



6 3D View 6



5 3D View 5



4 3D View 4



2 3D View 2



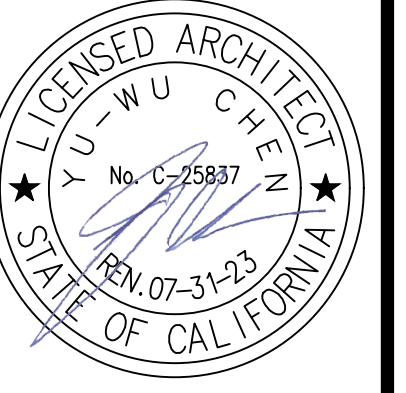
1 3D View 1



3 3D View 3

DRAWING FILE: N:\2023\PROJ2023_RES_2145_NORTH GAREY\DRAWINGS\DWG\ARCHIT-101-102.DWG
 PLOT DATE: 10/11/2023 10:58:59 AM
 PLOT BY: T-101-102.dwg

#	DATE	REVISION



CDA + PDG, INC.
 CORPORATE HQ:
 150 EL CAMINO REAL STE 112
 TUSTIN, CA 92780
 714-465-9100
 1728 E. 60th AVE
 CITY OF INDUSTRY, CA 91748
 626-913-8101

PROJECT:
20 UNIT MULTI-FAMILY CONDOS
 2145 NORTH GAREY AVE
 POMPONA, CA 91767
 SHEET TITLE:
RENDERING

Drawn by: PDG
 Plot date: Jun 02, 2023
 Issue date: Jun 02, 2023
 Job#: 1826_Mix_549_Holt Blvd
 Cad file: T-101-102.dwg
 Drawing no: **T-102**

I HAVE COMPLIED WITH THE CRITERIA OF THE CITY OF POMONA WATER EFFICIENT LANDSCAPE ORDINANCE (POMONA ZONING CODE SECTION 503-J) AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

LANDSCAPE WATER USE CALCULATIONS - POMONA CITY WELO

TOTAL LANDSCAPE AREA - 4340 SQUARE FEET
 TOTAL NON-LAWN AREA - Plant factor .20 - 4340 S.F.

MAXIMUM ANNUAL WATER ALLOWANCE - MAWA

(Eto) (Adjustment factor) (Total Landscape area) (Conversion factor)
 $45.5 \times .70 \times 4340 \times .62 = \text{MAWA} - 89,469 \text{ G.P.Y.}$

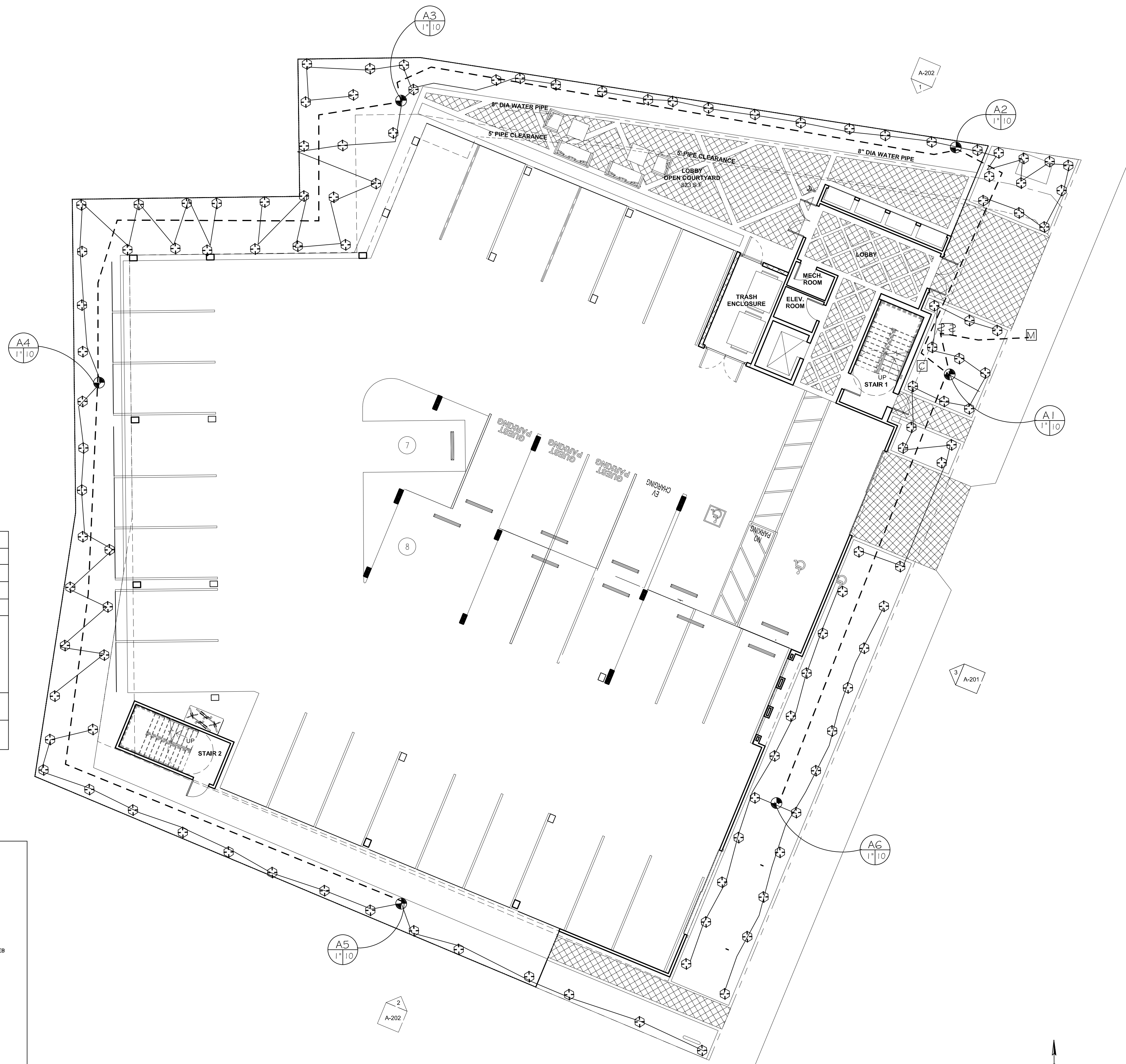
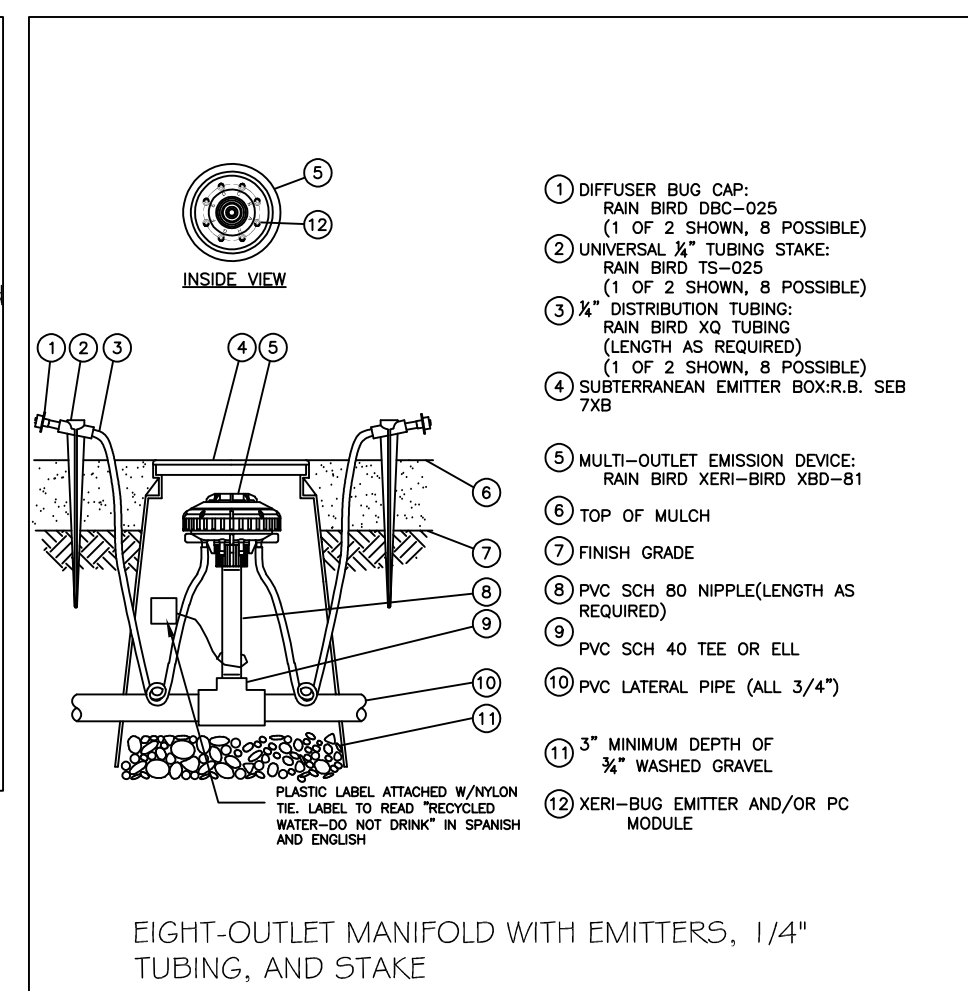
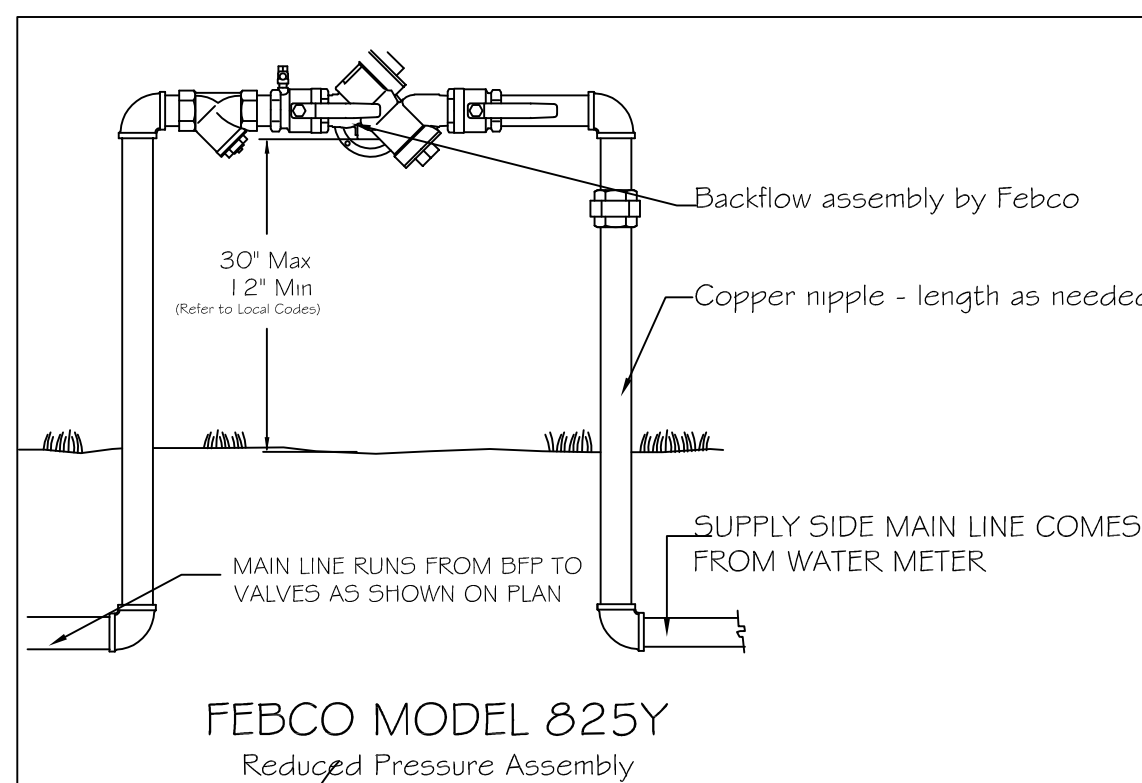
ESTIMATED TOTAL WATER USE - ETWU

Hydrozone #1 All plant areas are Low water hydrozones- L.W. (Plant factor - .20) 4340 S.F. = 868
 Irrigation Efficiency- .81
 ETAF - .25
 Landscape Area 4,340 s.f.
 ETAF x Area
 ESTIMATED TOTAL WATER USE - 31,953.25 GPY
 MAXIMUM ANNUAL WATER ALLOWANCE - 89469 GPY

A2 Valve sequence number
1 1/2 Valve size Gallons per minute of valve

Irrigation Equipment Table

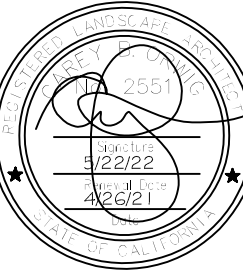
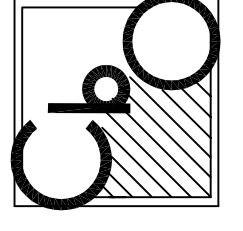
Quantity	Symbol	Equipment
1		Febco Model #825Y Reduced Pressure Backflow Preventer
6		Rainbird XCZ-100-PRB-COM Valve, Strainer, Gate valve combination.
1		Rainbird ESP45MTE Smart Controller with (6) ESP5M6 Expansion modules - Rain sensor included-Mount on wall
1		Approximate location of water meter at street. Size is 3/4"; static pressure is 85 psi.
160		Rainbird Xen-Bird 8 outlet emitter station; attach to riser from lateral line; see detail - Attach 1/4" poly tubing to each emitter on Xen-bird; run tubing to each plant in system. At the end of each length of 1/4" poly tubing, attach one Rainbird 6-gph emitter for 1 or 5 Gal.
		1" SCH 40 PVC LATERAL PIPE; Xen-Bird emitter attaches to this with riser per detail.
		1" SCH 40 PVC Mainline
		In all areas where pipe goes under paving areas, use 3" Sch 40 pvc as sleeving.



