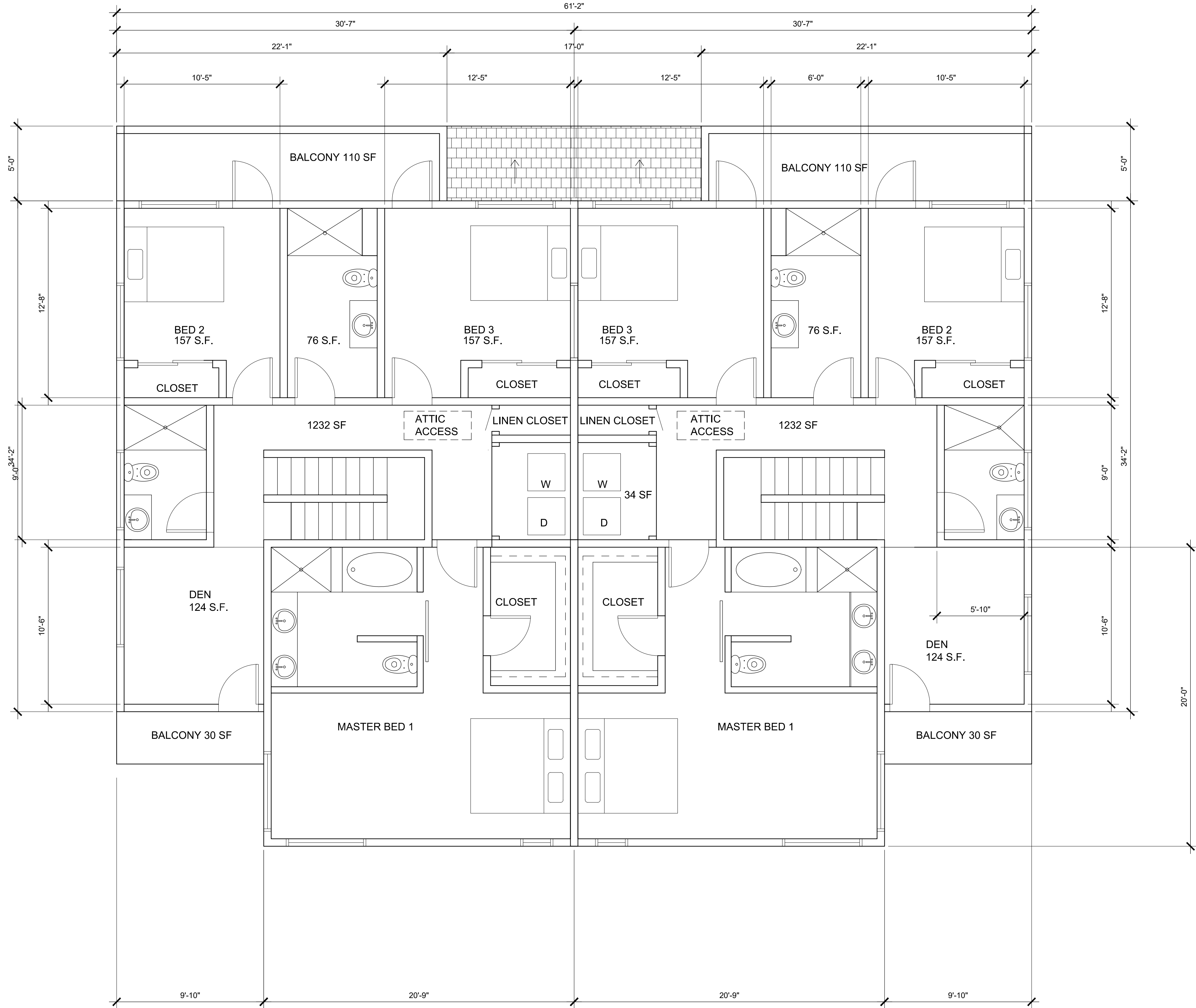
PROJECT THE COLLECTION AT MOUNTAIN CREST HILLS
1137 AND 1149 WEST PHILLIPS BLVD.
POMONA, CA 91766

