



NEW ADU 2 BED 2 BATH PROJECT

1627 N PARK AVE POMONA CA 91768-1825

ALL CONSTRUCTION
ARCHITECTURAL DESIGN SERVICES
1641 S. SAN GABRIEL BLVD. SUITE D
SAN GABRIEL, CA, 91776
TEL: (626)505-6888



1627 N PARK AVE, POMONA,
CA 91768

Location

NOTES:
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THE CONTRACTOR MUST CHECK AND VERIFY ALL DETAILS AND DIMENSIONS OF THE JOB AND BE RESPONSIBLE FOR ANY DISCREPANCIES TO ALL CONSTRUCTION BEFORE COMMENCING WORK.
WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ABBREVIATIONS

GENERAL NOTES

PROJECT DATA

SHEET INDEX

APPLICABLE CODES

AC.T.	ACOUSTIC TILE	HDWE	HARDWARE
A. C.	ASPHALT CONCRETE	HB	HOSE BIBB
A. D.	AREA DRAIN	H. C.	HOLLOW CORE
ADJ	ADJUSTABLE	HGT	HEIGHT
AFF	ABOVE FINISH FLOOR	HORIZ	HORIZONTAL
ALT	ALTERNATE	H. M.	HOLLOW METAL
ALUM	ALUMINUM	HR	HOUR
ANCH	ANCHOR	HYD	HYDRANT
APPROX	APPROXIMATELY	I. D.	INSIDE DIAMETER
ARCH	ARCHITECT / ARCHITECTURE	INSUL	INSULATION
ASB	ASBESTOS	INT	INTERIOR
BD	BOARD	JAN	JANITOR
BR. CS.	BRICK COURSE	JT	JOINT
BLDG	BUILDING	JT	JOINT
BLK	BLOCK	JAN	JANITOR
BLKG	BLOCKING	JT	JOINT
B. M.	BENCH MARK	KIT	KITCHEN
BM	BENCH MARK	KIT	KITCHEN
B. N.	BULL NOSE	LAB	LABORATORY
BNT	BENT	LAM	LAMINATE
BMT	BOTTOM	LAV	LAVATORY
		LT	LIGHT
C. B.	CATCH BASIN	MAX	MAXIMUM
C. I.	CAST IRON	M. C.	MEDICINE CABINET
CEM	CEMENT	MECH	MECHANICAL
CER	CERAMIC	MH	MANHOLE
CER. T.	CERAMIC TILE	MIN	MINIMUM
C. J.	CONTROL JOINT	MIR	MIRROR
CLR.	CLEAR	MISC	MISCELLANEOUS
CLG	CEILING	M. O.	MASONRY OPENING
CLO	CLOSET	MTD	MOUNTED
CMU	CONCRETE MASONRY UNIT	MTL	METAL
C. O.	CASE OPENING		
COL	COLUMN	N. I. C.	NOT IN CONTRACT
COMP	COMPOSITION	N. T. S.	NOT TO SCALE
CONC.	CONCRETE		
CONN.	CONNECTION	O/A	OVERALL
CONSTR	CONSTRUCTION	OBS	OBSURE
CONT.	CONTINUOUS	O/C	ON CENTER
CONTR.	CONTRACTOR	O. D.	OUTSIDE DIAMETER
CORR	CORRIDOR	OFF	OFFICE
CNTR	COUNTER	OH	OVERHEAD
CTR	CENTER	OIO	OUT TO OUT
		OPNG	OPENING
DBL	DOUBLE	OPP	OPPOSITE
DEPT	DEPARTMENT	PC	PIECE
DET.	DETAIL	P. LAM	PLASTIC LAMINATE
D. F.	DRINKING FOUNTAIN	PL	PLATE
DIA	DIAMETER	PLAS	PLASTER
DIM	DIMENSION	PLBG	PLUMBING NUMBER
DISP	DISPENSER	PLYWD	PLYWOOD
DN	DOWN	POL	POLISHED
D. O.	DOOR OPENING	PROJ	PROJECT
DS	DOWN SPOUT	PT	POINT
DWG	DRAWING	PTD	PAINTED
		Q. T.	QUARRY TILE
EA	EACH		
EIFS	EXT. INSULATION & FINISH SYSTEM	R	RISER
EL	ELEVATION	RAD	RADIUS
ELECT	ELECTRICAL	R. D.	ROOD DRAIN
ELEV	ELEVATION / ELEVATOR	REF	REFRIGERATOR
EMER	EMERGENCY	REINF.	REINFORCEMENT / REINFORCED
ENCL	ENCLOSURE	REQD.	REQUIRED
EQ	EQUAL	RM	ROOM
EQPT	EQUIPMENT	R. O.	ROUGH OPENING
EXST	EXISTING	S	SINK
EXP	EXPANSION	SHT.	SHEET
E. J.	EXPANSION JOINT	S. M.	SHEET METAL
EXT	EXTERIOR	SQ.	SQUARE
		S. S.	SLOP / SERVICE SINK
F. A.	FIRE ALARM	S. STL	STAINLESS STEEL
F. D.	FLOOD DRAIN	STD	STANDARD
F. E.	FIRE EXTINGUISHER	STRUCT.	STRUCTURAL
FIN	FINISH	SUSP	SUSPENDED
FLASH	FLASHING	T/	TOP OF
FLR	FLOOR	T. D.	TRENCH DRAIN
FLUOR	FLUORESCENT	TERR	TERRAZZO
FDN	FOUNDATION	TYP	TYPICAL
F. O. F.	FACE OF FINISH	UNF	UNFINISHED
FPHB	FROST PROOF HOSE BIBB	U. N. O.	UNLESS NOTED OTHERWISE
F. S.	FULL SIZE OR FLOOR SINK	VCT	VINYL COMPOSITION TILE
FTG	FOOTING	W. C.	WATER CLOSET
FURR	FURRING	WD	WOOD
FVC	FIRE VALVE CABINET	WT	WEIGHT
		WWF	WELDED WIRE FABRIC
GA	GAUGE		
GALV	GALVANIZED		
GEN	GENERAL		
GR	GRADE		
GRFC	GLASS FIBER REINFORCED CONCRETE		
GRFG	GLASS FIBER REINFORCED GPYSUM		
GLS	GLASS / GLAZING		
G. S.	GRAVEL STOP		
GYP. BD.	GYPSSUM BOARD		

- THE OWNER OF THE PROPERTY HEREBY EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE COPIED, REPRODUCED OR CHANGED IN ANY FORM OR MANNER WHATSOEVER EVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN CONSENT AND PERMISSION OF OWNER.
- SUBCONTRACTOR SHALL PROMPTLY NOTIFY CONTRACTOR, AND CONTRACTOR SHALL NOTIFY THE OWNER, OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES IN THE PLANS OR ON THE SPECIFICATION, SO THE OWNER CAN RECTIFY CORRECTIONS OR OMISSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE PRIOR TO COMMENCING WORK. ALL WORK SHALL BE DONE IN COMPLIANCE WITH LOCAL CODES. DO NOT SCALE DRAWINGS.
 - ALL SUBCONTRACTOR WORKMANSHIP WILL BE OF QUALITY TO PASS INSPECTIONS BY APPLICABLE LOCAL AUTHORITIES, LENDING INSTITUTIONS, OWNER, AND THE BUILDER. AND ONE, OR ALL MENTIONED PARTIES MAY INSPECT WORKMANSHIP AT ANY TIME, AND ANY CORRECTIONS NEEDED TO ENHANCE THE QUALITY OF BUILDING WILL BE DONE IMMEDIATELY.
 - EACH SUBCONTRACTOR SHALL START HIS WORK PROMPTLY, PURSUE IT DILIGENTLY AND COMPLETE IT IN ACCORDANCE WITH CONTRACTORS BUILDING SCHEDULE. IT IS MUTUALLY UNDERSTOOD THAT SCHEDULE COULD CHANGE WITHOUT NOTICE AS CIRCUMSTANCE WARRANT.
 - ALL MATERIALS, MACHINERY AND EQUIPMENT SHALL BE STORED IN A MANNER APPROVED BY THE CONTRACTOR, IN A PLACE DESIGNED BY THE CONTRACTOR. FIRE HAZARD SHALL BE PROMPTLY VACATED UPON REQUEST BY CONTRACTOR AND LEFT IN A BROOM CLEAN CONDITIONS.
 - ALL MATERIALS SUPPLIED BY SUBCONTRACTORS SHALL BE OF A GRADE AND QUALITY ACCEPTABLE TO THE CONTRACTORS; IN EVERY CASE THEY SHALL BE, IN THE OPINION OF THE CONTRACTOR, SUITABLE FOR THE PROPOSED.
 - EACH, SUBCONTRACTOR, UNLESS SPECIFICALLY EXEMPTED BY THE TERMS OF HIS SUBCONTRACTOR AGREEMENT, SHALL BE RESPONSIBLE FOR CLEANING UP AND REMOVING FROM THE JOB SITE ALL TRASH AND DEBRIS NOT LEFT BY THE OWNER CONTRACTOR. BUILDER WILL DETERMINE HOW SOON AFTER SUBCONTRACTOR COMPLETES EACH PHASE OF HIS WORK THAT TRASH AND DEBRIS WILL BE REMOVED FROM THE SITE.
 - WHILE IT IS THE RESPONSIBILITY OF EACH SUBCONTRACTOR TO COOPERATE FULL WITH THE JOB SUPERINTENDENT IN PROTECTING ALL WORK THROUGH THE ENTIRE COURSE OF CONSTRUCTION, SPECIAL ATTENTION MUST BE GIVEN TO PROTECTION OF ALL FINISH WORK PERFORMED AFTER COMPLETION OR PLASTERING, STUCCOING, OR DRYWALL. ALL SUBCONTRACTORS SHALL FULLY COOPERATE WITH JOB SUPERINTENDENT IN PROTECTING THE GOOD CONDITION OF ALL FINISH FLOORS, WALLS, CABINET WORK AND COUNTERTOPS THROUGHOUT THE PROJECT. NO TOOLS OR MATERIAL, COFFEE CUPS OR LIGHTED CIGARETTES SHALL NEVER BE PLACED ON ANY MARBLE OR FORMICA COUNTER-TOP, EXCEPT THAT TOOL AND MATERIALS IMMEDIATELY BEING WORKED WITH MAY BE SO PLACED THAT THEY ARE NOT PLACED UPON AN UNPROTECTED FINISH SURFACE. SUBCONTRACTOR SHALL BE BACK CHARGED FOR ANY DAMAGE WHICH MAY BE ASCRIBED TO THEM; FOR THIS REASON, EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PROMPTLY NOTIFYING THE JOB SUPERINTENDENT FOR ANY DAMAGE EXISTING PRIOR TO THE START OF THE WORK.
 - DRAWINGS AND SPECIFICATION, ERRORS, AND OMISSIONS:
 - THE CONTRACTOR SHALL NOTIFY OWNER IN WRITING, OF ANY ERRORS, DISCREPANCIES OR OMISSION IN THE CONTRACT DRAWINGS PRIOR TO THE COMMENCEMENT OF WORK.
 - THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES OR OMISSION WHICH THE CONTRACTOR FAILED TO NOTIFY THE PROPERTY'S OWNER OF BEFORE CONSTRUCTION AND FABRICATION OF WORK.
 - SPECIFICATIONS AND DRAWING EXPLANATIONS:

FOR CONVENIENCE OR REFERENCE AND TO FACILITATE THE LETTING OR CONTRACTORS AND SUBCONTRACTORS, THESE SPECIFICATIONS ARE SEPARATE IN TITLE SECTIONS. SUCH SEPARATION SHALL NOT, HOWEVER, OPERATE TO MAKE THE OWNER AN ARBITER TO ESTABLISH LIMITS TO CONTACTS BETWEEN THE CONTRACTOR AND SUBCONTRACTORS.
 - EXISTING DIMENSION AS SHOWN ON PLANS ARE PROVIDED BY OWNER, G.C. SHALL VERIFY EXISTING CONDITION BEFORE CONSTRUCTION, NOTIFY OWNER/ DESIGNER IF AND CONFLICT AS REQUIRED.
 - "OR EQUAL": THE CONTRACTOR SHALL SUBMIT FOR THE PROPERTY'S OWNER AND BUILDERS APPROVAL OF ALL MATERIALS OR EQUIPMENT WHICH IS CONSIDERED "OR EQUAL" TO THAT SPECIFIED ON THE DRAWINGS.
 - THE STRUCTURAL DESIGN AND DETAILS FULLY CONFORM TO ALL APPROPRIATE REQUIREMENTS OF THIS CODE, THE CALIFORNIA RESIDENTIAL CODE, SHOULD A PORTION OR ALL OF THE STRUCTURAL DESIGN CONFORM TO THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE, AS ALLOWED IN THE CRC, THE STATEMENT SHALL CLEARLY IDENTIFY WHICH PORTION OF THE STRUCTURAL DESIGN CONFORM TO THE CBC OR THAT THE FULL STRUCTURAL DESIGN IS IN CONFORMANCE WITH THE STRUCTURAL REQUIREMENTS OF THE CALIFORNIA BUILDING CODE. (R301.1.3 CRC)

OWNER NAME: CLOVER LEAF INVESTMENT LLC
ADDRESS: 2423 BROOKHAVEN DR. CHINO HILLS CA 91709-1739
PHONE NUMBER: (626) 677-7101
PRIMARY ADDRESS: 1625 N. PARK AVE POMONA
ADU ADDRESS: 1627 N. PARK AVE POMONA
OCCUPANCY CATEGORY: R-3/U
APN: 8359-016-044
CONSTRUCTION TYPE: V-B
TOTAL LOT AREA: 7,000 SQ.FT.
YEAR BUILT: 1924
ZONE: NED1-H
STRING: [LM2-G1-CX1]
LEGAL DESCRIPTION: PALOMARES TRACT SW 50 FT OF NE 170 FT OF SE 81.8 FT OF LOT 8 AND SW 50 FT OF NE 170 FT OF NW 58.2 FT OF LOT 9 BLK G
PRIMARY DWELLING: 13'-3"
HISTORIC DISTRICT: HACIENDA PARK HISTORIC DISTRICT
ARCHITECTURAL STYLE: CALIFORNIA BUNGALOW, SIMPLE VERNACULAR

SCOPE OF WORK

NEW DETACHED ADU 800 SQ.FT.
NEW PORCH 15 SQ.FT.

AREA TABULATION

EXISTING BUILDING	STORIES: 1
SINGLE FAMILY DWELLING	602 SQ.FT.
PORCH	715 SQ.FT.
SHED	214 SQ.FT.
GARAGE	445 SQ.FT.
TOTAL (E) FLOOR AREA TO REMAIN	1332 SQ.FT.
PROPOSED BUILDING	STORIES: 1
(N) ADU	800 SQ.FT.
(N) PORCH	15 SQ.FT.
FLOOR AREA RATIO / HABITABLE SPACE	
(E) SINGLE FAMILY DWELLING	602 SQ.FT.
(P) ACCESSORY DWELLING UNIT	800 SQ.FT.
TOTAL HABITABLE SPACE	1402 SQ.FT.
FAR	20.0%
FLOOR AREA RATIO/ TOTAL BUILDING AREA	
TOTAL BUILDING FOOT PRINT	2147 SQ.FT.
LOT AREA	7000 SQ.FT.
BUILDING COVERAGE	30.7%

IMPERVIOUS COVERAGE CALCULATION:
(71+490+602+214+114+445+961+800+15)=3712/7000=53%
LANDSCAPING CALCULATIONS FOR ENTIRE SITE (MINIMUM 20%):
(1538+71+103+81+1495)=3288/7000=47%

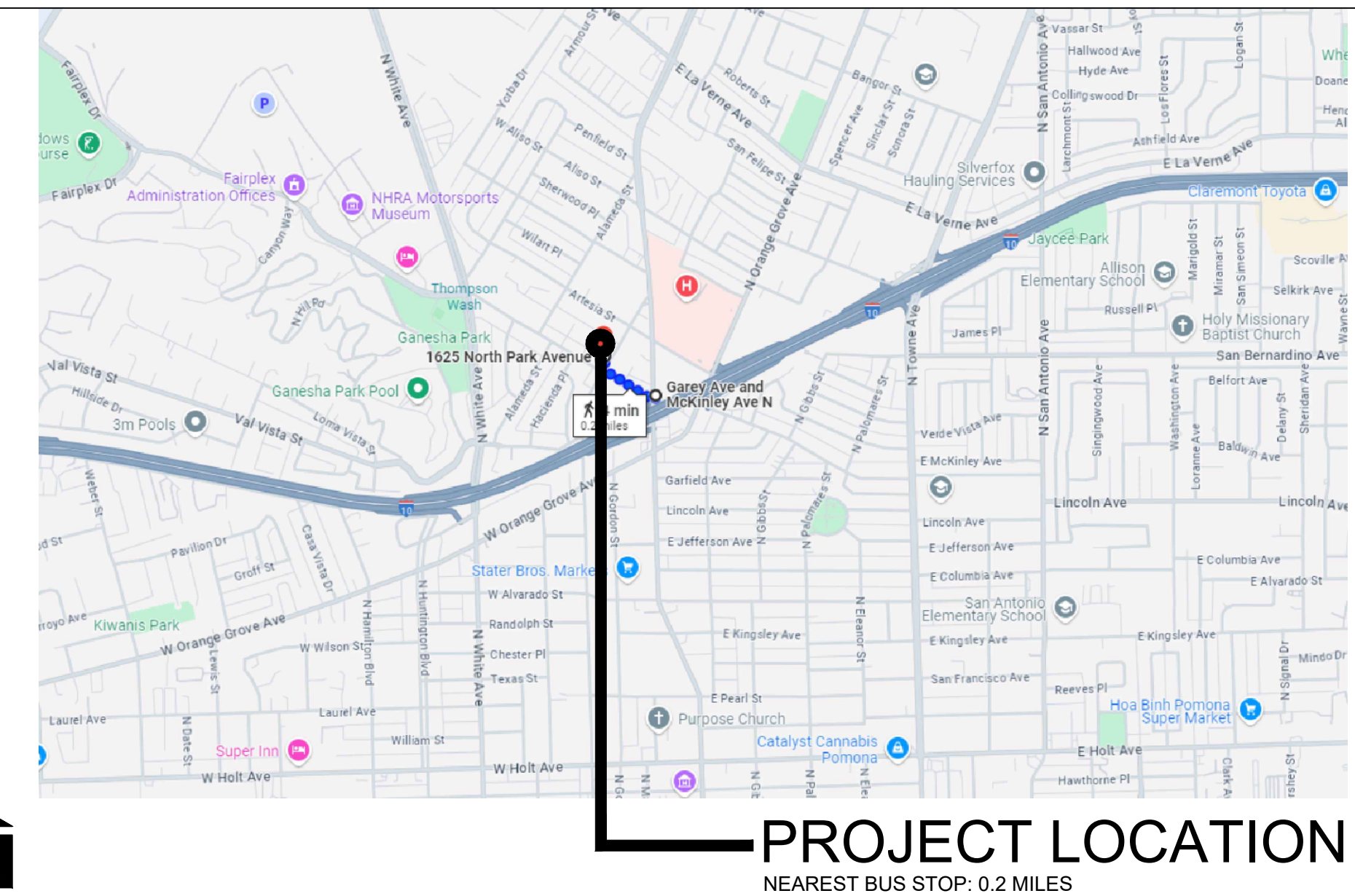
CONSULTANTS

ENERGY ENGINEER:
TITLE 24 GUYS
GILBERTO CARRILLO
10964 MEMORY PARK AVE
MISSION HILLS, CA, 91345
TEL: 818-850-3385
EMAIL: GILBERTO@TITLE24GUYS.COM

REFERENCE SYMBOLS

	ROOF PITCH REFERENCE
	DETAIL REFERENCE NUMBER SHEET NUMBER
	SECTION REFERENCE SHEET NUMBER
	DOOR REFERENCE
	WINDOW REFERENCE

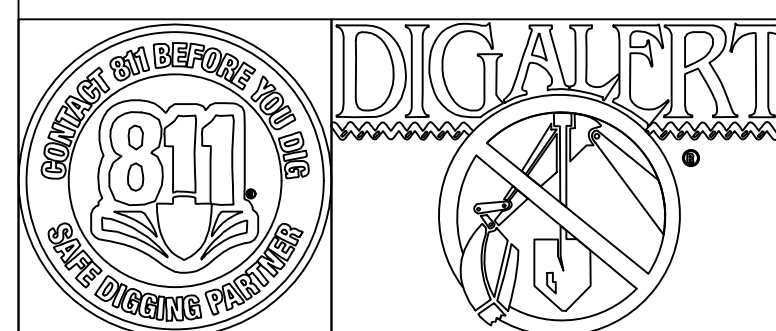
VICINITY MAP



PROJECT LOCATION
NEAREST BUS STOP: 0.2 MILES

AREA FOR APPROVAL STAMPS

NO FIRE SPRINKLERS REQUIRED



Date: 06-06-2025	Drawing no.
Scale: NOTED	
CSR:--	
Drawn by: HD	C-1
Checked by: JJ	
File name: 1625 N PARK AVE, POMONA	

ALIGCUS

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
HRI #
Trinomial
NRHP Status Code 5B1

Other Listings
Review Code
Reviewer
Date

Page 171 of 277

*Resource Name or #: (Assigned by Recorder) 1625 N. PARK AV

P1. Other Identifier:

*P2. Location: Not for Publication

and (P2b and P2c or P2d. Attach a location map as necessary.)

*b. USGS 7.5' Quad _____ Date _____ T _____; R _____; 1/4 of _____ 1/4 of Sec _____; B.M.

c. Address 1625 N. PARK AV City: Riverside Zip _____

d. UTM (Give more than one fr large and/or linear resource Zone _____; _____ mE/ _____ mN

e. Other Locational Data: Contributing

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This simple vernacular style California Bungalow has a rectangular form with a side gabled roof with bumpouts on north and south elevations. Vents on gables typical of this style. It has wide eave overhang and exposed rafter tails. Windows are in original condition as viewed from the street. Wall cladding is clapboard siding.

*P3b. Resource Attributes: (List attributes and codes) HP2

*P4. Resources Present: Building Structure Object Site District Element of District Other (isolates, etc.)



P5b. Description of Photo:
(View, date, accession #)

*P6. Date Constructed: 1924

Age and Sources: Historic
 Prehistoric Both

*P7. Owner and Address:

Pomona CA

*P8: Recorded by: (name, affiliation, and address)

*P9. Date Recorded:

*P10. Survey Type: (Describe)

Other Activity

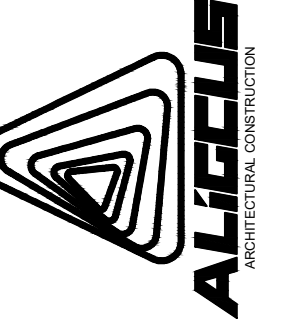
*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Reature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List) _____

DPR 523A (1/95)

*Required Information

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ARCHITECTURAL DESIGN SERVICES
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4		
3	PC CORRECTION 3	04/24/2025
2	PC CORRECTION 2	02/20/2025
1	PC CORRECTION 1	12/19/2024
No.	Revisions	Date CK

DESIGNER:
MICHAEL ZHANG
TEL: (626)505-6888

Drawing title

NOTE

Date: 06-06-2025 Drawing no.

Scale: NOTED

CSR:--

Drawn by: HD

Checked by: JJ

File name: 1625 N PARK AVE, POMONA

ALIGCUS

A-1.1



ALI CONSTRUCTION
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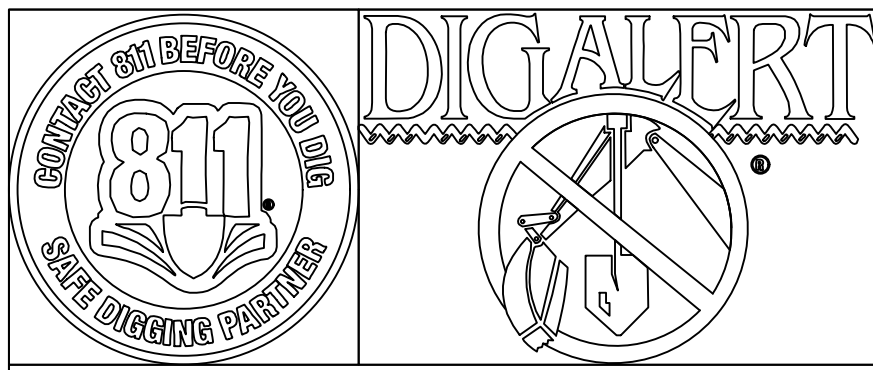
4		
3	PC CORRECTION/3	04/24/2025
2	PC CORRECTION/2	02/20/2025
1	PC CORRECTION/1	12/19/2024
No.	Revisions	Date

DESIGNER:
 MICHAEL ZHANG
 TEL: (626)505-6888

Drawing title
 EXISTING PRIMARY
 DWELLING PHOTOS

Date: 06-06-2025	Drawing no.
Scale: NOTED	A-1.2
CSR:--	
Drawn by: HD	
Checked by: JJ	

File name: 1625 N PARK AVE, POMONA
 ALIGCUS



Low Impact Development Standards Manual

3.2. Stormwater Management Requirements for Small-Scale Non-Designated Projects

Residential development and redevelopment of four units or less are required to implement at least two of the following simple BMPs into the site design:

- Porous pavement: Install porous pavement to allow stormwater runoff to infiltrate through it. Porous pavement includes, but is not limited to, porous asphalt, porous concrete, ungrouted paving blocks, and gravel. At least 50 percent of the pavement at the site must be porous.
- Downspout routing: Each roof downspout must be directed to one of the following simple BMPs, which must have a total capacity of at least 200 gallons:
 - Rain barrel/cistern: Stored stormwater runoff can be used for irrigation or other non-potable uses as permitted under the Los Angeles County Building/Plumbing Code.
 - Rain garden/planter box: Stormwater runoff can be retained or treated by these stormwater quality control measures.
- Disconnect impervious surfaces: Slope driveways and other impervious surfaces to drain toward pervious surfaces. If possible, stormwater runoff should be directed toward vegetated areas or stormwater quality control measures. One-third of the lot must be pervious areas such as landscaping, gravel, or porous pavement. Limit the total area not directed toward vegetated areas or stormwater quality control measures to 10 percent or less of the area of the site.
- Dry well: Install a dry well to infiltrate stormwater runoff. The dry well must be sized to contain and infiltrate at least 200 gallons of stormwater runoff in a 96-hour period.
- Landscaping and landscape irrigation: Plant trees near impervious surfaces to intercept precipitation in their leaves. Trees planted adjacent to impervious surfaces can intercept water that would otherwise become stormwater runoff. A minimum of two 15-gallon trees must be planted a maximum of 10 feet from impervious surfaces. Install irrigation systems that utilize a weather-based smart irrigation controller to minimize water usage and reduce dry weather urban runoff.
- Green roof: Install a green roof to retain and treat stormwater runoff on the rooftop. A green roof must cover at least 50 percent of the total rooftop area.

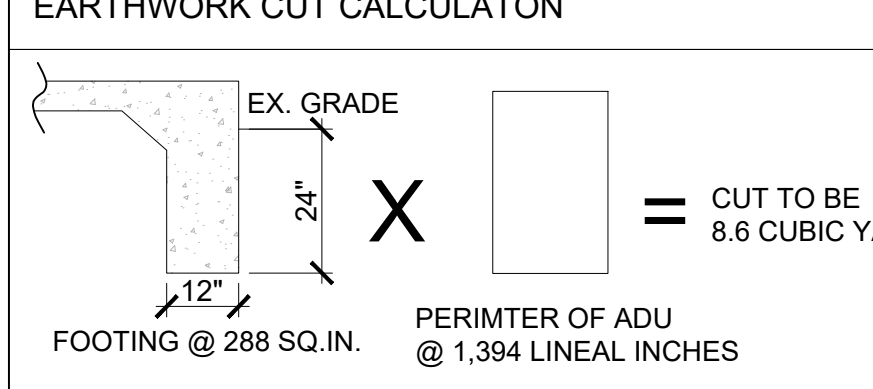
The project applicant is required to submit a geotechnical report, prepared by a geotechnical engineer, when proposing use of porous pavement or dry wells.

GRADE MOVEMENT (IN CUBIC YARDS)

CUT: -8.6 CUBIC YARDS
 FILL: 0 CUBIC YARDS
 OVER EXCAVATION: 0 CUBIC YARDS

GRADE TO BE RE-USED ON-SITE

PERIMETER X FOOTING WIDTH X FOOTING HEIGHT = CUBIC INCHES
 1,394" X 12" X 24" = 401,472 CUBIC INCHES
 CUBIC INCHES CONVERT TO CUBIC YARDS
 401,472 CUBIC INCHES = 8.6 CUBIC YARDS



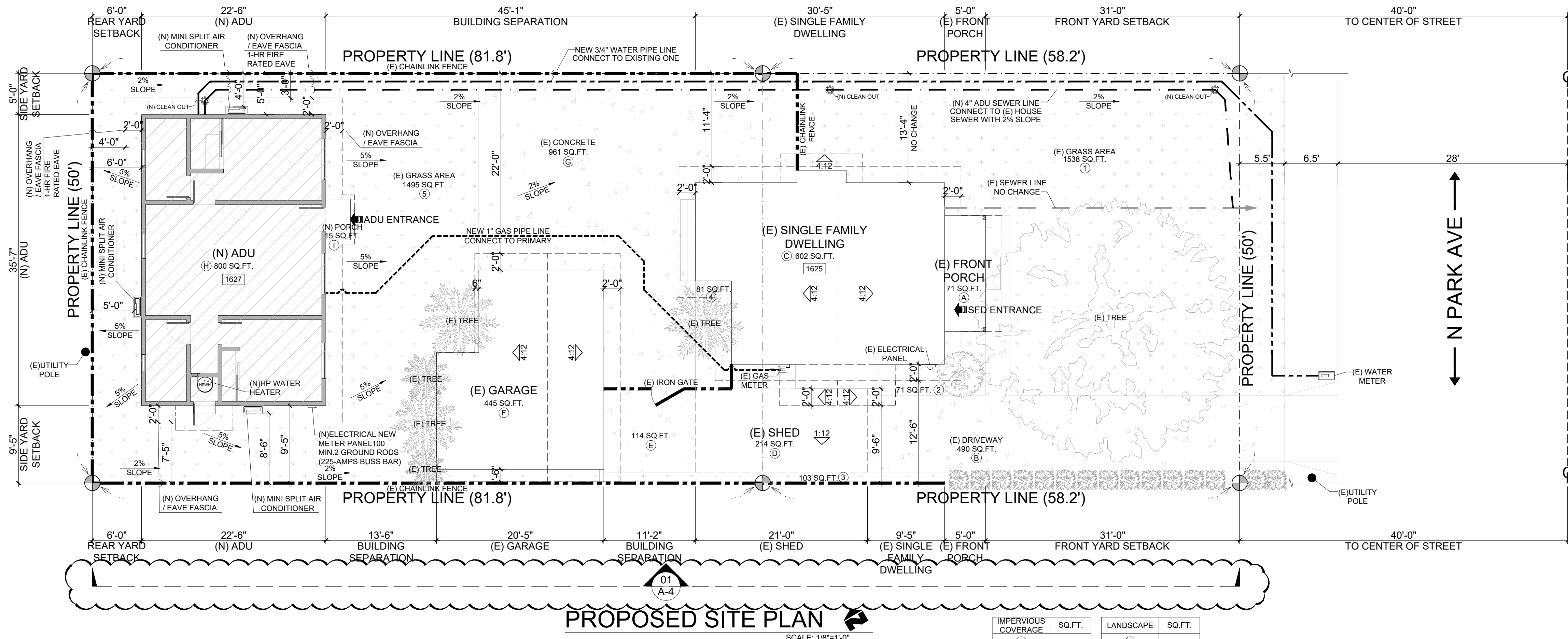
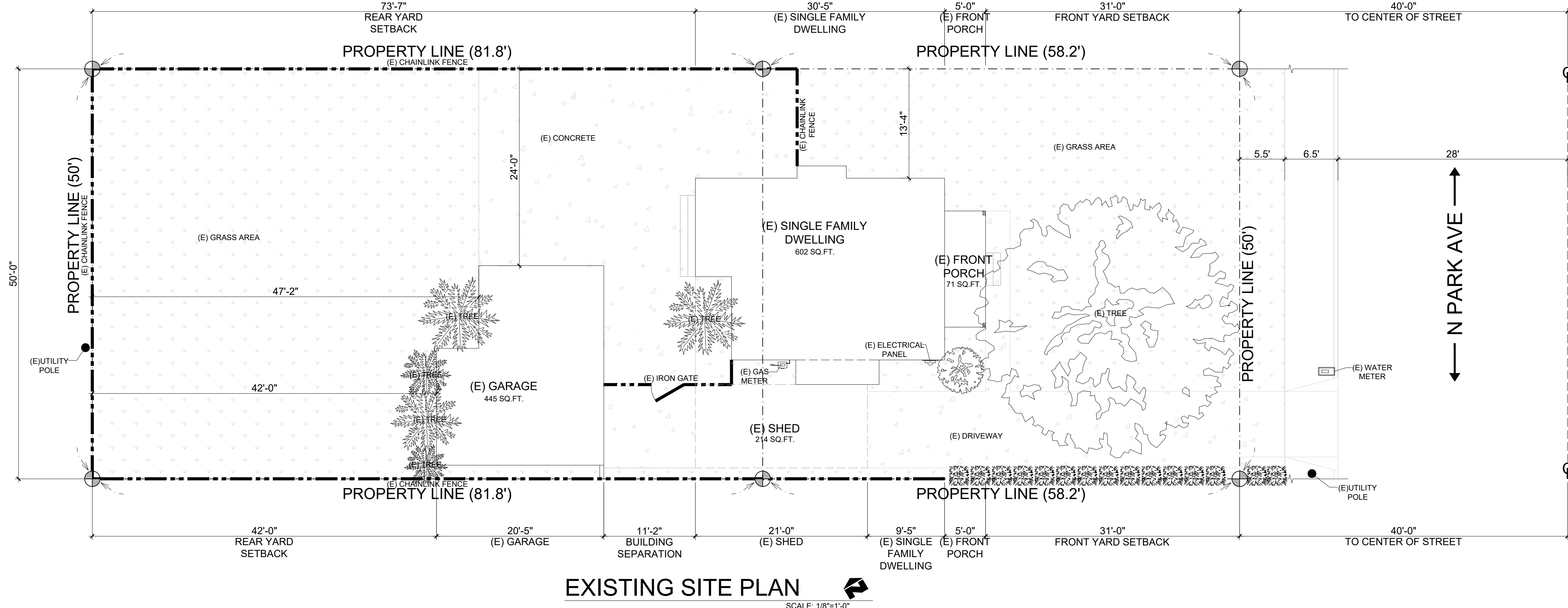
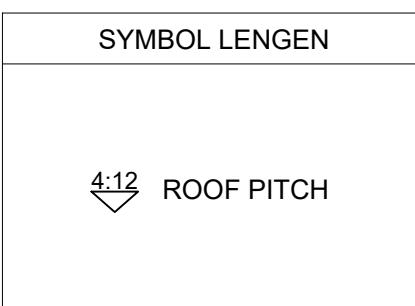
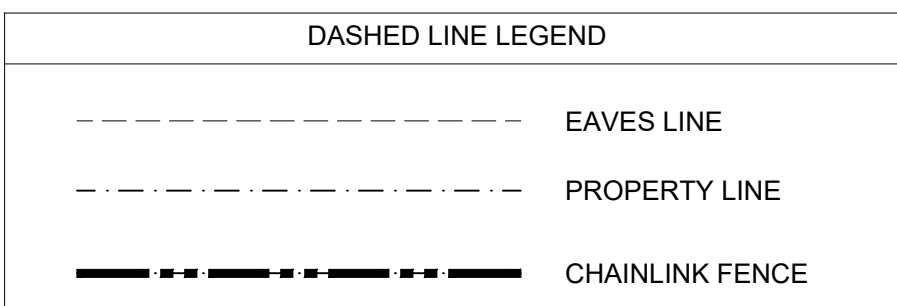
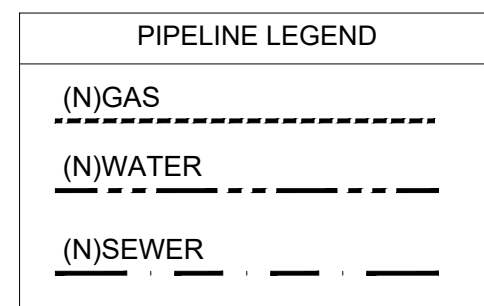
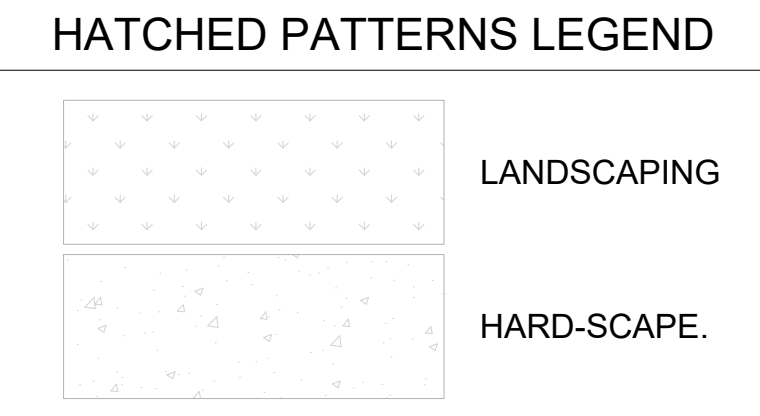
NOTE AND COMPLY:
 UNDER GROUNDING OF ALL EXISTING AND PROPOSED UTILITY LINES IS REQUIRED AS PER CITY OF POMONA MUNICIPAL CODE SECTION 62-31(B)(1).