NORTH
 1" = 10'-0" SCALE
 IRRIGATION PLAN

Revisions
 4/26/21

Carey B. Orwig, ASLA Landscape Architecture and Planning
 California License # 2551 (714) 749-6733
 505 Myrtlewood Parklet Reno, NV 89511



22-UNIT CONDOMINIUMS
 2145 N. GAREY AVENUE
 POMONA, CALIFORNIA 91767

Date 3/8/2021
 Scale 1" = 10'-0"
 Drawn by CBO
 Job Name Garey
 Sheet 1
 Of 3 Sheets

I HAVE COMPLIED WITH THE CRITERIA OF THE CITY OF POMONA WATER EFFICIENT LANDSCAPE ORDINANCE (POMONA ZONING CODE SECTION 503-J) AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

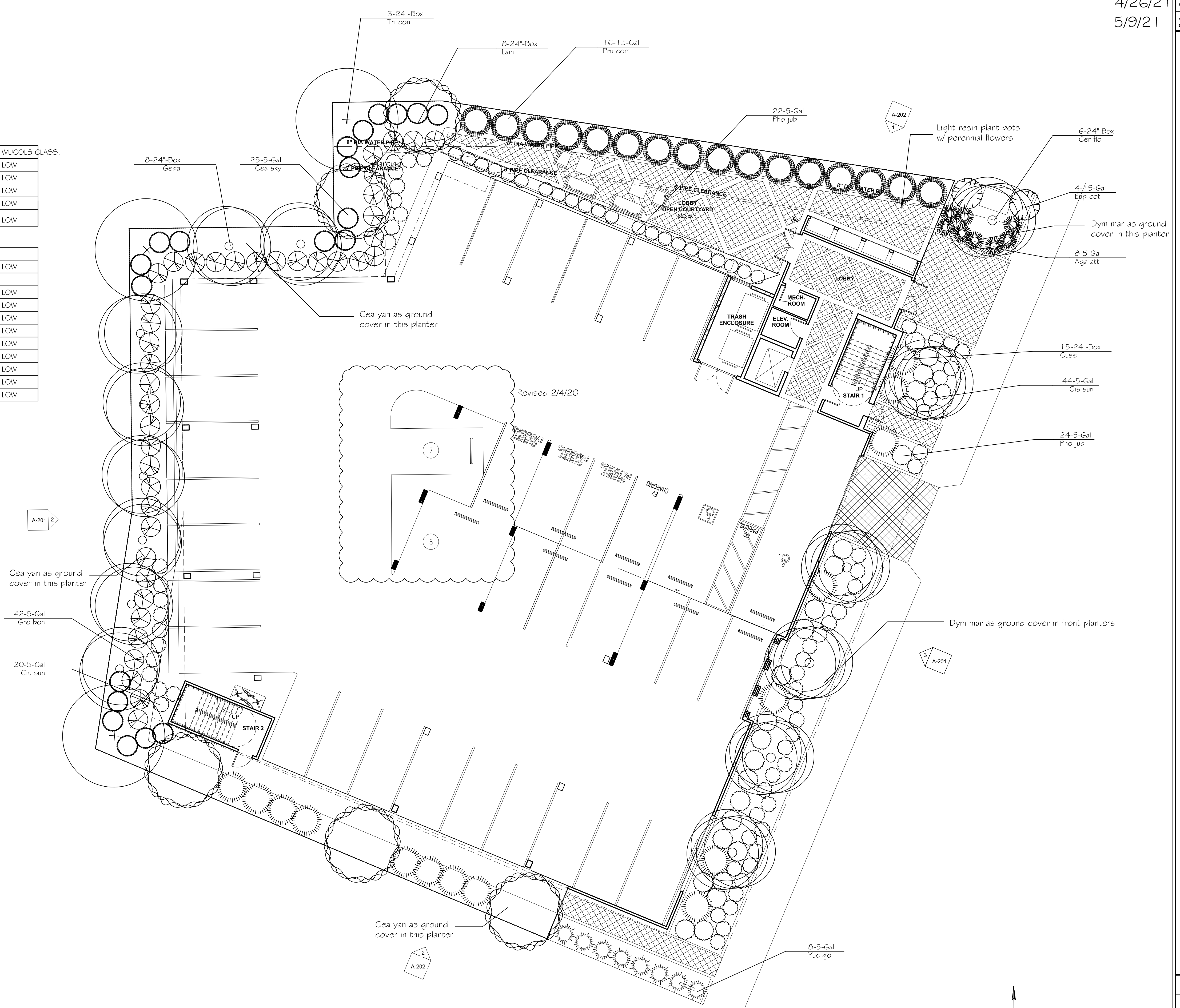
5/9/2021

PLANT LEGEND

Quantity	Symbol	Scientific Name	Common Name	Code Name	Planting Size	WUCOLS CLASS.
6	○	Cercidium floridum	Blue Palo Verde	Cer flo	24"-Box	LOW
15	○	Cupressus sempervirens	Italian cypress	Cuse	24"-Box	LOW
8	○	Geijera parviflora	Australian willow	Gepa	24"-Box	LOW
6	○	Lagerstroemia indica	Grape myrtle	Lain	24"-Box	LOW
3	○	Tristania conferta	Bnsbane Box	Trn con	24"-Box	LOW

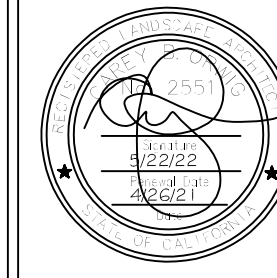
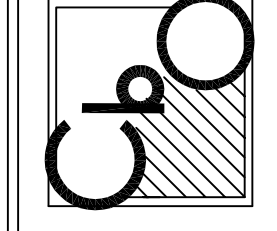
Quantity	Symbol	Scientific Name	Common Name	Code Name	Planting Size	WUCOLS CLASS.
8	●	Agave attenuata	Smooth Agave	Aga att	5-Gal	LOW
25	○	Ceanothus "Skylark"	Skylark California Lilac	Cea sky	5-Gal	LOW
20	○	Cistus "Sunset"	Sunset Rockrose	Cis sun	5-Gal	LOW
3	○	Euphorbia cotinifolia	Caribbean Copper Tree	Eup cot	15-Gal	LOW
42	○	Grevillea "Bonfire"	Bonfire Grevillea	Gre bon	5-Gal	LOW
39	○	Phormium "Jubilee"	Jubilee New Zealand Flax	Pho jub	5-Gal	LOW
16	○	Prunus caroliniana "Compact"	Compact Carolina Cherry	Pru com	15-Gal	LOW
9	○	Yucca Golden Sword	Golden Sword Yucca	Yuc gol	5-Gal	LOW
@36" o.c.	○	Dymondia margaretae	Dymondia	Dym mar	10" o.c. flats	LOW
	○	Ceanothus "Yankee Point"	Yankee Point California Lilac	Cea yan	1-Gal	LOW

Second floor planters



Revisions	Date
8/25/16	
6/22/17	
3/8/21	7/13/17
4/26/21	8/14/17
5/9/21	2/4/20

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22-UNIT CONDOMINIUMS
 2145 N. GAREY AVENUE
 POMONA, CALIFORNIA 91767

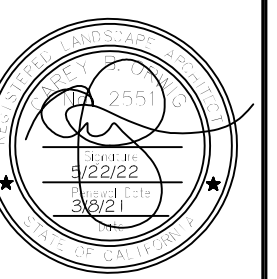
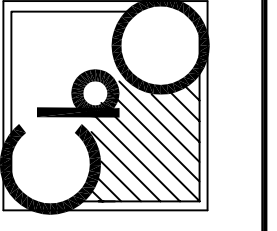
Date	8/11/16
Scale	1" = 10'-0"
Drawn by	CBO
Job Name	Garey
Sheet	2
Of	3 Sheets

NORTH
 1" = 10'-0" SCALE
 LANDSCAPE PLANTING PLAN



Revisions	
2/4/20	
3/8/21	

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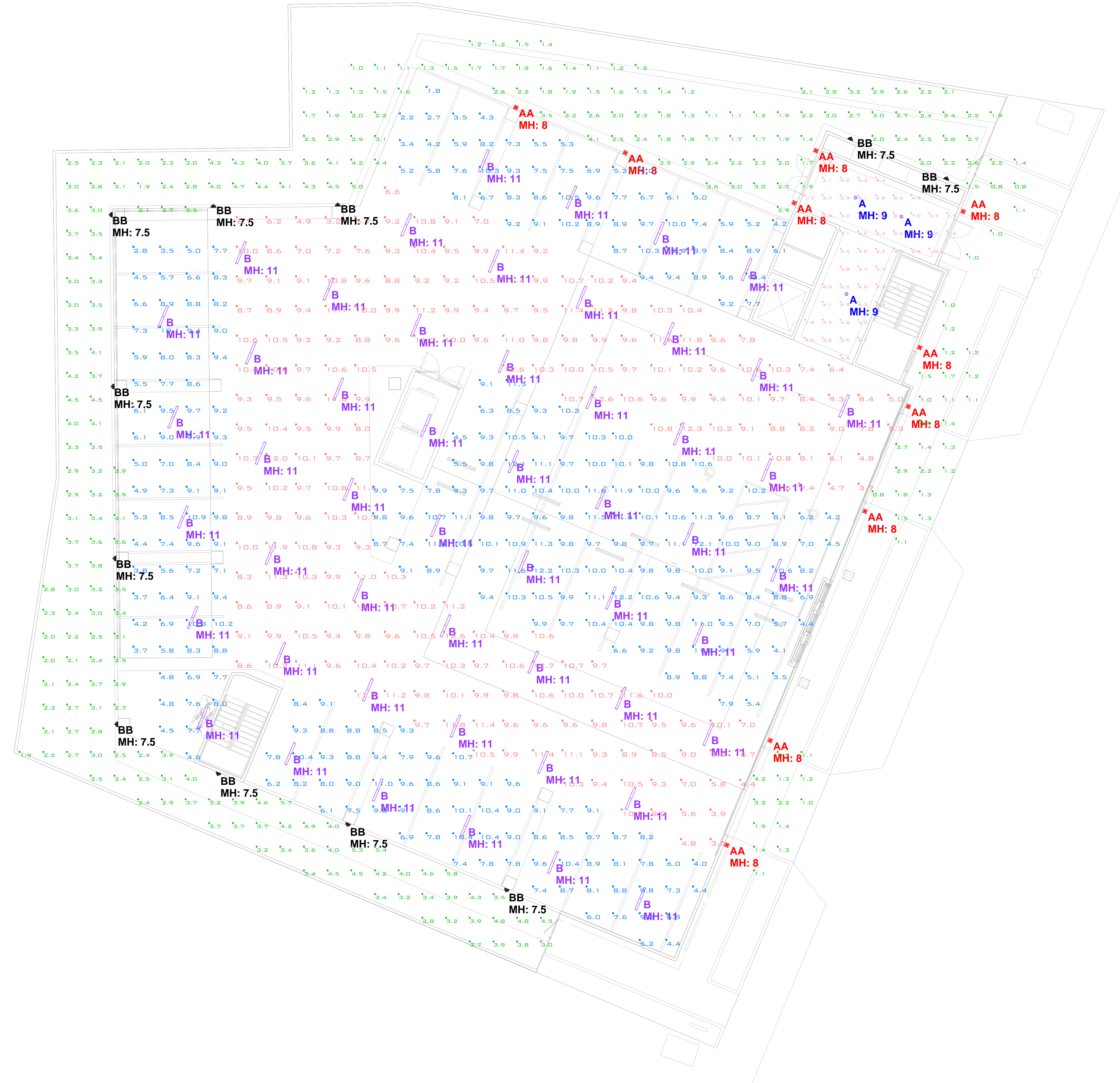
22-UNIT CONDOMINIUMS
 2145 N. GAREY AVENUE
 POMONA, CALIFORNIA 91767

Date	8/11/16
Scale	1" = 10'-0"
Drawn by	CBO
Job Name	Garey
Sheet	3
Of	3 Sheets

NORTH
 1" = 10'-0" SCALE
 2ND FLOOR PLANTING PLAN

LUMINAIRE SCHEDULE						LUM. LUMENS	LUM. WATTS
SYMBOL	QTY	LABEL	ARRANGEMENT	LLF	DESCRIPTION		
	3	A	SINGLE	0.900	LUM-TECH LIGHTING: LED-AFR56-8CRI-35K-FINISH-DOB-OPTIONS	895	12.5
	10	AA	SINGLE	0.900	BROWNLEE LIGHTING: 7322-C9LED-35K-SBLOG-ES-P01	1009	9
	51	B	SINGLE	0.900	LSI INDUSTRIES: SDL-4-LED-SS-WW-UE	3216	34
	11	BB	SINGLE	0.900	BROWNLEE: 7616-BL-F45LED-VBO-35K-SBLOG-ES	2919	45

CALCULATION SUMMARY							
LABEL	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN	HEIGHT OF CALC POINTS
GARAGE - DRIVEWAY	Fc	9.53	12.7	3.2	2.98	3.97	0
GARAGE - PARKING STALLS	Fc	8.33	12.2	1.8	4.63	6.78	0
INTERIOR LOBBY	Fc	4.22	8.4	1.3	3.25	6.46	2.5
PERIMETER LIGHTING	Fc	2.66	5.8	0.5	5.32	11.60	0



LIGHTING PHOTOMETRIC STUDY
SCALE: 1 INCH = 8 FT.

PROJECT:

2145 N. GAREY AVENUE
POMONA, CALIFORNIA 91767

1 OF 1

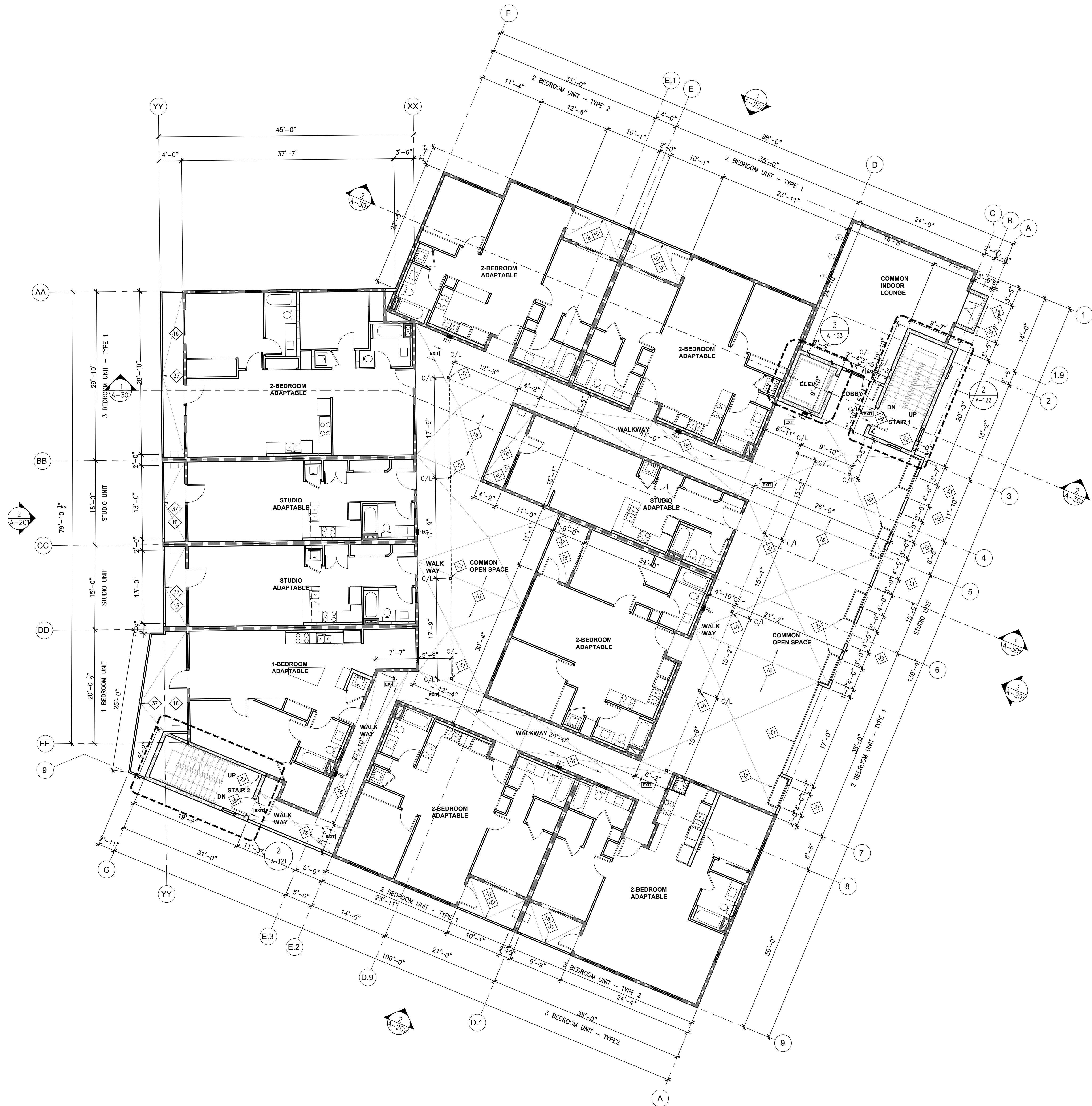
CLIENT: CREATIVE DESIGN ASSOC.
DATE: 08-30-2016
DESIGNER: HECTOR M.M.
CLS AGENT:
LESTER GOMEZ



californialightingsales

DISCLAIMER
THIS LIGHTING CALCULATION IS BASED ON THE BEST INFORMATION PROVIDED TO US BY THE ARCHITECT, ENGINEER, LIGHTING DESIGNER OR INTERIOR DESIGNER. THESE FIGURES SHOULD BE TAKEN AS A GENERAL ESTIMATE ONLY AND NOT AS A GUARANTEE. WE DO NOT ACCEPT ANY LIABILITY FOR ANY ERRORS, OMISSIONS, OR DAMAGES OF ANY KIND, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM OR OUT OF THE USE OF THESE CALCULATIONS, AND THEY SHOULD BE USED AS A DESIGN REFERENCE TOOL.