OWNER TRUSTEE OF THE WEST COAST OCEANSIDE TRUST
16392 E. EDNA PLACE
COVINA, CA 91722

CONSULTANT

JOB NO	
DATE	07-29-2021
1ST REV	
DRAWN	H/MS
PLOTTED	
SCALE	AS SHOWN

NEW UNIT 1 AND UNIT 2 SECOND
FLOOR PLAN

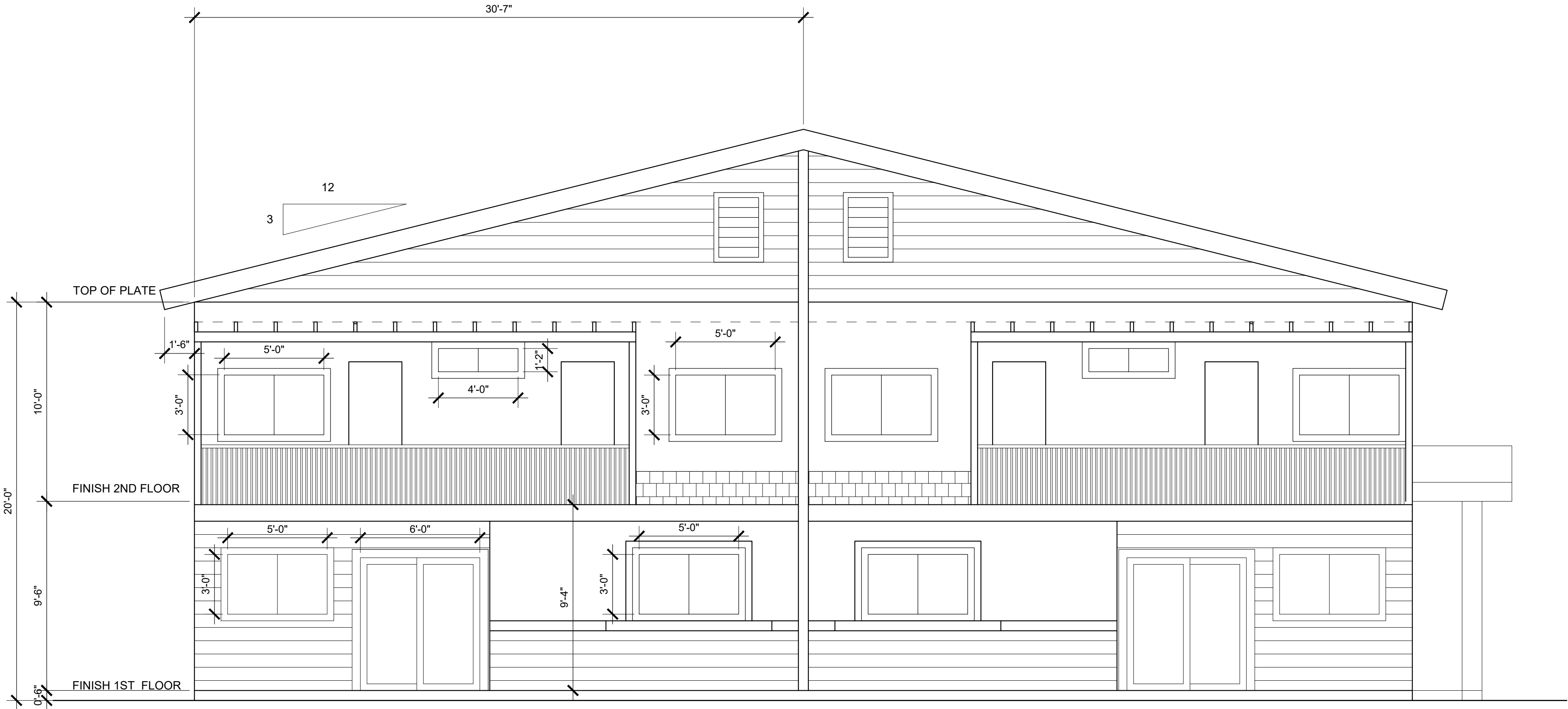


NEW UNIT 3 TO UNIT 12 SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"

1

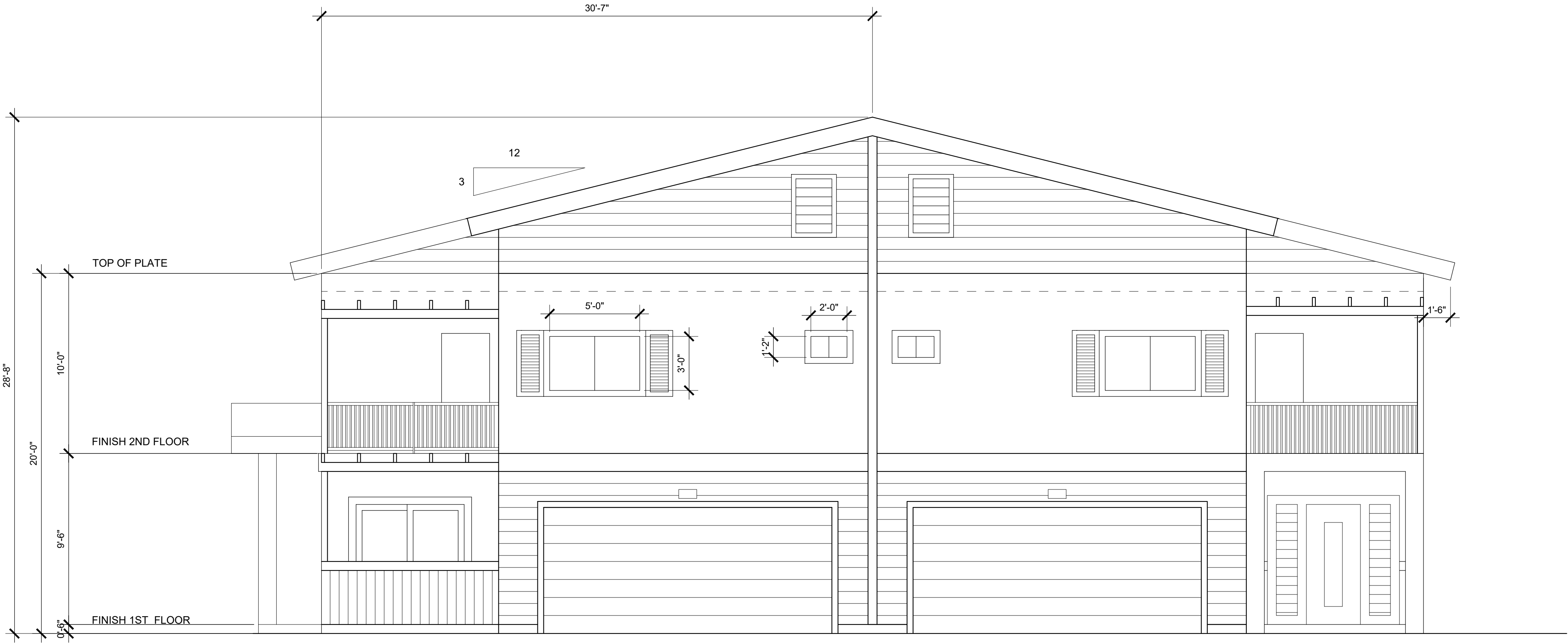
NO.	REVISION DATE
PROJECT THE COLLECTION AT MOUNTAIN CREST HILLS 1137 AND 1149 WEST PHILLIPS BLVD. POMONA , CA 91766	
OWNER TRUSTEE OF THE WEST COAST OCEANSIDE TRUST 16392 E. EDNA PLACE COVINA, CA 91722	
CONSULTANT	
JOB NO DATE 07-29-2021 1ST REV DRAWN H/MS PLOTTED SCALE AS SHOWN	
NEW UNIT 3 TO UNIT 12 SECOND FLOOR PLAN	
A	
2.3	



TYPICAL REAR ELEVATIONS

SCALE 1/4" = 1'-0"