THE PARKWAY LANDSCAPING SHALL BE MAINTAINED BY THE PROPERTY OWNER PER CITY OF POMONA MUNICIPAL CODE SECTION 46-496.

THE PROPERTY ABUTTING SIDEWALK, PARKWAY AND ALLEY, AS APPLICABLE, SHALL BE MAINTAINED FREE OF WEEDS, RUBBISH AND REFUSE BY THE PROPERTY OWNER, AS REQUIRED BY THE CITY'S MUNICIPAL CODE SECTION 18-261.

NOTE:
 NO SHEET FLOW OVER THE DRIVEWAY APPROACH IS ALLOWED. THE RAIN WATER SHALL BE CAPTURED VIA CATCH BASINS/TRENCH DRAINS AND DIRECTED TO THE STREET GUTTER VIA PARWAY DRAINS/CULVERTS CONSTRUCTED UNDER THE SIDEWALK, PER CITY STANDARDS A-29-10/A-30-10

NOTE:
 IT IS THE OWNER'S AND THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ALL DAMAGE TO THE EXISTING PUBLIC IMPROVEMENTS DUE TO THE PROPOSED CONSTRUCTION ACTIVITIES AND TO ADDRESS ALL REPAIRS REQUESTED BY THE PUBLIC WORKS INSPECTOR BASED ON THE INSPECTOR'S REVIEW OF THE CURRENT CONDITION OF THE SAID PUBLIC IMPROVEMENTS.



IMPERVIOUS COVERAGE	SQ. FT.	LANDSCAPE	SQ. FT.
(A)	71	(1)	1538
(B)	490	(2)	71
(C)	602	(3)	103
(D)	214	(4)	81
(E)	114	(5)	1495
(F)	445	TOTAL	3288
(G)	961		
(H)	800		
(I)	15		
TOTAL	3712		

IMPERVIOUS COVERAGE CALCULATION:
 (71+490+602+214+114+445+961+800+15)=3712/7000=53%
 LANDSCAPING CALCULATIONS FOR ENTIRE SITE (MINIMUM 20%):
 (1538+71+103+81+1495)=3288/7000=47%

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2	PC CORRECTION	02/20/2025	
1	PC CORRECTION	12/19/2024	
No.	Revisions	Date	OK

DESIGNER:
 MICHAEL ZHANG
 TEL: (626)505-6888

Drawing title
 SITE PLAN

Date: 06-06-2025 Drawing no.
 Scale: NOTED
 CSR:--
 Drawn by: HD
 Checked by: JJ
 File name: 1625 N PARK AVE, POMONA
 ALIGCUS

WALL LEGEND

(N) STUD WALL

GENERAL NOTES

SMOKE ALARMS SHALL BE HARDWIRED WITH BATTERY BACKUP AND INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OTHER ALARMS IN THE DWELLING UNIT. RETROFIT ALARMS MAY BE BATTERY OPERATED IN ROOMS WHERE CONSTRUCTION IS NOT PROPOSED.

CARBON MONOXIDE ALARMS SHALL BE HARDWIRED WITH BATTERY BACKUP AND INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OTHER ALARMS IN THE DWELLING UNIT. RETROFIT ALARMS MAY BE BATTERY OPERATED IN ROOMS WHERE ALTERATIONS/REPAIRS DO NOT RESULT IN THE REMOVAL OF WALLS OR CEILING FINISHES.

BUILDING IDENTIFICATION: BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY CRC.R319.1.

WALL COVERINGS IN SHOWERS AND TUBS WITH SHOWERHEADS SHALL BE CEMENT PLASTER, TILE, OR EQUAL TO 6-FEET (72") ABOVE DRAIN. ENCLOSURES MUST BE APPROVED SAFETY GLAZING AND DOORS (22" MIN. WIDTH) MUST SWING OUT OF SHOWERS. WINDOWS IN ENCLOSURE WALLS SHALL BE LABELED SAFETY GLAZING WHEN LESS THAN 60" ABOVE THE DRAIN.

LOW IMPACT DEVELOPMENT (LID): COMPLIANCE WITH LOW IMPACT DEVELOPMENT (LID) STANDARDS TO MITIGATE STORMWATER RUN-OFFS IS REQUIRED. INSTALL THE LID BEST MANAGEMENT PRACTICES (LID-BMP) AS SPECIFIED ON THE PLANS AND SCHEDULE FINAL INSPECTION WITH THE CITY ENGINEERING DIVISION AT (626)813-5255. FINAL INSPECTION APPROVAL AND CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE APPROVED LID-BMP'S ARE INSTALLED AND APPROVED.

ADDITIONAL PERMITS: CONTRACTORS/SUBCONTRACTORS SHALL SUBMIT SEPARATE APPLICATION(S) AND SECURE SEPARATE PERMIT(S) FOR:

- A. ELECTRICAL WORK
- B. MECHANICAL WORK
- C. PLUMBING WORK

LEGEND

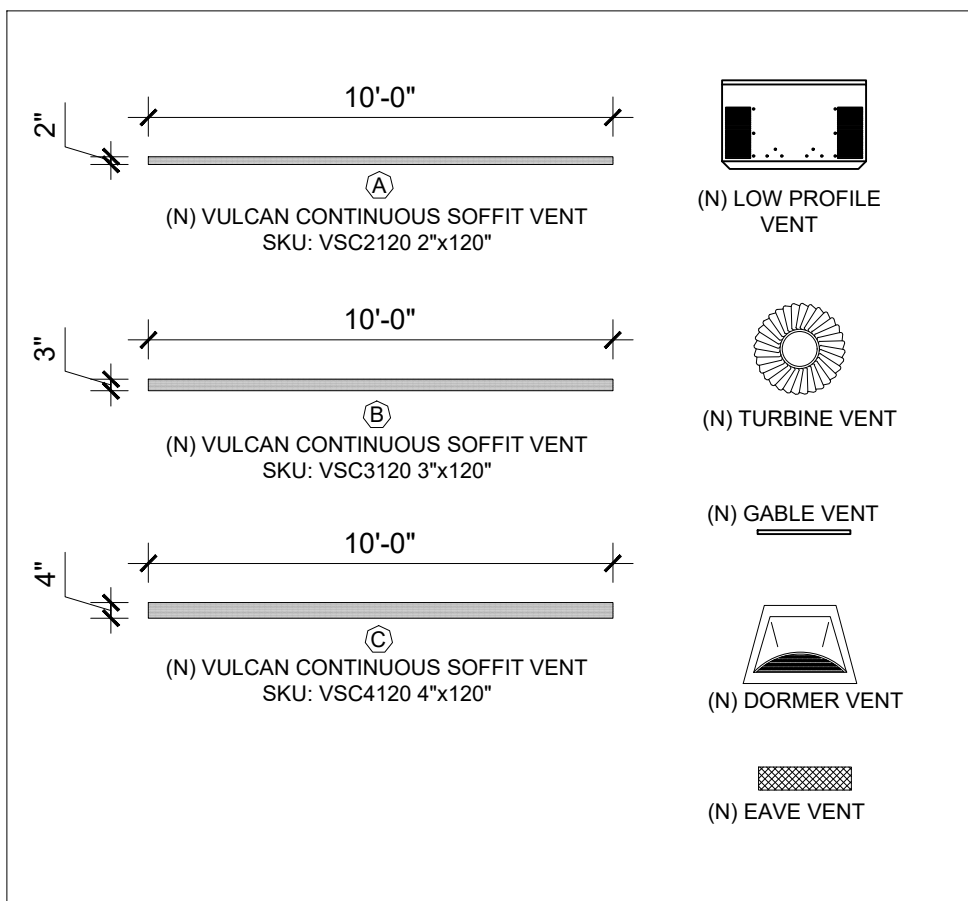
(HPWH)	(N)HP WATER HEATER
(N)ELECTRICAL NEW METER PANEL 100 AMP MIN. 2 GROUND RODS (225-AMPS BUSS BAR)	
(N) MINI SPLIT AIR CONDITIONER	
(N) AIR-CONDITIONING (INDOOR)	
"ENERGY STAR" EXHAUST FAN - 50 CFM MIN. VENTED TO OUTSIDE AIR WITH HUMIDITY CONTROL REQUIRED WITH SEPARATE SWITCH	

THE BEDROOM SHALL HAVE AN EMERGENCY EGRESS WINDOW THAT MEETS THE FOLLOWING REQUIREMENTS:

1. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET
2. MIN HORIZ OPENING 20"
3. MIN VERTICAL OPENING 24"
4. SILL IS NO MORE THAN 44" FROM FINISHED FLOOR.

NOTE: AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH REINFORCEMENT INSTALLED IN ACCORDANCE WITH THIS SECTION.

1. REINFORCEMENT SHALL BE SOLID LUMBER OR OTHER CONSTRUCTION MATERIALS APPROVED BY THE ENFORCING AGENCY.
2. REINFORCEMENT SHALL NOT BE LESS THAN 2 BY 8 INCH (51 MM BY 203 MM) NOMINAL LUMBER. [1 1/2 INCH BY 7 1/4 INCH (38 MM BY 184 MM) ACTUAL DIMENSION] OR OTHER CONSTRUCTION MATERIAL PROVIDING EQUAL HEIGHT AND LOAD CAPACITY. REINFORCEMENT SHALL BE LOCATED BETWEEN 32 INCHES (812.8 MM) AND 39 1/4 INCHES (997 MM) ABOVE THE FINISHED FLOOR FLUSH WITH THE WALL FRAMING.
3. WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE, OR ONE SIDE WALL AND THE BACK WALL.
4. SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.
5. BATHTUB AND COMBINATION BATHTUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHTUB AND THE BACK WALL. ADDITIONALLY, BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED WITH THE BOTTOM EDGE LOCATED NO MORE THAN 6 INCHES (152.4 MM) ABOVE THE BATHTUB RIM.

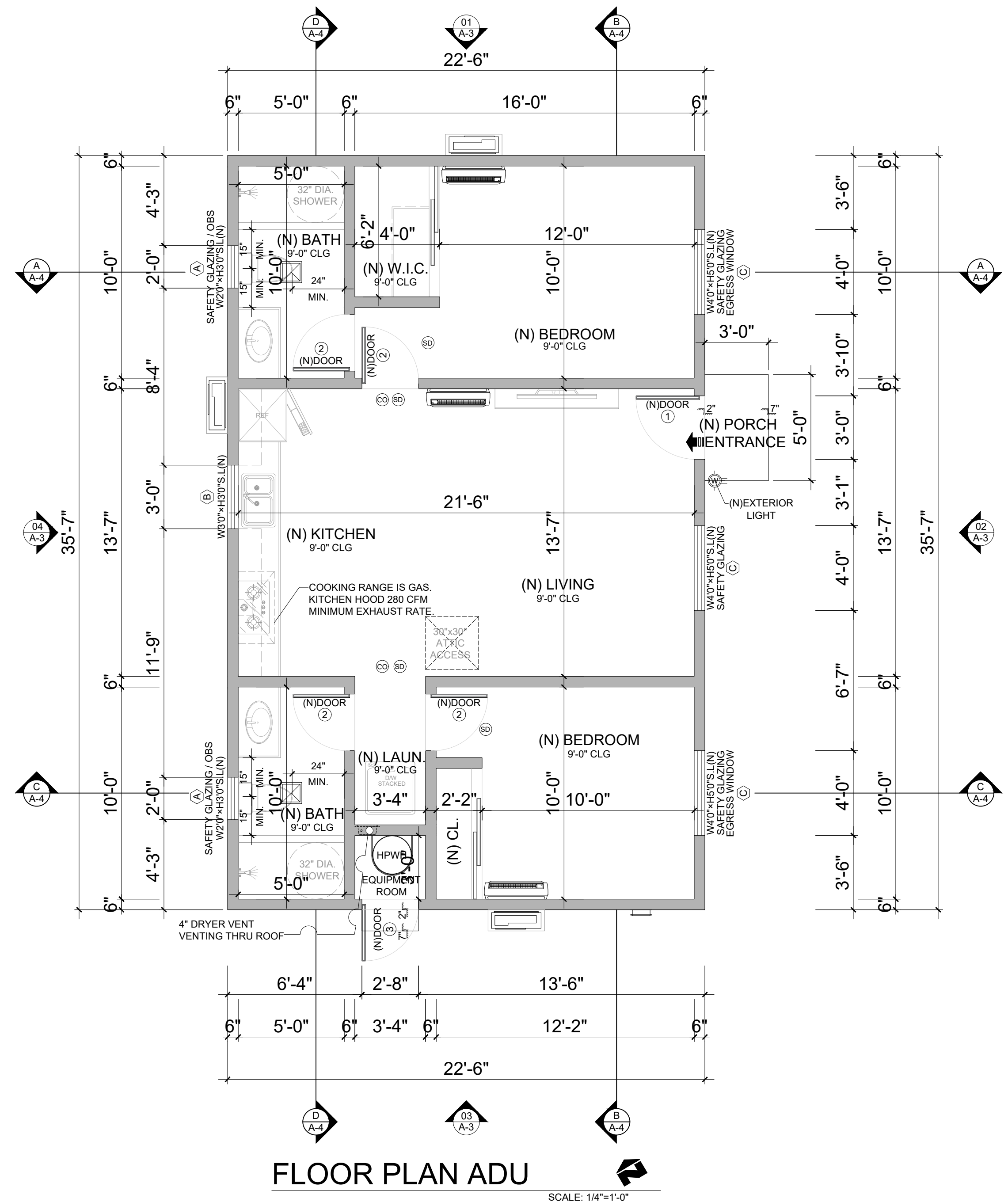


SAFETY GLAZING = TEMPERED GLAZING

THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED

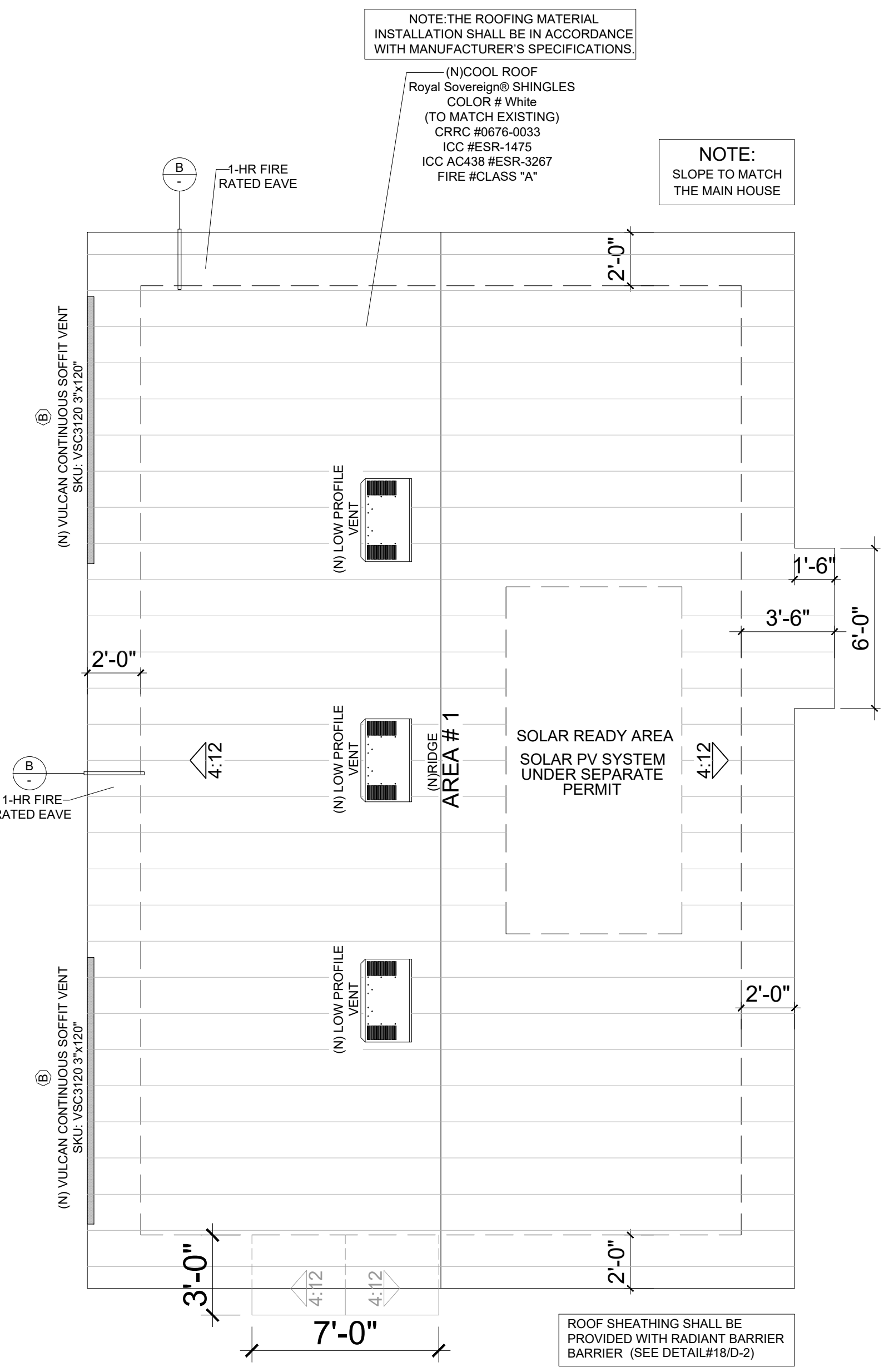
SPECIFIC NOTES

- 1) SEPERATE SUBMITTAL FOR PV SYSTEM SHALL BE SUBMITTED TO THE BUILDING DIVISION FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION
- 2) THE SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE COMPLIANT WITH CRC R314 AND R315
- 3) A MIN OF 1" OF SPACE SHALL BE PROVIDED BETWEEN THE UNSULATION AND THE ROOF SHEATING AND AT THE LOCATION OF VENTS CRC R806.3.3



FLOOR PLAN ADU

SCALE: 1/4"=1'-0"



ROOF PLAN ADU

SCALE: 1/4"=1'-0"

ATTIC VENTILATION CALCULATION

SQ.FT. x 300 x 144 = SQ.IN.

AREA	AREA #1	AREA #2	AREA #3	AREA #4
FLOOR AREA (UNIT:SQ.FT.)	800			
CALCULATED REQUIRED NET FREE VENTING AREA (UNIT:SQ.IN.)	384			

NET FREE VENTING AREA CALCULATION

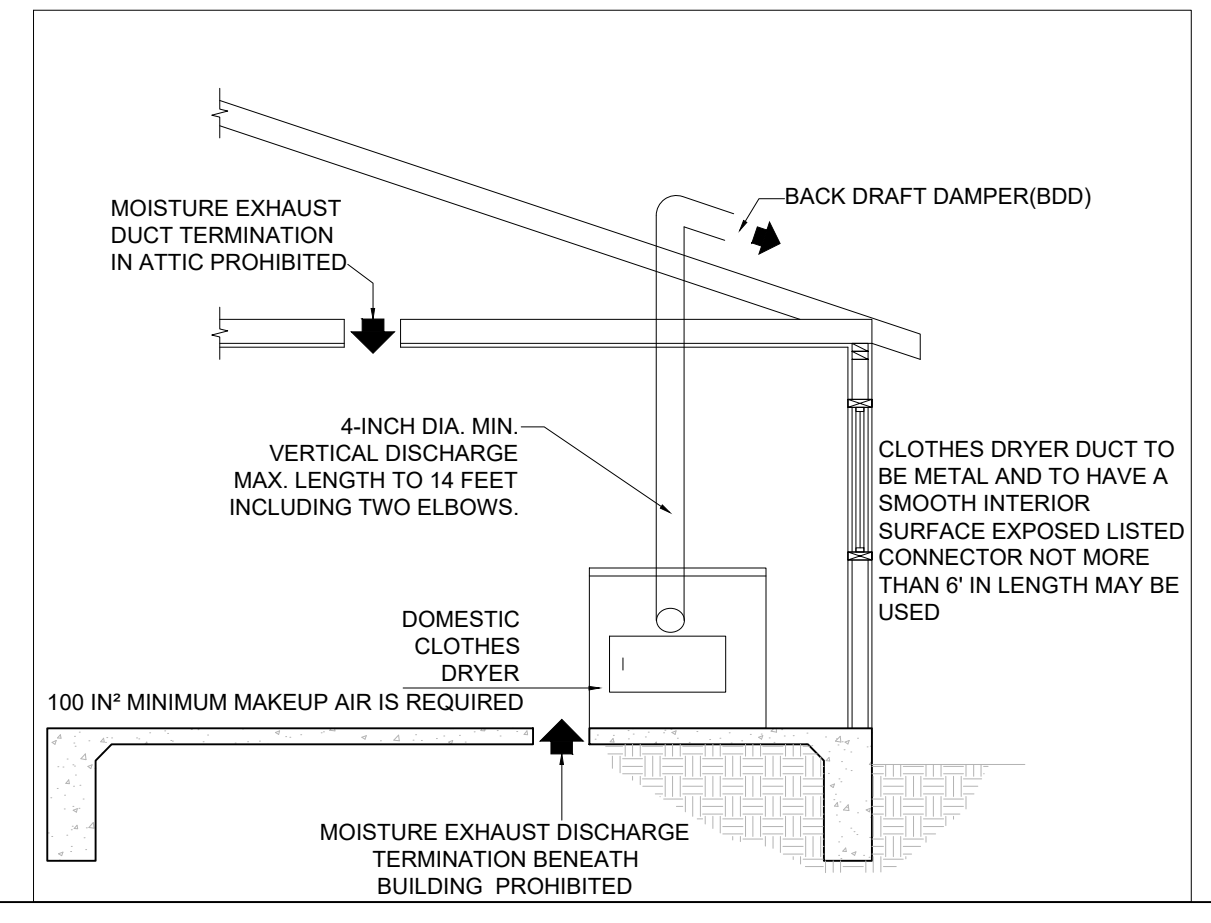
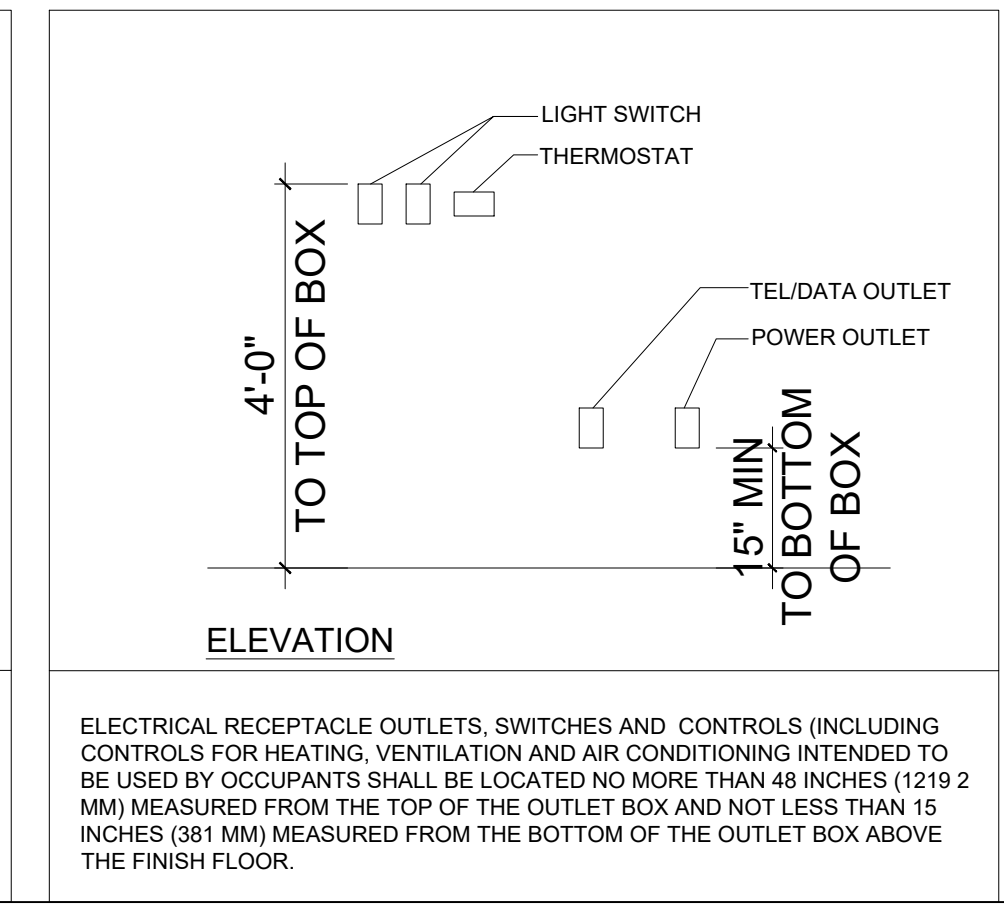
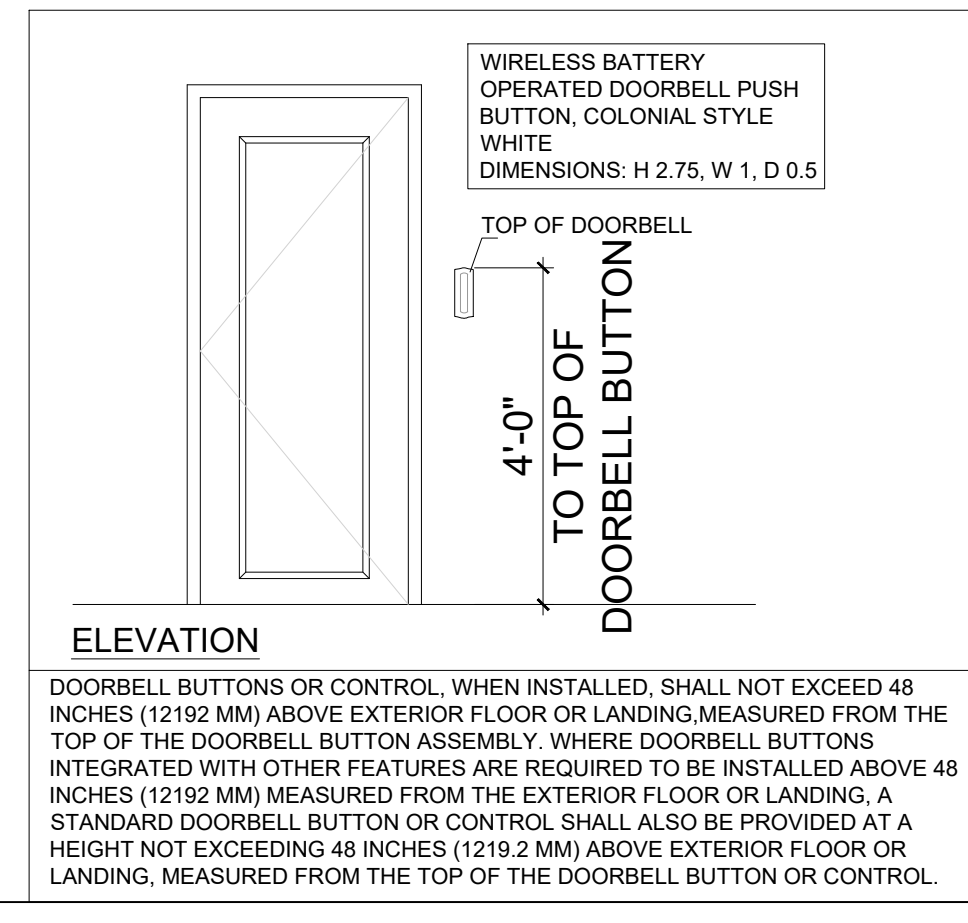
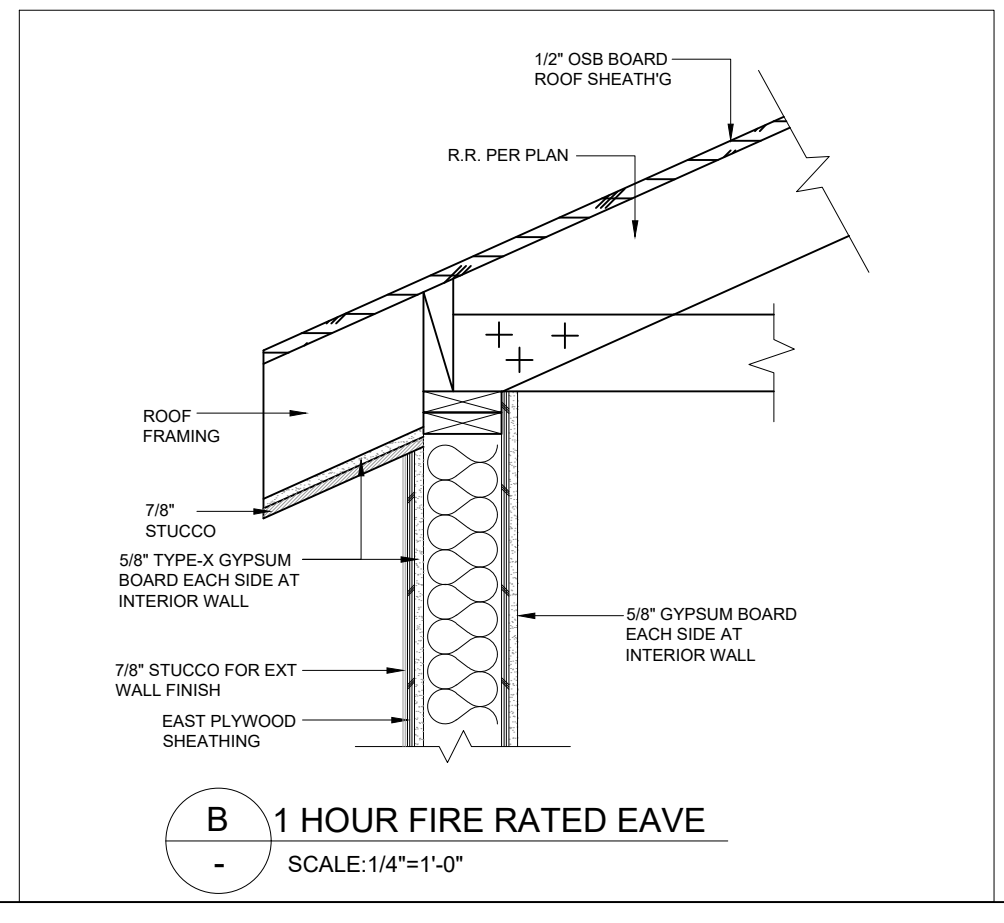
INTAKE NFVA (50% OF REQ. VENTILATION)

EAVE VENTS (48.9 SQ.IN. / VENT)	CONTINUOUS SOFFIT VENT (96 SQ.IN. / VENT)	CONTINUOUS SOFFIT VENT (144 SQ.IN. / VENT)	CONTINUOUS SOFFIT VENT (192 SQ.IN. / VENT)	TOTAL NFVA PROVIDED
	2			288

EXHAUST NFVA (50% OF REQ. VENTILATION)

TURBINE VENTS 14" (132 SQ.IN. / VENT)	DORMER VENTS (100 SQ.IN. / VENT)	TURBINE VENTS 12" (86 SQ.IN. / VENT)	CHAGIN LOW PROFILE VENT (86 SQ.IN. / VENT)	STATIC ROOF VENTS (60 SQ.IN. / VENT)	ROOF RIDGE VENT (18 SQ.IN. / FT.)	TOTAL NFVA PROVIDED
			3			216

TOTAL ATTIC VENTS: 5



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 1641 S. SAN GABRIEL BLVD. SUITE D
 SAN GABRIEL, CA, 91776
 TEL: (626)505-6888

ALIGCUS
 ARCHITECTURAL DESIGN SERVICES

1627 N PARK AVE, POMONA,
 CA 91768

Location

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DESIGNER:
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Drawing title

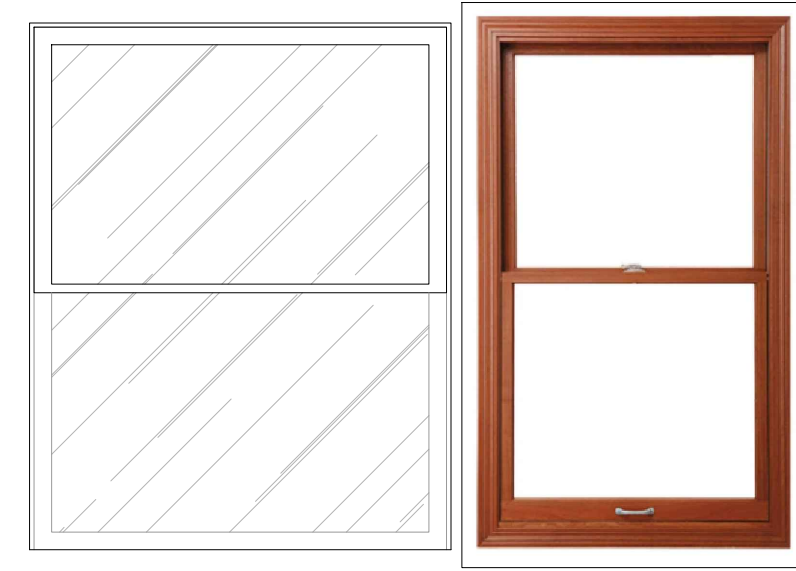
FLOOR / ROOF PLANS

Date: 06-06-2025	Drawing no.
Scale: NOTED	A-2
CSR:--	
Drawn by: HD	
Checked by: JJ	
File name: 1625 N PARK AVE, POMONA	

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COLOR AND MATERIAL SAMPLE BOARD

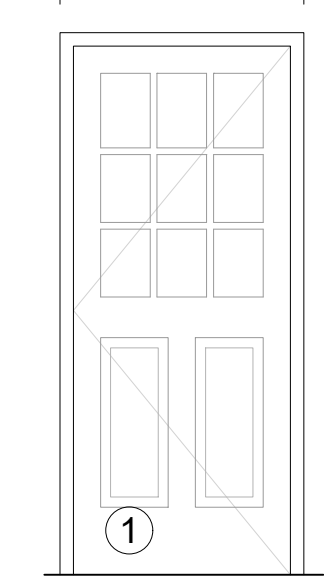
NOTE: TO MATCH PRIMARY DWELLING



WINDOW

PRODUCT NUMBER	MANUFACTURER SPECIFICATIONS	CLOOR
CUSTOM WINDOWS	PELLA® RESERVE™ – TRADITIONAL WOOD SINGLE-HUNG WINDOW DIMENSIONS : AVAILABLE IN SIZES UP TO 48" X 96" (PLEASE REFER TO ELEVATIONS/SCHEDULES FOR SPECIFIC DIMENSIONS)	PREFINISHED PINE (EXTERIOR FINISH IS REQUIRED)

