



City of Pomona

NOTICE OF PUBLIC HEARING

FOR THE POMONA HISTORIC PRESERVATION COMMISSION

This is not a citation (Esto no es una citación). Para Información en Español, llame (909) 620-2441.

The Historic Preservation Commission is holding a public hearing on the project described below. You are receiving this notice because your property is located near the project, the project may directly, or indirectly affect you, or because you have requested to be notified.

Project Location: 573 E. McKinley Avenue, APN: 8338-029-015

Project: MAJCOA-000721-2025. A request for a Major Certificate of Appropriateness to construct a new 415 SF accessory dwelling unit at the rear of a contributing resource within the Lincoln Park Historic District.

Applicant: Jesus Abril, Jr.

Environmental Review: The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historic Resource Restoration/Rehabilitation) in that the project consists of minor alterations to the existing site, such as the construction of a small detached accessory structure, and is consistent with the Secretary of Interior's Standards for the Treatment of Historic Properties.

The Historic Preservation Commission Public Hearing will be held in-person:

Meeting Date & Time: Wednesday, June 3, 2026 at 6:30 P.M.

Meeting Location: City Council Chambers, 505 South Garey Avenue, Pomona, California 91766

For questions or concerns regarding this project, or if you wish to review the project file, please contact:

Project Planner: Alan Fortune, Associate Planner. Phone: (909) 620-2449 or Email: Alan.Fortune@pomonaca.gov

or visit the Planning Division at Pomona City Hall located at:

505 South Garey Avenue, Pomona, CA 91766

Monday – Thursday: 7:30 a.m. to 6:00 p.m.

Any interested individual may appear in person or by agent at the Historic Preservation Commission public hearing and be heard on any matter relevant to such proceedings. The staff report on this matter will be available on or about May 28, 2026 at the Planning Division counter, City Hall, 505 S. Garey Avenue and on the City of Pomona website, which may be accessed at <https://pomona.legistar.com/calendar.aspx> or by emailing the project planner at the contact information listed above.

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Written comments may be submitted to DSDcomments@pomonaca.gov by 5:30 P.M. the day of the hearing. Please title your email "HPC Public Comment 06-03-2025". Comments received via email will be made a part of the official record of the meeting.

Following the public hearing, the decision of the Historic Preservation Commission is final and conclusive unless the project is appealed by 6:00 P.M. on the 20th day following the date of decision. Appeals must be filed with the City Clerk in writing on the approved application form, to include a statement of the reason for the appeal, and must be accompanied by the appropriate filing fee. If you challenge any of the foregoing actions in court, you may be limited to raising only those issues you or someone else raised at the public hearing or in written correspondence delivered to the hearing body at, or prior to, the public hearing.

Date:

6/3/2026

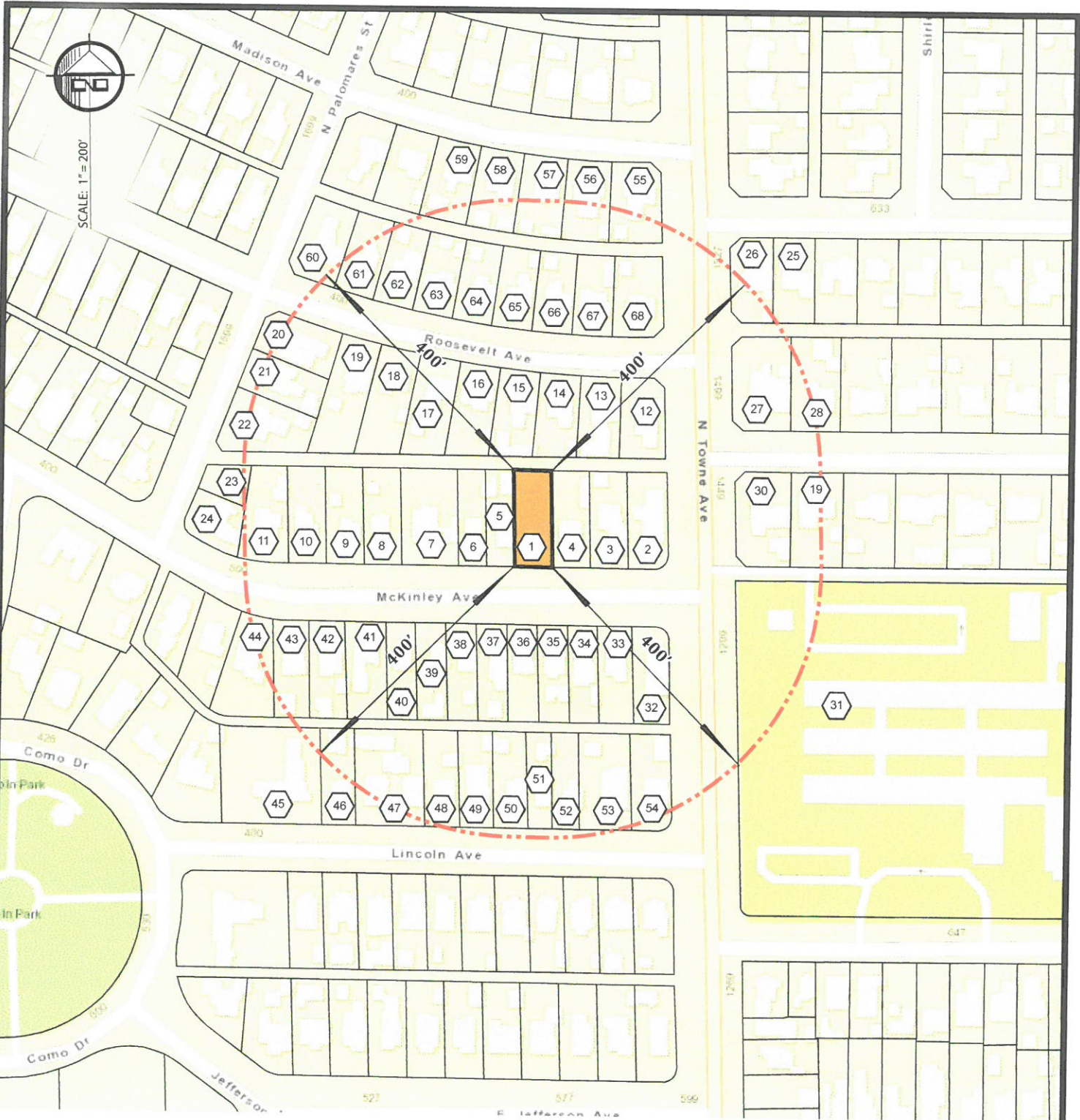
Signature:

Geoffrey Starns, AICP, AIA, LEED AP, Planning Manager

505 SOUTH GAREY AVENUE, POMONA, CA 91766

T: 909.620.2191

WWW.POMONACA.GOV



SCALE: 1" = 200'

MAP LEGEND

 Indicates Map Key Number



Public Notification Study

For
571 E. McKinley Ave.
Pomona CA 91767
APN 8338-032-004

November 24, 2025

JN 25319

RADIUS MAPS

Data Management Services for Government and Business

CERTIFIED PROPERTY OWNERS' LIST

AFFIDAVIT


I, Megan Perkins, hereby certify that the attached list contains the names and addresses of all persons to whom all property is assessed, as they appear on the latest available assessment roll of LOS ANGELES County within the area described and within 400 feet of the exterior boundaries of the property located at:

571 E. McKinley Ave.
Pomona CA 91767

APN 8338-032-004

I certify under penalty of perjury that the foregoing is true and correct.

Signed:


Megan Perkins
November 24, 2025

Daily Bulletin-LA
3200 Guasti Rd. Suite 100
Ontario, California 91761
(909) 987-6397

0011794526

POMONA CITY OF LEGAL - Development Services
505 S. Garey Avenue
Pomona, California 91769

**PROOF OF PUBLICATION
(2015.5 C.C.P.)**

**STATE OF CALIFORNIA
County of Los Angeles**

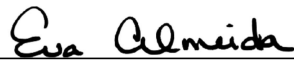
I am a citizen of the United States, I am over the age of eighteen years, and not a party to or interested in the above-entitled matter. I am the principal clerk of the printer of Daily Bulletin-LA, a newspaper of general circulation printed and published daily for the City of Pomona, County of Los Angeles, and which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the County of Los Angeles, State of California, on the date of June 15, 1945, Decree No. Pomo C-606. The notice, of which the annexed is a true printed copy, has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates, to wit:

05/22/2026

I certify (or declare) under the penalty of perjury that the foregoing is true and correct.

Dated at Ontario, California

On this 22nd day of May, 2026.



Signature

*Daily Bulletin-LA circulation includes the following cities:
[UNKNOWN LIST]

The City of Pomona is noticing for a public hearing for a request of a Major Certificate of Appropriateness to construct a new 415 SF accessory dwelling unit at the rear of a contributing resource within the Lincoln Park Historic District. The Applicant is Jesus Abril Jr. The address is 573 E. McKinley Avenue (APN: 8338-029-015). The City case file is MAJCOA-000721-2025. The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301, Class 1 (Existing Facilities) and Section 15331, Class 31 (Historic Resource Restoration/Rehabilitation) in that the project consists of minor alterations to the existing site, such as the construction of a small detached accessory structure, and is consistent with the Secretary of Interior's Standards for the Treatment of Historic Properties. The public hearing will take place at the regular meeting of the Historic Preservation Commission on Wednesday, **June 3, 2026 at 6:30 p.m.**, in-person at the City Council Chambers located at 505 S. Garey Avenue, Pomona CA 91766. The staff report on this matter will be available on or about May 28, 2026 at the Planning Division counter, City Hall, 505 S. Garey Avenue and on the City of Pomona website, which may be accessed at <https://pomona.legistar.com/calendar.aspx> or by emailing the project planner at the contact information listed below. Written comments may be submitted to DSDComments@pomonaca.gov, by 5:30 p.m. the day of the hearing. Please title your email "HPC Public Comment 6-03-2026 ." Please direct questions about this matter to Alan Fortune, Associate Planner at alan.fortune@pomonaca.gov or at (909) 620-2449. Please note that if you challenge this matter in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City of Pomona, Planning Division at, or prior to, the public hearing. Para Información en Español, llame (909) 620-2441.

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