2

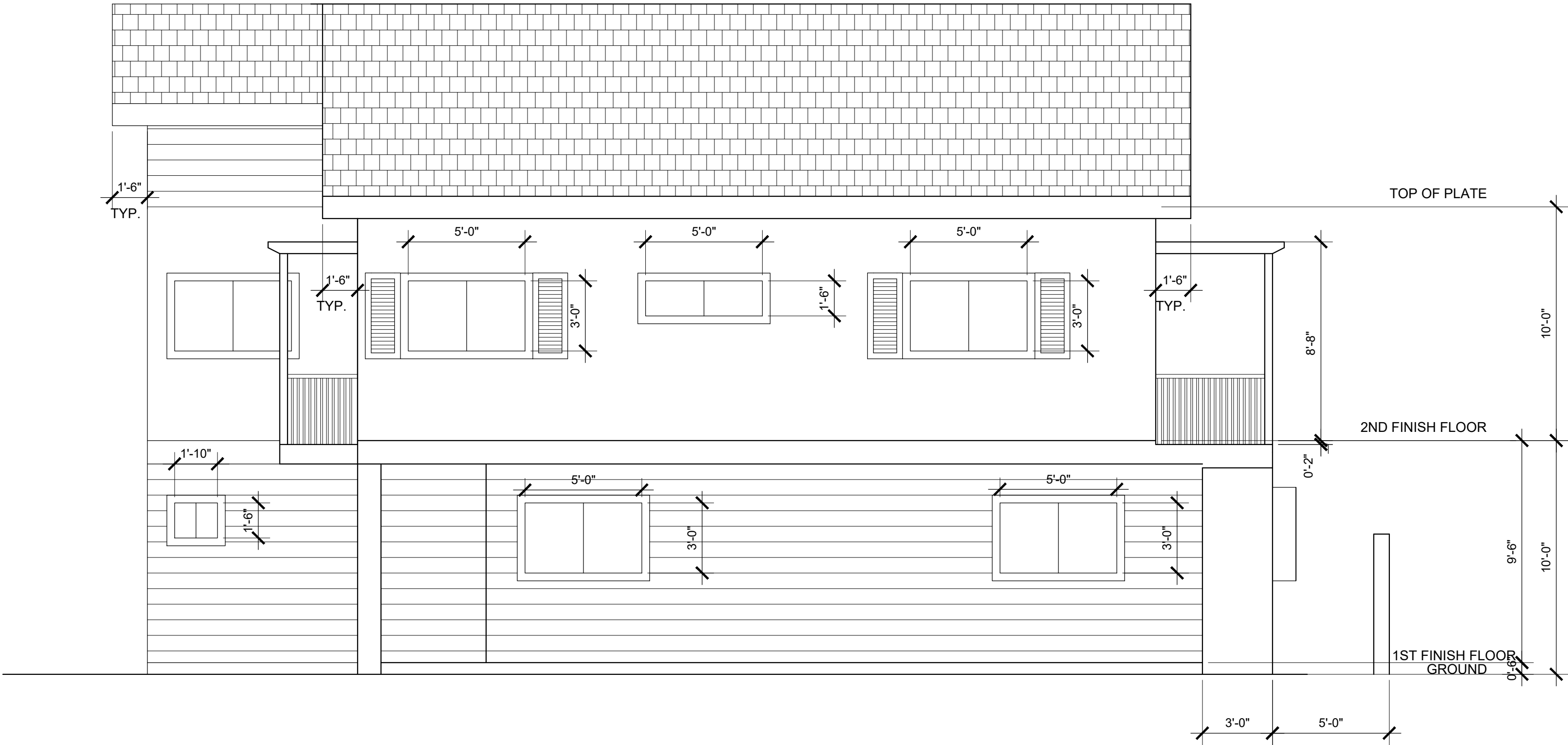


TYPICAL FRONT ELEVATIONS

SCALE 1/4" = 1'-0"

1

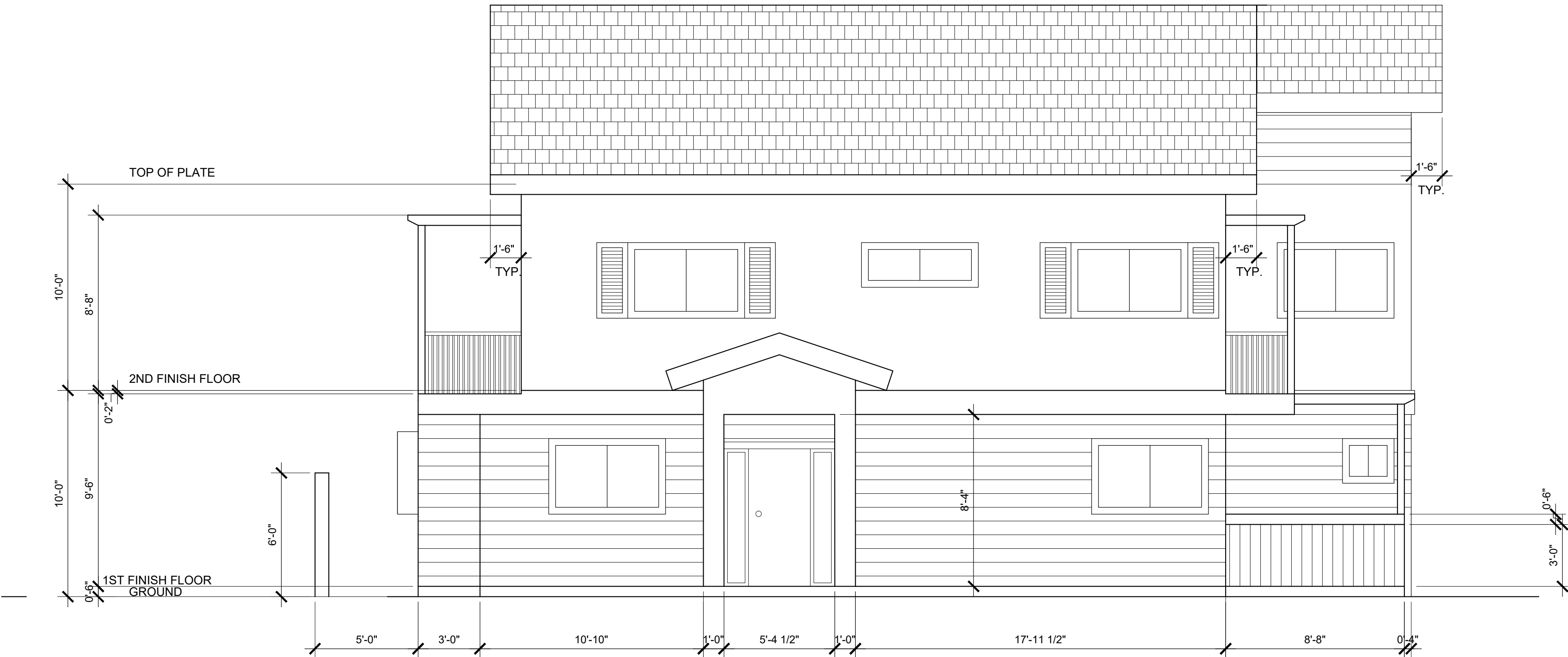
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PROJECT THE COLLECTION AT MOUNTAIN CREST HILLS 1137 AND 1149 WEST PHILLIPS BLVD. POMONA , CA 91766	
OWNER TRUSTEE OF THE WEST COAST OCEANSIDE TRUST 16392 E. EDNA PLACE COVINA, CA 91722	
CONSULTANT	
JOB NO DATE 07-29-2021 1ST REV DRAWN H/MS PLOTTED SCALE AS SHOWN	
NEW EXTERIOR ELEVATIONS	
A	
3.0	