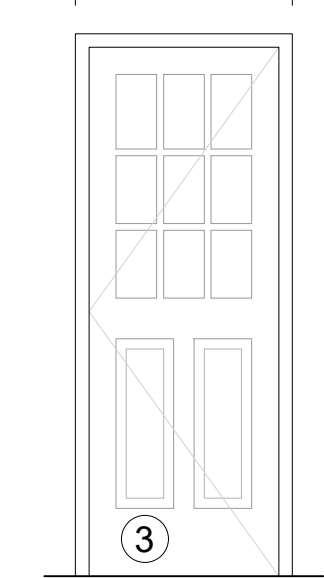
3'-0"



EXTERIOR DOOR

PRODUCT NUMBER	MANUFACTURER SPECIFICATIONS	CLOOR
MODEL # O10790	JELD-WEN 36 IN. X 80 IN. 9 LITE UNFINISHED WOOD PREHUNG LEFT-HAND INSWING ENTRY DOOR DIMENSIONS : H 80,W 36 IN, D 2 IN	PREFINISHED WOOD (EXTERIOR FINISH IS REQUIRED)

2'-8"



EXTERIOR DOOR

PRODUCT NUMBER	MANUFACTURER SPECIFICATIONS	CLOOR
MODEL # O10775	JELD-WEN 32 IN. X 80 IN. 9 LITE UNFINISHED WOOD PREHUNG LEFT-HAND INSWING ENTRY DOOR DIMENSIONS : H 80,W 32 IN, D 2 IN	PREFINISHED WOOD (EXTERIOR FINISH IS REQUIRED)



PRODUCT NUMBER	MANUFACTURER SPECIFICATIONS	CLOOR
MODEL # SHL39	PINECROFT PINE LOUVERED SHUTTERS PAIR UNFINISHED DIMENSIONS : W 15 IN, D 1.125 IN,H PENDING	PREFINISHED PINE (EXTERIOR FINISH IS REQUIRED)



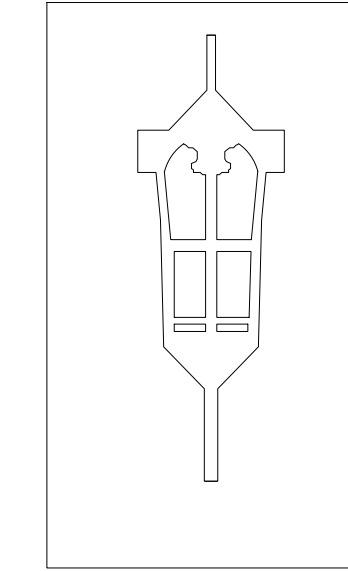
WINDOW / DOOR / LOUVERED SHUTTERS EXTERIOR FINISH

PRODUCT NUMBER	MANUFACTURER SPECIFICATIONS	CLOOR
DEA180 RL#469	DUNN-EDWARDS PAINTS	DEEP PINE

PRODUCT NUMBER	MANUFACTURER SPECIFICATIONS	CLOOR
MODEL # 4250 RT	SAN RAFAEL 1-LIGHT RUST COACH OUTDOOR WALL LIGHT FIXTURE WITH CLEAR GLASS DIMENSIONS : H 22 IN, W 9.5 IN, D 10 IN	BLACK

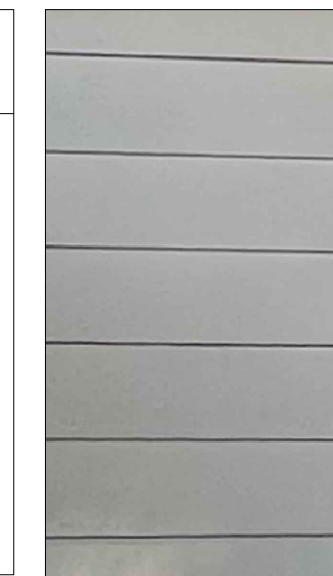


EXTERIOR LIGHT

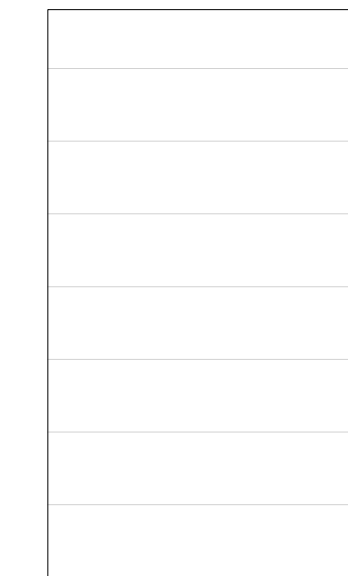


EXTERIOR LIGHT

PRODUCT NUMBER	MANUFACTURER SPECIFICATIONS	CLOOR
MODEL # 60150735PAL	MAGNOLIA HOME HARDIE PLANK HZ5 6.25 IN. X 144 IN. FIBER CEMENT SMOOTH LAP SIDING BIRCH TREE DIMENSIONS : COVER AREA (SQ.FT.) 5 SQ.FT. PRODUCT THICKNESS (IN.) 0.312 IN PRODUCT LENGTH (IN.) 144 IN PRODUCT WINDTH (IN.) 6.25 IN	WHITE

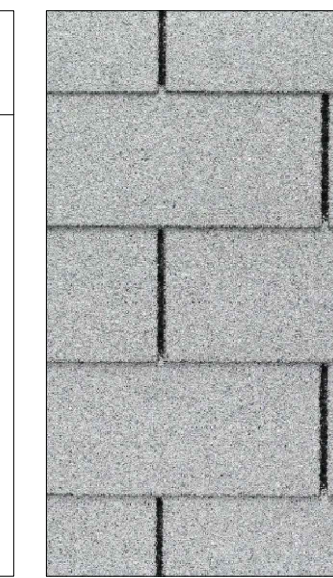


SIDING

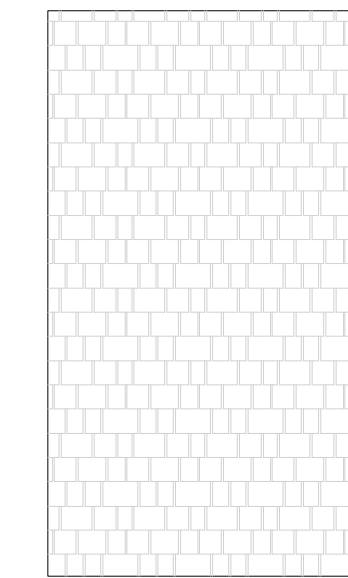


SIDING

PRODUCT NUMBER	MANUFACTURER SPECIFICATIONS	CLOOR
MODEL # 0202920	ROYAL SOVEREIGN WHITE ALGAE RESISTANT 3-TAB ROOFING SHINGLES DIMENSIONS : COVER AREA (SQ.FT.) 33.33 SQ.FT. PRODUCT THICKNESS (IN.) 2.4 IN PRODUCT LENGTH (IN.) 36 IN PRODUCT WINDTH (IN.) 26 IN	WHITE

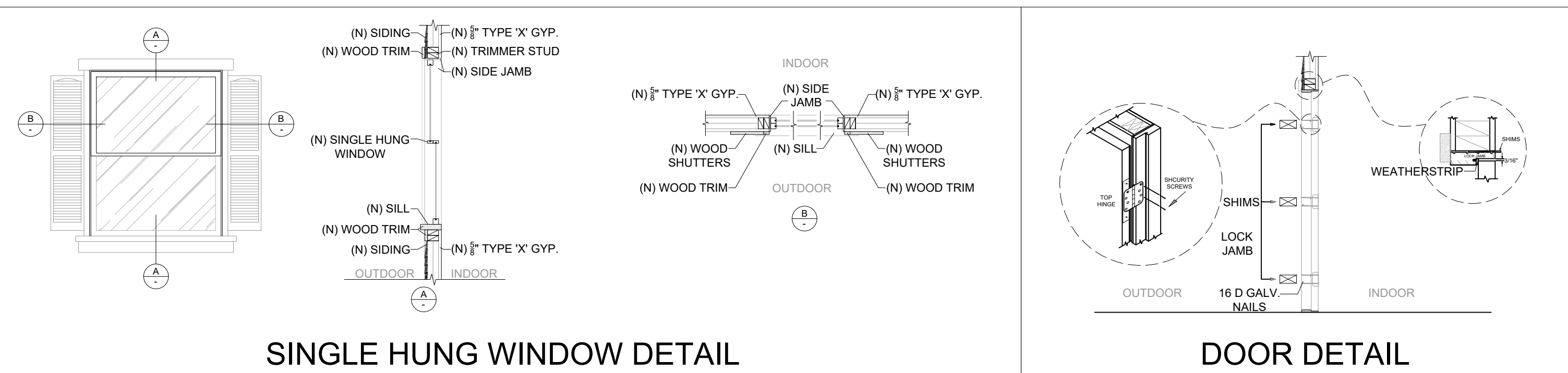


ROOF MATERIAL



ROOF MATERIAL

WINDOW AND DOOR DETAIL



SINGLE HUNG WINDOW DETAIL

DOOR DETAIL

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TEL: (626)505-6888



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Location

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DESIGNER:
MICHAEL ZHANG
TEL: (626)505-6888

Drawing title
COLOR AND MATERIAL SAMPLE BOARD

Date: 06-06-2025	Drawing no.
Scale: NOTED	A-3.1
CSR:--	
Drawn by: HD	
Checked by: JJ	

File name: 1625 N PARK AVE, POMONA

ALIGCUS



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3	PC CORRECTION	12/19/2024	

DESIGNER:
MICHAEL ZHANG
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Drawing title
ADU
RENDERING

Date: 06-06-2025
Scale: NOTED
SR:--
Drawn by: HD
Checked by: JJ
Drawing no.
A-3.2

File name: 1625 N PARK AVE, POMONA
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A MINIMUM 0.019-INCH (0.5 MM) (NO. 26 GALVANIZED SHEET GAGE) WEEP SCREED WITH A 3/8" FLANGE AT STUCCO SIDING PLACED A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS (CRC R703.6.2.1) BOTH ADU AND DWELLING

NOTE: THE EXTERIOR DESIGN OF THE ADU SHALL MATCH THAT OF THE MAIN DWELLING UNIT IN TERMS OF BUILDING FORM MATERIALS USED, COLOR, EXTERIOR FINISHES, ROOF FORM, AND STYLE OF WINDOWS/DOOR

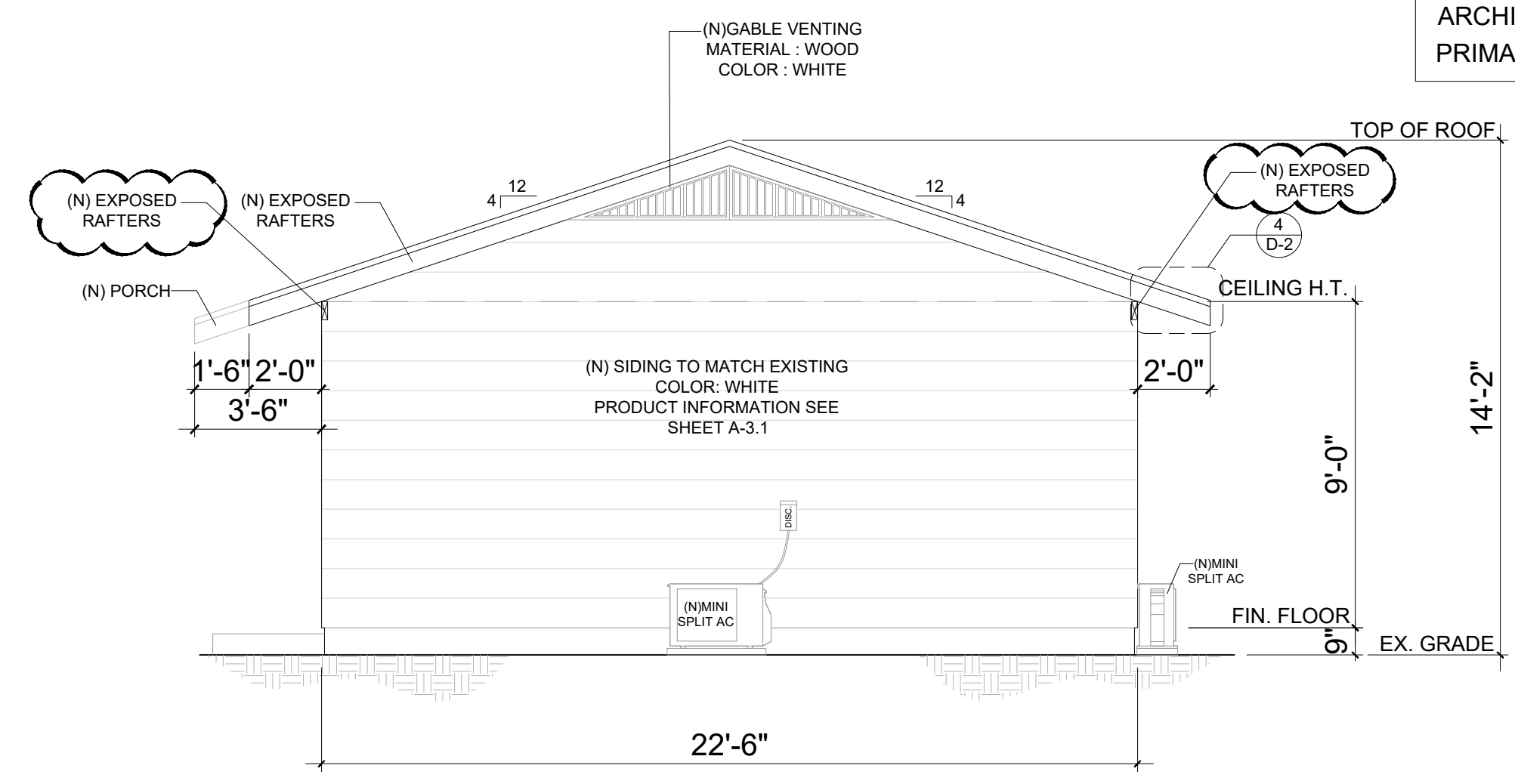
ROOF PITCH NOTE
PRIMARY HOUSE ROOF PITCH - 4:12
PROPOSED ADU ROOF PITCH - 4:12
ROOF PITCH WILL MATCH THE EXISTING PRIMARY HOUSE

ROOF INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

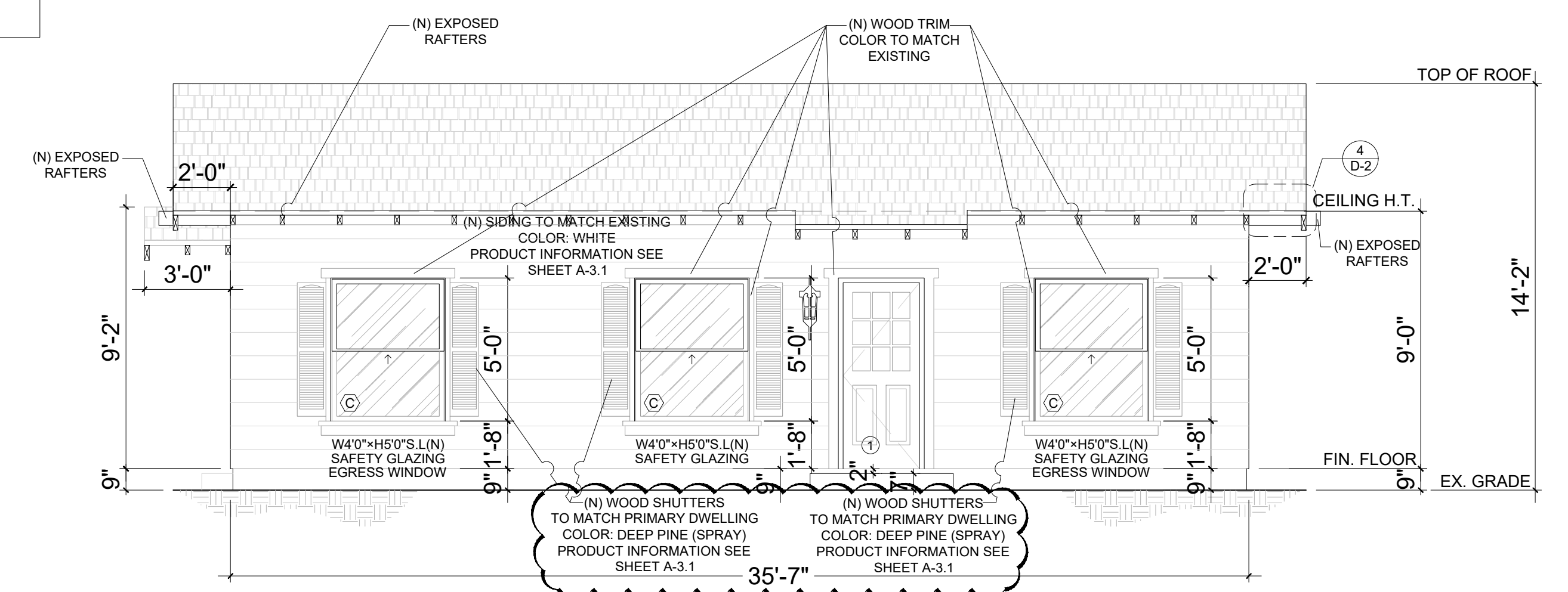
NOTE:
1. ALL EXTERIOR WINDOWS ARE SINGLE-HUNG AND HAVE A WOOD TRIM
2. ALL EXTERIOR WINDOWS HAVE SHUTTERS
3. ALL EXTERIOR DOORS HAVE A WOOD TRIM

ADU WILL MATCH IN APPEARANCE AND ARCHITECTURAL DESIGN TO THAT OF THE PRIMARY DWELLING

NOTE:
EXISTING DWELLING SIDING: 6" WIDTH, SIDING ON THE NEW ADU MATCH THE WIDTH OF THE EXISTING DWELLING

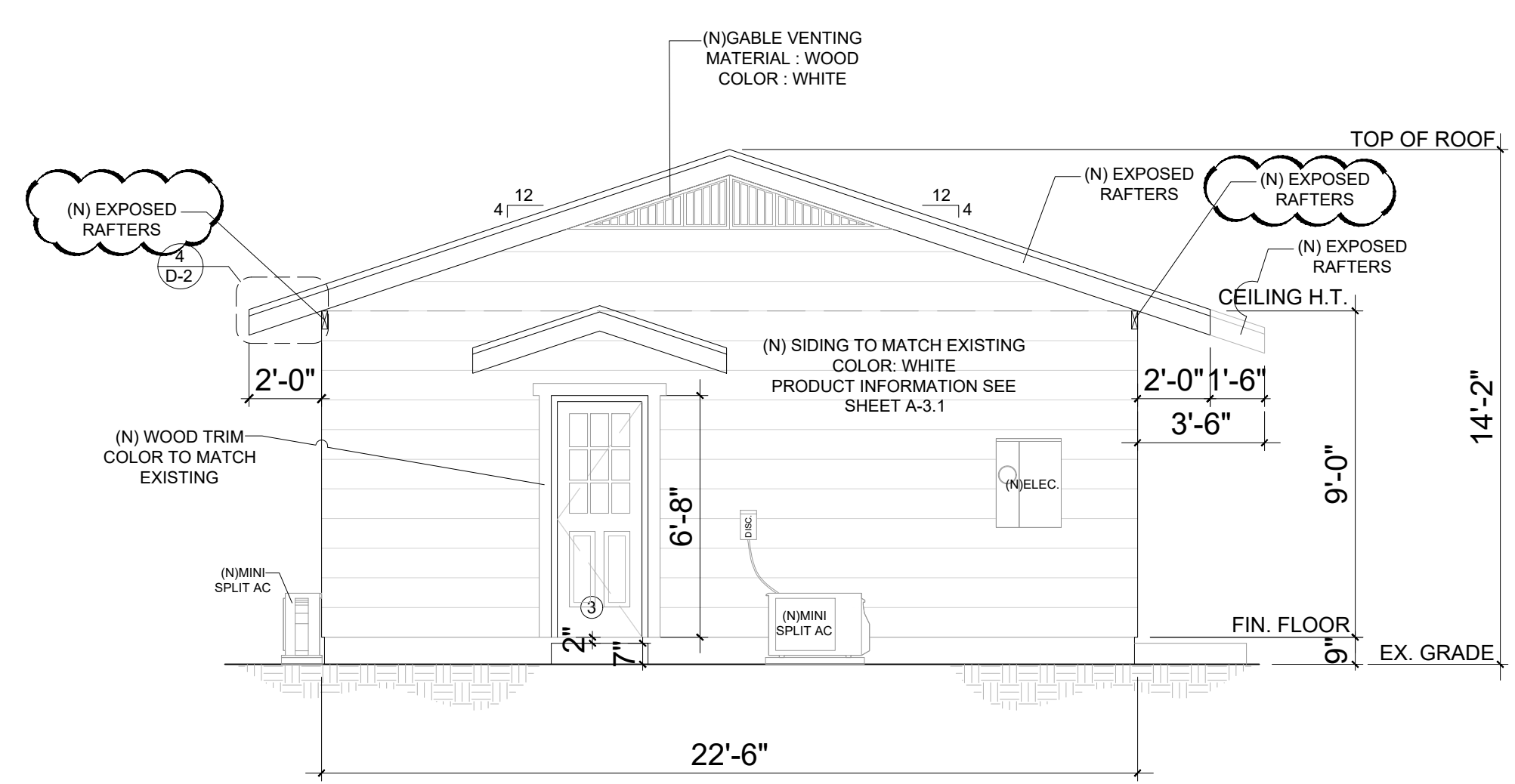


01 NORTH ELEVATION
SCALE: 1/4"=1'-0"

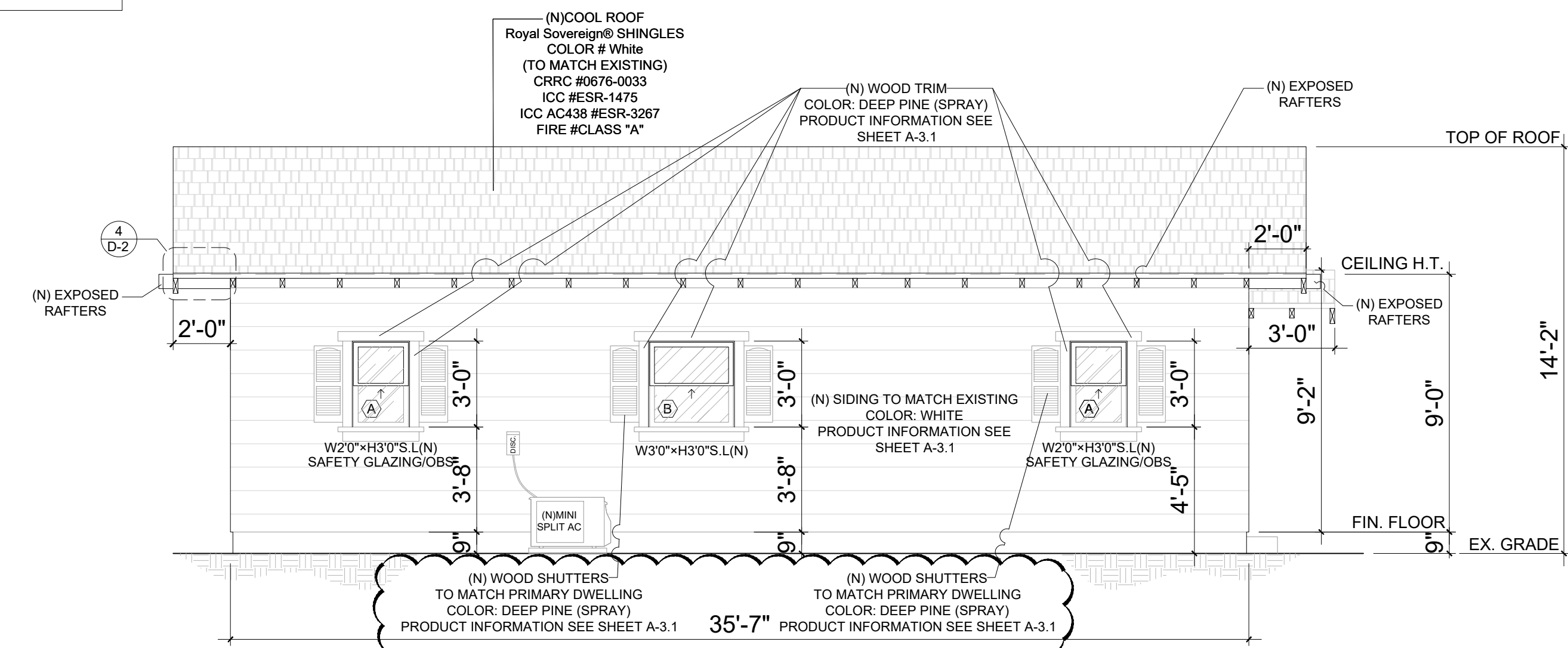


02 EAST ELEVATION
SCALE: 1/4"=1'-0"

DETAIL NOTE:
WINDOW AND DOOR
DETAIL SEE SHEET A-3.1



03 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



04 WEST ELEVATION
SCALE: 1/4"=1'-0"

DOOR AND WINDOW NOTE
THE DOOR AND WINDOW
COLOR, MATERIAL, TRIM, AND
STYLE TO MATCH EXISTING

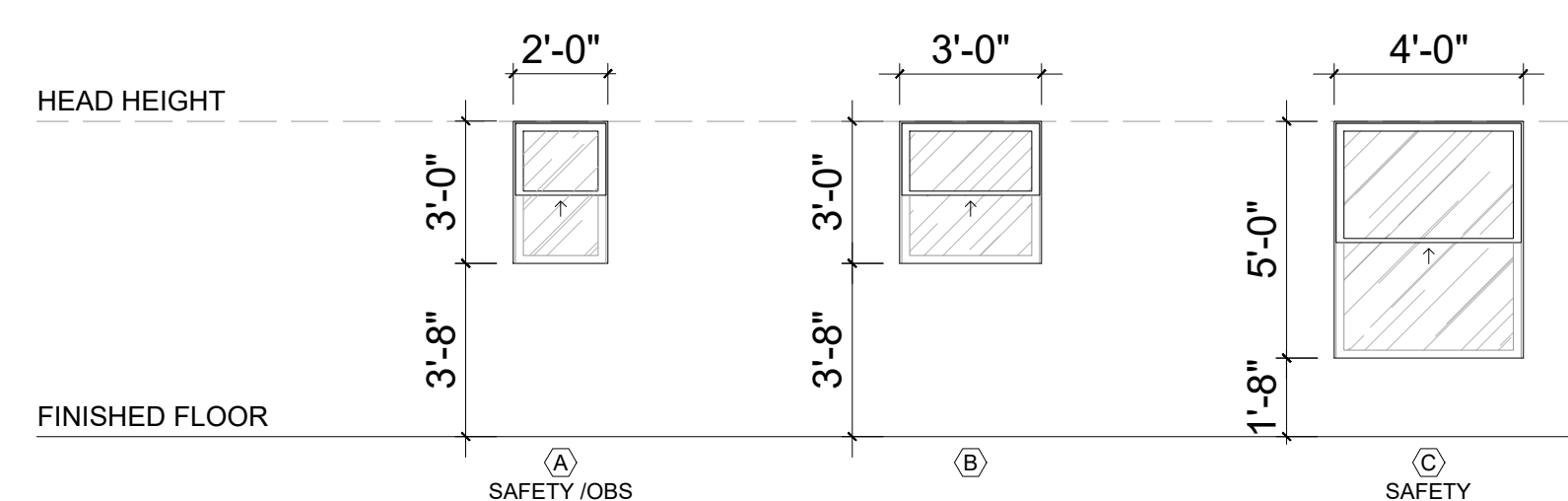
THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED

*OBS = OBSCURED GLAZING
*SAFETY = TEMPERED GLAZING

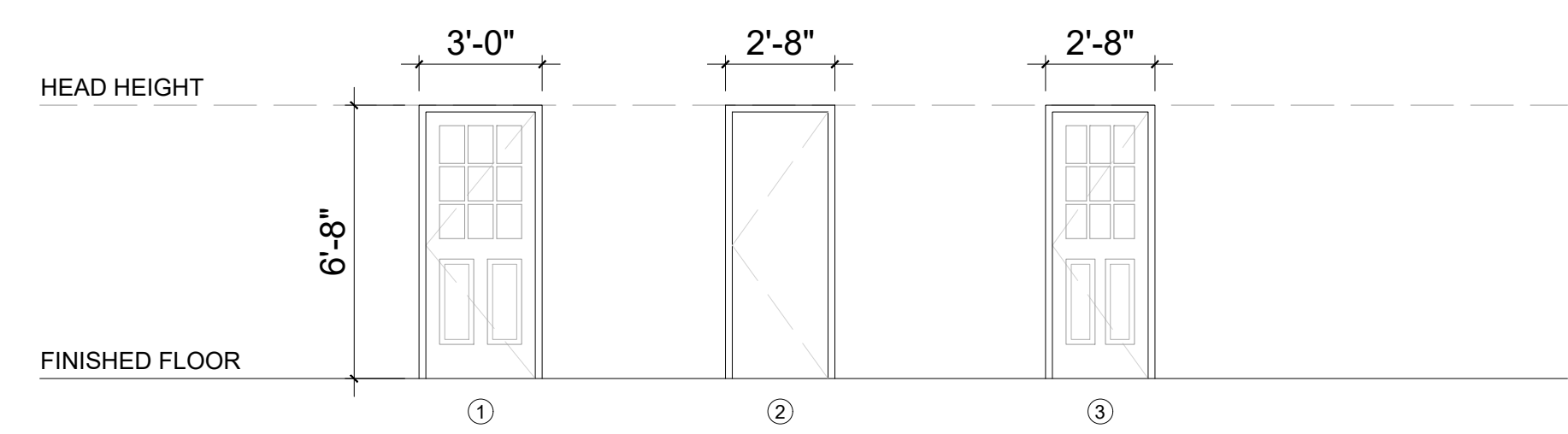
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2. MIN HORIZ OPENING 20"
3. MIN VERTICAL OPENING 24"
4. SILL IS NO MORE THAN 44" FROM FINISHED FLOOR.

THE LOAD RESISTANCE OF GLASS UNDER UNIFORM LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E1300.