N:\2023\PROJECTS\RES_2145_NORTH_GAREY_FAMILY_CONDOS\A-101-102-103-104-105-106.DWG
 DRAWING FILE: N:\2023\PROJECTS\RES_2145_NORTH_GAREY_FAMILY_CONDOS\A-101-102-103-104-105-106.DWG
 AREAS INCLUDED: 101, 102, 103, 104, 105, 106



1 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

FLOOR PLAN KEYNOTES

- 1 36" CLEAR REFRIGERATOR SPACE. PLUMB FOR WATER SUPPLY. VERIFY WIDTH AND DEPTH IF BUILT-IN REFRIGERATOR.
- 2 30" COOKTOP AND METAL HOOD ABOVE WITH LIGHT AND FAN (VENT TO OUTSIDE AIR).
- 3 WALL MOUNT WATER HEATER. SEE 1-24
- 4 TUB/SHOWER W/ WATER RESISTANT WANSOT TO 72" ABOVE DRAIN U.N.O. PROVIDE SHOWER CURTAIN ROD U.N.O. 2.0 GPM. SEE DETAIL 1/A-501
- 5 PARKING STALLS. SEE SITE PLAN FOR SPACING
- 6 BUILDING SHEAR WALLS AND COLUMNS PER STRUCTURAL PLANS
- 7 LINEN CABINET
- 8 24" CLEAR UNDERCOUNTER DISHWASHER SPACE FOR WATER SUPPLY
- 9 PROVIDE WATER AND WASTE FOR WASHER.
- 10 PROVIDE SMITTY PAN WITH DRAIN BENEATH WASHER.
- 11 4" DIA. MIN. DRYER VENT (INCLUDING (2) 90 DEGREE ELBOWS) PER C.M.C. 504.4.2.
- 12 WROUGHT IRON FENCE
- 13 METAL SLIDING GARAGE DOOR
- 14 KITCHEN COUNTERTOP OR BASE/UPPER CABINET. O.F.C.I. SEE DETAIL 4 & 5/A-501
- 15 LANDSCAPE. SEE LANDSCAPE PLANS
- 16 WESTCOAT MACOAT TOPPING SYSTEM WITH 2% SLOPE TO DRAIN. SEE SPECIFICATION - REFER TO A-509 FOR DETAILS.
- 17 ELECTRICAL SERVICE PANEL. SEE GENERAL NOTES FOR GROUNDING INFORMATION.
- 18 1.2 GPM LAVATORY FAUCET (TYP.)
- 19 1.8 GPM KITCHEN FAUCET (TYP.). SEE DETAIL 2/A-501
- 20 1.28 GPF WATER CLOSET (TYP.)
- 21 2.0 GPM SHOWERHEAD (TYP.)
- 22 STAIRS: RISER = 7 1/4" MAX. RUN=10" MIN. W/NOSE W=1 1/2"
- 23 ELECTRICAL TRANSFORMER. SEE ELECTRICAL PLANS
- 24 42" HIGH METAL GUARDRAIL PER C.B.C. 1015.1 & 1015.3. SEE EXT. ELEVATIONS FOR COLOR
- 25 34"-38" HIGH HANDRAIL ABOVE NOSING PER C.B.C. 1607.8.1 & 1607.8.1.2
- 26 ROOF LINE ABOVE.
- 27 BUILDING OUTLINE ABOVE
- 28 BUILDING OUTLINE BELOW
- 29 EXTERIOR LIGHT FIXTURES. SEE ELECTRICAL PLANS
- 30 PRECAST PLANTER. SEE LANDSCAPE PLANS
- 31 POST, TYPICAL PER DETAIL 4/A-301. SEE STRUCTURAL PLANS
- 32 PRECAST PLANTERS. SEE LANDSCAPE PLANS
- 33 MOROCCAN STYLE WALL OPENING WITH METAL RAILING. SEE EXTERIOR ELEVATIONS FOR COLOR
- 34 ALUMINUM TRELLIS ABOVE AT 1'-0" OF CENTER. SEE EXTERIOR ELEVATIONS FOR COLOR
- 35 CEILING SURFACE MOUNTED LIGHT FIXTURES. SEE ELECTRICAL PLANS
- 36 RECESSED CEILING OR WALL LIGHT FIXTURES. SEE ELECTRICAL PLANS
- 37 PROVIDE FLOOR SLOPE TO DRAIN AND OVERFLOW DRAIN AT WALL SCUPPER - SLOPE MIN. 1/4" PER FOOT. SEE EXTERIOR BALCONY WATERPROOFING DETAIL 18/A-509
- 38 FLOOR MOUNTED PEDESTAL MAILBOX, DOUBLE COLUMN 20 DOORS, 2 PARCEL USPS
- 39 CLASS I STANDPIPE HOSE CONNECTION, TYP.

WINDOW AND DOOR NOTES

1. MAXIMUM EFFORT TO OPERATE EXTERIOR AND INTERIOR DOORS SHALL NOT EXCEED 5 LBS.
2. ALL INTERIOR DOORS TO BE SOLID CORE 1 3/8" THICK U.N.O. AT DOUBLE INTERIOR DOOR CONDITIONS PROVIDE DEADBOLT AT TOP OF INACTIVE DOOR
3. ALL GARAGE SERVICE DOORS TO BE SOLID CORE 1 3/4" THICK EXTERIOR GRADE.
4. ALL ENTRY DOORS TO BE SOLID CORE 1 3/4" THICK. AT DOUBLE ENTRY DOORS, PROVIDE A DEAD BOLT AT TOP AND BOTTOM OF INACTIVE DOOR.
5. CONTRACTOR SHALL VERIFY WITH WINDOWS MANU. THAT ALL ESCAPE OR RESCUE WINDOWS HAVE A MIN. CLEAR OPERABLE AREA OF 5.7 SQ.FT. AND HAVE A MIN. CLEARANCE OF 24 INCH HEIGHT AND 20 INCH WIDTH. (CBC 1029). WINDOWS NOT MEETING THESE REQUIREMENTS SHALL BE BOUGHT TO THE ARCHITECT ATTENTION IMMEDIATELY.
6. ALL WINDOWS ARE RATED WITH THE FOLLOWING (SEE TITLE 24 REPORT FOR DETAILS)
7. ALL WINDOWS ARE DUAL GLAZING.
8. CONTRACTOR ARE FOLLOW THE DETAIL "VAPOR BARRIERS" ON DETAIL SHEETS.
 * TEMPERED GLASS

WALL SCHEDULE

SYMBOL	DESCRIPTION
W1	NON-RATED EXTERIOR WALL SEE DETAIL 5/A-508 MIN. 4" WOOD STUDS @ 16" O.C. WITH 7/8" EXTERIOR CEMENT ON THE EXTERIOR AND 5/8" GYP. BD. ON THE INTERIOR SIDE W/ R-19 BATT INSULATION. SEE DETAIL 5/A-508
W2	ONE HOUR INTERIOR WALL SEE DETAIL 12/A-508 FOR UL# ONE LAYER 1/2" TYPE "X" GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO EACH SIDE OF 2X4 WOOD STUDS 16" O.C. STAGGERED 8" O.C. ON 2X6 WOOD PLATES WITH 6D COATED NAILS, 1 1/8" LONG, 0.0915" SHANK, 1" HEADS, 7" O.C.
W3	NON-RATED INTERIOR PARTITION PER DETAIL 16/A-508 2" X 1/2" STUDS @ 16" O.C. WITH 5/8" GYP. BD. ON BOTH SIDES PROVIDE USE WATER RESISTANT GYPSUM BOARD WHERE OCCUR. SEE DETAIL 16/A-508
W4	PLUMBING WALL SEE DETAIL 13/A-508 FOR ITEM# 2X6 WOOD STUDS @ 16" O.C. W/ WATER RESISTANT GYP. BD. ON WET SIDE W/ SOUND INSULATION. SEE DETAIL 13/A-508
W5	NOT USED.
W6	4-HRS. RATED REINFORCED CMU WALL SEE STRUCTURE PLANS. SEE DETAIL 18/A-508.
W7	REINFORCED CONC. ASSEMBLY SEE DET. 1/A-508 FOR ITEM# -SEE STRUCTURAL -FIRE RESISTANCE 4 HRS PER ASTM E119
W8	1-HOUR EXTERIOR WALL SEE DETAIL 9/A-508 FOR ITEM#
W9	USE WATER RESISTANT FIRE CODE "C" GYPSUM BOARD IN LIEU OF SPECIFIED WALLBOARD/ USE WATER RESISTANT PAINT/FINISH ON WET SIDE.

WALL NOTES

1. PROVIDE R-38 BATT INSULATION AT ROOF.
2. PROVIDE R-19 BATT INSULATION AT JOIST SPACES.
3. PROVIDE R-19 BATT INSULATION AT EXTERIOR WALLS.
4. PROVIDE R-19 BATT INSULATION AT INTERIOR WALLS.
5. USE WATER RESISTANT GYP. BD. IN WET AREA
6. PIPE AND VENT PENETRATIONS TO BE WATERPROOFED.
7. STAIRWAYS OPEN ON ONE OR BOTH SIDES SHALL HAVE GUARDRAILS
8. ENCLOSED USABLE SPACE UNDER A STAIRWAY REQUIRES 1-HR FIRE-RESISTIVE CONSTRUCTION ON ENCLOSED SIDE.

FLOOR PLAN NOTES

1. SEE SHEET A-111 FOR ENLARGED UNIT PLAN FLOOR PLANS
2. SEE SHEET A-112 FOR ENLARGED UNIT PLAN REFLECTED CEILING PLANS
3. SEE SHEET A-113 & A-114 FOR ENLARGED UNIT PLAN RESTROOM PLANS AND ELEVATIONS

FLOOR PLAN LEGEND

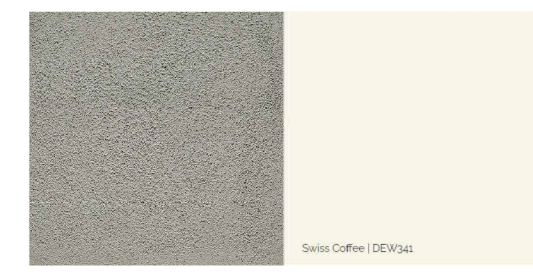
- EXIT** EXITWAYS.
 SEE NOTES UNDER "EXITWAYS, EXIT ILLUMINATIONS & SOURCE OF POWER" ON SHEET G-110.
- FEC** FIRE EXTINGUISHER - SEE DETAIL 13/A-501 FOR RECESSED FIRE EXTINGUISHER CABINET

REVISION	DATE	SUBMITTAL	#	#	#
REVISION	DATE	SUBMITTAL	#	#	#
REVISION	DATE	SUBMITTAL	#	#	#
CDA + PDG, INC. CORPORATE HQ: 190 EL CAMINO REAL STE. 112 TUSTIN, CA 92780 714-825-9100 1232 E. ROWLAND ST. CITY OF INDUSTRY, CA 91748 626-915-8101					
PROJECT: 20 UNIT MULTI-FAMILY CONDOS 2145 NORTH GAREY AVE POMONA, CA 91767 SHEET TITLE: SECOND FLOOR PLAN					
Drawn by: PDG Plot date: Jun 02, 2023 Issue date: Jun 02, 2023 Job#: 1826, Mix, 549 Holt Blvd Cad file: A-101-101.2-102-103-1 Drawing no: A-102					

EXTERIOR FINISHES



1 STUCCO-ECOSTUCCO
FINISH: FINE SAND
COLOR MATCH: DUNN EDWARD
DEW 341 "SWISS COFFEE"



2 MOULDING-ECOSTUCCO
FINISH: FINE SAND
COLOR MATCH: DUNN EDWARD
DEW 341 "SWISS COFFEE"



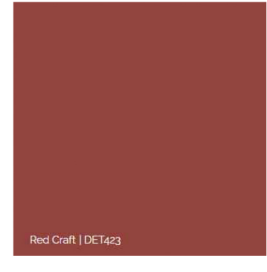
3 DOOR: MOROCCAN STYLE
COLOR MATCH: DUNN EDWARD
DET 659 "SCHINDLER BROWN"



5 FOAM WINDOW & DOOR TRIM
COLOR MATCH: DUNN EDWARD
DET 686 "AGED WHISKY"



6 METAL GRID RAILING
COLOR MATCH: DUNN EDWARD
DET 686 "AGED WHISKY"



9 AWNING FABRIC
COLOR MATCH: DUNN EDWARD
DET 423 "RED CRAFT"



10 DECORATIVE METAL RAILING
COLOR MATCH: DUNN EDWARD
DEA 002 "BLACK"



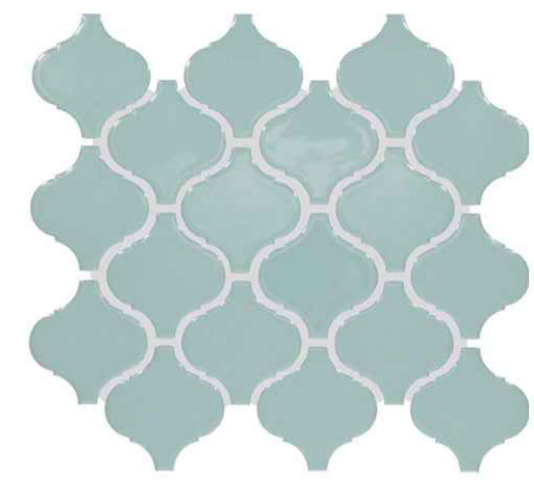
11 METAL RAILING
COLOR MATCH: DUNN EDWARD
DEA 002 "BLACK"



15 TRELLIS
COLOR MATCH: DUNN EDWARD
DET 686 "AGED WHISKY"



8 DUAL-PANE CLEAR GLAZING- GUARDIAN
GLASS
SPECIFICATION: SunGuard® SuperNeutral
SN 54 on R2 Surface
FINISH: ULTRACLEAR OR SIMILAR
OR APPROVED EQUAL