TYPICAL LEFT ELEVATIONS

SCALE 1/4" = 1'-0"

2



TYPICAL RIGHT ELEVATIONS

SCALE 1/4" = 1'-0"

1

NO.	REVISION DATE

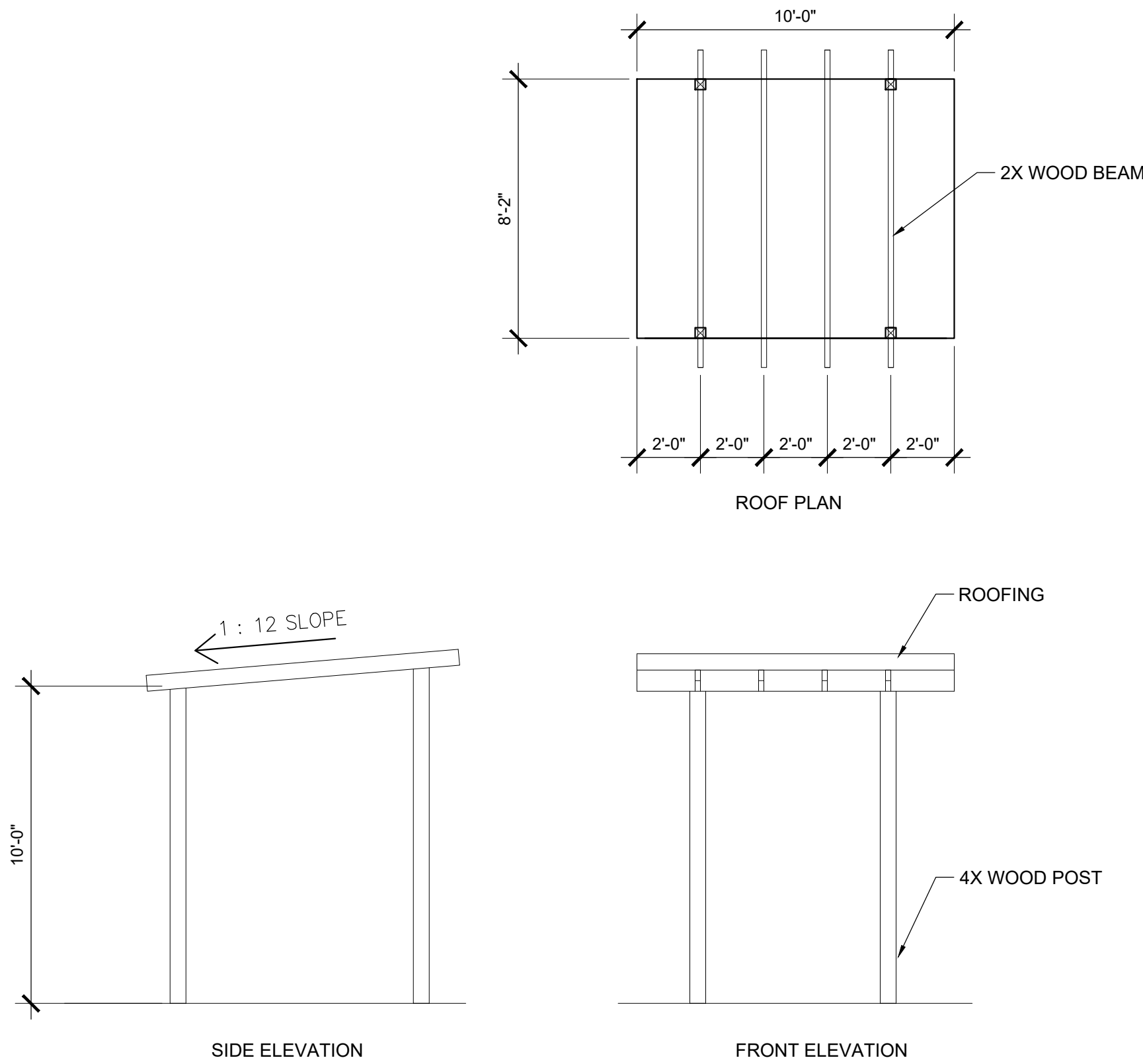
PROJECT THE COLLECTION AT MOUNTAIN CREST HILLS
1137 AND 1149 WEST PHILLIPS BLVD.
POMONA , CA 91766
OWNER TRUSTEE OF THE WEST COAST OCEANSIDE TRUST
16392 E. EDNA PLACE
COVINA, CA 91722