DOOR AND WINDOW NOTE
THE STYLE OF THE DOORS AND WINDOWS IS WOOD, IN THE CALIFORNIA BUNGALOW STYLE



THE DOOR AND WINDOW
COLOR TO MATCH EXISTING



WINDOW SCHEDULE										
SYMBOL	SIZE		MATERIAL			U-FACTOR	SHGC	REMARK	UNITS	STYLE
	WIDTH	HEIGHT	WOOD	SAFETY	OBS					
(A)	2'-0"	3'-0"	X	X	X	0.30	0.23	BATHROOM	2	SINGLE-HUNG
(B)	3'-0"	3'-0"	X			0.30	0.23	KITCHEN	1	SINGLE-HUNG
(C)	4'-0"	5'-0"	X	X		0.30	0.23	BEDROOM/LIVING	3	SINGLE-HUNG

DOOR SCHEDULE (U-FACTOR: 0.2 SHGC: 0.23)										
SYMBOL	SIZE	THICKNESS	MATERIAL	CONSTRUCT.	TYPE	FINISH	GLAZING	REMARK	UNITS	
①	3'-0" X 6'-8"	1 3/8"	WOOD	SOLID	TEMP. HARDBOARD	PAINTED	N/A	EXTERIOR	1	
②	2'-8" X 6'-8"	1 3/8"	WOOD	SOLID	TEMP. HARDBOARD	PAINTED	N/A	INTERIOR	4	
③	2'-8" X 6'-8"	1 3/8"	WOOD	SOLID	TEMP. HARDBOARD	PAINTED	N/A	EXTERIOR	1	

COLOR BOARD

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ALIGCUS
ADMINISTRATIVE CONSTRUCTION

Location
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No. Revisions Date CK

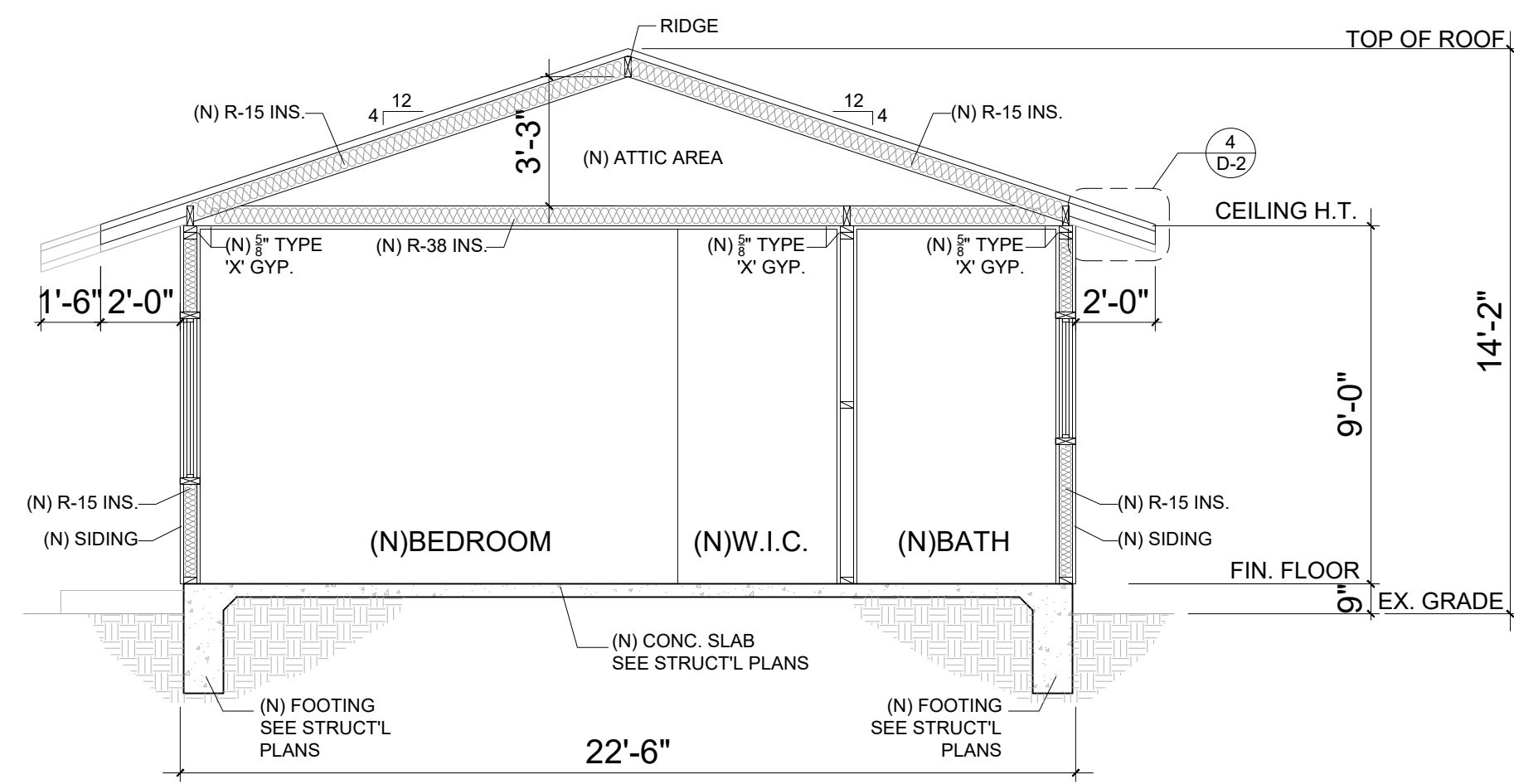
DESIGNER:
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TEL: (626)505-6888

Drawing title
ELEVATIONS / SCHEDULES

Date: 06-06-2025 Drawing no.
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A-3

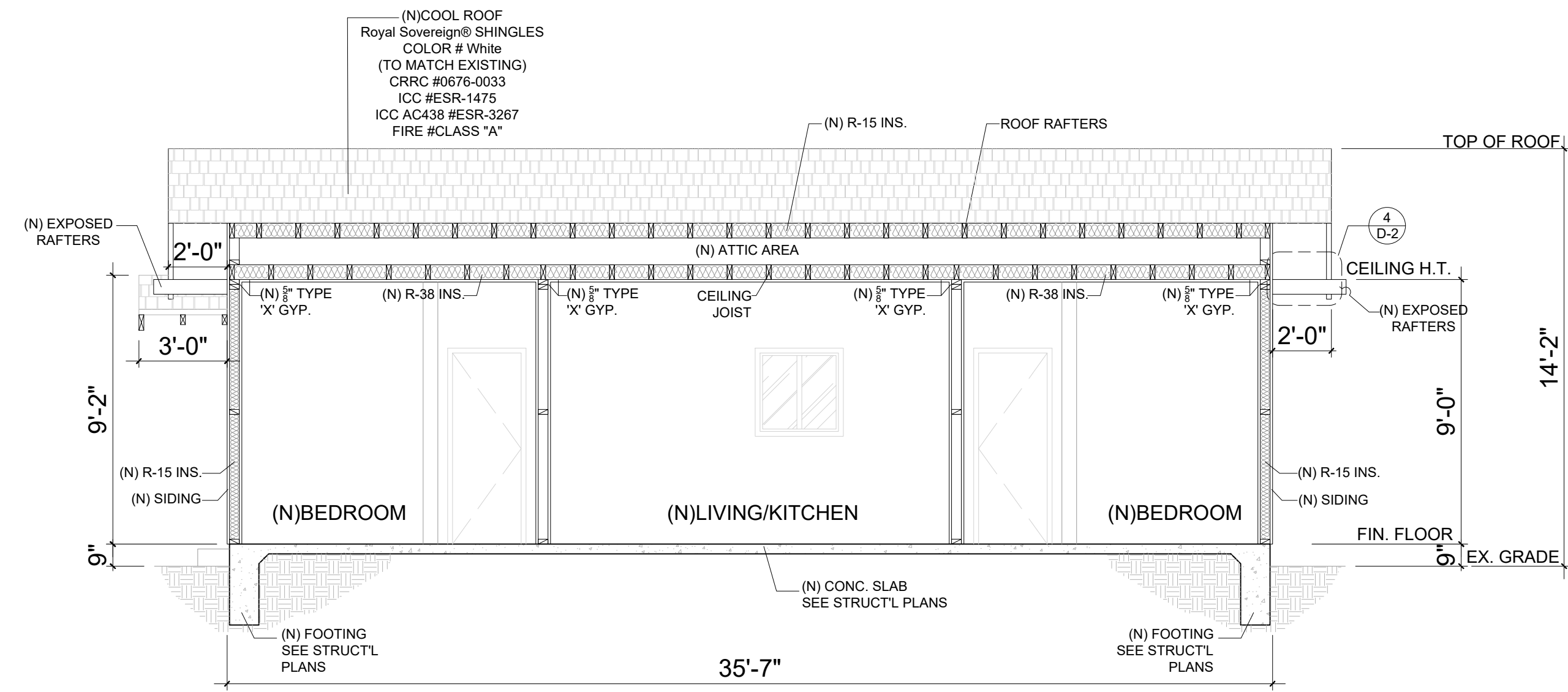
ALIGCUS



SECTION A

SCALE: 1/4" = 1'-0"

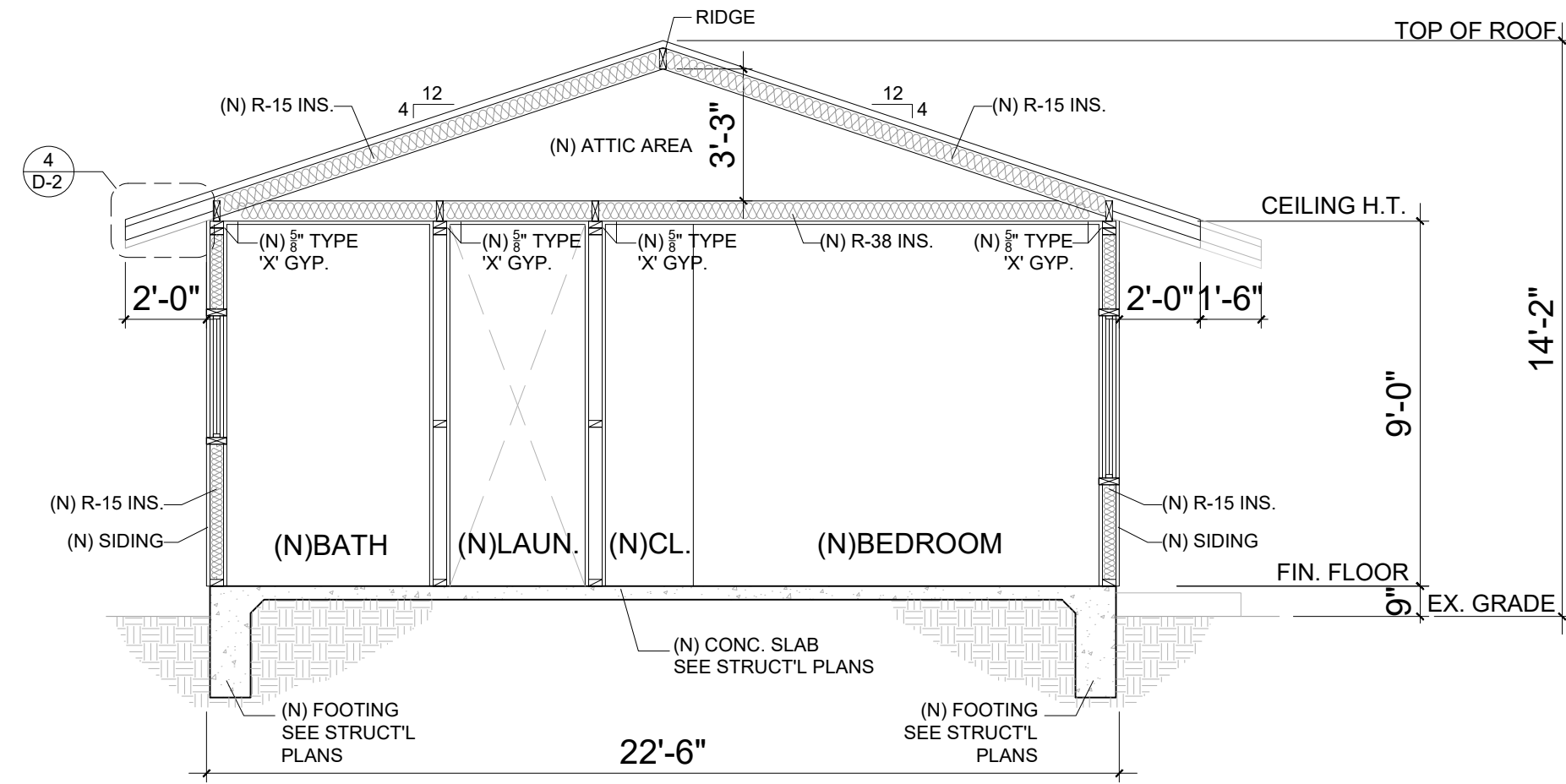
A



SECTION B

SCALE: 1/4" = 1'-0"

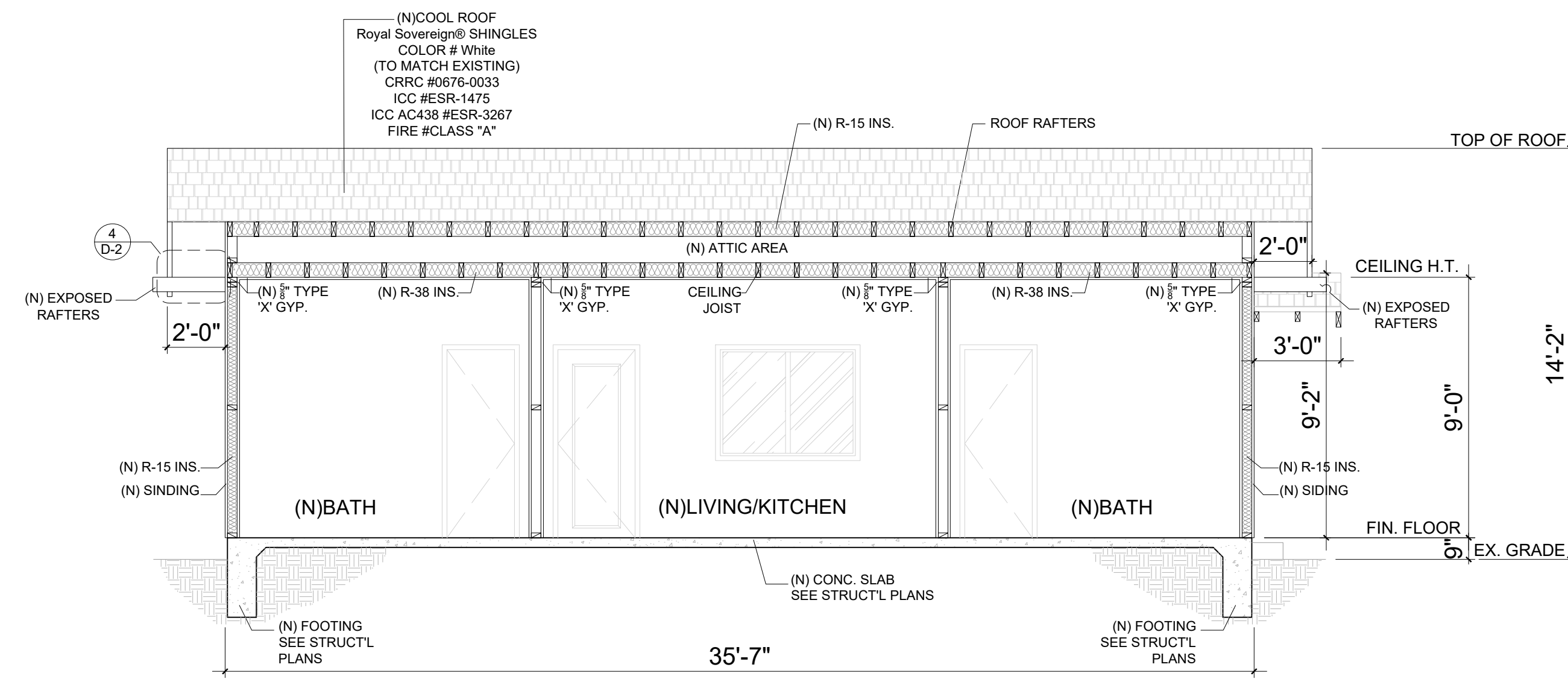
B



SECTION C

SCALE: 1/4" = 1'-0"

C

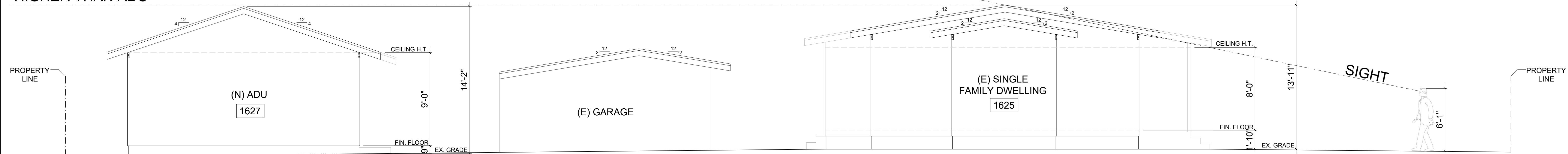


SECTION D

SCALE: 1/4" = 1'-0"

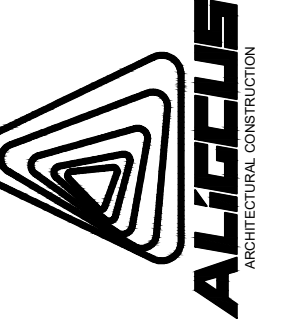
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PRIMARY DWELLING
HIGHER THAN ADU



01 SITE PLAN ELEVATION

ALI CONSTRUCTION
ARCHITECTURAL DESIGN SERVICES
1841 S. SAN GABRIEL BLVD. SUITE D
SAN GABRIEL, CA, 91776
TEL: (626)505-6888



1627 N PARK AVE, POMONA,
CA 91768

Location

NOTES:
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3. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