14 DECORATIVE TILE
SPECIFICATION: DALTILE, COLOR WHEEL
RETRO "SPA ARABESQUE"



18 OUTDOOR WALL SCONCE
SPECIFICATION: TIRON LIGHTING
TROJAN SM BFP LED (PER PHOTOMETRIC PLAN)

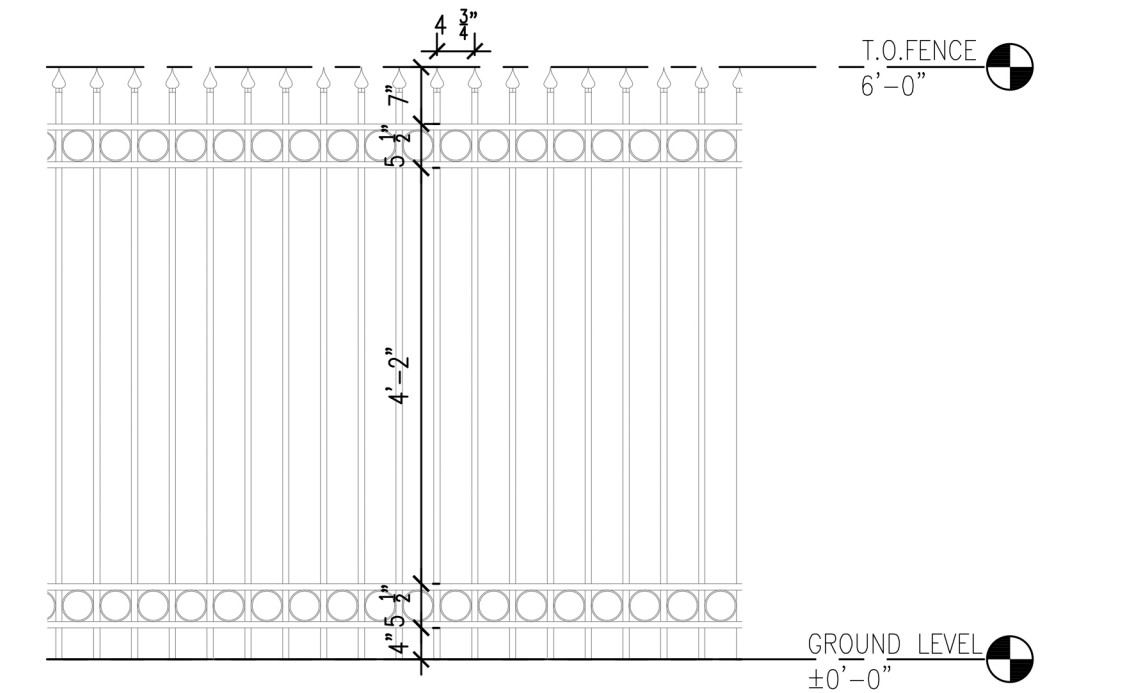
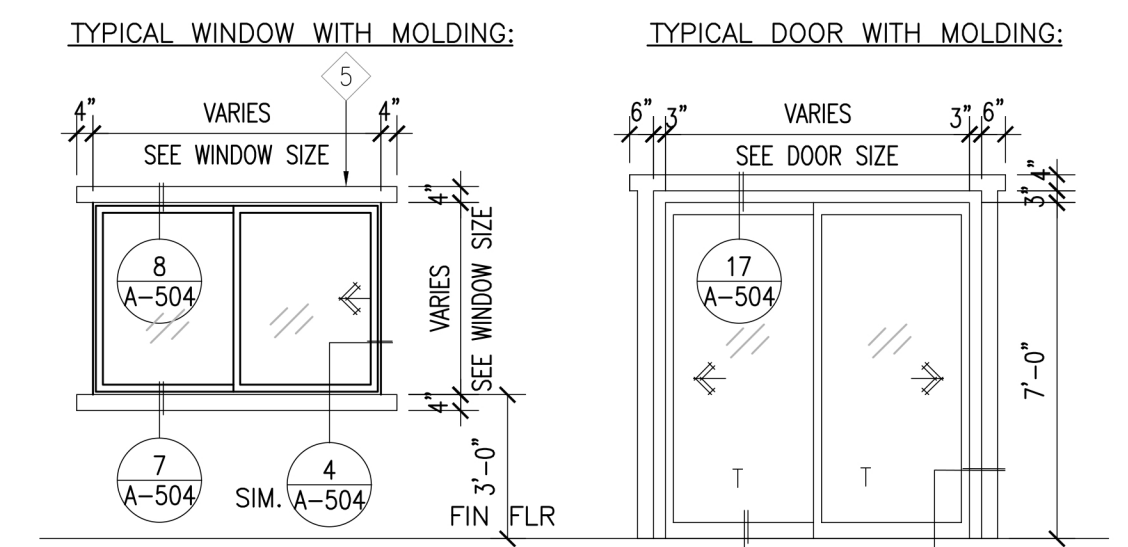


19 OUTDOOR WALL LIGHTING
SPECIFICATION: TIRON LIGHTING
ZENITH LG LED (PER PHOTOMETRIC PLAN)

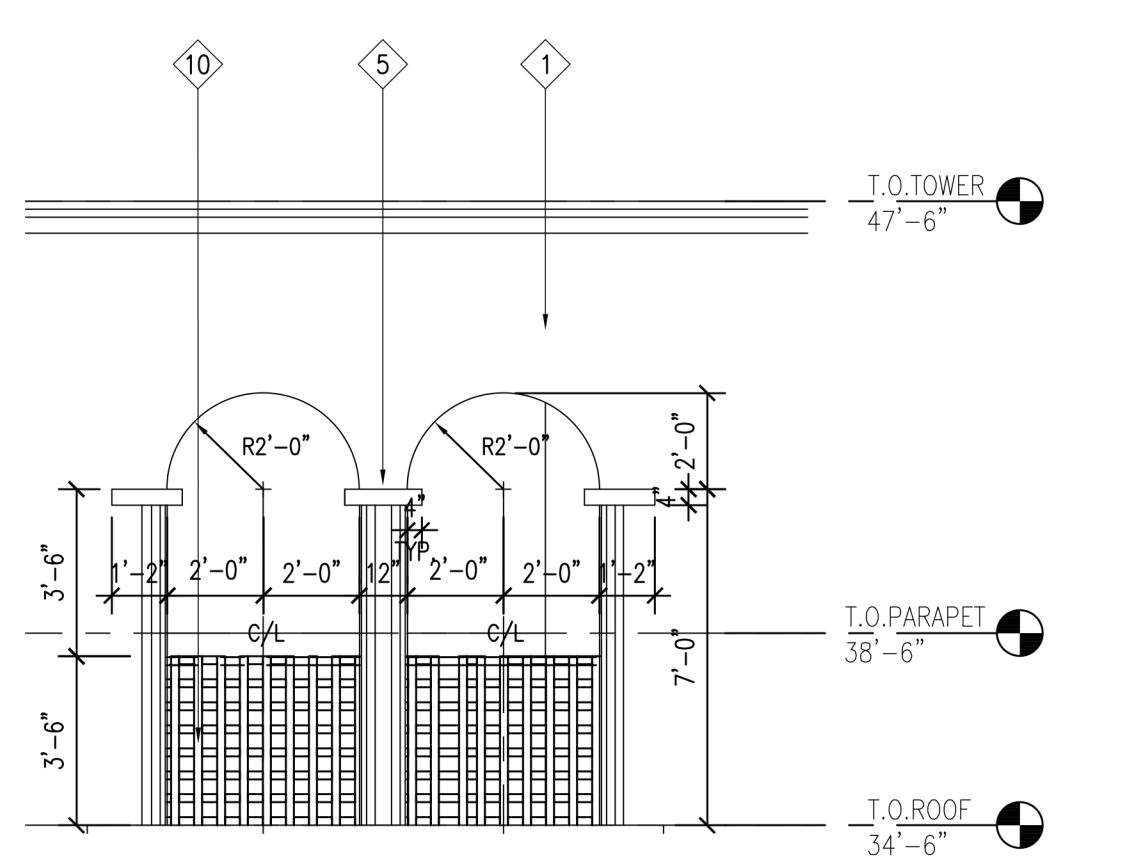
ELEVATION KEYNOTES

- KEY # NOTE
- ① FINE SAND STUCCO; ECOSTUCCO - COLOR MATCH - DUNN EDWARD; DEW341 "SWISS COFFEE"
- ② MOULDING- FINE SAND STUCCO; ECOSTUCCO - COLOR MATCH - DUNN EDWARD; DEW341 "SWISS COFFEE"
- ③ MOROCCAN STYLE DOOR - COLOR MATCH - DET659 "SCHINDLER BROWN"
- ④ WROUGHT IRON GATE - DECORATIVE MILAN STYLE
- ⑤ FOAM WINDOW AND DOOR TRIM - COLOR TO MATCH - DUNN EDWARD DET686 "AGED WHISKY"
- ⑥ MOROCCAN STYLE WALL OPENING WITH WOOD RAILING - COLOR MATCH DET686 "AGED WHISKY"
- ⑦ WROUGHT IRON TRIM - SEE DETAIL 18/A-504
- ⑧ DUAL-PANE CLEAR GLAZING; GUARDIAN SUNGUARD - SUPERNEUTRAL 54 ON #2 SURFACE - ULTRACLEAR OR SIMILAR - OR EQUAL
- ⑨ AWNING FABRIC - COLOR MATCH - DUNN EDWARD; DET423 "RED CRAFT"
- ⑩ MOROCCAN STYLE METAL RAILING.
- ⑪ METAL RAILINGS - SEE DETAIL 17/A-505
- ⑫ TRASH ENCLOSURE
- ⑬ GARAGE DOOR - WROUGHT IRON
- ⑭ DECORATIVE TILE - MOROCCAN BLUE
- ⑮ TRELLIS - COLOR MATCH - DUNN EDWARD DET686 "AGED WHISKY"
- ⑯ WROUGHT IRON FENCE GATE
- ⑰ WROUGHT IRON FENCE - SEE WALL/FENCE PLAN AND ELEVATIONS FOR DETAILS AND DIMENSIONS. SEE DETAIL 4/-
- ⑱ WALL SCONCE - PER CALIFORNIA LIGHTING SALES - NO SUBSTITUTION, SEE PHOTOMETRIC PLAN FOR INFORMATION
- ⑲ WALL LIGHT - PER CALIFORNIA LIGHTING SALES - NO SUBSTITUTION, SEE PHOTOMETRIC PLAN FOR INFORMATION
- ⑳ NOT USED
- ㉑ ROOF DRAIN AND OVERFLOW THRU ROOF DECK W/ SCUPPER AND DOWNSPOUT AT FACE OF BUILDING - SEE DETAIL 11/A-507 COLOR TO MATCH ADJACENT WALL COLOR
- ㉒ PROVIDE HORIZONTAL JOINT AT EXTERIOR STUCCO FINISH, TYPICAL
- ㉓ 12" x 12" WALL RECESSED COLOR TO MATCH ADJACENT WALL
- ㉔ ADDRESS SIGNAGE IS UNDER SEPARATE PERMIT

EXTERIOR DOOR & WINDOW ELEMENTS

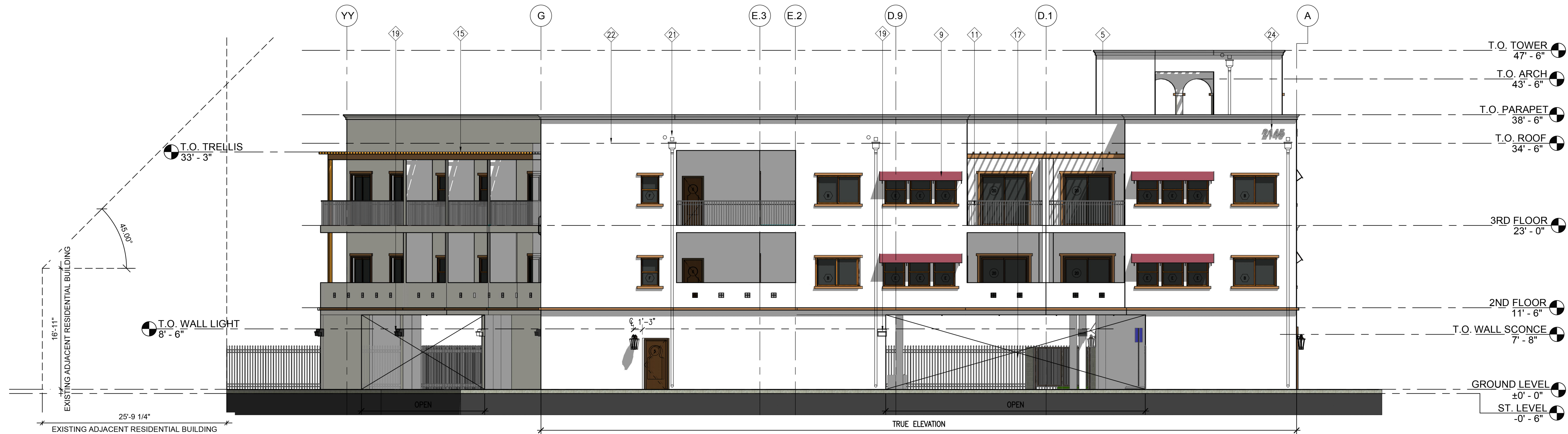


4 WROUGHT IRON DETAIL, TYP
SCALE: 1/2" = 1'-0"

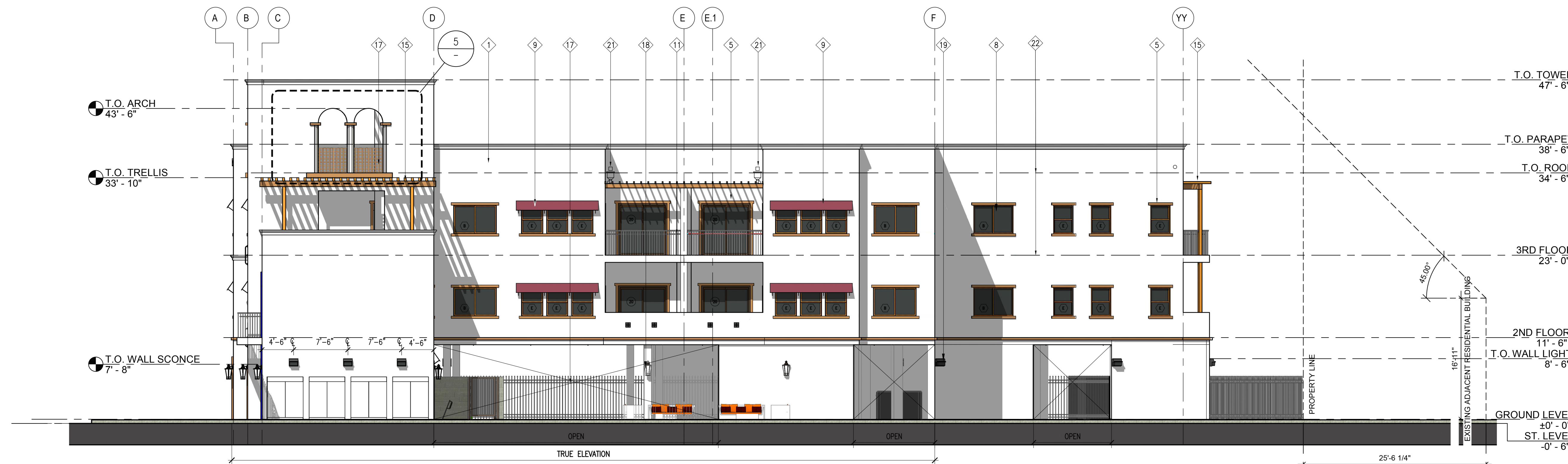


5 ENLARGED ELEVATION
SCALE: 1/4" = 1'-0"

2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



REVISION	DATE	BY	APP'D

CDA + PDG, INC.
 CORPORATE HQ: 1150 EL CAMINO REAL, STE. 112, FOLSOM, CA 95630, 916-439-5100
 BRANCH OFFICE: 11390 E HOWLAND ST., POMONA, CA 91767, 909-918-9101

PROJECT: 20 UNIT MULTI-FAMILY CONDOS
2145 NORTH GAREY AVE, POMONA, CA 91767

SHEET TITLE: ELEVATIONS & EXTERIOR FINISH

Drawn by: PDG
 Plot date: Jun 20, 2023
 Issue date: Jun 20, 2023
 Job#: 1826 Mx 549 Hot Blvd
 Cad file: A-201-202.dwg
 Drawing no: **A-202**

DRAWING FILE: N:\2023\PROJECTS\2145 N GAREY\500\DRAWINGS\ARCH\A-201-202.DWG
 PLOTTED: Jun 20, 2023
 PLOTTER: HP DesignJet T110
 PLOTTING: LPL
 PLOTTING DEVICE: HP DesignJet T110
 PLOTTING DRIVER: HP DesignJet T110
 PLOTTING SCALE: 1/8" = 1'-0"
 PLOTTING SHEET SIZE: 36" x 48"
 PLOTTING SHEET COUNT: 1
 PLOTTING SHEET ORDER: 1
 PLOTTING SHEET POSITION: 1
 PLOTTING SHEET STATUS: OK
 PLOTTING SHEET MESSAGE:

CITY OF POMONA
STANDARD GRADING NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF POMONA ORDINANCE NO. 3444 AND THE LATEST STATE CODES AS MANDATED TO BE ENFORCED BY THE CITY AND STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION, PLUS ANY SUPPLEMENTS.
** A BOND IS REQUIRED PER SECTION 3311 OF UNIFORM BUILDING CODE.
- AN APPROVED SET OF PLANS SHALL BE ON THE JOB AT ALL TIMES.
- NO WORK SHALL BE STARTED WITHOUT FIRST NOTIFYING THE BUILDING DIVISION AT (909) 620-2371.
- ADEQUATE BARRICADES, LIGHTS, FLAGMEN, SIGNS AND OTHER SAFETY DEVICES SHALL BE PROVIDED AS SPECIFIED BY THE TRAFFIC MANUAL PUBLISHED BY THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION.
- EXISTING CITY STREETS SHALL BE KEPT CLEAN OF ALL MATERIALS RESULTING FROM THE GRADING OPERATIONS. THE STREET RIGHT-OF-WAY SHALL BE CLEANED UP DAILY AND AS NECESSARY TO MAINTAIN PEDESTRIAN AND VEHICULAR PASSAGE OVER THE PUBLIC RIGHT-OF-WAY AT ALL TIMES.
- THE PERMITEE OR HIS AGENT SHALL NOTIFY THE BUILDING OFFICIAL AT LEAST 24 HOURS BEFORE THE GRADING OPERATION IS READY FOR EACH OF THE FOLLOWING:
 - PRE-GRADE MEETING: WHEN THE PERMITEE IS READY TO BEGIN WORK AND BEFORE ANY GRADING OR BRUSHING IS STARTED THE FOLLOWING PEOPLE MUST BE PRESENT - OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, BUILDING OFFICIAL OR THEIR REPRESENTATIVE.
 - TOE INSPECTION: AFTER THE NATURAL GROUND IS EXPOSED AND PREPARED TO RECEIVE FILL AND BEFORE ANY FILL IS PLACED.
 - EXCAVATION INSPECTION: AFTER THE EXCAVATION IS STARTED AND BEFORE THE DEPTH OF EXCAVATION EXCEEDS 10 FEET.
 - FILL INSPECTION: AFTER THE AREA TO RECEIVE FILL HAS BEEN PREPARED AND INSPECTED BY THE SOILS ENGINEER.
 - DRAINAGE DEVICE INSPECTION: AFTER FORMS, STEEL AND PIPE ARE IN PLACE, AND BEFORE ANY CONCRETE IS POURED.
 - ROUGH GRADING: WHEN ALL ROUGH GRADING HAS BEEN COMPLETED.
 - FINAL INSPECTION: WHEN ALL WORK, INCLUDING INSTALLATION OF ALL DRAINAGE STRUCTURES AND OTHER PROTECTIVE DEVICES HAS BEEN COMPLETED AND THE AS-GRADED PLAN AND REQUIRED REPORTS HAVE BEEN SUBMITTED AND APPROVED.