CONSULTANT

JOB NO	
DATE	07-29-2021
1ST REV	
DRAWN	H/MS
PLOTTED	-
SCALE	AS SHOWN

NEW EXTERIOR ELEVATIONS

A
3.1



SHADE STURCTURE

SCALE 1/4" = 1'-0"

2



BUILDING SECTION

SCALE 1/4" = 1'-0"

1

NO.	REVISION DATE
PROJECT THE COLLECTION AT MOUNTAIN CREST HILLS 1137 AND 1149 WEST PHILLIPS BLVD. POMONA , CA 91766	
OWNER TRUSTEE OF THE WEST COAST OCEANSIDE TRUST 16392 E. EDNA PLACE COVINA, CA 91722	
CONSULTANT	
JOB NO	
DATE	07-29-2021
1ST REV	
DRAWN	H/MS
PLOTTED	-
SCALE	AS SHOWN
BUILDING SECTION AND SHADE STRUCTURE	
A	
4.0	

JANUARY 26, 2021

SITE ADDRESS:

1137 & 1149 W. PHILLIPS BLVD.
POMONA, CA 91766

TOTAL LOT AREA:

37,164 SF

APN:

8343-012-015 & 8343-012-016

OWNER & SUBDIVIDER:

KHURSHID KHAN
TRUSTEE OF THE WEST COAST OCEANSIDE TRUST
16329 E. EDNA PLACE
COVINA, CA 91722
TEL. 310.779.5226

SURVEYOR:

FERRER & ASSOCIATES
LAND SURVEYORS & ENGINEERS
16388 COLIMA ROAD, SUITE 206-L, HACIENDA
HEIGHTS, CA. 91745
(626)-437-0038

BASIS OF BEARING:

THE CENTER LINE OF PHILLIPS BOULEVARD
BEING N 88°21'37" E AS SHOWN ON POMONA
HEIGHTS ADDITION TRACT, M.R. 24, PAGES
97-98

BENCHMARK:

BRASS DISC IN W CB @ N END C.B. 39.4FT
N/O BCR @ NW COR WHITE AVE & PHILLIPS
BLVD MKD (YLF 107 1994)

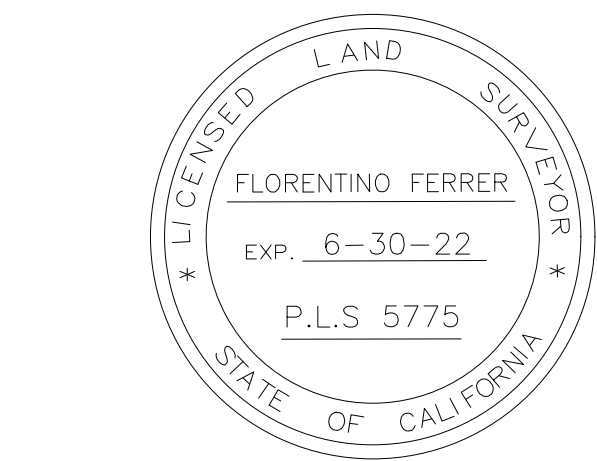
EASEMENTS:

THERE IS NO EXISTING
EASEMENTS IN THESE
PROPERTIES.

General plan: Residential neighborhood
Zone: R2 S Overlay
Land Use: Multi-family

NOTES:

- EXISTING LAND USE: RESIDENTIAL
- EXISTING IMPERVIOUS SQ. FOOTAGE: 0 S.F
- PROPOSED IMPERVIOUS SQ. FOOTAGE: 30690 S.F.
- NEAREST BUS STOP LOCATED AT THE INTERSECTION OF PHILLIPS BLVD & GAREY AVE.. DISTANCE TO THE NEAREST BUS STOP IS APPROX. 4,260 FT.
- EXISTING BUILDINGS ARE TO BE REMOVED.
- NO FILLED AREAS EXISTING WITHIN THE SUBDIVISION.
- NO UNDERGROUND EXCAVATIONS EXIST WITHIN THE SUBDIVISION.
- THE LAND SHOWN HEREON LIES ENTIRELY WITHIN FLOOD ZONE "X" (UNSHADED), BEING DESCRIBED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" PER INSURANCE RATE MAP (FIRM) - COMMUNITY PANEL NUMBER 06037C1725F, DATED SEPTEMBER 26, 2008.
- THIS PROJECT WILL COMPLY WITH CITY PARK/LAND DEDICATION RESOLUTION NO. 89-200.
- THE LAND SHOWN HEREON IS CATEGORIZED IN ZONING R-2S - LOW DENSITY MULTIPLE FAMILY (DENSITY RANGE: 7-15 UNITS/ACRE) AND LAND USE OF "RESIDENTIAL NEIGHBORHOOD" PER CITY OF POMONA GENERAL PLAN ANG ZONING.



FLORENTINO FERRER L.S. 5775

TENTATIVE TRACT MAP 083188 IN THE CITY OF POMONA LOS ANGELES COUNTY, CALIFORNIA

BEING A SUBDIVISION OF LOT 5 IN BLOCK 7 OF POMONA HEIGHTS
ADDITION, AS PER RECORDED IN BOOK 24 ,PAGES 97 AND 98 OF
MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF
LOS ANGELES COUNTY
FOR CONDOMINIUM PURPOSES

FLORENTINO FERRER
LS 5775

JANUARY 2021

CURVE DATA				
No.	R	Δ	T	L
①	250.00'	52°59'08"	124.61'	231.19'
②	200.00'	18°10'33"	31.99'	63.45'

- FRONT YARD AND BACK YARD
- COMMON OPEN SPACE
- FIRE TURNAROUND



CONSTRUCTION NOTES

SANITARY SEWER

- SS1 VCP OR PVC SANITARY SEWER PIPE. SIZE AND SLOPE PER PLAN.
- SS2 POINT OF CONNECTION 5 FEET FROM BUILDING FACE. SEE PLUMBING DRAWINGS FOR CONTINUATION
- SS3 SEWER CLEANOUT PER CITY STANDARD.
- SS4 CONNECT TO MAIN SEWER LINE. CONTRACTOR TO COORDINATE WITH CITY OF PUBLIC WORKS FOR CONNECTION APPLICATION AND PERMIT PROCESS.
- SS6 EXISTING SEWER MANHOLE.
- SS7 FOX DUAL VALVE FOR TRASH ENCLOSURE

DOMESTIC WATER

- W1 4" PVC C-900 DOMESTIC WATER MAIN. SEE PLAN FOR SIZES.
- W3 BACKFLOW PREVENTION DEVICE
- W5 CONNECT TO EXISTING WATER MAIN.
- W8 4" DOMESTIC WATER METER ON 10'X15' EASEMENT AREA.
- W10 POINT OF CONNECTION 5 FEET FROM BUILDING FACE.