Revisions	Date	CK
1	12/19/2024	
2	02/20/2025	
3	04/24/2025	

DESIGNER:
MICHAEL ZHANG
TEL: (626)505-6888

Drawing title
SECTIONS

Date: 06-06-2025

Scale: NOTED

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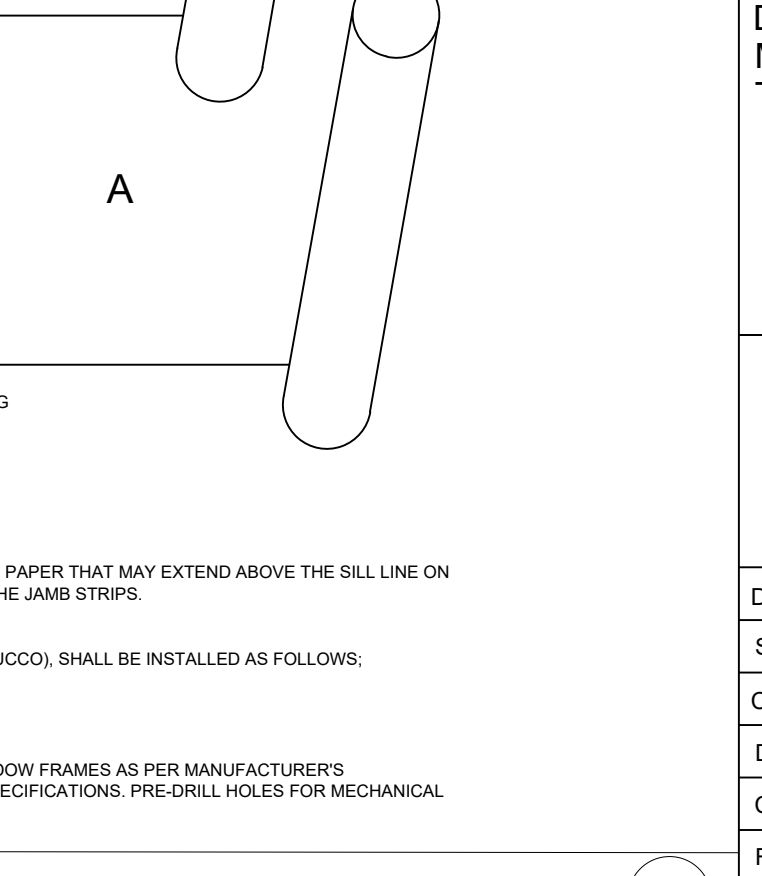
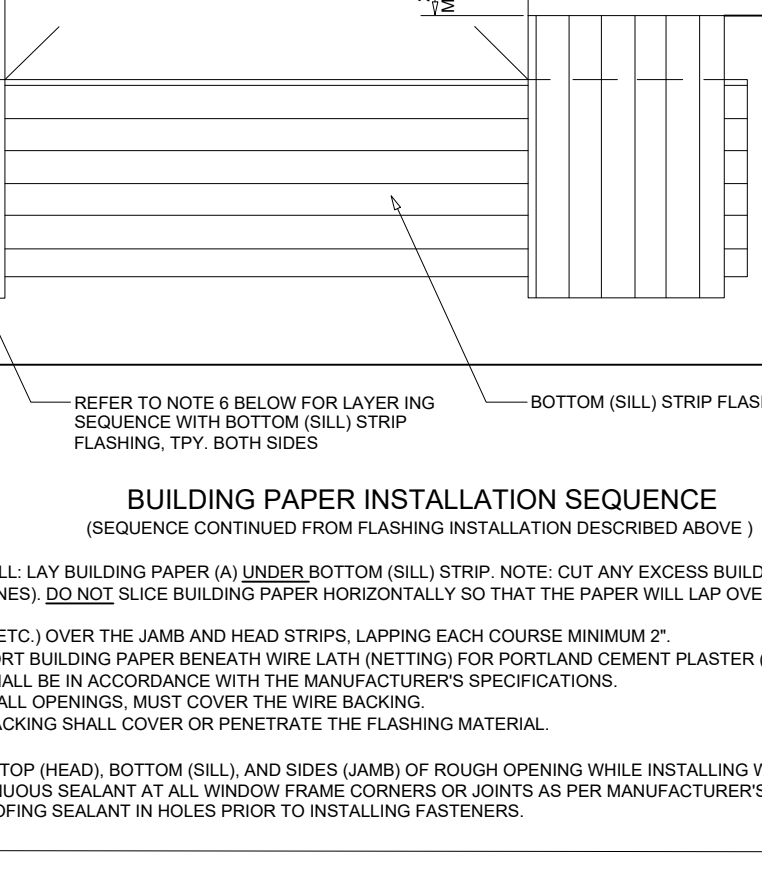
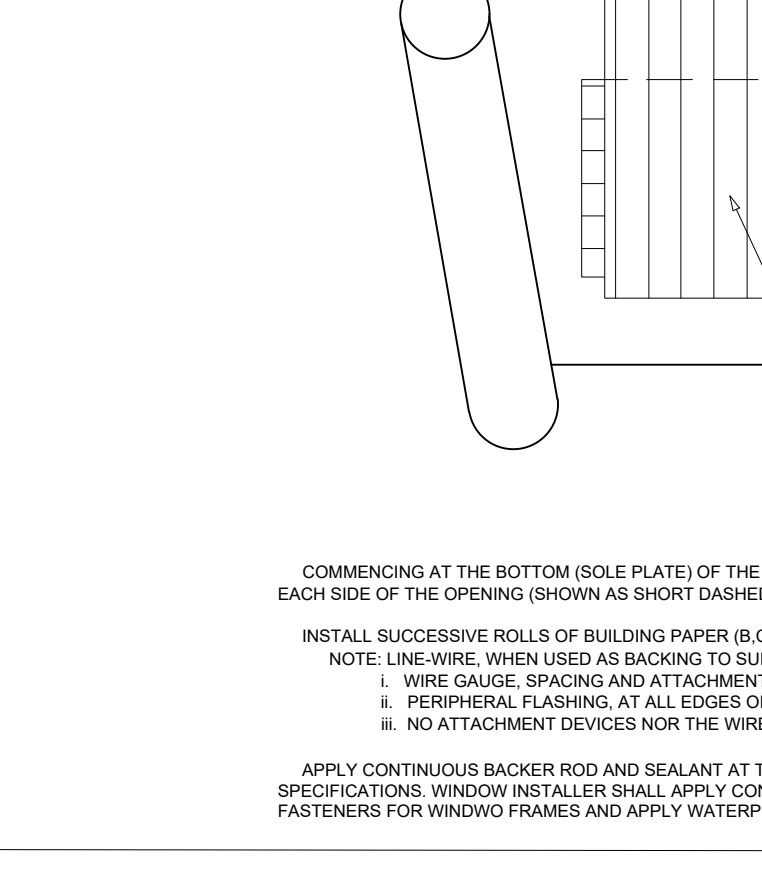
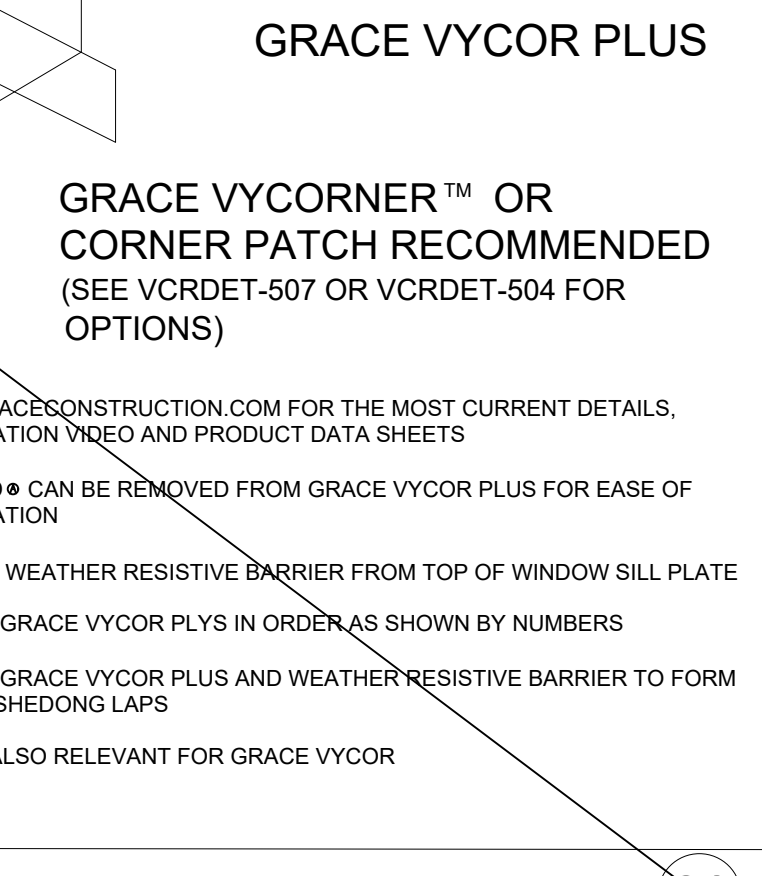
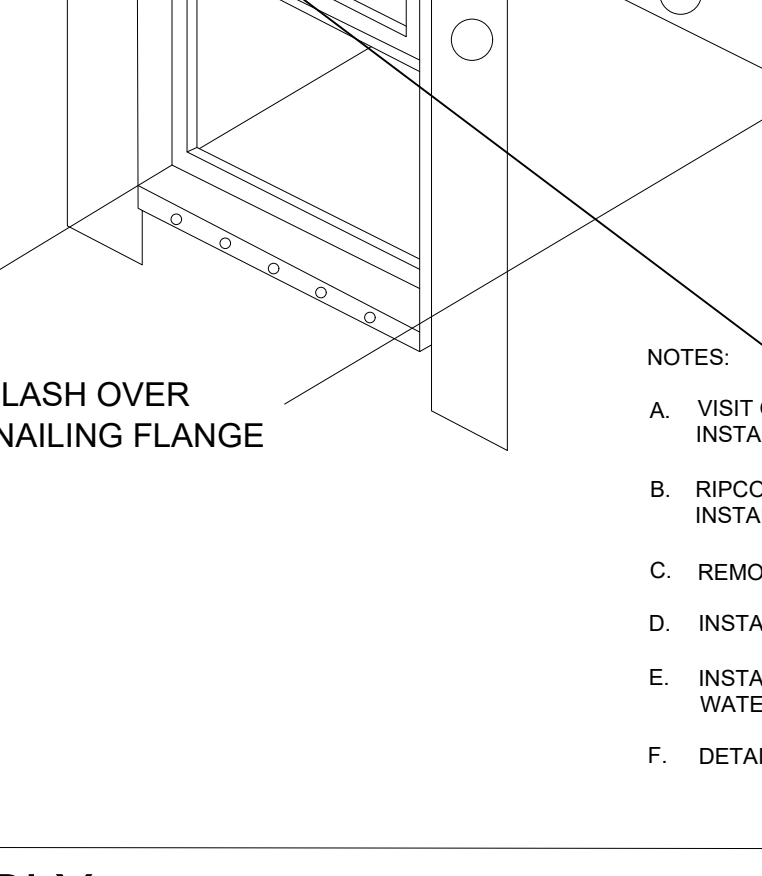
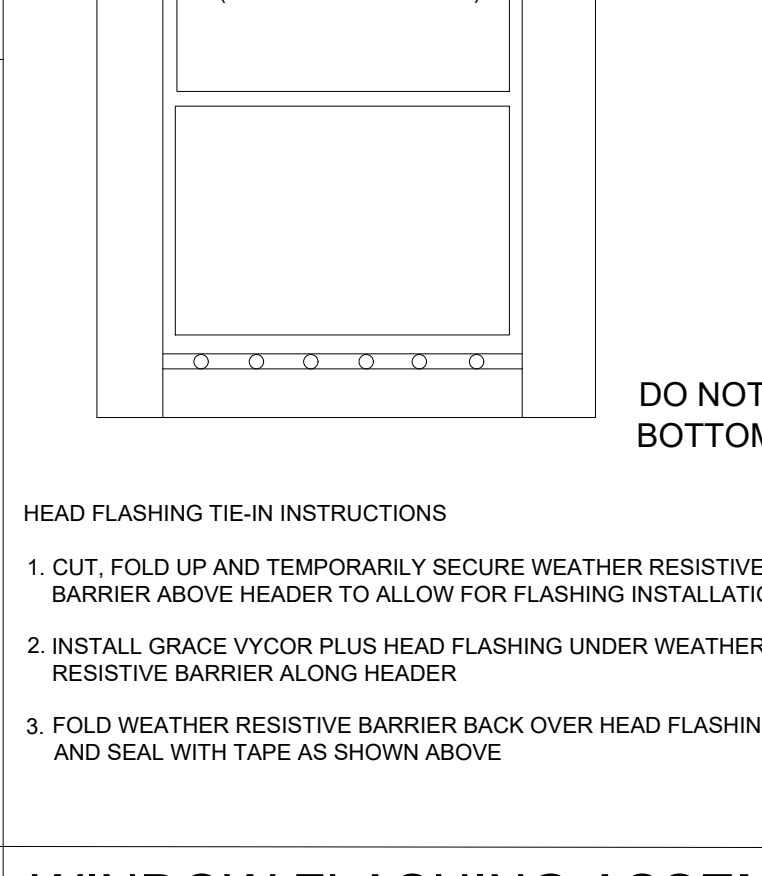
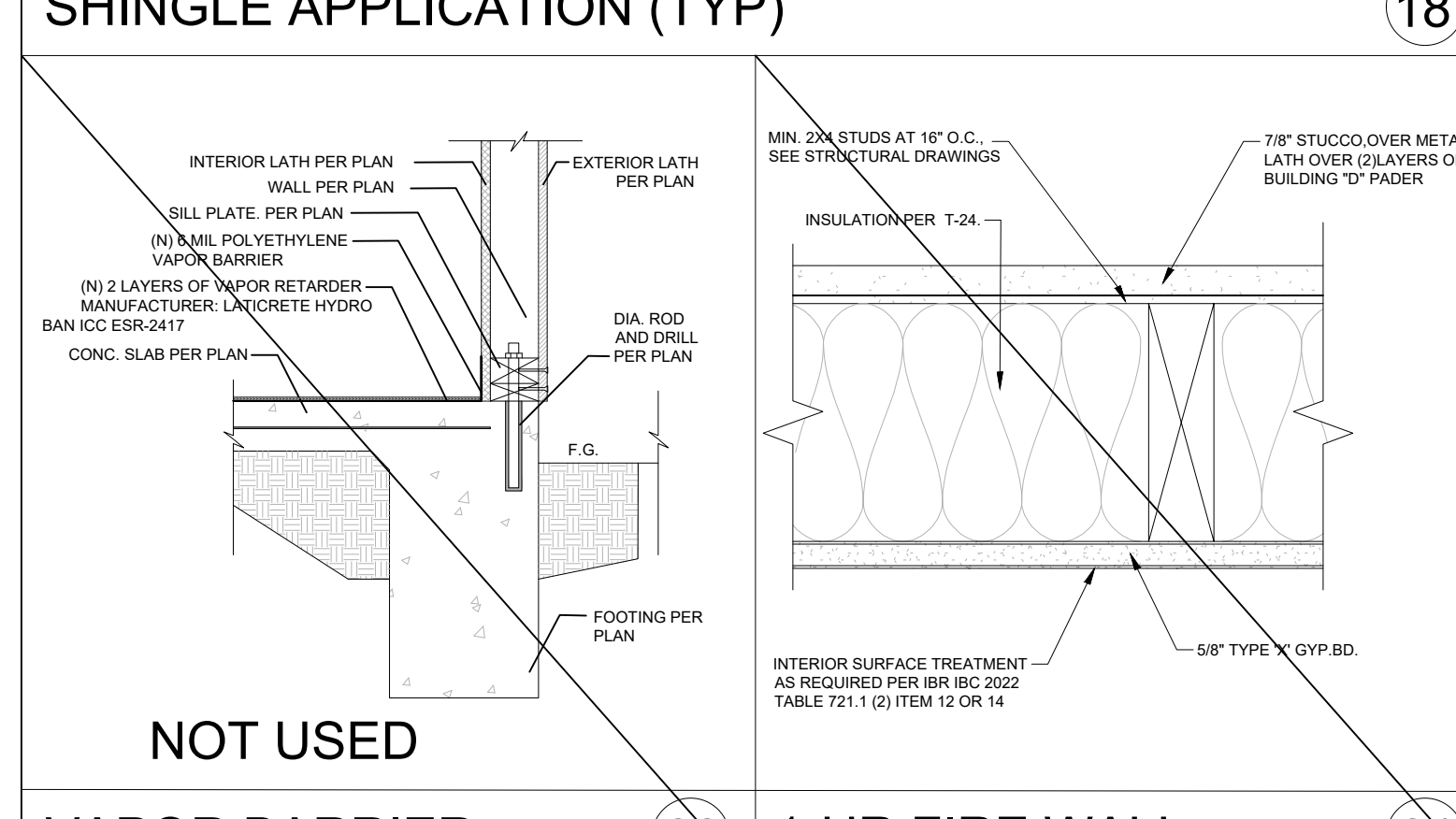
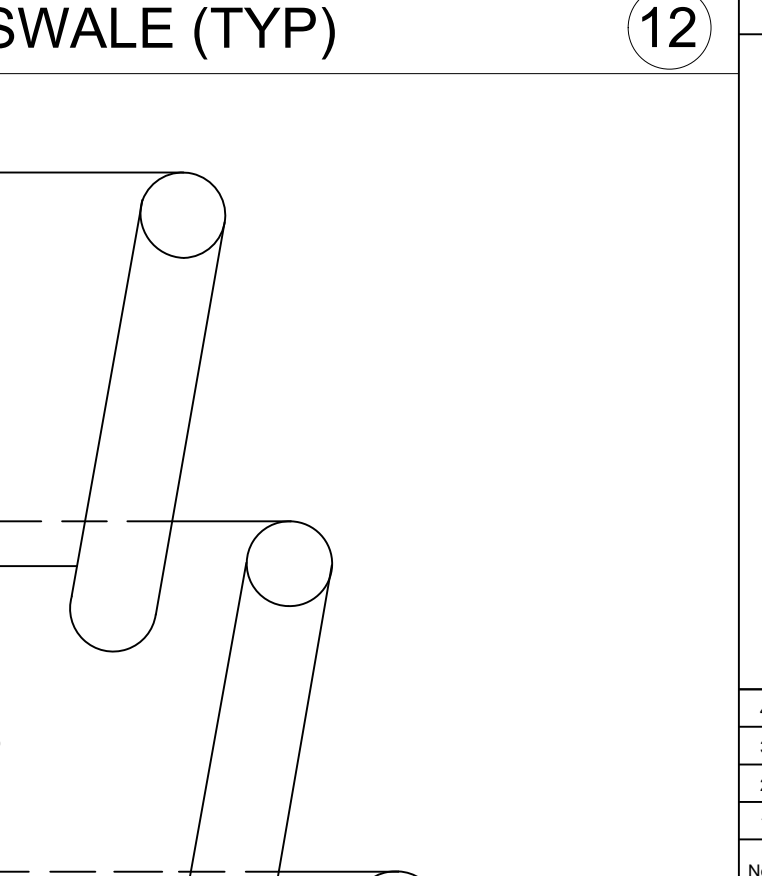
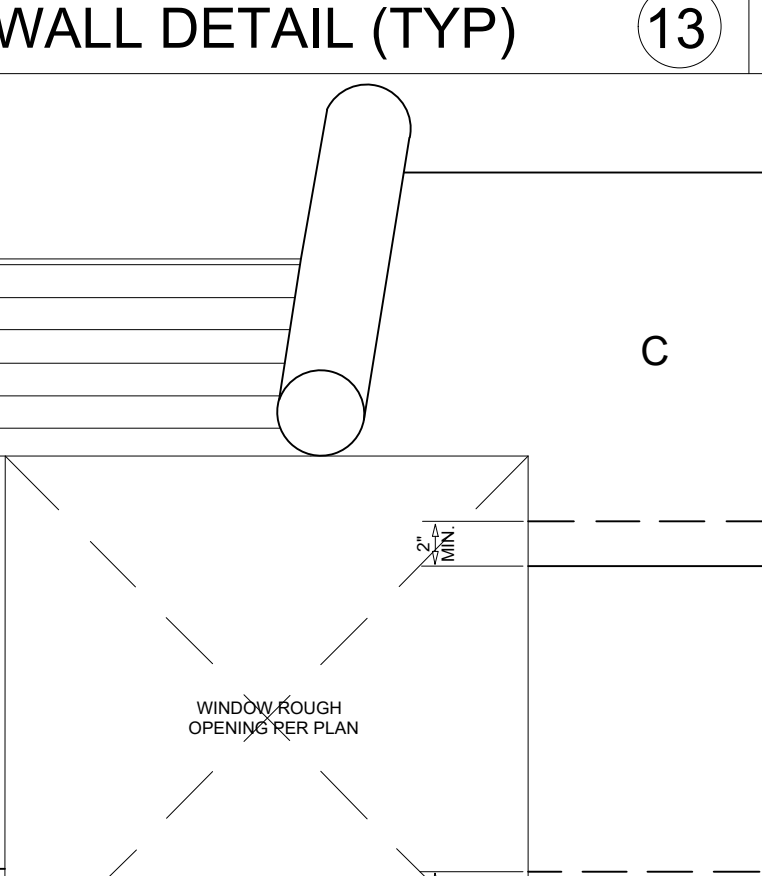
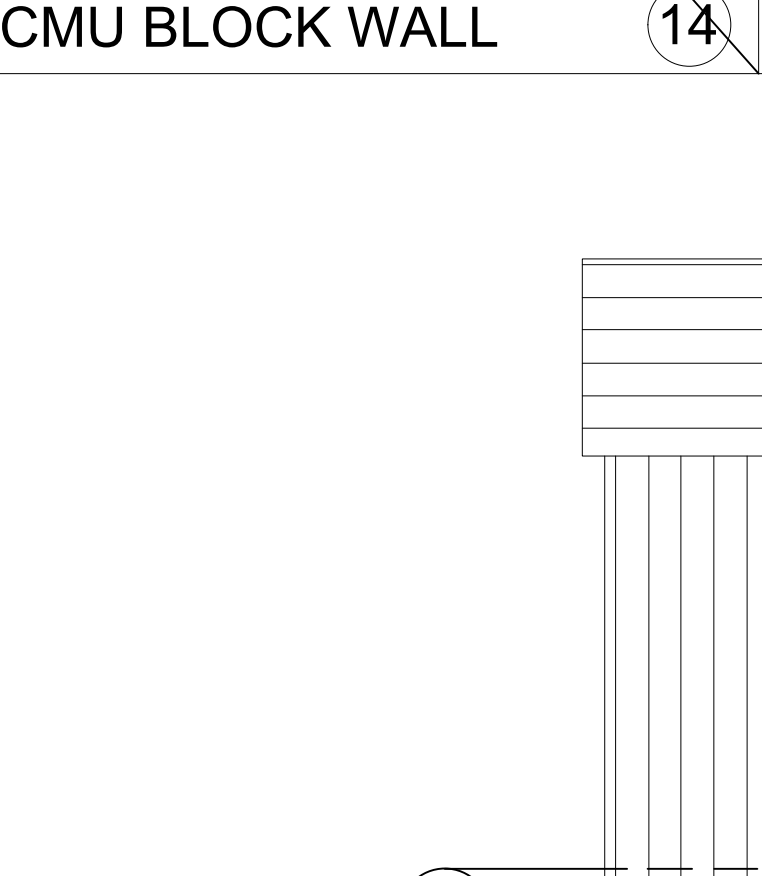
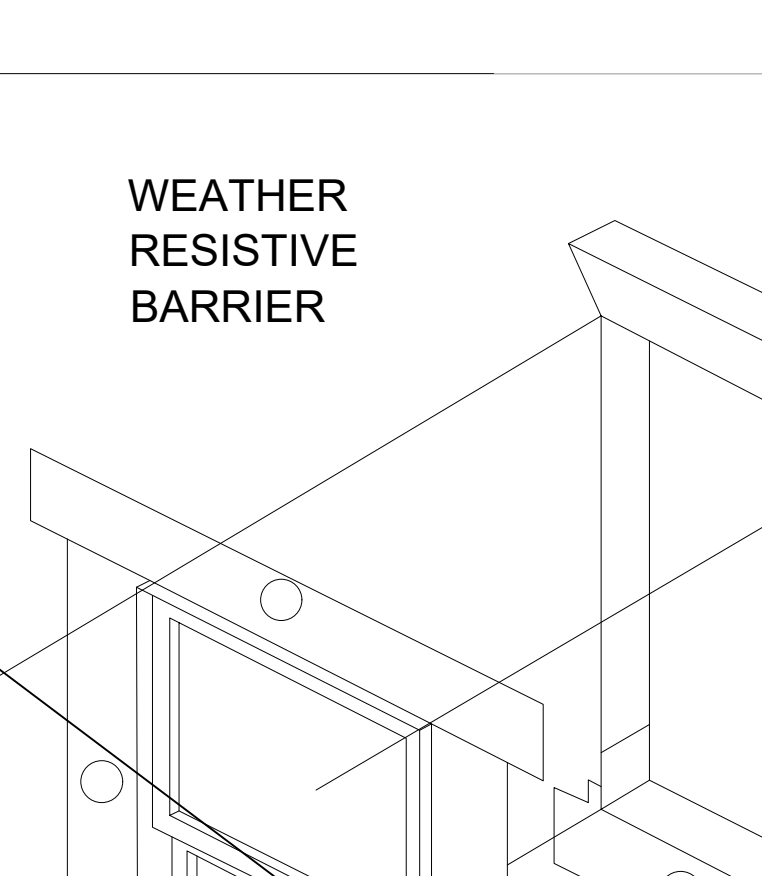
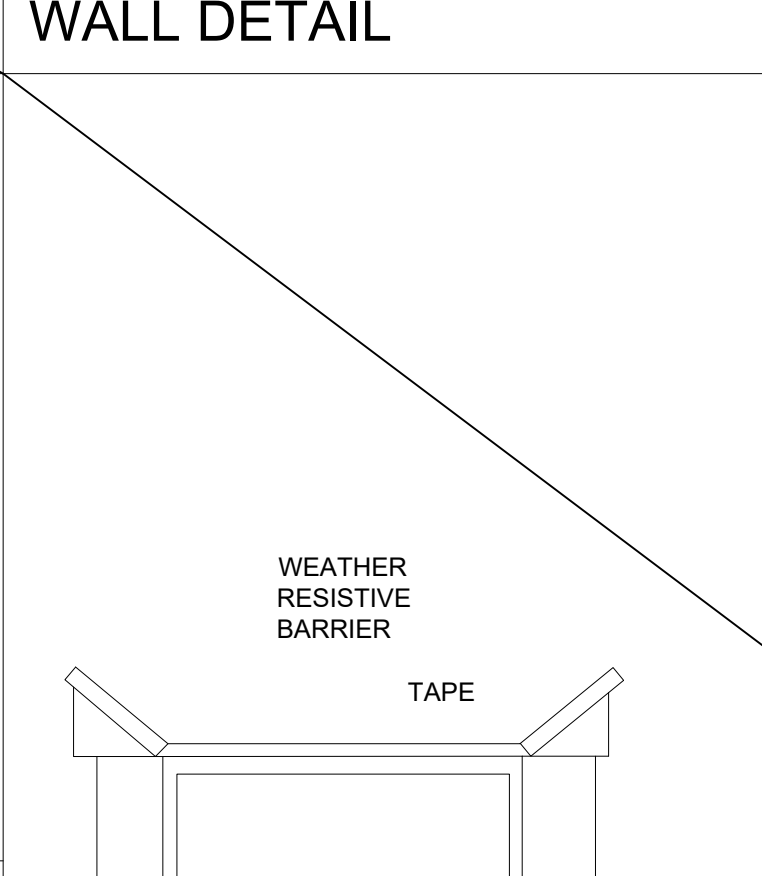
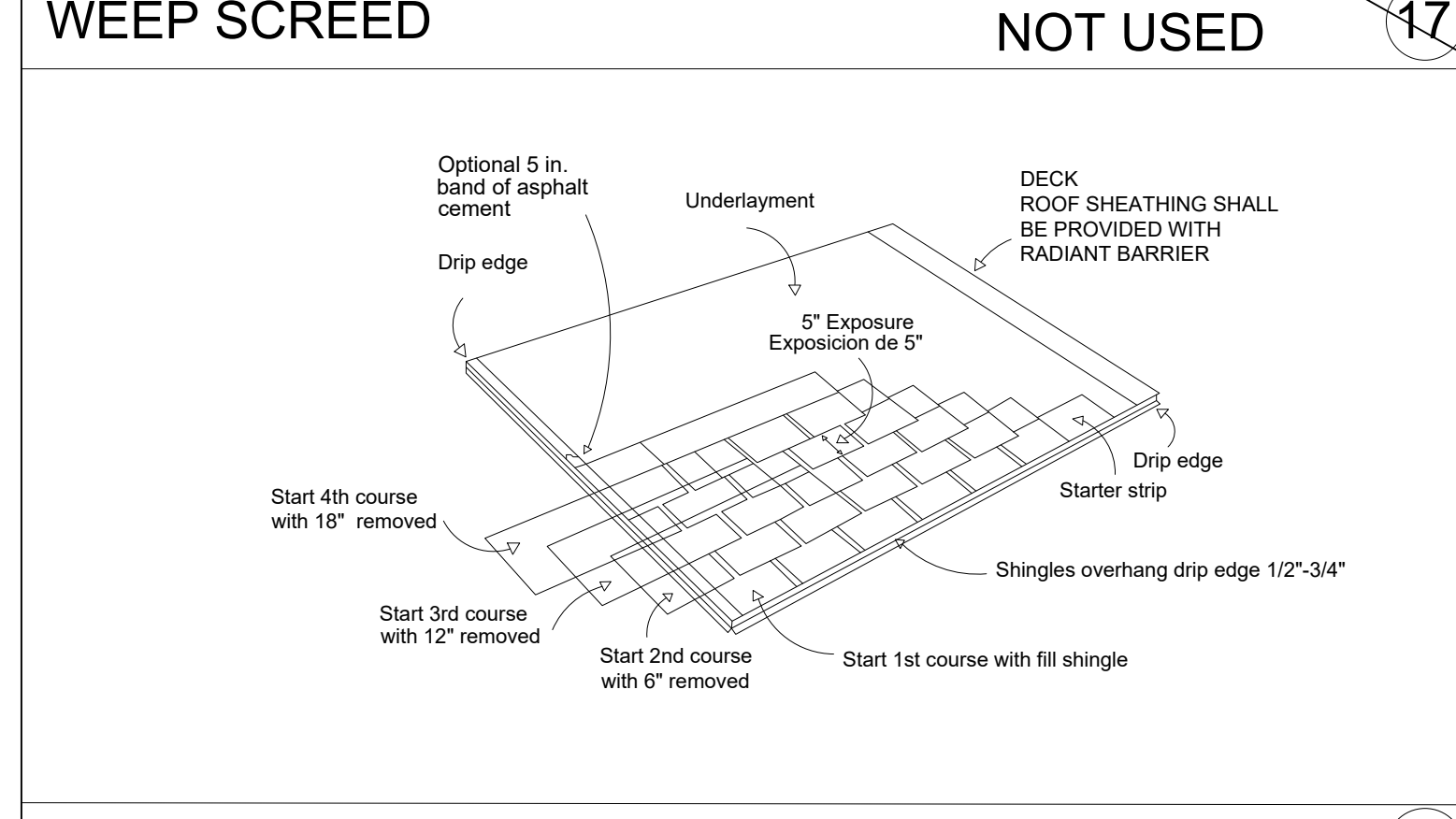
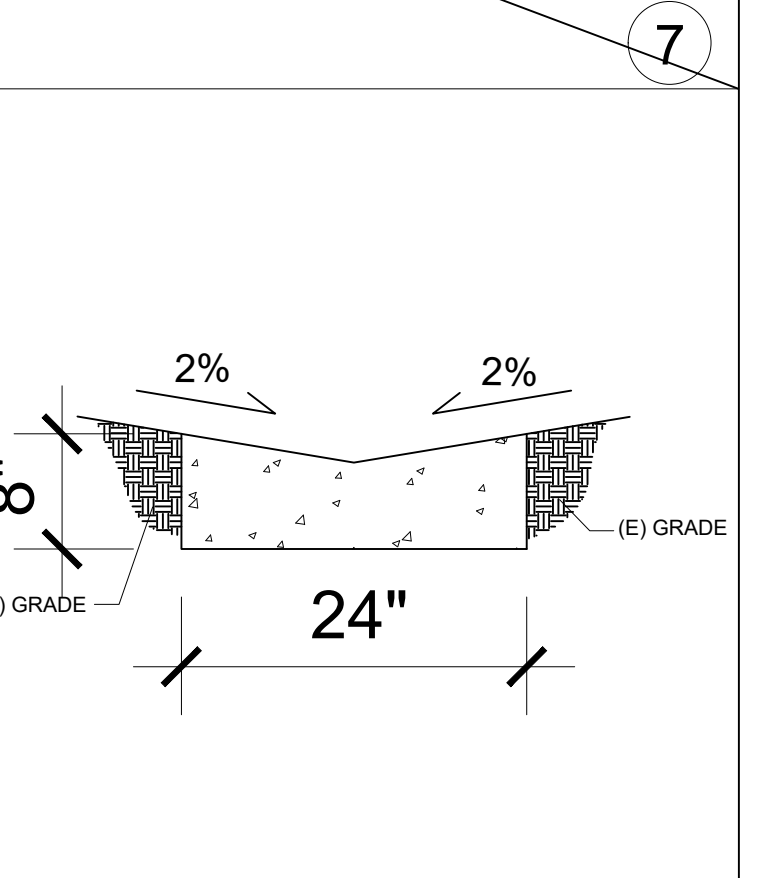
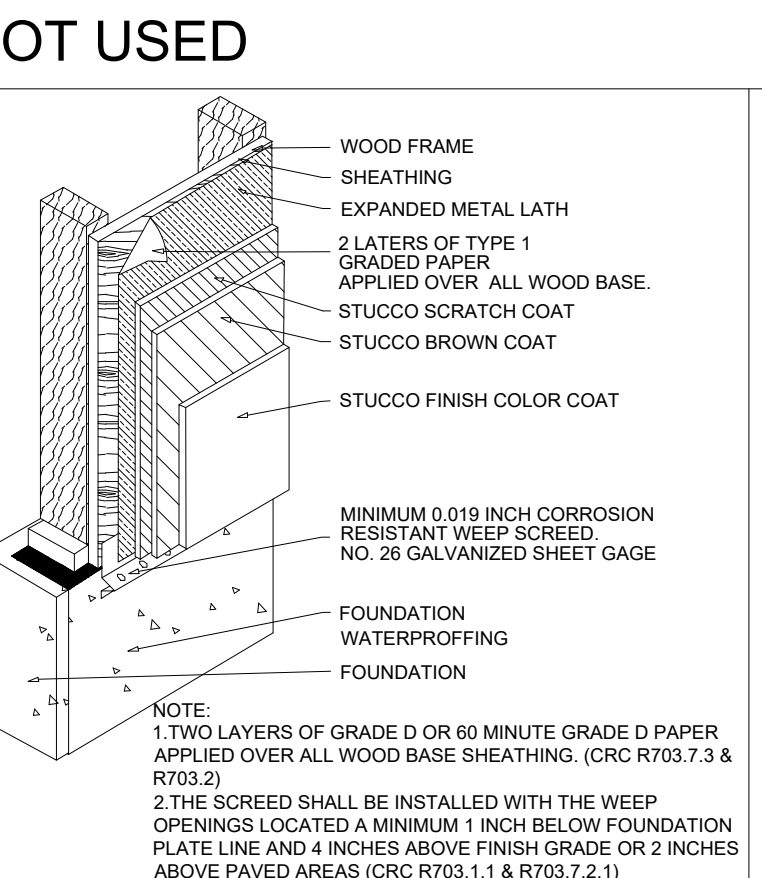
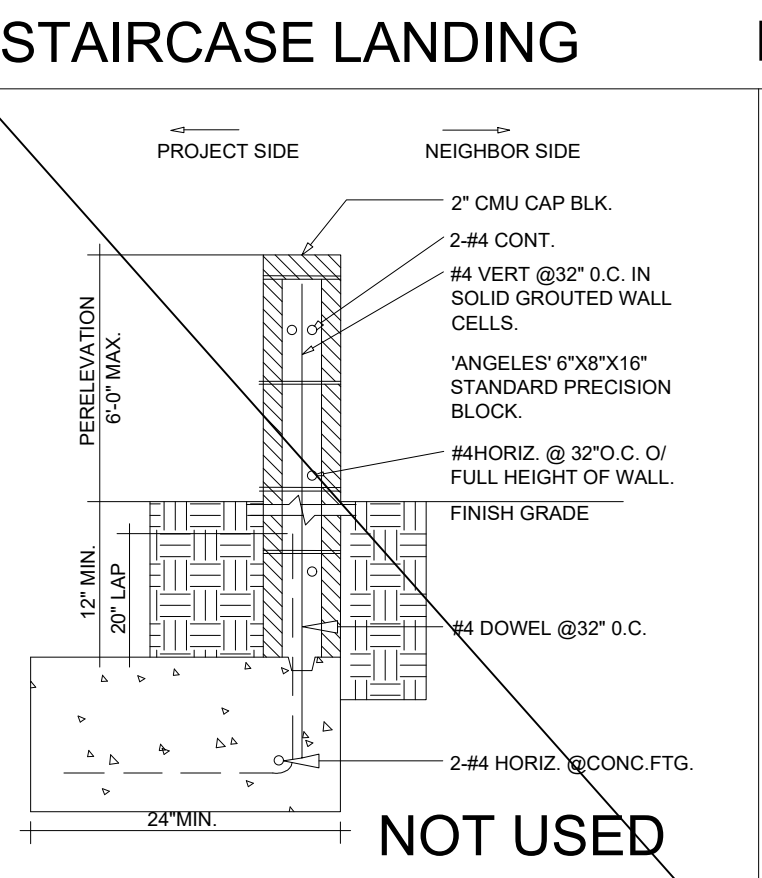
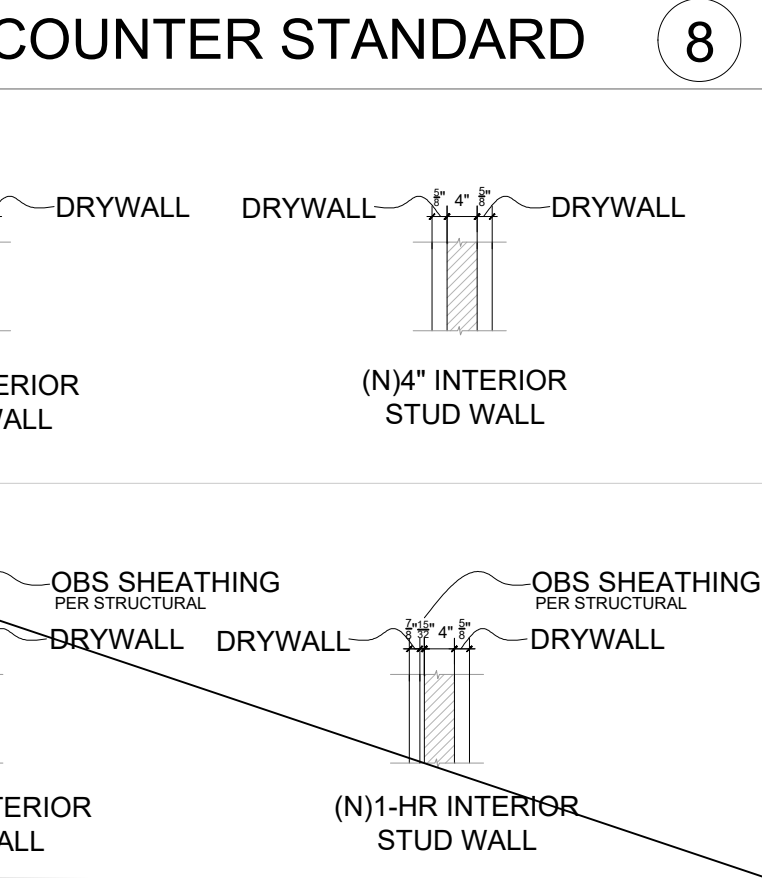
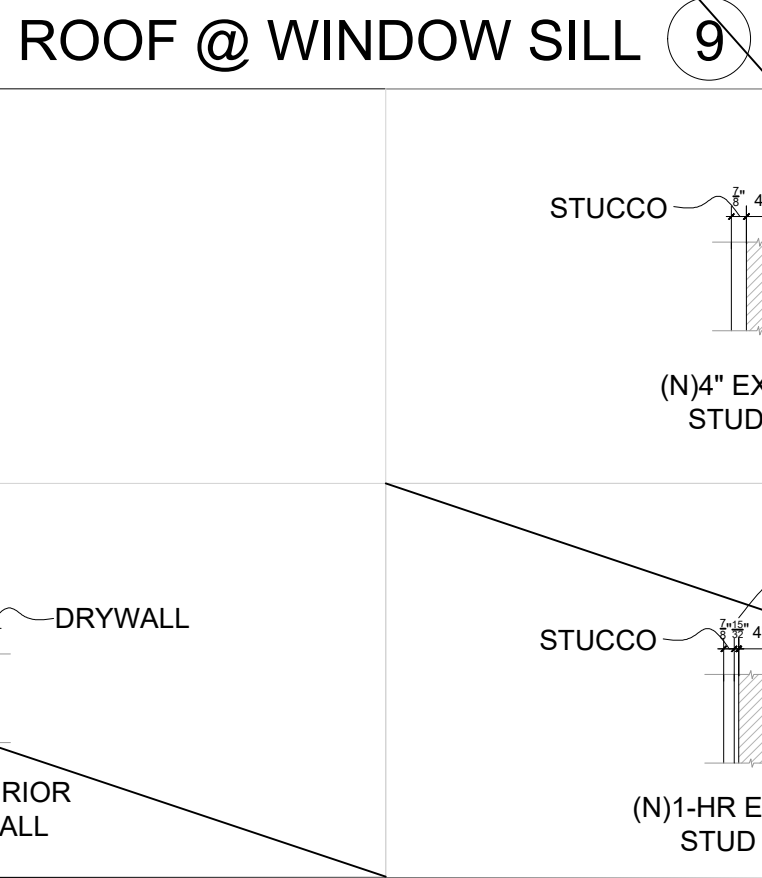
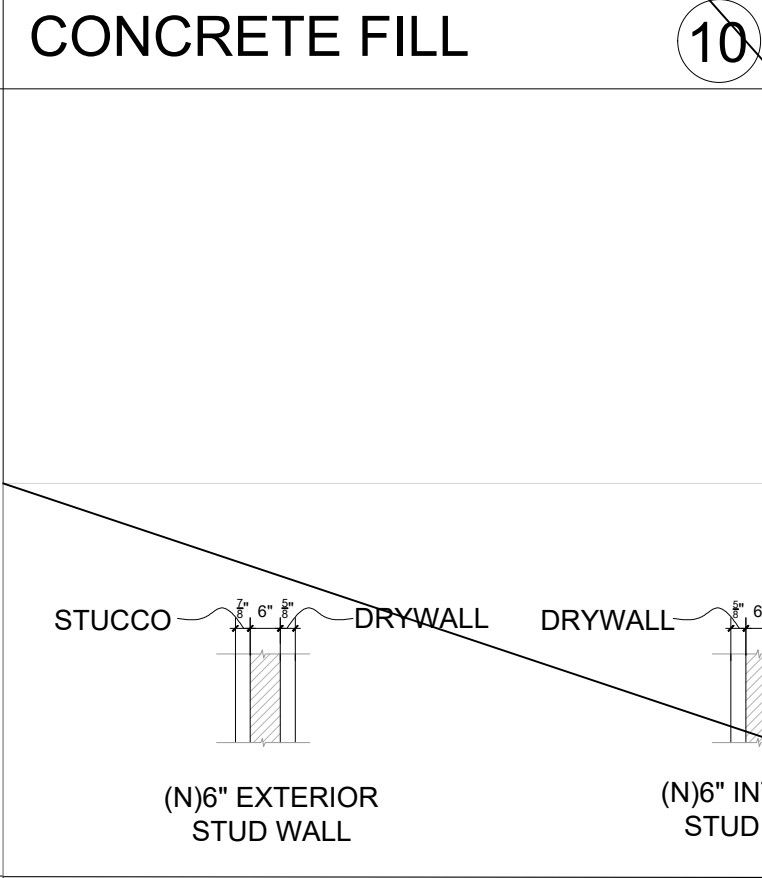
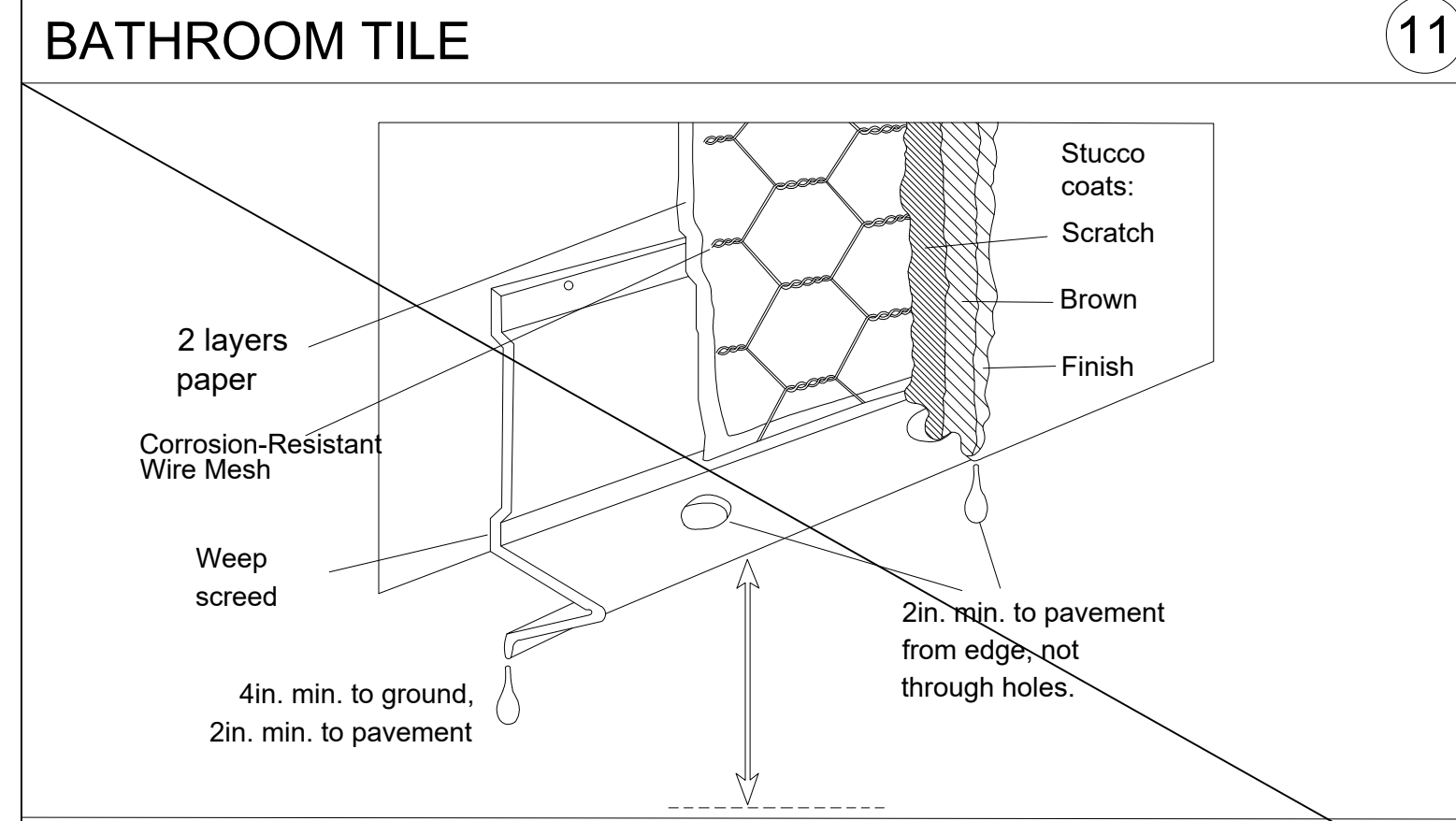
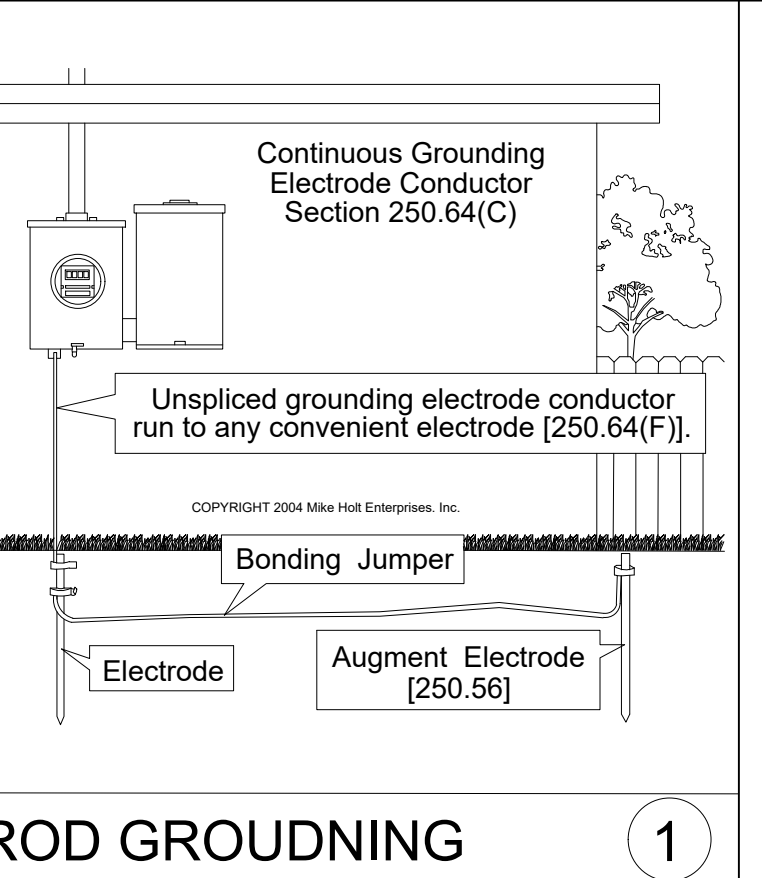
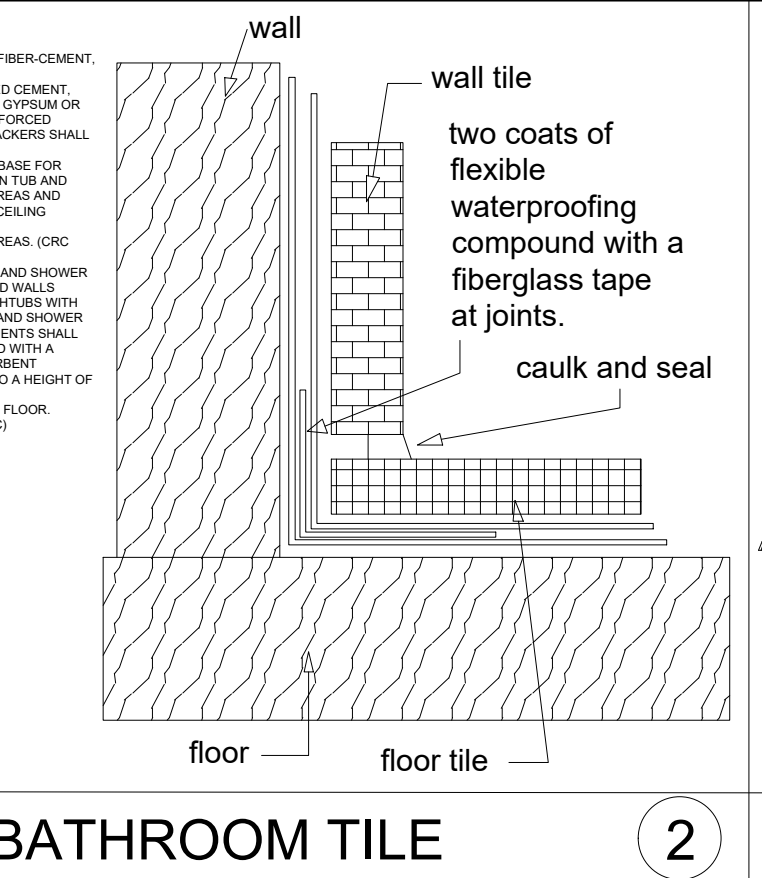
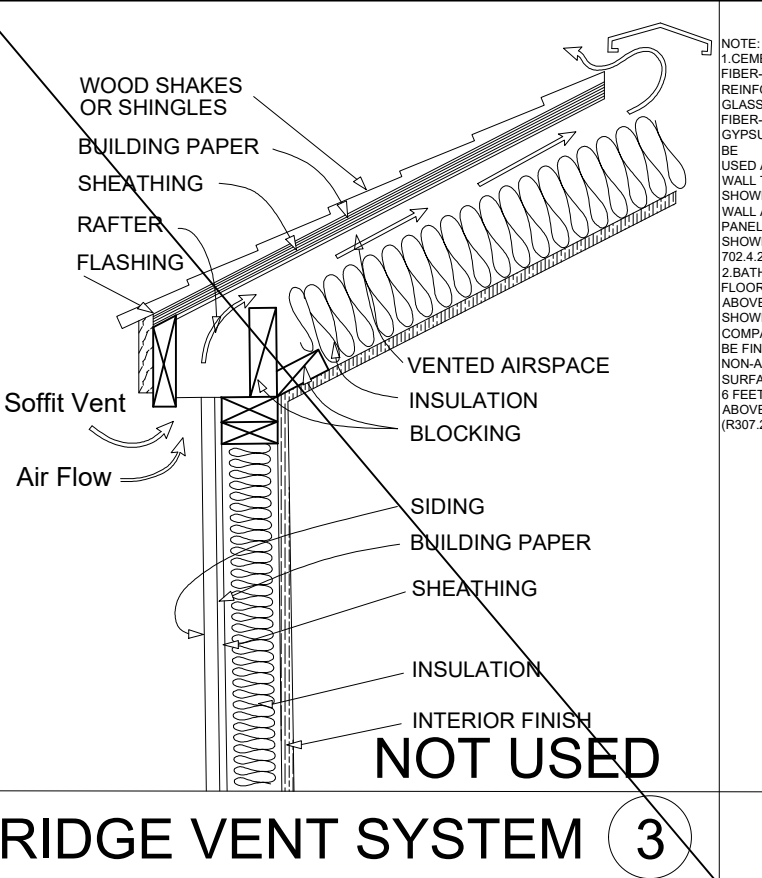
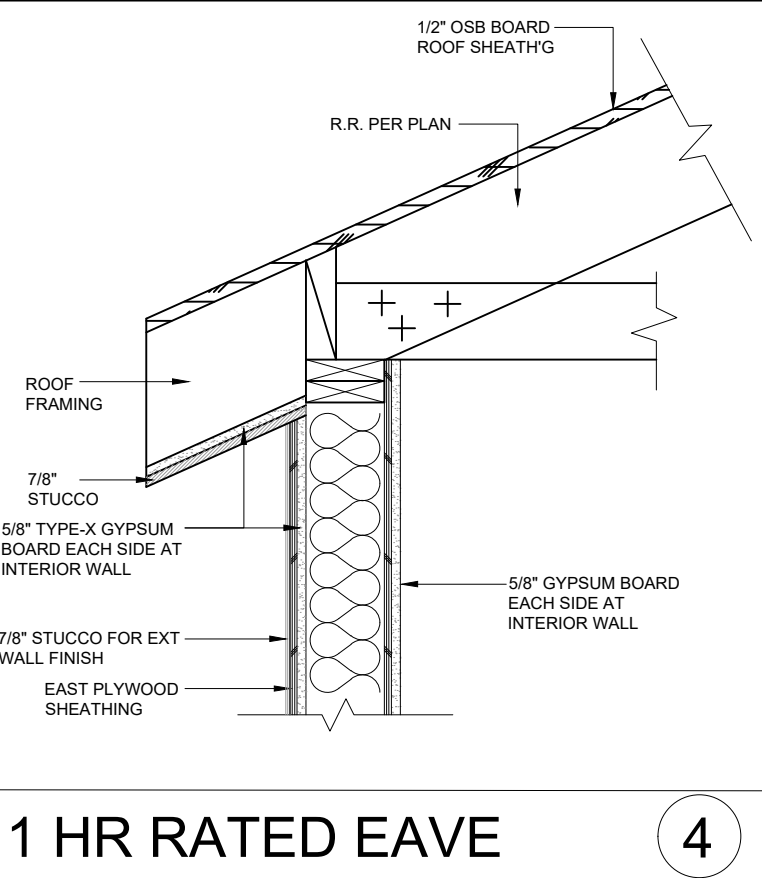
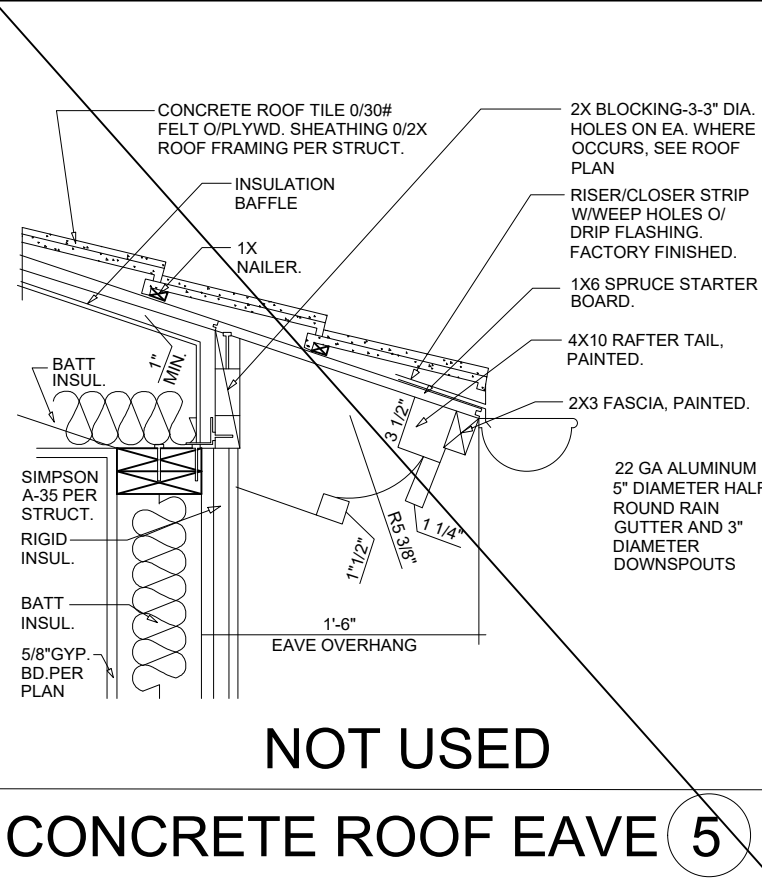
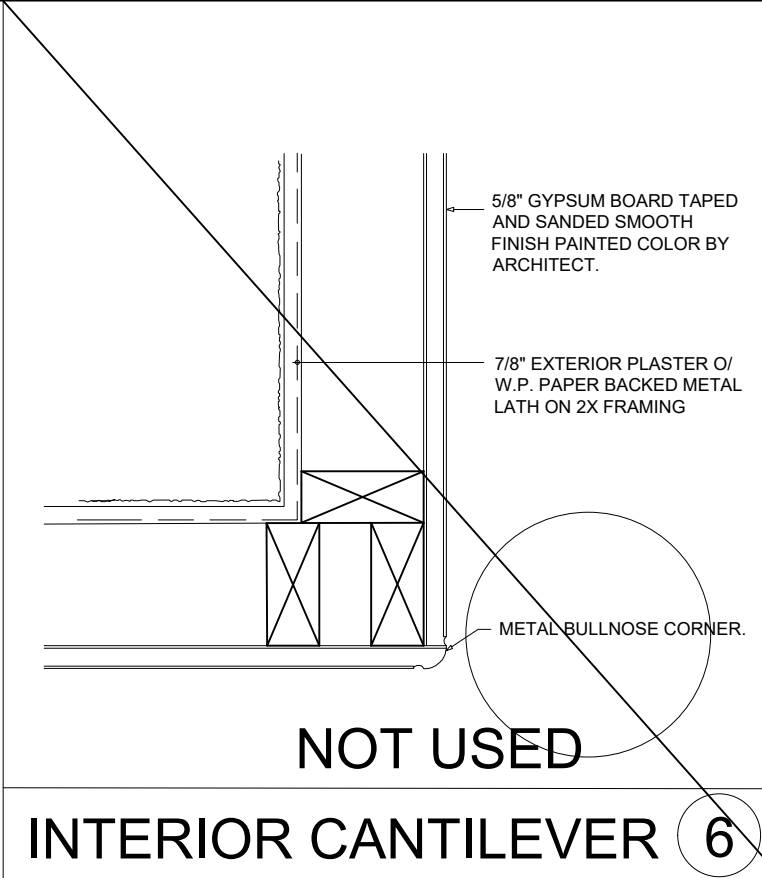
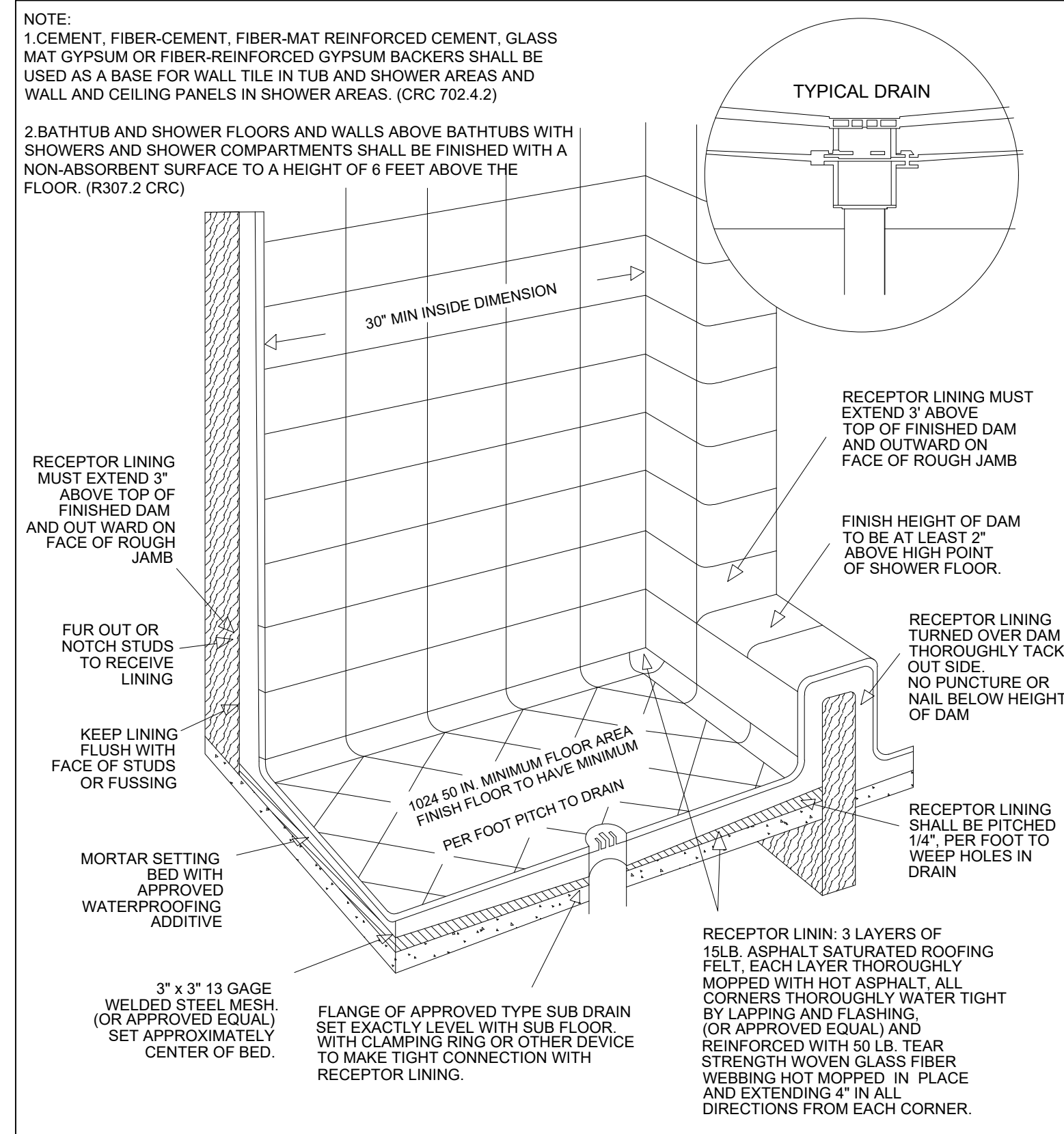
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Checked by: JJ