THE PERMITEE SHALL WAIT FOR APPROVAL BY THE INSPECTOR BEFORE PROCEEDING WITH THE WORK.

- SUFFICIENT TESTS OF SOIL PROPERTIES, INCLUDING SOIL TYPES AND SHEAR STRENGTH SHALL BE MADE DURING THE GRADING OPERATIONS TO VERIFY COMPLIANCE WITH DESIGN CRITERIA. THE RESULTS OF SUCH TESTING SHALL BE FURNISHED TO THE BUILDING OFFICIAL UPON COMPLETION OF GRADING OPERATIONS OR WHEN NECESSITATED BY FIELD CONDITIONS UPON REQUEST OF THE BUILDING OFFICIAL.
- THE GRADING CONTRACTOR SHALL SUBMIT A WRITTEN STATEMENT VERIFYING THAT WORK DONE UNDER HIS DIRECTION WAS PERFORMED IN ACCORDANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF CHAPTER 33 OF THE UNIFORM BUILDING CODE OR DESCRIBING ALL VARIANCES FROM THE APPROVED PLANS AND REQUIREMENTS OF THE CODE.
- THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITEE
- DUST SHALL BE CONTROLLED BY WATERING.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE FROM THE BEGINNING TO COMPLETION OF GRADING OPERATIONS.
- ALL GRADING SHALL CONFORM TO THE RECOMMENDATIONS IN THE APPROVED GEOTECHNICAL REPORT BY CAL LAND ENGINEERING, INC. DATED MAY 12, 2020.
- THE CONTRACTOR SHALL INCORPORATE EROSION CONTROL MEASURES WHEN DEEMED NECESSARY BY THE BUILDING OFFICIAL. SEPARATE PLANS FOR TEMPORARY DRAINAGE AND EROSION CONTROL MEASURES TO BE USED DURING THE RAINY SEASON WILL BE SUBMITTED PRIOR TO SEPTEMBER 15, THE CONTROL DEVICES SHOWN ON SAID PLANS WILL BE INSTALLED NO LATER THAN OCTOBER 1, AND MAINTAINED IN OPERABLE CONDITION UNTIL APRIL 1.
- THE ENGINEERING GEOLOGIST SHALL INSPECT AND APPROVE ALL CUT SLOPES.
- PRIOR TO ISSUANCE OF THE BUILDING PERMITS, A SOIL EXPANSION TEST PERFORMED IN ACCORDANCE WITH THE PROCEDURES OF 2007 CBC STANDARD NO. 18-2 IS REQUIRED.
- PRIOR TO PLACING COMPACTED FILL, THE SURFACE SHALL BE STRIPPED OF VEGETATION AND THE SURFACE SCARIFIED TO A DEPTH OF 12 INCHES OR AS SPECIFIED BY THE SOILS ENGINEER AND APPROVED BY THE BUILDING OFFICIAL, BROUGHT TO OPTIMUM MOISTURE CONTENT, RECOMPACTED TO 90% MAXIMUM DENSITY AND INSPECTED BY THE GRADING INSPECTOR AND THE SOIL TESTING AGENCY.
- CUT SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.
- FILLS SHALL BE COMPACTED THROUGHOUT TO 90% OF MAXIMUM DENSITY AS DETERMINED BY 2007 CBC SECTION 3313, LATEST EDITION ADOPTED BY THE CITY, AND CERTIFIED BY THE SOILS ENGINEER. NOT LESS THAN ONE FIELD DENSITY TEST WILL BE MADE FOR EACH 2 FEET OF VERTICAL LIFT OF FILL NOR LESS THAN ONE SUCH TEST FOR EACH 1,000 CUBIC YARDS OF MATERIAL PLACED. AT LEAST ONE-HALF OF THE REQUIRED TESTS SHALL BE MADE AT THE LOCATION OF THE FINAL FILL SLOPE.
- FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL AND SHALL BE COMPACTED TO NO LESS THAN 90% OF MAXIMUM DENSITY OUT TO THE FINISHED SURFACE. ALL FILL SLOPES GREATER THAN 5 FEET IN VERTICAL HEIGHT SHALL BE GRID ROLLED TO COMPACT THE OUTER 6" TO 8" TO AT LEAST 90% OF MAXIMUM DENSITY.
- NO ROCK OR SIMILAR MATERIAL GREATER THAN 12 INCHES IN DIMENSION WILL BE PLACED IN THE FILL UNLESS RECOMMENDATIONS FOR SUCH PLACEMENT HAVE BEEN SUBMITTED BY THE SOILS ENGINEER IN ADVANCE AND APPROVED BY THE BUILDING OFFICIAL.
- NO FILL SHALL BE PLACED UNTIL STRIPPING OF VEGETATION, REMOVAL OF UNSUITABLE SOILS AND INSTALLATION OF SUBDRAINS (IF REQUIRED) HAVE BEEN INSPECTED AND APPROVED BY THE SOILS ENGINEER AND THE CITY GRADING INSPECTOR.
- CONTINUOUS INSPECTION BY THE SOILS ENGINEER OR HIS RESPONSIBLE REPRESENTATIVE WILL BE PROVIDED DURING ALL FILL PLACEMENT AND COMPACTION OPERATIONS.
- ALL EXISTING FIELDS SHALL BE APPROVED BY THE SOILS ENGINEER AND THE BUILDING OFFICIAL OR HIS REPRESENTATIVE BEFORE ANY ADDITIONAL FILLS ARE ADDED.

- ALL TRENCH BACKFILLS SHALL BE TESTED AND CERTIFIED BY THE SOILS ENGINEER.
- ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ONSITE SOILS SHALL BE CONSTRUCTED WITH TYPE 5 SIX (6) SACK CEMENT UNLESS SULFATE-CONTENT TESTS CONDUCTED BY THE SOILS ENGINEER SHOW IT IS UNNECESSARY.
- THE CIVIL ENGINEER SHALL PROVIDE PROFESSIONAL INSPECTION WITHIN SUCH ENGINEERS AREA OF TECHNICAL SPECIALTY, WHICH SHALL CONSIST OF OBSERVATION AND REVIEW AS TO THE ESTABLISHMENT OF LINE, GRADE AND SURFACE DRAINAGE OF THE DEVELOPMENT AREA.
- THE SOILS ENGINEER SHALL PROVIDE SUFFICIENT INSPECTION DURING THE PREPARATION OF NATURAL GROUND AND PLACEMENT OF COMPACTION TO VERIFY THAT SUCH WORK IS BEING PERFORMED IN ACCORDANCE WITH THE CONDITIONS OF THE APPROVED PLAN AND THE REQUIREMENTS OF THE UNIFORM BUILDING CODE SECTION 3317.3 LATEST EDITION ADOPTED BY THE CITY. REVISED RECOMMENDATIONS RELATING TO CONDITIONS DIFFERING FROM THE APPROVED SOILS ENGINEERING REPORT SHALL BE SUBMITTED TO THE PERMITEE, THE BUILDING OFFICIAL, AND THE CIVIL ENGINEER.
- THE ENGINEERING GEOLOGIST SHALL PROVIDE A PROFESSIONAL INSPECTION OF THE BEDROCK EXCAVATION TO DETERMINE IF CONDITIONS ENCOUNTERED ARE IN ACCORDANCE WITH THE APPROVED REPORTS, THE PLANS, SPECIFICATIONS AND CODE WITHIN THEIR PURVIEW, IN ACCORDANCE WITH THE UNIFORM BUILDING CODE SECTION 3317.4, LATEST EDITION ADOPTED BY THE CITY.
- THE PERMITEE SHALL BE RESPONSIBLE FOR THE WORK TO BE PERFORMED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND IN CONFORMANCE WITH THE PROVISIONS OF THE 2007 CBC SECTION 3317.5, AND THE PERMITEE SHALL ENGAGE CONSULTANTS, IF REQUIRED, TO PROVIDE PROFESSIONAL INSPECTIONS ON A TIMELY BASIS. THE PERMITEE SHALL ACT AS A COORDINATOR BETWEEN THE CONSULTANTS, THE CONTRACTOR AND THE BUILDING OFFICIAL IN THE EVENT OF CHANGED CONDITIONS, THE PERMITEE SHALL BE RESPONSIBLE FOR INFORMING THE BUILDING OFFICIAL OF SUCH CHANGE AND SHALL PROVIDE REVISED PLANS FOR APPROVAL.
- ANY REVISION MADE IN THE APPROVED GRADING AS SHOWN ON THE GRADING MUST BE SPECIFICALLY APPROVED BY THE BUILDING OFFICIAL OR HIS DESIGNATED REPRESENTATIVE.
- PRIOR TO FINAL APPROVAL OF ROUGH GRADING THE CIVIL ENGINEER SHALL SUBMIT AN AS-BUILT GRADING PLAN, IN ACCORDANCE WITH SECTION 3318.1 FOR APPROVAL BY THE BUILDING OFFICIAL. THIS PLAN SHALL SHOW ORIGINAL GROUND SURFACE AND AS-GRADED GROUND SURFACE ELEVATIONS, ALL FEATURES SHOWN ON THE APPROVED GRADING PLAN, FINAL PAD GRADES, THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL SUBDRAINS, ROCK DISPOSAL SITES, KEYWAYS, BUTTRESS OR STABILITY FILLS AND ANY OTHER REMEDIAL GRADING, ANY VARIANCES BETWEEN THE FINISHED WORK AND THE APPROVED PLANS, ACTUAL YARDAGE MOVED (INCLUDING REMEDIAL GRADING) AND A CERTIFICATION THAT THE AS-BUILT PLANS SHOWS THE ABOVE ITEMS. ROUGH GRADING WILL NOT BE APPROVED UNTIL AFTER THE AS-BUILT GRADING PLAN.
- FOR ROUGH GRADING THE CONTRACTOR SHALL CONSTRUCT BERMS AT THE TOP OF ALL MANUFACTURED SLOPES AS SHOWN PER DETAIL ON THIS PLAN.
- FINISH GRADING WILL BE COMPLETED AND APPROVED AND SLOPE PLANTING AND IRRIGATION SYSTEM INSTALLED BEFORE OCCUPANCY OF ANY BUILDING AND BEFORE RELEASE OF ANY GRADING BONDS.
- ALL CUT AND FILL SLOPES OVER 5 FEET IN VERTICAL HEIGHT SHALL BE PLANTED AND PROVIDED WITH AN IRRIGATION SYSTEM IN ACCORDANCE WITH AN APPROVED LANDSCAPE PLAN.
- FINISH GRADING WILL BE COMPLETED AND APPROVED AND SLOPE PLANTING AND IRRIGATION SYSTEM INSTALLED BEFORE OCCUPANCY OF ANY BUILDING AND BEFORE RELEASE OF ANY GRADING BONDS.
- ALL REQUIREMENTS OF THE PLANNING COMMISSION RESOLUTION NUMBER(S) 18-023 & 18-025 SHALL BE MET.

ENGINEER'S NOTES

EXISTING UNDERGROUND STRUCTURES

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS, THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE DRAWINGS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UNDERGROUND UTILITY PIPES, CONDUITS, OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS.

HOLD HARMLESS AND INDEMNIFICATION CLAUSE

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER, THE CITY OF POMONA, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, THE CITY OF POMONA, OR THE ENGINEER.

ALL IMPROVEMENTS SHOWN IN RIGHT-OF-WAY REQUIRE APPROVALS AND PERMITS FROM THE ENGINEERING DIVISION OF PUBLIC WORKS DEPARTMENT OF THE CITY OF POMONA

BASIS OF BEARING:

THE CENTERLINE OF N.GAREY AVENUE BEING NORTH 22°27'30" EAST AS SHOWN ON RECORD OF SURVEY 69-48, RECORDED IN BOOK 69, PAGE 48, IN THE OFFICE OF COUNTY RECORDED OF SAID COUNTY.

LEGAL DESCRIPTION:

A PORTION OF THE SYCAMORE TRACT, IN THE LOOP AND MESERVE TRACT, AS PER MAP RECORD IN BOOK 52 PAGE 1 OF MISCELLANEOUS MAPS, IN THE OFFICE OF COUNTY RECORDED OF LOS ANGELES COUNTY; PORTIONS OF PARCEL 1 AND PARCEL 2 OF RECORD OF SURVEY 69-48, IN THE CITY OF POMONA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORD IN BOOK 69 PAGE 48 OF MAPS, IN THE OFFICE OF COUNTY RECORDED OF SAID COUNTY.

OWNER:

YW RISING INC.
288 S. SAN GABRIEL BLVD.,
SAN GABRIEL, CA 91776
ATTN: DONG TEO
PHONE: (626) 560-8687
EMAIL: TEO@YWRISING.COM

APN: 8371-018-041 AND 8371-018-042

PRECISE GRADING PLAN

POMONA HOUSE IS A 20-UNIT CONDOMINIUM

APN: 8371-018-041 AND 8371-018-042

GEOTECHNICAL RECOMMENDATIONS

SITE PREPARATION

PRIOR TO INITIATING GRADING OPERATIONS, ANY EXISTING VEGETATION, DEBRIS, OVER-SIZED MATERIALS (GREATER THAN 8 INCHES), AND OTHER DELETERIOUS MATERIALS WITHIN FILL AREAS SHOULD BE REMOVED.

SURFICIAL SOIL REMOVALS

WITHIN THE PROPOSED CONSTRUCTION AREAS, THE EXISTING FILL, COLLUVIUM, AND WEATHERED GRANITE SHOULD BE REMOVED TO EXPOSE LESS WEATHERED GRANITE. BASED ON OUR REVIEW OF THE REFERENCED REPORTS, REMOVAL DEPTH UP TO 7 FEET MAY BE ANTICIPATED. ALL EXCAVATIONS SHOULD BE OBSERVED BY A REPRESENTATIVE OF THIS OFFICE TO VERIFY THE SUBGRADE SOIL CONDITIONS AND DETERMINE IF ADDITIONAL REMOVALS OR OTHER MITIGATIVE MEASURES ARE NEEDED.