FIRE WATER

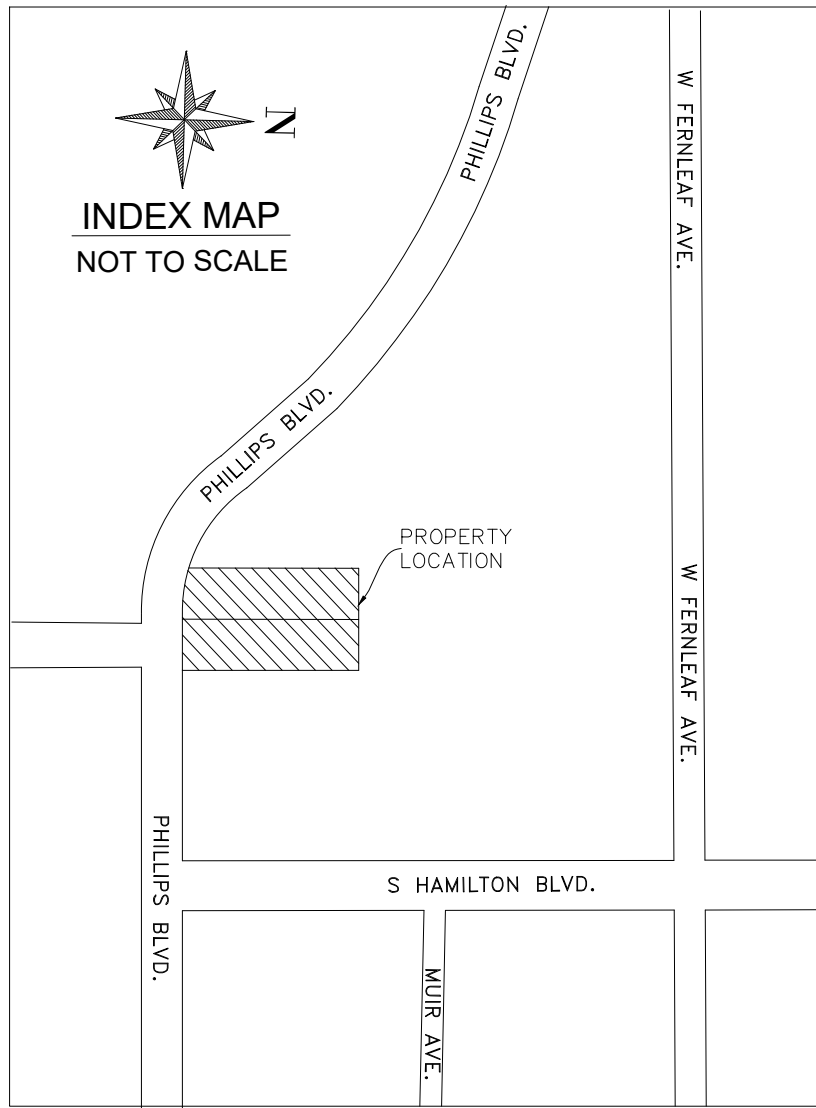
- F1 PVC C-900 FIRE WATER LINE. 6" DIAMETER OR MATCH THE SIZE OF PIPE PER FIRE WATER CONSULTANT'S DESIGN, WHICHEVER IS LARGER.
- F2 POINT OF CONNECTION 5 FEET FROM BUILDING FACE. SEE FIRE WATER CONSULTANT'S DRAWING FOR CONTINUATION.
- F3 BACKFLOW PREVENTION DEVICE
- F4 6" WATER METER ON 10'X15' EASEMENT, ON 10'X15' EASEMENT AREA
- F5 CONNECT TO EXISTING WATER MAIN.

STORM DRAIN

- SD1 PVC, SCHEDULE 40 STORM DRAIN PIPE. SIZE AND SLOPE PER PLAN.
- SD2 36" WIDE x 4" PARKWAY DRAIN
- SD8 CONNECT TO DOWNSPOUT
- SD9 CLEAN OUT
- SD12 BUBBLER STRUCTURE WITH SOLID GRATING

TOTAL TRIBUTARY AREA:

A-TOTAL = 37,164 SF
(NO ADDITIONAL TRIBUTARIES
FROM ADJACENT PROPERTIES)
PROPOSED IMP. AREA = 30,690 SF



LEGAL DESCRIPTION:

LOT 1 (APN: 8343-012-015)

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN
THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AND
IS DESCRIBED AS FOLLOWS:

LOT 5 IN BLOCK 7 OF POMONA HEIGHTS ADDITION, IN THE
CITY OF POMONA, COUNTY OF LOS ANGELES STATE OF
CALIFORNIA, AS PER MAP RECORDED IN BOOK 24, PAGES
97 AND 98 OF MISCELLANEOUS RECORDS, IN THE OFFICE
OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM THE WESTERLY 66 FEET THEREOF. SAID
WESTERLY 66 FEET BEING MEASURED EASTERLY AT RIGHT
ANGLES FROM THE WESTERLY LINE OF SAID LOT.