File name: 1625 N PARK AVE, POMONA

ALIGCUS

A-4



ALL CONSTRUCTION ARCHITECTURAL DESIGN SERVICES
 1641 S. SAN GABRIEL BLVD., SUITE D
 SAN GABRIEL, CA, 91776
 TEL: (626)505-6888



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4	PC CORRECTION/3	04/24/2025	
3	PC CORRECTION/2	02/20/2025	
2	PC CORRECTION/1	12/19/2024	
1			

DESIGNER:
 MICHAEL ZHANG
 TEL: (626)505-6888

Drawing title

DETAILS

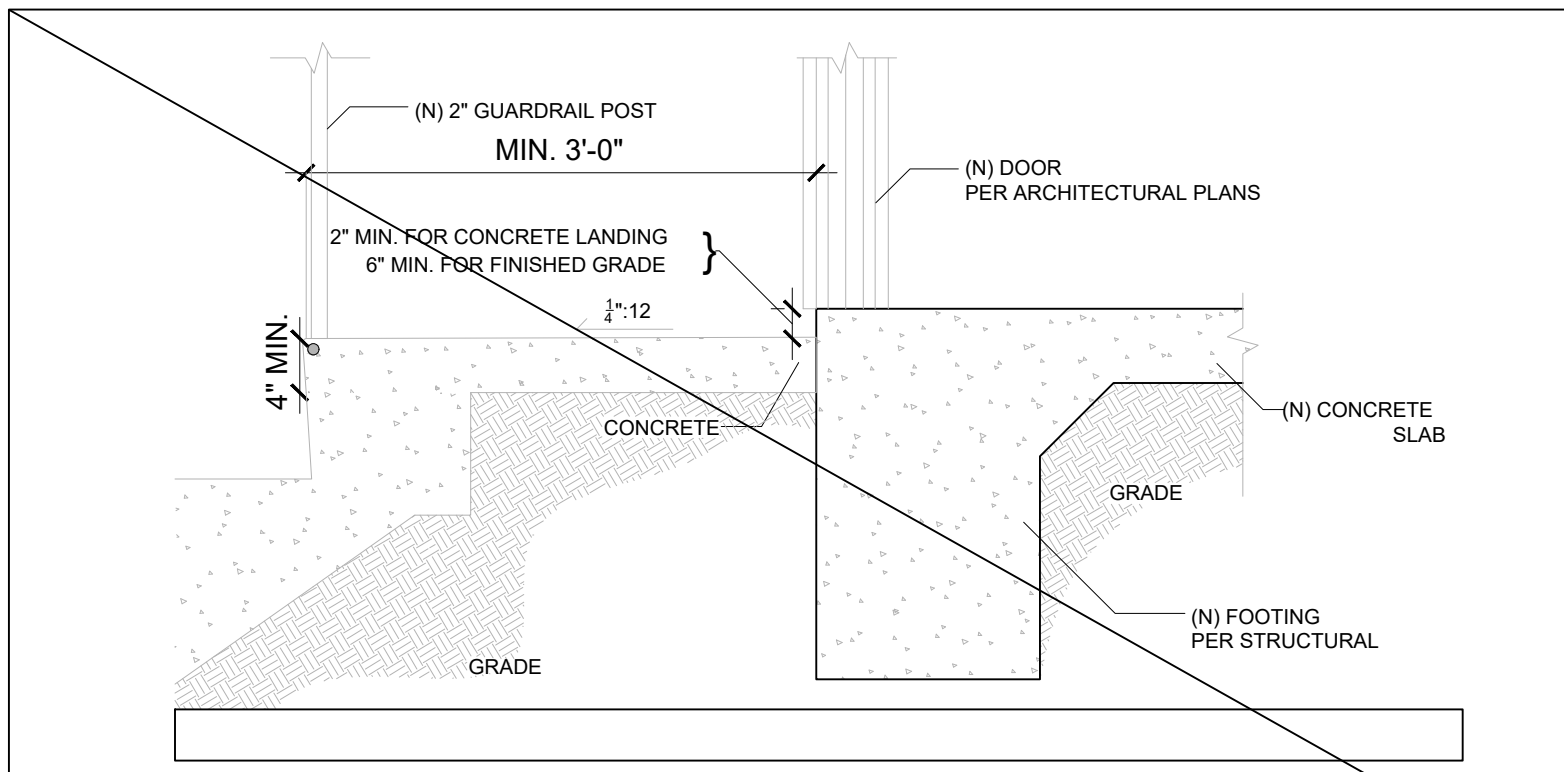
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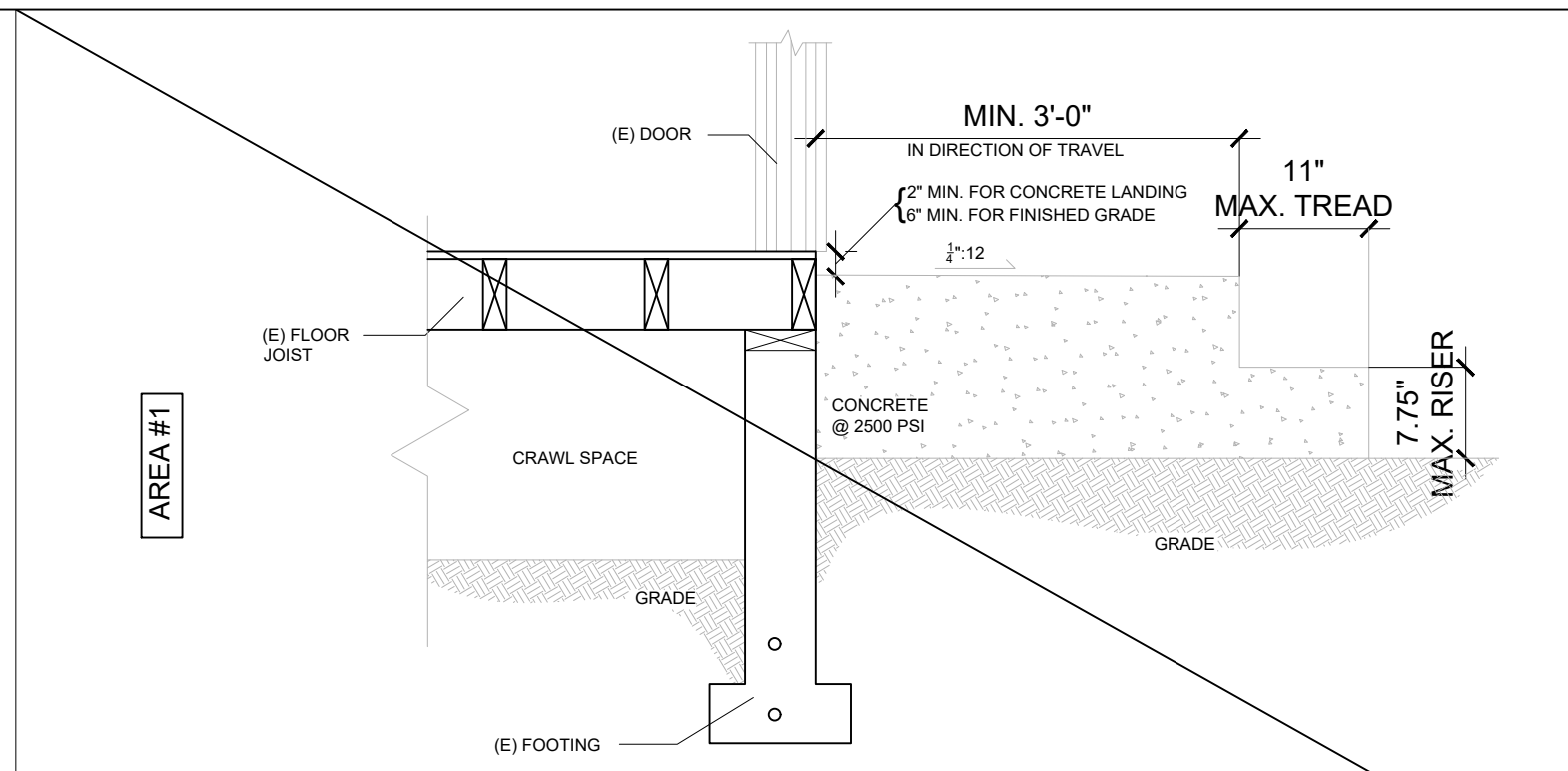
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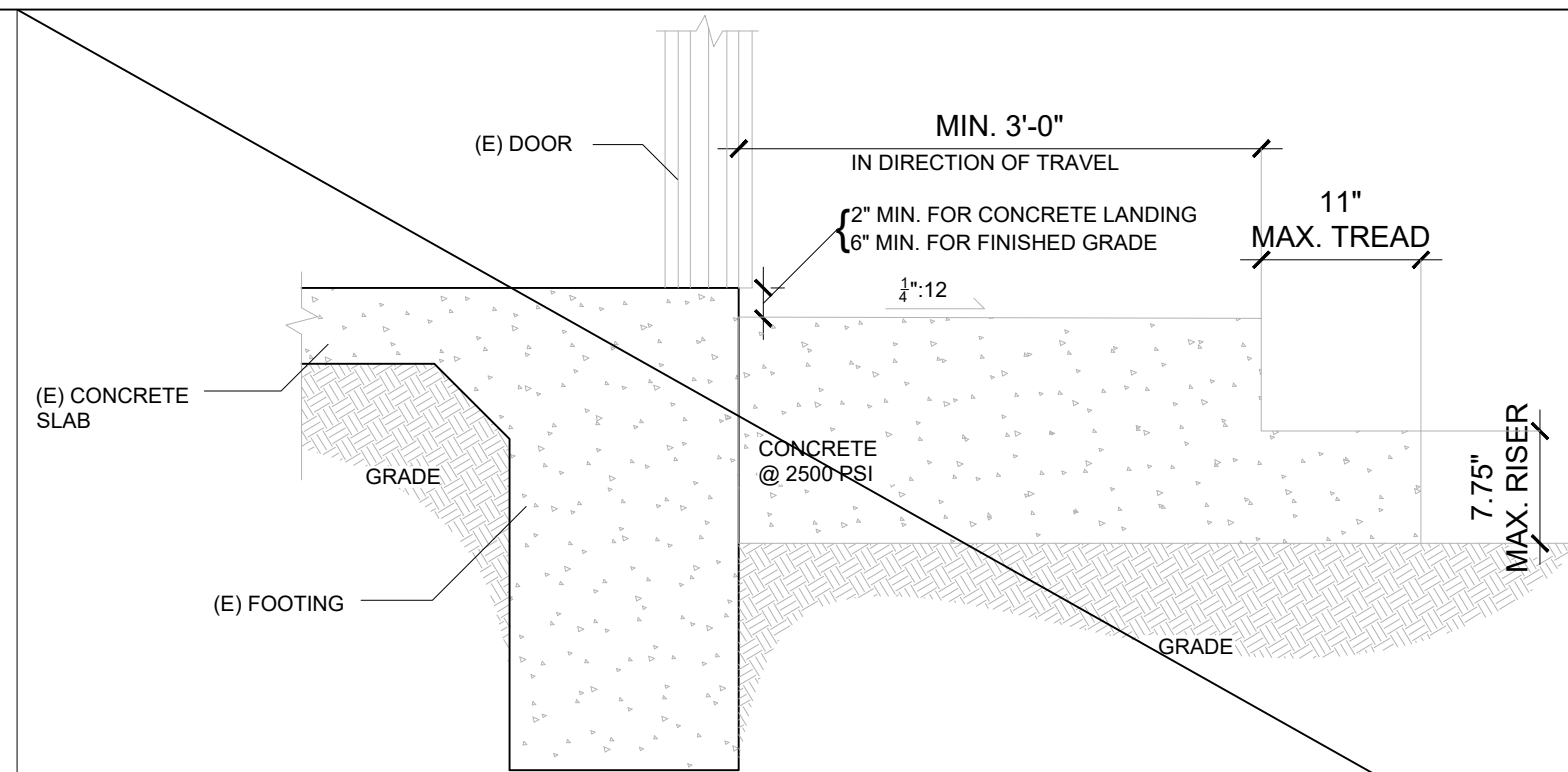
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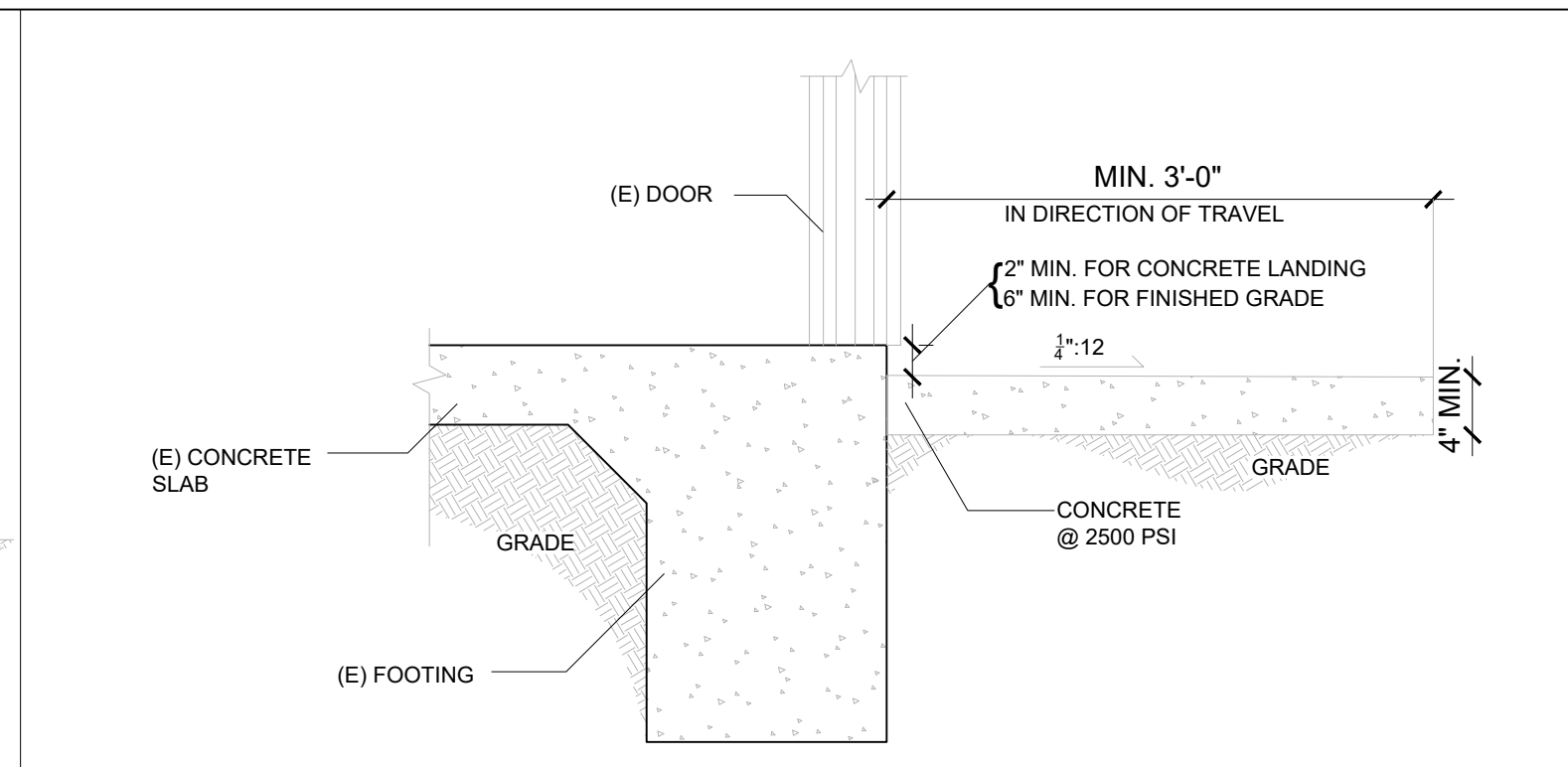
STAIRCASE TO GRADING CONNECTION NOT USED 4