TREATMENT OF REMOVAL BOTTOMS

SOILS EXPOSED WITHIN AREAS APPROVED FOR FILL PLACEMENT SHOULD BE SCARIFIED TO A DEPTH OF 6 INCHES, CONDITIONED TO NEAR OPTIMUM MOISTURE CONTENT, THEN COMPACTED IN-PLACE TO PROJECT STANDARDS.

STRUCTURAL BACKFILL

THE ONSITE SOILS MAY BE USED AS COMPACTED FILL, PROVIDED THEY ARE FREE OF ORGANIC MATERIALS AND DEBRIS. FILLS SHOULD BE PLACED IN RELATIVELY THIN LIFTS, BROUGHT TO NEAR OPTIMUM MOISTURE CONTENT, THEN COMPACTED TO OBTAIN AT LEAST 90 PERCENT RELATIVE COMPACTION BASED ON LABORATORY STANDARD ASTM D-1557-09.

BENCHING

FILLS PLACED ON SLOPES STEEPER THAN 5:1 SHOULD BE KEYED AND BENCHES INTO COMPETENT MATERIALS AS THE FILL IS PLACED. KEYS AND BENCHES SHOULD BE OBSERVED AND APPROVED BY THE PROJECT GEOTECHNICAL CONSULTANT.

FILL SLOPES

PERMANENT FILL SLOPES SHOULD BE KEYED AND BENCHES INTO APPROVED SOIL/BEDROCK MATERIALS. SOIL MATERIALS AVAILABLE FOR SLOPE CONSTRUCTION SHOULD CONSIST OF SILT AND CLAY MIXTURE. ALL FILL SLOPES SHOULD BE CONSTRUCTED NO STEEPER THAN 2 TO 1 (HORIZONTAL TO VERTICAL). FILL KEY AT LEAST 15 FEET WIDE OR HALF OF THE HEIGHT OF SLOPE SHOULD BE CONSTRUCTED AT THE BOTTOM OF THE SLOPE AS DIRECTED BY THE PROJECT GEOTECHNICAL CONSULTANTS.

INSPECTION

AS A NECESSARY REQUISITE TO THE USE OF THIS REPORT, THE FOLLOWING INSPECTION IS RECOMMENDED:

- TEMPORARY EXCAVATIONS
- REMOVAL OF SURFICIAL AND UNSUITABLE SOILS
- BACKFILL PLACEMENT AND COMPACTION
- UTILITY TRENCH BACKFILL

THE GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED AT LEAST 2 DAYS IN ADVANCE OF THE START OF CONSTRUCTION. A JOINT MEETING BETWEEN THE CLIENT, THE CONTRACTOR, AND THE GEOTECHNICAL ENGINEER IS RECOMMENDED PRIOR TO THE START OF CONSTRUCTION TO DISCUSS SPECIFIC PROCEDURES AND SCHEDULING

PUBLIC WORKS NOTES

- IT IS THE OWNER'S AND THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ALL DAMAGE TO THE EXISTING PUBLIC IMPROVEMENTS DUE TO THE PROPOSED CONSTRUCTION ACTIVITIES AND TO ADDRESS ALL REPAIRS REQUESTED BY THE PUBLIC WORKS INSPECTOR BASED ON THE INSPECTOR'S REVIEW OF THE CURRENT CONDITION OF THE SAID PUBLIC IMPROVEMENTS.
- UNDERGROUNDING OF ALL EXISTING AND PROPOSED UTILITY LINES IS REQUIRED AS PER CITY OF POMONA MUNICIPAL CODE SECTION 62-31(B)(1).
- THE PARKWAY LANDSCAPING SHALL BE MAINTAINED BY THE PROPERTY OWNER PER CITY OF POMONA MUNICIPAL CODE SECTION 46-496.
- THE PROPERTY ABUTTING SIDEWALK, PARKWAY AND ALLEY, AS APPLICABLE, SHALL BE MAINTAINED FREE OF WEEDS, RUBBISH AND REFUSE BY THE PROPERTY OWNER, AS REQUIRED BY THE CITY'S MUNICIPAL CODE SECTION 18-261.

ALL WALLS REQUIRE SEPARATE PERMITS

ALL IMPROVEMENTS SHOWN IN RIGHT-OF-WAY REQUIRE APPROVALS AND PERMITS FROM THE ENGINEERING DIVISION OF PUBLIC WORKS DEPARTMENT OF THE CITY OF POMONA

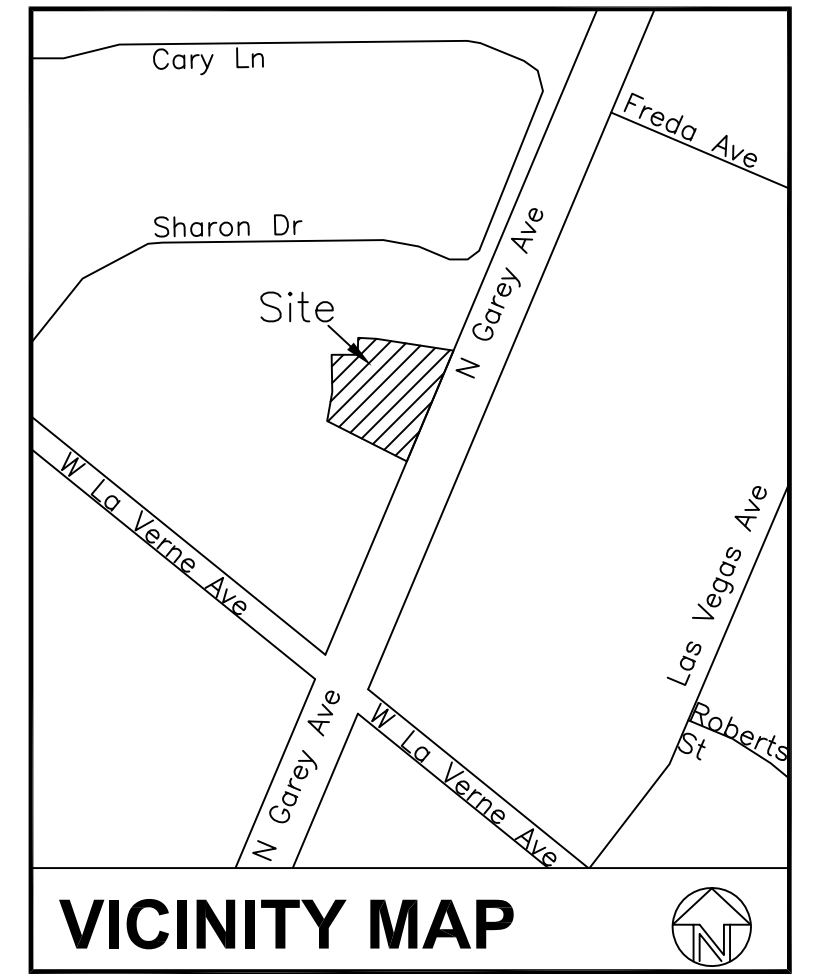
CUT AND FILL NOTE:
ALL EXPORT REQUIRED BY GEOTECHNICAL ENGINEER SHALL GO TO LEGAL LANDFILL OR AN ACCEPTABLE EXPORT SITE. LANDFILL TICKETS TO BE PROVIDED TO INSPECTOR.

LEGEND:

- : FIRE HYDRANT
- : EDISON PULL BOX
- : STREET LIGHT BOX
- : TRAFFIC SIGNAL BOX
- : EXISTING ELEV.
- : EXISTING CONTOUR
- : WATER LINE
- : STREET LIGHT
- : WOOD FENCE
- : CF / CHAIN LINK FENCE
- : EXISTING TREE
- : PROPOSED LANDSCAPE AREA
- : PROPOSED CONCRETE
- : PROPOSED BLOCK WALL
- : 4" PVC SCH.40 DRAINAGE PIPE
- : 4" PVC SCH.80 DRAINAGE PIPE
- : 6" PVC SCH.40 DRAINAGE PIPE
- : PVC PIPES PER CONST NOTES, NUMBER OF LINES REPRESENT QUANTITY

ABBREVIATIONS

- | | | | |
|-----|------------------|----|----------------|
| AC | ASPHALT CEMENT | RW | RETAINING WALL |
| CL | CENTERLINE | TC | TOP OF CURB |
| C&G | CURB & GUTTER | TG | TOP OF GRATE |
| DF | DEEPENED FOOTING | TW | TOP OF WALL |
| EX | EXISTING | | |
| FF | FINISH FLOOR | | |
| FL | FLOW LINE | | |
| FS | FINISH SURFACE | | |
| H | HEIGHT | | |
| INV | INVERT | | |
| NTS | NOT TO SCALE | | |
| P/L | PROPERTY LINE | | |
| R/W | RIGHT-OF-WAY | | |



CHANGE OF GEOTECHNICAL CONSULTANTS

HEREWITH IS FORMAL NOTIFICATION THAT QUARTECH CONSULTANTS, INC. (QCI) IS NOW TO BE CONSIDERED THE GEOTECHNICAL CONSULTANT OF RECORD FOR THE ABOVE SUBJECT PROJECT. QCI HAS REVIEWED THE REFERENCED REPORTS AND CONCURS IN GENERAL WITH THE FINDINGS, CONCLUSIONS AND RECOMMENDATIONS, AND IS SATISFIED WITH THE WORK PERFORMED FROM A GEOTECHNICAL STANDPOINT.

ANY VARIANCES TO THE PREVIOUS FINDINGS, CONCLUSIONS AND RECOMMENDATIONS, BASED ON EXPOSURES DURING GRADING, WILL BE ACCOMPLISHED IN ACCORDANCE WITH THIS FIRM'S SPECIFIC RECOMMENDATIONS AND IN ACCORDANCE WITH THE GRADING CODE OF THE CITY OF LOS ANGELES.

JACK C LEE GE 2153 03-14-2025
DATE

REFERENCED REPORTS

"GEOTECHNICAL INVESTIGATION FOR FEASIBILITY OF DEVELOPMENT, 1109 OAK KNOLL DRIVE, POMONA, CALIFORNIA", BY LEIGHTON AND ASSOCIATES, INC., PROJECT NO. 2901011-01, DATED AUGUST 20, 1990.

"SUPPLEMENT FOUNDATION RECOMMENDATIONS FOR PROPOSED SINGLE FAMILY RESIDENCE, 1109 OAK KNOLL DRIVE, POMONA, CALIFORNIA", BY AP ENGINEERING & TESTING, INC., JOB NO. 04-510, DATED MARCH 31, 2004.

GEOTECHNICAL CERTIFICATION:

WE HEREBY CERTIFY THAT WE HAVE REVIEWED THIS PLAN AND THAT IT CONFORMS TO QCI PROJECT NO.: 19-051-003GE DATED 5/12/2020 PREPARED BY:

JACK C. LEE GE 2153 03-14-2025
DATE

UTILITY NOTES:

WATER/SEWER/STORMDRAIN
CITY OF POMONA WATER RESOURCES DEPT.
752 W. COMMERCIAL ST.,
POMONA, CA 91768
(909) 862-2251

TRASH: ATHENS SERVICES
5355 VINCENT AVE.,
IRVINDALE, CA 91706
1-888-314-0061

POWER: SOUTHERN CALIFORNIA EDISON CO.
1351 E. FRANCIS STREET,
ONTARIO, CA 91761
(909) 930-8415

GAS: SOUTHERN CALIFORNIA GAS CO.
BOX 3003, ML 8031
REDLANDS, CA 92373
(909) 335-7715

POLICE: POMONA POLICE DEPARTMENT
490 W. MISSION BLVD.,
POMONA, CA 91766
(909) 622-1241

EARTH WORK QUANTITIES:

CUT: 3 CU.YD.
FILL: 378 CU.YD. IMPORT DIRT: 375 CU.YD.
OVER-EXCAVATION: 2,447 CU.YD.

NOTE:
THE YARDAGE SHOWN HEREON IS FOR PERMIT AND BONDING PURPOSES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING OF THE QUANTITIES.

ACCEPTED

BY: _____ DATE: _____
PLANNING DIVISION

ACCEPTED

BY: _____ DATE: _____
BUILDING OFFICIAL

CONCURRED

BY: _____ DATE: _____
ARNOLD DICHOVA, P.E., RCE NO. 86038, CITY ENGINEER

CITY OF POMONA
PUBLIC WORKS DEPARTMENT/ENGINEERING DIVISION

TITLE SHEET

2145 N.GAREY AVENUE, POMONA, CA

SCALE	DESIGNED: _____	PVT ENGR	SHT. <u>1</u>
	DRAWN: _____	PVT ENGR	OF
	CHECKED: _____		<u>3</u>
	REVIEWED: _____		SHTS

UNDERGROUND SERVICE ALERT

CALL: TOLL FREE **811**

TWO WORKING DAYS BEFORE YOU DIG

GEOTECHNICAL:

CAL LAND ENGINEERING, INC.
DBA QUARTECH CONSULTANTS
576 E. LAMBERT ROAD,
BREA, CA 92821
TEL: 714 671 1050

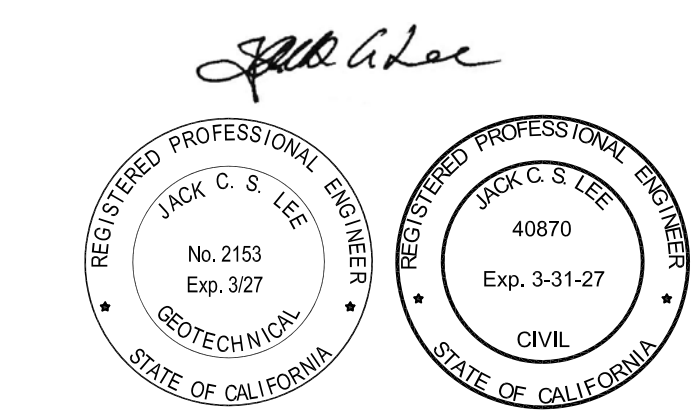
BENCHMARK:

COUNTY BENCHMARK G 672
FC DISC 5FT E/O E OF @ NE COR BRIGGE
@ SE COR ROSEMEAD BLVD & OLIVE ST
59FT S/O & 46FT E/O CL INT 4FT S/O BCR
MKD(59-35)

ELEVATION: 385.144'

CALLAND ENGINEERING & ASSOCIATES, INC.