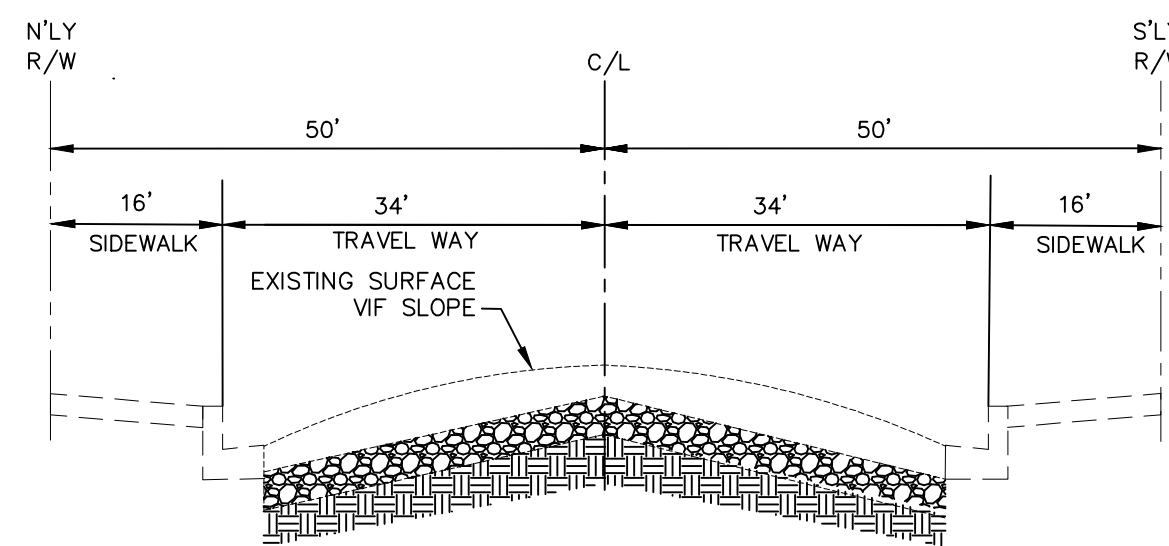
LOT 2 (APN: 8343-012-016)

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN
THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND
IS DESCRIBED AS FOLLOWS:

THE WESTERLY 66 FEET OF LOT 5 IN BLOCK 7 OF POMONA
HEIGHTS ADDITION IN THE CITY OF POMONA, COUNTY OF
LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP
RECORDED IN BOOK 24, PAGES 97 AND 98, INCLUSIVE OF
MISCELLANEOUS RIGHT ANGLES FROM THE WESTERLY LINE
OF SAID LOT.

LEGENDS

- BUILDING
- CONCRETE
- CHAIN LINK FENCE
- CENTER LINE
- PROPERTY LINE
- GM GAS METER
- POWER POLE
- GUIDE WIRE
- SEWER MANHOLE
- LIGHT POLE
- WM WATER METER
- MB MAILBOX
- WATER VALVE



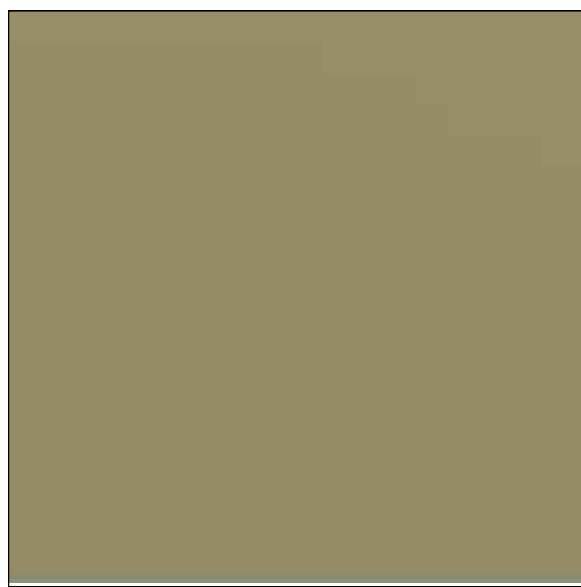
A

PHILLIPS BLVD

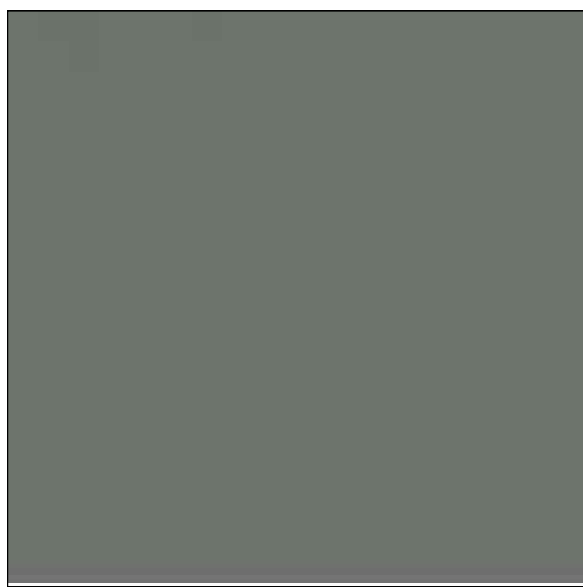
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CONSULTANT	
JOB NO DATE 07-29-2021 1ST REV DRAWN H/MS PLOTTED SCALE AS SHOWN	