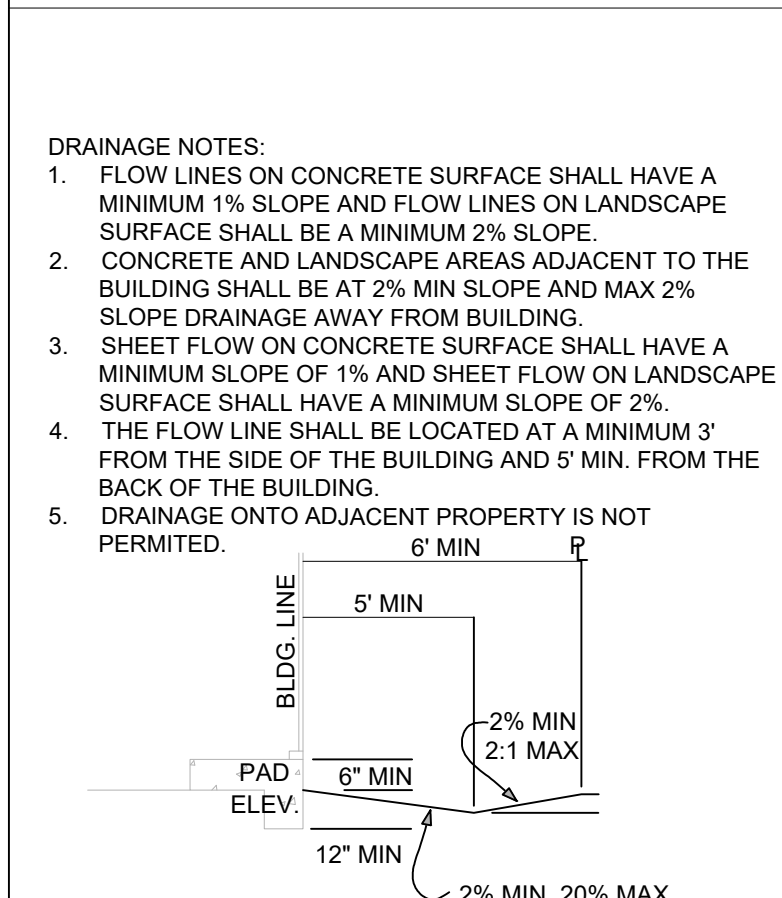
RAISED FLOOR FOUNDATION NOT USED 3



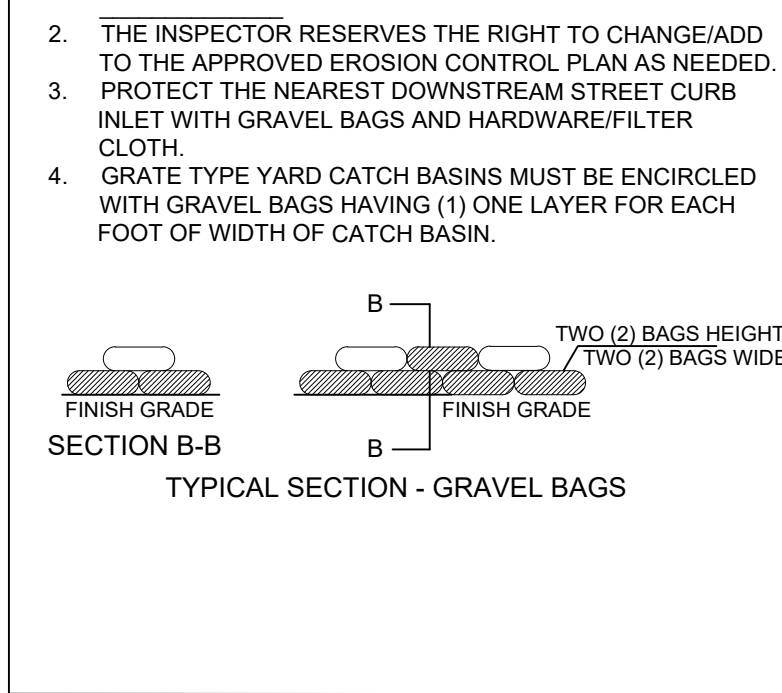
SLAB ON GRADE NOT USED 2



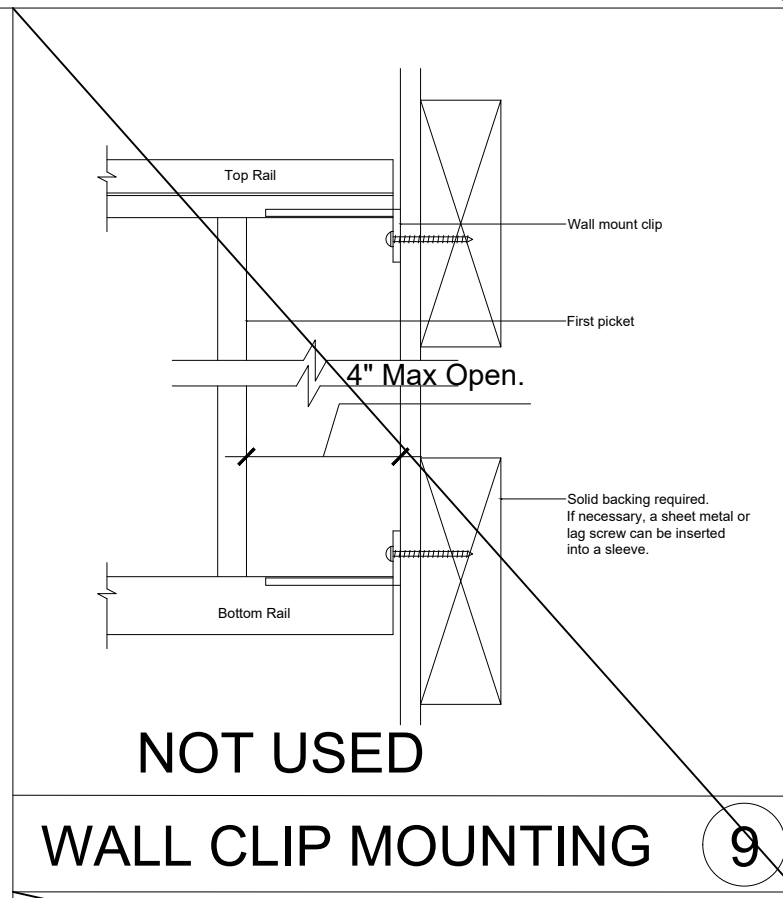
TYP. CONCRETE LANDING 1



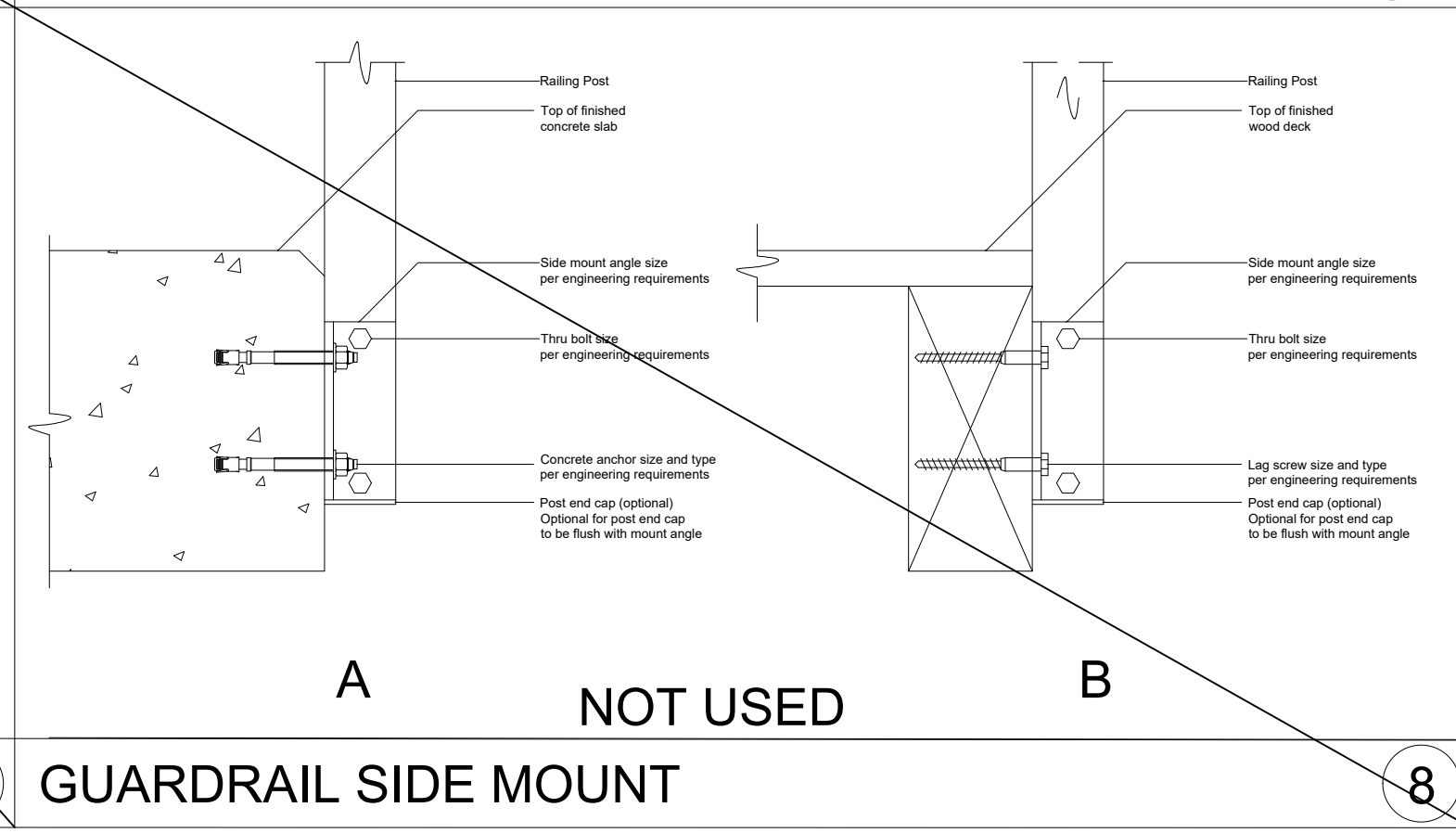
DRAINAGE NOTES



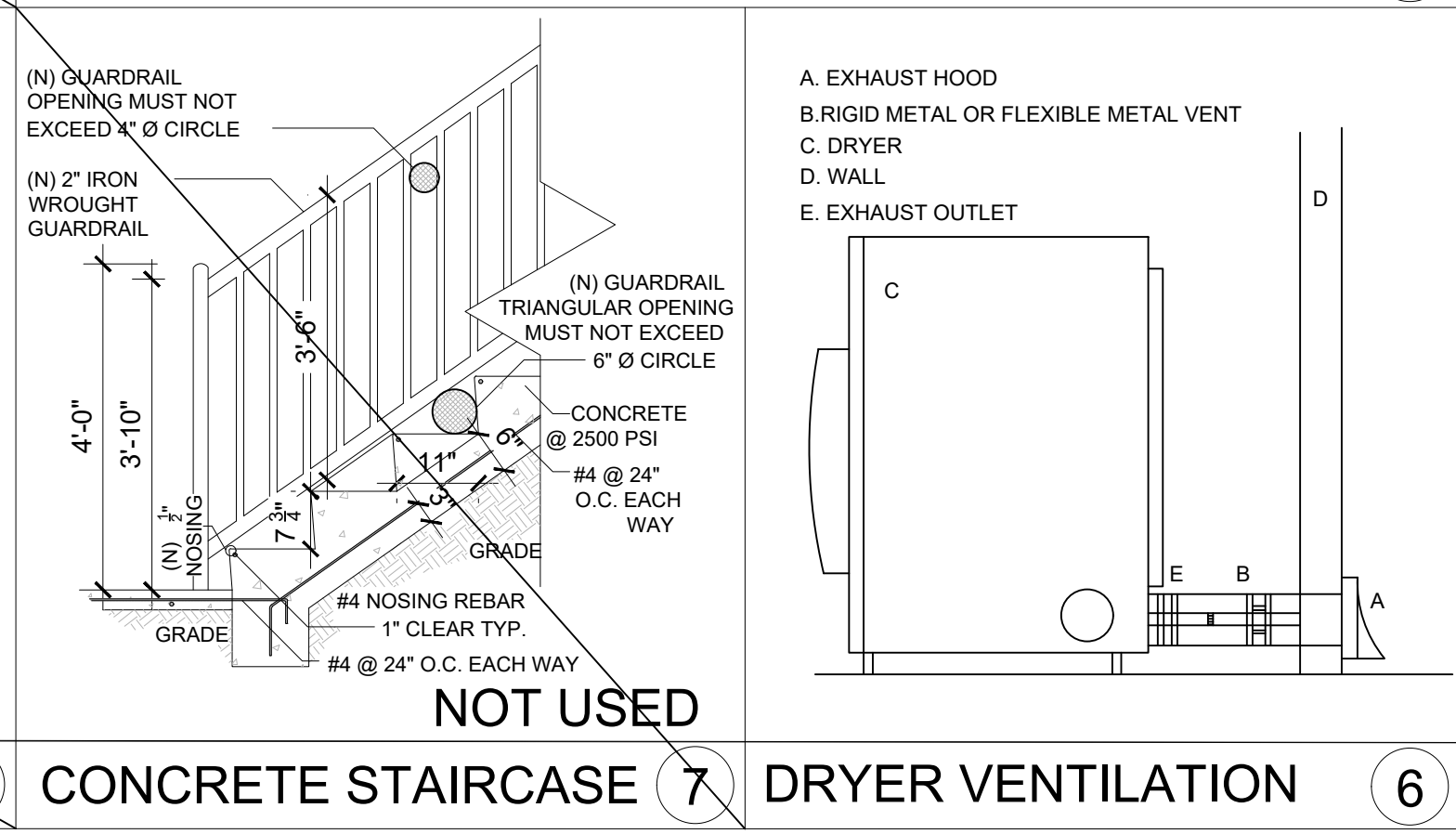
ADDITIONAL EROSION CONTROL NOTES



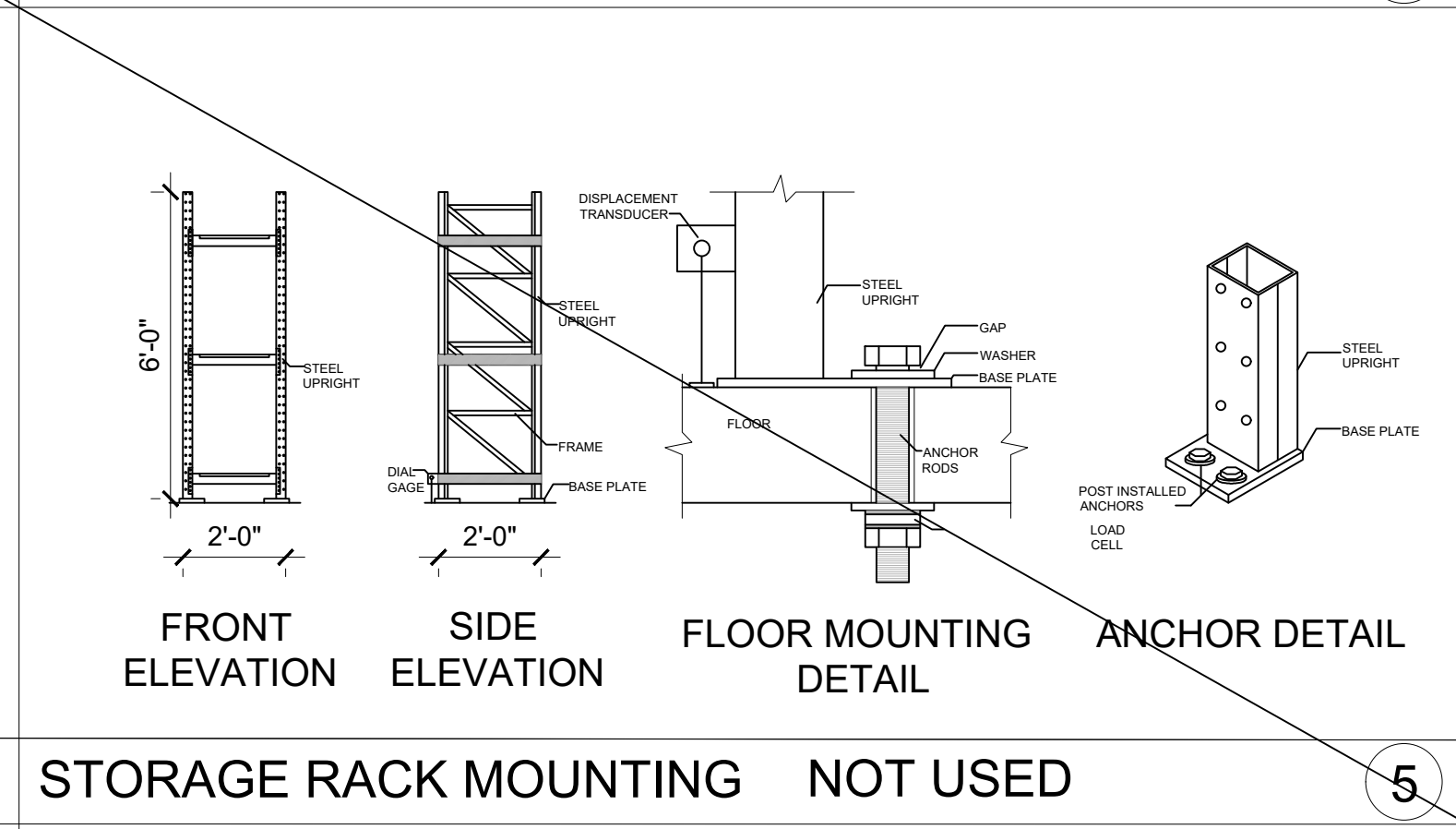
WALL CLIP MOUNTING NOT USED 9



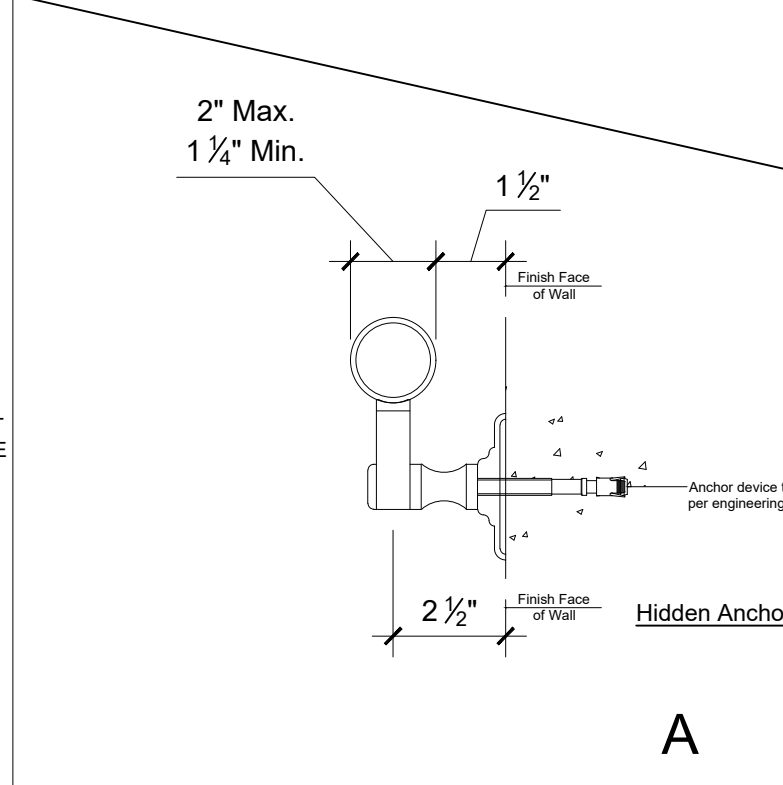
GUARDRAIL SIDE MOUNT NOT USED 8



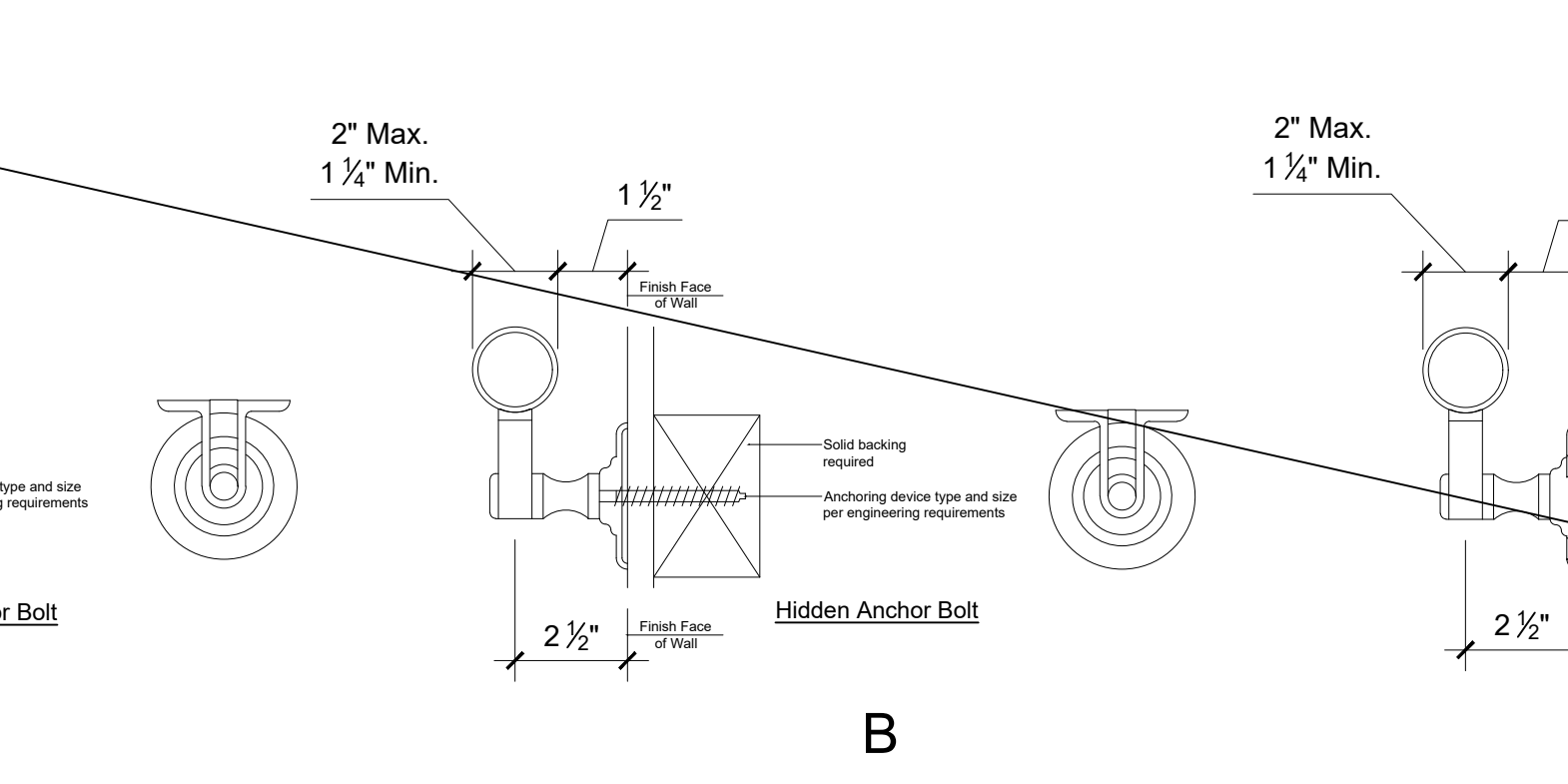
CONCRETE STAIRCASE NOT USED 7



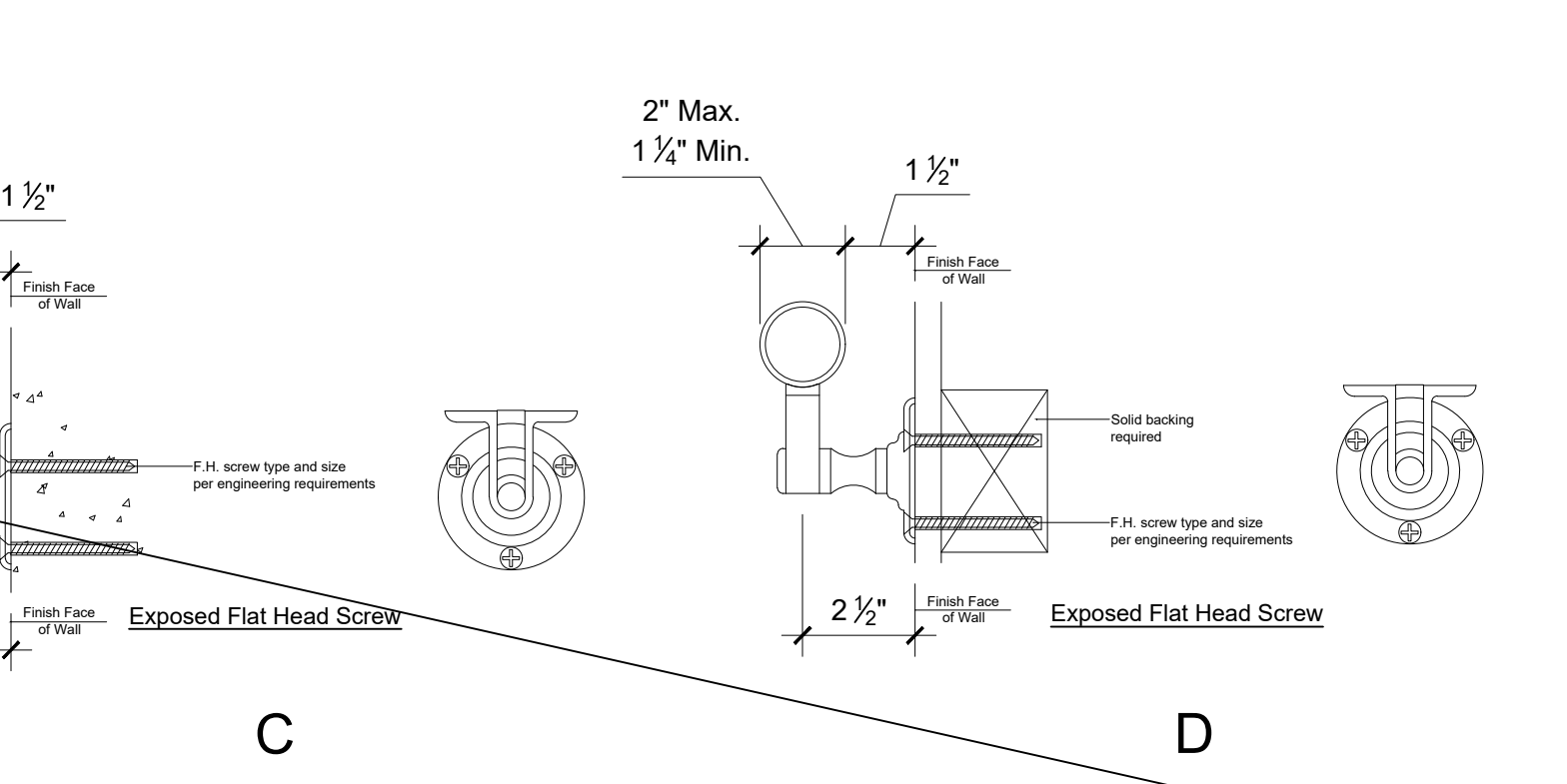
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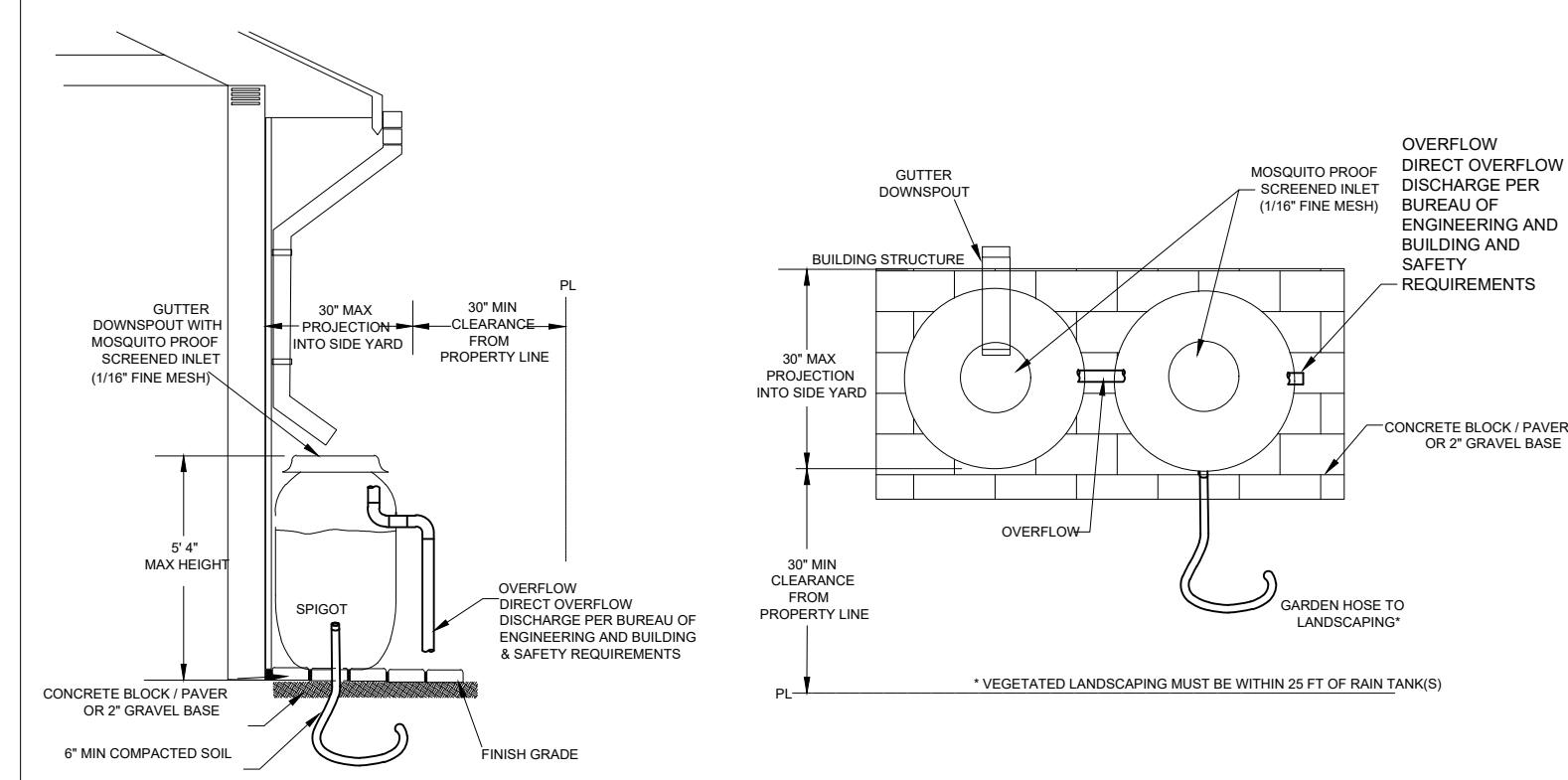
HANDRAIL CONNECTIONS NOT USED 11



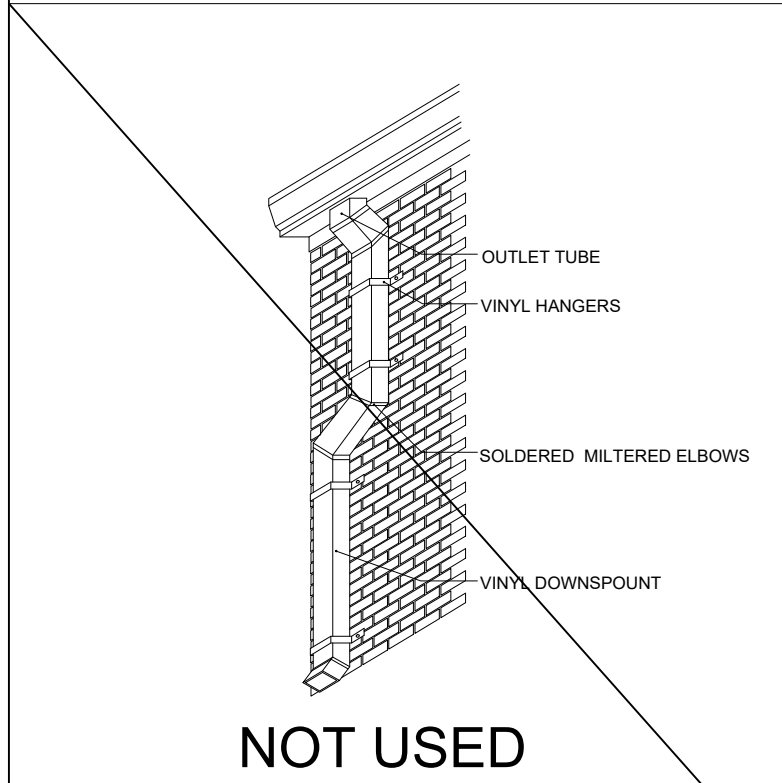
RAIN TANKS WITH SHADE TREE PLANTING 10



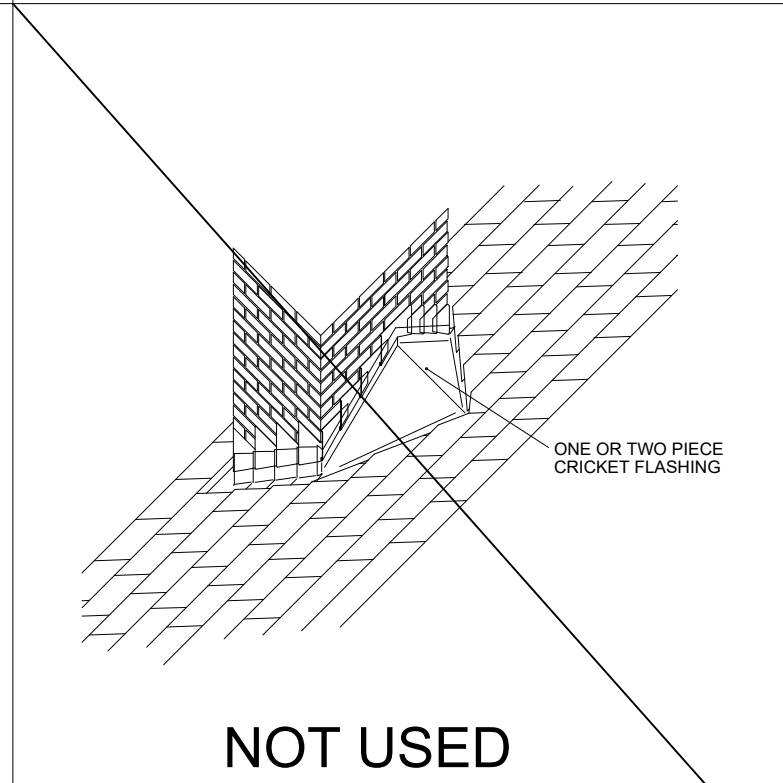
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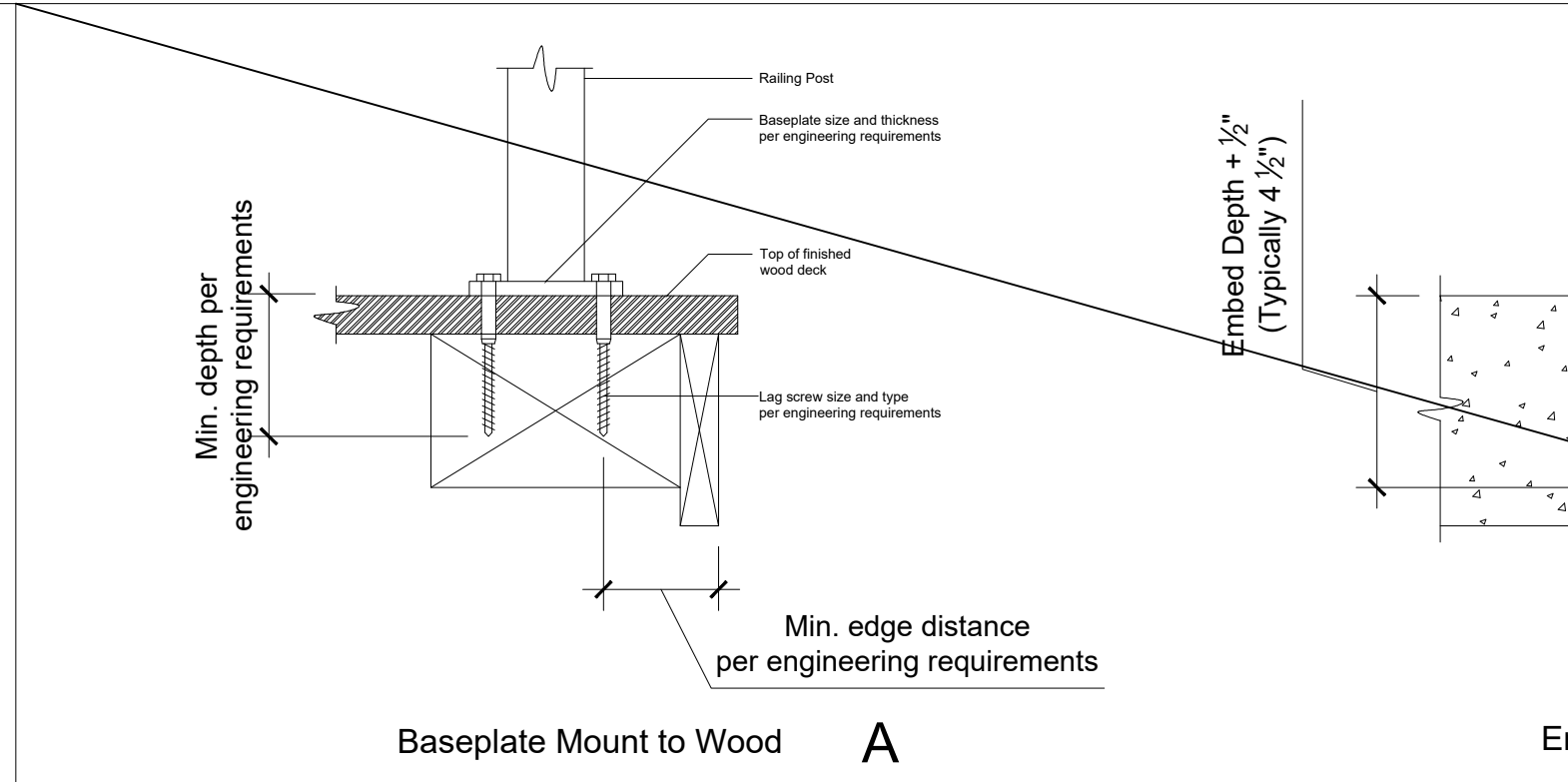
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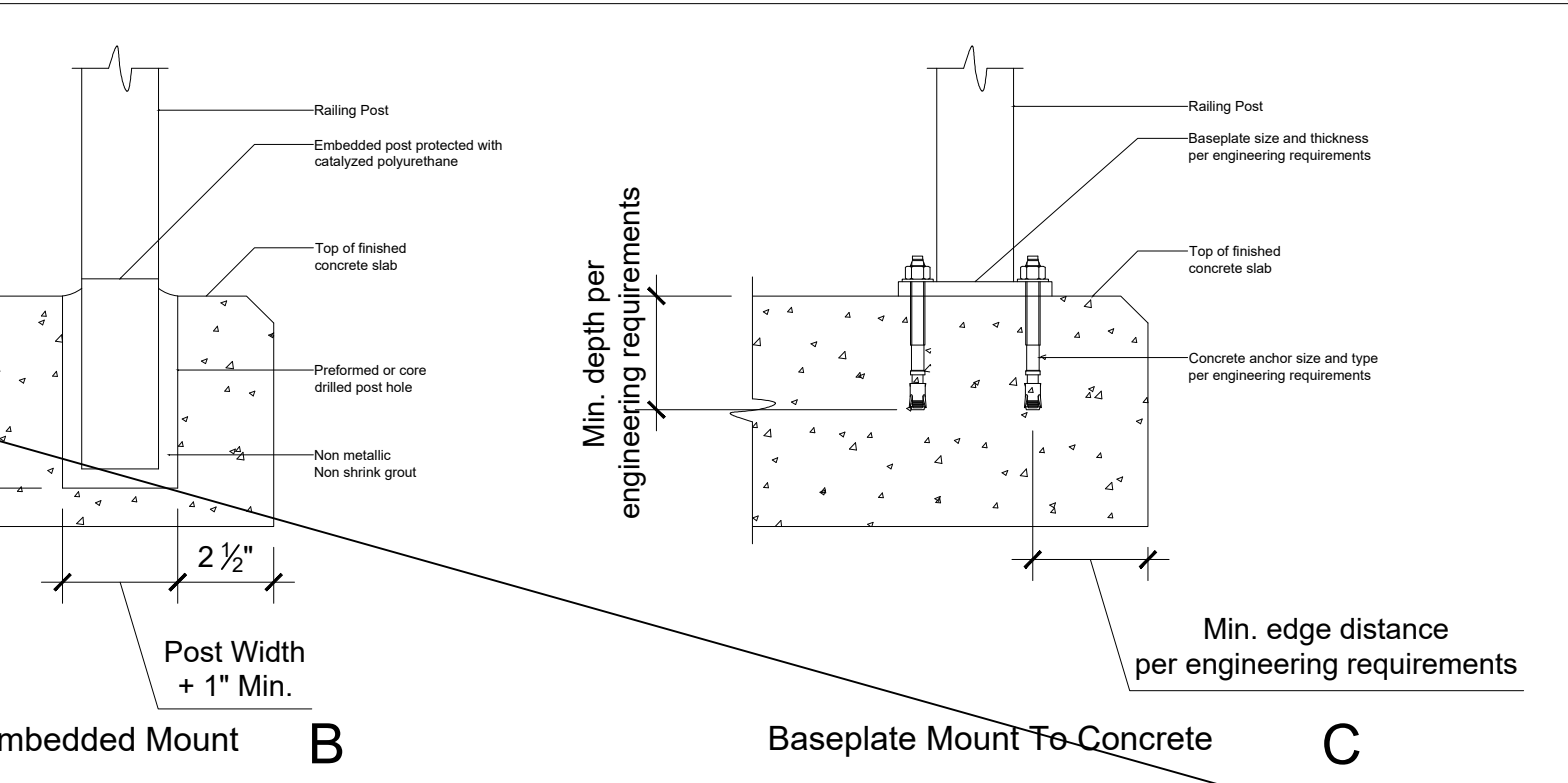
DOWNSPOUT ASSEM. NOT USED 15