574 E. LAMBERT ROAD, BREA, CA 92821
TEL: (714) 671-1050 FAX: (714) 671-1090



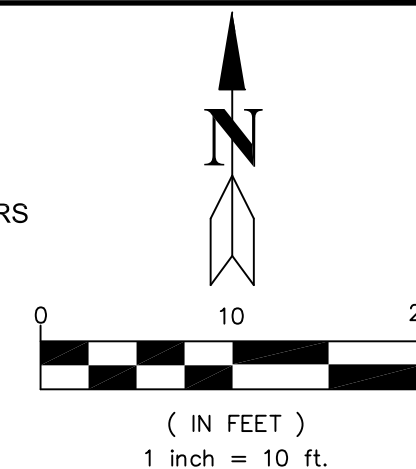
REVISIONS	DATE	INITIAL	AS SHOWN

PRECISE GRADING PLAN

APN: 8371-018-041 AND 8371-018-042

CONSTRUCTION NOTES:

- 1 EXISTING POWER POLE TO BE REMOVED AND THE OH LINES UNDERGROUNDED PER PC. RESO 18-023, BY OTHERS
- 2 EXISTING DRIVEWAY APPROACH TO BE REMOVED, PER STREET IMPROVEMENT PLAN
- 3 EXISTING BLOCK WALL/FENCE TO REMAIN, PER RECORDED AGREEMENT WITH ADJACENT OWNERS
- 4 EXISTING WATER METER TO BE REMOVED, PER WATER IMPROVEMENT PLAN
- 5 EXISTING TREE TO BE REMOVED, PER STREET IMPROVEMENT PLAN
- 6 EXISTING TREE TO REMAIN OR REPLACE NEW ONE IF IT IS DEAD
- 7 EXISTING GAS METER TO BE REMOVED, BY OTHERS
- 8 CONSTRUCT NEW BUILDING, PER ARCHITECTURAL PLAN
- 9 COMMERCIAL DRIVEWAY APPROACH, PER CITY STD A-27-10, PER STREET IMPROVEMENT PLAN
- 10 CONSTRUCT NEW CONCRETE DRIVEWAY
- 11 W=18" PARKWAY DRAIN, 2% SLOPE, PER CITY STD A-30-10, PER STREET IMPROVEMENT PLAN
- 12 INSTALL 4" PVC SCH 40 PIPE
- 13 INSTALL 4" PVC SCH 80 PIPE
- 14 INSTALL 4" AREA DRAIN
- 15 INSTALL 24"x12" CONCRETE CATCH BASIN
- 16 INSTALL 12"x12" CONCRETE CATCH BASIN
- 17 INSTALL 6" PVC SCH 40 PIPE
- 18 INSTALL 6" AREA DRAIN
- 19 6" V.C.P. SEWER LATERAL WITH 2% MIN SLOPE, PER SEWER PLAN
- 20 INSTALL 6" SEWER CLEANOUT
- 21 INSTALL 6" IRON FENCE
- 22 EXISTING BLOCK WALL TO BE REMOVED
- 23 SAW-CUT AND REMOVE EXISTING CURB AND GUTTER, PER STREET IMPROVEMENT PLAN
- 24 CURB AND GUTTER, PER CITY STD A-3-64, TYPE B, PER STREET IMPROVEMENT PLAN
- 25 NEW SIDEWALK PER CITY STD A-7-02, CASE III, PER STREET IMPROVEMENT PLAN
- 26 6" WYE BRANCH AT THE SEWER LATERAL CONNECT TO THE MAIN LINE, PER SEWER PLAN
- 27 EXISTING POWER POLE TO PROTECT IN PLACE
- 28 INSTALL 2" SERVICE & 2" METER PER CITY STD. DWG 11, PER WATER PLAN
- 29 INSTALL 2" RPPA (WILKINS 975XLU - 2"), PER SEPARATE PUBLIC WATER PLAN
- 30 GAS METER, BY OTHERS
- 31 CONSTRUCT 6" BLOCKWALL WITH WEEPHOLE, PER SEPARATE PERMITS
- 32 INSTALL 4" DRAINAGE CLEANOUT @5'
- 33 NEW STREET TREE, PER STREET IMPROVEMENT PLAN
- 34 NEW 6" FIRE SERVICE LINE, PER SEPARATE PUBLIC WATER PLAN
- 35 NEW FIRE HYDRANT, PER SEPARATE PUBLIC WATER PLAN
- * PER SEPARATE PLANS AND PERMITS



LEGEND:

- : FIRE HYDRANT
- : EDISON PULL BOX
- : STREET LIGHT BOX
- : TRAFFIC SIGNAL BOX
- : EXISTING ELEV.
- : EXISTING CONTOUR
- : WATER LINE
- : STREET LIGHT
- : WOOD FENCE
- : CF / CHAIN LINK FENCE
- : EXISTING TREE
- : PROPOSED LANDSCAPE AREA
- : PROPOSED CONCRETE
- : PROPOSED BLOCK WALL
- : 4" PVC SCH.40 DRAINAGE PIPE
- : 4" PVC SCH.80 DRAINAGE PIPE
- : 6" PVC SCH.40 DRAINAGE PIPE
- : PVC PIPES PER CONST. NOTES, NUMBER OF LINES REPRESENT QUANTITY

ABBREVIATIONS

- AC ASPHALT CEMENT
- CL CENTERLINE
- C&G CURB & GUTTER
- DF DEEPEENED FOOTING
- EX EXISTING
- FF FINISH FLOOR
- FL FLOW LINE
- FS FINISH SURFACE
- H HEIGHT
- INV INVERT
- NTS NOT TO SCALE
- P/L PROPERTY LINE
- R/W RIGHT-OF-WAY
- R/W RETAINING WALL
- TC TOP OF CURB
- TG TOP OF GRATE
- TW TOP OF WALL

NOTE:

ALL EXISTING BLOCK WALLS ON THE NORTH AND WEST SIDES WILL REMAIN, ALONG WITH THE ELEVATIONS BEHIND THESE WALLS. AS A RESULT, IF THE CURRENT DRAINAGE CONDITIONS DIRECT WATER INTO THE LOT, THOSE CONDITIONS WILL REMAIN UNCHANGED. HOWEVER, PER OUR INVESTIGATION, THE EXISTING BLOCK WALLS ARE SOLID, ALREADY PREVENTING STORMWATER FROM ENTERING THIS PROJECT. A NEW BLOCK WALL ON THE SOUTH SIDE WILL BE CONSTRUCTED WITH WEEPHOLES TO ALLOW ANY EXISTING RUNOFF TO FLOW INTO THE PROJECT. IT IS IMPORTANT TO NOTE THAT THE SOUTH LOT MOSTLY DRAINS EASTERLY, TOWARD GAREY AVENUE. THEREFORE, NO TRIBUTARY DRAINAGE AREA TO THE SUBDIVISION WILL BE CONSIDERED.

AREA	IMPERVIOUS AREA	PERVIOUS AREA
0.5 ACRE	0.383 ACRE	0.111 ACRE

THE OWNER RESPONSIBILITY TO MAINTAIN THE AREA BETWEEN THE EX. BLOCK WALL & THE PROPOSED W.I. FENCE, FREE OF TRASH, DEBRIS, ETC., ...

NOTE:
IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND THE CONTRACTOR TO REPAIR ANY DAMAGES TO THE EXISTING PUBLIC IMPROVEMENTS AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES. ADDITIONALLY, ALL NECESSARY REPAIRS REQUESTED BY THE CITY'S INSPECTOR SHALL BE PERFORMED, BASED ON THE INSPECTOR'S REVIEW OF THE CURRENT CONDITIONS OF THE PUBLIC IMPROVEMENTS.

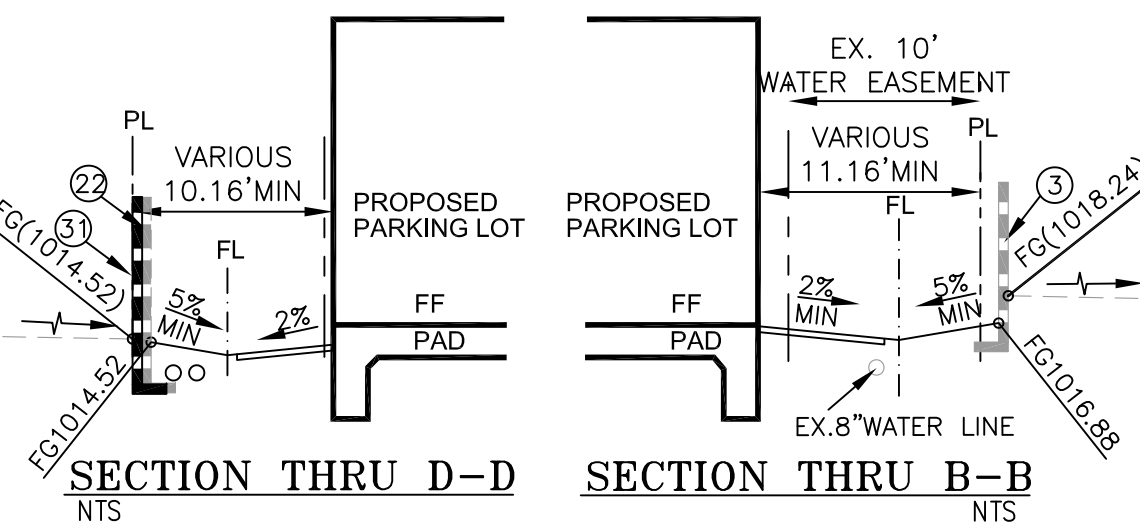
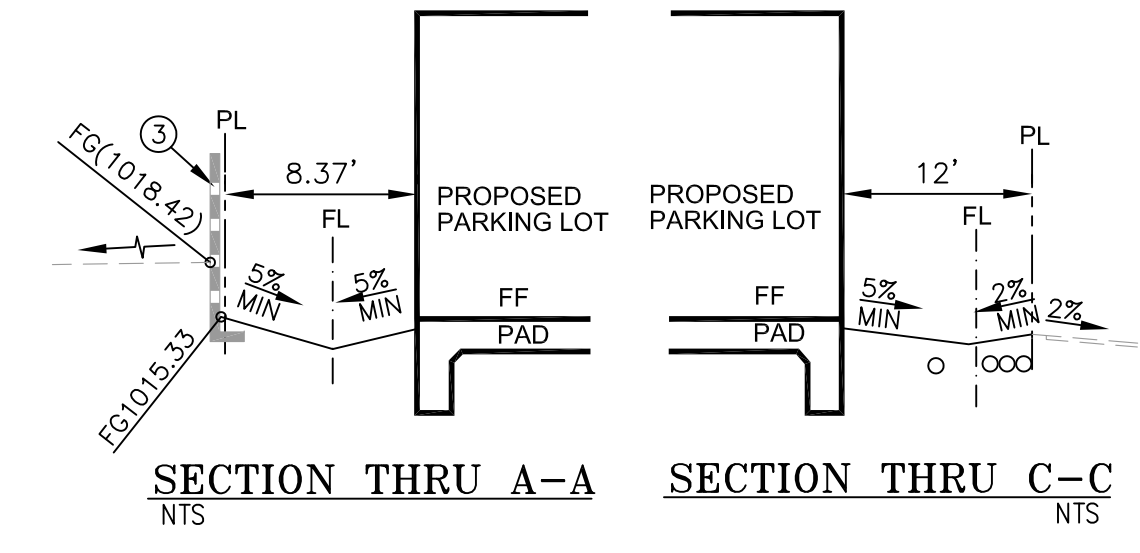
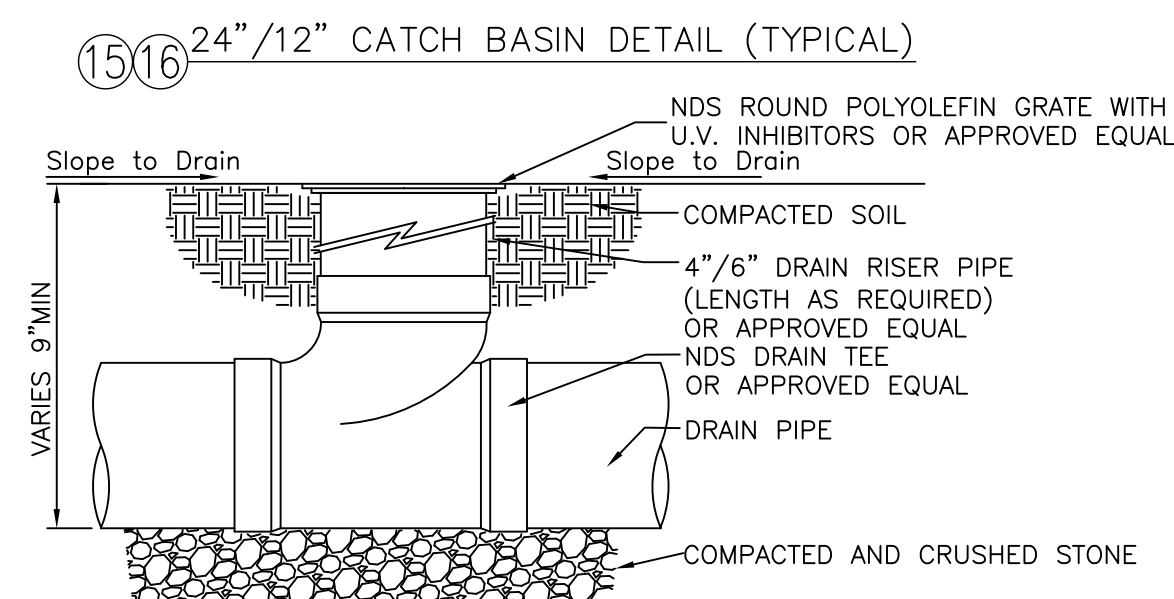
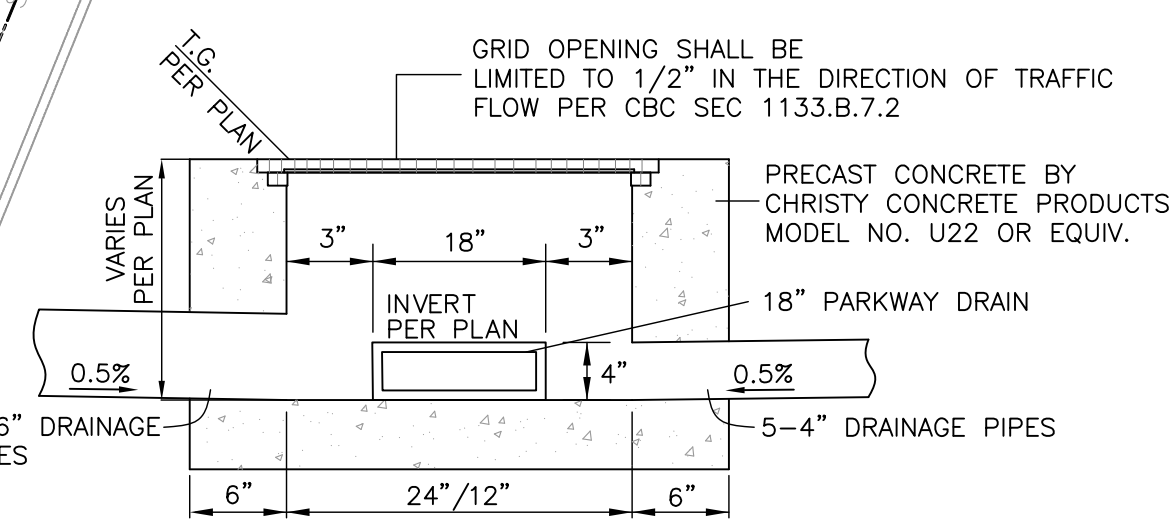
UNDERGROUND SERVICE ALERT



ROOF DRAINAGE:
DIVERT ALL ROOF RUNOFF TO PROPOSED PIPING SYSTEM

THE FOLLOWING BMP'S SHALL BE IMPLEMENTED ON SITE:
1. CONSERVE NATURAL AREAS
2. PROTECT SLOPES AND CHANNELS
3. PROVIDE STORM DRAIN SYSTEM STENCILING AND SIGNAGE
4. DIVERT ROOF RUNOFF TO VEGETATED AREAS BEFORE DISCHARGE UNLESS THE DIVERSION WILL RESULT IN SLOPE INSTABILITY
5. DIVERT SURFACE FLOW TO VEGETATED AREAS BEFORE DISCHARGE UNLESS DIVERSION WOULD RESULT IN SLOPE INSTABILITY

UTILITY NOTE:
ALL PROPOSED UTILITY LINES SHALL BE UNDERGROUNDED PER THE CITY OF POMONA MUNICIPAL CODE SECTION 62-31(b). OWNER IS RESPONSIBLE FOR ALL PAVEMENT TRENCH RESTORATIONS DUE TO SAID UNDERGROUNDING WORK.