COLOR AND MATERIAL BOARD

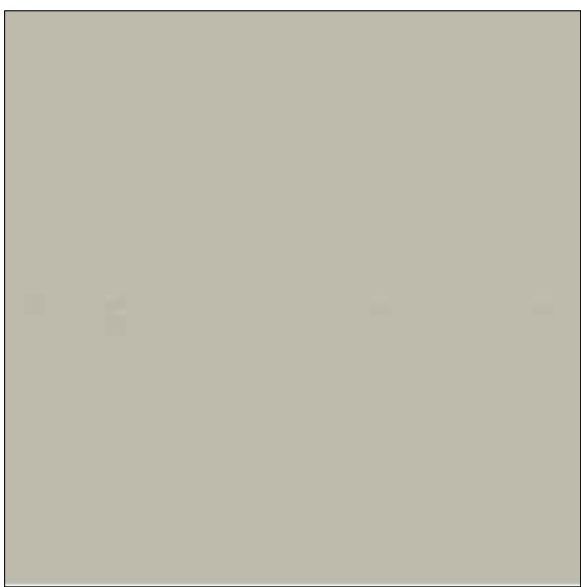
COLOR AND MATERIAL BOARD



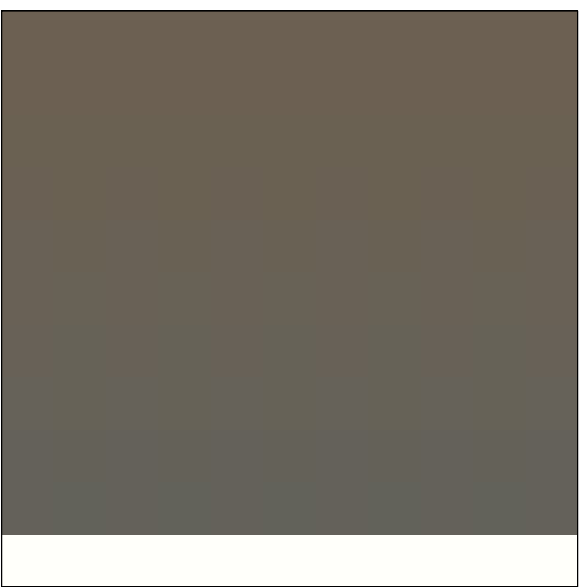
SHERWIN WILLIAMS
HGTVHOME SERIES
OUTERBANKS - HGSW3454



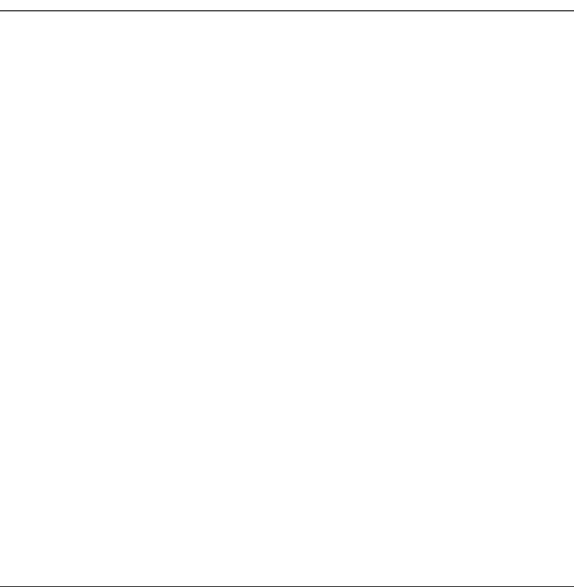
SHERWIN WILLIAMS
HGTVHOME SERIES
MEADOW SAGE - HGSW4041



SHERWIN WILLIAMS
HGTVHOME SERIES
WINDSWEPT CLIFF - HGSW3226



SHERWIN WILLIAMS
HGTVHOME SERIES
STONE STATUE- HGSW2462



SHERWIN WILLIAMS
HGTVHOME SERIES
PURE WHITE - HGSW4006



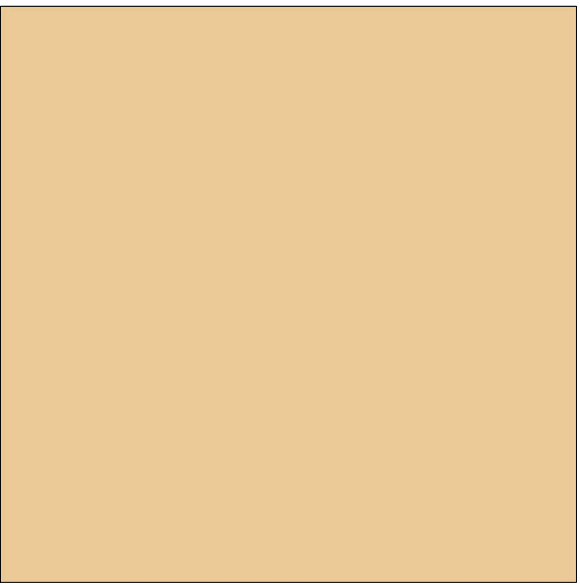
MILGARD TUSCANY SERIES
SINGLE HUNG WINDOW
MATERIAL - VINYL
COLOR - WHITE



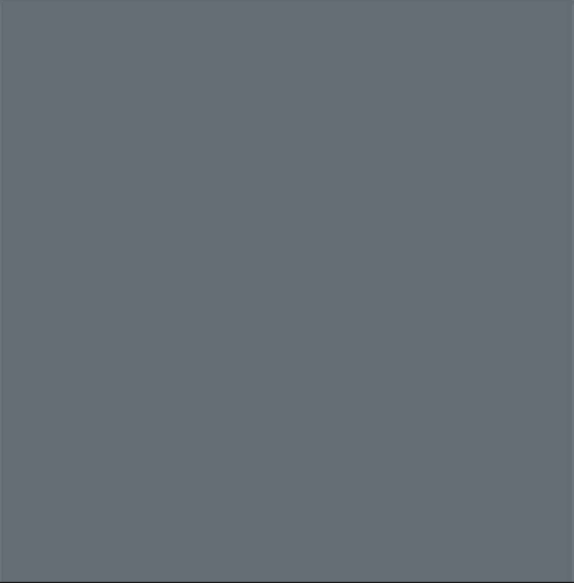
MILGARD TUSCANY SERIES
SLIDING WINDOW
MATERIAL - VINYL
COLOR - WHITE



MILGARD TUSCANY SERIES
SLIDING DOOR
MATERIAL - VINYL
COLOR - WHITE



SHERWIN WILLIAMS
HGTVHOME SERIES
DOYLE GOLD - HGSW 2146



SHERWIN WILLIAMS
HGTVHOME SERIES
AGGED GRANITE - HGSW3226



OWENS CORNING
ROOF SHINGLES
- ESTATE GRAY



HONEYWELL
WALL HUNG
MODEL SS00AD010800



HAMPTON BAY
MODEL 46240-300PS



MMI ENTRANCE DOOR
MODEL - Z019204R
MATERIAL - FIBER GLASS
COLOR - NAVAL