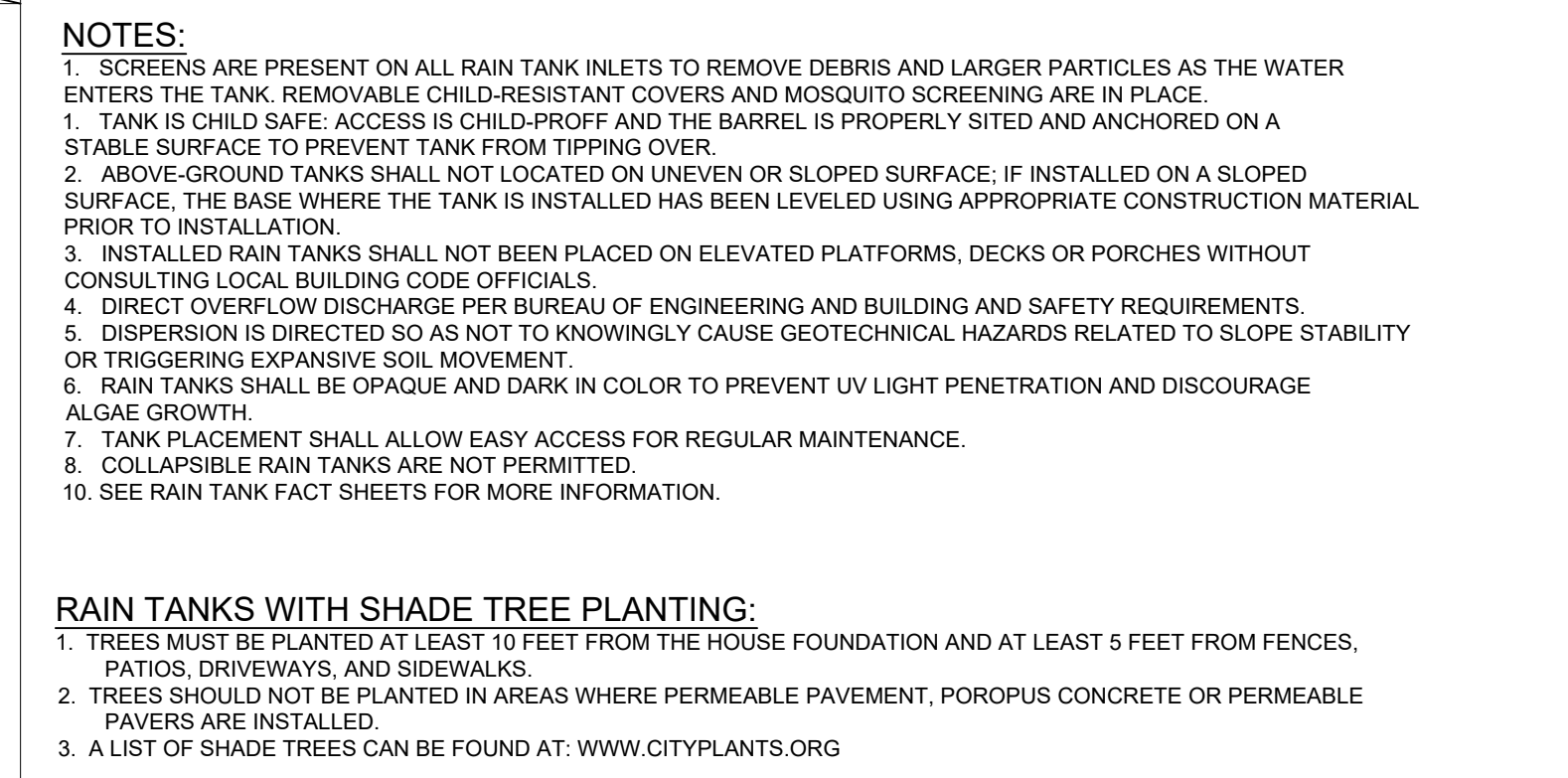
CHIM. CRICKET FLASH NOT USED 14



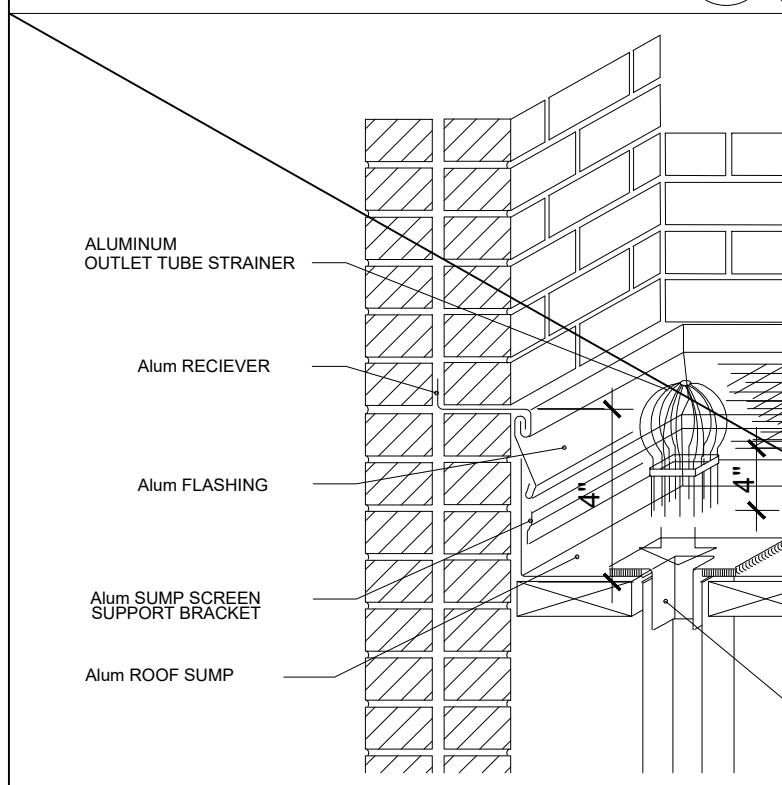
GUARDRAIL POST CONNECTIONS NOT USED 13



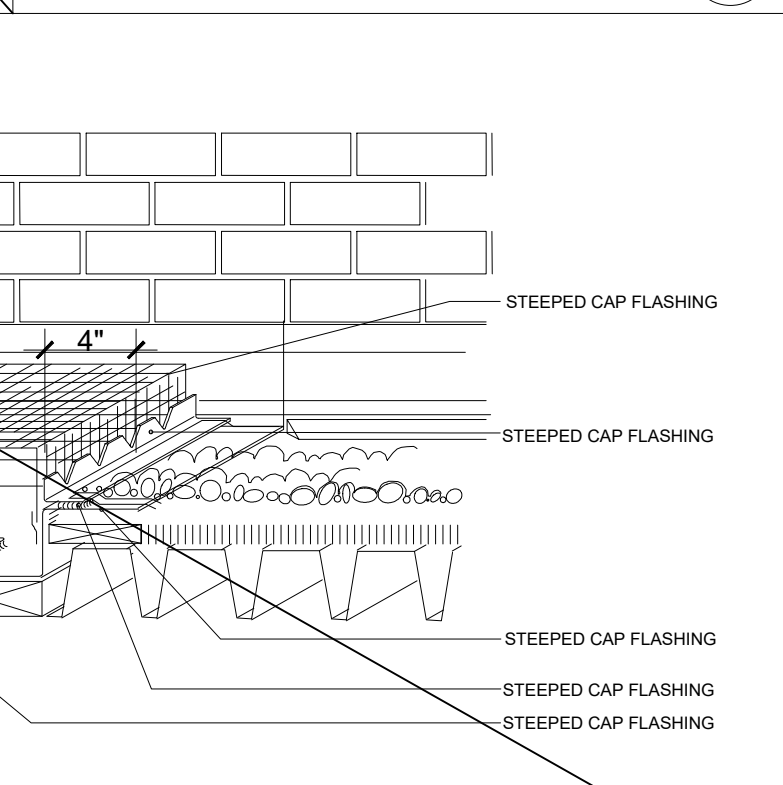
RAIN BARREL NOTES 12



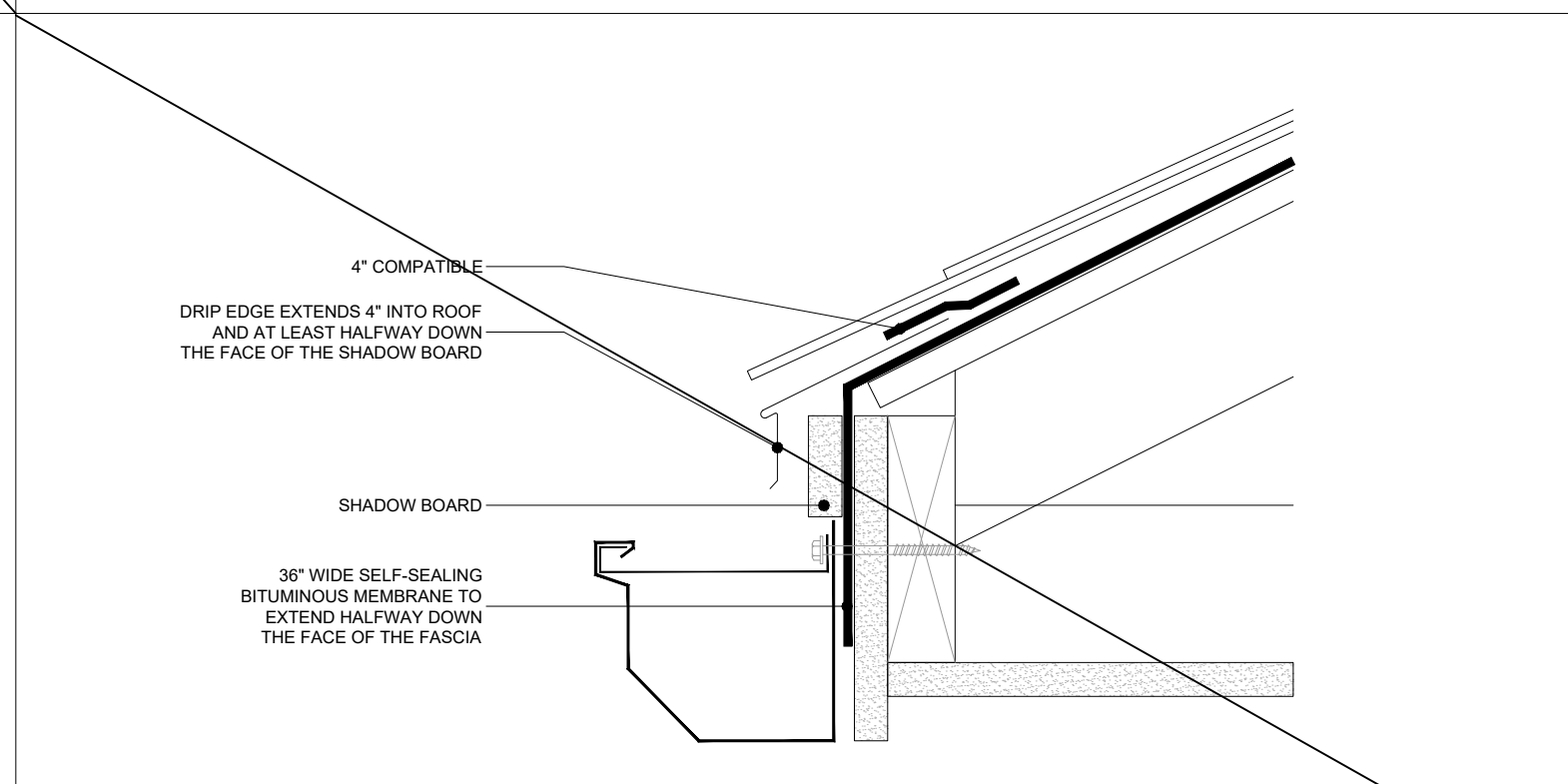
FLASHING AT CHIM. BS. 18



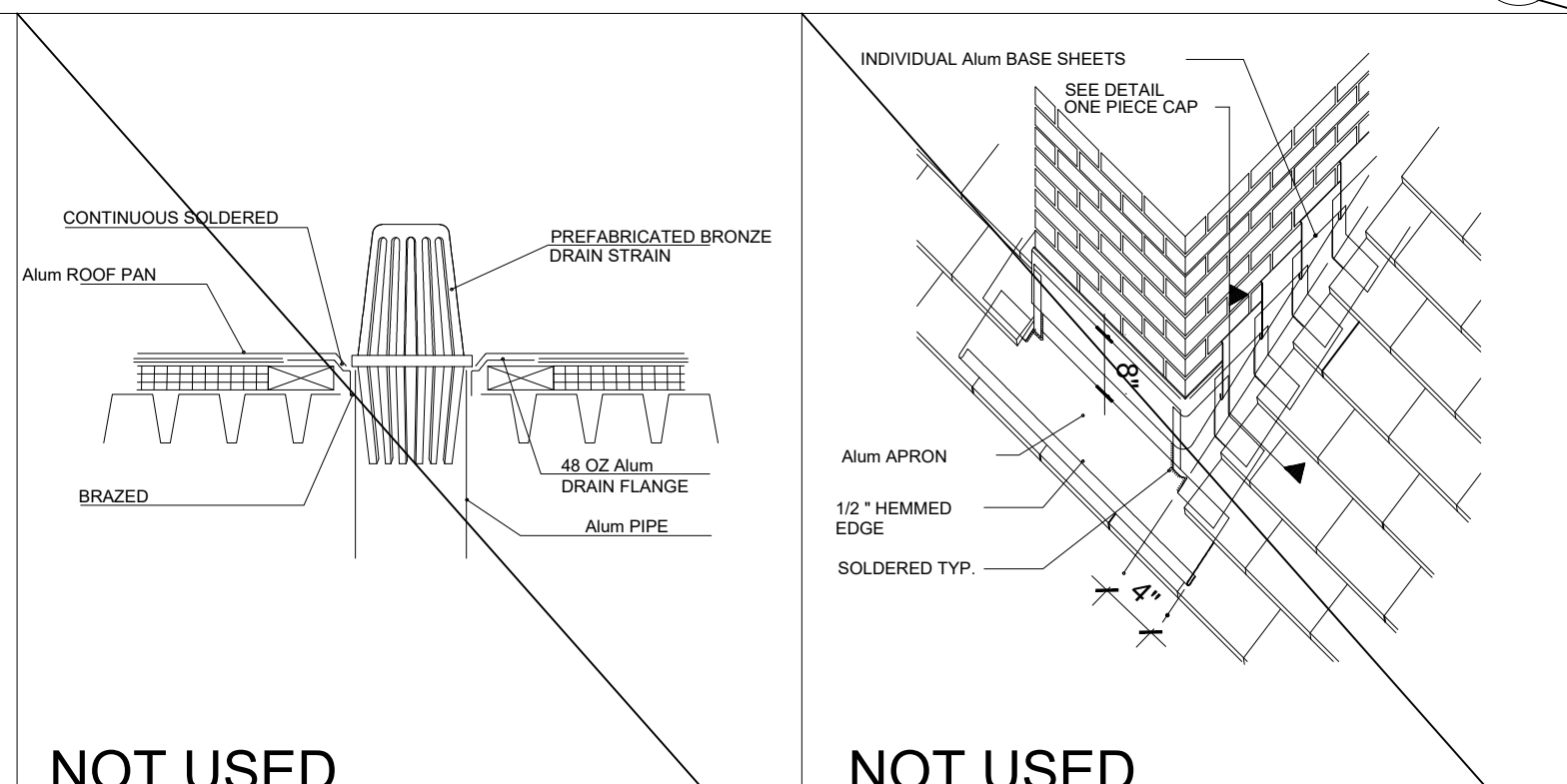
SLUMP DRAIN NOT USED 21



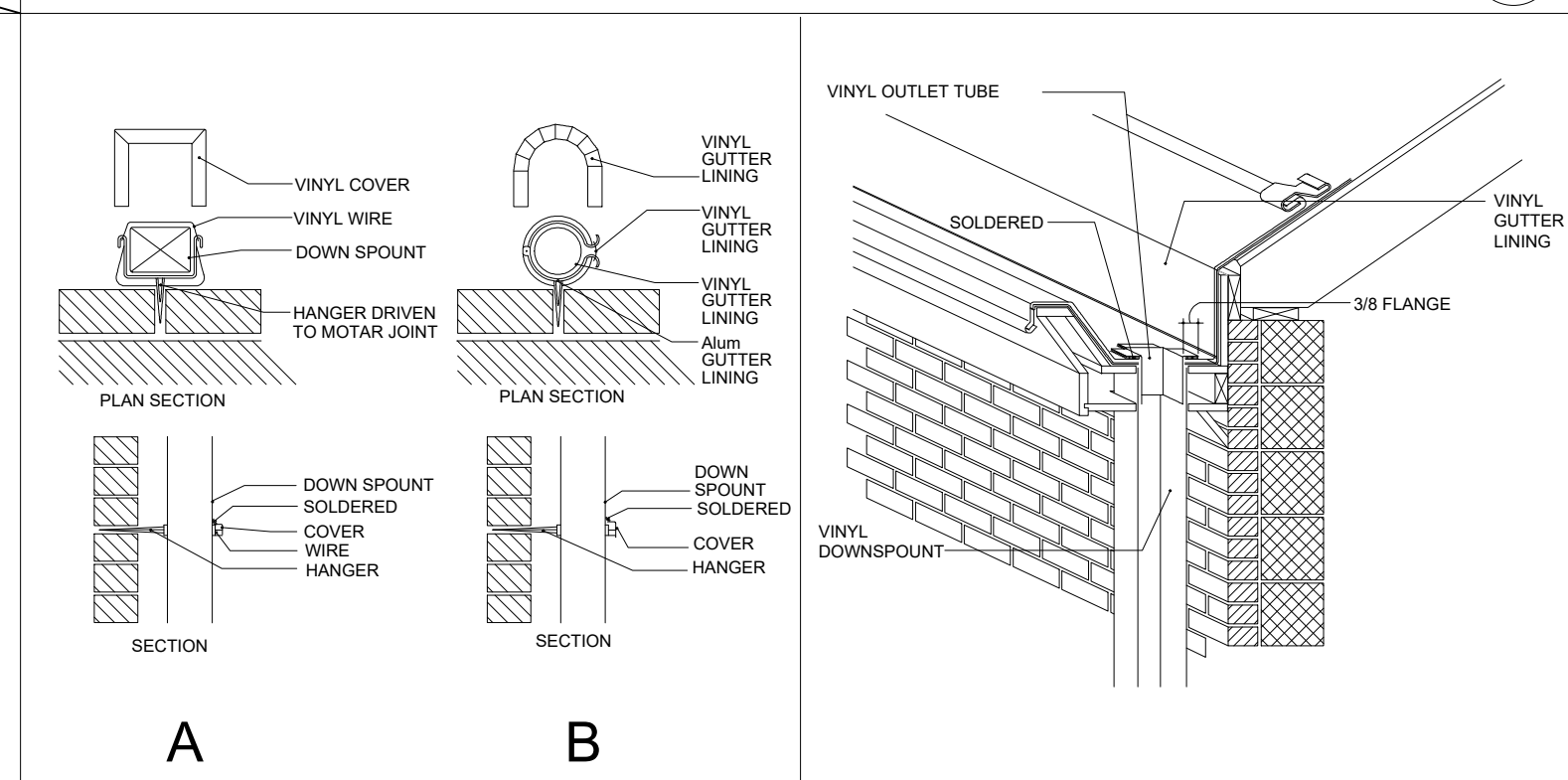
ROOF DETAIL AT GUTTER NOT USED 20



PRE-FAB. ROOF DRAIN NOT USED 19



FLASHING AT CHIM. BS. 18



DOWNSPOUT LINING 16

WATER EFFICIENCY AND CONSERVATION NOTES:

THE FLOW RATES FOR ALL PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATES SPECIFIED IN SECTION 4.303.1.

MULTI-FAMILY DWELLINGS NOT EXCEEDING THREE STORIES AND CONTAINING 50 UNITS OR LESS SHALL INSTALL A SEPARATED METER OR SUBMETER WITHIN COMMON AREAS AND WITHIN EACH INDIVIDUAL DWELLING UNIT.

FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.

ADDITION NOTES:

- LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBS. (4.304.4)
- FOR ONE- AND TWO-FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COVER HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM. FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100 PERCENT OF THE POOL DUE TO ITS IRREGULAR SHAPE, A MINIMUM OF 80 PERCENT OF THE POOL SHALL BE COVERED. (4.304.5)
- FOR SITES WITH OVER 500 SQUARE FEET OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHES WASHER, BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAY WATER IRRIGATION SYSTEM. (4.305.1)
- WATER USED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY LINE. (4.305.2)
- BUILDING NOT EXCEEDING 25 STORIES SHALL HAVE COOLING TOWERS WITH MINIMUM OF 6 CYCLES OF CONCENTRATION (BLOW DOWN) OR HAVE A MINIMUM OF 50% OF MAKEUP WATER SUPPLY TO COOLING TOWERS COME FROM NON-POTABLE WATER SOURCES. (4.305.3.1)
- BUILDING EXCEEDING 25 STORIES SHALL HAVE COOLING TOWERS WITH MINIMUM OF 6 CYCLES OF CONCENTRATION (BLOW DOWN) AND HAVE A MINIMUM OF 100% OF MAKEUP WATER SUPPLY TO COOLING TOWERS COME FROM NON-POTABLE WATER SOURCES. (4.305.3.2)
- WHERE GROUNDWATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND CONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGED TO THE SEWER. (4.305.4)
- THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL COMPLY WITH EITHER LOS ANGELES PLUMBING CODE SECTION 610.4.1.2 OR 610.4.1.3.

MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE.

FORM GRN16 AND AN OPERATION AND MAINTENANCE MANUAL, INCLUDING, AT A MINIMUM, THE ITEMS LISTED IN SECTION 4.410.1, SHALL BE COMPLETED AND PLACED IN THE BUILDING AT THE TIME OF FINAL INSPECTION.

WOOD BURNING FIREPLACES AND OTHER WOOD BURNING DEVICES ARE PROHIBITED.

ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT.

ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLES 4.504.1- 4.504.3.

- THE VOC CONTENT VERIFICATION CHECKLIST, FORM GRN 2, SHALL BE COMPLETED AND VERIFIED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING VOC CONTENT FOR ALL APPLICABLE PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION. (4.504.2.4)
- ALL NEW CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:
 - CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM
 - CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION 01350
 - NSF/ANSI 140 AT THE GOLD LEVEL
 - SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE™ GOLD (4.504.3)
- ALL NEW CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM. (4.504.3.1)
- 80% OF THE TOTAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
 - CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE
 - CERTIFIED UNDER UL GREEN GUARD GOLD
 - CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOOR SCORE PROGRAM
 - MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION 01350 (4.504.4)
- NEW HARDWOOD PLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED IN THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE FORMALDEHYDE LIMITS LISTED IN TABLE 4.504.5. (4.504.5)
- THE FORMALDEHYDE EMISSIONS VERIFICATION CHECKLIST, FORM GRN 3, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING FORMALDEHYDE CONTENT FOR ALL APPLICABLE WOOD PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION. (4.504.5)
- NEW MECHANICALLY VENTILATED BUILDINGS WITHIN 1,000 FEET OF A FREEWAY SHALL PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH A MERV 13 FILTER FOR OUTSIDE AND RETURN AIR. FILTERS SHALL BE INSTALLED PRIOR TO OCCUPANCY AND RECOMMENDATIONS FOR MAINTENANCE WITH FILTERS OF THE SAME VALUE SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE MANUAL. (4.504.6)
- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED UNTIL IT IS INSPECTED AND FOUND TO BE SATISFACTORY BY THE BUILDING INSPECTOR. (4.505.3)
- THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J2011, ANSI/ACCA 29-D-2014 OR ASHRAE HANDBOOKS AND HAVE THEIR EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 3 MANUAL S-2014. (4.507.2)
- 4-1/2 INCH THICK BASE OF 1/2 INCH OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED FOR THE PROPOSED SLAB ON GRADE CONSTRUCTION. SHOW ON DETAILS. (4.505.2.1)
- A VAPOR BARRIER SHALL BE PROVIDED IN DIRECT CONTACT WITH CONCRETE FOR THE PROPOSED SLAB ON GRADE CONSTRUCTION. SHOW ON DETAILS. (4.505.2.1)
- SHOW LOCATION OF EXHAUST FANS ON PLANS FOR BATHROOMS CONTAINING BATHTUBS, SHOWERS, OR TUB/SHOWER COMBINATIONS. PLANS SHALL STATE THAT THE BATHROOM EXHAUST FANS COMPLY WITH THE FOLLOWING:
 - FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
 - FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

NOTE: SYSTEMS USING GAS OR PROPANE WATER HEATERS TO SERVE INDIVIDUAL DWELLING UNITS MUST INCLUDE THE FOLLOWING COMPONENTS.

A. RECEPTACLE SHALL BE CONNECTED TO THE ELECTRIC PANEL WITH A 120 240 VOLT 3 CONDUCTOR, 10 AWG COPPER BRANCH CIRCUIT, 3 FEET WITHIN WATER HEATER AND ACCESSIBLE TO THE WATER HEATER WITH NO OBSTRUCTIONS.

IN ADDITION:

I. BOTH ENDS OF THE UNUSED CONDUCTOR MUST BE LABELED WITH THE WORD "SPARE" AND BE ELECTRICALLY ISOLATED.

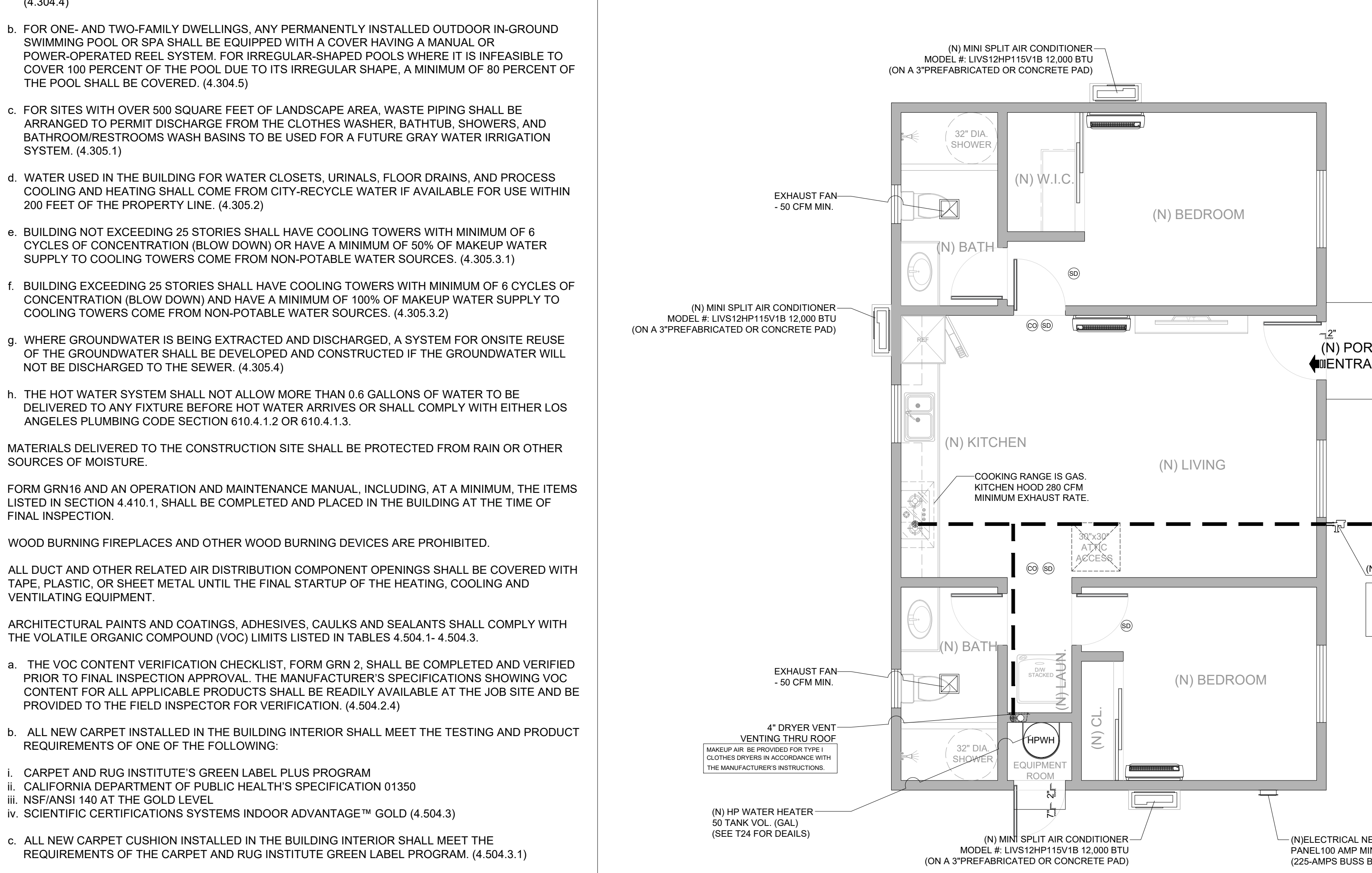
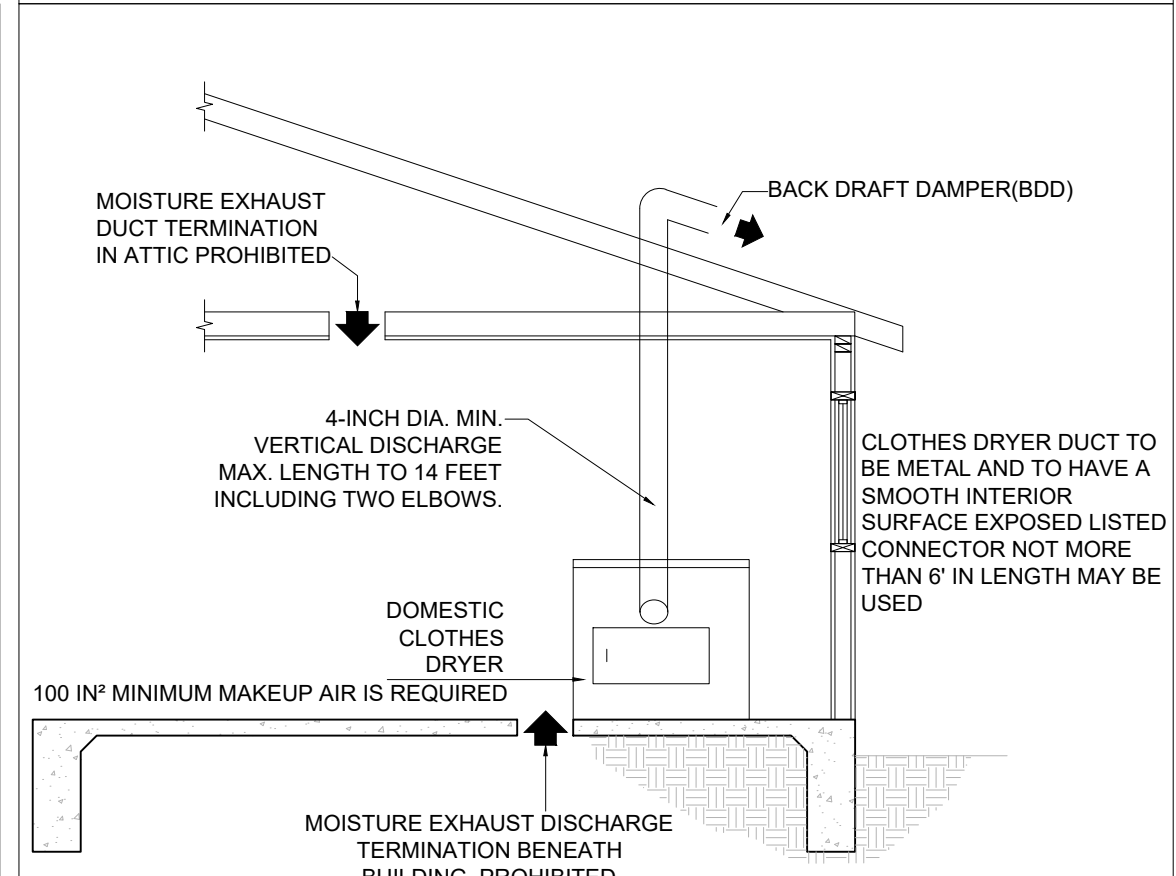
II. A RESERVED SINGLE POLE CIRCUIT BREAKER SPACE IN THE ELECTRICAL PANEL ADJACENT TO THE CIRCUIT BREAKER FOR THE BRANCH CIRCUIT IN A ABOVE AN LABELED WITH THE WORDS "FUTURE 240V USE"

B. A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE BETWEEN THE OUTSIDE TERMINATION AND THE SPACE WHERE THE WATER HEATER IS INSTALLED.

C. A CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER, AND ALLOWS NATURAL DRAINING WITHOUT PUMP ASSISTANCE

D. A GAS SUPPLY LINE WITH A CAPACITY OF AT LEAST 200,000 BTU/HR. (SEE MECHANICAL PLAN)

NOTE: LAUNDRY ROOMS REQUIRE PERMANENT NATURAL VENTILATION TO THE OUTSIDE OR EQUIVALENT MECHANICAL VENTILATION CAPABLE OF 50 CU.FT. PER MINUTE FOR INTERMITTENT VENTILATION OR 20 CU.FT. PER MINUTE FOR CONTINUOUS VENTILATION. EXHAUST DIRECTLY TO THE OUTDOORS AT POINT OF DISCHARGE. PROVIDE AN EXHAUST FAN IN LAUNDRY ROOM. (R303.3 CRC, 402.2.2, 504.4.1 CMC)

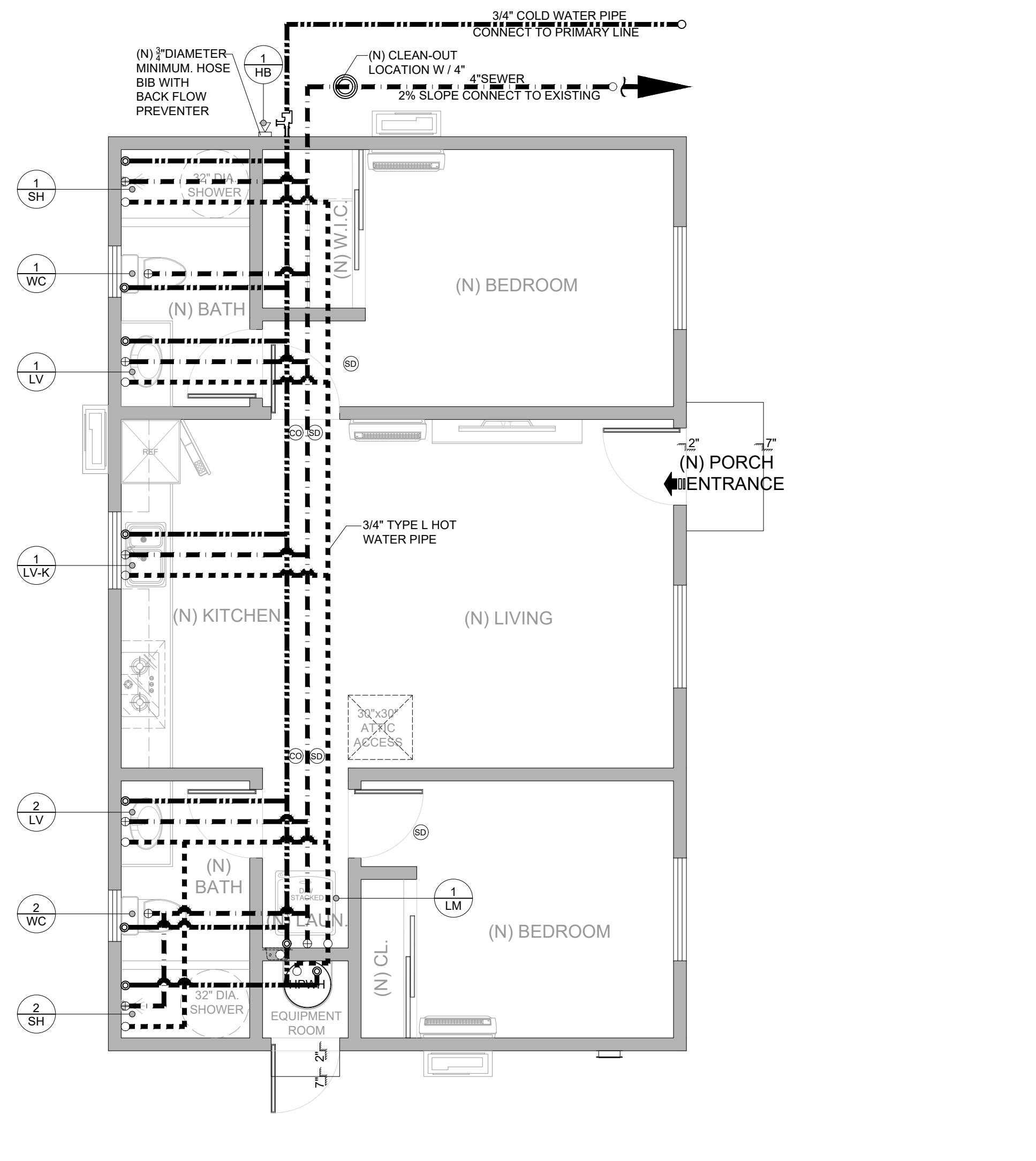


1 M-1 MECHANICAL PLAN
SCALE: 1/4"=1'-0"

LEGEND

- GAS PIPE (1" YELLOW POLYETHYLENE PIPE)
- COLD WATER (1" TYPE L)
- HOT WATER (1" TYPE L)
- SEWER LINE(4" ACRYLONITRILE BUTADIENE STYRENE)

- SHOWER HEADS (RESIDENTIAL), 1.8 GMP @ 80 PSI
- LAVATORY FAUCETS (RESIDENTIAL) - MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20PSI
- LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS - 0.5 GPM @ 60 PSI
- KITCHEN FAUCETS - 1.8 GPM @ 60 PSI
- METERING FAUCETS - 0.2 GAL/CYCLE
- WATER CLOSET - 1.28 GAL/FLUSH
- URINALS - 0.125 GAL/FLUSH



1 P-1 PLUMBING PLAN
SCALE: 1/4"=1'-0"

FIXTURE UNIT SCHEDULE						
SYMBOL	FIXTURE TYPE	QTY	WATER FU		SEWER FU	
			EACH	TOTAL	EACH	TOTAL
1 WC	WATER CLOSET	2	2.50	5.0	2	4
1 LV	LAVATORY	2	1	2.0	1	2
1 SH	SHOWER	2	2	4.0	2	4
1 LM	LAUNDRY	1	4	4.0	2	2
1 LB	BATH TUB	0	4	0.0	2	0
1 HB	HOSE BIBB	1	2.5	2.5	---	---
1 LV-K	KITCHEN SINK	1	1.5	1.5	1	1
TOTAL				19.0		13

GENERAL NOTES

- WATER PIPING MATERIALS WITHIN A BUILDING SHALL BE IN ACCORDANCE WITH SEC. 604.1 OF THE CALIFORNIA PLUMBING CODE. PEX, CPVC AND OTHER PLASTIC WATER PIPING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SEC. 604 OF THE CPC. INSTALLATION STANDARDS OF APPENDIX 1 OF THE CPC AND MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS. SPVC WATER PIPING REQUIRES A CERTIFICATION OF COMPLIANCE AS SPECIFIED IN SEC 604.1.1(d) OF THE CPC PRIOR TO PERMIT ISSUANCE. PIPING MATERIAL TO BE COPPER
- DOMESTIC DISHWASHERS REQUIRE AN APPROVED DISHWASHER AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHER. LISTED AIR GAPS SHALL BE INSTALLED WITH THE FLOOD-LEVEL (FL) MARKING AT OR ABOVE THE FLOOD-LEVEL OF THE SINK OR DRAINBOARD, WHICHEVER IS HIGHER. (CPC 807.3)
- ALL HOSE BIBS MUST HAVE AN APPROVED ANTI-SIPHON DEVICE

WATER CONSERVATION NOTES:

SHOWER HEAD : GLACIER BAY- BUILDERS SINGLE-HANDLE 1 SPRAY PRESSURE BALANCE SHOWER FAUCET. WATER SENSE CERTIFIED WITH 1.8 GPM FLOW RATE . FLUSH VOLUME: 1.8 GALLONS/FLUSH < 2.0 GALLONS/FLUSH

WATER CLOSETS: GLACIER BAY2-PIECE 1.1 GPF/1.6 GPF HIGH EFFICIENCY DUAL FLUSH COMPLETE ELONGATED TOILET FLUSH VOLUME: 1.27 GALLONS/FLUSH < 1.28 GALLONS/FLUSH

LAVATORY FAUCETS: GLACIER BAY CONSTRUCTOR 4 IN. CENTER SET 2-HANDLE MID-ARC BATHROOM FAUCET WITH CLICK INSTALL POP UP FLOW RATE(MAX)=1.2 GALLONS/MINUTE AT 80PSI

KITCHEN FAUCETS: DELTA FOUNDATIONS 2-HANDLE BAR FAUCET. FLOW RATE(MAX)=1.8 GALLONS/MINUTE AT 60PSI

Location

1627 N PARK AVE, POMONA, CA 91768

ALIGCUS ARCHITECTURAL DESIGN SERVICES

6841 S. SAN GABRIEL BLVD. SUITE D SAN GABRIEL, CA, 91776 TEL: (626)505-6888

NOTES: THE DESIGNS AND DRAWINGS REMAIN THE PROPERTY OF ALL CONSTRUCTION AND MAY NOT BE REPRODUCED OR COPIED WITHOUT THE SPECIFIC WRITTEN CONSENT OF ALL CONSTRUCTION. THE CONTRACTOR MUST CHECK AND VERIFY ALL DETAILS AND DIMENSIONS OF THE JOB AND BE RESPONSIBLE FOR ANY DISCREPANCIES TO ALL CONSTRUCTION BEFORE COMMENCING WORK. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

4			
3	PC CORRECTION	04/24/2025	
2	PC CORRECTION	02/20/2025	
1	PC CORRECTION	12/19/2024	

Revisions: No. / Description / Date / CK

DESIGNER: MICHAEL ZHANG
TEL: (626)505-6888

Drawing title: **MECHANICAL & PLUMBING PLANS**

Date: 06-06-2025 / Drawing no. / Scale: NOTED / CSR: / Drawn by: HD / Checked by: JJ

File name: 1625 N PARK AVE, POMONA

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