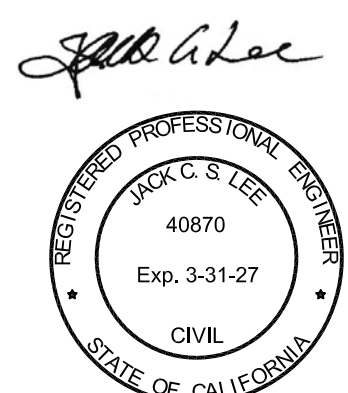


ACCEPTED
BY: PLANNING DIVISION DATE: _____
ACCEPTED
BY: BUILDING OFFICIAL DATE: _____
CONCURRED
BY: ARNOLD DICHOVA, P.E., RCE NO. 86038, CITY ENGINEER DATE: _____

CITY OF POMONA
PUBLIC WORKS DEPARTMENT/ENGINEERING DIVISION
PRECISE GRADING PLAN
2145 N.GAREY AVENUE, POMONA, CA

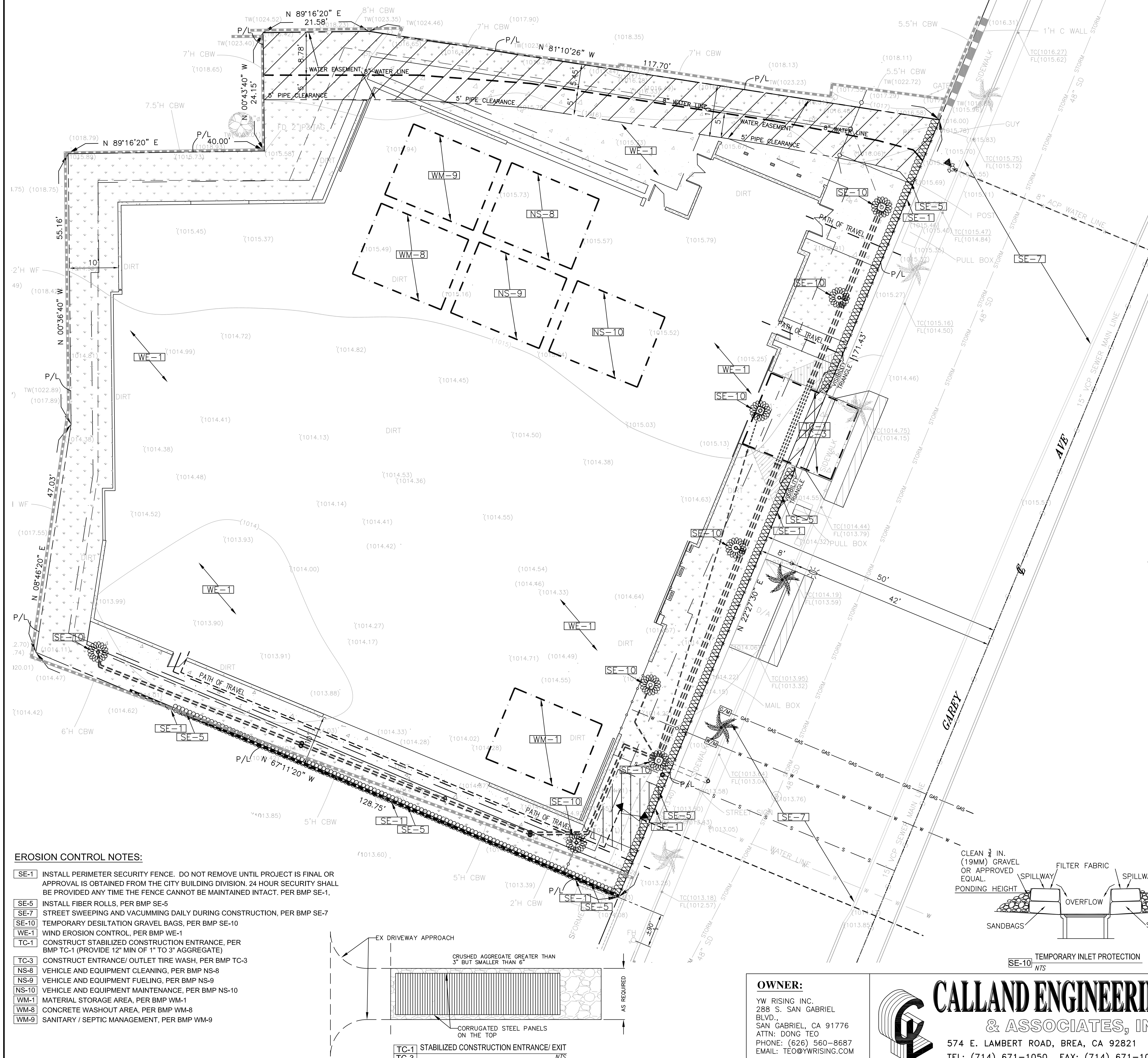
SCALE: 1"=10'
DESIGNED: PVT ENGR
DRAWN: PVT ENGR
CHECKED: _____
REVIEWED: _____
SHT. 2 OF 3 SHTS

CALLAND ENGINEERING & ASSOCIATES, INC.
574 E. LAMBERT ROAD, BREAA, CA 92821
TEL: (714) 671-1050 FAX: (714) 671-1090



REVISIONS	DATE	INITIAL

EROSION CONTROL PLAN



EROSION CONTROL NOTES:

- In case of emergency, call PEIYAN ZHANG at (415) 672-5777.
- A stand-by crew for emergency work shall be available at all times during the rainy season (NOV 1 to APR 15). Necessary materials shall be available on-site and stockpiled at convenient locations to facilitate rapid construction or emergency devices when rain is imminent.
- Erosion control devices shown on this plan may be removed when approved by the Grading Inspector if the grading operation has progressed to the point where they are no longer required.
- All silt and debris shall be removed from all devices within 24 hours after each rainstorm and be disposed of properly.
- A guard shall be posted on the site whenever the depth of water in any device exceeds two feet. The device shall be drained or pumped dry within 24 hours after each rainstorm.
- Except as otherwise approved by the Grading Inspector, all removable protective devices shown shall be in place at the end of each working day or on weekends when the 5-day rain probability forecast exceeds 40 percent.
- All loose soils and debris which may create a potential hazard to off-site property shall be removed from the site as directed by the Grading Inspector.
- The placement of additional devices to reduce erosion damage within the site is left to the discretion of the Field Engineer.
- Desilting basins may not be removed or made inoperable between November 1 and April 15 of the following year, without approval of the Grading Inspector.
- Erosion control devices are to be modified as needed as the project progresses and plans of these changes must be submitted for approval as required.
- Add the following notes (or similar) to the plans to define the current state of construction.
 - Storm drains and catch basins are (not) constructed.
 - Streets are (not) paved, except as noted on the erosion control plans.
 - Drainage devices are (not) constructed, except as noted on plans.
- Stormwater pollution control requirements must be integrated into the erosion control plans per Title 62, Section 7010 of the County Code for any construction between October 1 and April 15.

"I certify that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to ensure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, to the best of my knowledge and belief, the information submitted is true, accurate, and complete. I am aware that submitting false and/or inaccurate information, failing to update the ESCP to reflect current conditions, or failing to properly and/or adequately implement the ESCP may result in revocation of grading and/or other permits or other sanctions provided by law."

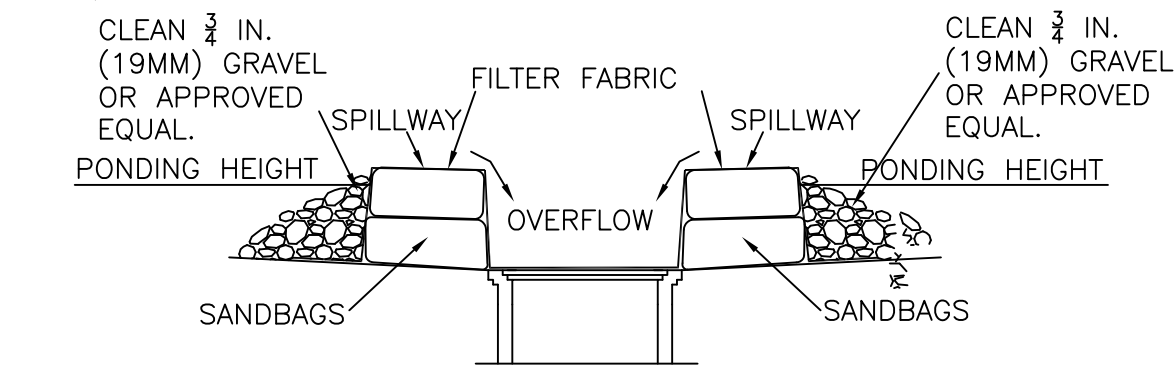
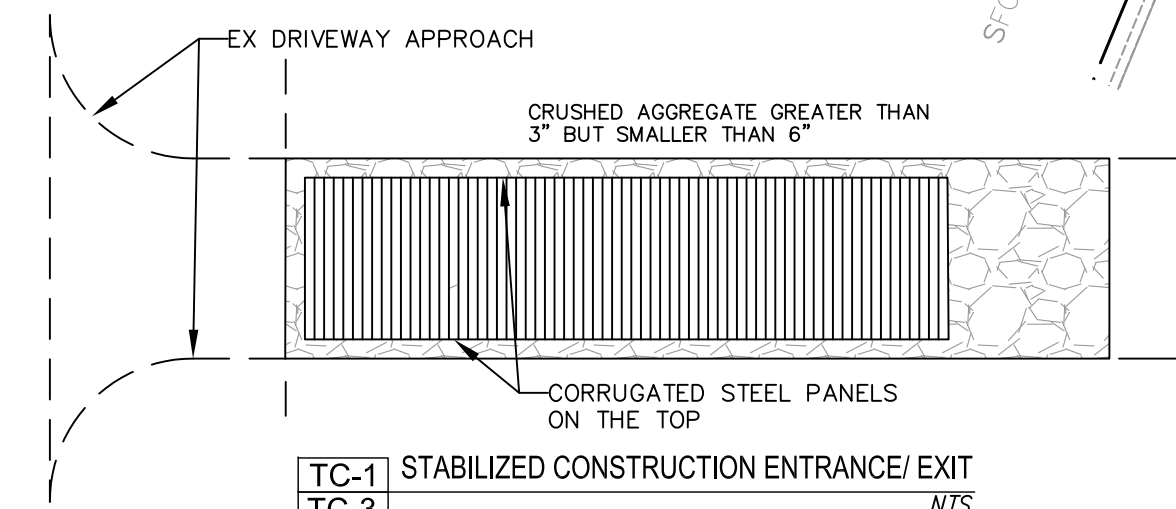
Name (Print) _____ Signature _____ Date _____

The following Best Management Practices from the "California Storm Water Best Management Practice Handbook" - March January 2003, or the latest revise edition, may apply during the construction of this project.
(Additional measures may be required if deemed appropriate by the project engineer or the building official)

- | | |
|-------------------------------------|---|
| Sediment Control: | Non-storm Water Management |
| SE1 - Silt Fence | NS8 - Vehicle and Equipment Cleaning |
| SE5 - Fibre Rolls | NS9 - Vehicle and Equipment Fueling |
| SE10 - Storm Drain Inlet Protection | NS10 - Vehicle and Equipment Maintenance |
| Wind Erosion Control: | Waste Management & Material Pollution Control: |
| WE1 - Wind Erosion Control | WM1 - Material Delivery and Storage |
| Equipment Tracking Control: | WM8 - Concrete Waste Management |
| TC1 - Stabilized Construction Exit | WM9 - Sanitary/Septic Waste Management |
| TC3 - Entrance/Outlet Tire Wash | |

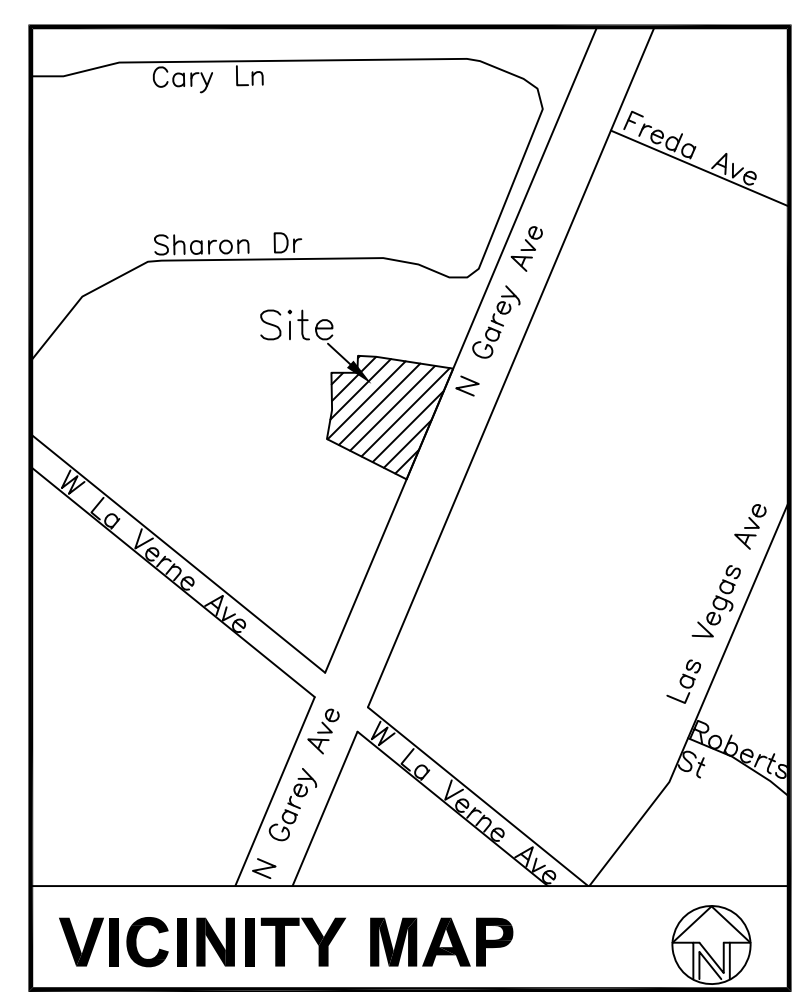
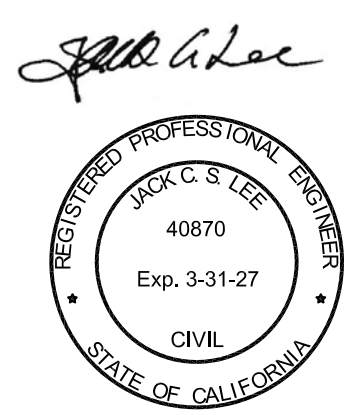
EROSION CONTROL NOTES:

- SE-1** INSTALL PERIMETER SECURITY FENCE. DO NOT REMOVE UNTIL PROJECT IS FINAL OR APPROVAL IS OBTAINED FROM THE CITY BUILDING DIVISION. 24 HOUR SECURITY SHALL BE PROVIDED ANY TIME THE FENCE CANNOT BE MAINTAINED INTACT. PER BMP SE-1.
- SE-5** INSTALL FIBER ROLLS, PER BMP SE-5
- SE-7** STREET SWEEPING AND VACUUMING DAILY DURING CONSTRUCTION, PER BMP SE-7
- SE-10** TEMPORARY DESILTATION GRAVEL BAGS, PER BMP SE-10
- WE-1** WIND EROSION CONTROL, PER BMP WE-1
- TC-1** CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE, PER BMP TC-1 (PROVIDE 12" MIN OF 1" TO 3" AGGREGATE)
- TC-3** CONSTRUCT ENTRANCE/ OUTLET TIRE WASH, PER BMP TC-3
- NS-8** VEHICLE AND EQUIPMENT CLEANING, PER BMP NS-8
- NS-9** VEHICLE AND EQUIPMENT FUELING, PER BMP NS-9
- NS-10** VEHICLE AND EQUIPMENT MAINTENANCE, PER BMP NS-10
- WM-1** MATERIAL STORAGE AREA, PER BMP WM-1
- WM-8** CONCRETE WASHOUT AREA, PER BMP WM-8
- WM-9** SANITARY / SEPTIC MANAGEMENT, PER BMP WM-9



OWNER:
YV RISING INC.
288 S. SAN GABRIEL BLVD.,
SAN GABRIEL, CA 91776
ATTN: DONG TEO
PHONE: (626) 560-8687
EMAIL: TEO@YVRISING.COM

CALLAND ENGINEERING & ASSOCIATES, INC.
574 E. LAMBERT ROAD, BREA, CA 92821
TEL: (714) 671-1050 FAX: (714) 671-1090



VICINITY MAP

ACCEPTED
BY: _____ PLANNING DIVISION DATE: _____
ACCEPTED
BY: _____ BUILDING OFFICIAL DATE: _____
CONCURRED
BY: ARNOLD DICHOSA, P.E., RCE NO. 86038, CITY ENGINEER DATE: _____

CITY OF POMONA
PUBLIC WORKS DEPARTMENT/ENGINEERING DIVISION
EROSION CONTROL PLAN
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SCALE: 1"=10'
DESIGNED: PVT ENGR
DRAWN: PVT ENGR
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REVIEWED: _____
SHT. 3 OF 3
REVISIONS: _____ DATE: _____ INITIAL: _____